



Mareeba SHIRE COUNCIL

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21 May 2018

Senior Planner: Brian Millard
Direct Phone: 4086 4657
Our Reference: BM:nj
Your Reference: HRP16299/006

Reever and Ocean Pty Ltd
C/- Dominic Hammersley
Cardno (Qld) Pty Ltd
PO Box 1619
CAIRNS QLD 4870

Dear Sir/Madam

Decision Notice *Planning Act 2016*

I refer to your application and advise that on 16 May 2018, Council decided to approve the application in full subject to conditions.

Details of the decision are as follows:

APPLICATION DETAILS

Application No:	MCU/18/0006
Street Address:	77 and 112 Barnwell Road KURANDA
Real Property Description:	Part of Lot 16 on N157227, Lot 17 on SP296830, Lot 18 on SP296830, Lot 19 on SP296830 and Lot 22 on SP296830
Planning Scheme:	Mareeba Shire Council Planning Scheme 2016

DECISION DETAILS

Type of Decision:	Approval
Type of Approval:	Development Permit for Material Change of Use - Tourist Attraction
Date of Decision:	16 May 2018

CURRENCY PERIOD OF APPROVAL

The currency period for this development approval is six (6) years starting the day that this development approval takes effect. (Refer to Section 85 "Lapsing of approval at end of currency period" of the *Planning Act 2016*.)

INFRASTRUCTURE

Where conditions relate to the provision of infrastructure, these are non-trunk infrastructure conditions unless specifically nominated as a "*necessary infrastructure condition*" for the provision of trunk infrastructure as defined under Chapter 4 of the *Planning Act 2016*.

ASSESSMENT MANAGER CONDITIONS

1. Development must be carried out generally in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, including but not necessarily limited to the subject of any alterations:
 - found necessary by Council's delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
 - to ensure compliance with the following conditions of approval.
2. Timing of Effect
 - 2.1 The conditions of the development permit must be complied with to the satisfaction of Council's delegated officer prior to the commencement of the relevant stage of the use except where specified otherwise in these conditions of approval.
 - 2.2 Prior to the commencement of the relevant stage of the use, the applicant must notify Council that all the conditions of the development permit have been complied with, except where specified otherwise in these conditions of approval.
3. General
 - 3.1 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.
 - 3.2 All external works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.
 - 3.3 Waste Management

On site refuse storage area must be provided and be screened from view from adjoining properties and road reserve by 1 metre wide landscaped screening buffer or 1.8m high solid fence or building.
 - 3.4 Hours of Operation

The operating hours shall be between 7am and 7pm, Monday to Sunday.

- 3.5 Tourists are to be delivered to the site via bus only and are not permitted to access or be delivered to the approved use via a passenger-car of 5.2 metres length (or lesser length vehicle).
- 3.6 In order to reduce amenity impacts, quad bike activities associated with the approved use are not permitted within 150 metres of the northern boundary of Lot 22 on SP296830 at any time.

Note - Quad bike activities associated with the existing use, namely animal husbandry, is permitted within this area.

- 3.7 The maximum noise level of any ATV (quad bike) operated in the conduct of the approved use shall not exceed 63dBA (measured at 50 metres from the ATV or at the boundary of any land not forming part of this development approval).
- 3.8 Any fuel stored on site associated with the approved use must be kept in a sealed, bunded area with a storage capacity of at least 150% of the storage capacity of any fuel storage tanks/containers.
- 3.9 Toilet Facilities

Toilet Blocks 1 and 2 as shown on Drawing DA-SP150 must be constructed on site prior to the commencement of Stage TA60 and Stage TA150.

- 3.10 The Applicant is to provide Council monthly tourist figures, within five (5) business days of the start of each calendar month.

4. Infrastructure Services and Standards

4.1 Access

An access crossover must be constructed (from the edge of Barnwell Road to the property boundary of the subject land) in accordance with the FNQROC Development Manual, to the satisfaction of Council's delegated officer.

4.2 Barnwell Road upgrades

Prior to the commencement of each relevant stage of the use, the applicant/developer is required to undertake the following works and / or actions designed in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer:

- (i) Stage TA60 and Stage TA150 – The applicant/developer must upgrade Barnwell Road (south), specifically the widening and sealing (with 4.5 metre minimum seal width) to the satisfaction of Council.

Note – Barnwell Road (north), being the sealed section of Barnwell Road is considered to be acceptable for the purposes of the TA150 and need not form part of the Traffic and Transport Management Plan.

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- (ii) Stage TA300 – The applicant/developer must upgrade the full length of Barnwell Road to the following standard:
- a. **Formation:** 8 metres
 - b. **Pavement Width:** 6.5 metres
 - c. **Seal Width:** 6.5 metres
 - d. **Shoulders:** 0.75 metres gravel
 - e. Myola Road / Barnwell Road intersection upgrade (as required), likely pavement widening on the left in to Barnwell Road.

4.3 Carparking/Internal Driveways

The designated car parking area and internal driveways must be constructed with compacted gravel to a minimum depth of 100mm and be appropriately drained prior to the commencement of the use, and maintained for the life of the development, to the satisfaction of Council's delegated officer.

4.4 Environmental Management

- 4.4.1 Any material likely to degrade the water (eg oils, lubricants, solvents, coolants, degreasing agents etc) must be stored within a bunded area, or an appropriately designed chemical storage container, suitable for preventing the escape of material into surface or underground water resources.
- 4.4.2 An emergency spill containment kit must be kept on site at all times during the operation of the approved use.
- 4.4.3 A vehicle wash down facility must be provided on-site to reduce the spread of weed species. The vehicle wash down facility is to be located so as to prevent the discharge of sediment, contaminants or wastewater to waterways, creeks or watercourses.
- 4.4.4 All new earthworks associated with access tracks, driveways and the like are to be maintained so that the risk and consequence of erosion is minimised, to the satisfaction of Council's delegated officer. All batters created by earthworks are to be vegetated or otherwise protected from scour as soon as possible after works are carried out, to the satisfaction of Council's delegated officer.
- 4.4.5 All tracks, including all creek/waterway crossings, driveways and the like used for ATV (quad bike) tours are to be constructed and maintained for the life of the development, so that the risk and consequence of erosion/sedimentation is minimised, to the satisfaction of Council's delegated officer.

4.4.6 Crossings

The crossing of creeks internal to the site by quad bikes used for tourist activities shall:

- (a) be limited to the use of "South Crossing 1" and "South-East Crossing 3" as depicted on "Figure 1: Erosion and Sediment Control Points of Interest" prepared by NRA Consultants;
- (b) involve a maximum of 60 crossings per day (single movement) over any single creek crossing location; and
- (c) not involve the use of "South Crossing 2" as depicted on "Figure 1: Erosion and Sediment Control Points of Interest" prepared by NRA Consultants;

Note: 60 crossings (single movement) is equivalent to 30 return trips.

The crossing of creeks internal to the site by foot:

- (a) only occurs where involving an essential crossing; or
- (b) where for a non-essential crossing only occurs where a foot scrub is used immediately prior to the non-essential crossing.

Note: An "essential crossing" is considered a crossing where no feasible alternative to a crossing by foot is available. This may include (but not be limited to) a crossing in response to a stranded vehicle, dangerous situation, potential for environmental harm or emergency situation.

Note: A foot scrub is required to be undertaken to limit the spread of Chytrid fungus.

Between 1 October of any given year and 31 May of the following year (inclusive), the following management protocols are to be implemented and followed in relation to the crossing of creeks internal to the site by vehicles associated with the tourist attraction use:

- (a) On-site rain gauge stations are to be monitored on a daily basis;
- (b) Where more than 25mm of rainfall is recorded within a 24 hour period, from the monitoring undertaken in accordance with paragraph (a), the crossing of any on-site creek for tourist activities is not to occur; and
- (c) The crossing of any on-site creek for tourist activities may recommence only when the level of water within a creek returns to pre-rainfall levels.

4.4.7 Speed Limits

The following speed limits are applicable to quad bikes used for tourist activities:

- (a) Where within a waterway corridor – 5km/h (walking pace)
- (b) Where within 100 metres of a waterway corridor – 10km/h
- (c) Where paragraphs (a) and (b) do not apply – 20km/h

4.4.8 Quad Bikes

Any quad bike used in association with the tourist attraction use must not leave the site unless:

- (a) The quad bike is transported by truck (and not under its own power) and the movement of the quad bike off site is for maintenance or servicing reasons; or
- (b) The movement of the quad bike is associated with an existing lawful rural use of the site.

4.4.9 Sediment and Erosion Control

The following sediment and erosion control measures are to be implemented on the site to limit the risk of sediment entering the watercourses, as appropriate:

- (a) Whoa-boy diversion drains, to divert water to grassed areas on the internal unsealed access-ways each side of the creek crossing;
- (b) Sections of appropriately sized rock at least 1.5 metres either side of any creek crossing and extending the full width of the access road, that will act as a shaker grid to dislodge dirt and debris prior to entering crossing;
- (c) Coir logs – pinned with wooden stakes, laid either side of the crossing to clean water entering the crossing and clean water leaving the crossing;
- (d) Embankments (where applicable) on either side of unsealed access ways covered with geofabric.

4.4.10 Signs

The following signage is to be erected on the site:

- (a) Signs located at the entrance to each creek crossing advising vehicle operators of the applicable speed limit under this approval; and
- (b) Signage located in the vicinity of the main tourist area, providing information on the Kuranda tree frog.

4.5 Water Supply

The quality of water provided on site for human contact or consumption must be of a standard for drinking water set by the Australian Drinking Water Guidelines 2004 (National Health and Medical Research Council and the National Resource Management Ministerial Council).

4.6 On-site Wastewater Management

All on site effluent disposal associated with the approved use must be in compliance with the latest version of On-Site Domestic Wastewater Management Standard (ASNZ1547) to the satisfaction of the Council's delegated officer.

4.7 Landscaping

Prior to the commencement of the use of the site, a landscape plan must be prepared and submitted to Council's delegated officer for consideration and approval.

Plant species used must be selected from the Plant Schedule in Planning Scheme Policy 6 - Landscaping and preferred plant species.

All landscaping must be carried out in accordance with the approved landscape plan and must be mulched, irrigated and maintained for the life of the development.

REFERRAL AGENCIES

The referral agencies applicable to this application are:

Aspect of development stated in schedule 20		
Development application for an aspect of development stated in schedule 20 that is assessable development under a local categorising instrument or section 21, if— (a) the development is for a purpose stated in schedule 20, column 1 for the aspect; and (b) the development meets or exceeds the threshold— (i) for development in local government area 1—stated in schedule 20, column 2 for the purpose; or (ii) for development in local government area 2—stated in schedule 20, column 3 for the	Schedule 10, Part 9, Division 4, Subdivision 1, Table 1	State Assessment & Referral Agency (SARA) Department of State Development, Manufacturing, Infrastructure and Planning PO Box 2358 Cairns Qld 4870 CairnsSARA@dilgp.qld.gov.au

<p>purpose; and</p> <p>(c) for development in local government area 1—the development is not for an accommodation activity or an office at premises wholly or partly in the excluded area</p> <p>However, if the development is for a combination of purposes stated in the same item of schedule 20, the threshold is for the combination of purposes and not for each individual purpose.</p>		
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A copy of any referral agency conditions are attached.

APPROVED PLANS

The following plans are Approved plans for the development:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
DA-SP060	Tourism Site Plan 60 Pax	Develop North	05/03/2018
DA-SP150	Tourism Site Plan 150 Pax	Develop North	05/03/2018
DA-SP300	Tourism Site Plan 300 Pax	Develop North	05/03/2018
DA-BH04	Ground Floor Plan	Develop North	01/03/2018
DA-BH05	Ground Floor Dimension Plan	Develop North	01/03/2018
DA-BH08	First Floor Plan	Develop North	01/03/2018
DA-BH09	First Floor Dimension Plan	Develop North	01/03/2018
DA-BH11	Roofing Plan	Develop North	01/03/2018
DA-BH12	Elevations	Develop North	01/03/2018
DA-BH13	Elevations	Develop North	01/03/2018
DA-CVD1	Cattle Viewing Deck Site Plan	Develop North	28/02/2018
DA-CVD2	Cattle Viewing Deck Ground Floor Plan	Develop North	28/02/2018
DA-CVD3	Cattle Viewing Deck First Floor Plan	Develop North	28/02/2018
DA-CVD4	Cattle Viewing Deck East & West Elevations	Develop North	28/02/2018

DA-CVD5	Cattle Viewing Deck North Elevation	Develop North	28/02/2018
DA-CVD6	Cattle Viewing Deck GF Beam Plan	Develop North	28/02/2018
DA-CVD7	Cattle Viewing Deck 1F Roof Beam Plan	Develop North	28/02/2018
DA-CVD8	Cattle Viewing Deck 3D Conceptual	Develop North	28/02/2018
DA-CON 01	Container Viewing Deck DA Plans & Elevation	Develop North	01/03/2018
DA-GD01	Garden Deck Site Plan Stage 1	Develop North	26/02/2018
DA-GD02	Garden Deck Floor Plan Stage 1	Develop North	26/02/2018
DA-GD03	Garden Deck Elevations Stage 1	Develop North	26/02/2018
DA-GD11	Garden Deck Site Plan Stage 2	Develop North	26/02/2018
DA-GD12	Garden Deck Floor Plan Stage 2	Develop North	26/02/2018
DA-GD13	Garden Deck Elevations Stage 2	Develop North	26/02/2018
DA-GD22	Garden Deck 3D Concept	Develop North	26/02/2018
DA-HP01	Horse Pen 2 Site Plan	Develop North	28/02/2018
DA-HP02	Horse Pen 2 Floor Plan	Develop North	28/02/2018
DA-HP03	North & South Elevations	Develop North	28/02/2018
DA-HP04	East & West Elevations	Develop North	28/02/2018
DA-HP05	Horse Pen 2 3D	Develop North	28/02/2018
DA-RSN01	Rest Stop North Site Plan	Develop North	28/02/2018
DA-RSN02	Rest Stop North Floor Plan	Develop North	28/02/2018
DA-RSN03	Rest Stop North Elevations	Develop North	28/02/2018
DA-RSN04	Rest Stop North 3D	Develop North	28/02/2018
DA-RSS01	Rest Stop South Site Plan	Develop North	28/02/2018
DA-RSS02	Rest Stop South Floor Plan	Develop North	28/02/2018
DA-RSS03	Rest Stop South Elevations	Develop North	28/02/2018
DA-RSS04	Rest Stop South 3D	Develop North	28/02/2018
DA-TB01	Toilet Block Floor & Site Plan	Develop North	01/03/2018

DA-TB02	Toilet Block Elevations	Develop North	01/03/2018
DA-TB03	Toilet Block 3D	Develop North	01/03/2018
Figure 1	Erosion and Sediment Control Points of Interest	NRA Consultants	Nov 2017

REFERENCED DOCUMENTS

Not Applicable.

ADVISORY NOTES

The following notes are included for guidance and information purposes only and do not form part of the assessment manager conditions:

(a) Food Premises

Premises proposed for the storage and preparation, handling, packing or service of food must comply with the requirements of the Food Act 2006.

(b) The change in the use of the building may also require a change in the classification of the building under the Building Act. You are advised to contact a Building Certifier to establish if a change in the classification of the building is required.

(c) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

(d) Compliance with Acts and Regulations

The erection and use of the building must comply with the Building Act and all other relevant Acts, Regulations and Laws; and these approval conditions.

(e) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.environment.gov.au.

(f) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the "cultural heritage duty of care"). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.datsip.qld.gov.au.

PROPERTY NOTES

Not Applicable.

VARIATION APPROVAL

Not Applicable.

FURTHER DEVELOPMENT PERMITS REQUIRED

- Development Permit for Operational Work
- Development Permit for Building Work
- Compliance Permit for Plumbing and Drainage Work

SUBMISSIONS

Not Applicable.

RIGHTS OF APPEAL

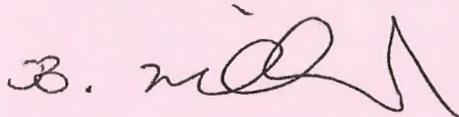
You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* is attached.

During the appeal period, you as the applicant may suspend your appeal period and make written representations to council about the conditions contained within the development approval. If council agrees or agrees in part with the representations, a "negotiated decision notice" will be issued. Only one "negotiated decision notice" may be given. Taking this step will defer your appeal period, which will commence again from the start the day after you receive a "negotiated decision notice".

OTHER DETAILS

If you wish to obtain more information about Council's decision, electronic copies are available on line at www.msc.qld.gov.au, or at Council Offices.

