

From: Kristy Gilvear
Sent: 29 Aug 2017 17:08:42 +1000
To: Info (Shared)
Subject: New development application for MCU educational facility and low impact industry - Ngoonbi Community Services Indigenous Corporation - Lot 322 SP118917 - Arara Street Kuranda
Attachments: DA Form 1.pdf, 20170725 Planning Report.pdf, Owner's Consent Form - Ngoonbi Community Services Indigenous Corporation....pdf

Good afternoon,

Gilvear Planning has been engaged to assist Ngoonbi Community Services Indigenous Corporation in preparation and lodgement of an Application for Material Change of Use for Educational Establishment, Low Impact Industry, Office and / or Contractors Depot (Mechanics Workshop, Construction Business, Offices and Meeting Rooms) on land at Arara Street, Kuranda more particularly described as Lot 322 on SP118917.

Please find attached for consideration:

1. DA Form 1;
2. Planning Report including statements of compliance;
3. Owners Consent form.

I would be grateful to receive Councils' acknowledgement of receipt of this Application, and an Invoice for the Application fee payable (made out to Ngoonbi Community Services Indigenous Corporation c/- Gilvear Planning) so that I may arrange payment of that amount as soon as possible.

Should additional information be required, please call or email.

Thanks and regards,

Kristy Gilvear **DIRECTOR**

0448 897 991
PO Box 228 Babinda QLD 4861

www.gilvearplanning.com.au



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DA Form 1 – Development application details

Approved form (version 1.0 effective 3 July 2017) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development**, use this form (*DA Form 1*) **and** parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Ngoonbi Community Services Indigenous Corporation
Contact name <i>(only applicable for companies)</i>	Kristy Gilvear, Gilvear Planning Pty Ltd
Postal address <i>(P.O. Box or street address)</i>	PO Box 28
Suburb	Babinda
State	QLD
Postcode	4861
Country	Australia
Contact number	0448 897 991
Email address <i>(non-mandatory)</i>	kristy@gilvearplanning.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	J000580

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application <input type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

☒ Street address **AND** lot on plan (all lots must be listed), **or**

☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			Arara Street	Kuranda
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		322	SP118917	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

☐ Additional premises are relevant to this development application and their details have been attached in a schedule to this application

☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

☐ Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994*

EMR site identification:

☐ Listed on the Contaminated Land Register (CLR) under the *Environmental Protection Act 1994*

CLR site identification:

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☐ Code assessment ☒ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Educational Establishment, Low Impact Industry, Office and/or Contractors Depot (Mechanics Workshop, Construction Business, Offices, Meeting Rooms)

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Educational Establishment, Low Impact Industry, Office and/or Contractors Depot (Mechanics Workshop, Construction Business, Offices, Meeting Rooms)	Educational Establishment		630sqm.
	Low Impact Industry		

8.2) Does the proposed use involve the use of existing buildings on the premises?

<input type="checkbox"/> Yes		
<input checked="" type="checkbox"/> No		

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

<input type="checkbox"/> Yes – provide additional details below
<input type="checkbox"/> No
How many stages will the works include?
What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

- | | | |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: <table border="1" style="display: inline-table; width: 400px; height: 20px;"></table> | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)
☐ Yes – specify number of new lots:

☐ No
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS**15) Identify the assessment manager(s) who will be assessing this development application**

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS**17) Do any aspects of the proposed development require referral for any referral requirements?**

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☐ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the chief executive of the Planning Regulation 2017:

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure – designated premises
- ☐ Infrastructure – state transport infrastructure
- ☒ Infrastructure – state transport corridors and future state transport corridors
- ☐ Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure – state-controlled roads
- ☐ Land within Port of Brisbane's port limits
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ Rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ Rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ Rural living area – residential development
- ☐ SEQ regional landscape and rural production area or SEQ Rural living area – urban activity
- ☐ Tidal works or works in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – construction of new levees or modification of existing levees (*category 2 or 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the local government:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- ☐ Local heritage places

Matters requiring referral to the chief executive of the distribution entity or transmission entity:

- ☐ Electricity infrastructure

Matters requiring referral to: <ul style="list-style-type: none"> The chief executive of the holder of the licence, if not an individual The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council : <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the Minister under the Transport Infrastructure Act 1994 : <input type="checkbox"/> Brisbane core port land <input type="checkbox"/> Strategic port land
Matters requiring referral to the relevant port operator : <input type="checkbox"/> Brisbane core port land (below high-water mark and within port limits)
Matters requiring referral to the chief executive of the relevant port authority : <input type="checkbox"/> Land within limits of another port
Matters requiring referral to the Gold Coast Waterways Authority : <input type="checkbox"/> Tidal works, or development in a coastal management district in Gold Coast waters
Matters requiring referral to the Queensland Fire and Emergency Service : <input type="checkbox"/> Tidal works, or development in a coastal management district

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
<p>Note: By not agreeing to accept an information request I, the applicant, acknowledge:</p> <ul style="list-style-type: none"> that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. <p>Further advice about information requests is contained in the DA Forms Guide.</p>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements**Environmentally relevant activities****23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the *Environmental Protection Act 1994*?**

☐ Yes – the required attachment (form EM941) for an application for an environmental authority accompanies this development application, and details are provided in the table below

☒ No

Note: Application for an environmental authority can be found by searching "EM941" at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities**23.2) Is this development application for a hazardous chemical facility?**

☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application

☒ No

Note: See www.justice.qld.gov.au for further information.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application is accompanied by written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: See www.qld.gov.au for further information.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala conservation

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes

☒ No

Note: See guidance materials at www.ehp.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, taking overland flow water or waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

Note: DA templates are available from www.dilqp.qld.gov.au.

23.7) Does this application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water** under the *Water Act 2000*?

☐ Yes – I acknowledge that a relevant water authorisation under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources and Mines at www.dnrm.qld.gov.au for further information.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Natural Resources and Mines at www.dnrm.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

<input checked="" type="checkbox"/> No Note: Contact the Department of Environment and Heritage Protection at www.ehp.qld.gov.au for further information.	
Referable dams 23.11) Does this development application involve a referable dam required to be failure impact assessed under section 343 of the <i>Water Supply (Safety and Reliability) Act 2008</i> (the Water Supply Act)? <input type="checkbox"/> Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application <input checked="" type="checkbox"/> No Note: See guidance materials at www.dews.qld.gov.au for further information.	
Tidal work or development within a coastal management district 23.12) Does this development application involve tidal work or development in a coastal management district ? <input type="checkbox"/> Yes – the following is included with this development application: <input type="checkbox"/> Evidence the proposal meets the code for assessable development that is prescribed tidal work (<i>only required if application involves prescribed tidal work</i>) <input type="checkbox"/> A certificate of title <input checked="" type="checkbox"/> No Note: See guidance materials at www.ehp.qld.gov.au for further information.	
Queensland and local heritage places 23.13) Does this development application propose development on or adjoining a place entered in the Queensland heritage register or on a place entered in a local government's Local Heritage Register ? <input type="checkbox"/> Yes – details of the heritage place are provided in the table below <input checked="" type="checkbox"/> No Note: See guidance materials at www.ehp.qld.gov.au for information requirements regarding development of Queensland heritage places.	
Name of the heritage place:	Place ID:
Brothels 23.14) Does this development application involve a material change of use for a brothel ? <input type="checkbox"/> Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the <i>Prostitution Regulation 2014</i> <input checked="" type="checkbox"/> No	
Decision under section 62 of the Transport Infrastructure Act 1994 23.15) Does this development application involve new or changed access to a state-controlled road? <input type="checkbox"/> Yes - this application will be taken to be an application for a decision under section 62 of the <i>Transport Infrastructure Act 1994</i> (subject to the conditions in section 75 of the <i>Transport Infrastructure Act 1994</i> being satisfied) <input checked="" type="checkbox"/> No	

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 Note: See the <i>Planning Regulation 2017</i> for referral requirements	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <i>Form 2 – Building work details</i> have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with development application Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template .	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further	<input checked="" type="checkbox"/> Yes

information, see *DA Forms Guide: Relevant plans*.

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21))

☐ Yes☒ Not applicable**25) Applicant declaration**☒ By making this development application, I declare that all information in this development application is true and correct☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001***Note:** It is unlawful to intentionally provide false or misleading information.**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.**PART 9 – FOR OFFICE USE ONLY**

Date received:

Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

The *Planning Act 2016*, the Planning Regulation 2017 and the DA Rules are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.



gilvear planning

GENUINE | VERSATILE | DEDICATED

Planning Report

Material Change of Use (Impact Assessment) –
Educational Establishment, Low Impact Industry,
Office and/or Contractors Depot (Mechanics
Workshop, Construction Business, Offices, Meeting
Rooms)

Lot 322 on SP118917, Arara Street, Kuranda

Prepared for Ngoonbi Community Services Indigenous Corporation

Our Reference	J000580:NGO:KLG/PC
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Site	Lot 322 SP118917, Arara Street, Kuranda
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Date	25/07/2017
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Important Note

Apart from fair dealing for the purposes of private study, research, criticism, or review as permitted under the Copyright Act, no part of this Report may be reproduced by any process without the written consent of Gilvear Planning Pty Ltd ('Gilvear Planning').

This Report has been prepared for Ngoonbi Community Services Indigenous Corporation for the sole purpose of making a Development Application seeking a Development Permit for Material Change of Use on land at Arara Street, Kuranda (Lot 322 on SP118917). This report is strictly limited to the purpose, and facts and circumstances stated within. It is not to be utilized for any other purpose, use, matter or application.

Gilvear Planning has made certain assumptions in the preparation of this report, including:

- a) That all information and documents provided to us by the Client or as a result of a specific search or enquiry were complete, accurate and up to date;
- b) That information obtained as a result of a search of a government register or database is complete and accurate.

Gilvear Planning is not aware of any particular fact or circumstance, which would render these assumptions incorrect, as at the date of preparation of the Report.

While every effort has been made to ensure accuracy, Gilvear Planning does not accept any responsibility in relation to any financial or business decisions made by parties other than those for whom the original report was prepared for and/or provided to. If a party other than the Client uses or relies upon facts, circumstances and / or content of this Report without consent of Gilvear Planning, Gilvear Planning disclaims all risk and the other party assumes such risk and releases and indemnifies and agrees to keep indemnified Gilvear Planning from any loss, damage, claim or liability arising directly or indirectly from the use of or reliance on this report.

Signed on behalf of
Gilvear Planning Pty Ltd



Kristy Gilvear
DIRECTOR
25 July 2017

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1.0 Introduction

This report has been prepared on behalf of Ngoonbi Community Services Indigenous Corporation (the 'applicant') in support of a Development Application to the Mareeba Shire Council, seeking a Development Permit for the Material Change of Use of premises for the purpose of an Educational Establishment, Low Impact Industry, Office and/or Contractors Depot (Mechanics Workshop, Construction Business, Offices, Meeting Rooms), on land at Arara Street, Kuranda and described as Lot 322 on SP118917 ('the subject site').

The application site is a single parcel of land located Arara Street, Kuranda, and contains an area of 8,757 sqm. The site is currently vacant with vegetation contained within the site and adjacent the western, eastern and southern boundaries and a cleared area centrally within the site.

It is proposed to erect a large shed on the site for the purpose of:

- Mechanic workshop;
- Construction business depot;
- Offices, meeting rooms and amenities; and,
- Training rooms.

Under the Mareeba Shire Planning Scheme, adopted July 2016, the site has the following designations and classifications:

- Strategic Framework – Conservation Area
- Zone – Conservation Zone
- Local Plan Map – Kuranda Local Precinct C (Green Belt)
- Environmental Significance Overlay – Regulated Vegetation
- Flood Hazard Overlay – Flood Hazard, in part.

The application is identified in the Table of Assessment for the Conservation Zone as impact assessable. As a result the entire Planning Scheme is considered relevant to the assessment of the application, including the Strategic Framework, and the application is required to be the subject of public notification.

The principle issues for the development is the protection of the conservation values of the site and adjoining sites and the preservation of the amenity of the area. The proposed development would not result in the clearing of any significant vegetation, preserving the conservation values of the site, and would not adversely affect the amenity of the area. The application is submitted for approval subject to reasonable and relevant conditions.

