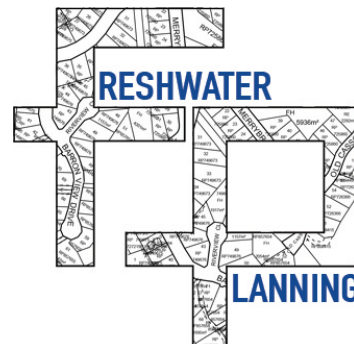


Your Ref:  
Our Ref: F18/20

03 July, 2018

Chief Executive Officer  
Mareeba Shire Council  
PO Box 154  
**MAREEBA QLD 4880**



**Attention: Regional Planning Group**

Dear Sir,

**RE: APPLICATION FOR A MATERIAL CHANGE OF USE – SHORT-TERM ACCOMMODATION  
LOT 71 ON SP136296, 28 KEEBLE STREET, MAREEBA.**

This application is for a Material Change of Use – Short-Term Accommodation over land described as Lot 71 on SP136296, situated at 28 Keeble Street, Mareeba is submitted on behalf of SND DEVELOPERS Pty Ltd.

The application comprises of Application Forms, Humac Design Proposal Plans, SmartMap and this Town Planning Submission. It is understood that the proponent will provide payment of the Application Fee of \$8,005.00.

### The Site

The subject land is described as Lot 71 on SP136296, Locality of Mareeba and situated at 28 Keeble Street, Mareeba. The site is owned by SND DEVELOPERS Pty Ltd who are also the applicants for the proposed development. The subject site comprises of a single irregular FreeHold allotment, has an area of 2,797 m<sup>2</sup> and contains frontage to the Keeble Street. The site is currently vacant and adjoins a Railway Corridor to the east. The site is accessed from the existing Road Network being Keeble Street. The site is understood to be provided with all available services.

In relation to the current State Governmental Mapping the site is Not Mapped as containing Remnant Vegetation, Regrowth Vegetation and Essential Habitat nor is the site designated as including a Referable Wetland or Wetland Protection Area. The site is not located within 25 metres of a State Controlled Road however, is located within 25 metres of a Railway Corridor.

### Referral Agencies

The site is located within 25 metres of a Railway Corridor. It is understood that the Development Application may require Referral to the Department of State Development, Manufacturing, Infrastructure and Planning in relation to Transport and Main Road Concerns. It is additionally noted that the Development may trigger a Threshold Trigger a may require additional Referral to the Department of Transport and Main Roads through the Department of State Development, Manufacturing, Infrastructure and Planning.

## The Proposed Development

The proposed development is for a Material Change of Use – Short-Term Accommodation in the Medium Density Zone of the Mareeba Shire Council's Planning Scheme. The site is located at 28 Keeble Street, Mareeba and is more particularly described as Lot 71 on SP136296. The site is irregular in shape, has an area of 2,797 m<sup>2</sup> and is currently vacant.

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A Development Permit for a Material Change of Use is sought to facilitate the construction of Short-Term Accommodation over the site on behalf of the SND DEVELOPERS Pty Ltd. The proposed development will provide for an Accommodation Building containing the Short-Term Accommodation Uses with the Reception Building, located towards the frontage of the site, containing the Reception, linen and office with the Managers Residence located on the first floor. The Accommodation Building for the majority is single storey with a first floor provided along the southern boundary. The Accommodation Building comprises of 4 x 2 Bed Ensuite Dorms; 10 x 4 Bed Ensuite Dorms; 5 x 4 Bed Dorms; 8 x 6 Bed Dorms; 4 x 8 Bed Dorms; Amenities; Laundry; Kitchen (with dry storage and cold room) and small and large storage areas. The proposal will also provide for 23 parking spaces inclusive of a disabled space, a 22-seater bus bay; bicycle parking and communal open space. It is considered that in total the proposal will provide accommodation for 148 beds. The proposed Short-Term Accommodation will provide for large Open Space areas that encompass sufficient room for activities, a BBQ area and a communal open space encompassing tables and the likes. It is considered that the provided Open Space Area totalling 1,061 m<sup>2</sup> (37.9%) provides sufficient and substantial recreational areas within the site reducing the strain on the existing parklands within Mareeba.

The proposal provides for the following Floor Areas:

|                       |                      |
|-----------------------|----------------------|
| Ground Floor Bedrooms | 498.2 m <sup>2</sup> |
| First Floor Bedrooms  | 188.5 m <sup>2</sup> |
| Manager's Residence   | 54.0 m <sup>2</sup>  |
| Kitchen and Laundry   | 114.7 m <sup>2</sup> |
| Office                | 52.0 m <sup>2</sup>  |
| Storage               | 28.1 m <sup>2</sup>  |
| Amenities             | 90.0 m <sup>2</sup>  |

It is understood that the proposal has a Total Floor Area of approximately 1,292 m<sup>2</sup> inclusive of some 266 m<sup>2</sup> of walkways, totalling a site coverage of 46%.

The site contains frontage to the existing Road Network, being Keeble Street with a new crossover required to be provided from Keeble Street. The site is/has the ability to be connected to all available urban services with the proposed development connecting to these urban services. The site adjoins a Railway Corridor to the east and is also adjoined (south and west) by Lot 70 on SP136296 which is owned by Queensland Rail.

The proposed development is for the construction of a Short-Term Accommodation within the Mareeba Township ensuring additional Accommodation Activities to support the surrounding Mareeba Township and environs. This helps to cement Mareeba as a Major Urban Area and Regional Centre of the Tablelands while providing a much needed Use within the Township.

The site is located in the Medium Density Residential Zone within the Mareeba Shire Council's Planning Scheme. A Material Change of Use for a Short-Term Accommodation is an Impact Assessable Use within this Zone. The application is Impact Assessable.

This Submission provides a comprehensive assessment of the relevant planning instruments and site context for the proposed Uses. This is supported by the attached Proposal Plans and the assessment against the relevant aspects of the Mareeba Shire Council's Planning Scheme. It is considered that the proposed development is an appropriate land Use for the site, immediate vicinity and surrounding environs providing a supporting Use to the Mareeba Township and Rural Industries.

## Far North Queensland Regional Plan 2009-2031

Lot 71 on SP136296 is identified as being in the Urban Footprint designation of the FNQ Regional Plan Mapping.

The proposal could be considered to be a greenfield development or an infill development of an existing site. The Material Change of Use is within the Urban Footprint and results in the creation of greater densities without affecting the existing natural environment. The proposal is for a Material Change of Use to provide a necessary service to Mareeba which will continue to support the driving industries of the Mareeba Township and Region.

It is considered that the proposed Material Change of Use is not in conflict with the Intent for Urban Footprint designation of the FNQ Regional Plan 2009-2031.

## Medium Density Residential Zone

The proposal is for a Material Change of Use to facilitate construction of a Short-Term Accommodation facility in the Medium Density Residential Zone of the Mareeba Shire Planning Scheme. A Development Permit is sought to provide additional Accommodation within the Mareeba Township to support the industries within and surrounding Mareeba. The proposal provides for additional accommodation within proximity to the town centre and other community facilities.

The proposed development is considered to comply with the Code achieving the Acceptable Outcomes and where not able to be met, or are available, meet the Performance Outcomes of the Code. The proposed development is considered appropriate and not in conflict with the Medium Density Zone Code as it provides for additional accommodation within Mareeba supporting the driving industries within the Mareeba Region.

The proposal also provides greater densities than existing, further consolidating the Urban Area of Mareeba. No change to the Residential nature of the area is envisaged from the proposed Short-Term Accommodation. The proposed development will ensure to protect the existing Residential Area from the intrusion of Incompatible Land Uses as the proposal proposes greater densities in the form of Residential Accommodation Uses. It is considered that the proposed Material Change of Use is not in conflict with the Intent or Purposes for the Medium Density Residential Zone.

| Performance outcomes   | Acceptable outcomes   | Comments   |
|--|---|--|
| <b>For self-assessable and assessable development</b>  |   |  |
| <b>Height</b>  |   |  |
| <b>PO1</b><br>Building height takes into consideration and respects the following:<br>(a) the height of existing buildings on adjoining premises;<br>(b) the development potential, with respect to height, on adjoining | <b>AO1</b><br>Development has a maximum building height of:<br>(a) 8.5 metres; and<br>(b) 2 storeys above ground level. | Complies,<br>The proposed development is two storeys above the ground level, has a building height of 5.6 metres and an overall height of 6.57 metres. |

| Performance outcomes  | Acceptable outcomes  | Comments  |
|---|--|---|
| premises;<br>(c) the height of buildings in the vicinity of the site;<br>(d) access to sunlight and daylight for the site and adjoining sites;<br>(e) privacy and overlooking; and<br>(f) site area and street frontage length.   |  |   |
| <b>Outbuildings and residential scale</b>   |  |   |
| <b>PO2</b><br>Domestic outbuildings:<br>(a) do not dominate the lot on which they are located; and<br>(b) are consistent with the scale and character of development in the Medium density residential zone.  | <b>AO2</b><br>Domestic outbuildings do not exceed:<br>(a) 100m <sup>2</sup> in gross floor area; and<br>(b) 5.5 metres in height above natural ground level.                 | Not Applicable.<br>No domestic outbuildings are proposed with this development.   |
| <b>Siting, where not involving a Dwelling house</b><br>Note—Where for Dwelling house, the setbacks of the Queensland Development Code apply.  |  |   |
| <b>PO3</b><br>Development is sited in a manner that considers and respects:<br>(a) the siting and use of adjoining premises;<br>(b) access to sunlight and daylight for the site and adjoining sites;<br>(c) privacy and overlooking;<br>(d) opportunities for casual surveillance of adjoining public spaces;<br>(e) air circulation and access to natural breezes;<br>(f) appearance of building bulk; and<br>(g) relationship with road corridors. | <b>AO3.1</b><br>Buildings and structures include a minimum setback of:<br>(a) 6 metres from the primary road frontage; and<br>(b) 3 metres from any secondary road frontage. | Complies,<br>The proposal provides for a building setback of 6.0 metres from Keeble Street.   |
|   | <b>AO3.2</b><br>Buildings and structures include a minimum setback of 2 metres from side and rear boundaries.  | Complies,<br>The proposal provides for a minimum of 2.0 metre setback to the proposed building with an average setback of greater than 2.0 metres to side and rear boundaries.  |
| <b>Accommodation density</b>  |  |   |
| <b>PO4</b><br>The density of Accommodation activities:<br>(a) contributes to housing choice and affordability;<br>(b) respects the nature and density of surrounding land use;<br>(c) does not cause amenity impacts beyond the reasonable expectation of accommodation density for the zone; and<br>(d) is commensurate to the scale and frontage of the site.   | <b>AO4</b><br>Development provides a maximum density for Accommodation activities in compliance with <b>Table 6.2.7.3B</b> .   | Complies,<br>The proposal is for a Short-Term Accommodation Building. As there is no density requirement for a Short-Term Accommodation, the resulting proposal is considered acceptable and appropriate. It is noted that the proposal provides for 31 bedrooms which complies with the multiple dwellings density requirement of a bedroom per 75m <sup>2</sup> . |
| <b>Gross floor area</b>   |  |   |
| <b>PO5</b><br>Buildings and structures occupy the site in a manner that:<br>(a) makes efficient use of land;<br>(b) is consistent with the bulk and   | <b>AO5</b><br>Gross floor area does not exceed 600m <sup>2</sup> .   | The proposal is for the provision of a Short-Term Accommodation building/Use within the Medium Density Residential Zone of the Mareeba Shire Planning Scheme. The proposal contains a Gross Floor   |