Yours faithfully



BRIAN MILLARD
SENIOR PLANNER

Enc: Approved Plans/Documents
Referral Agency Response
Appeal Rights

Copy: Department of State Development, Manufacturing, Infrastructure and Planning
CairnsSARA@dsdmip.qld.gov.au

Approved Plans/Documents



① TOURISM SITE PLAN PAX 60
1 : 2000

 <p>DEVELOP NORTH 1800 888 888</p>	<p>ADDRESS 112 BARRWELL RD ALFRANDA</p>	<p>DATE 22/12/17</p>	<p>DRAWN BY DA-SF050</p>	<p>PROJECT KIN-COW TOURISM ATTRACTION</p>	<p>DATE 01/03/18</p>	<p>REVISION</p>	<p>SCALE 1:2000</p>
	<p>PROJECT KIN-COW TOURISM ATTRACTION</p>	<p>DATE 01/03/18</p>	<p>REVISION</p>	<p>SCALE 1:2000</p>	<p>DATE 01/03/18</p>	<p>REVISION</p>	<p>SCALE 1:2000</p>
	<p>SHEET TOURISM SITE PLAN PAX 60</p>	<p>DATE 01/03/18</p>	<p>REVISION</p>	<p>SCALE 1:2000</p>	<p>DATE 01/03/18</p>	<p>REVISION</p>	<p>SCALE 1:2000</p>
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21/5/2018

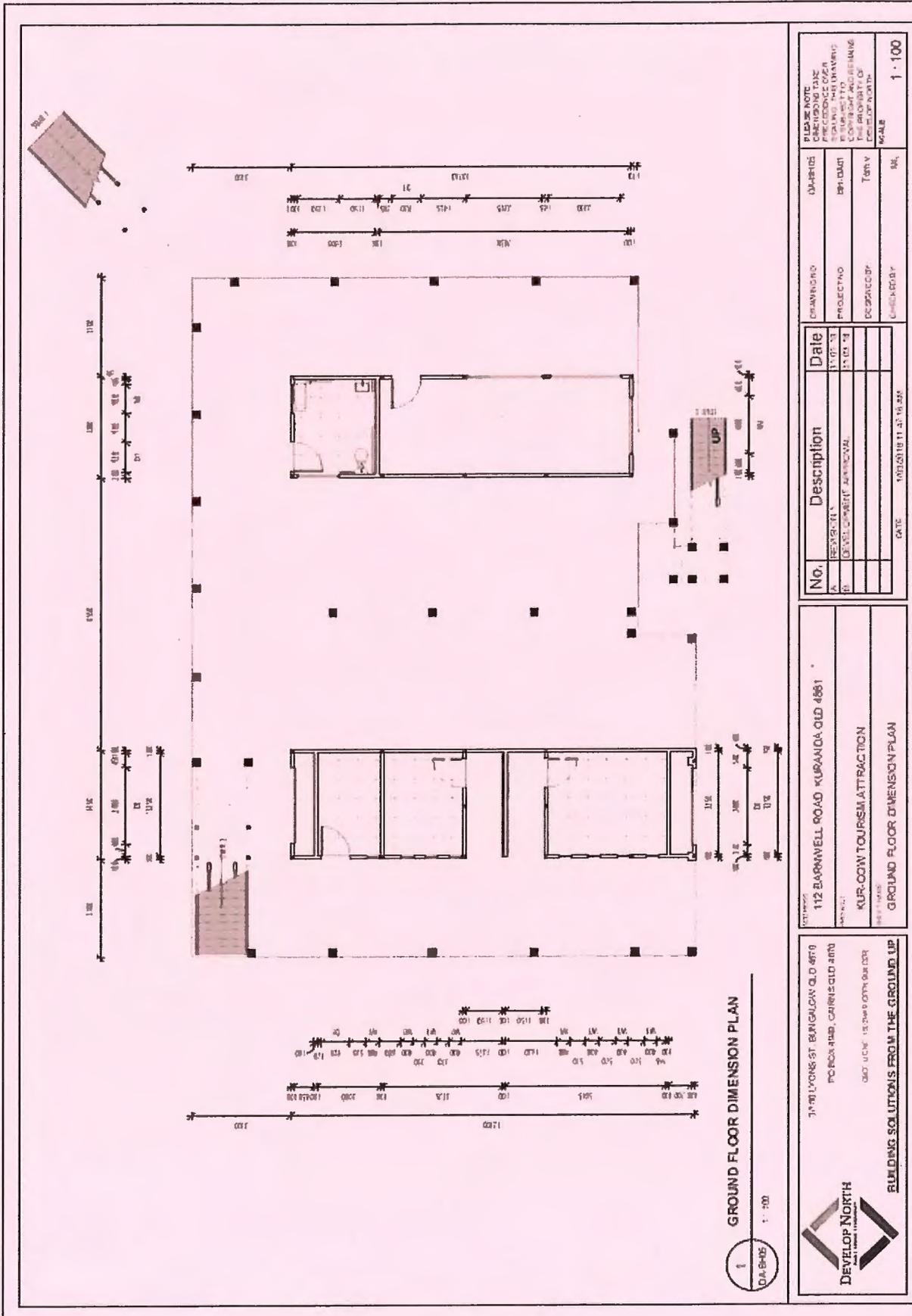
B.2000



1 TOURISM SITE PLAN PAX 150
1 : 2000

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	DATE 15/03/2018 3:02:51 PM	SHEET 1 OF 1	SCALE 1 : 2000	1 2018
	DEVELOP NORTH			

21/5/2018
B.M. [Signature]



No.	Description	Date
1	DESIGNER'S APPROVAL	17/07/18
2	CLIENT'S APPROVAL	15/07/18

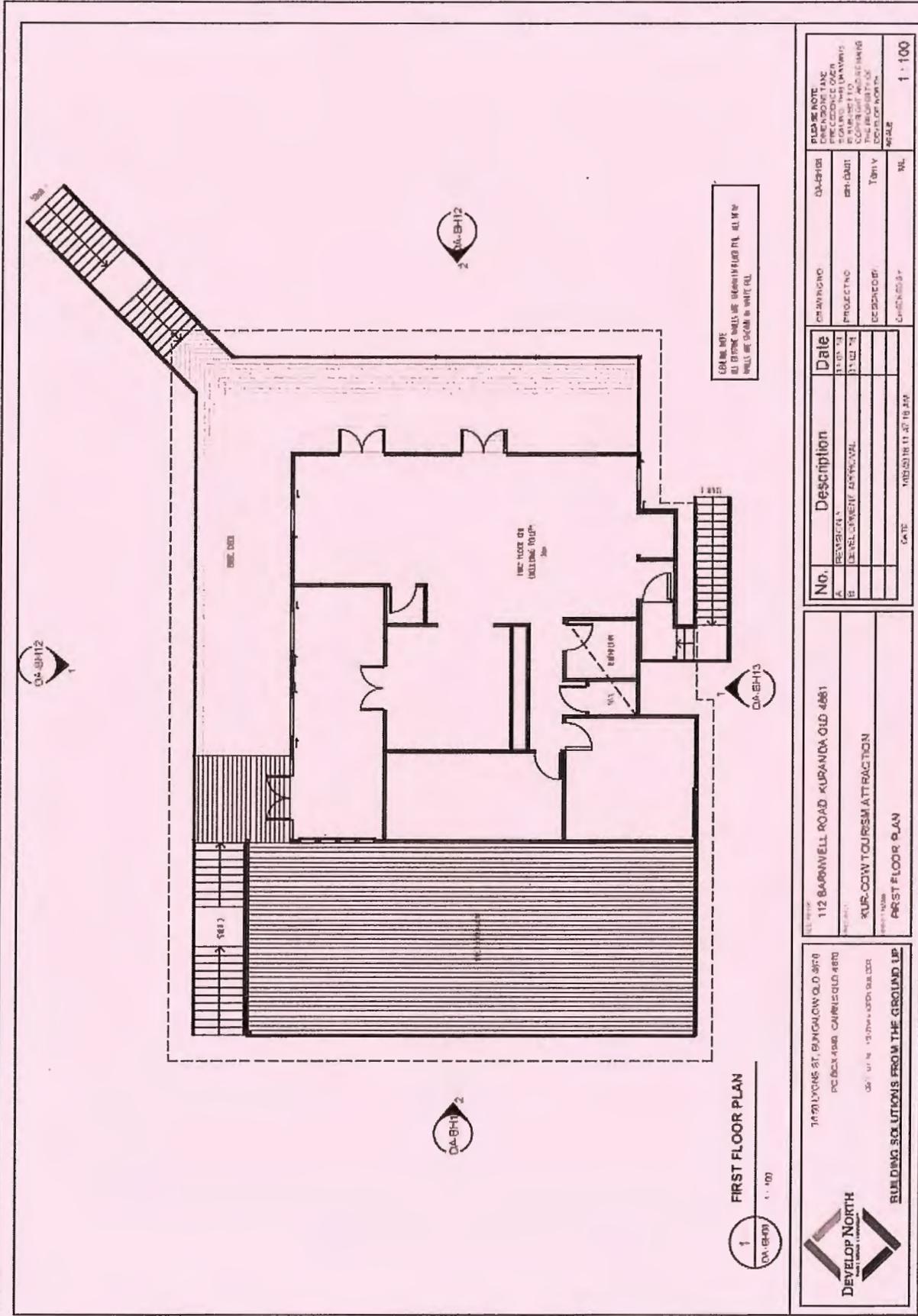
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17/07/18 ST BENIGNUS QLD 4670
 PO BOX 480, CARRIS QLD 4800
 GPO BOX 15, DUNDY QLD 4826
DEVELOP NORTH
 BUILDING SOLUTIONS FROM THE GROUND UP

PLEASE NOTE:
 CHECKING TABS
 PRECEDENCE OVER
 DIMENSIONS
 IN CASE OF
 CONFLICT, ADDRESS THE
 PRECEDENCE OF
 DIMENSIONS
 SCALE: 1:100

21/5/2018
B. M. [Signature]



No.	Description	Date
1	REVISED	11/03/18
2	REVISED APPROVAL	11/03/18

PROJECT NO.	112 BARNWELL ROAD KURANDA QLD 4661
PROJECT NAME	KUS-COON TOURISM ATTRACTION
PROJECT TYPE	FIRST FLOOR PLAN

1021/1026 ST. BUNGALOW OLD 9578
PO BOX 4880 CAIRNS QLD 4870
DATE: 01/10/15 (REVISED) 08/03/18

DEVELOP NORTH
ARCHITECTS

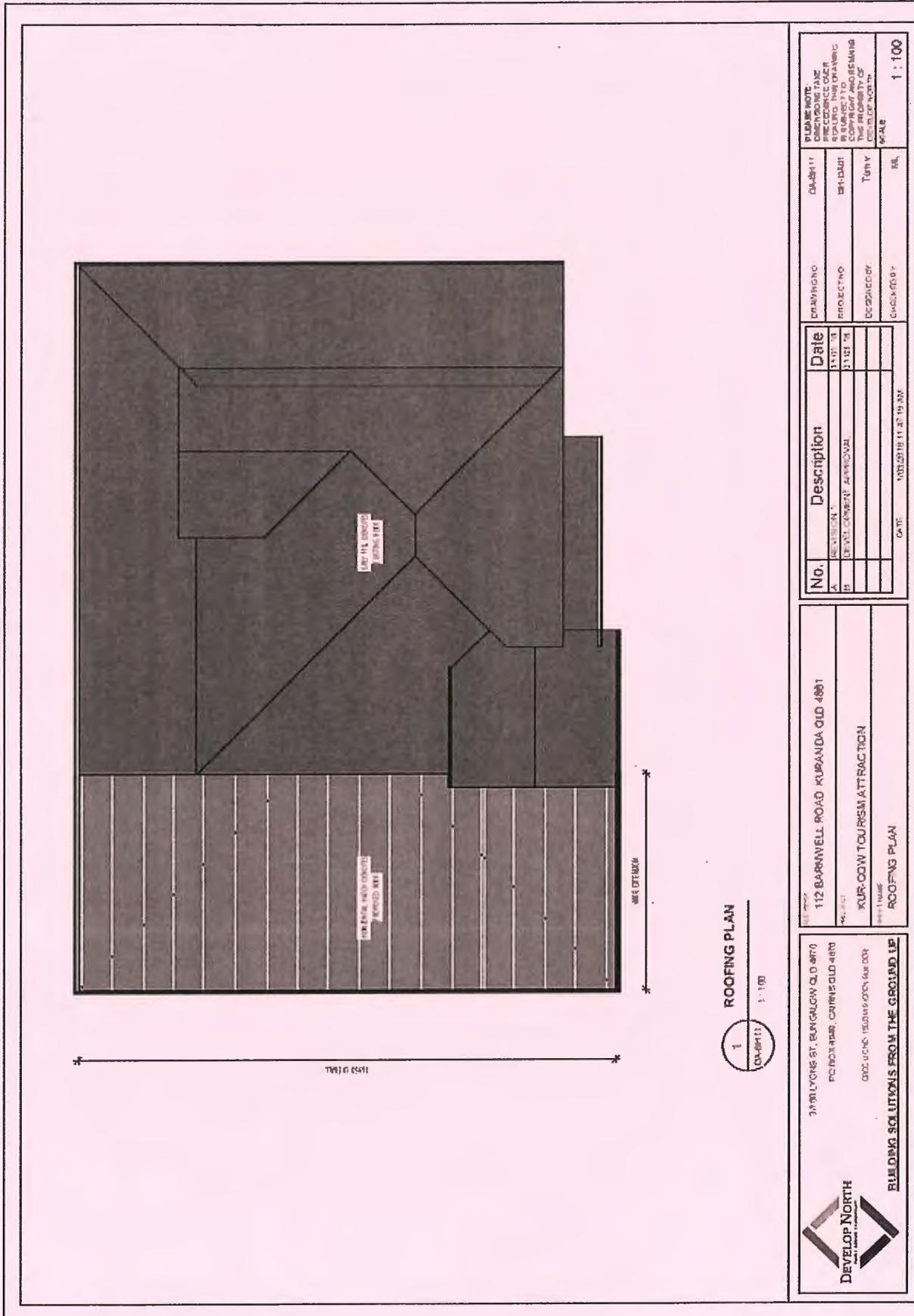
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SCALE	1:100

DESIGNER	DA-BH12
PROJECT NO.	DA-BH12
PROJECT NAME	DA-BH12
DATE	11/03/18 11:37:19 AM

GENERAL NOTE	ALL DIMENSIONS ARE DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED
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21/5/2018
B. M. [Signature]



PLEASE NOTE:
DRAWING IS FOR INFORMATION ONLY
IT IS NOT TO BE USED FOR CONSTRUCTION
WITHOUT THE APPROVAL OF THE ARCHITECT
AND ENGINEER

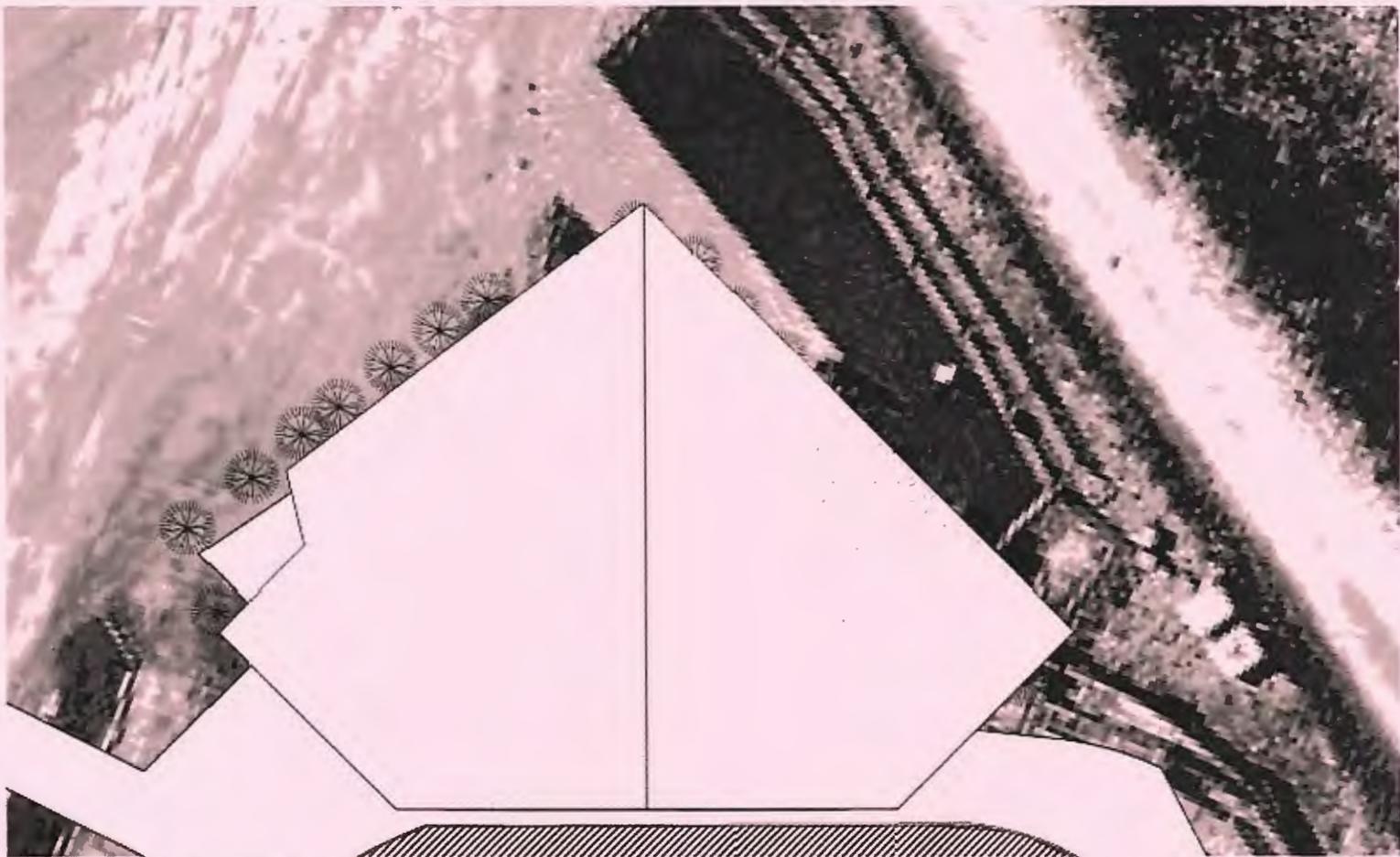
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PROJECT TYPE	ROOFING PLAN
SCALE	1 : 100