2.0 Summary

PROPOSAL SUMMARY	
Address:	Arara Street, Kuranda
Real Property Description:	Lot 322 SP118917 – refer Title Search at Attachment 1
Site Area/Frontage:	8,757 sqm Approx. 58 metres to Arara Street
Owners:	State of Queensland (Represented by the Department of Education and Training)
Easements & Encumbrances:	Nil
Proposal:	Educational Establishment, Low Impact Industry, Office and/or Contractors Depot (Mechanics Workshop, Construction Business, Offices, Meeting Rooms)
Approvals Sought:	Development Permit for Material Change of Use
Level of Assessment:	Impact Assessment
Zone:	Conservation Zone
Overlays (Precincts):	Environmental Significance Overlay – Regulated Vegetation Flood Hazard Overlay – Flood Hazard, in part
Local Area Plan (Precincts):	Kuranda Local Plan (Precinct C – Green Belt)
Regional Plan Designation:	Urban Area
State Interests – State Planning Policy:	Environment and Heritage – Regulated Vegetation (Category R) Safety and Resilience to Hazards – Flood Hazard Area - Level 1
State Interests – SARA Mapping:	Water Resource Planning Area Areas within 25m of a State Transport Corridor Fish Habitat Areas, in part
Referral Agencies:	DILGP – Schedule 10, Part 9 – Infrastructure related referrals
State Development Assessment Provisions:	State Code 2: Development in a Railway Environment

3.0 Site Description

The application site is a single parcel of land located at the southern end of Arara Street, Kuranda and described as Lot 322 on SP118917. The site contains an area of 8,757 sqm and has frontage to Arara Street of approximately 58 metres. The site is currently vacant and contains mature vegetation to the east, south and west boundaries. The northern boundary of the site fronts Arara Street and whilst a buffer of vegetation is provided to the boundary, it is not of significant conservation value. Centrally within the site is a cleared area of approximately 1700sqm. Access to the site and the cleared area is provided directly from Arara Street via a formed and unsealed access with a width in the order of 6 metres.

The site is located on the south-western urban area of Kuranda. To the north of the site is a School on the western side of Arara Street and to the north east on the eastern side of Arara Street is the Kuranda railway line on the banks of the Barron River. The Barron River flows in a north to south direction immediately to the east of the site. The River is separated from the site by the Kuranda Railway line that carries daily scenic train journeys. To the south the site adjoins Jumrum Creek, which flows into the Barron River. To the west the site adjoins the Council sewage treatment plant.



Image 1: Site Location

4.0 Proposal

It is proposed to develop the site with a single large shed for the purpose of providing an educational resource for pre-vocational training activities. The proposal is considered to comprise a number of uses, which are best described as an Educational Establishment, Low Impact Industry, Office and/or Contractors Depot (Mechanics Workshop, Construction Business, Offices, Meeting Rooms).

The proposed building would be located within the cleared area of the site and would utilise the existing access. It would have dimensions of 18 metres by 35 metres, a total area of 630 sqm, and a height of 8.5 metres. The ground floor of the building would contain a training room, offices, workshop and laundry. A Mezzanine floor would contain communal kitchen, meeting/training room and storage. In association with the proposed use would be 13 car parking spaces, located to the east of the building.

Proposal plans, including preliminary servicing plans are included in [Attachment 2](#). Key features of the proposal are summarised in the following table:

ELEMENT / PROVISION	PROPOSAL
Site Area:	8,757 sqm hectares
Frontage:	58 metres to Arara Street
Site Cover:	Approx. 7%
Height (m/storey)	8.5 metres
Setbacks	
- North (front)	15 metres
- East (side)	Approx. 40 metres
- South (rear)	Approx. 35 metres
- West (side)	Approx. 45 metres
Access:	Off Arara Street
Sewer:	To be connected to the reticulation network.
Water:	To be connected to the reticulation network.
Stormwater:	On-site disposal (non-worsening effect)
Parking	13 Spaces

5.0 Statutory Planning Considerations

This section provides an overview of the legislative context of the application under the provisions of the *Planning Act 2016*.

5.1 Planning Act 2016 (PA)

5.1.1 Confirmation of Development

The proposed development is not prohibited. This has been established by considering all relevant instruments, which can provide prohibitions under the *Planning Act 2016*, including:

- Schedule 10 of the *Planning Regulation 2017*; and
- Relevant categorising instruments.

5.1.2 Assessable Development

The development proposed by this application is made assessable under the Mareeba Shire Planning Scheme, as a categorising instrument in accordance with Section 43(1) of the *Planning Act 2016*.

5.1.3 Assessment Manager

The Assessment Manager is Mareeba Shire Council as determined by Schedule 8, Table 2, Item 1 of the *Planning Regulations 2017*.

5.1.4 Level of Assessment

The Tables of Assessment contained in the Mareeba Shire Planning Scheme identifies the proposed development as being Impact Assessable.

5.1.5 Statutory Considerations for Assessable Development

As the development is subject to Impact Assessment, in accordance with s45 (3) of the *Planning Act 2016* and s26 to 28 of the *Planning Regulations 2017*, the assessment is required to have regard to:

- The Strategic Framework
- The assessment benchmarks in the Mareeba Shire Planning Scheme (relevant codes);
- The Local Government Infrastructure Plan (LGIP);
- Any other relevant Matter; and
- Referral Agencies response.

These are discussed further in section 6.0 of this report.

5.1.6 Referral Triggers

Pursuant to Schedule 10 of the *Planning Regulations 2017*, the following referral agencies are triggered for the application:

- The State Assessment and Referral Agency for Schedule 10, Part 9 – Infrastructure-related referrals, Division 4, Subdivision 2, Table 4 – Material Change of Use of premises near a State transport corridor or that is a future State transport corridor.

Pre-application advice from the Department of Infrastructure, Local Government and Planning, dated 13 July 2017, has confirmed the above and that referral for the clearing of native vegetation is not required as the lot size is less than 5 hectares.

A copy of the pre-application response is attached as [Attachment 2](#).

5.1.7 State Resource

The proposal does not involve any State Resources.

5.1.8 Regional Plan

The subject site is within the Urban Area of the Far North Queensland Regional Plan. The proposal is for an Educational Establishment, Low Impact Industry, Office and/or Contractors Depot (Mechanics Workshop, Construction Business, Offices, Meeting Rooms), which is considered to be a suitable use in the urban area. A detailed assessment of the proposal against the requirements of the Regional Plan is not considered necessary in this instance as the Regional Plan is appropriately reflected in the Planning Scheme.

5.1.9 State Planning Policy

The site is subject to the following State Interests of the State Planning Policy:

- **Environment and Heritage – Regulated Vegetation (Category R)**
- **Safety and Resilience to Hazards – Flood Hazard Area - Level 1.**

However, the State Planning Policy is appropriately reflected within the Mareeba Shire Planning Scheme and detailed consideration of the Policy is not required in this instance.

5.1.10 State Development Assessment Provisions

The application will require referral to the State Assessment and Referral Agency pursuant to Schedule 10, Part 9 – Infrastructure-related referrals, Division 4, Subdivision 2, Table 4 – Material Change of Use of premises near a State transport corridor or that is a future State transport corridor.

Applicable Modules	Comment
State Code 2: Development in a Railway Environment	The proposed development is not considered to be a sensitive land use and is setback sufficient distance and buffered from the existing railway line such that it would not compromise the existing or future operation of the railway line. The proposed development is able to comply with all the relevant Acceptable Outcomes of the State Code.

6.0 Local Planning Considerations

6.1 Mareeba Shire Planning Scheme

Within the Mareeba Shire Planning Scheme, the site is included within the Conservation Zone and is affected by the Kuranda Local Plan Map and the Environmental Significance Overlay.

As the application is impact assessable the Strategic Framework needs to be considered in the assessment of the application.

The following table outlines the relevant codes and provides a summary of the compliance with assessment benchmarks.

APPLICABLE CODES	LEVEL OF ASSESSMENT	COMPLIANCE SUMMARY
Conservation Zone Code	Applicable	Complies with Acceptable Outcomes.
Kuranda Local Plan Code	Applicable	Complies with Acceptable Outcomes.
Environmental Significance Overlay Code	Applicable	Complies with Acceptable Outcomes.
Flood Hazard Overlay Code	Applicable	Complies with Acceptable Outcomes.
Community Activities Code	Applicable	Generally Complies with Acceptable Outcomes. Where it does not comply with the Acceptable Outcomes, it can achieve the Performance Outcomes.
Industrial Activities Code	Applicable	Generally Complies with Acceptable Outcomes. Where it does not comply with the Acceptable Outcomes, it can achieve the Performance Outcomes.
Landscaping Code	Applicable	Complies with Acceptable Outcomes.
Parking and Access Code	Applicable	Generally Complies with Acceptable Outcomes. Where it does not comply with the Acceptable Outcomes, it can achieve the Performance Outcomes.
Works Services and Infrastructure Code	Applicable	Complies with Acceptable Outcomes. Where it does not comply with the Acceptable Outcomes, it can achieve the Performance Outcomes.

A detailed assessment of the proposal against the applicable provisions of the applicable codes is set out below:

6.1.1 Strategic Framework

The Strategic Outcomes associated with the natural resources and environment seek to conserve, enhance and restore the natural environment, ecological processes and biodiversity values. In respect of Conservation Areas, the Strategic Framework resists development that would be incompatible with the values of environmental protection. Development within the Conservation Areas is intended to be limited to:

- Visitor Centres;
- Facilities for ecological research;
- Small scale maintenance buildings;
- Essential infrastructure corridors; and,
- uses in accordance with a relevant Indigenous Land Use Agreement (ILUA)

The Strategic Outcomes associated with community identity and diversity support the provision of community facilities that meet the needs of the Mareeba Community subject to the development being sympathetic to adjoining land uses and having a high level of accessibility to the community.

The Strategic Outcomes associated with economic development encourage the development of educational establishments in the Kuranda District as a catalyst for economic diversification. The Specific Outcomes relating to education supports development that improves access to education and training facilities and the development of such facilities in well services locations in Mareeba Shire.

Having regard to the relevant Strategic Outcomes and Specific Outcomes is considered that the Strategic Framework of the Mareeba Shire Planning Scheme supports the establishment of Educational Establishments in the Kuranda District as a driver of economic activity subject to the proposed development being sympathetic to the adjoining land uses, being accessible to the community they intend to service and not adversely affecting the environmental value of any conservation areas.

The proposed development is intended to provide a pre-vocational training resource to the local community to improve employment opportunities for the indigenous people in the Kuranda area. It is located within walking distance of the town centre of Kuranda and is not located adjacent any sensitive land uses. The proposal would not require the removal of any significant vegetation on the site and would not adversely affect any of the environmental values of the conservation designation.

The proposed development is considered to be supported by the Strategic Framework of the Mareeba Shire Planning Scheme.

6.1.2 Statement of Compliance with Assessment Benchmarks

6.1.2.1 CONSERVATION ZONE CODE

Performance outcomes	Acceptable outcomes	Compliance
Height		
Building height takes into consideration and respects the following: (a) the height of existing buildings on adjoining premises; (b) the development	Development has a maximum building height of: (a) 8.5 metres; and (b) 2 storeys above ground level.	Complies - The proposed development would have a height of 8.5 metres and would be a maximum of 2 storeys above ground (including mezzanine).

Performance outcomes	Acceptable outcomes	Compliance
<p>potential, with respect to height, on adjoining premises;</p> <p>(c) the height of buildings in the vicinity of the site;</p> <p>(d) access to sunlight and daylight for the site and adjoining sites;</p> <p>(e) privacy and overlooking; and</p> <p>(f) site area and street frontage length.</p>		
Siting		
<p>Development is sited in a manner that considers and respects:</p> <p>(a) the siting and use of adjoining premises;</p> <p>(b) access to sunlight and daylight for the site and adjoining sites;</p> <p>(c) privacy and overlooking;</p> <p>(d) air circulation and access to natural breezes;</p> <p>(e) relationship with road corridors; and,</p> <p>(f) an appropriate balance between built and natural features.</p>	<p>Buildings and structures are set back a minimum of:</p> <ul style="list-style-type: none"> • 10m from any road frontage; and, • 10m from side and rear boundaries. 	<p>Complies – The proposed development would have setbacks of greater than 10 metres from any boundary.</p>
Accommodation Density		
<p>The density of Accommodation activities:</p> <p>(a) contributes to housing choice and affordability;</p> <p>(b) respects the nature and density of surrounding land use;</p> <p>(c) is commensurate to the scale and frontage of the site</p> <p>(d) does not cause amenity impacts beyond the reasonable expectation</p>	<p>Development provides a maximum density for Accommodation activities of 1 dwelling or accommodation unit per lot.</p>	<p>Not applicable to the proposed development</p>

Performance outcomes	Acceptable outcomes	Compliance
of the accommodation density for the site; and, (e) appropriately balances built and natural features.		
Site Cover		
Buildings and structures occupy the site in a manner that: (a) protects the ecological features and values of the site and surrounds; (b) is consistent with the bulk and scale of buildings in the surrounding area; and, (c) appropriately balances built and natural features.	Site cover does not exceed 10%	Complies – Site cover for the proposed development would be approximately 7% and the environmental values of the site would be preserved by locating the building within an existing cleared area.
Building Design		
Development complements and integrates with the established built environmental character of the Conservation zone, having regard to: (a) roof form and pitch; (b) eaves and awnings; (c) building materials, colours, and textures; and (d) window and door size and location.	No acceptable outcome is provided.	Complies – the building would be located within an existing cleared area that is screened by existing mature vegetation and would be of a height that does not protrude above the existing tree canopy.
Amenity		
Development must not detract from the amenity of the local area, having regard to: (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and	No acceptable outcome provided.	Complies – The proposed development is considered to be suitably located and appropriately setback from adjacent boundaries and road frontages with significant vegetation buffering to adjoining boundaries and road frontages. The proposed development is not expected to detract from the amenity of the local area.