| Performance outcomes   | Acceptable outcomes  | Comments  |
|--|--|---|
| (c) scale of surrounding buildings; and appropriately balances built and natural features.   |  | Area of 1,291.9 m <sup>2</sup> which is greater than the Acceptable Outcome. However, the proposal provides for a needed Use within Mareeba to ensure support to the existing driving industries within the Region. The proposal is considered to make efficient use of the land, balancing built form with natural features via the architectural design of the building and the provision of substantial open space and recreation areas. |
| <b>For assessable development</b>  |  |   |
| <b>Building design</b>   |  |   |
| <b>PO6</b><br>Building facades are appropriately designed to: <ul style="list-style-type: none"> <li>(a) include visual interest and architectural variation;</li> <li>(b) maintain and enhance the character of the surrounds;</li> <li>(c) provide opportunities for casual surveillance;</li> <li>(d) include a human scale; and</li> <li>(e) encourage occupation of outdoor space.</li> </ul>         | <b>AO6</b><br>Buildings include habitable space, pedestrian entrances and recreation space facing the primary road frontage. | Complies,<br>The proposal is generally orientated towards the primary road frontage being Keeble Street. Architectural variation and design has been appropriately provided to ensure and enhance the visual amenity of the site. The layout ensures the provision of casual surveillance with the proposal encouraging the occupation of outdoor space through the many large attractive open space areas provided with the development.   |
| <b>PO7</b><br>Development complements and integrates with the established built character of the Medium density residential zone, having regard to: <ul style="list-style-type: none"> <li>(a) roof form and pitch;</li> <li>(b) eaves and awnings;</li> <li>(c) building materials, colours and textures; and</li> <li>(d) window and door size and location.</li> </ul>                                  | <b>AO7</b><br>No acceptable outcome is provided.   | Complies,<br>The proposed development has been importunately designed to take into consideration established build character of surrounding Medium Density Residential Zone and Mareeba Township. The proposal is considered to complement the existing area and Township while integrating with the establish form of immediate vicinity and the Mareeba CBD.  |
| <b>Non-residential development</b>   |  |   |
| <b>PO8</b><br>Non-residential development: <ul style="list-style-type: none"> <li>(a) is consistent with the scale of existing development;</li> <li>(b) does not detract from the amenity of nearby residential uses;</li> <li>(c) directly supports the day to day needs of the immediate residential community; and</li> <li>(d) does not impact on the orderly provision of non-residential</li> </ul> | <b>AO8</b><br>No acceptable outcome is provided.   | Complies,<br>The proposal provides for an Accommodation Use that is considered to be consistent with similar Uses within the Mareeba Township and surrounding vicinity. It is not considered that the proposal will detract from the amenity of the existing Residential surrounds nor impact on the orderly provision of non-residential development in  |

| Performance outcomes  | Acceptable outcomes                               | Comments   |
|---|---|--|
| development in other locations in the shire.  |   | other locations. The proposal will fill an existing vacant allotment that is in the proximity to the Mareeba CBD and is considered acceptable.   |
| <b>Amenity</b>  |   |  |
| <b>PO9</b><br>Development must not detract from the amenity of the local area, having regard to: <ul style="list-style-type: none"> <li>(a) noise;</li> <li>(b) hours of operation;</li> <li>(c) traffic;</li> <li>(d) advertising devices;</li> <li>(e) visual amenity;</li> <li>(f) privacy;</li> <li>(g) lighting;</li> <li>(h) odour; and</li> <li>(i) emissions.</li> </ul>  | <b>AO9</b><br>No acceptable outcome is provided.  | Complies,<br>The proposal is for Short-Term Accommodation facility within the Medium Density Residential Zone of Mareeba and within proximity to the CBD. The proposal is surrounded by Railway Land and is not considered to detract from the existing amenity of the area. Given the adjoining Uses the proposal is considered to be located in an acceptable location for the proposed Use. |
| <b>PO10</b><br>Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to: <ul style="list-style-type: none"> <li>(a) noise;</li> <li>(b) hours of operation;</li> <li>(c) traffic;</li> <li>(d) advertising devices;</li> <li>(e) visual amenity;</li> <li>(f) privacy;</li> <li>(g) lighting;</li> <li>(h) odour; and</li> <li>(i) emissions.</li> </ul> | <b>AO10</b><br>No acceptable outcome is provided. | Complies,<br>The proposal has been architecturally designed to ameliorate any negative and environmental impacts having regard to noise, traffic, visual amenity, lighting and privacy.  |

It is not considered that the proposed Material Change of Use for Short-Term Accommodation conflicts with the Acceptable Outcomes and if not available or able to be met, with the Performance Outcomes of the Medium Density Residential Zone.

### Accommodation Activities Code

The proposed development facilitates the construction of a Short-Term Accommodation Use. Assessment against the Accommodation Activities Code is provided below. It is considered that the proposed Short-Term Accommodation complies with the Intent of the Accommodation Activities Code and is acceptable.

| Performance outcomes   | Acceptable outcomes   | Comments   |
|--|---|--|
| <b>For self-assessable and assessable development</b>  |   |  |
| <b>All Accommodation activities, apart from Dwelling house</b>   |   |  |
| <b>PO1</b><br>Accommodation activities are located on a site that includes sufficient area: <ul style="list-style-type: none"> <li>(a) to accommodate all buildings, structures, open space and infrastructure associated with the use; and</li> </ul> | <b>AO1</b><br>Development is located on a site which provides the applicable minimum site area and minimum road frontage specified in <b>Table 9.3.1.3B</b> . | Complies,<br>The proposed Short-Term Accommodation is located over the site containing an area of 2,797 m <sup>2</sup> . The site contains appropriate street frontage and sufficient area for the appropriate location of the Accommodation |

| Performance outcomes  | Acceptable outcomes   | Comments  |
|---|---|---|
| (b) to avoid adverse impacts on the amenity or privacy of nearby land uses.   |   | Activities.   |
| <b>All Accommodation activities, apart from Tourist park and Dwelling house</b>   |   |   |
| <b>PO2</b><br>Accommodation activities are provided with on-site refuse storage areas that are: <ul style="list-style-type: none"> <li>(a) sufficient to meet the anticipated demand for refuse storage; and</li> <li>(b) appropriately located on the site having regard to potential odour and noise impacts on uses on the site and adjoining sites.</li> </ul>  | <b>AO2.1</b><br>A refuse area is provided that: <ul style="list-style-type: none"> <li>(a) includes a water connection;</li> <li>(b) is of a size and configuration to accommodate 2x240 litre bins per dwelling or accommodation unit where involving a use other than a residential care facility or retirement facility; and</li> <li>(c) is of a size and configuration to accommodate a minimum of two bulk refuse bins where involving a residential care facility or retirement facility.</li> </ul>   | Complies,<br>The proposed development will be provided with appropriate on-site refuse storage areas. All refuse storage areas will be appropriately screened mitigating noise and odour impacts.   |
| <b>All Accommodation activities, except for Dwelling house</b>  |   |   |
| <b>PO3</b><br>Accommodation activities are designed to avoid overlooking or loss of privacy for adjoining uses.<br><br>Note—These provisions apply to any adjoining use, both on an adjoining site and on the same site.  | <b>AO3</b><br>The windows of habitable rooms: <ul style="list-style-type: none"> <li>(a) do not overlook the windows of a habitable room in an adjoining dwelling or accommodation unit; or</li> <li>(b) are separated from the windows of a habitable room in an adjoining dwelling or accommodation unit by a distance greater than: <ul style="list-style-type: none"> <li>(i) 2 metres at ground level; and</li> <li>(ii) 8 metres above ground level; or</li> </ul> </li> <li>(c) are treated with: <ul style="list-style-type: none"> <li>(i) a minimum sill height of 1.5 metres above floor level; or</li> <li>(ii) fixed opaque glassed installed below 1.5 metres; or</li> <li>(iii) fixed external screens; or</li> <li>(iv) a 1.5 metre high screen fence along the common boundary.</li> </ul> </li> </ul> | Complies,<br>The Buildings have been designed to ensure that appropriate privacy is provided for the adjoining Uses. It is accepted that the proposed Accommodation Activities are appropriate and specifically designed providing sufficient privacy. The site adjoins a Railway Corridor and Queensland Rail Land and has been designed and located to avoid overlooking or loss of privacy to adjoining Uses.  |
| <b>PO4</b><br>Accommodation activities are provided with sufficient private and communal open space areas which: <ul style="list-style-type: none"> <li>(a) accommodate a range of landscape treatments, including soft and hard landscaping;</li> <li>(b) provide a range of opportunities for passive and active recreation;</li> <li>(c) provide a positive outlook and high quality of amenity to residents;</li> <li>(d) is conveniently located and easily accessible to all residents; and</li> <li>(e) contribute to an active and attractive streetscape.</li> </ul> | <b>AO4.1</b><br>Development, except for Caretaker's accommodation, Dwelling house, Dual occupancy or Home based business, includes communal open space which meets or exceeds the minimum area, dimension and design parameters specified in <b>Table 9.3.1.3C</b> .  | Complies,<br>Appropriate and sufficient communal open space areas are provided with the Short-Term Accommodation. The proposal provides for substantial communal Open Space and Landscaping Area totalling 1,061 m <sup>2</sup> and is considered to provide an oversupply of communal Open Space. These areas provide for the ability of a range of activities and include the likes of communal tables, BBQ Area and tree and grassed spaces. It is considered that Short-Term Accommodation provides acceptable, appropriate and an oversupply of communal space for Accommodation Activities. |



| Performance outcomes   | Acceptable outcomes   | Comments  |
|--|---|---|
|  | <b>AO4.2</b><br>Development includes private open space for each dwelling or accommodation unit which meets or exceeds the minimum area, dimension and design parameters specified in <b>Table 9.3.1.3D</b> .   | The proposal is to facilitate to construction of a Short-Term Accommodation Use over the site. Private open space is not considered appropriate for the proposed Uses. The proposal is designed in accordance with other Short-Term Accommodation within the Region and is considered acceptable. |
|  | <b>AO4.3</b><br>Clothes drying areas are provided at the side or rear of the site so that they are not visible from the street.   | Complies,<br>Clothes Drying Facilities will be provided onsite located in proximity to the nominated Laundry.   |
|  | <b>AO4.4</b><br>If for Dual occupancy, Multiple dwelling, Residential care facility or Retirement facility, development provides a secure storage area for each dwelling or accommodation unit which:<br>(a) is located to facilitate loading and unloading from a motor vehicle;<br>(b) is separate to, and does not obstruct, on-site vehicle parking or manoeuvring areas;<br>(c) has a minimum space of 2.4m <sup>2</sup> per dwelling or accommodation unit;<br>(d) has a minimum height of 2.1 metres;<br>(e) has minimum dimensions to enable secure bicycle storage;<br>(f) is weather proof; and<br>(g) is lockable. | Not Applicable.<br>The proposal is not for a Dual Occupancy, Multiple Dwelling, Residential Care Facility or Retirement Facility.   |
| <b>If for Caretaker's Accommodation</b>  |   |   |
| <b>PO5</b><br>Caretaker's accommodation is of a scale and intensity which is consistent with that of the surrounding area.<br><br>Note—Where Caretaker's Accommodation is assessable development additional assessment criteria are provided under "for assessable development". | <b>AO5.1</b><br>Only one caretaker's accommodation is established on the title of the non-residential use.  | Not Applicable.<br>No Caretaker's Accommodation is provided. However, a Manager's Residence is proposed onsite located above the Reception and Office towards the frontage of the site for the proposed Accommodation Activities.   |
|  | <b>AO5.2</b><br>In the Rural zone, Caretaker's accommodation has a maximum gross floor area of 200m <sup>2</sup> .  | Not Applicable.<br>The site is not located within the Rural Zone.   |
| <b>If for Dwelling house</b>   |   |   |
| <b>PO6</b><br>Where a Dwelling house involves a secondary dwelling, it is designed and located to:<br>(a) not dominate the site;<br>(b) remain subservient to the primary dwelling; and<br>(c) be consistent with the character of the surrounding area;                         | <b>AO6.1</b><br>The secondary dwelling is located within:<br>(a) 10 metres of the primary dwelling where on a lot that has an area of 2 hectares or less; or<br>(b) 20 metres of the primary dwelling where on a lot that has an area of greater than 2 hectares.<br><br><b>AO6.2</b><br>A secondary dwelling has a maximum gross floor area of 100m <sup>2</sup> .   | Not Applicable.<br>No Dwelling House proposed.  |