No.	Description	Date
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2	100% CORRUGATED GALVANIZED IRON	11/03/18

100% CORRUGATED GALVANIZED IRON
100% CORRUGATED GALVANIZED IRON

DEVELOP NORTH
ARCHITECTS & ENGINEERS
30 MILLIONS ST, BUNGALOW QLD 4870
PO BOX 488, CAIUMS QLD 4870
0825 0240 1500 69 0000 FAX 0825 0240 1500
BUILDING SOLUTIONS FROM THE GROUND UP

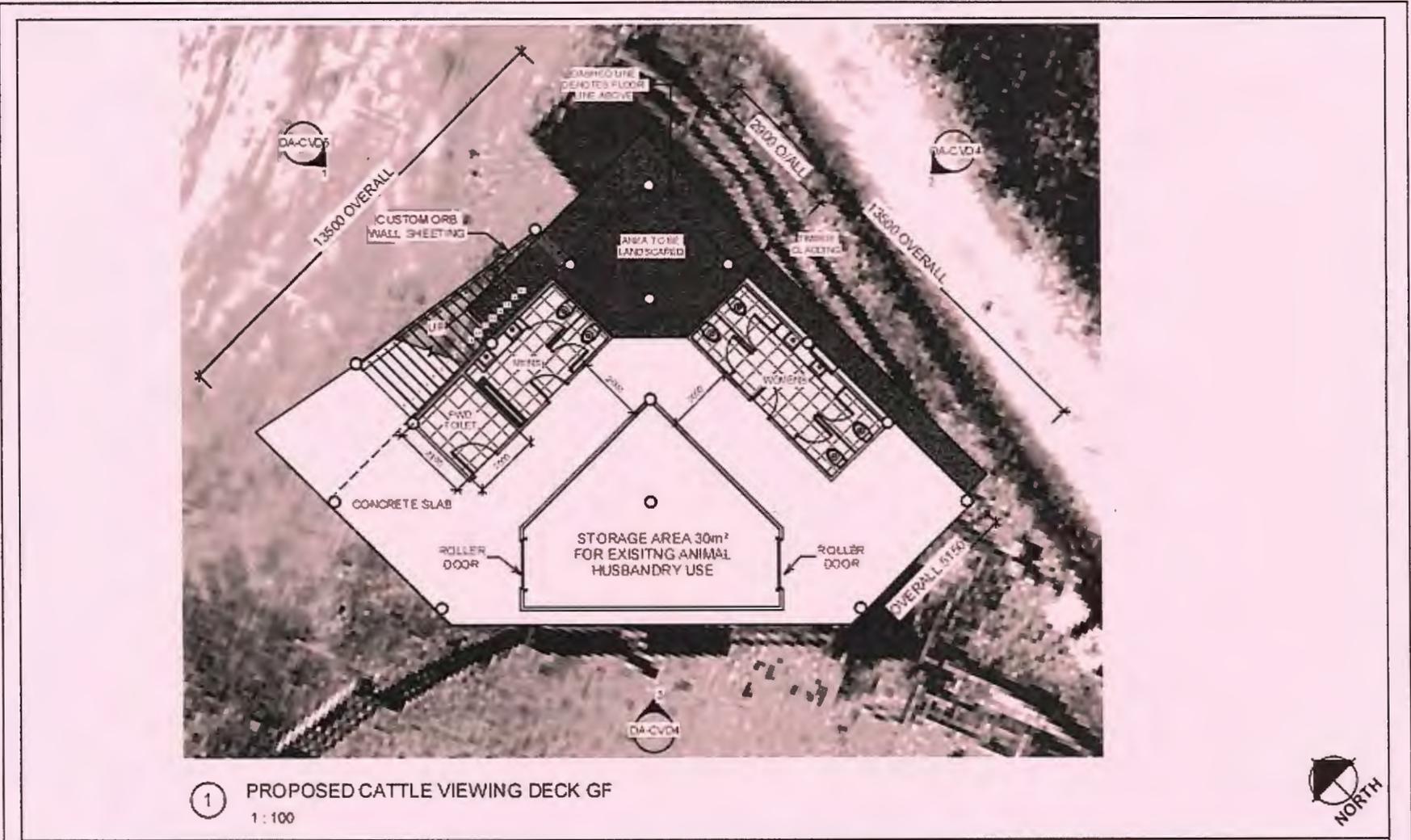
21/5/2018
B. [Signature]



① PROPOSED CATTLE VIEWING DECK SITE PLAN
1 : 100

 <p>DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP</p>	3150 LYONS ST, BUNGALOV QLD 4870 PO BOX 4049 CAIRNS QLD 4870 (07) 41 4347 (07) 41 4348 (07) 41 4349	112 BARNWELL RD, KURANDA KUR-COW TOURISM ATTRACTION CATTLE VIEWING DECK SITE PLAN	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT FOR REVIEW</td> <td>12/12/17</td> </tr> <tr> <td>B</td> <td>PRE-UM DEVELOPMENT APPLICATION</td> <td>25/03/18</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td colspan="2">DATE</td> <td>29/02/2018 12:57:01 PM</td> </tr> </tbody> </table>	No.	Description	Date	A	CONCEPT FOR REVIEW	12/12/17	B	PRE-UM DEVELOPMENT APPLICATION	25/03/18										DATE		29/02/2018 12:57:01 PM	DRAWN BY: _____ PROJECT NO: 1801 DESIGNED BY: TCMV CHECKED BY: AL	D.A. CVD1 1801 TCMV AL SCALE: 1 : 100	PLEASE NOTE: DEVELOP NORTH PROVIDES THE DESIGN AND CONSTRUCTION SERVICES FOR THE PROPERTY OF THE CLIENT. DEVELOP NORTH ACCEPTS NO LIABILITY FOR THE PROPERTY OF THE CLIENT.
	No.	Description	Date																								
A	CONCEPT FOR REVIEW	12/12/17																									
B	PRE-UM DEVELOPMENT APPLICATION	25/03/18																									
DATE		29/02/2018 12:57:01 PM																									

21/5/2018
B. Will



1 PROPOSED CATTLE VIEWING DECK GF
1:100



3150 LYONS ST BUNGALOW QLD 4870
PO BOX 4848 CARNS QLD 4870
08 4911 1111 | 07 4911 1111

BUILDING SOLUTIONS FROM THE GROUND UP

112 BARNWELL RD, KURANDA

KUR-COW TOURISM ATTRACTION

CATTLE VIEWING DECK GROUND FLOOR PLAN

No.	Description	Date
A	CONCEPT FOR REVIEW	12/3/17
B	PRELIM DEVELOPMENT APPLICATION	20/5/18

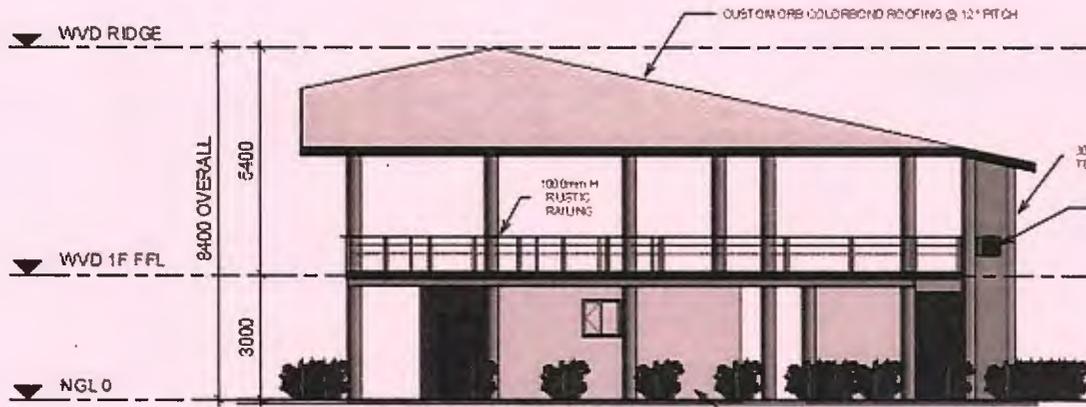
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PROJECT NO.	1801
DESIGNED BY	TOMV
DRAWN BY	AL

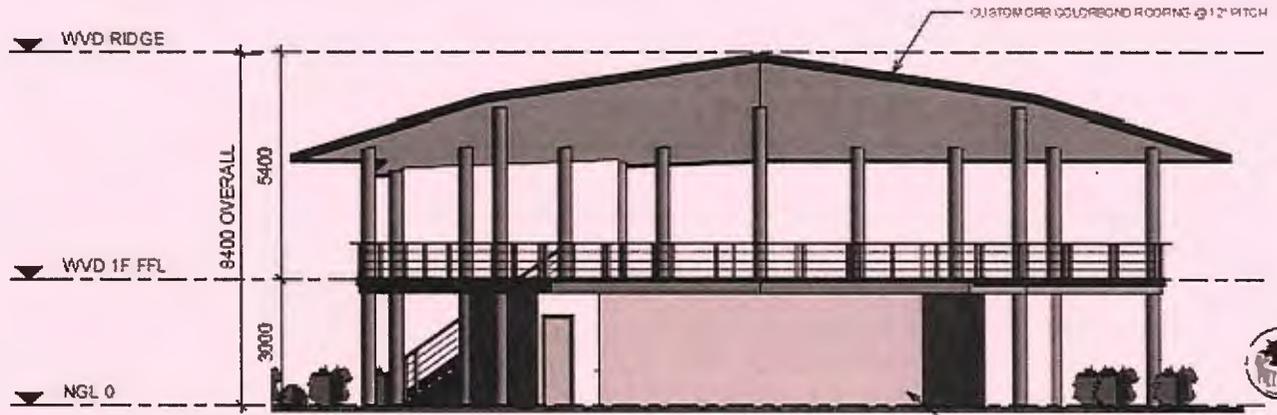
PLEASE NOTE DIMENSIONS TAKE PRECEDENCE OVER DIMENSIONS. THIS DOCUMENT IS SUBJECT TO CORRECTION AND REMAINS THE PROPERTY OF DEVELOP NORTH.
SCALE
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B. Miller
21/5/2018

B. Miller
21/5/2018

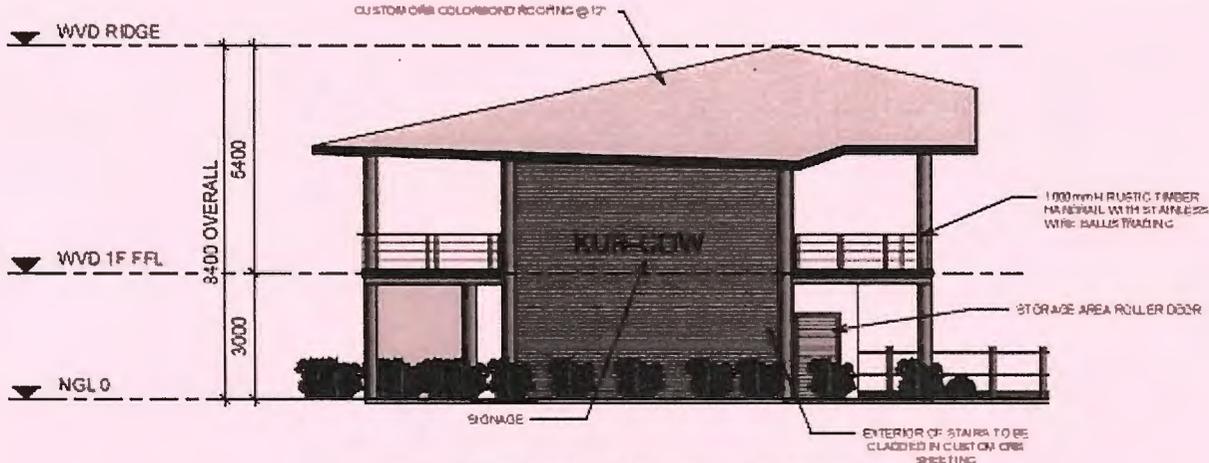


② CATTLE VIEWING DECK EAST ELEVATION STAGE 2
1:100



③ CATTLE VIEWING DECK WEST ELEVATION STAGE 2
1:100

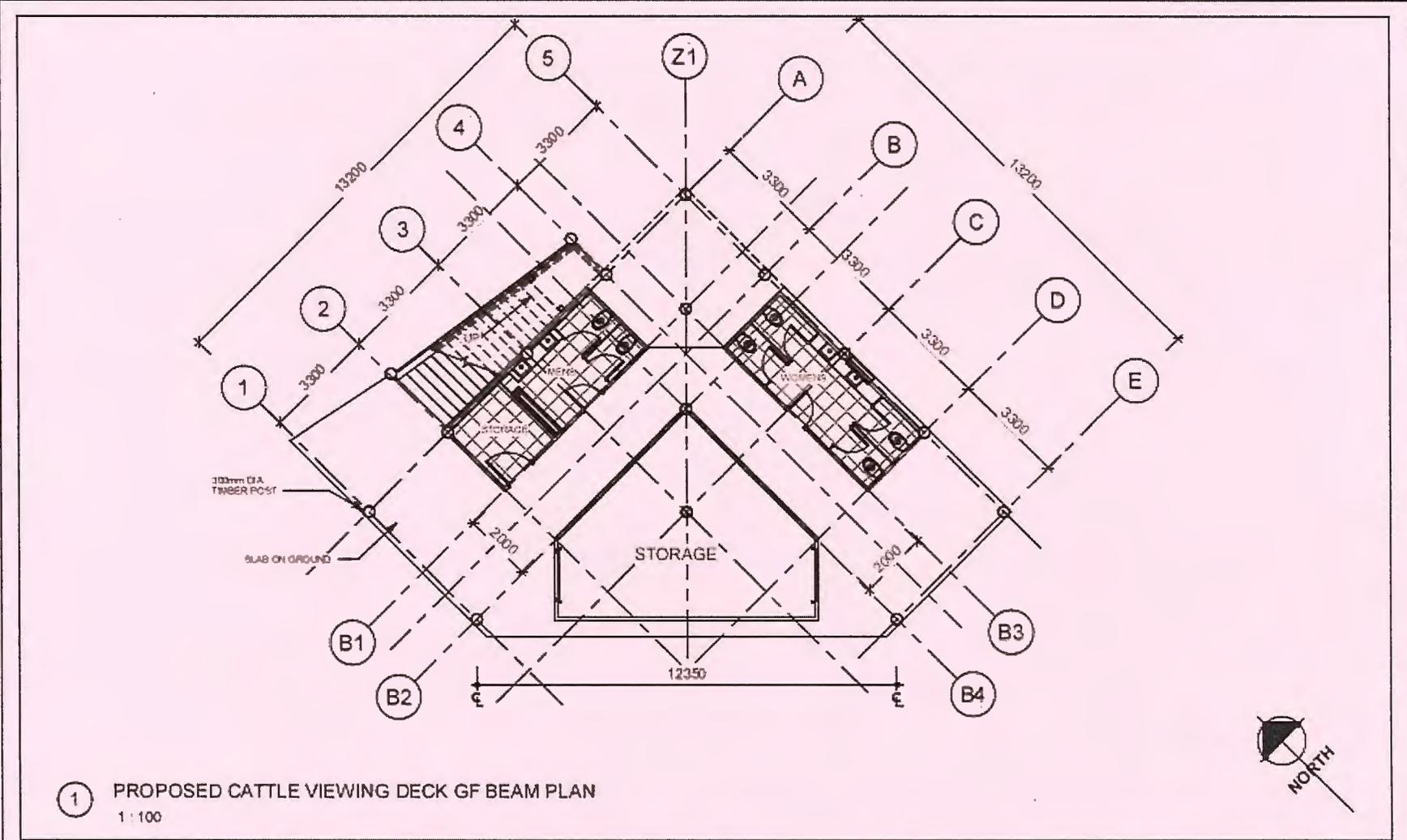
 3750 LYONS ST BUNGALOW QLD 4870 PO BOX 4049 GARNS QLD 4870 DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP	112 BARNWELL RD. KURANDA PROJECT KUR-COW TOURISM ATTRACTION DRAWING CATTLE VIEWING DECK EAST & WEST ELEVATIONS	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT FOR REVIEW</td> <td>12/1/2017</td> </tr> <tr> <td>B</td> <td>PRELIM DEVELOPMENT APPLICATION</td> <td>27/02/2018</td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table> DATE: 20/05/2018 10:52:07 AM	No.	Description	Date	A	CONCEPT FOR REVIEW	12/1/2017	B	PRELIM DEVELOPMENT APPLICATION	27/02/2018							DRAWING NO. DA-0004 PROJECT NO. 1801 DESIGNED BY. TOM V DRAWN BY. ML	PLEASE NOTE: DRAWINGS TAKE PRECEDENCE OVER TALKING. THE DRAWING IS SUBJECT TO CORRECTIONS REMAINING THE PROPERTY OF DEVELOP NORTH. SCALE: 1:100
	No.	Description	Date																
	A	CONCEPT FOR REVIEW	12/1/2017																
B	PRELIM DEVELOPMENT APPLICATION	27/02/2018																	
3750 LYONS ST BUNGALOW QLD 4870 PO BOX 4049 GARNS QLD 4870 DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP	112 BARNWELL RD. KURANDA PROJECT KUR-COW TOURISM ATTRACTION DRAWING CATTLE VIEWING DECK EAST & WEST ELEVATIONS	DATE: 20/05/2018 10:52:07 AM	DRAWING NO. DA-0004 PROJECT NO. 1801 DESIGNED BY. TOM V DRAWN BY. ML	PLEASE NOTE: DRAWINGS TAKE PRECEDENCE OVER TALKING. THE DRAWING IS SUBJECT TO CORRECTIONS REMAINING THE PROPERTY OF DEVELOP NORTH. SCALE: 1:100															
3750 LYONS ST BUNGALOW QLD 4870 PO BOX 4049 GARNS QLD 4870 DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP	112 BARNWELL RD. KURANDA PROJECT KUR-COW TOURISM ATTRACTION DRAWING CATTLE VIEWING DECK EAST & WEST ELEVATIONS	DATE: 20/05/2018 10:52:07 AM	DRAWING NO. DA-0004 PROJECT NO. 1801 DESIGNED BY. TOM V DRAWN BY. ML	PLEASE NOTE: DRAWINGS TAKE PRECEDENCE OVER TALKING. THE DRAWING IS SUBJECT TO CORRECTIONS REMAINING THE PROPERTY OF DEVELOP NORTH. SCALE: 1:100															