Performance outcomes	Acceptable outcomes	Compliance
(i) emissions.		
<p>Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to:</p> <ul style="list-style-type: none"> (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions. 	No acceptable outcome provided.	Not Applicable – No negative impacts have been identified.

The proposed development is considered to be consistent with the relevant Performance Outcomes and Acceptable Outcomes of the Conservation Zone Code.

6.1.2.2 KURANDA LOCAL PLAN CODE

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
<p>Advertising devices are compatible with the established local character of the Kuranda Local Plan area, having regard to the:</p> <ul style="list-style-type: none"> (a) dominance of natural elements; (b) scale of built elements; (c) nature of existing development in identified precincts; and (d) scale, location and prominence of existing advertising devices. 	<p>Advertising devices:</p> <ul style="list-style-type: none"> (a) are not illuminated or flashing; (b) do not use fluorescent colours or reflective surfaces. 	Not Applicable
	<p>Where in the Village heart precinct or the Village frame precinct, advertising, advertising devices are limited to:</p> <ul style="list-style-type: none"> (a) those attached to buildings; (b) a maximum of two permanent advertising devices per business; and (c) a combined surface area of 	Not Applicable

Performance outcomes	Acceptable outcomes	Compliance
	no greater than 2sqm.	
	<p>Where in the Green belt precinct, advertising devices are:</p> <ul style="list-style-type: none"> (a) limited to a surface area of 0.5 sqm (b) located a minimum of 300 metres from the closest freestanding advertising device; and (c) located to not obstruct the windows or architectural features of a building or structure to which they are attached. 	Not Applicable
Where in the Green Belt Precinct		
Where located on a site identified as a 'point of arrival' development reinforces a positive image of Kuranda and upholds the 'village in the rainforest' theme.	<p>Where located on a site identifies as a 'point of arrival', development is:</p> <ul style="list-style-type: none"> (a) of timber and tin construction; and (b) provides a minimum landscaped strip of three metres to the site frontage. 	Not Applicable
<p>The natural landscape character of the Green belt precinct is maintained and enhanced through n-site landscaping that:</p> <ul style="list-style-type: none"> (a) promotes the dominance of natural elements; (b) screens built elements from view; (c) includes species consistent with those found in the precinct; and (d) includes an appropriate depth of planting to the frontage. 	<p>Development provides and maintains landscaping:</p> <ul style="list-style-type: none"> (a) along the full frontage of the site (excluding any accessways) (b) with a minimum width of three metres; and (c) contains rainforest planting. 	Complies -The proposed development would not result in the removal of any vegetation to the boundaries of the site. The existing buffer to the street frontage, which is in excess of three metres, would be retained as would the planting to the side and rear boundaries.
	Existing mature native vegetation that is visible from public open space and streets within the green Belt precinct is retained.	Complies – no mature vegetation is proposed to be removed as part of the development proposal.

The proposed development is considered to comply with the relevant Acceptable Outcomes of the Kuranda Local Plan code.

6.1.2.3 ENVIRONMENTAL SIGNIFICANCE OVERLAY CODE

Performance outcomes	Acceptable outcomes	Compliance
Regulated Vegetation		
<p>Vegetation clearing in areas mapped as 'regulated vegetation' is avoided unless:</p> <ul style="list-style-type: none"> (a) it is demonstrated that the area does not support regulated vegetation as mapped; (b) the loss or reduction in regulated vegetation is for community infrastructure and associated access facilities that cannot be avoided; (c) wildlife interconnectivity is maintained or enhanced at a local and regional scale; and (d) the loss or reduction in regulated vegetation is minimised and any residual impacts are offset. 	<p>No clearing of regulated vegetation is undertaken within areas if 'Regulated vegetation' identified on the Environmental Significance Overlay Maps.</p>	<p>Complies.</p>
<p>Development on sites adjacent to areas of 'Regulated vegetation' identified on the Environmental Significance Overlay Maps protects the environmental significance of regulated vegetation and:</p> <ul style="list-style-type: none"> (a) does not interrupt, interfere, alter or otherwise impact on underlying natural ecosystem processes such as water quality, hydrology, geomorphology and biophysical processes. (b) Does not negatively 	<p>Development (excluding roads, earthworks, drainage infrastructure and underground infrastructure) is not located within 20 metres of 'Regulated vegetation' areas identified on the Environmental Significance Overlay Maps.</p>	<p>Complies – development is setback in excess of 20 metres from boundaries with adjoining land containing regulated vegetation.</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>impact the movement of wildlife at a local or regional scale; and</p> <p>(c) Avoids noise, light, vibration or other edge effects, including weed and pest incursion on identified environmental values.</p>		

The proposed development is considered to be consistent with the Acceptable Outcomes of the Environmental Significance Overlay code.

6.1.2.4 FLOOD HAZARD OVERLAY CODE

Performance outcomes	Acceptable outcomes	Compliance
All flood hazard areas		
<p>Development prevents the carriage or dispersal of contaminants or pollutants into the receiving environment.</p>	<p>The processing or storage of dangerous goods or hazardous materials is:</p> <ul style="list-style-type: none"> (a) not undertaken in a flood hazard area identified on the Flood hazard overlay maps (OM-006a-o); or (b) is located above the defined flood level plus 0.3 metre freeboard. 	<p>Complies – all operations on the site would occur outside of the identified flood hazard area and a minimum of 300mm above the defined flood level.</p>
Significant flood hazard area, Low flood hazard area or Potential flood hazard area		
<p>Development, where involving a Material change of use or Building work, is located and designed to:</p> <ul style="list-style-type: none"> (a) maintain hydrological function of the premises; (b) not increase the number of people calculated to be at risk from flooding; (c) minimises the flood impact on adjoining premises; 	<p>Buildings, including extensions to existing buildings are:</p> <ul style="list-style-type: none"> (a) elevated above the defined flood level; and (b) the defined flood event does not exceed a depth of 600mm; and (c) elevated above the defined flood level plus 0.3 metres freeboard where for habitable rooms within a dwelling. 	<p>Complies – all proposed development would be outside the identified flood hazard area.</p>

Performance outcomes	Acceptable outcomes	Compliance
(d) ensure the safety of all persons by ensuring that a proportion of buildings are set above the defined flood level; (e) reduce the carriage of debris in flood waters; (f) reduce property damage; and (g) provide flood immune access to buildings.	Buildings used for Commercial activities or Industrial activities include a minimum floor level of 0.3 metres above the defined flood where for the following components of the use: (a) administrative areas; or (b) services, plant and equipment associated with the building.	Complies – all proposed development would be outside the identified flood hazard area.
	All building work below the defined flood level must be high set (comprising pier and beam construction) and retains the flood storage and conveyance capacity of the premises.	Not applicable
Development involving earthworks in a Flood hazard area below the defined flood level must protect life and property on premises and off premises through maintaining: (a) flood storage capacity of land; (b) flood conveyance function of land; (c) flood and drainage channels; (d) overland flow paths; and (e) flood warning times.	Development does not involve in excess of 50m ³ of fill above ground level per 1,000m ² of site area.	Not applicable – no earthworks are proposed within the identified flood hazard area.

The proposed development is considered to comply with the relevant Acceptable Outcomes of the Flood Hazard Overlay Code.

6.1.2.5 COMMUNITY ACTIVITIES CODE

Performance outcomes	Acceptable outcomes	Compliance
Amenity and Privacy		
Community activities are appropriately located and designed to avoid adverse	Along any common boundary with a sensitive land use, development	Not applicable – the only adjoining use is the sewage treatment plant, which is not considered to be a sensitive use.

Performance outcomes	Acceptable outcomes	Compliance
<p>impacts on sensitive uses related to:</p> <ul style="list-style-type: none"> (a) noise; (b) lighting; and (c) overlooking. 	<p>incorporates:</p> <ul style="list-style-type: none"> (a) a 1.8 metre high solid screen fence; and (b) screening to windows which: <ul style="list-style-type: none"> (i) face the boundary; (ii) have a sill height less than 1.5 metres; and (iii) are not wholly screened by the boundary fence. 	
If for Educational establishment or Child Care Centre		
<p>Development is located on a site that is capable of accommodating:</p> <ul style="list-style-type: none"> (a) all facilities necessary for the use; (b) required landscaping and buffering; and (c) appropriately designed access, manoeuvring and parking areas. 	<p>The development is located on a site with a minimum:</p> <ul style="list-style-type: none"> (a) site area of 800m²; (b) road frontage of 20 metres; and (c) road reserve width of 20 metres. 	Complies.
<p>The design of the development does not result in any safety hazard for children or other users of the facility.</p>	<p>A child proof fence or physical barrier is provided to prevent unintended access to the following areas, directly from indoor or outdoor areas intended to accommodate children:</p> <ul style="list-style-type: none"> (a) Vehicle manoeuvring and parking areas; (b) Refuse storage and servicing areas; and (c) Air conditioning, refrigeration plant and mechanical plant. 	Complies – the proposed development is intended for older students as pre-vocational training. The development will comply the relevant safety requirements of the Building Code of Australia etc.
<p>Development is compatible with the amenity of the surrounding area, having regard to:</p>	No acceptable outcome is provided.	Complies – the site is removed from any adjoining sensitive land uses and the location of the development is suitable buffered

Performance outcomes	Acceptable outcomes	Compliance
(a) the location and type of vehicular access and parking; (b) hours of operation; (c) waste storage and collection; (d) advertising devices and signage; (e) visual amenity; (f) privacy; and (g) noise, odour and dust emissions.		from all boundaries. The proposal would not adversely affect the amenity of the surrounding area.
Community activities are highly accessible to the community they serve and are located to encourage multi-purpose trips.	Community activities are not located in a cul-de-sac.	Does not comply – However the site is located within close proximity of other community facilities, including a pre-school and playing fields. It is considered to be accessible to the community it intended to serve and within proximity of other facilities that would encourage multi-purpose trips.
	Development is located: <ul style="list-style-type: none"> (a) within 800 metres walking distance of the Centre zone; or (b) within 400 metres walking distance of a public transport stop; or (c) provided with a connection to the pedestrian and cycle network. 	Complies – the site is within proximity to all of these identified services.
Community activities protect and enhance the character and amenity of the locality and streetscape through the appropriate location and screening of: <ul style="list-style-type: none"> (a) air conditioning; (b) refrigeration plant; (c) mechanical plant; and (d) refuse bin storage 	No acceptable outcome is provided	Complies – the site is removed from any adjoining sensitive land uses and the location of the development is suitably buffered from all boundaries. The proposal would not adversely affect the amenity of the surrounding area.

Performance outcomes	Acceptable outcomes	Compliance
areas.		
<p>Educational establishments and Child care centres:</p> <p>(a) do not detrimentally impact on the amenity or operations of surrounding land uses; and</p> <p>(b) have suitable separation distances and buffering from sensitive uses.</p>	No acceptable outcome is provided.	Complies – the site is removed from any adjoining sensitive land uses and the location of the development is suitably buffered from all boundaries. The proposal would not adversely affect the amenity of the surrounding area.

The proposed development is considered to generally comply with the relevant Acceptable Outcomes and where it does not comply it is able to satisfy the relevant performance outcomes of the Community Activities Code.

6.1.2.6 INDUSTRIAL ACTIVITIES CODE

Performance outcomes	Acceptable outcomes	Compliance
Separation		
<p>Industrial activities are appropriately separated from sensitive uses to ensure their amenity is maintained, having regard to:</p> <p>(a) noise;</p> <p>(b) odour;</p> <p>(c) light; and</p> <p>(d) emissions.</p>	<p>Development is separated from sensitive uses as follows:</p> <p>(a) medium impact industry– 250 metres; or</p> <p>(b) high impact industry–500 metres; or</p> <p>(c) special industry– 1.5 kilometres.</p>	Complies – the proposed use is considered to be a low impact industry and is removed from any adjoining sensitive land uses and the location of the development is suitably buffered from all boundaries. The proposal would not adversely affect the amenity of the surrounding area.
Amenity		

<p>Industrial activities protect and enhance the character and amenity of the locality and streetscape through the appropriate location and screening of:</p> <ul style="list-style-type: none"> (a) air conditioning; (b) refrigeration plant; (c) mechanical plant; and (d) refuse bin storage areas. 	<p>No acceptable outcome is provided.</p>	<p>Complies – the site is removed from any adjoining sensitive land uses and the location of the development is suitably buffered from all boundaries. The proposal would not adversely affect the amenity of the surrounding area.</p>
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The proposed development is considered to generally comply with the relevant Acceptable Outcomes and where it does not comply it is able to satisfy the relevant performance outcomes of the Industrial Activities Code.