| Performance outcomes   | Acceptable outcomes  | Comments  |
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| <b>If for Dual occupancy</b>   |  |   |
| <b>PO7</b><br>Where establishing a Dual occupancy on a corner lot, the building is designed to: <ul style="list-style-type: none"> <li>(a) maximise opportunities for causal surveillance;</li> <li>(b) provide for separation between the two dwellings; and</li> <li>(c) provide activity and visual interest on both frontages.</li> </ul>  | <b>A07.1</b><br>Where located on a corner allotment, each dwelling is accessed from a different road frontage.<br><b>A07.2</b><br>The maximum width of garage or carport openings that face a public street is 6 metres or 50% of the building width, whichever is the lesser.   | Not Applicable.<br>No Dual Occupancy Use proposed.  |
| <b>If for Multiple dwelling, Residential care facility or Retirement facility</b>  |  |   |
| <b>PO8</b><br>Development is appropriately located within the Shire to: <ul style="list-style-type: none"> <li>(a) maximise the efficient utilisation of existing infrastructure, services and facilities; and</li> <li>(b) minimise amenity impacts through the collocation of compatible uses.</li> </ul> <p>Note—Where Residential care facility or Retirement facility is assessable development additional assessment criteria are provided under “for assessable development”.</p>   | <b>A08</b><br>Multiple dwelling, Residential care facility or Retirement facility uses are located on land within 800 metres of the boundary of land within the Centre zone.   | Not Applicable.<br>No Multiple Dwelling, Residential Care Facility or Retirement Facility proposed. |
| <b>PO9</b><br>Buildings associated with more intensive Accommodation activities are designed to: <ul style="list-style-type: none"> <li>(a) reduce the appearance of building bulk;</li> <li>(b) provide visual interest through articulation and variation;</li> <li>(c) be compatible with the embedded, historical character for the locality; and</li> <li>(d) be compatible with the scale of surrounding buildings</li> </ul> <p>Note—Where Residential care facility or Retirement facility is assessable development additional assessment criteria are provided under “for assessable development”.</p> | <b>A09.1</b><br>External walls do not exceed 10 metres in continuous length unless including a minimum of three of the following building design features and architectural elements: <ul style="list-style-type: none"> <li>(a) a change in roof profile; or</li> <li>(b) a change in parapet coping; or</li> <li>(c) a change in awning design; or</li> <li>(d) a horizontal or vertical change in the wall plane; or</li> <li>(e) a change in the exterior finishes and exterior colours of the development.</li> </ul> | Not Applicable.<br>No Multiple Dwelling, Residential Care Facility or Retirement Facility proposed. |
|  | <b>A09.2</b><br>For a Multiple dwelling, Residential care facility or Retirement facility, the maximum width of a garage or carport opening that faces a road is 6 metres.   | Not Applicable.<br>No Multiple Dwelling, Residential Care Facility or Retirement Facility proposed. |
|  | <b>A09.3</b><br>For a Multiple dwelling, Residential care facility or Retirement facility, the building(s) include awnings with a minimum overhang of 600mm.   | Not Applicable.<br>No Multiple Dwelling, Residential Care Facility or Retirement Facility proposed. |
|  | <b>A09.4</b><br>For a Multiple dwelling, Residential care facility or Retirement facility, roof forms include one or more of the following types: <ul style="list-style-type: none"> <li>(a) pyramidal;</li> <li>(b) hip or hipped;</li> <li>(c) gable;</li> <li>(d) skillion.</li> </ul>  | Not Applicable.<br>No Multiple Dwelling, Residential Care Facility or Retirement Facility proposed. |

| Performance outcomes  | Acceptable outcomes   | Comments   |
|---|---|--|
| <b>If for Residential care facility or Retirement facility</b>  |   |  |
| <b>PO10</b><br>The layout and design of the site:<br>(a) promotes safe and easy pedestrian, cycle and mobility device movement;<br>(b) defines areas of pedestrian movement; and<br>(c) assists in navigation and way finding.<br><br>Note—Where Residential care facility or Retirement facility is assessable development additional assessment criteria are provided under “for assessable development”. | <b>AO10.1</b><br>The development incorporates covered walkways and ramps on site for weather protection between all buildings.  | Not Applicable.<br>No Residential Care Facility or Retirement Facility proposed. |
|   | <b>AO10.2</b><br>Pedestrian paths include navigational signage at intersections.  | Not Applicable.<br>No Residential Care Facility or Retirement Facility proposed. |
|   | <b>AO10.3</b><br>Buildings, dwellings and accommodation units include identification signage at entrances.  | Not Applicable.<br>No Residential Care Facility or Retirement Facility proposed. |
|   | <b>AO10.4</b><br>An illuminated sign and site map is provided at the main site entry.   | Not Applicable.<br>No Residential Care Facility or Retirement Facility proposed. |
|   | <b>AO10.5</b><br>Buildings, structures and pathways associated with a Residential care facility or Retirement facility are not located on land with a gradient greater than 8%. | Not Applicable.<br>No Residential Care Facility or Retirement Facility proposed. |
| <b>If for Home based business</b>   |   |  |
| <b>PO11</b><br>Home based businesses are compatible with the built form, character and amenity of the surrounding area, having regard to:<br>(a) size and scale;<br>(b) intensity and nature of use;<br>(c) number of employees; and<br>(d) hours of operation.   | <b>AO11.1</b><br>The Home based business is located within a dwelling house or outbuilding associated with a dwelling house.  | Not Applicable.<br>No Home Based Business proposed.                              |
|   | <b>AO11.2</b><br>The Home based business does not occupy a gross floor area of more than 50m <sup>2</sup> .   | Not Applicable.<br>No Home Based Business proposed.                              |
|   | <b>AO11.3</b><br>No more than 1 person (other than the residents of the site) is employed by the Home based business at any one time.   | Not Applicable.<br>No Home Based Business proposed.                              |
|   | <b>AO11.4</b><br>The Home based business, unless a home office, bed and breakfast or farm stay, does not operate outside the hours of 7.00 am and 6.00 pm.                      | Not Applicable.<br>No Home Based Business proposed.                              |
|   | <b>AO11.5</b><br>The Home based business does not involve the public display of goods external to the building.   | Not Applicable.<br>No Home Based Business proposed.                              |
|   | <b>AO11.6</b><br>The Home based business does not involve the repair, cleaning or servicing of any motors, vehicles or other machinery.   | Not Applicable.<br>No Home Based Business proposed.                              |
|   | <b>AO11.7</b><br>Any equipment or materials associated with the Home based business are screened from public view and adjacent properties by fencing or landscaping.            | Not Applicable.<br>No Home Based Business proposed.                              |
|   | <b>AO11.8</b><br>The business does not involve the use of power tools or similar noise generating devices.  | Not Applicable.<br>No Home Based Business proposed.                              |
| <b>PO12</b><br>Home based businesses involving accommodation activities are appropriately scaled and designed to avoid detrimental impacts on the amenity   | <b>AO12.1</b><br>Home based businesses involving accommodation activities are limited to the scale specified in <b>Table 9.3.1.3E</b> .   | Not Applicable.<br>No Home Based Business proposed.                              |

| Performance outcomes  | Acceptable outcomes  | Comments   |
|---|--|--|
| and privacy of surrounding residences.  | <b>AO12.2</b><br>A farm stay dwelling or accommodation unit is located within 20 metres of the primary dwelling house.   | Not Applicable.<br>No Home Based Business proposed.  |
|   | <b>AO12.3</b><br>A farm stay is setback 100 metres from any property boundary.   | Not Applicable.<br>No Home Based Business proposed.  |
|   | <b>AO12.4</b><br>Entertainment and dining facilities associated with an accommodation activity are:<br>(a) located at least 5 metres from the bedrooms of adjoining residences; and<br>(b) located or screened so that they do not directly overlook private open space areas of adjoining properties. | Not Applicable.<br>No Home Based Business proposed.  |
| <b>If for Rural workers' accommodation</b>  |  |  |
| <b>PO13</b><br>The Rural workers' accommodation is directly associated with an agricultural based rural activity on the same premises and is commensurate with the scale of agricultural operations.  | <b>AO13.1</b><br>A Rural workers' accommodation building is limited to the accommodation of:<br>(a) one rural worker for every 50 hectares; and<br>(b) a maximum of ten rural workers in total.  | Not Applicable.<br>No Rural Worker's Accommodation proposed.   |
|   | <b>AO13.2</b><br>The agricultural based rural activity is a minimum of 50 hectares in area.  | Not Applicable.<br>No Rural Worker's Accommodation proposed.   |
| <b>PO14</b><br>Rural workers' accommodation is provided with amenities commensurate with the:<br>(a) needs of the employees; and<br>(b) permanent or seasonal nature of the employment.   | <b>AO14.1</b><br>The Rural workers' accommodation is:<br>(a) for permanent occupation; and<br>(b) fully self-contained.<br>OR  | Not Applicable.<br>No Rural Worker's Accommodation proposed.   |
|   | <b>AO14.2</b><br>The Rural workers' accommodation:<br>(a) is for seasonal occupation (up to 3 months);<br>(b) shares facilities with an existing Dwelling house or Caretaker's residence; and<br>(c) is located within 100 metres of the Dwelling house or Caretaker's residence.                      | Not Applicable.<br>No Rural Worker's Accommodation proposed.   |
| <b>For assessable development</b>   |  |  |
| <b>If for Caretaker's Accommodation</b>   |  |  |
| <b>PO15</b><br>The inclusion of Caretaker's accommodation on the site is necessary for the operation of the primary use, having regard to:<br>(a) hours of operation;<br>(b) nature of the use;<br>(c) security requirements;<br>(d) site location and access; and<br>(e) proximity to other land uses. | <b>AO15</b><br>No acceptable outcome is provided.  | Not Applicable.<br>No Caretaker's Accommodation is provided. However, a Manager's Residence is proposed onsite for the proposed Accommodation Activities. The proposed Manager's Accommodation is provided for security requirements, safety and general day to day and after hours running of the Short-Term Accommodation. |
| <b>If for Residential care facility or Retirement facility</b>  |  |  |
| <b>PO16</b><br>Retirement facilities include a range of housing designs and types that:   | <b>AO16</b><br>No acceptable outcome is provided.  | Not Applicable.<br>No Residential Care Facility or Retirement Facility proposed.   |

| Performance outcomes   | Acceptable outcomes  | Comments                                     |
|--|--|--|
| (a) meet the needs of residents;<br>(b) allow for 'ageing in place';<br>(c) consider differing mobility needs;<br>(d) accommodate differing financial situations; and<br>(e) cater for different household types.  |  |  |
| <b>If for Tourist park</b>   |  |  |
| <b>PO17</b><br>The Tourist park is appropriately located to provide park users with convenient access to tourist attractions, community facilities and infrastructure.   | <b>AO17</b><br>No acceptable outcome is provided.  | Not Applicable.<br>No Tourist Park proposed. |
| <b>PO18</b><br>The density of accommodation provided within the Tourist park:<br>(a) is commensurate with the size and utility of the site;<br>(b) is consistent with the scale and character of development in the surrounding area;<br>(c) ensures sufficient infrastructure and services can be provided;<br>(d) does not adversely impact on the existing amenity of nearby uses;<br>(e) ensures a high level of amenity is enjoyed by residents of the site; and<br>(f) does not place undue pressure on environmental processes in the surrounding area. | <b>AO18.1</b><br>Where park areas are proposed to exclusively accommodate caravans, motor homes, tents or cabins, accommodation site densities do not exceed:<br>(a) 40 caravan or motor home sites per hectare of the nominated area(s); or<br>(b) 60 tent sites per hectare of the nominated area(s); or<br>(c) 10 cabins (maximum 30m <sup>2</sup> gross floor area per cabin) per hectare of the nominated area(s).<br><br><b>AO18.2</b><br>Where park areas are proposed to be used for any combination of caravans, motor homes, tents or cabins, then the lowest applicable density identified by AO18.1 shall be applied to the nominated area(s). | Not Applicable.<br>No Tourist Park proposed. |
| <b>PO19</b><br>Accommodation sites are designed and located:<br>(a) to provide sufficient land for necessary services and infrastructure;<br>(b) to achieve sufficient separation between land uses;<br>(c) is consistent with the scale and character of development in the surrounding area; and<br>(d) to prevent amenity and privacy impacts on nearby land uses.  | <b>AO19.1</b><br>A minimum of 50% of provided caravan and motor home accommodation sites have a concrete slab with a minimum length of 6 metres and a minimum width of 2.4 metres.   | Not Applicable.<br>No Tourist Park proposed. |
|  | <b>AO19.2</b><br>Caravan, motor home, tent and cabin accommodation sites are set back a minimum of:<br>(a) 2 metres from an internal road; and<br>(b) 1.5 metres from the side and rear boundaries of the site.  | Not Applicable.<br>No Tourist Park proposed. |

| Performance outcomes   | Acceptable outcomes  | Comments                                     |
|--|--|--|
| <b>PO20</b><br>A Tourist park is provided with sufficient and appropriately located refuse collection areas. | <b>AO20.1</b><br>A central refuse collection area is provided to service all accommodation sites.<br><b>AO20.2</b><br>The refuse collection area must be kept in a sanitary condition at all times with all refuse stored in weather-proof and securable receptacles to prevent them from attracting vermin and wildlife.<br><b>AO20.3</b><br>The refuse collection area is constructed on an impervious surface such as a concrete slab.<br><b>AO20.4</b><br>A water connection is provided within the refuse collection area to facilitate cleaning of receptacles and the collection area.<br><b>AO20.5</b><br>Refuse collection areas are located a minimum of 10 metres from any recreational areas, communal cooking facilities and accommodation sites. | Not Applicable.<br>No Tourist Park proposed. |

### Airports Environs Overlay Code

The site is located inside of the 13km Bird and Bat Zone of the Bird and Bat Strike Zones and outside the 6 km Light Intensity and OLS on the Mareeba Overlay Mapping. The proposal is not considered to contribute to the potentially serious hazard from wildlife (bird or bat) strike and will ensure that potential food and waste sources are covered and collected so that they are not accessible to wildlife. It is considered that the Airports Environs Overlay Code is Not Applicable to the proposed Material Change of Use for a Short-Term Accommodation as the site is located outside the OLS and 6 km Light Intensity and will not affect the Bird and Bat Strike Zone.