1 CATTLE VIEWING DECK NORTH ELEVATION STAGE 2
1:100

 <p>DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP</p>	3150 LYONS ST, BUNGALOV QLD 4870 PO BOX 4949 CARRIS QLD 4870 08 01 426 12084 FAX 08 01 426 12085	PROJECT NO: 112 BARNWELL RD, KURANDA	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT FOR REVIEW</td> <td>03/13/17</td> </tr> <tr> <td>B</td> <td>PRELIM DEVELOPMENT APPLICATION</td> <td>25/02/18</td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table> <p>DATE: 20/12/2018 12:57:08 PM</p>	No.	Description	Date	A	CONCEPT FOR REVIEW	03/13/17	B	PRELIM DEVELOPMENT APPLICATION	25/02/18							DRAWING NO: DA-CVD6 PROJECT NO: 112P DESIGNED BY: TOM V CHECKED BY: ML	PLEASE NOTE: BEFORE YOU TAKE PRECEDENCE OVER LOCAL GOVERNMENT, THIS DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF DEVELOP NORTH. SCALE: 1:100
	No.	Description		Date																
	A	CONCEPT FOR REVIEW		03/13/17																
B	PRELIM DEVELOPMENT APPLICATION	25/02/18																		
112 BARNWELL RD, KURANDA	PROJECT NAME: KUR-COW TOURISM ATTRACTION	DRAWING NO: DA-CVD6 PROJECT NO: 112P DESIGNED BY: TOM V CHECKED BY: ML	PLEASE NOTE: BEFORE YOU TAKE PRECEDENCE OVER LOCAL GOVERNMENT, THIS DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF DEVELOP NORTH. SCALE: 1:100																	
PROJECT NAME: CATTLE VIEWING DECK NORTH ELEVATION																				

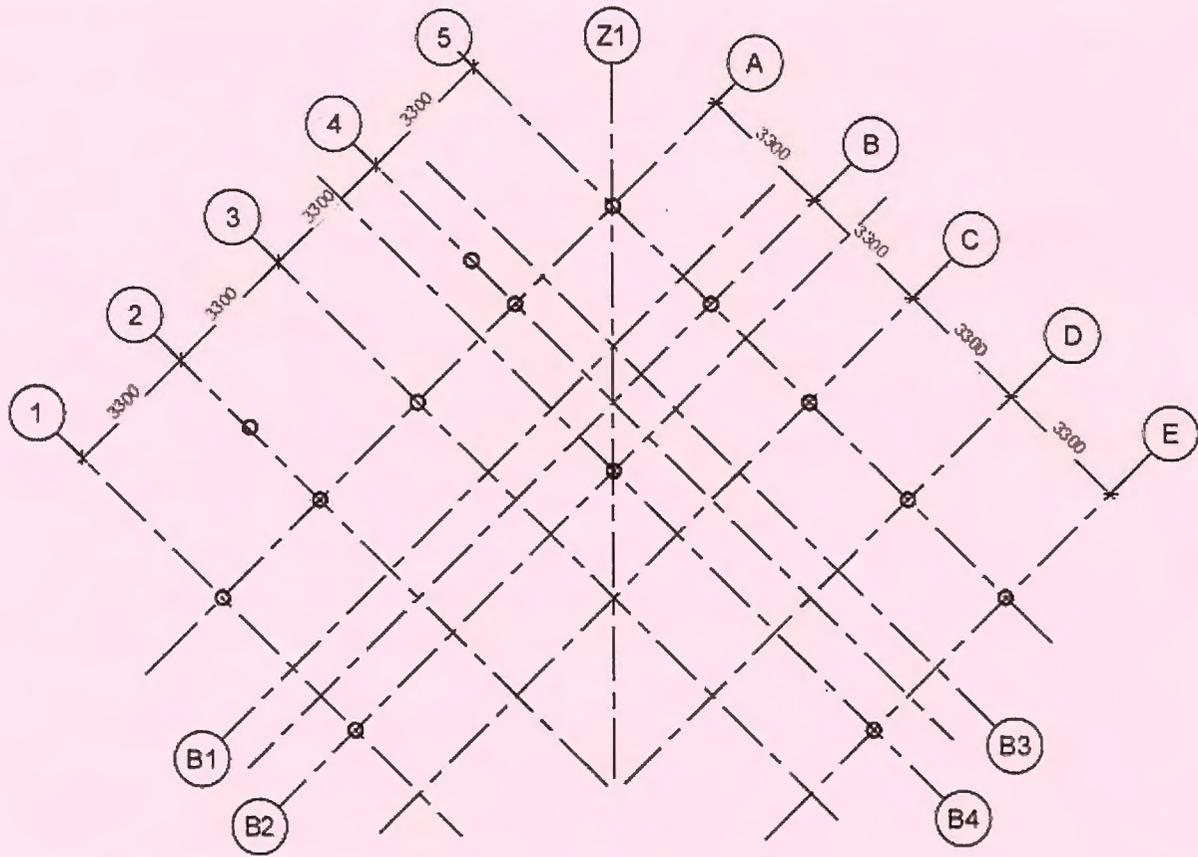
21/5/2018
 JB. [Signature]



1 PROPOSED CATTLE VIEWING DECK GF BEAM PLAN
1:100

<p>DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP</p>	3150 LYONS ST, BUNGAL CIV QLD 4870 PO BOX 4949 CURRIS QLD 4870 07547 4141 1407444 07547 4141	112 BARNWELL RD. KURANDA KUR-COW TOURISM ATTRACTION CATTLE VIEWING DECK GF BEAM PLAN	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT FOR REVIEW</td> <td>12/1/2017</td> </tr> <tr> <td>B</td> <td>PRE-DEVELOPMENT APPLICATION</td> <td>25/1/2018</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>DATE: 20/02/2018 12:57:10 PM</p>	No.	Description	Date	A	CONCEPT FOR REVIEW	12/1/2017	B	PRE-DEVELOPMENT APPLICATION	25/1/2018										DRAWING NO: DA CODE: PROJECT NO: 1001 DESIGNED BY: TOM V CHECKED BY: ML	PLEASE NOTE DIMENSIONS TAKE PRECEDENCE OVER FEATURES. THIS DRAWING IS SUBJECT TO CORRECTION AND REMAINS THE PROPERTY OF DEVELOP NORTH SCALE: 1:100
	No.	Description	Date																				
A	CONCEPT FOR REVIEW	12/1/2017																					
B	PRE-DEVELOPMENT APPLICATION	25/1/2018																					

21/5/2018
 JB, M



1 PROPOSED CATTLE VIEWING DECK 1F ROOF BEAM PLAN
1 : 100



3150 LYONS ST, BUNGA, SA 5100
PO BOX 4049, CARNS QLD 4870
QUALITY AND INTEGRITY FOR REALITY
BUILDING SOLUTIONS FROM THE GROUND UP

ADDRESS: 112 BARNWELL RD, MURANDA
PROJECT: KUR-COW TOURISM ATTRACTION
PROJECT NAME: CATTLE VIEWING DECK 1F ROOF BEAM PLAN

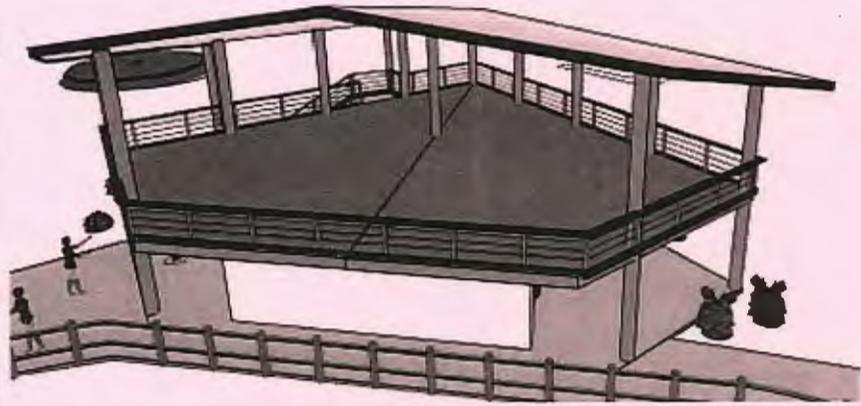
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B	PRELIM DEVELOPMENT APPLICATION	27/03/18

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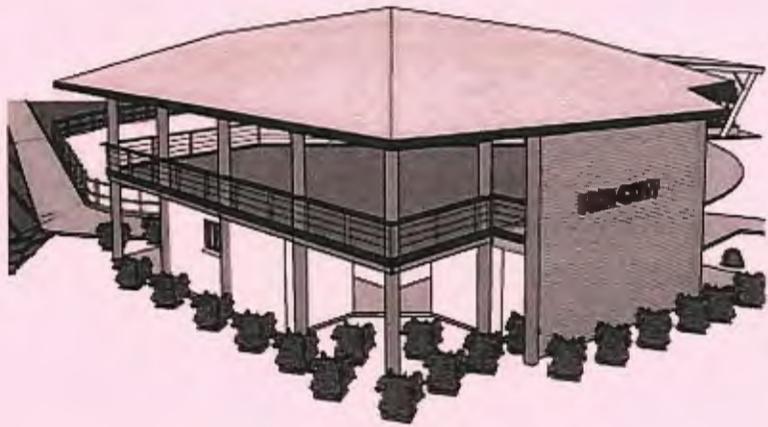
DRAWING NO: DA-CVD7
PROJECT NO: 1001
DESIGNED BY: TOM V
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DEVELOP NORTH
SCALE: 1 : 100

Handwritten: 21/5/2018
Handwritten signature: B. M. O. N.



① CATTLE VIEWING DECK 3D VIEW 1



② CATTLE VIEWING DECK 3D VIEW 2



3150 LYONS ST, BUNGALOV QLD 4870

PO BOX 4949 CAIRNS QLD 4870

QB CLIENT: HEDDERSON BUILDERS

BUILDING SOLUTIONS FROM THE GROUND UP

112 BARNWELL RD, KJRANDA

KUR-COW TOURISM ATTRACTION

PROJECT NAME

CATTLE VIEWING DECK 3D CONCEPTUAL

No.	Description	Date
A	CONCEPT PCB REVIEW	13/10/2018
B	PRELIM DEVELOPMENT APPLICATION	27/03/18

DRAWING NO

PROJECT NO

DESIGNED BY

CHECKED BY

QA-CY08

1801

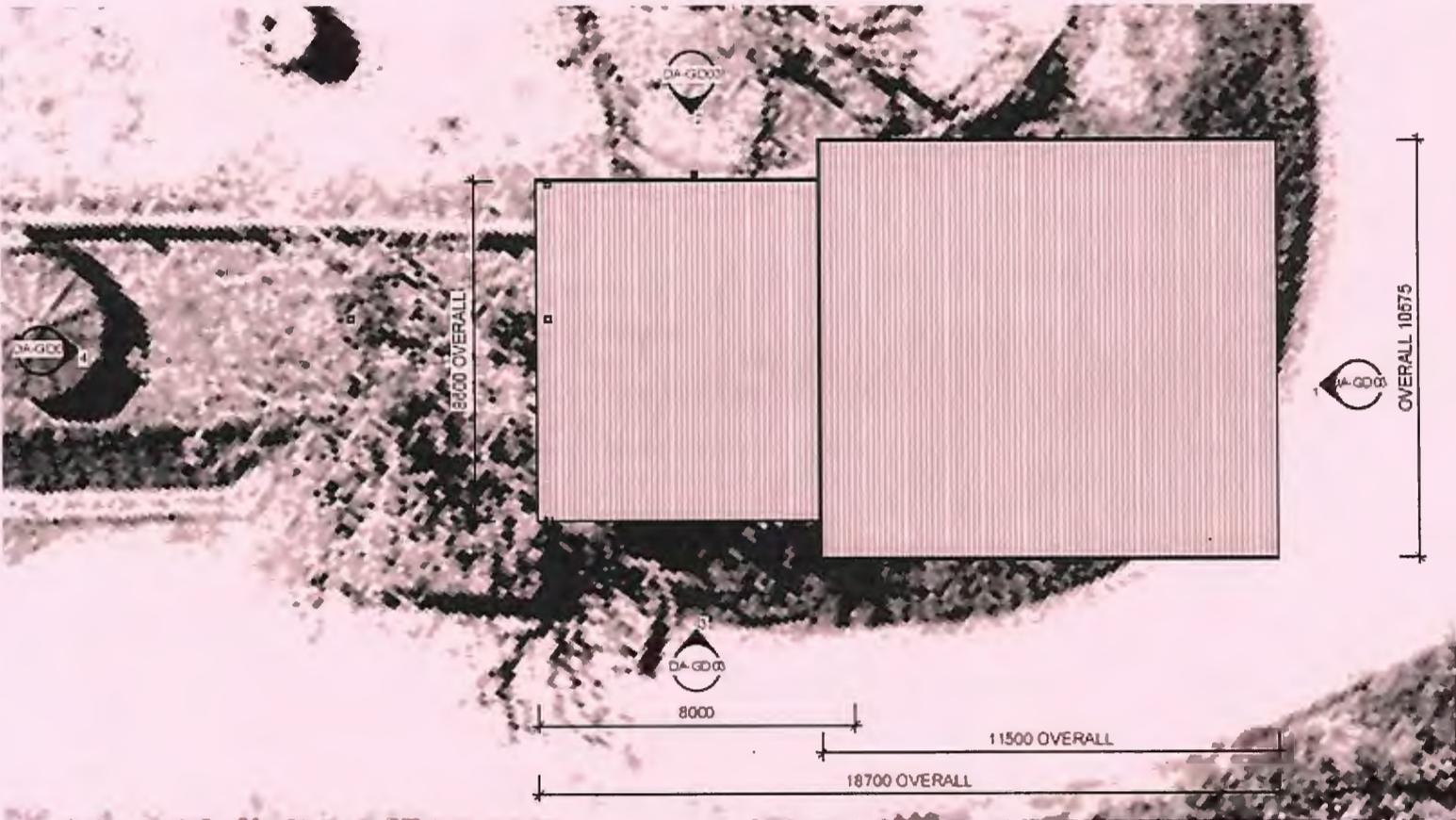
TOMV

AL

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DATE 20/03/2018 12:57:12 PM

21/5/2018
B. 2200



1 PROPOSED GARDEN DECK SITE PLAN STAGE 1
1 : 100



3150 LYONS ST. BUNGALOW QLD 4870
PO BOX 4849 CARRS QLD 4870
08 4512 1616
BUILDING SOLUTIONS FROM THE GROUND UP

112 BARNWELL RD. KJRANDA
KUR-Cow Tourism Attraction
GARDEN DECK SITE PLAN STAGE 1

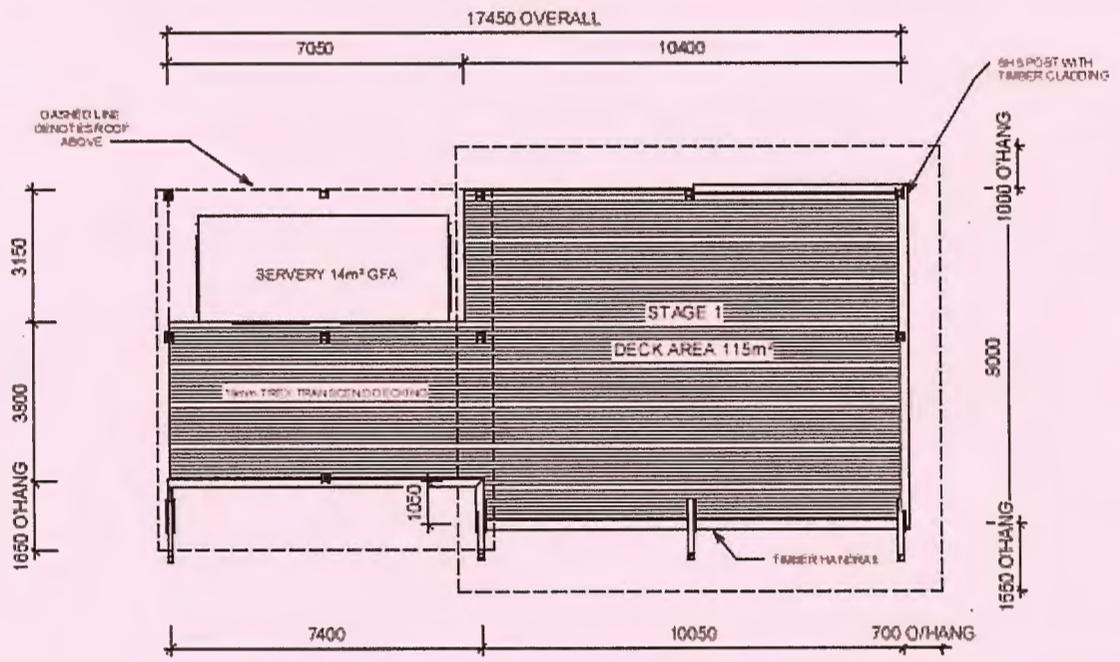
No.	Description	Date
A	CONCEPT FOR REVIEW	15/12/17
B	PRELIM DEVELOPMENT APPLICATION	27/3/18

DATE: 20.02.2018 11:04:19 AM

DRAWING NO: DA-GD03
PROJECT NO: 1801
DESIGNED BY: TOM V
CHECKED BY: M.