6.1.2.7 LANDSCAPING CODE

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
<p>Development, other than in the Rural zone, includes landscaping that:</p> <ul style="list-style-type: none"> (a) contributes to the landscape character of the Shire; (b) compliments the character of the immediate surrounds; (c) provides an appropriate balance between built and natural elements; and (d) provides a source of visual interest. 	<p>Development, other than in the Rural zone, provides:</p> <ul style="list-style-type: none"> (a) a minimum of 10% of the site as landscaping; (b) planting in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species; (c) for the integration of retained significant vegetation into landscaping areas; (d) on-street landscaping works in accordance with the Design Guidelines set out in Section D9 Landscaping, of the Planning Scheme Policy 4 - FNQROC Regional Development Manual. 	<p>Complies or is able to comply.</p>
<p>Development, other than in the Rural zone, includes landscaping along site frontages</p>	<p>Development, other than in the Rural zone, includes a landscape strip along any site frontage:</p>	<p>Complies – the existing vegetation to the front side and rear boundaries of the site would be retained, including an existing</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>that:</p> <ul style="list-style-type: none"> (a) creates an attractive streetscape; (b) compliments the character of the immediate surrounds; (c) assists to break up and soften elements of built form; (d) screen areas of limited visual interest or servicing; (e) provide shade for pedestrians; and (f) includes a range and variety of planting. 	<ul style="list-style-type: none"> (a) with a minimum width of 2 metres where adjoining a car parking area; (b) with a minimum width of 1.5 metres in all other locations; and (c) in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species. 	<p>buffer to the site frontage of a width of in excess of 2 metres.</p>
<p>Development includes landscaping and fencing along side and rear boundaries that:</p> <ul style="list-style-type: none"> (a) screens and buffer land uses; (b) assists to break up and soften elements of built form; (c) screens areas of limited visual interest; (d) preserves the amenity of sensitive land uses; and (e) includes a range and variety of planting. 	<p>Development provides landscape treatments along side and rear boundaries with a width of 2 metres and a height of 1.8 metres.</p>	<p>Complies – the existing vegetated buffer to the side and rear boundaries of in excess of 10 metres in width and 1.8 metres in height is proposed to be retained as part of the development.</p>
	<p>Shrubs and trees provided in landscape strips along side and rear boundaries:</p> <ul style="list-style-type: none"> (a) are planted at a maximum spacing of 1 metre; (b) will grow to a height of at least 2 metres; (c) will grow to form a screen of no less than 2 metres in height; and (d) are mulched to a minimum depth of 0.1 metres with organic mulch. 	<p>Not applicable as the existing vegetation to the side and rear boundaries is intended to be retained.</p>
	<p>Any landscape strip provided along a side or rear boundary is designed in accordance with Planning Scheme Policy 6 –</p>	<p>Not applicable</p>

Performance outcomes	Acceptable outcomes	Compliance
	Landscaping and preferred plant species.	
<p>Car parking areas are improved with a variety of landscaping that:</p> <ul style="list-style-type: none"> (a) provides visual interest; (b) provides a source of shade for pedestrians; (c) assists to break up and soften elements; and (d) improves legibility 	<p>Landscaping is provided in car parking areas which provides:</p> <ul style="list-style-type: none"> (a) a minimum of 1 shade tree for every 4 parking spaces, or part thereof, where the car parking area includes 12 or more spaces; (b) a minimum of 1 shade tree for every 6 parking spaces, or part thereof, otherwise; and (c) where involving a car parking area in excess of 500m²: <ul style="list-style-type: none"> (i) shade structures are provided for 50% of parking spaces; and (ii) a minimum of 10% of the parking area as landscaping. 	Complies – The existing retained vegetation would provide shade over the proposed car park.
	Landscaping in car parking areas is designed in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species.	Complies or is able to comply.
<p>Landscaping areas include a range and variety of planting that:</p> <ul style="list-style-type: none"> (a) is suitable for the intended purpose and local conditions; (b) contributes to the natural character of the Shire; (c) includes native species; (d) includes locally endemic species, 	Plant species are selected from the Plant Schedule in Planning Scheme Policy 6 - Landscaping and preferred plant species.	Complies or is able to comply.
	A minimum of 25% of (new and existing) plants is provided as larger, advanced stock with a minimum plant height of 0.7 metres and mulched to a minimum depth of 0.1 metres with organic mulch.	Complies – the existing mature vegetation is intended to be retained on the site.

Performance outcomes	Acceptable outcomes	Compliance
where practical; and (e) does not include invasive plants or weeds.		
Landscaping does not impact on the ongoing provision of infrastructure and services to the Shire.	Tree planting is a minimum of (a) 2 metres from any underground water, sewer, gas, electricity or telecommunications infrastructure; and (b) 4 metres from any inspection chamber.	Complies – no additional planting is proposed.
	Vegetation below or within 4 metres of overhead electricity lines and power poles has a maximum height of 3.5 metres at maturity.	Not applicable
	Vegetation adjoining an electricity substation boundary, at maturity, will have: (a) a height of less than 4 metres; and (b) no foliage within 3 metres of the substation boundary, unless the substation has a solid wall along any boundary.	No applicable
For assessable development		
Landscaping areas are designed to: (a) be easily maintained throughout the ongoing use of the site; (b) allow sufficient area and access to sunlight and water for plant	No acceptable outcome is provided.	Complies – the existing vegetation currently requires little to no maintenance and is intended to be retained as part of the development proposal.

Performance outcomes	Acceptable outcomes	Compliance
<p>growth;</p> <p>(c) not cause a nuisance to occupants of the site or members of the public; and</p> <p>(d) maintain or enhance the safety of pedestrians through the use of Crime Prevention Through Environmental Design principles.</p>		

The proposed development is considered to comply with the relevant Acceptable Outcomes of the Landscaping code.

6.1.2.8 PARKING AND ACCESS CODE

Performance outcomes	Acceptable outcomes	Compliance
Car Parking Spaces		
<p>Development provides sufficient car parking to accommodate the demand likely to be generated by the use, having regard to the:</p> <p>(a) nature of the use;</p> <p>(b) location of the site;</p> <p>(c) proximity of the use to public transport services;</p> <p>(d) availability of active transport infrastructure; and</p> <p>(e) accessibility of the use to all members of the community.</p>	<p>The proposed development provides on-site car parking at the following rates:</p> <p>Educational Establishment – 1 space for every 10 students plus one space per employee.</p> <p>Low Impact Industry – One space per 90sqm of GFA. (7 Spaces)</p>	<p>The proposal plans indicate the provision of a total of 13 spaces and a loading bay.</p> <p>This would be sufficient for the site to accommodate 130 students as an educational establishment or a low impact industry of twice the size of that proposed. It is considered that the proposed development is able to comply with the Acceptable Outcome.</p>
Vehicle crossovers		
<p>Vehicle crossovers are provided to:</p> <p>(a) ensure safe and efficient access between the road and premises;</p> <p>(b) minimize interference with the function and operation of roads; and</p> <p>(c) minimise pedestrian to vehicle conflict.</p>	<p>Vehicular access to/from Council roads is designed and constructed in accordance with the Standard drawings in Planning Scheme Policy 4 - FNQROC Regional Development Manual and separated by a minimum of 15 metres</p>	<p>Complies – The vehicle access will be constructed in accordance with the relevant FNQROC standard.</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>Access, manoeuvring and car parking areas include appropriate pavement treatments having regard to:</p> <ul style="list-style-type: none"> (a) the intensity of anticipated vehicle movements; (b) the nature of the use that they service; and (c) the character of the surrounding locality. 	<p>Access, manoeuvring and car parking areas include pavements that are a minimum 150mm thickness compacted gravel suitable for all weather and dust free</p>	<p>Complies – the vehicle circulation areas will be appropriately sealed.</p>
Parking area location and design		
<p>Car parking areas are located and designed to:</p> <ul style="list-style-type: none"> (a) ensure safety and efficiency in operation; and (b) be consistent with the character of the surrounding locality. 	<p>Car parking spaces, access and circulation areas have dimensions in accordance with AS/NZS 2890.1 Off-street car parking.</p>	<p>Complies</p>
	<p>Disabled access and car parking spaces are located and designed in accordance with AS/NZS 2890.6 Parking facilities - Off-street parking for people with disabilities.</p>	<p>Disabled access would be assessed at the time of the building application and an appropriate level of spaces provided at that time.</p>
	<p>The car parking area includes designated pedestrian routes that provide connections to building entrances.</p>	<p>Given the scale of the development, designated routes are not considered necessary in this instance.</p>
	<p>Parking and any set down areas are:</p> <ul style="list-style-type: none"> (a) wholly contained within the site; (b) visible from the street where involving Commercial activities, Community activities, Industrial activities or a use in the Recreation and open space zone; (c) are set back behind the main building line where involving a Dual occupancy, 	<p>Complies.</p>

Performance outcomes	Acceptable outcomes	Compliance
	Multiple dwelling, Residential care facility or Retirement facility; and (d) provided at the side or rear of a building in all other instances.	
Site access and manoeuvring		
<p>Access to, and manoeuvring within, the site is designed and located to:</p> <ul style="list-style-type: none"> (a) ensure the safety and efficiency of the external road network; (b) ensure the safety of pedestrians; (c) provide a functional and convenient layout; and (d) accommodate all vehicles intended to use the site. 	<p>Access and manoeuvrability is in accordance with :</p> <ul style="list-style-type: none"> (a) AS28901 – Car Parking Facilities (Off Street Parking); and (b) AS2890.2 – Parking Facilities (Off-street Parking) Commercial Vehicle Facilities. 	Complies
	<p>Vehicular access has a minimum sight distance in accordance with Part 5 of AUSTROADS.</p>	Complies
	<p>Vehicular access is located and designed so that all vehicles enter and exit the site in a forward gear.</p>	Complies
	<p>Pedestrian and cyclist access to the site:</p> <ul style="list-style-type: none"> (a) is clearly defined; (b) easily identifiable; and (c) provides a connection between the site frontage and the entrance to buildings and end of trip facilities (where provided). 	Complies
Servicing		
<p>Development provides access, manoeuvring and servicing areas on site that:</p> <ul style="list-style-type: none"> (a) accommodate a service vehicle commensurate 	<p>All unloading, loading, service and waste disposal areas are located:</p> <ul style="list-style-type: none"> (a) on the site; (b) to the side or rear of the building, behind the main 	Complies – All servicing, loading and unloading would be undertaken inside the building.

Performance outcomes	Acceptable outcomes	Compliance
<p>with the likely demand generated by the use;</p> <p>(b) do not impact on the safety or efficiency of internal car parking or manoeuvring areas;</p> <p>(c) do not adversely impact on the safety or efficiency of the road network;</p> <p>(d) provide for all servicing functions associated with the use; and</p> <p>(e) are located and designed to minimise their impacts on adjoining sensitive land uses and streetscape quality.</p>	<p>building line;</p> <p>(c) not adjacent to a site boundary where the adjoining property is used for a sensitive use.</p>	
	<p>Unloading, loading, service and waste disposal areas allow service vehicles to enter and exit the site in a forward gear</p>	Complies.
	<p>Development provides a servicing area, site access and maneuvering areas to accommodate the applicable minimum servicing vehicle specified in Table 9.4.3.3B.</p>	Complies.
Maintenance		
<p>Parking areas are used and maintained for their intended purpose.</p>	<p>Parking areas are kept and used exclusively for parking and are maintained in a suitable condition for parking and circulation of vehicles</p>	Complies or is able to comply.
	<p>All parking areas will be compacted, sealed, drained, line marked and maintained until such time as the development ceases.</p>	
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park		
<p>The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.</p>	<p>A traffic impact report is prepared by a suitably qualified person that identifies:</p> <p>(a) the expected traffic movements to be generated by the facility;</p> <p>(b) any associated impacts on the road network; and</p> <p>(c) any works that will be required to address the</p>	<p>Given the minor scale of the proposed development, alongside the location removed from any adjacent active land uses, it is considered unlikely that the proposed development would have any impacts on the adjacent road network nor require any upgrades to accommodate the traffic generated by the development.</p>

Performance outcomes	Acceptable outcomes	Compliance
	identified impacts.	

The proposed development is considered to be generally consistent with the Acceptable Outcomes of the Parking and access code and where the Acceptable Outcomes cannot be achieved it is considered to be consistent with the relevant Performance Outcomes.