### Landscaping Code

The proposed development is for the facilitation of a Short-Term Accommodation located at 28 Keeble Street, Mareeba. The proposal provides for Landscaping totalling in area of 1,061 m<sup>2</sup> which equates to approximately 38% of the site. This considered oversupply of Landscaping (greater than 10%) is provided along the frontages and throughout the site including large areas of Communal Open Space and BBQ Area of 181 m<sup>2</sup> and 197 m<sup>2</sup> respectively. The Landscaped Areas will include both landscaped areas and communal open space areas to be used as leisure areas within the Short-Term Accommodation. Any planting located within the nominated Landscaping Area will be provided as the preferred plant species which is understood to comply with the requirements of the Planning Scheme Policy. Landscaping is an important feature of a site, the proposed landscaping will be sourced from a local plant nursery to ensure that readily available and suitable plant species are planted. Plantings of various species, colour scheme, densities and heights will be selected to create a visually attractive site. The nominated Landscaping is considered to contribute to the Landscaping character of the Shire, complimenting the immediate surrounds and surrounding vicinity. The Landscaping provides for an attractive streetscape and assists in breaking up and softening the built form of the proposed Short-Term Accommodation. Appropriate Fencing is also provided where necessary to the adjoining allotments. Any plantings provided over the site will ensure suitability of the intended Short-Term Accommodation Use and will not include the provision of invasive weeds. The proposed Landscaping is considered appropriate for the proposed Short-Term Accommodation Use ensuring that these areas are easily maintained while allowing for casual surveillance and enhance the safety of pedestrians through the Crime Preventions Through Environmental Design (CPTED) principles.

The proposed Short-Term Accommodation will provide for large Open Space areas that encompass sufficient room for activities, a BBQ area and a communal open space providing tables and the likes. It is considered that the provided Open Space and Landscaping Area totalling 1,061 m<sup>2</sup> (37.9%) provides sufficient and substantial recreational areas within the site reducing the strain on the existing parklands within Mareeba. This considered oversupply of communal Open Space provides the ability of a range of activities and include the likes of communal tables, BBQ Area and tree and grassed spaces. It is considered that Short-Term Accommodation provides acceptable, appropriate and an oversupply of communal space for the Accommodation Activities. It is considered that with the provision of these large Open Space, Communal and Recreation Areas of 378 m<sup>2</sup> in addition to the other Open Space and Landscaping Areas provided within the development is sufficient for the proposal not to be imposed with any Open Space Infrastructure Charges with the development.

The proposed Landscaping will ensure to enhance the visual appeal and aspect of the proposed development. It is considered that the proposed development complies with the Purpose and Intent of the Landscaping Code.

### **Parking and Access Code**

The site contains frontage to the existing Road Network, being Keeble Street with an existing crossover provided from Keeble Street. The proposed development proposes a new access crossover to service the site. The Proposed Short-Term Accommodation Use's Proposal Plans nominates that twenty-three (23) parking spaces and one (1) 22-seater bus parking space are provided onsite for the overall development. The proposal provides for 31 units and a Manager's Unit requiring 32 parking spaces however, it is common knowledge that the occupants for Short-Term Accommodation either ride share or don't own a vehicle for the majority. While recent trends are starting to show that more and more Short-Term Accommodation users are starting to obtain a vehicle, the majority of these vehicles ride share. The proposal provides for a considered sufficient amount of vehicle parking spaces for the proposed Use, in addition to this the proposed development has designated a parking space for a 22-seater bus to ensure that sufficient and suitable vehicle spaces are provided for the development.

The dimensions of existing car parking spaces can satisfy the requirements of Australian Standard AS2890.1 and all parking spaces/driveway areas are appropriately sealed. It is considered that the proposed development is not in conflict with the Purpose or Intent of the Parking and Access Code and is acceptable.

### **Works, Services and Infrastructure Code**

The proposal is for a Material Change of Use for the facilitate the construction of a Short-Term Accommodation in the Medium Density Residential Zone of the Mareeba Shire Council's Planning Scheme. The site is/has the ability to be connected to all available urban services. The proposal will be connected to all available urban services and provided with appropriate and suitable stormwater drainage. The site will discharge in accordance with Council's nominated point of legal discharge.

The vacant site is generally flat with any Filling or Excavation anticipated to be limited to site preparation, levels and internal servicing or be provided as a part of an Operational Works Approval.

The site contains frontage to the existing Road Network, being Keeble Street with a new access proposed with the proposal. It is considered that the provided new crossover is appropriate and allow for the safe provision of access without effecting the existing Road Network.

It is considered that the proposed Short-Term Accommodation is not in conflict with the Purposes of the Works, Services and Infrastructure Code. The proposal is considered acceptable and appropriate.

## Conclusion

It is considered that the proposed development being a Material Change of Use to facilitate the construction of a Short-Term Accommodation over land described as Lot 71 on SP136296 is appropriate. The proposed design of this Accommodation development represents a development that has mitigated all possible negative effects of the surrounding environment and is considered acceptable. In particular, the proposed development:

- Is not in conflict with the Intent or Purposes for land designated in the Medium Density Residential Zone;
- Will encompass no significant negative impacts to the existing nature and amenity of the area, instead enhancing the amenity and character as the Material Change of Use provides an attractive (additional) local service to support the Residential population, surrounding industries and Townships;
- Can meet the Performance Outcomes and the Purpose of the Accommodation Activities Code;
- Is for the construction of a Short-Term Accommodation within the Mareeba Township ensuring additional Accommodation Activities that supports the surrounding Mareeba Township and environs. This helps to cement Mareeba as a Major Urban Area and Regional Centre of the Tablelands; and
- Provides for appropriate and acceptable level of servicing without compromising the environmental values of the Shire and Mareeba;

Freshwater Planning Pty Ltd request that Council provide a copy of the Draft Conditions with sufficient time for review prior to issuing a Decision Notice over the site, or tabulating and Item on the Agenda. If you have any queries, please do not hesitate to contact Freshwater Planning Pty Ltd.

Yours faithfully,



**MATTHEW ANDREJIC**

**FRESHWATER PLANNING PTY LTD**

P: 0402729004

E: [FreshwaterPlanning@outlook.com](mailto:FreshwaterPlanning@outlook.com)

17 Barron View Drive, FRESHWATER QLD 4870



|                               |                    |
|-------------------------------|--------------------|
| DESIGN WIND CLASSIFICATION C2 |                    |
| SHEET LIST                    |                    |
| 1323-A-00                     | COVER SHEET        |
| 1323-A-01                     | SITE PLAN A        |
| 1323-A-02                     | FLOOR PLAN A       |
| 1323-A-03                     | FIRST FLOOR PLAN A |
| 1323-A-04                     | ELEVATIONS A       |
| 2345-A-03                     | FOOTING PLAN       |
| 2345-A-05                     | ROOF FRAMING PLAN  |
| 2345-A-06                     | ELECTRICAL PLAN    |
| 2345-A-08                     | SECTION            |
| 2345-A-09                     | DETAILS            |
| 2345-A-10                     | NOTES              |

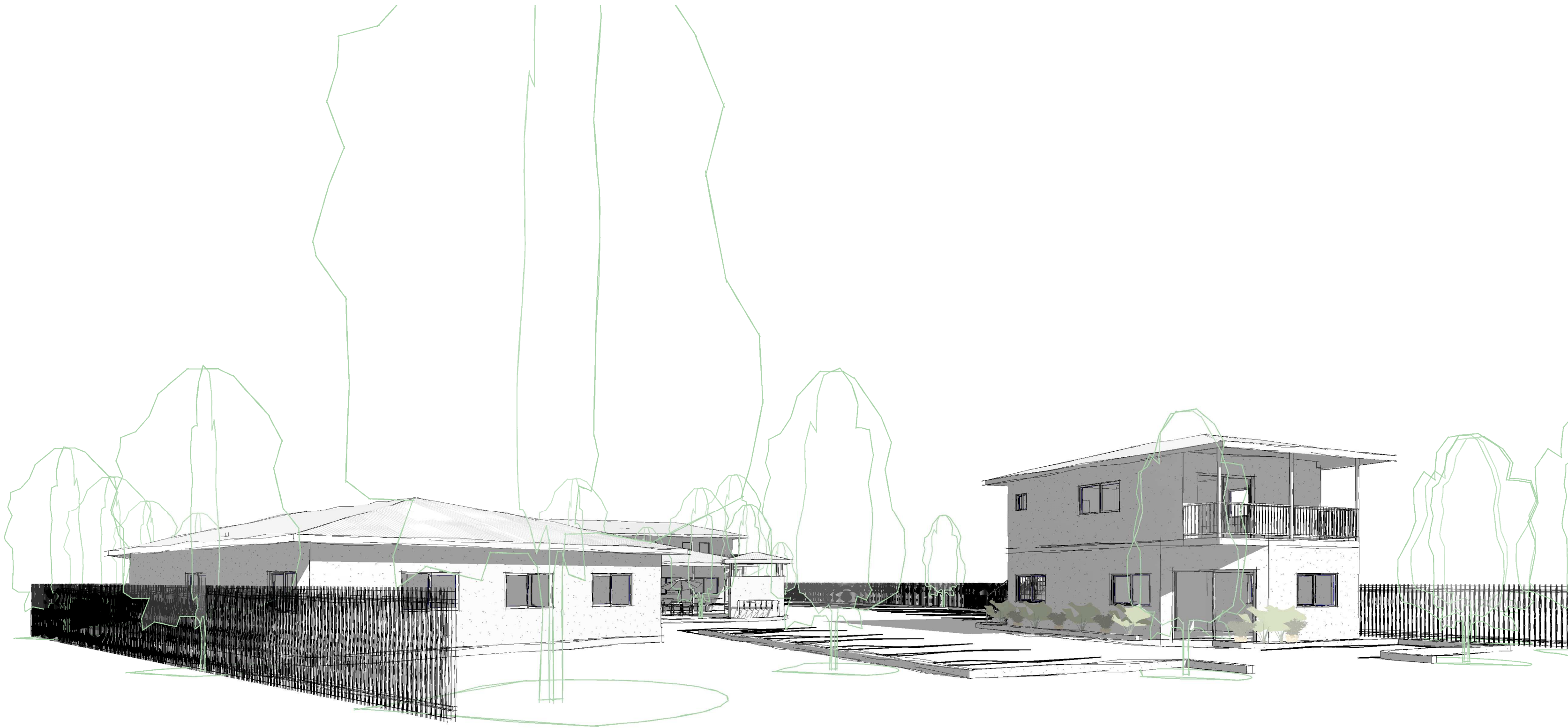
PROPOSED SHORT-TERM ACCOMODATION

FOR

JASSAR & MANESH

AT

28 KEEBLE STREET,  
MAREEBA



PRELIMINARY ONLY

| REVISIONS |  | DATE | <div><div>HU   MAC<br/>DESIGN</div><div>HUMAC DESIGN   Po Box 5737   Suite F11, 12 - 14 Lake St,<br/>Cairns, Q. 4870   p: 07 4031 7087   m: 0439 713 609<br/>w: www.humacdesign.com   e: shane@humacdesign.com   q: 125 6851</div></div> | <div>THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF HUMAC DESIGN.<br/>UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. DO NOT SCALE DRAWINGS.<br/>DIMENSIONS ARE NOMINAL. DIMENSIONS AND SITE CONDITIONS ARE TO BE VERIFIED PRIOR TO COMMENCING WORK. SUBSTITUTION, VARIATION OR MODIFICATION TO THE ORIGINAL DESIGN WILL VOID HUMAC DESIGN OF ANY RESPONSIBILITIES TO THE PERFORMANCE OF THE BUILDING.</div> | Project:       | PROPOSED SHORT-TERM ACCOMODATION<br>28 KEEBLE STREET,<br>MAREEBA | Drawn By:   | SR    |
|-----------|--|------|--|--|----------------|--|-------------|-------|
|           |  |      |  |  | Client Name:   | JASSAR & MANESH  | Checked By: | SR    |
|           |  |      |  |  | Drawing Title: | COVER SHEET  | Scale:      | AT A1 |
|           |  |      |  |  |                |  | Revision:   |       |
|           |  |      |  |  |                | Sheet No.:   | 1323-A-00   |       |