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SCALE: 1 : 100

21/5/2018
B. N. [Signature]



1 PROPOSED GARDEN DECK FLOOR PLAN STAGE 1
1 : 100



3150 LYONS ST BUNGALOW QLD 4870
PO BOX 4949 CARRIS QLD 4870
DEVELOP NORTH PROFESSIONAL
BUILDING SOLUTIONS FROM THE GROUND UP

ADDRESS: 112 BARNWELL RD KURANDA
PROJECT: KUR Cow Tourism Attraction
SHEETNAME: GARDEN DECK FLOOR PLAN STAGE 1

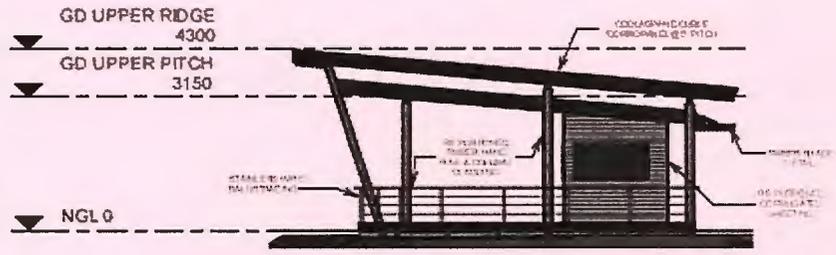
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B	PRELIM DEVELOPMENT APPLICATION	27/03/18

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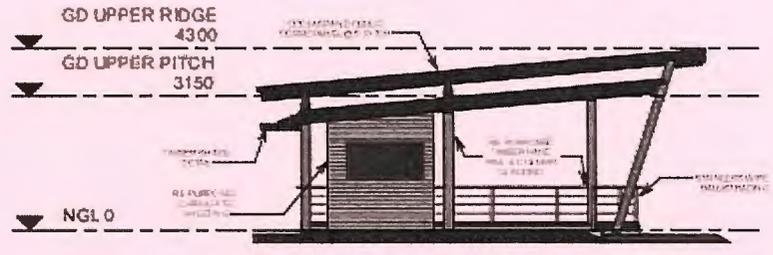
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PROJECT NO: 1801
DESIGNED BY: TOM V
CHECKED BY: ML

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SCALE: 1 : 100

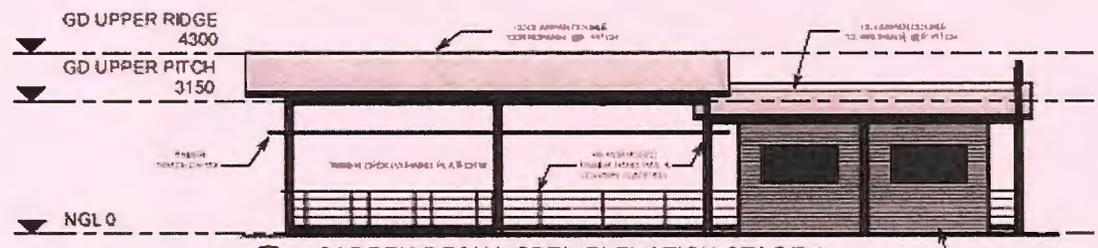
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B. J. [Signature]



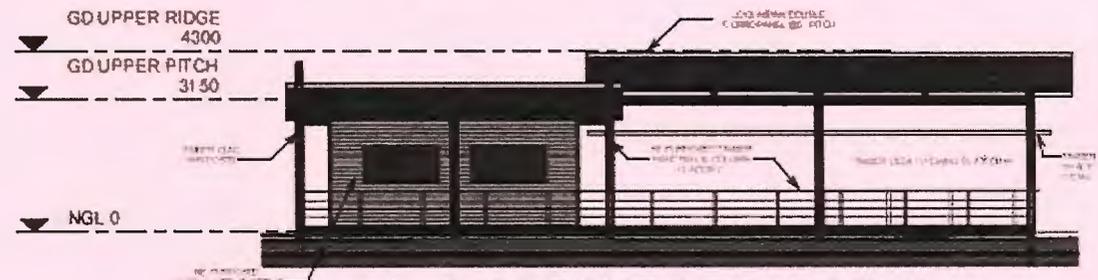
1 GARDEN DECK EAST ELEVATION STAGE 1
1 : 100



4 GARDEN DECK WEST ELEVATION STAGE 1
1 : 100



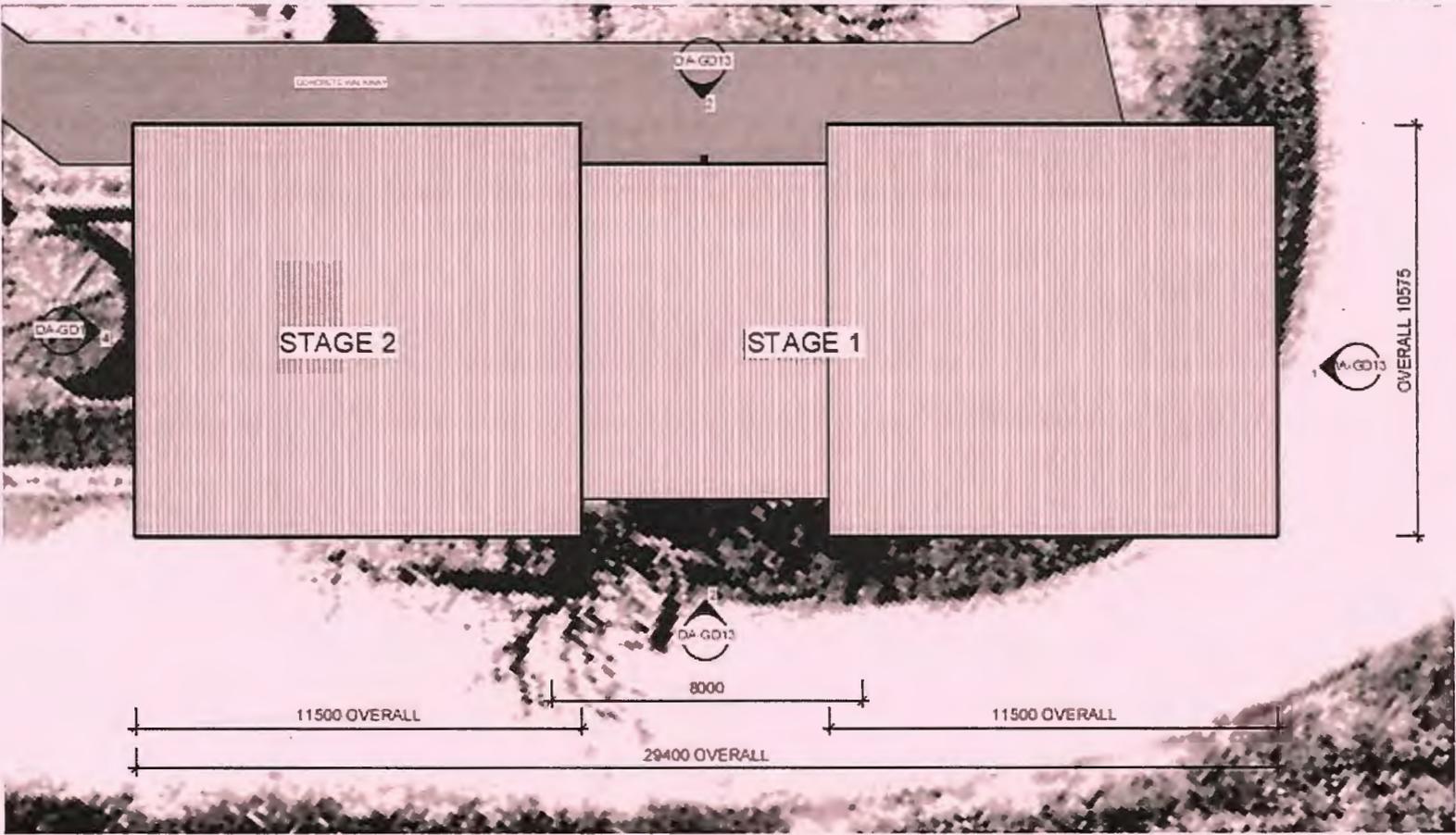
2 GARDEN DECK NORTH ELEVATION STAGE 1
1 : 100



3 GARDEN DECK SOUTH ELEVATION STAGE 1
1 : 100

<p>DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP</p>	<p>3150 LYONS ST BUNGAL QLD 4870 PO BOX 489 CARRIS QLD 4870</p> <p>07 4147 4620 www.developnorth.com.au</p>	<p>112 BARNWELL RD. MURANDA</p> <p>KUR_Cow Tourism Attraction</p> <p>GARDEN DECK ELEVATIONS STAGE 1</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT FOR REVIEW</td> <td>2018/07</td> </tr> <tr> <td>B</td> <td>PRELIM DEVELOPMENT APPLICATION</td> <td>2018/08</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>DATE: 2018/09/11 10:47 AM</p>	No.	Description	Date	A	CONCEPT FOR REVIEW	2018/07	B	PRELIM DEVELOPMENT APPLICATION	2018/08							<p>DRAWING NO: DL-G003</p> <p>PROJECT NO: 1801</p> <p>DESIGNED BY: TOM V</p> <p>CHECKED BY: ML</p>	<p>PLEASE NOTE: BEFORE YOU TAKE PRELIMINARY DECISIONS REGARDING THIS DRAWING, PLEASE CONTACT THE ARCHITECT TO CONFIRM ANY REMAINS THE PROPERTY OF DEVELOP NORTH.</p> <p>SCALE: 1 : 100</p>
	No.	Description	Date																	
A	CONCEPT FOR REVIEW	2018/07																		
B	PRELIM DEVELOPMENT APPLICATION	2018/08																		

21/5/2018
B. M. [Signature]

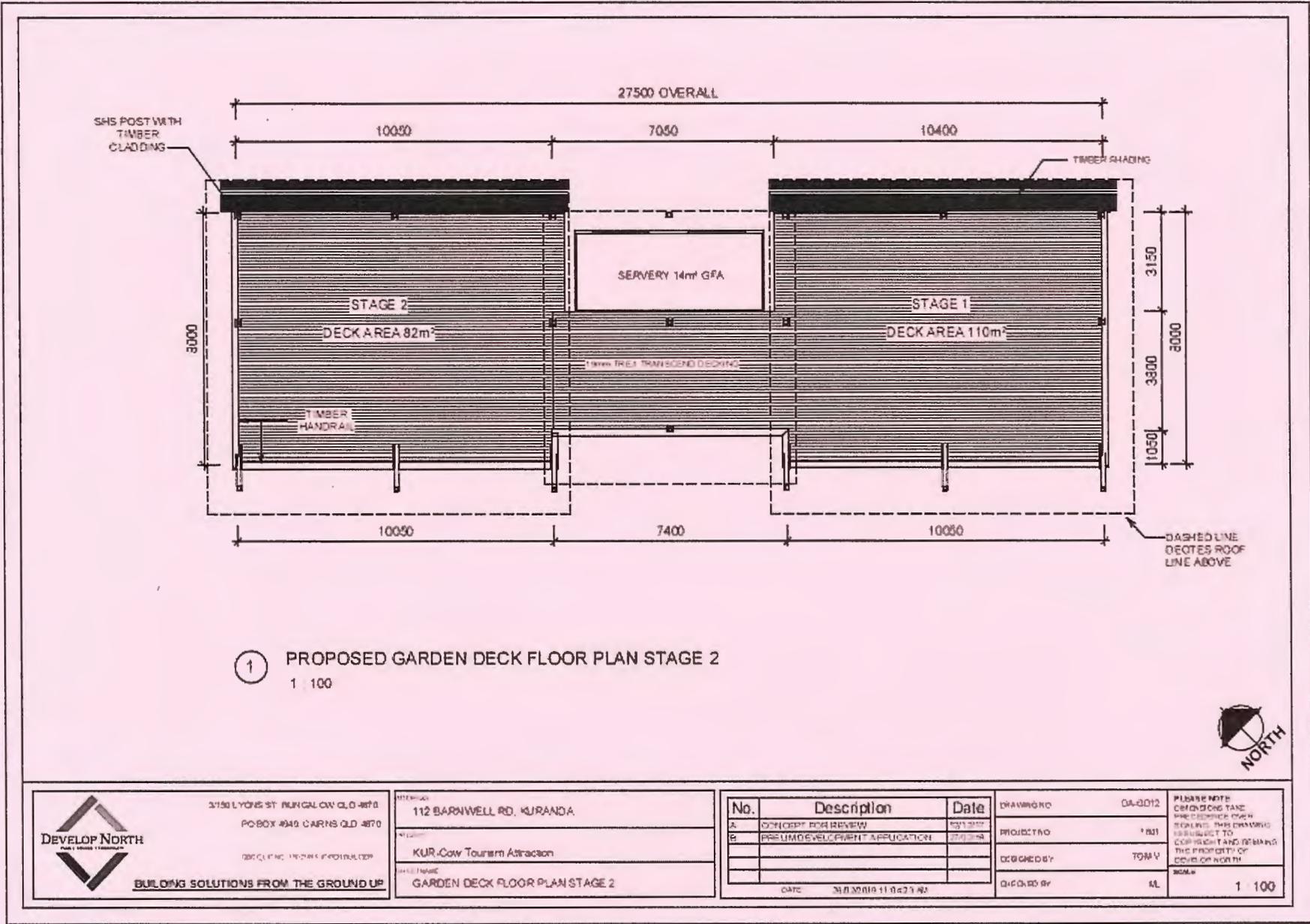


1 PROPOSED GARDEN DECK SITE PLAN STAGE 2
1 : 100



 <p>DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP</p>	3150 LYONS ST, BUNGALOW QLD 4870 PO BOX 9919 CAIRNS QLD 4870 0800 488 100	112 BARNWELL RD, KURANDA KUR-Cow Tourism Attraction GARDEN DECK SITE PLAN STAGE 2	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT FOR REVIEW</td> <td>13/12/17</td> </tr> <tr> <td>B</td> <td>PRELIM DEVELOPMENT APPLICATION</td> <td>25/12/18</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Description	Date	A	CONCEPT FOR REVIEW	13/12/17	B	PRELIM DEVELOPMENT APPLICATION	25/12/18							DRAWN BY: DA-GD11 PROJECT NO: 1801 DESIGNER: TOM V CHECKED BY: ML	DA-GD11 1801 TOM V ML SCALE: 1 : 100	PLEASE NOTE: DEVELOPER TAKE RESPONSIBILITY OVER STATING THE DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF DEVELOP NORTH
	No.	Description	Date																		
	A	CONCEPT FOR REVIEW	13/12/17																		
B	PRELIM DEVELOPMENT APPLICATION	25/12/18																			
DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP	112 BARNWELL RD, KURANDA KUR-Cow Tourism Attraction GARDEN DECK SITE PLAN STAGE 2	DATE: 26/03/2018 11:04:23 AM	DA-GD11 1801 TOM V ML	DA-GD11 1801 TOM V ML SCALE: 1 : 100	PLEASE NOTE: DEVELOPER TAKE RESPONSIBILITY OVER STATING THE DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF DEVELOP NORTH																
DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP	112 BARNWELL RD, KURANDA KUR-Cow Tourism Attraction GARDEN DECK SITE PLAN STAGE 2	DATE: 26/03/2018 11:04:23 AM	DA-GD11 1801 TOM V ML	DA-GD11 1801 TOM V ML SCALE: 1 : 100	PLEASE NOTE: DEVELOPER TAKE RESPONSIBILITY OVER STATING THE DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF DEVELOP NORTH																

21/5/2018
B.22



1

PROPOSED GARDEN DECK FLOOR PLAN STAGE 2

1 : 100



DEVELOP NORTH
PARTNERS IN PROGRESS

3150 LYONS ST BUNGA QLD 4870
PO BOX 490 CARRS QLD 4870

200 CLIVE HOWE FIDELITY

BUILDING SOLUTIONS FROM THE GROUND UP

ADDRESS: 112 BARNWELL RD, KURANDA

PROJECT: KUR_Cow Tourism Attraction

DRAWING NAME: GARDEN DECK FLOOR PLAN STAGE 2

No.	Description	Date
A	CONCEPT FOR REVIEW	15/1/2018
B	PRELIM DEVELOPMENT APPLICATION	27/1/2018