6.1.2.9 WORKS, SERVICES AND INFRASTRUCTURE CODE

Performance outcomes	Acceptable outcomes	Compliance
Water Supply		
<p>Each lot has an adequate volume and supply of water that:</p> <ul style="list-style-type: none"> (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment. 	<p>Development is connected to a reticulated water supply system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated water supply service area. 	<p>Complies - Development would be connected to the reticulated water supply system</p>
Wastewater disposal		
<p>Each lot provides for the treatment and disposal of effluent and other waste water that:</p> <ul style="list-style-type: none"> (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment. 	<p>Development is connected to a reticulated sewerage system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated sewerage service area. 	<p>Complies – The development would be connected to the reticulated sewerage system.</p>
Stormwater Infrastructure		
<p>Stormwater infrastructure is designed and constructed to collect and convey the design</p>	<p>On-site drainage systems are</p>	<p>Complies - The proposed development is designed to maintain the natural flow of</p>

Performance outcomes	Acceptable outcomes	Compliance
storm event to a lawful point of discharge in a manner that mitigates impacts on life and property.	constructed: <ul style="list-style-type: none"> (a) to convey stormwater from the premises to a lawful point of discharge; and (b) in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual. 	storm water to the natural point of discharge, being the Barron River.
Electricity Supply		
Each lot is provided with an adequate supply of electricity	<p>The premises:</p> <ul style="list-style-type: none"> (a) is connected to the electricity supply network; or (b) has arranged a connection to the transmission grid; or (c) where not connected to the network, an independent energy system with sufficient capacity to service the development (at near average energy demands associated with the use) may be provided as an alternative to reticulated electricity where: <ul style="list-style-type: none"> (i) it is approved by the relevant regulatory authority; and (ii) it can be demonstrated that no air or noise emissions; and (iii) it can be demonstrated that no adverse impact on visual amenity will occur 	Complies – the proposed development would be provided with connection to the grid.
Telecommunications Infrastructure		
Each lot is provided with an adequate supply of telecommunication infrastructure.	Development is provided with a connection to the national broadband network or telecommunication services.	Complies or is able to comply.

Performance outcomes	Acceptable outcomes	Compliance
Excavation or filling		
<p>Excavation or filling must not have an adverse impact on the:</p> <ul style="list-style-type: none"> (a) streetscape; (b) scenic amenity; (c) environmental values; (d) slope stability; (e) accessibility; or (f) privacy of adjoining premises. 	Excavation or filling does not occur within 1.5 metres of any site boundary.	Complies – Excavation would not occur within 1.5 metres of any boundary.
	Excavation or filling at any point on a lot is to be no greater than 1.5 metres above or below natural ground level.	Complies – It is not proposed to undertake excavation that exceeds 1.5 metres above or below natural ground.
	<p>Earthworks batters:</p> <ul style="list-style-type: none"> (a) are no greater than 1.5 metres in height; (b) are stepped with a minimum width 2 metre berm; (c) do not exceed a maximum of two batters and two berms (not greater than 3.6 metres in total height) on any one lot; (d) have a slope no greater than 1 in 4; and (e) are retained. 	Not applicable.
	<p>Soil used for filling or spoil from excavation is not stockpiled in locations that can be viewed from:</p> <ul style="list-style-type: none"> (a) adjoining premises; or (b) a road frontage, for a period exceeding 1 month from the commencement of the filling or excavation. 	Not applicable
	All batters and berms to be constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 –	Not applicable

Performance outcomes	Acceptable outcomes	Compliance
	FNQROC Regional Development Manual.	
	Retaining walls have a maximum height of 1.5 metres and are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Not applicable
	Excavation or filling at any point on a lot is to include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual	Not applicable
Transport Network		
The development has access to a transport network of adequate standard to provide for the safe and efficient movement of vehicles, pedestrians and cyclists.	Vehicle access, crossovers, road geometry, pavement, utilities and landscaping to the frontage/s of the site are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Complies – The site has access to a sealed road and vehicle accesses will be designed and constructed in accordance with FNQROC standards.
	Development provides footpath pavement treatments in accordance with Planning Scheme Policy 9 – Footpath Paving.	Not Applicable

Performance outcomes	Acceptable outcomes	Compliance
Stormwater Quality		
<p>Development has a non-worsening effect on the site and surrounding land and is designed to:</p> <ul style="list-style-type: none"> (a) optimise the interception, retention and removal of waterborne pollutants, prior to the discharge to receiving waters; (b) protect the environmental values of water bodies affected by the development, including upstream, onsite and downstream water bodies; (c) achieve specified water quality objectives; (d) minimise flooding; (e) maximise the use of natural channel design principles; (f) maximise community benefit; and (g) minimise risk to public safety. 	<p>For development on land greater than 2,500m² or that result in more than 5 lots or more than 5 dwellings or accommodation units, a Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) is prepared that demonstrates that the development:</p> <ul style="list-style-type: none"> (a) meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline; (b) is consistent with any local area stormwater water management planning; (c) (c) accounts for development type, construction phase, local climatic conditions and design objectives; and (d) provides for stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulphate soil and rainfall erosivity. 	<p>Given the nature and scale of the proposed development and the size of the site, a detailed storm water management plan is not considered to be required in this instance. On site infrastructure will convey the storm water to a lawful point of discharge.</p>
Excavation or Filling		
<p>Traffic generated by filling or excavation does not impact on the amenity of the surrounding area.</p>	<p>Haul routes used for transportation of fill to or from the site only use major roads and avoid residential areas.</p>	<p>Complies – limited filling and excavation proposed.</p>
	<p>Transportation of fill to or from the site does not occur:</p> <ul style="list-style-type: none"> (a) within peak traffic times; and (b) before 7am or after 6pm 	<p>Able to comply.</p>

Performance outcomes	Acceptable outcomes	Compliance
	Monday to Friday; (c) before 7am or after 1pm Saturdays; and (d) on Sundays or Public Holidays.	
Air pollutants, dust and sediment particles from excavation or filling; do not cause significant environmental harm or nuisance impacts.	Dust emissions do not extend beyond the boundary of the site.	Able to comply - the dust management practices will be employed during construction.
	No other air pollutants, including odours, are detectable at the boundary of the site.	Able to comply - the dust management practices will be employed during construction.
	A management plan for control of dust and air pollutants is prepared and implemented.	Able to comply - the dust management practices will be employed during construction.
Access to the premises (including driveways and paths) does not have an adverse impact on: (a) safety; (b) drainage; (c) visual amenity; and (d) privacy of adjoining premises.	Access to the premises (including all works associated with the access): (a) must follow as close as possible to the existing contours; (b) be contained within the premises and not the road reserve, and (c) are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Complies – access to the premises will be designed and constructed in accordance with the relevant FNQROC standard.

The proposed development is considered to be generally consistent with the Acceptable Outcomes of the Works, Services and Infrastructure code and where the Acceptable Outcomes cannot be achieved it is able to comply with the relevant Performance Outcomes.

6.2 Mareeba Shire Council Adopted Infrastructure Charges Resolution (19 April 2017)

The Mareeba Shire Council Adopted Infrastructure Charges Resolution does not apply infrastructure charges to development outside of Priority Infrastructure Areas. The subject site is located outside of any identified Priority Infrastructure Area and, on that basis, it is understood that infrastructure charges are not applicable.

In the event that infrastructure charges were considered applicable, consideration should be given to the charge applicable if the development were located within a PIA. The applicable charge for an Educational Establishment and/or a Low Impact Industry is identified as being \$84 per sqm and \$30 per sqm, respectively.

The proposed use is intended to provide pre-vocational training in low industry based uses. On that basis, it is considered that the impact of the use is likely to be more similar to that of a low impact industry rather than that of an educational establishment such as a school. The charge of \$30 per sqm is therefore considered more applicable with a resulting maximum charge of \$18,900.

7.0 Summary and Conclusions

This report has been prepared on behalf of Ngoonbi Community Services Indigenous Corporation (the 'applicant') in support of a Development Application to Mareeba Shire Council for a Development Permit for the Material Change of Use of Premises to facilitate the development of a Educational Establishment, Low Impact Industry, Office and/or Contractors Depot (Mechanics Workshop, Construction Business, Offices, Meeting Rooms), Lot 322 on SP118917, Arara Street , Kuranda. The application is impact assessable and it is considered that the proposed development generally complies with the Acceptable Outcomes of the relevant planning benchmarks and, where the development does not satisfy the Acceptable Outcomes, the Performance Outcomes can be achieved.

The proposed development is considered to be suitable use of the site and the site can contain the use. The application is therefore supported subject to reasonable and relevant conditions.

Attachment 1

Title Search

CURRENT TITLE SEARCH

DEPT OF NATURAL RESOURCES AND MINES, QUEENSLAND

Request No: 26453871

Search Date: 19/07/2017 09:53

Title Reference: 50495511

Date Created: 24/05/2004

Previous Title: 40040337

REGISTERED OWNER

Dealing No: 712355872 21/04/2009

THE STATE OF QUEENSLAND

(REPRESENTED BY DEPARTMENT OF EDUCATION AND TRAINING)

ESTATE AND LAND

Estate in Fee Simple

LOT 322 SURVEY PLAN 118917
Local Government: MAREEBA

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 40040337 (Lot 322 on SP 118917)

ADMINISTRATIVE ADVICES - NIL

UNREGISTERED DEALINGS - NIL

CERTIFICATE OF TITLE ISSUED - No

Corrections have occurred - Refer to Historical Search

** End of Current Title Search **

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Requested By: D-ENQ CITEC CONFIRM

Attachment 2

Proposal Plans

WALLS TO BE DEMOLISHED. MAKE GOOD AFFECTED AREAS.

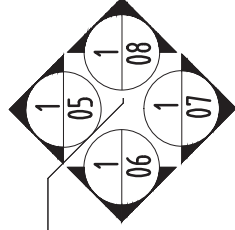
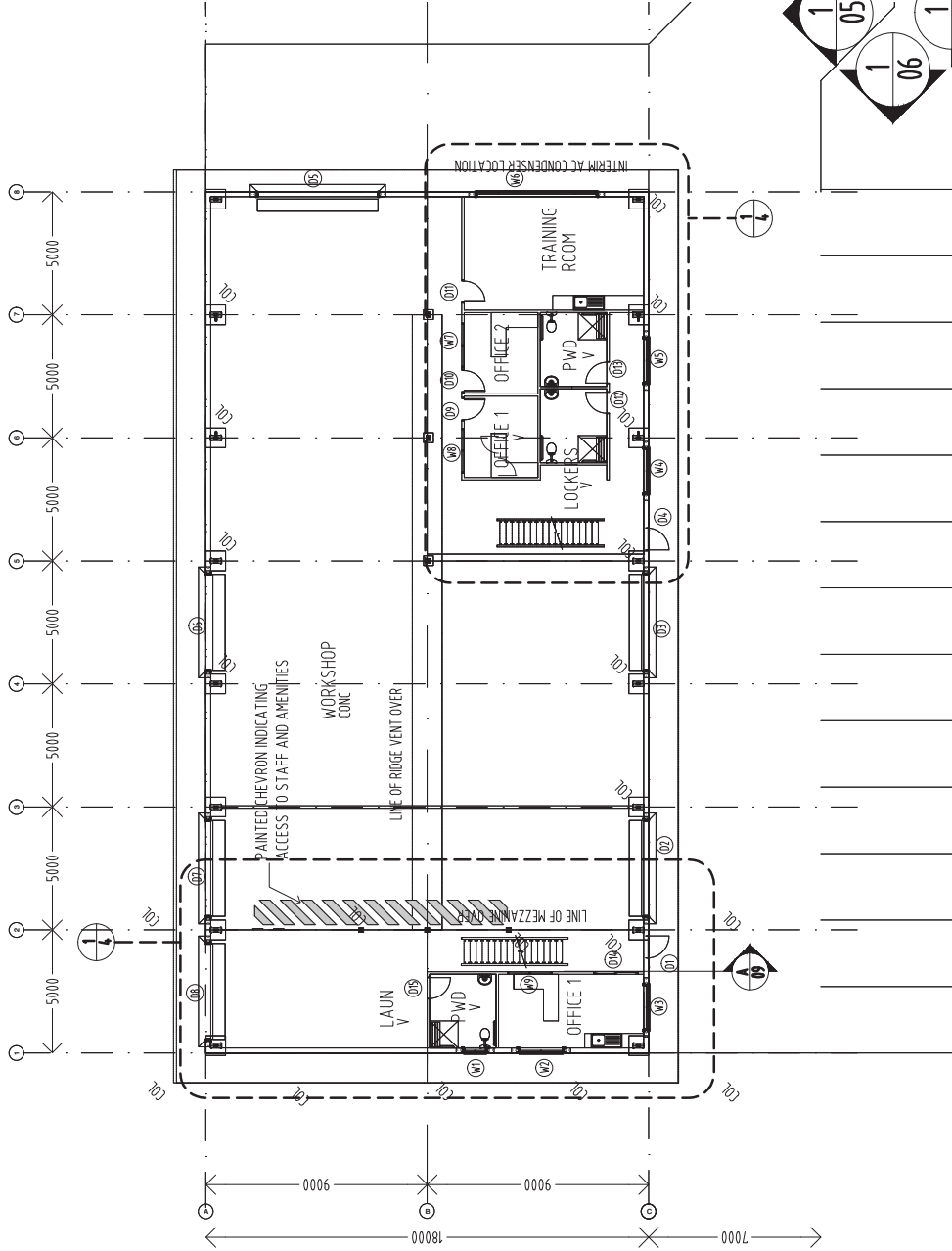
[illegible]