DESIGN WIND CLASSIFICATION C2

RP DESCRIPTION: LOT 71 on SP136296  
PARISH: BARRON COUNTY: NARES  
SITE AREA: 2797m² LOCAL AUTHORITY: MSC  
ZONE DESCRIPTION: MED DENSE RESIDENTIAL  
AFFECTED OVERLAYS: -

| LEGEND                                   |                        |
|--|------------------------|
| G1                                       | GATE (900 WIDE)        |
| G2                                       | GATE (3000 WIDE)       |
| -----#-----                              | FENCING AS SELECTED    |
| MH                                       | MAN HOLE               |
| WM                                       | WATER METRE            |
| -----S-----S-----S-----S-----S-----      | EXIST. SEWER           |
| -----SW-----SW-----SW-----SW-----SW----- | EXIST. STORMWATER      |
| -----RL-----RL-----RL-----RL-----RL----- | EXIST. POWER LINES     |
| -----W-----W-----W-----W-----W-----      | EXIST. WATER           |
| -----E-----E-----E-----E-----E-----      | EXIST. ELECTRICAL LINE |

NOTE  
NO SEWER PLAN AVAILABLE AT TIME OF DRAWING. VERIFY ON SITE PRIOR TO CONSTRUCTION.  
MAX 500KPa WATER PRESSURE OR INSTALL PRESSURE LIMITING DEVICE

SITE NOTES  
LICENSED PLUMBER TO CONFIRM FINAL ALIGNMENT OF HOUSE SEWER & STORMWATER. CONFIRM ALL FALLS PRIOR TO CONSTRUCTION.

CLIENT TO PROVIDE SKETCH PLAN SHOWING ANY FUTURE ALTERATIONS, EXTENSIONS, SWIMMING POOLS ETC. SO HOUSE SEWER & STORMWATER CAN BE ALIGNED TO ACCOMODATE REQUIREMENTS.

ALL PLUMBING & DRAINAGE WORK SHALL BE IN ACCORDANCE WITH SEWERAGE AND WATER SUPPLY ACT 1949-1982, ASSOCIATED AMENDMENTS & RELEVANT AUSTRALIAN STANDARDS.

FINISHED SLAB LEVEL TO BE MINIMUM 250mm ABOVE FINISHED GROUND LEVEL.

ALL EARTHWORKS TO COMPLY WITH AS 3798-1996 'GUIDELINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENTS'.

THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING, 1000mm WIDE, IS TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1 IN 20 MINIMUM TO AN EARTH DRAIN AS INDICATED ON THE SITE PLAN;

SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES;

ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER; CUT AND FILL BATTERS NOT TO EXCEED A MAXIMUM SLOPE AS PER BCA TABLE 3.1.1.1 FOR THE SITE SPECIFIC SOIL TYPE, REFER ALSO TO BCA CLAUSE 3.2.2.4 FOR SLAB EDGE SUPPORT ON SLOPING SITES;

RETAINING WALLS WITH 100ø AG PIPE BEHIND (TO DISCHARGE TO STORMWATER LINE) AND GRANULAR BACKFILL BEHIND, TO BE WHOLLY CONTAINED WITHIN THE SITE ONLY IF INDICATED ON THE PLANS;

THE HEIGHT OF FENCES, INCLUDING THE HEIGHT OF RETAINING WALLS ARE NOT TO EXCEED 2.0m ABOVE FINISHED GROUND LEVEL, ONLY IF INDICATED ON THE PLANS AND TO LOCAL AUTHORITY APPROVAL.

SITE PREPARATION  
SITE PREPARATION SHALL GENERALLY CONSIST OF CLEARANCE OF VEGETATION FOLLOWED BY EXCAVATION OF TOPSOILS AND MATERIAL TO SUIT FINAL DESIGN LEVELS

PROVISION SHALL BE MADE FOR THE DEMOLITION OF ANY EXISTING BUILDINGS INCLUDING BREAKING UP AND REMOVAL OF ANY OLD FOOTINGS, SERVICE PIPES, SEPTIC TANKS ETC WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION. ANY SOIL DISTURBED BY DEMOLITION SHALL BE RECOMPACTED.

IN THE PROPOSED ON GROUND FLOOR SLAB SUPPORT AND PAVEMENT AREAS, THE EXPOSED SUBGRADE SHALL BE UNIFORMLY COMPACTED TO ACHIEVE A DRY DENSITY RATIO OF NOT LESS THAN 95% OF THE MAXIMUM SATURATED VIBRATED DENSITY (AS1289 TESTS 5.3.1 & 5.5.1). SUBGRADE COMPACTION SHALL BE ACCOMPANIED BY GENERAL INSPECTION TO ALLOW DETECTION AND RECTIFICATION OF ANY LOCALISED COMPRESSIBLE ZONES WHICH MAY EXIST.

ANY FILLING PLACED IN THE BUILDING AND PAVEMENT AREAS SHALL BE UNIFORMLY COMPACTED IN LAYERS OF NOT MORE THAN 200mm FINAL THICKNESS, UNDER LEVEL 1 SUPERVISION (AS3798-1900 'GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS') TO THE MAX DRY DENSITY RATIO OF 95% SRDD (EXPRESSED AS A % OF THE MAXIMUM VIBRATED DENSITY ESTABLISHED BY TEST) METHODS AS1289 5.3.1, 5.4.1 AND 5.5.1 FOR COHESIONLESS (SAND) MATERIALS OR ALTERNATIVELY, STANDARD COMPACTION IF APPROPRIATE.)

ANY IMPORTED FILL SHALL COMPRISE LOW PLASTICITY GRANULAR MATERIAL WITH A PLASTICITY INDEX NOT MORE THAN 15% SAND CUT FROM BASEMENT AREA SHOULD BE SUITABLE FOR REUSE AS FILLING.

FILLINGS SHOULD NOT BE RETAINED OR BATTERED TO A SLOPE OF NOT STEEPER THAN 2h:1v. ALL EXPOSED FILLING SHALL BE PROTECTED FROM EROSION

CARE SHALL BE TAKEN TO ENSURE THAT ANY VIBRATORY ROLLING OR CONSTRUCTION ACTIVITIES DO NOT CAUSE DISTRESS (BY WAY OF INDUCED SETTLEMENT) TO ANY ADJACENT MOVEMENT - SENSITIVE FEATURES ETC.

| LEGEND         |   |
|----------------|---|
| CARPARKING -   | 1 SPACE PER UNIT<br>(1 x 32 = 32 SPACES)<br>23 SPACES PROVIDES (1 DDA)<br>1 BUS SPACE (22 SEATER) |
| BICYCLE -      | 1 SPACE PER 4 UNITS<br>(32/4 = 8 BICYCLE SPACES)  |
| AREAS:         |   |
| SITE AREA:     | 2797m²  |
| BUILDING AREA: | 1034m² (SITE COVER 36.9%)   |
| LANDSCAPE:     | 1061m² (SITE COVER 37.9%)<br>181m² (COMMUNIAL AREA)<br>197m² (BBQ AREA)                           |



SITE PLAN  
SCALE 1 : 200

ASSESSMENT ISSUE

| REVISIONS     |  | DATE       |  | <br>HUMAC DESIGN   Po Box 5737   Suite F11, 12 - 14 Lake St,<br>Cairns, Q. 4870   p: 07 4031 7087   m: 0439 713 609<br>w: www.humacdesign.com   e: shane@humacdesign.com   q: 125 6851 | THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF HUMAC DESIGN. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. DO NOT SCALE DRAWINGS. DIMENSIONS ARE NOMINAL. DIMENSIONS AND SITE CONDITIONS ARE TO BE VERIFIED PRIOR TO COMMENCING WORK. SUBSTITUTION, VARIATION OR MODIFICATION TO THE ORIGINAL DESIGN WILL VOID HUMAC DESIGN OF ANY RESPONSIBILITIES TO THE PERFORMANCE OF THE BUILDING. | Project:                  | Drawn By:       |  |
|---------------|--|------------|---|---|---|---------------------------|-----------------|--|
| A DA APPROVAL |  | 18.05.2018 |   |   |   | Checked By:               |                 |  |
|               |  |            |   |   |   | Scale:                    |                 |  |
|               |  |            |   |   |   | Revision:                 |                 |  |
|               |  |            |   |   |   | Sheet No.:                |                 |  |
|               |  |            |   |   | Client Name:  | 28 KEEBLE STREET, MAREEBA | JASSAR & MANESH |  |
|               |  |            |   |   | Drawing Title:  | SITE PLAN                 | 1323-A-01       |  |



DESIGN WIND CLASSIFICATION C2

| FLOOR AREA      |           |
|-----------------|-----------|
| ROOM NAME       | AREA (m2) |
| AMENITIES       | 90 m²     |
| BEDROOMS        | 498.2 m²  |
| CARETAKER       | 54 m²     |
| FF BEDROOMS     | 188.5 m²  |
| FF WALKWAY      | 41.5 m²   |
| KITCHEN/LAUNDRY | 114.7 m²  |
| OFFICE          | 52 m²     |
| STORAGE         | 28.1 m²   |
| WALKWAY         | 224.9 m²  |
|                 | 1291.9 m² |

GENERAL NOTES

VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS, MATERIAL PURCHASING, OFF SITE PRODUCTION AND/OR CONSTRUCTION;

ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF HUMAC DESIGN STAFF IMMEDIATELY BEFORE ACTION IS TAKEN;

DO NOT SCALE OFF DRAWINGS.;

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO DIMENSIONS SCALED OFF DRAWINGS;

SMALL SCALE DETAILS TAKE PRECEDENCE OVER GENERAL ARRANGEMENT PLANS;

DIMENSIONS SHOWN ARE IN MILLIMETRES UNLESS OTHERWISE NOTED;

CROSS REFERENCE ALL DRAWING WITHIN SET;  
PROVIDE ALL MATERIALS AND LABOUR, INCLUDING MAKING GOOD TO AFFECTED AREAS, TO ENSURE COMPLETELY SAFE AND RELIABLE INSTALLATION;

ALL TIMBER OR STEEL FRAMED WALLS TO WET AREAS TO BE LINED WITH FC OR APPROVED WET AREA CLADDING, FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS;

SUSPENDED TIMBER OR STEEL FRAMED FLOORS TO HAVE WET AREA FLOORING TO ALL WET AREAS, FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS;

THE SUB-FLOOR SPACE OF A DWELLING MUST BE VENTILATED IN ACCORDANCE WITH RELEVANT CODES & STANDARDS;

ALL GLAZING TO COMPLY WITH RELEVANT CODES & STANDARDS & MUST BE DESIGNED FOR THE WIND LOADS SPECIFIC TO THE BUILDING;

SMOKE ALARMS MUST BE INSTALLED IN ACCORDANCE WITH RELEVANT CODES & STANDARDS. BE MAINS CONNECTED & COMPLY WITH RELEVANT CODES & STANDARDS;

WATER CLOSETS (WC's) TO HAVE A MINIMUM CLEAR WIDTH OF 900mm;

DOORS TO WC's WHICH SWING 'IN' ARE TO HAVE LIFT-OFF HINGES. PROVIDE ADEQUATE CLEARANCE AT TOP OF DOOR TO SUIT HINGES;

ALL BALUSTRADES AND HANDRAILS TO BE 1000 MINIMUM ABOVE FINISHED FLOOR LEVEL (i.e. TOP OF TILES, CARPET etc) AND HAVE NO OPENINGS GREATER THAN 124mm, IN ACCORDANCE WITH RELEVANT CODES & STANDARDS.