DATE: 31/03/2018 11:04:23 AM

DRAWING NO: GA-0012

PROJECT NO: 1 031

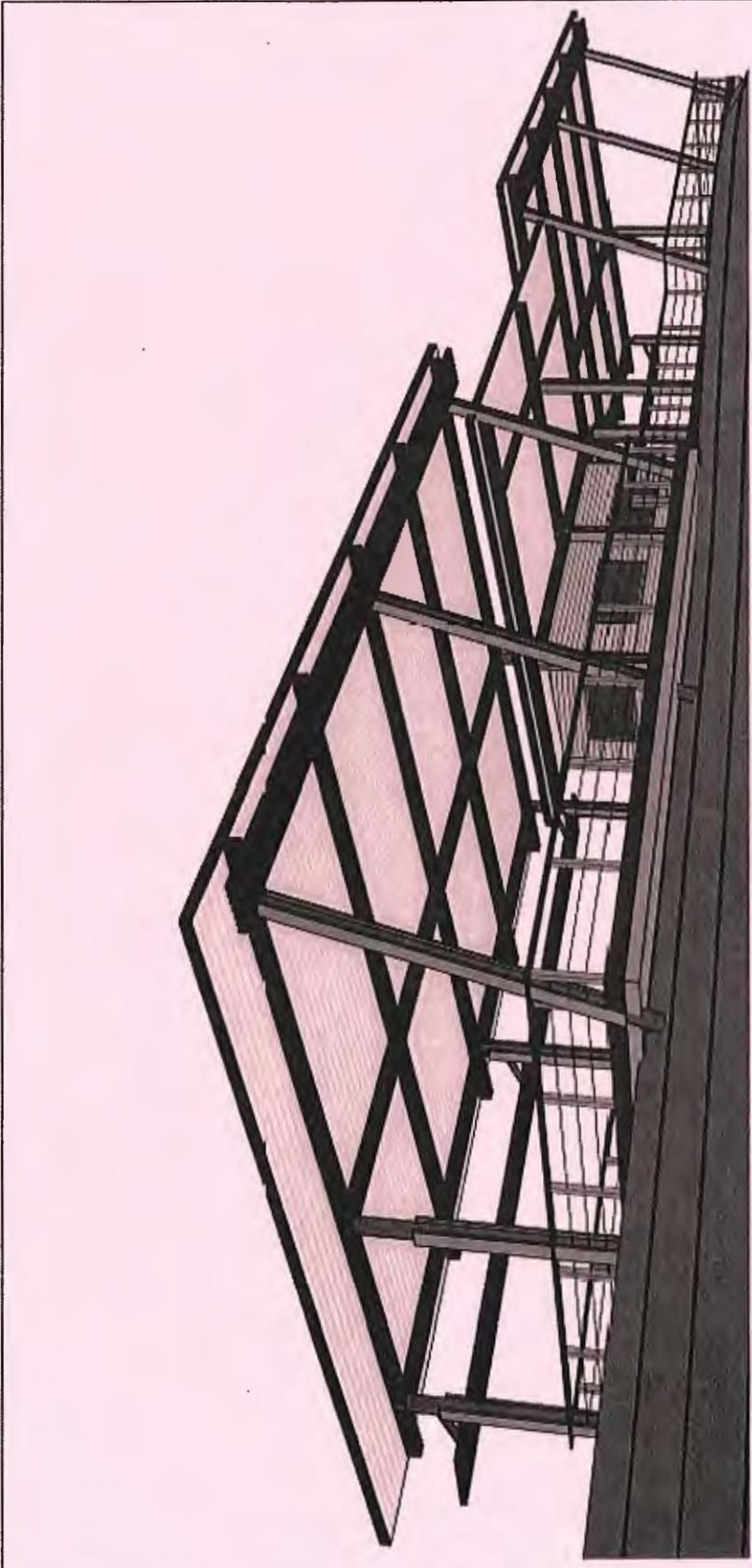
DESIGNED BY: TOM V

CHECKED BY: AL

SCALE: 1 : 100

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21/5/2018
B. Miller



① GARDEN DECK 3D

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NO.	DESCRIPTION	DATE		
1	DESIGN CONCEPT	18/01/18		
2	REVISED DESIGN	18/01/18		
3	REVISED DESIGN	18/01/18		
4	REVISED DESIGN	18/01/18		
		DATE	DRAWN BY	CHECKED BY
		18/01/18	J. WILSON	M. WILSON

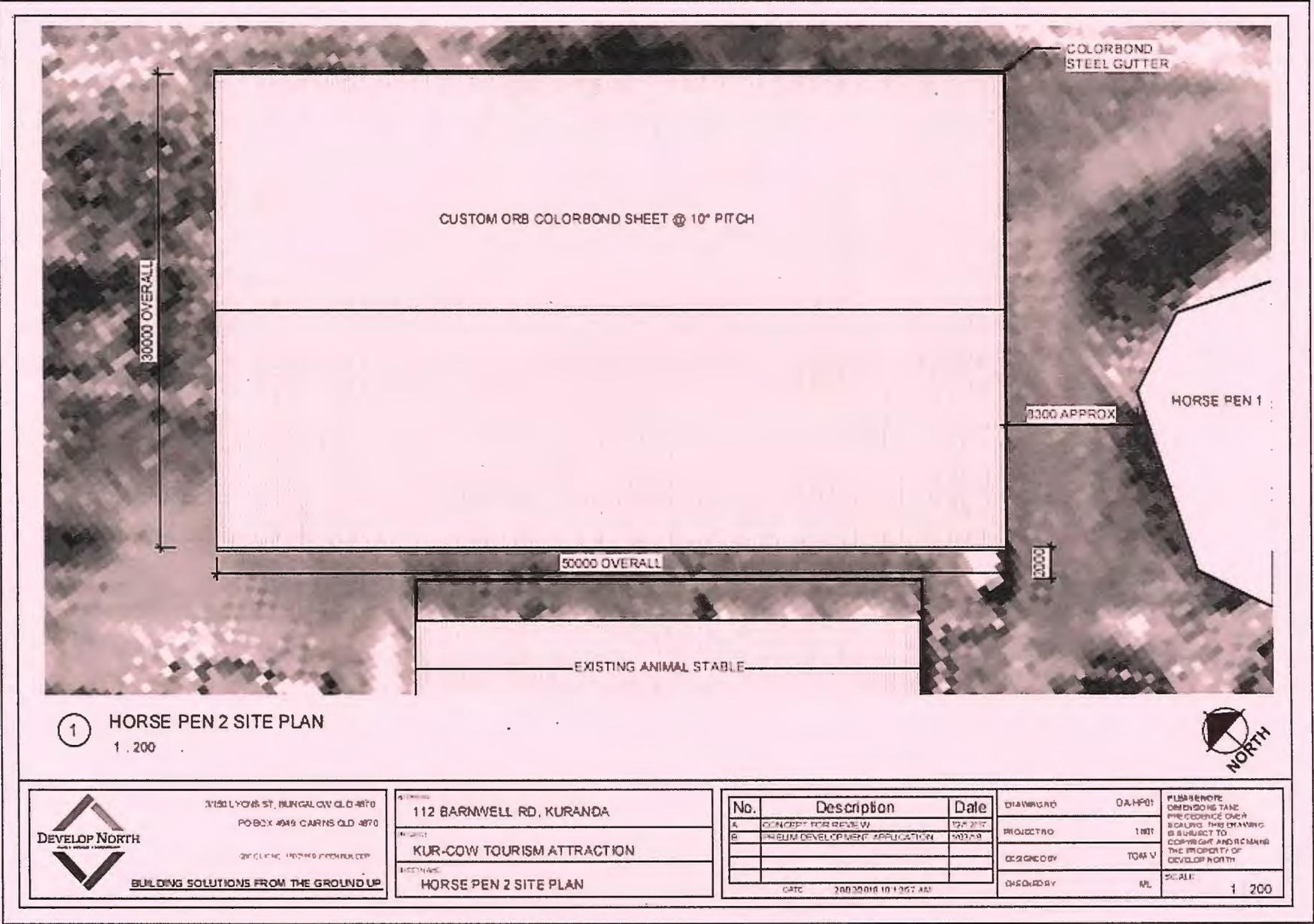
112 BARNWELL RD MURANDA QLD 4282 KUR-Cow Tourism Attraction GARDEN DECK 3D CONCEPT	2100 LYNDS ST BUNGA QLD 4870 PO BOX 999 BUNGA QLD 4870 087 474 1234 BUILDING SOLUTIONS FROM THE GROUND UP
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BUILDING SOLUTIONS FROM THE GROUND UP

21/5/2018
B. Zick

21/5/2018
B. M. O.



1 HORSE PEN 2 SITE PLAN
1:200

DEVELOP NORTH
BUILDING SOLUTIONS FROM THE GROUND UP

3150 LYONS ST, BUNGAL CIV QLD 4870
PO BOX 4849 CAIRNS QLD 4870
07541616161 07541616161

ADDRESS: 112 BARNWELL RD, KURANDA

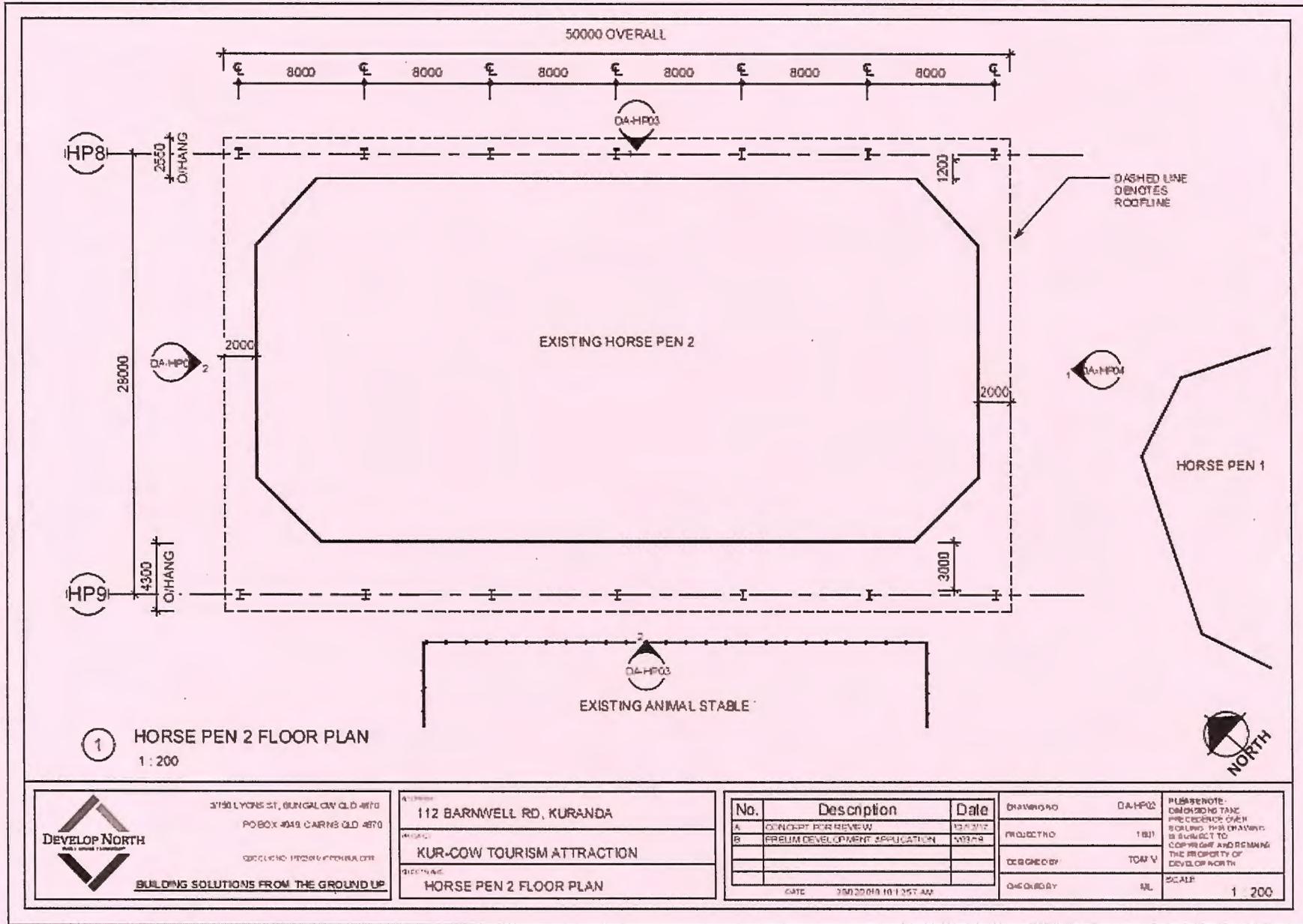
PROJECT: KUR-COW TOURISM ATTRACTION

SHEETNAME: HORSE PEN 2 SITE PLAN

No.	Description	Date
A	CONCEPT FOR REVIEW	10/2/2017
B	PRELIM DEVELOPMENT APPLICATION	10/2/18

DATE: 20032018 10:13:57 AM

DRAWING NO	DATE	PLS REFER TO DIMENSIONS AND PRECEDENCE OVER SCALES. THIS DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF DEVELOP NORTH
PROJECT NO	1801	SCALE: 1:200
DESIGNED BY	ML	



DEVELOP NORTH
BUILD & MAINTAIN

3190 LYONS ST, BUNGALAY QLD 4870
PO BOX 4049 CARRIS QLD 4870

SPECIAL NO. 17026/1/2018/01/01

BUILDING SOLUTIONS FROM THE GROUND UP

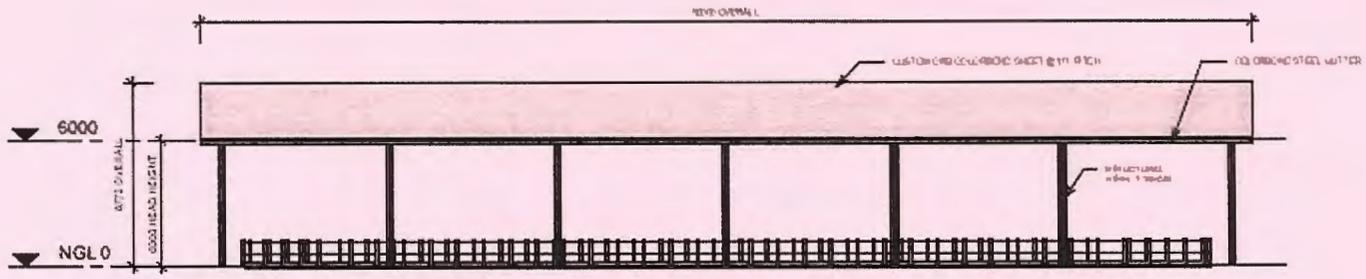
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PURPOSE:	KUR-COW TOURISM ATTRACTION
DRAWING NO.:	HORSE PEN 2 FLOOR PLAN

No.	Description	Date
A	CONCEPT FOR REVIEW	12/11/17
B	PRELIM DEVELOPMENT APPLICATION	10/1/18

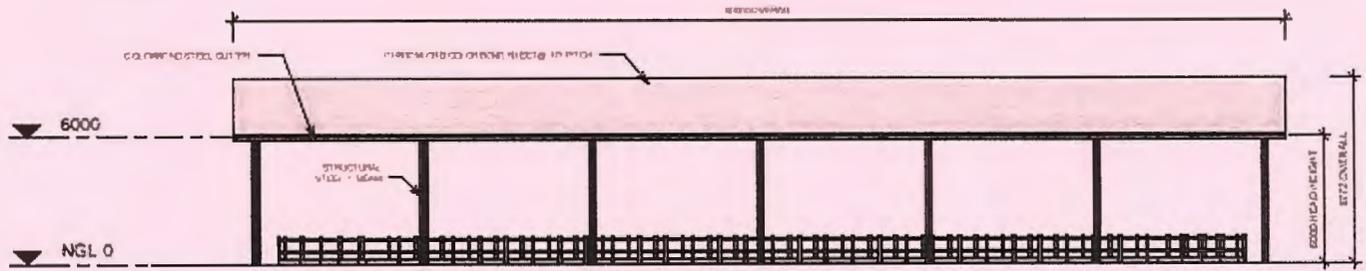
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PROJECT NO.	1801	
DESIGNED BY	TOBY V	
CHECKED BY	ML	DRAWN BY: 1 : 200

21/5/2018
S. M. [Signature]



① NORTH ELEVATION
1 : 200



② SOUTH ELEVATION
1 : 200

3150 LYONS ST, MUNGALOO QLD 4870
PO BOX 4649 CAIRNS QLD 4870
1300 752 410
BUILDING SOLUTIONS FROM THE GROUND UP

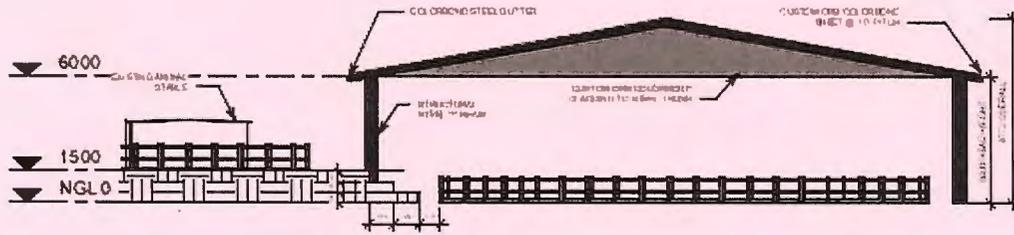
112 BARNWELL RD, KURANDA
KUR-COW TOURISM ATTRACTION
NORTH & SOUTH ELEVATIONS

No.	Description	Date
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B	PRELIM DEVELOPMENT APPLICATION	10.08.2017

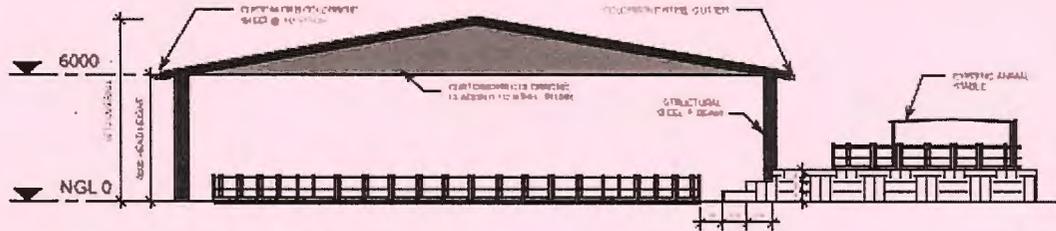
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DRAWING NO:	DA-HP03	PLEASE NOTE DIMENSIONS TAKE PRECEDENCE OVER DIMENSIONS OF BUILDINGS. THIS DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF DEVELOP NORTH
PROJECT NO:	1801	
DESIGNED BY:	TOM V	
CHECKED BY:	ML	
SCALE		1 : 200

21/5/2018
R. M. O.