ISSUED FOR REVIEW

NO	DATE	REVISION	BY	CHKD	NOTE	PROJECT	NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION					
1	04/07/17	ISSUED FOR REVIEW			UNLESS OTHERWISE NOTED ALL WORKS SHOWN ON THIS DRAWING SHALL BE CONSIDERED TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NOTICE OF THE ARCHITECT ANY DISCREPANCIES WHICH MAY FIND EXISTENCE BETWEEN THESE DRAWINGS AND THE SPECIFICATIONS OR THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL PROPOSED BUILDING WORK SHOWN ON THIS DRAWING IS TO COMPLY WITH THE RELEVANT NATIONAL STANDARDS AND CODES INCLUDING BUT NOT LIMITED TO THE CODES OF AUSTRALIA, AUSTRALIAN STANDARDS & CODES, LOCAL GOVERNMENT ORDINANCES AND REGULATIONS AND THE RELEVANT SECTION OVER THE WORKS COMPLIANT WITH MANUFACTURERS' WRITTEN SPECIFICATIONS AND THE CONSTRUCTION, APPLICATION, INSTALLATION, ETC. REQUIREMENTS OF ALL MATERIALS AND PRODUCTS TO BE USED.							
						TITLE	LOT 322, APARA STREET, KURANDA (LOT 322 ON SP118917)					
						SITE PLAN						
						SCALE	DATE	DRAWN	CHECKED	JOB NO.	DWG NO.	REV
						1:750	JULY '17	DMI		13-NGO-01	WD-01	1

LEGEND

- 200 CONCRETE MASONRY WALLS
- EXTG WALLS TO BE RETAINED
- EXTG WALLS TO BE DEMOLISHED
- CONCRETE COLUMN
- 200 CONCRETE MASONRY WALLS
- FULLY CORE FILLED - R-40 & 100/100/120
- FAN COIL UNIT (AIR CON)
- AP - ACCESS PANEL
- AL - ALUMINIUM LOUVRES
- AGD - ALUMINIUM GLAZED DOOR
- B - BASIN
- BF - BI-FOLD
- BH - BULKHEAD
- CEC - COMPRESSED FIBRE CEMENT
- CH - CEILING HEIGHT ABOVE FL
- CO - CUSTOM ORB ROOF SHEET
- CT - CERAMIC TILES
- EW - EASEMENT WINDOW
- KN - CONCRETE
- D - DUCT
- DP - DOWNPIPE
- DW - DISHWASHER
- EXR - EXHAUST RISER
- FC - FIBRE CEMENT
- FT1 - FENCE TYPE 1
- FT2 - FENCE TYPE 2
- FT3 - FENCE TYPE 3
- FG - FIXED GLASS
- FW - FLOOR WASTE
- GBF - GLAZED ALUM BI-FOLD
- GL - GLASS LOUVRES
- H - HARDPLANK CLADDING
- HP - HOT PLATE
- HR - HANDRAIL
- HST - CLOTHES HOIST
- HSW - HDB SLIDING WINDOW
- HWS - HOT WATER SERVICE
- LS - LANDSCAPE
- L - LINEN CUPBOARD
- LV - GLASS LOUVER
- MDF - MAIN DISTRIBUTION FRAME
- MG - MAKE GOOD TO EXISTING
- MSB - MAIN SWITCHBOARD
- MO - MICROWAVE OVEN
- N - SHIM DEEP NICHE
- O - UNDER BENCH OVEN
- OHC - OVERHEAD CUPBOARDS
- P1 - PAYER TYPE 1
- P - TOILET PAN
- PB - PLASTERBOARD
- PF - PARAPET FLASHING
- PP - PAINTED PLASTERBOARD
- PTY - PAINTRY
- REF - REFRIGERATOR
- RH - RANGE HOOD
- R - ROBE
- S - S/STEEL SINK
- SHR - SHOWER
- SF - SHELF
- SFD - SLIDING FOLDING GLASS DOOR
- SOD - SLIDING GLASS DOOR
- SP - SLIDING PANEL
- SPT - SPITTER
- SS - SHOWER SCREEN
- ST - STACK
- TMB - TIMBER FLOOR
- TMD - TIMBER DECK
- TME - TO MATCH EXISTING
- V - VENT
- WH - WASHING MACHINE
- WRG - WASHED RIVER GRAVEL
- DENOTES LANDSCAPED AREAS
- DENOTES EXPOSED AGG CONCRETE
- DENOTES CULTIVATED LAWN
- TYPE
- HEIGHT
- WIDTH



ISSUED FOR REVIEW

PLAN
1:200

NO	DATE	REVISION	BY	CHKD	NOTE	PROJECT			
						NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION	LOT 322, ARARA STREET, KURANDA (LOT 322 ON SP118917)	GROUND FLOOR PLAN	
1	04/07/17	ISSUED FOR REVIEW				SCALE	DATE	DRAWN	CHECKED
2	06/07/17	MINOR AMENDMENTS				1:200	JULY '17	DMI	
						JOB NO.	DWG NO.	REV	
						13-NGO-01	WD-02	2	

LEGEND

- 200 CONCRETE MASONRY WALLS

EXIST WALLS TO BE RETAINED

EXIST WALLS TO BE DEMOLISHED

CONCRETE COLUMN

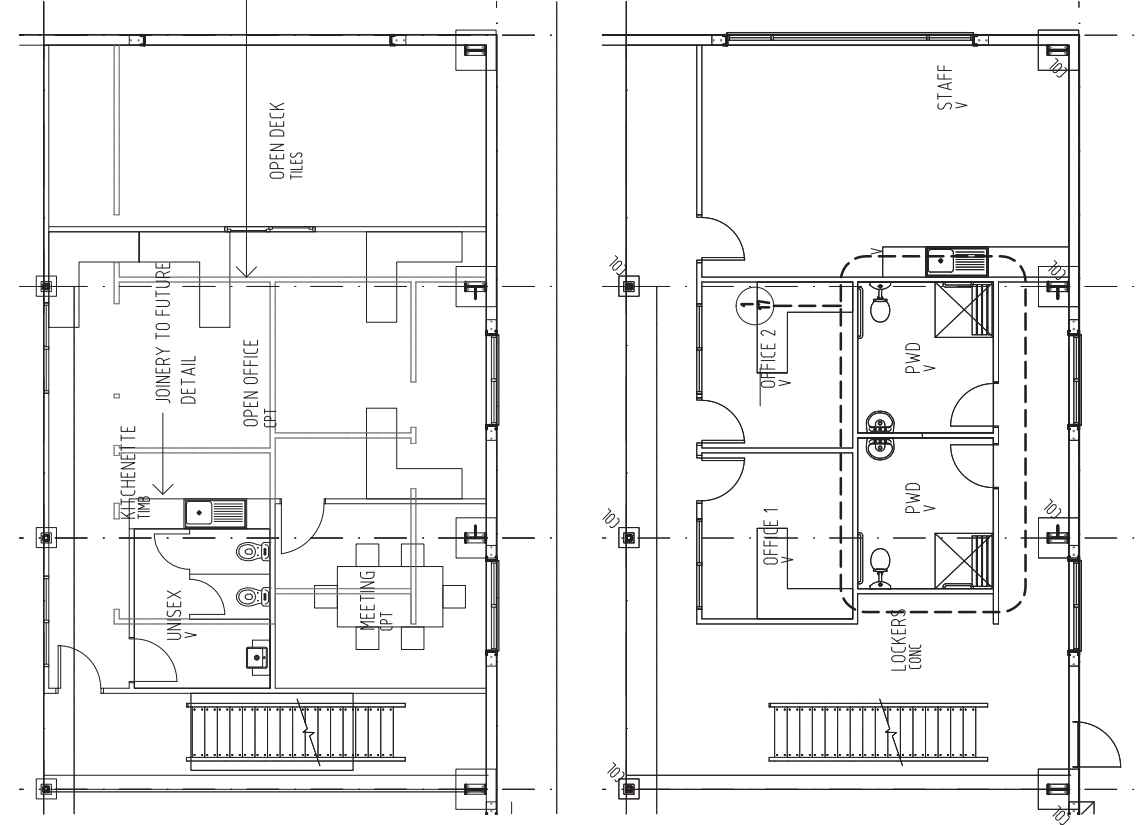
200 CONCRETE MASONRY WALLS
FULLY CORE FILLED - R450 & T20/T20/T20

FAN COIL UNIT (AIR CON)

AP - ACCESS PANEL
AL - ALUMINIUM LOUVRES
AGD - ALUMINIUM GLAZED DOOR
B - BASIN
BF - BI-FOLD
BH - BULKHEAD
CEC - COMPRESSED FIBRE CEMENT
CH - CEILING HEIGHT ABOVE FL
CO - CUSTOM ORB ROOF SHEET
CT - CERAMIC TILES
CW - CASEMENT WINDOW
CN - CONCRETE
D - DUCT
DP - DOWNPIPE
DW - DISHWASHER
EXR - EXHAUST RISER
FC - FIBRE CEMENT
FT1 - FENCE TYPE 1
FT2 - FENCE TYPE 2
FT3 - FENCE TYPE 3
FG - FIXED GLASS
FW - FLOOR WASTE
GBF - GLAZED ALUM BI-FOLD
GS - GRATED SUMP
GL - GLASS LOUVRES
H - HANGING PLANK CLADDING
HP - HOT PLATE
HR - HANDRAIL
HST - CLOTHES HOIST
HSM - HOB SLIDING WINDOW
HWS - HOT WATER SERVICE
LS - LANDSCAPE
L - LINEN CUPBOARD
LV - GLASS LOUVER
MDF - MAIN DISTRIBUTION FRAME

- MAKE GOOD TO EXISTING
- MAIN SWITCHBOARD
- MICROWAVE OVEN
- SHIM DEEP NICHE
- UNDER BENCH OVEN
- OVERHEAD CUPBOARDS
- PAVET TYPE 1
- TOILET PAN
- PLASTERBOARD
- PARAPET FLASHING
- PAINTED PLASTERBOARD
- PAINTRY
- REFRIGERATOR
- RANGE HOOD
- ROBE
- S/STEEL SINK
- SHOWER
- SHELF
- SLIDING FOLDING GLASS DOOR
- SLIDING GLASS DOOR
- SLIDING PANEL
- SPITTER
- SHOWER SCREEN
- STACK
- TIMBER FLOOR
- TIMBER DECK
- TO MATCH EXISTING
- VENT
- WASHING MACHINE
- WASHED RIVER GRAVEL

- DENOTES LANDSCAPED AREAS
- DENOTES EXPOSED AGG CONCRETE
- DENOTES CULTIVATED LAWN
-
-
- PROPOSED MEZZANINE PLAN
- SCALE 1 : 200
- ISSUED FOR REVIEW
- | NO | DATE | REVISION | BY | CHKD | NOTE | PROJECT | NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION |
|-----------------------------|-----------|-------------------|----------|-------|------|---------|--|
| 1 | 04/07/17 | ISSUED FOR REVIEW | | | | TITLE | LOT 322, ARARA STREET, KURANDA (LOT 322 ON SP118917) |
| 2 | 06/07/17 | MINOR AMENDMENTS | | | | | |
| FIRST FLOOR DEMOLITION PLAN | | | | | | | |
| SCALE | 1:200 | DATE | JULY '17 | DRAWN | DMI | CHECKED | |
| JOB NO. | 13-NGO-01 | DWG NO. | WD-03 | REV | 2 | | |



PROPOSED FLOOR PLANS

SCALE 1 : 100

NO	DATE	REVISION
1	04/07/17	ISSUED FOR REVIEW
2	06/07/17	MINOR AMENDMENTS

RECEPTION

UNLESS OTHERWISE NOTED ALL WORKS SHOWN ON THE DRAWING SHALL BE THE BUILDERS CONTRACTORS WORK. THE BUILDING CONTRACTORS TO BRING TO THE BUILDERS CONTRACTORS ATTENTION ANY WORKS SHOWN ON THE DRAWING THAT ARE NOT TO BE CONSIDERED AS PART OF THE BUILDING CONTRACTORS WORK. THE BUILDING CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING THAT ALL THE WORKS SHOWN ON THE DRAWING ARE COMPLETED IN ACCORDANCE WITH THE BUILDING CONTRACTORS OBLIGATIONS AND THE BUILDING CONTRACTORS OBLIGATIONS OVER THE WORKS. COMPLY WITH MANUFACTURERS WRITTEN SPECIFICATIONS FOR THE CONSTRUCTION, APPLICATION, INSTALLATION, ETC. OF ALL MATERIALS AND COMPONENTS. THE BUILDING CONTRACTORS SHALL BE RESPONSIBLE FOR ALL STRUCTURAL, CONCRETE, MASONRY AND STEEL WORK. REFER TO HYDRAULIC CONSULTANTS DRAWING FOR ALL STEELWORK, BUILDING AND SERVICE DRAINAGE, RAINWATER AND GULLY WATER LAYOUT.