THE CONTRACT WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND COMPLY WITH ALL REGULATIONS:  
- NATIONAL CONSTRUCTION CODE & BUILDING CODE OF AUSTRALIA (BCA) 2016  
- NATIONAL CODE OF PRACTICES FOR THE CONSTRUCTION INDUSTRY  
- AUSTRALIAN GOVERNMENT GUIDELINES FOR THE NATIONAL CODE OF PRACTICE FOR THE CONSTRUCTION INDUSTRY

TERMITE PROTECTION NOTES

A TERMITE MANAGEMENT SYSTEM MUST BE INSTALLED IN ACCORDANCE WITH BCA part 3.1.3 & AS3660 - TERMITE MANAGEMENT FOR A SLAB CONFORMING WITH AS2870 - RESIDENTIAL SLABS & FOOTINGS - CONSTRUCTION.  
TERMITE BARRIERS MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS OR BY AN ACCREDITED TECHNICIAN.  
WHERE A CONCRETE SLAB-ON-GROUND IS USED AS THE BARRIER, NOT LESS THAN 75mm OF THE SLAB EDGE MUST REMAIN EXPOSED ABOVE FINISHED GROUND LEVEL, MUST BE A CLEAN, SMOOTH FINISH AND MUST NOT BE CONCEALED BY RENDER, TILES, CLADDINGS OR FLASHINGS.

BEDROOM LEGEND

|                    |                   |
|--------------------|-------------------|
| 2 BED ENSUITE DORM | - 4 (8 PERSON)    |
| 4 BED ENSUITE DORM | - 10 (40 PERSON)  |
| 4 BED DORM         | - 5 (20 PERSON)   |
| 6 BED DORM         | - 8 (48 PERSON)   |
| 8 BED DORM         | - 4 (32 PERSON)   |
| TOTAL              | - 31 (148 PERSON) |



**FLOOR PLAN**  
SCALE 1 : 100

ASSESSMENT ISSUE

| REVISIONS     |  | DATE       | <div>010002000300040005000mm<br/>SCALE 1:100 AT ORIGINAL SIZE</div> <div></div> | <div><b>HU   MAC</b><br/>DESIGN<br/>HUMAC DESIGN   Po Box 5737   Suite F11, 12 - 14 Lake St,<br/>Cairns, Q, 4870   p: 07 4031 7087   m: 0439 713 609<br/>w: www.humacdesign.com   e: shane@humacdesign.com   q: 125 6851</div> | <div>THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF HUMAC DESIGN.<br/>UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. DO NOT SCALE DRAWINGS.<br/>DIMENSIONS ARE NOMINAL. DIMENSIONS AND SITE CONDITIONS ARE TO BE VERIFIED PRIOR TO COMMENCING WORK. SUBSTITUTION, VARIATION OR MODIFICATION TO THE ORIGINAL DESIGN WILL VOID HUMAC DESIGN OF ANY RESPONSIBILITIES TO THE PERFORMANCE OF THE BUILDING.</div> | Project:                            | Drawn By:             |
|---------------|--|------------|---|--|--|-------------------------------------|-----------------------|
| A DA APPROVAL |  | 18.05.2018 |   |  |  | 28 KEEBLE STREET, MAREEBA           | SR                    |
|               |  |            |   |  |  | Client Name:                        | Checked By:           |
|               |  |            |   |  |  | JASSAR & MANESH                     | SR                    |
|               |  |            | <div>Project:</div> <div>Drawing Title:</div>                                   | <div>28 KEEBLE STREET, MAREEBA</div> <div>FLOOR PLAN</div>   | <div>Scale:</div> <div>Revision:</div>   | <div>1:100 AT A1</div> <div>A</div> | <div>Sheet No.:</div> |
|               |  |            |   |  |  |                                     |                       |

DESIGN WIND CLASSIFICATION C2

| FLOOR AREA      |           |
|-----------------|-----------|
| ROOM NAME       | AREA (m2) |
| AMENITIES       | 90 m²     |
| BEDROOMS        | 498.2 m²  |
| CARETAKER       | 54 m²     |
| FF BEDROOMS     | 188.5 m²  |
| FF WALKWAY      | 41.5 m²   |
| KITCHEN/LAUNDRY | 114.7 m²  |
| OFFICE          | 52 m²     |
| STORAGE         | 28.1 m²   |
| WALKWAY         | 224.9 m²  |
|                 | 1291.9 m² |

GENERAL NOTES

VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS, MATERIAL PURCHASING, OFF SITE PRODUCTION AND/OR CONSTRUCTION;

ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF HUMAC DESIGN STAFF IMMEDIATELY BEFORE ACTION IS TAKEN;

DO NOT SCALE OFF DRAWINGS.;

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO DIMENSIONS SCALED OFF DRAWINGS;

SMALL SCALE DETAILS TAKE PRECEDENCE OVER GENERAL ARRANGEMENT PLANS;

DIMENSIONS SHOWN ARE IN MILLIMETRES UNLESS OTHERWISE NOTED;

CROSS REFERENCE ALL DRAWING WITHIN SET;  
PROVIDE ALL MATERIALS AND LABOUR, INCLUDING MAKING GOOD TO AFFECTED AREAS, TO ENSURE COMPLETELY SAFE AND RELIABLE INSTALLATION;

ALL TIMBER OR STEEL FRAMED WALLS TO WET AREAS TO BE LINED WITH FC OR APPROVED WET AREA CLADDING, FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS;

SUSPENDED TIMBER OR STEEL FRAMED FLOORS TO HAVE WET AREA FLOORING TO ALL WET AREAS; FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS;

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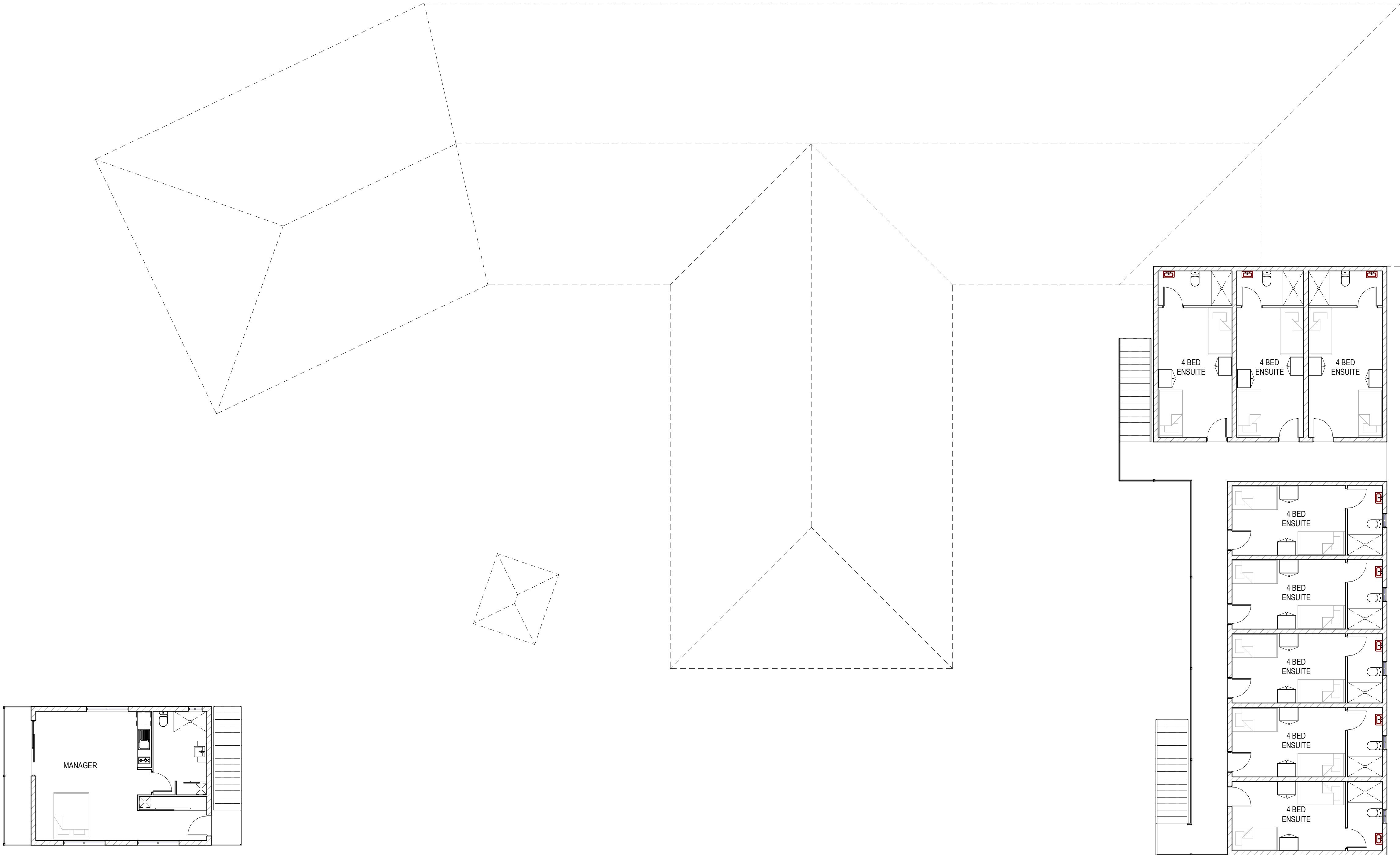
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| TOTAL              | - 31 (148 PERSON) |

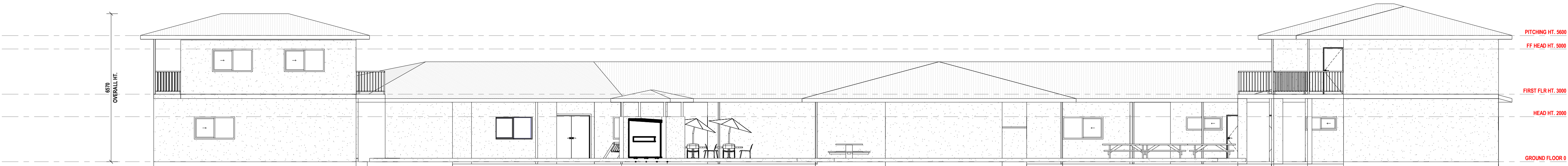


FIRST FLOOR PLAN  
SCALE 1 : 100

ASSESSMENT ISSUE

| REVISIONS     |  | DATE       |   | <br>HUMAC DESIGN   Po Box 5737   Suite F11, 12 - 14 Lake St,<br>Cairns, Q. 4870   p: 07 4031 7087   m: 0439 713 609<br>w: www.humacdesign.com   e: shane@humacdesign.com   q: 125 6851 | THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF HUMAC DESIGN.<br>UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. DO NOT SCALE DRAWINGS.<br>DIMENSIONS ARE NOMINAL. DIMENSIONS AND SITE CONDITIONS ARE TO BE VERIFIED PRIOR TO COMMENCING WORK. SUBSTITUTION, VARIATION OR MODIFICATION TO THE ORIGINAL DESIGN WILL VOID HUMAC DESIGN OF ANY RESPONSIBILITIES TO THE PERFORMANCE OF THE BUILDING. | Project:       | PROPOSED SHORT-TERM ACCOMODATION<br>28 KEEBLE STREET,<br>MAREEBA | Drawn By:   | SR          |
|---------------|--|------------|---|---|---|----------------|--|-------------|-------------|
| A DA APPROVAL |  | 18.05.2018 |   |   |   | Client Name:   | JASSAR & MANESH  | Checked By: | SR          |
|               |  |            |   |   |   | Drawing Title: | FIRST FLOOR PLAN   | Scale:      | 1:100 AT A1 |
|               |  |            |   |   |   |                |  | Revision:   | A           |
|               |  |            |   |   |   |                |  |             |             |