1 EAST ELEVATION
1 : 200



2 WEST ELEVATION
1 : 200



3750 LYONS ST, BUNGALOW QLD 4870
PO BOX 4948 CARRIS QLD 4870
0800 016 967 180 220 000 000 000

BUILDING SOLUTIONS FROM THE GROUND UP

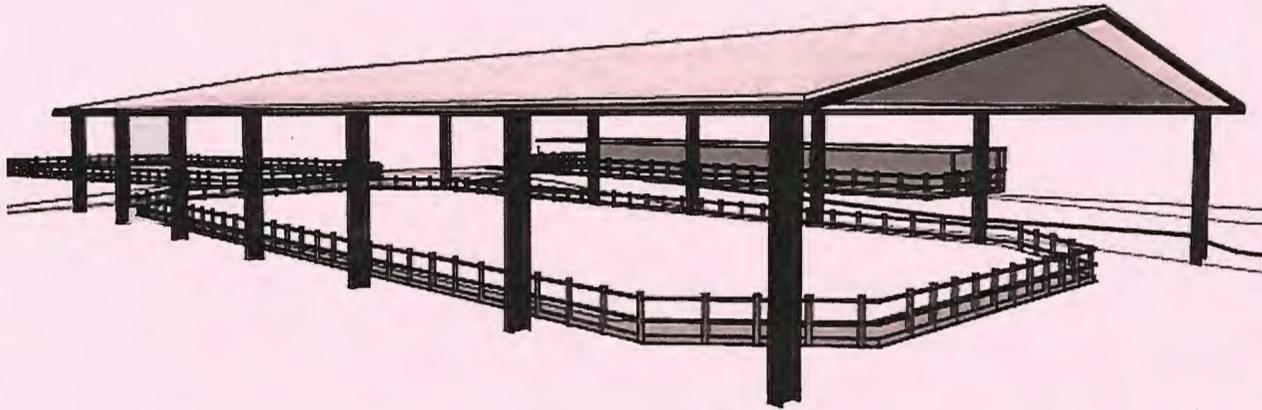
112 BARNWELL RD, KURANDA
KUR-COW TOURISM ATTRACTION
EAST & WEST ELEVATIONS

No.	Description	Date
A	CONCEPT FOR REVIEW	12/02/17
B	PRELIM DEVELOPMENT APPLICATION	15/03/18

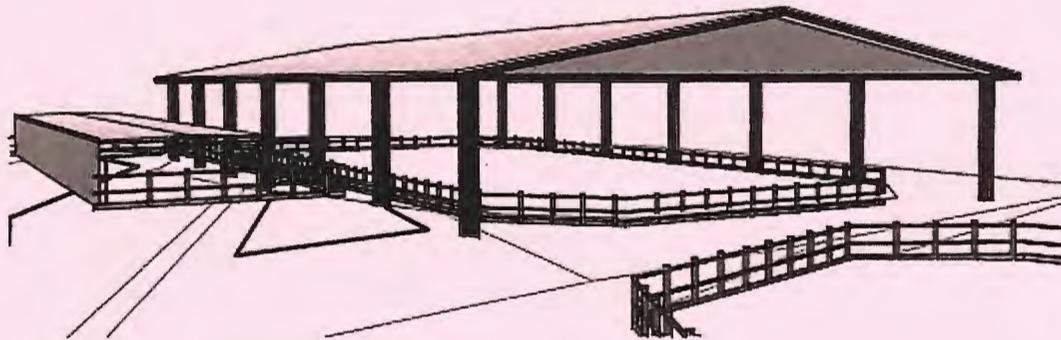
DRAWING NO	DA-HF04	PLEASE NOTE: DESIGNING TAKING THE CURATIVE DESIGN SOLUTIONS THIS DRAWING IS SUBJECT TO DEVELOPMENT AND REMAINS THE PROPERTY OF DEVELOP NORTH
PROJECT NO	1801	
DESIGNED BY	TOM V	
CHECKED BY	NL	SCALE: 1 : 200

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21/5/2018
B. M. N.



① HORSE PEN 2. 3D View 1

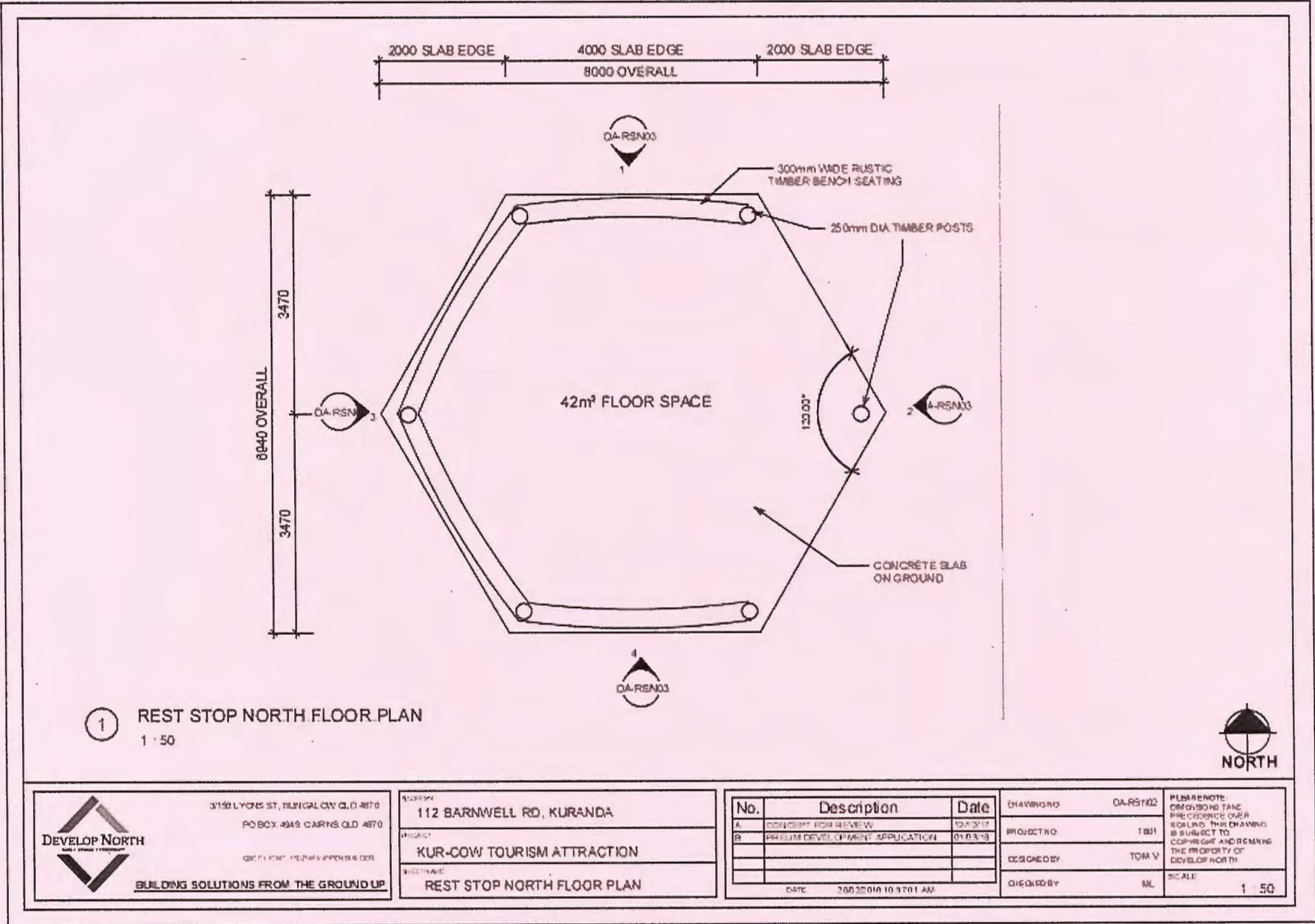


② HORSE PEN 2 FROM BARNWELL HOUSE

 <p>DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP</p>	3750 LYONS ST. BUNGALAY QLD 4870 PO BOX 4840 CARRNS QLD 4870 0816 611114	112 BARNWELL RD, KURANDA KUR-COW TOURISM ATTRACTION HORSE PEN 2 3D	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT FOR REVIEW</td> <td>10/12/17</td> </tr> <tr> <td>B</td> <td>PRELIM DEVELOPMENT APPLICATION</td> <td>10/12/17</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Description	Date	A	CONCEPT FOR REVIEW	10/12/17	B	PRELIM DEVELOPMENT APPLICATION	10/12/17							DRAWING NO: DA-HP05 PROJECT NO: 1801 DESIGNED BY: TCM V CHECKED BY: ML	PLEASE NOTE: DRAWINGS TAKE PRECEDENCE OVER WORDING. THIS DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF DEVELOP NORTH. SCALE:
	No.	Description	Date																	
	A	CONCEPT FOR REVIEW	10/12/17																	
B	PRELIM DEVELOPMENT APPLICATION	10/12/17																		
DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP		DATE: 10/12/2018 10:14:56 AM	SCALE:	SCALE:																
BUILDING SOLUTIONS FROM THE GROUND UP		DATE: 10/12/2018 10:14:56 AM	SCALE:	SCALE:																

21/5/2018
B. [Signature]

21/5/2018
B. W. [Signature]



3150 LYONS ST, BUNGALOW QLD 4870
PO BOX 3349 CAIRNS QLD 4870

DEVELOP NORTH
LAND & CONSTRUCTION

QUALITY • INTEGRITY • INNOVATION

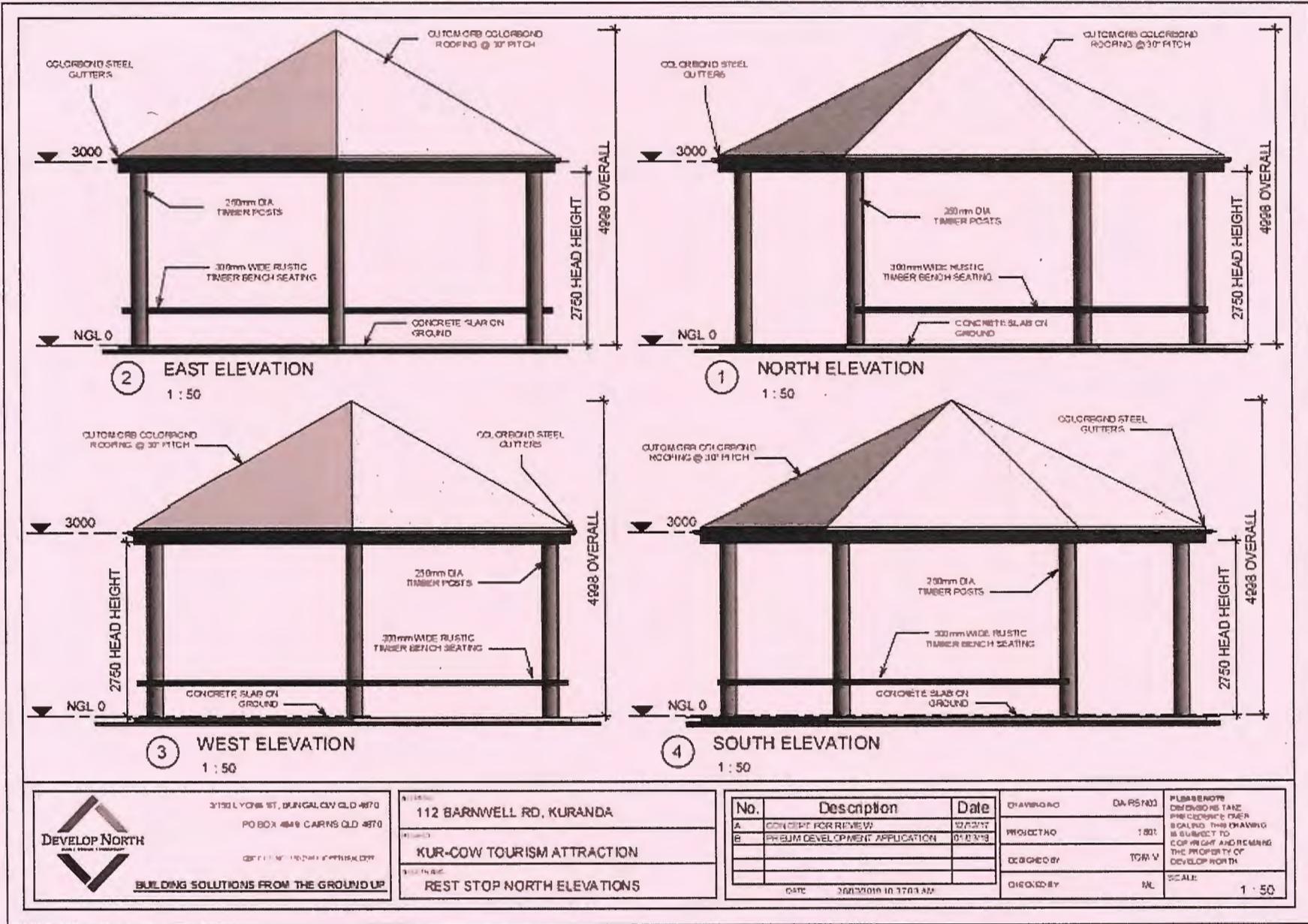
BUILDING SOLUTIONS FROM THE GROUND UP

ADDRESS	112 BARNWELL RD, KURANDA
PROJECT	KUR-COW TOURISM ATTRACTION
DRAWING	REST STOP NORTH FLOOR PLAN

No.	Description	Date
A	CONCEPT FOR REVIEW	10/03/17
B	PRELIM DEVELOPMENT APPLICATION	05/03/18

DATE 20/05/2018 10:37:01 AM

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PROJECT NO	1831	SCALE 1:50
DESIGNED BY	TOAM V	
CHECKED BY	NL	



B. 2018
2/5/2018

DEVELOP NORTH
3130 LYONS ST, DUNGAL CVL QLD 4870
PO BOX 4888 CARNS QLD 4870
BUILDING SOLUTIONS FROM THE GROUND UP

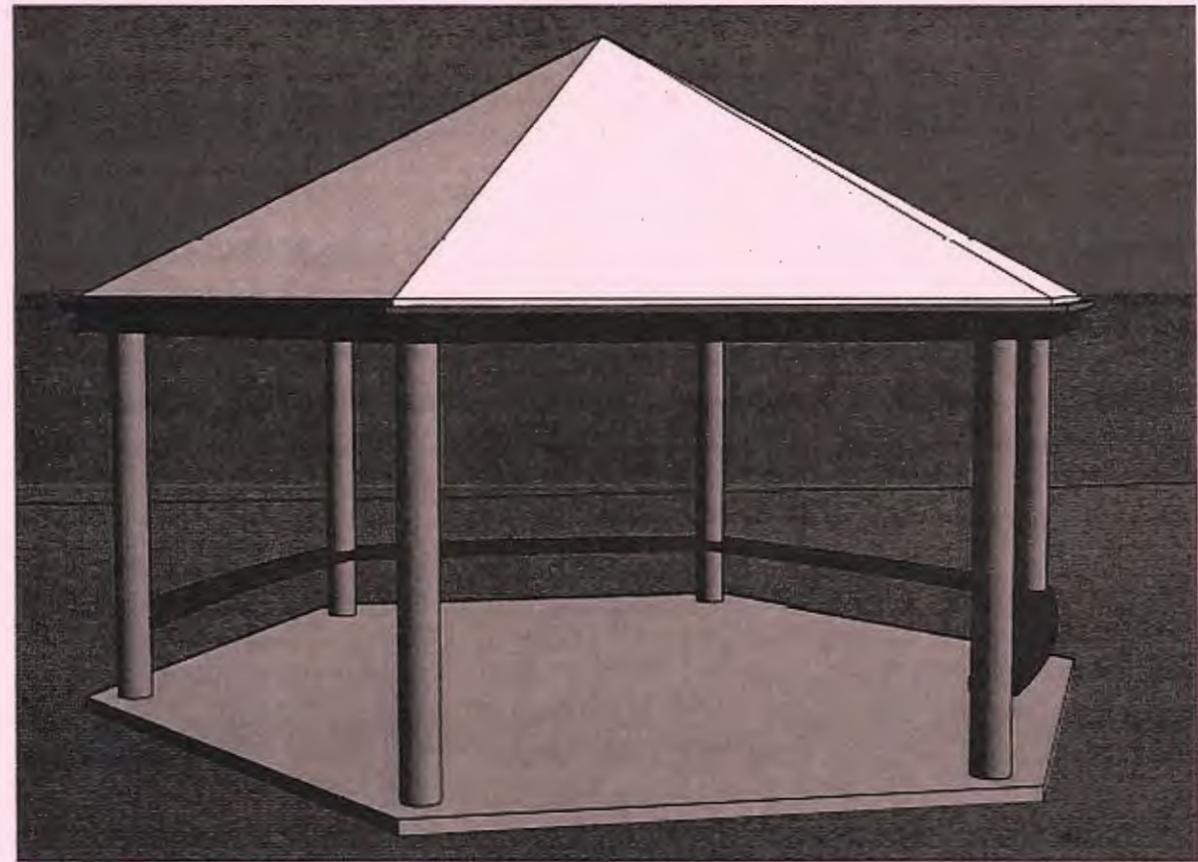
112 BARNWELL RD, KURANDA
KUR-COW TOURISM ATTRACTION
REST STOP NORTH ELEVATIONS

No.	Description	Date
A	CONCEPT FOR REVIEW	12/12/17
B	PRELIM DEVELOPMENT APPLICATION	01/03/18