BY

CHKD

NOTE

RECEPTION

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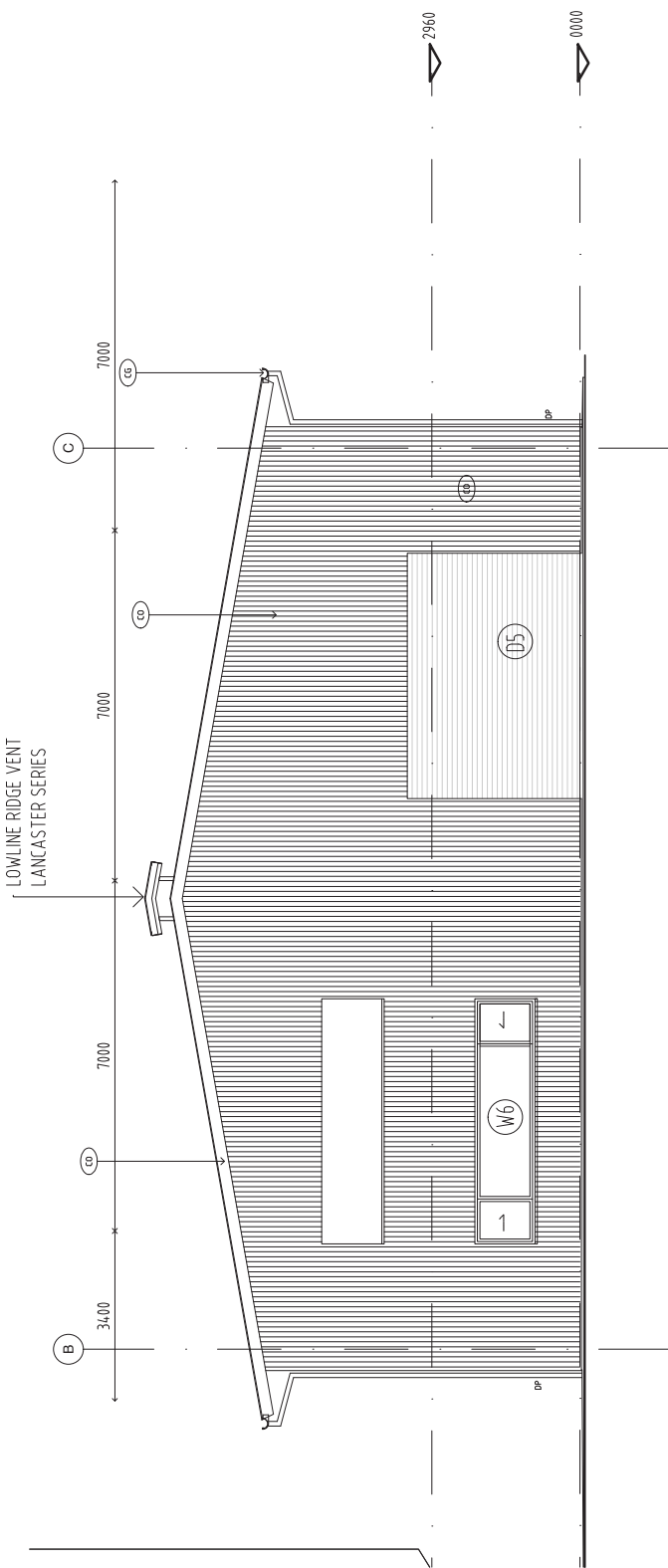
LEGEND

- 200 CONCRETE MASONRY WALLS
- EXTG WALLS TO BE RETAINED
- EXTG WALLS TO BE DEMOLISHED
- CONCRETE COLUMN
- 200 CONCRETE MASONRY WALLS FULLY CORE FILLED - R450 & 100/100/120
- FAN COIL UNIT (AIR CON)
- AP - ACCESS PANEL
- AL - ALUMINIUM LOUVRES
- AGD - ALUMINIUM GLAZED DOOR
- B - BASIN
- BF - BI-FOLD
- BH - BULKHEAD
- CEC - COMPRESSED FIBRE CEMENT
- CH - CEILING HEIGHT ABOVE FL
- CO - CUSTOM ORB ROOF SHEET
- CT - CERAMIC TILES
- CM - CASEMENT WINDOW
- CK - CONCRETE
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- WRG - WASHED RIVER GRAVEL
- TYPE
- HEIGHT
- WIDTH
- DENOTES LANDSCAPED AREAS
- DENOTES EXPOSED AGG CONCRETE
- DENOTES CULTIVATED LAWN

ISSUED FOR REVIEW

PROJECT	NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION
TITLE	LOT 322, ARARA STREET, KURANDA (LOT 322 ON SP118917)
SCALE	1:100
DATE	JULY '17
DRAWN	DMI
CHECKED	
JOB NO.	13-NGO-01
DWG NO.	WD-04
REV	2

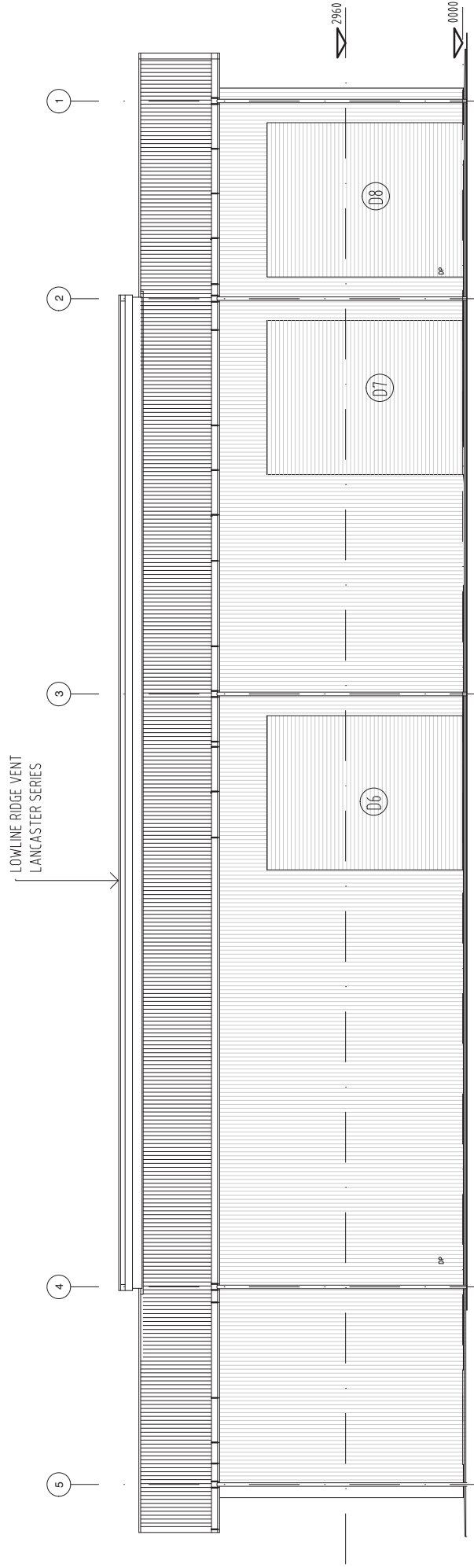
[illegible]



1
02
ELEVATION
1:100

ISSUED FOR REVIEW

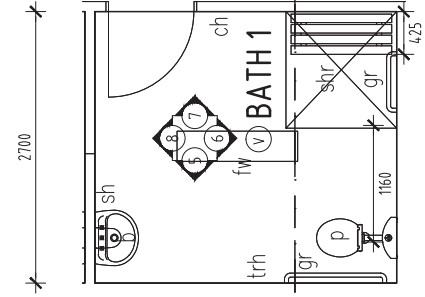
NO	DATE	REVISION	BY	CHKD	NOTE	PROJECT	NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION
1	06/07/17	ISSUED FOR REVIEW			UNLESS OTHERWISE NOTED ALL WORKS SHOWN ON THIS DRAWING SHALL BE BUILDERS CONTRACTORS WORK. THE BUILDING CONTRACTORS TO BRING TO THE BUILDING SITE ALL MATERIALS AND LABOUR REQUIRED FOR THE WORK SHOWN ON THE DRAWING. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL THE WORK SHOWN ON THE DRAWING IS COMPLETED IN ACCORDANCE WITH ALL ASPECTS OF THE STANDARD & SPECIAL CONDITIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS & CODES, LOCAL SPECIFICATIONS FOR THE CONSTRUCTION, APPLICATION, INSTALLATION, ETC. OF ALL MATERIALS AND LABOUR. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STRUCTURAL, CONCRETE, MASONRY AND STEEL WORK. REFER TO HYDRAULIC CONSULTANTS DRAWING FOR ALL SITEWORK, SURFACE AND SUBSURFACE DRAINAGE FACT AND GULLY WATER LAYOUT.	TITLE	LOT 322, ARARA STREET, KURANDA (LOT 322 ON SPI18917)
						ELEVATIONS 3	
						SCALE	1:100
						DATE	JULY 17
						DRAWN	DMI
						CHECKED	
						JOB NO.	13-NGO-01
						DWG NO.	WD-07
						REV	1



ELEVATION
1:100

ISSUED FOR REVIEW

[illegible]



- FIXTURES LEGEND :

trh

TOILET ROLL HOLDER – 700 AFL

trq

TOWEL RAIL – 900 AFL

sh

120x400 SHELF – 900H

fw

FLOOR WASTE

b

BASIN

mr

900H MIRROR

sc

STOPCOCK AS SPECIFIED

shr

SHOWER

ch

COAT HOOK

st

STACK

gr

GRAB RAIL
- FINISHES LEGEND :

L

LAMINATE

OS

OPEN ADJUSTABLE LAMINATE SHELVES

VS

VILLABOARD SUBSTRATE

T

TILED SPLASHBACK

ST

STONE BENCHTOP

STI

STONE TILES

GR

GRANITE

VW

HEAT SHRINK VINYL WRAP

WT

600 x 300 WALL TILES LAD FULL HEIGHT HORIZONTAL TO ALL WALLS

V

VINYL – ROLLED CORNERS

IZ

SKIRTING TILE

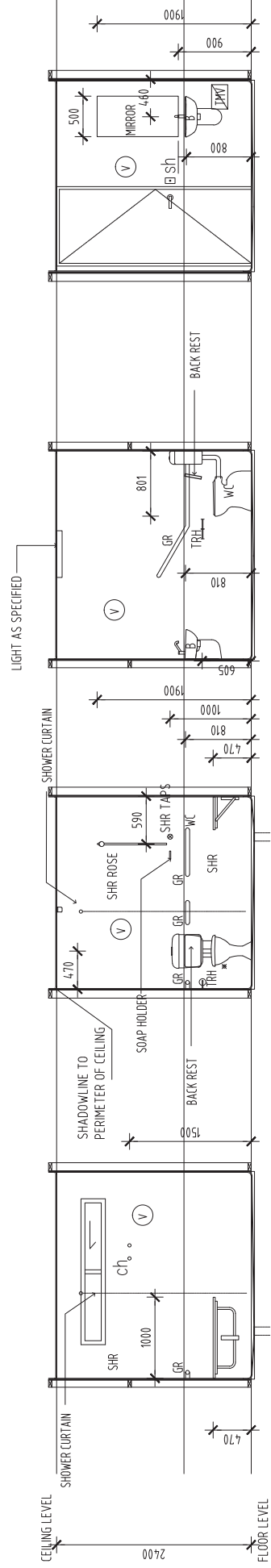
- NOTE:
- FITTINGS & FINISHES AS PER SPEC.