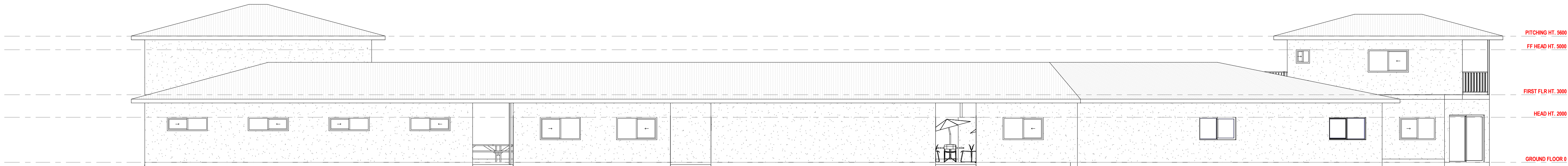




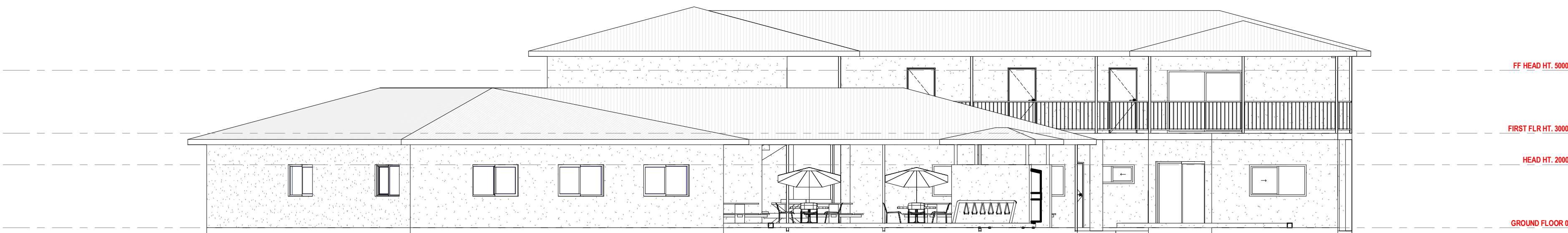
Elevation 1  
SCALE 1:100



Elevation 2  
SCALE 1:100



Elevation 3  
SCALE 1:100



Elevation 4  
SCALE 1:100

ASSESSMENT ISSUE

| REVISIONS     | DATE       |
|---------------|------------|
| A DA APPROVAL | 18.05.2018 |
|               |            |
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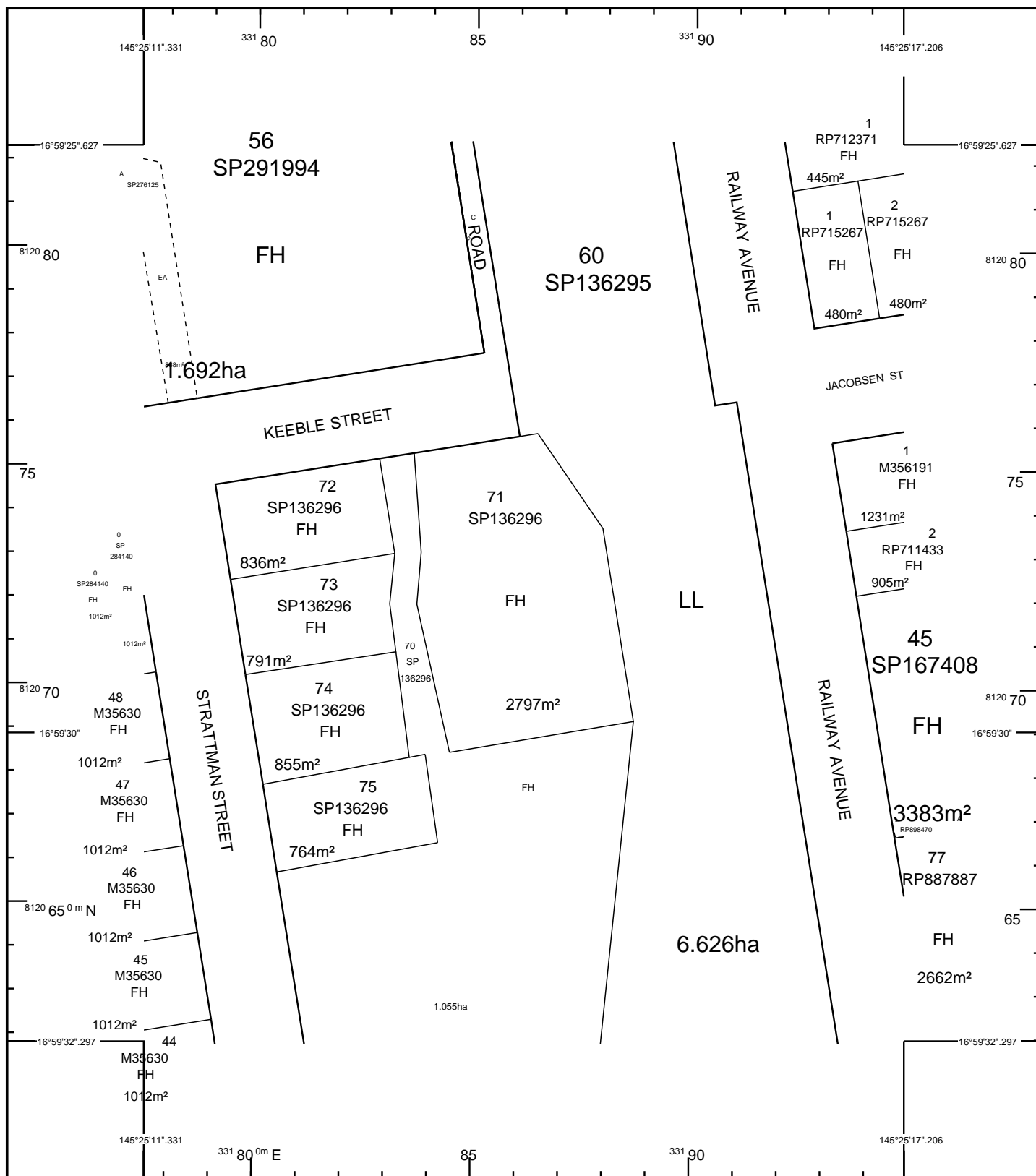
DESIGN

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Cairns, Q. 4870 | p: 07 4031 7087 | m: 0439 713 609  
w: www.humacdesign.com | e: shane@humacdesign.com | q: 125 6851

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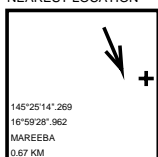
|                |  |
|----------------|--|
| Project:       | PROPOSED SHORT-TERM ACCOMODATION<br>28 KEEBLE STREET,<br>MAREEBA |
| Client Name:   | JASSAR & MANESH  |
| Drawing Title: | ELEVATIONS   |

|             |             |
|-------------|-------------|
| Drawn By:   | SR          |
| Checked By: | SR          |
| Scale:      | 1:100 AT A1 |
| Revision:   | A           |
| Sheet No.:  | 1323-A-04   |



STANDARD MAP NUMBER  
7964-22323

MAP WINDOW POSITION &  
NEAREST LOCATION



#### SUBJECT PARCEL DESCRIPTION

|                  |               |
|------------------|---------------|
| DCDB             | 71/SP136296   |
| Lot/Plan         | 2797m²        |
| Area/Volume      | FREEHOLD      |
| Tenure           | MAREEBA SHIRE |
| Local Government | MAREEBA       |
| Locality         | 9032/724      |
| Segment/Parcel   |               |

#### CLIENT SERVICE STANDARDS

PRINTED (dd/mm/yyyy) 19/06/2018

DCDB 18/06/2018

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**SmartMap**

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SmartMap Information Services

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Digital Cadastral Data Base



(c) The State of Queensland,  
(Department of Natural  
Resources and Mines) 2018.

20 June, 2018

Chief Executive Officer  
Mareeba Shire Council  
PO Box 154  
**MAREEBA QLD 4880**

Dear Sir,

**RE: APPLICATION FOR MATERIAL CHANGE OF USE  
LOT 71 ON SP136296, 28 KEEBLE STREET, MAREEBA**

Under Section 51 of the *Planning Act 2016* it is mandatory for the owner of the land to which a Development Application relates to consent to the making of the Application.

SND DEVELOPERS PTY LTD as the registered owners of 28 Keeble Street, Mareeba and more particularly described as Lot 71 on SP136296, authorise Freshwater Planning Pty Ltd to lodge a Town Planning Application on our behalf.



DEEPINDER PAL SINGH JASSAR



# DA Form 1 – Development application details

**Approved form (version 1.0 effective 3 July 2017) made under section 282 of the Planning Act 2016.**

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development**, use this form (*DA Form 1*) **and** parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

| 1) Applicant details                                       |   |
|--|---|
| Applicant name(s) <i>(individual or company full name)</i> | SND DEVELOPERS Pty Ltd                                  |
| Contact name <i>(only applicable for companies)</i>        |   |
| Postal address <i>(P.O. Box or street address)</i>         | C/- Freshwater Planning Pty Ltd<br>17 Barron View Drive |
| Suburb   | Freshwater  |
| State  | Queensland  |
| Postcode   | 4870  |
| Country  | Australia   |
| Contact number   | 0402 729 004  |
| Email address <i>(non-mandatory)</i>                       | FreshwaterPlanning@outlook.com                          |
| Mobile number <i>(non-mandatory)</i>                       |   |
| Fax number <i>(non-mandatory)</i>                          |   |
| Applicant's reference number(s) <i>(if applicable)</i>     | F18/20  |

| 2) Owner's consent   |  |
|--|--|
| 2.1) Is written consent of the owner required for this development application?  |  |
| <input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application<br><input type="checkbox"/> No – proceed to 3) |  |

## PART 2 – LOCATION DETAILS

## 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

## 3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

|    |          |            |                                    |                          |
|----|----------|------------|------------------------------------|--------------------------|
| a) | Unit No. | Street No. | Street Name and Type               | Suburb                   |
|    |          | 28         | Keeble Street                      | Mareeba                  |
|    | Postcode | Lot No.    | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
|    | 4880     | 71         | SP136296                           | Mareeba Shire Council    |
| b) | Unit No. | Street No. | Street Name and Type               | Suburb                   |
|    |          |            |                                    |                          |
|    | Postcode | Lot No.    | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
|    |          |            |                                    |                          |

## 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

☐ Coordinates of premises by longitude and latitude

|              |             |   |  |
|--------------|-------------|---|--|
| Longitude(s) | Latitude(s) | Datum   | Local Government Area(s) (if applicable) |
|              |             | <input type="checkbox"/> WGS84<br><input type="checkbox"/> GDA94<br><input type="checkbox"/> Other: |  |

☐ Coordinates of premises by easting and northing

|            |             |   |   |  |
|------------|-------------|---|---|--|
| Easting(s) | Northing(s) | Zone Ref.   | Datum   | Local Government Area(s) (if applicable) |
|            |             | <input type="checkbox"/> 54<br><input type="checkbox"/> 55<br><input type="checkbox"/> 56 | <input type="checkbox"/> WGS84<br><input type="checkbox"/> GDA94<br><input type="checkbox"/> Other: |  |

## 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and their details have been attached in a schedule to this application  
☒ Not required

## 4) Identify any of the following that apply to the premises and provide any relevant details

|   |  |
|---|--|
| <input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer                                  |  |
| Name of water body, watercourse or aquifer:   |  |
| <input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>                                |  |
| Lot on plan description of strategic port land:   |  |
| Name of port authority for the lot:   |  |
| <input type="checkbox"/> In a tidal area  |  |
| Name of local government for the tidal area (if applicable):  |  |
| Name of port authority for tidal area (if applicable):  |  |
| <input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>                    |  |
| Name of airport:  |  |
| <input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i> |  |
| EMR site identification:  |  |

☐ Listed on the Contaminated Land Register (CLR) under the *Environmental Protection Act 1994*

CLR site identification:

### 5) Are there any existing easements over the premises?

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☒ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