ALL DIMENSIONS TO BE CONFIRMED AGAINST AS1428.1 -2009

ALL FALLS TO BE IN STRICT ACCORDANCE WITH 1428.1 - 2009

ALL DIMENSIONS ARE SHOWN TO FINISHED LEVELS

ALL GRAB RAILS IN ACCORDANCE WITH AS1428.1 -2009



5

INTERNAL ELEVATION 5

SCALE 1:50

6

INTERNAL ELEVATION 6

SCALE 1:50

7

INTERNAL ELEVATION 7

SCALE 1:50

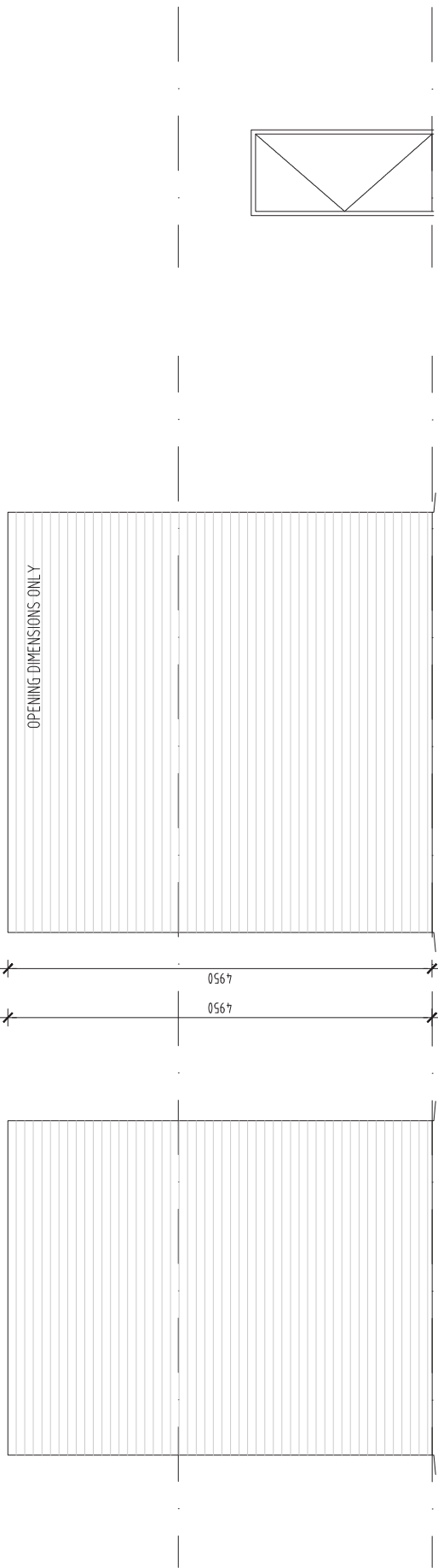
8

INTERNAL ELEVATION 8

SCALE 1:50

ISSUED FOR BUILDING APPROVAL

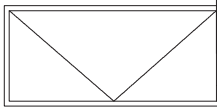
NO	DATE	REVISION	BY	CHKD	NOTE
1	04/07/17	ISSUED FOR REVIEW			UNLESS OTHERWISE NOTED ALL WORKS SHOWN ON THE DRAWING SHALL BE BUILDER CONTRACTOR WORK. THE BUILDING CONTRACTORS TO BRING TO THE BUILDING CONTRACTOR'S ATTENTION ANY WORKS NOT SHOWN ON THE DRAWING IN THIS DRAWING PROJECT TO COMMENCEMENT OF WORK. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL THE WORKS SHOWN ON THE DRAWING ARE COMPLETED IN ACCORDANCE WITH ALL ASPECTS OF THE STANDARD & SPECIAL CONDITIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS & CODES, LOCAL SPECIFICATIONS FOR THE CONSTRUCTION, APPLICATION, INSTALLATION, ETC. OF THE WORKS, COMPLY WITH MANUFACTURER'S WRITTEN SPECIFICATIONS FOR THE CONSTRUCTION, APPLICATION, INSTALLATION, ETC. OF THE WORKS. REFER TO HYDRAULIC CONSULTANTS DRAWING FOR ALL STEADY STATE, SURFACE AND SUBSURFACE DRAINAGE FACT AND GULL WATER LAYOUT.
PROJECT NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION					
TITLE LOT 322, APARA STREET, KURANDA (LOT 322 ON SP118917)					
WETAREAS					
SCALE	DATE	DRAWN	CHECKED	JOB NO.	DWG NO.
1:50	JULY '17	DMI		13-NGO-01	WD-11
					REV
					1



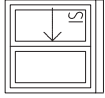
D2 D3 D6 D7 D8
LOCATION: WAREHOUSE
FRAME: FRAMELESS
FINISH: COLORBOND
NOTES: WINDLOCKS

D5
LOCATION: WAREHOUSE
FRAME: FRAMELESS
FINISH: COLORBOND
NOTES: WINDLOCKS

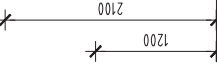
D1 D4
LOCATION: STAFF
FRAME: STEEL
FINISH: PAINTED
GLAZING: NIL
DOOR: SOLID



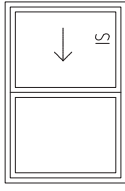
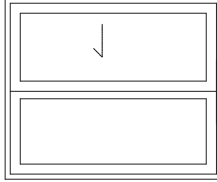
D16 D18 D19 D9 D10 D11 D12 D13 D14
LOCATION: INTERNAL
FRAME: ALUMINIUM
FINISH: CLEAR ANODIZED
GLAZING: CLEAR



W1 W9
LOCATION: PWD, MEZZ
FRAME: ALUMINIUM
FINISH: CLEAR ANODIZED
GLAZING: FROSTED



W14 W17
LOCATION: OFFICE 3, OPEN OFFICE
FRAME: ALUMINIUM
FINISH: CLEAR ANODIZED
GLAZING: CLEAR
NOTES:



W2 W3 W4 W5 W7 W8 W9 W10 W11 W12 W13
LOCATION: REFER PLANS
FRAME: ALUMINIUM
FINISH: CLEAR ANODIZED
GLAZING: CLEAR
NOTES: INSECT SCREENS ONLY TO EXTERNAL WINDOWS
IS - insect screen - CRIMSAFE

ISSUED FOR REVIEW

NO	DATE	REVISION	BY	CHKD	NOTE	PROJECT	NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION
1	06/07/17	ISSUED FOR REVIEW				TITLE	LOT 322, ARARA STREET, KURANDA (LOT 322 ON SP118917)
WINDOW & DOOR SCHEDULE							
SCALE	1:50	DATE	JULY '17	DRAWN	DMI	CHECKED	JOB NO. 13-NGO-01
REV	1						DWG NO. WD-12

- ☐ PLASTERBOARD CEILING
- ☐ MOISTURE RESISTANT
- ☐ CUSTOMORB























GROUND RCP
SCALE 1 : 200

[illegible]

PROJECT	NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION				
TITLE	LOT 322, APARA STREET, KURANDA (LOT 322 ON SP118917)				
GROUND FLOOR PLAN					
SCALE 1:200	DATE JULY '17	DRAWN DMI	CHECKED	JOB NO. 13-NGO-01	DWG NO. WD-13
					REV 2

LIGHTING TABLE		
QTY	DESCRIPTION	TYPE/NOTES
16	COMPACT DOWNLIGHTS	400/80
13	WALL LIGHTS	S/S 07/DOWN
12	DOUBLE GRILL	PDL
2	TV POINTS	PDL
3	TELEPHONE	PDL
2	DATA	
2	WP GRIDS	

- | | |
|---|--|
|  | LED HIGH BAY LIGHTS |
|  | WALL MOUNTED FEATURE LIGHT 800 A.F.I. LINO |
|  | 12V SPOT LIGHT |
|  | DOUBLE GPO |
|  | TV OUTLET |
|  | MECHANICAL CEILING VENT |
|  | FAN COIL UNIT |
|  | MECHANICAL WALL VENT |
|  | SMOKE DETECTOR |
|  | SINGLE TELEPHONE POINT |
|  | SELECTED INTERCOM REFER TO MAINF. MIN. REQS. |
|  | 1200 LONG FLUORESCENT LUMINAIRE |
|  | WEATHERPROOF GPO |
|  | DOUBLE SWITCH |
|  | SINGLE SWITCH |
|  | MAIN SWITCH BOARD |
|  | LIGHTING CIRCUIT ON TIMER DURING 6PM-9PM |
|  | SENSOR MOVEMENT 6PM-10PM |
|  | LIGHTING CIRCUIT ON TIMER DURING 6PM-10PM |
|  | THEN ON SENSOR MOVEMENT UNTIL 6AM |

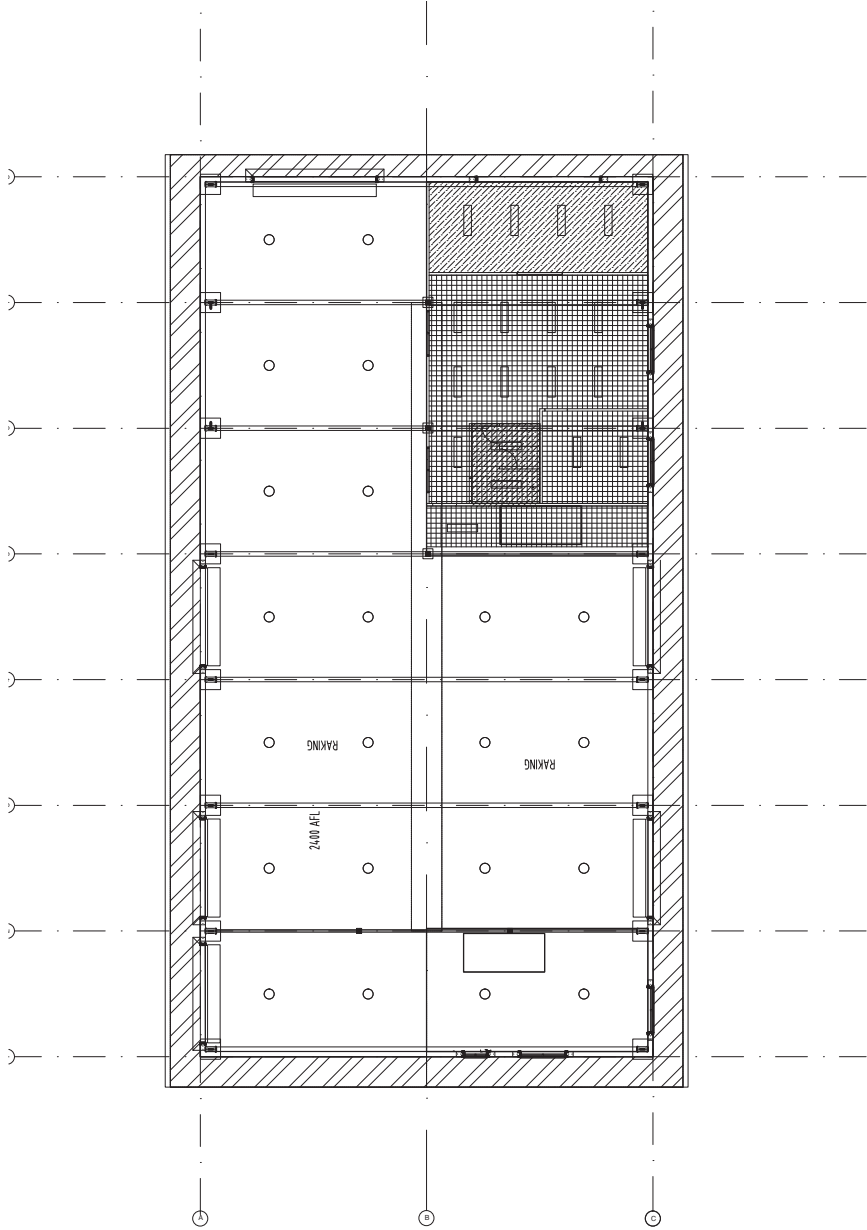
NOTE
POWER OUTLETS, TV & PHONE POINTS SHALL BE
300 A.F.L. UNO.
ALLOW FOR WIRING & LIGHT SWITCH FOR FUTURE GARDEN
LIGHTING.

LIGHTING LAYOUT FOR
TENDERING PURPOSES ONLY
ELECTRICAL CONSULTANT INPUT
PENDING

ISSUED FOR REVIEW

CEILING LEGEND

- PLASTERBOARD CEILING
- MOISTURE RESISTANT
- CUSTOMORB



MEZZANINE RCP

SCALE 1 : 200

NO	DATE	REVISION
1	04/07/17	ISSUED FOR REVIEW
2	06/07/17	MINOR AMENDMENTS

ISSUED FOR REVIEW

PROJECT	NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION				
TITLE	LOT 322, ARARA STREET, KURANDA (LOT 322 ON SP1 18917)				
FIRST FLOOR					
SCALE	DATE	DRAWN	CHECKED	JOB NO.	DWG NO.
1:200	JULY '17	DM		13-NGO-01	WD-2
					REV 2

UNLESS OTHERWISE NOTED ALL WORKS SHOWN ON THE DRAWING SHALL BE BUILDERS CONTRACTORS WORK. THE BUILDING CONTRACTORS TO BRING TO THE BUILDING CONTRACTORS ATTENTION ANY WORKS NOT SHOWN ON THE DRAWING IN THIS DRAWING PRIOR TO COMMENCEMENT OF WORK. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL THE WORKS SHOWN ON THE DRAWING ARE COMPLETED IN ACCORDANCE WITH ALL ASPECTS OF THE STANDARD & SPECIAL CONDITIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS & CODES, LOCAL GOVERNMENT REQUIREMENTS AND MANUFACTURERS SPECIFICATIONS OVER THE WORKS. COMPLY WITH MANUFACTURERS WRITTEN SPECIFICATIONS FOR THE CONSTRUCTION, APPLICATION, INSTALLATION, ETC. ENGINEERS DRAWING FOR ALL STRUCTURAL, CONCRETE, MASONRY AND STEEL WORK. REFER TO HYDRAULIC CONSULTANTS DRAWING FOR ALL STEEL WATER, SEWAGE AND SURFACE DRAINAGE FACT AND GULL WATER LAYOUT.