#### 6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

☒ Material change of use

☐ Reconfiguring a lot

☐ Operational work

☐ Building work

b) What is the approval type? *(tick only one box)*

☒ Development permit

☐ Preliminary approval

☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☐ Code assessment

☒ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Short-Term Accommodation

e) Relevant plans

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

☒ Relevant plans of the proposed development are attached to the development application

#### 6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

☐ Material change of use

☐ Reconfiguring a lot

☐ Operational work

☐ Building work

b) What is the approval type? *(tick only one box)*

☐ Development permit

☐ Preliminary approval

☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☐ Code assessment

☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*

e) Relevant plans

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☐ Relevant plans of the proposed development are attached to the development application

#### 6.3) Additional aspects of development

☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

☒ Not required

## Section 2 – Further development details

## 7) Does the proposed development application involve any of the following?

|                        |   |
|------------------------|---|
| Material change of use | <input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot    | <input type="checkbox"/> Yes – complete division 2  |
| Operational work       | <input type="checkbox"/> Yes – complete division 3  |
| Building work          | <input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>                                |

## Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

## 8.1) Describe the proposed material change of use

| Provide a general description of the proposed use | Provide the planning scheme definition (include each definition in a new row) | Number of dwelling units (if applicable) | Gross floor area (m <sup>2</sup> ) (if applicable) |
|---|---|--|--|
| Short-Term Accommodation                          | Short-Term Accommodation  |  | 1,292 m <sup>2</sup>                               |
|   |   |  |  |

## 8.2) Does the proposed use involve the use of existing buildings on the premises?

|  |  |  |
|--|--|--|
| <input type="checkbox"/> Yes           |  |  |
| <input checked="" type="checkbox"/> No |  |  |

## Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

## 9.1) What is the total number of existing lots making up the premises?

|  |
|--|
|  |
|--|

## 9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

|  |  |
|--|--|
| <input type="checkbox"/> Subdivision (complete 10))          | <input type="checkbox"/> Dividing land into parts by agreement (complete 11))  |
| <input type="checkbox"/> Boundary realignment (complete 12)) | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13)) |

## 10) Subdivision

## 10.1) For this development, how many lots are being created and what is the intended use of those lots:

| Intended use of lots created | Residential | Commercial | Industrial | Other, please specify: |
|------------------------------|-------------|------------|------------|------------------------|
|                              |             |            |            |                        |
| Number of lots created       |             |            |            |                        |

## 10.2) Will the subdivision be staged?

|   |  |
|---|--|
| <input type="checkbox"/> Yes – provide additional details below |  |
| <input type="checkbox"/> No                                     |  |
| How many stages will the works include?                         |  |
| What stage(s) will this development application apply to?       |  |

## 11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

| Intended use of parts created | Residential | Commercial | Industrial | Other, please specify: |
|-------------------------------|-------------|------------|------------|------------------------|
|                               |             |            |            |                        |
| Number of parts created       |             |            |            |                        |

**12) Boundary realignment****12.1) What are the current and proposed areas for each lot comprising the premises?**

| Current lot             |                        | Proposed lot            |                        |
|-------------------------|------------------------|-------------------------|------------------------|
| Lot on plan description | Area (m <sup>2</sup> ) | Lot on plan description | Area (m <sup>2</sup> ) |
|                         |                        |                         |                        |
|                         |                        |                         |                        |

**12.2) What is the reason for the boundary realignment?**

|  |
|--|
|  |
|--|

**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)**

| Existing or proposed? | Width (m) | Length (m) | Purpose of the easement? (e.g. pedestrian access) | Identify the land/lot(s) benefitted by the easement |
|-----------------------|-----------|------------|---|---|
|                       |           |            |   |   |
|                       |           |            |   |   |

**Division 3 – Operational work**

**Note:** This division is only required to be completed if any part of the development application involves operational work.

**14.1) What is the nature of the operational work?**

|   |                                     |  |
|---|-------------------------------------|--|
| <input type="checkbox"/> Road work  | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure  |
| <input type="checkbox"/> Drainage work  | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping  | <input type="checkbox"/> Signage    | <input type="checkbox"/> Clearing vegetation   |
| <input type="checkbox"/> Other – please specify: <table border="1" style="width: 600px; height: 20px;"></table> |                                     |  |

**14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)**

|  |  |
|--|--|
| <input type="checkbox"/> Yes – specify number of new lots: |  |
| <input type="checkbox"/> No                                |  |

**14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)**

|    |
|----|
| \$ |
|----|

**PART 4 – ASSESSMENT MANAGER DETAILS****15) Identify the assessment manager(s) who will be assessing this development application**

|                       |
|-----------------------|
| Mareeba Shire Council |
|-----------------------|

**16) Has the local government agreed to apply a superseded planning scheme for this development application?**

|   |
|---|
| <input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application                                  |
| <input type="checkbox"/> Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached |
| <input checked="" type="checkbox"/> No  |

**PART 5 – REFERRAL DETAILS****17) Do any aspects of the proposed development require referral for any referral requirements?**

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

|  |
|--|
| <input type="checkbox"/> No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6 |
|--|

Matters requiring referral to the **chief executive of the Planning Regulation 2017:**

|  |
|--|
| <input type="checkbox"/> Clearing native vegetation              |
| <input type="checkbox"/> Contaminated land (unexploded ordnance) |

|   |
|---|
| <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA have not been devolved to a local government)</i><br><input type="checkbox"/> Fisheries – aquaculture<br><input type="checkbox"/> Fisheries – declared fish habitat area<br><input type="checkbox"/> Fisheries – marine plants<br><input type="checkbox"/> Fisheries – waterway barrier works<br><input type="checkbox"/> Hazardous chemical facilities<br><input type="checkbox"/> Queensland heritage place <i>(on or near a Queensland heritage place)</i><br><input type="checkbox"/> Infrastructure – designated premises<br><input type="checkbox"/> Infrastructure – state transport infrastructure<br><input checked="" type="checkbox"/> Infrastructure – state transport corridors and future state transport corridors<br><input type="checkbox"/> Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels<br><input type="checkbox"/> Infrastructure – state-controlled roads<br><input type="checkbox"/> Land within Port of Brisbane's port limits<br><input type="checkbox"/> SEQ development area<br><input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – community activity<br><input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – indoor recreation<br><input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – residential development<br><input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – urban activity<br><input type="checkbox"/> Tidal works or works in a coastal management district<br><input type="checkbox"/> Urban design<br><input type="checkbox"/> Water-related development – taking or interfering with water<br><input type="checkbox"/> Water-related development – removing quarry material <i>(from a watercourse or lake)</i><br><input type="checkbox"/> Water-related development – referable dams<br><input type="checkbox"/> Water-related development – construction of new levees or modification of existing levees <i>(category 2 or 3 levees only)</i><br><input type="checkbox"/> Wetland protection area |
| <b>Matters requiring referral to the local government:</b>  |
| <input type="checkbox"/> Airport land<br><input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA have been devolved to local government)</i><br><input type="checkbox"/> Local heritage places   |
| <b>Matters requiring referral to the chief executive of the distribution entity or transmission entity:</b>   |
| <input type="checkbox"/> Electricity infrastructure   |
| <b>Matters requiring referral to:</b> <ul style="list-style-type: none"> <li>• The <b>chief executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> <input type="checkbox"/> Oil and gas infrastructure  |
| <b>Matters requiring referral to the Brisbane City Council:</b>   |
| <input type="checkbox"/> Brisbane core port land  |
| <b>Matters requiring referral to the Minister under the Transport Infrastructure Act 1994:</b>  |
| <input type="checkbox"/> Brisbane core port land<br><input type="checkbox"/> Strategic port land  |
| <b>Matters requiring referral to the relevant port operator:</b>  |
| <input type="checkbox"/> Brisbane core port land (below high-water mark and within port limits)   |
| <b>Matters requiring referral to the chief executive of the relevant port authority:</b>  |
| <input type="checkbox"/> Land within limits of another port   |
| <b>Matters requiring referral to the Gold Coast Waterways Authority:</b>  |
| <input type="checkbox"/> Tidal works, or development in a coastal management district in Gold Coast waters  |
| <b>Matters requiring referral to the Queensland Fire and Emergency Service:</b>   |
| <input type="checkbox"/> Tidal works, or development in a coastal management district   |

**18) Has any referral agency provided a referral response for this development application?**

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

| Referral requirement   | Referral agency | Date of referral response |
|--|-----------------|---------------------------|
|  |                 |                           |
|  |                 |                           |
| Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable). |                 |                           |
|  |                 |                           |

**PART 6 – INFORMATION REQUEST****19) Information request under Part 3 of the DA Rules**

- ☒ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

**PART 7 – FURTHER DETAILS****20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)**

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

| List of approval/development application references | Reference number | Date | Assessment manager |
|---|------------------|------|--------------------|
| <input type="checkbox"/> Approval                   |                  |      |                    |
| <input type="checkbox"/> Development application    |                  |      |                    |
| <input type="checkbox"/> Approval                   |                  |      |                    |
| <input type="checkbox"/> Development application    |                  |      |                    |

**21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)**

- ☐ Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☒ Not applicable

| Amount paid | Date paid (dd/mm/yy) | QLeave levy number (A, B or E) |
|-------------|----------------------|--------------------------------|
| \$          |                      |                                |

**22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?**

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No



## 23) Further legislative requirements

**Environmentally relevant activities**

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

☐ Yes – the required attachment (form EM941) for an application for an environmental authority accompanies this development application, and details are provided in the table below

☒ No

**Note:** Application for an environmental authority can be found by searching “EM941” at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:

Proposed ERA threshold:

Proposed ERA name:

☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

**Hazardous chemical facilities**

23.2) Is this development application for a **hazardous chemical facility**?

☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application

☒ No

**Note:** See [www.justice.qld.gov.au](http://www.justice.qld.gov.au) for further information.

**Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application is accompanied by written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

**Note:** See [www.qld.gov.au](http://www.qld.gov.au) for further information.

**Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

**Koala conservation**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes

☒ No

**Note:** See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.

**Water resources**

23.6) Does this development application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, taking overland flow water or waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

**Note:** DA templates are available from [www.dilgp.qld.gov.au](http://www.dilgp.qld.gov.au).

23.7) Does this application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water** under the *Water Act 2000*?

☐ Yes – I acknowledge that a relevant water authorisation under the *Water Act 2000* may be required prior to

commencing development

☒ No

**Note:** Contact the Department of Natural Resources and Mines at [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au) for further information.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

**Note:** Contact the Department of Natural Resources and Mines at [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au) for further information.

### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

**Note:** Contact the Department of Environment and Heritage Protection at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.

### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

☒ No

**Note:** See guidance materials at [www.dews.qld.gov.au](http://www.dews.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district?**

☐ Yes – the following is included with this development application:

☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)

☐ A certificate of title

☒ No

**Note:** See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

**Note:** See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for information requirements regarding development of Queensland heritage places.

|                             |  |           |  |
|-----------------------------|--|-----------|--|
| Name of the heritage place: |  | Place ID: |  |
|-----------------------------|--|-----------|--|

### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel?**

☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*

☒ No

**Decision under section 62 of the *Transport Infrastructure Act 1994***

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☒ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- ☐ No

**PART 8 – CHECKLIST AND APPLICANT DECLARATION****24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes**Note:** See the *Planning Regulation 2017* for referral requirementsIf building work is associated with the proposed development, Parts 4 to 6 of *Form 2 – Building work details* have been completed and attached to this development application☐ Yes☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see *DA Forms Guide: Planning Report Template*.☒ Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see *DA Forms Guide: Relevant plans*.☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21))

☐ Yes☒ Not applicable**25) Applicant declaration**☒ By making this development application, I declare that all information in this development application is true and correct☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001***Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 9 – FOR OFFICE USE ONLY

Date received:  Reference number(s):

### Notification of engagement of alternative assessment manager

|   |  |
|---|--|
| Prescribed assessment manager                           |  |
| Name of chosen assessment manager                       |  |
| Date chosen assessment manager engaged                  |  |
| Contact number of chosen assessment manager             |  |
| Relevant licence number(s) of chosen assessment manager |  |

### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

|   |  |
|---|--|
| Description of the work                           |  |
| QLeave project number                             |  |
| Amount paid (\$)                                  |  |
| Date paid   |  |
| Date receipted form sighted by assessment manager |  |
| Name of officer who sighted the form              |  |

The *Planning Act 2016*, the *Planning Regulation 2017* and the *DA Rules* are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.