DATE 20/03/2018 10:37:03 AM

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PROJECT NO			
DESIGNED BY		TOM V	
CHECKED BY		NL	SCALE: 1:50

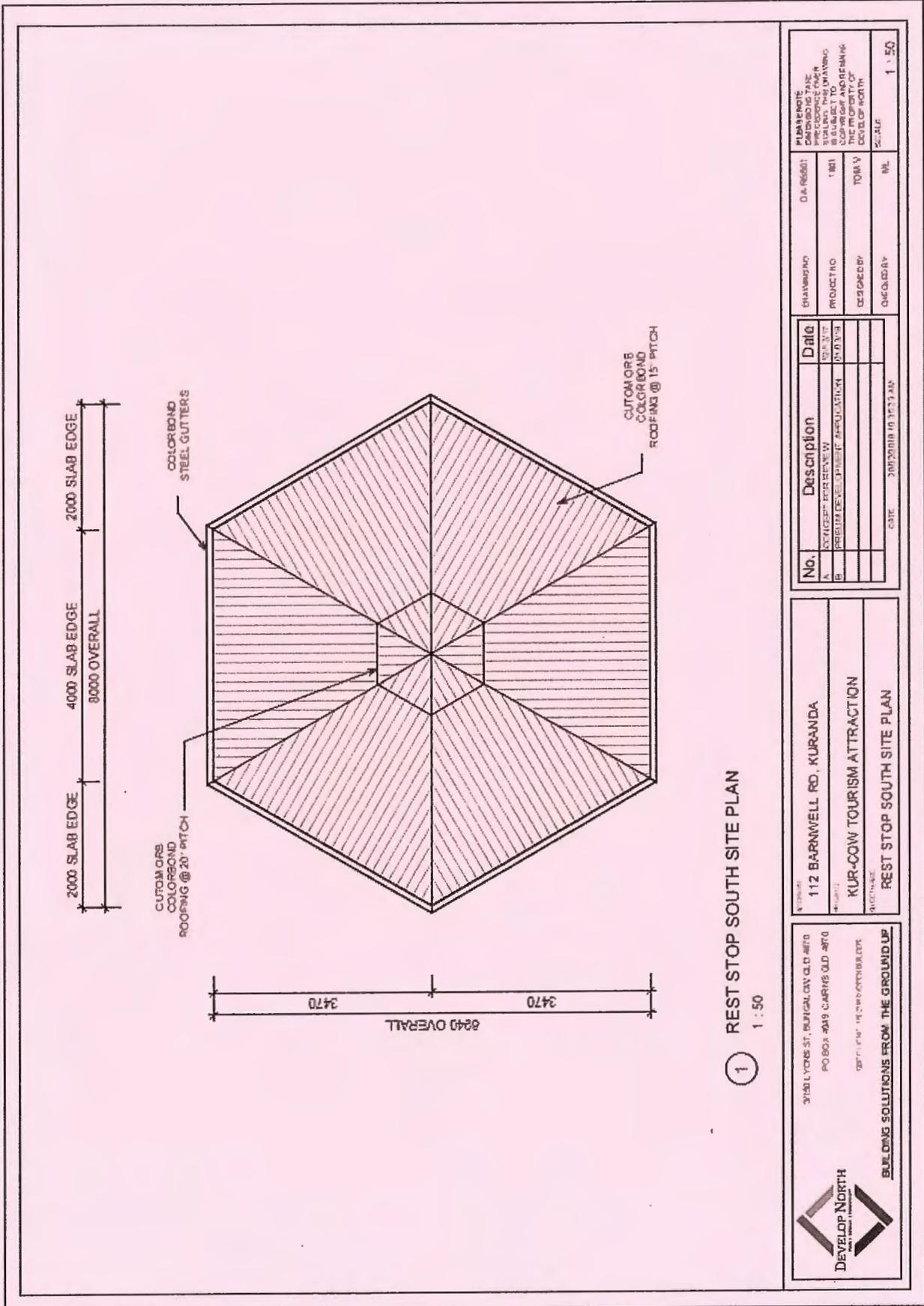
PLEASE NOTE DEVELOPER TAKE PRELIMINARY OVER SCALE. THIS DRAWING IS SUBJECT TO COPRIGHT AND REMAINS THE PROPERTY OF DEVELOP NORTH



① REST STOP NORTH 3D VIEW 1

 <p>DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP</p>	3750 LYONS ST BUNGAL CIV QLD 4870 PO BOX 4049 CARRIS QLD 4870 207 CUMMER PT RD BUNGAL CIV QLD 4870	112 BARNWELL RD, KURANDA KUR-COW TOURISM ATTRACTION REST STOP NORTH 3D	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT DESIGN REVIEW</td> <td>12/02/17</td> </tr> <tr> <td>B</td> <td>PRELIM DEVELOPMENT APPLICATION</td> <td>07/03/18</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Description	Date	A	CONCEPT DESIGN REVIEW	12/02/17	B	PRELIM DEVELOPMENT APPLICATION	07/03/18										DRAWING NO: DA-PS104 PROJECT NO: 1811 DESIGNED BY: TOM V CHECKED BY: NL	PLEASE NOTE DECISIONS TAKE PRECEDENCE OVER REGULATORY CHANGES IS SUBJECT TO CIP-PROG AND REMAINS THE PROPERTY OF DEVELOP NORTH SCALE
	No.	Description	Date																				
A	CONCEPT DESIGN REVIEW	12/02/17																					
B	PRELIM DEVELOPMENT APPLICATION	07/03/18																					
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DA:R5501	DATE	20/10/2018	SCALE	1 : 50
PROJECTING	DESIGNED BY	DATE	SCALE	1 : 50
PROJECTING	DATE	20/10/2018	SCALE	1 : 50

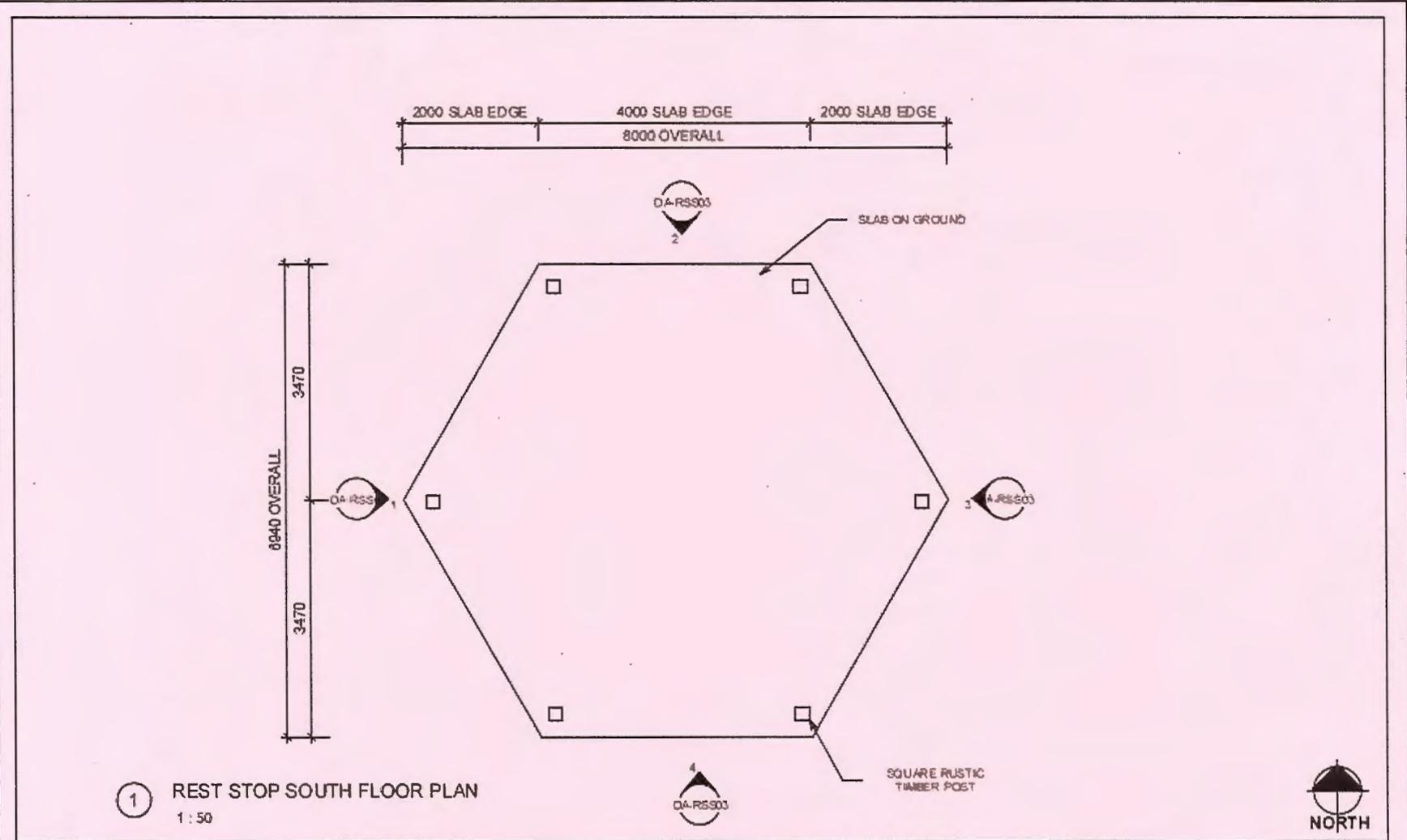
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B	PRELIM DEVELOPMENT APPLICATION	01/11/18

112 BARNWELL RD, KURANDA	112 BARNWELL RD, KURANDA
KUR-CGW TOURISM ATTRACTION	KUR-CGW TOURISM ATTRACTION
REST STOP SOUTH SITE PLAN	REST STOP SOUTH SITE PLAN

3158 LYONS ST, BURKALONG QLD 4870	3158 LYONS ST, BURKALONG QLD 4870
PO BOX 2049 CARRIS QLD 4870	PO BOX 2049 CARRIS QLD 4870
DEVELOP NORTH	DEVELOP NORTH
BUILDING SOLUTIONS FROM THE GROUND UP	BUILDING SOLUTIONS FROM THE GROUND UP

Develop North
BUILDING SOLUTIONS FROM THE GROUND UP

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1 REST STOP SOUTH FLOOR PLAN
1 : 50

DEVELOP NORTH
BUILDING SOLUTIONS FROM THE GROUND UP

3/150 LYONS ST, BUNGALOW QLD 4870
PO BOX 4849 CARRIS QLD 4870

9876 5432 109876543210

ADDRESS: 112 BARNWELL RD, KURANDA

PROJECT: KUR-COW TOURISM ATTRACTION

SHEET TITLE: REST STOP SOUTH FLOOR PLAN

No.	Description	Date
A	CONCEPT FOR REVIEW	12/12/2017
B	PRELIM DEVELOPMENT APPLICATION	25/03/18

DATE: 28/03/2018 10:16:23 AM

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PROJECT NO	1001	SCALE	1 : 50
DESIGNED BY	TOBY V		
DRAWN BY	ML		

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3 EAST ELEVATION
1 : 50

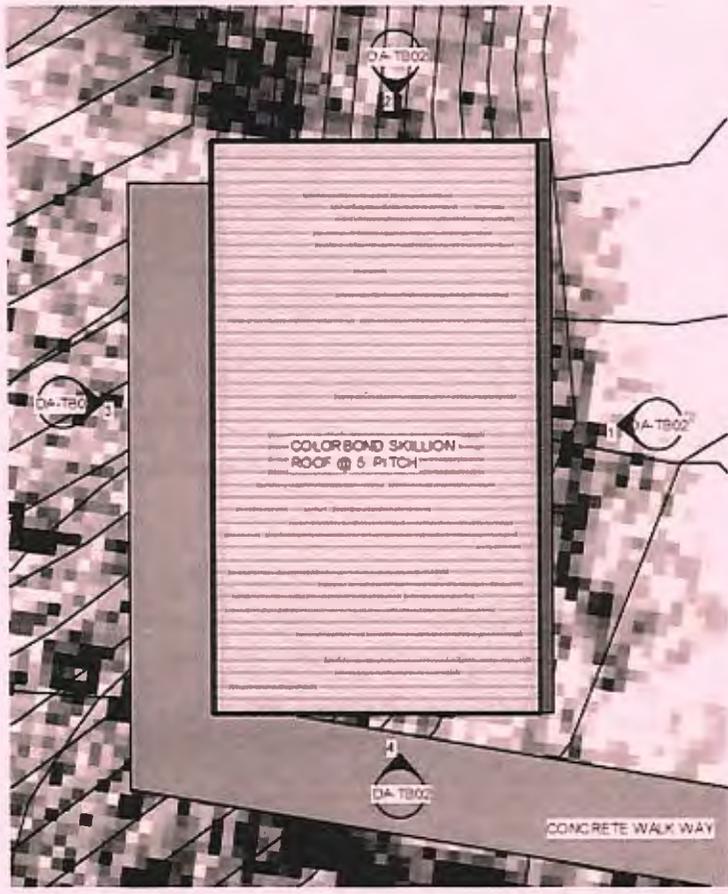
2 NORTH ELEVATION
1 : 50

1 WEST ELEVATION
1 : 50

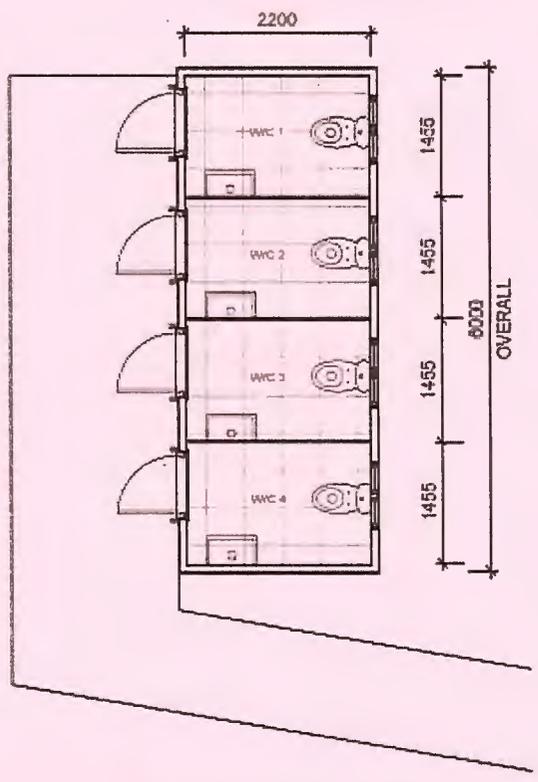
4 SOUTH ELEVATION
1 : 50

	3/150 LYONS ST, BUNGALONG QLD 4870 PO BOX 4049 CARRNS QLD 4870	112 BARNWELL RD, KURANDA	DRAWING NO: D.A. R5603	PLEASE NOTE: DIMENSIONS TAKE PRECEDENCE OVER A SCALED DRAWING. THIS DRAWING IS SUBJECT TO CORRECTION AND REMAINS THE PROPERTY OF DEVELOP NORTH.
	DEVELOP NORTH BUILDING SOLUTIONS FROM THE GROUND UP	KUR-COW TOURISM ATTRACTION	PROJECT NO: 1801	
	REST STOP SOUTH ELEVATIONS		DESIGNED BY: TOM V	SCALE: 1 : 50
			DATE: 10/03/2018 10:35:24 AM	

B. 2/15/2018



2 TOILET BLOCK SITE PLAN
1 : 50



1 TOILET BLOCK FLOOR PLAN
1 : 50



3160 LYONS ST, BUNGALOW QLD 4870
PO BOX 4949, CARRIS QLD 4870
GET THE BEST FROM THE GROUND UP
BUILDING SOLUTIONS FROM THE GROUND UP

ADDRESS: 112 BARNWELL RD, KURANDA
PROJECT: KUR-COW TOURISM ATTRACTION
PROJECT NAME: TOILET BLOCK FLOOR & SITE PLAN

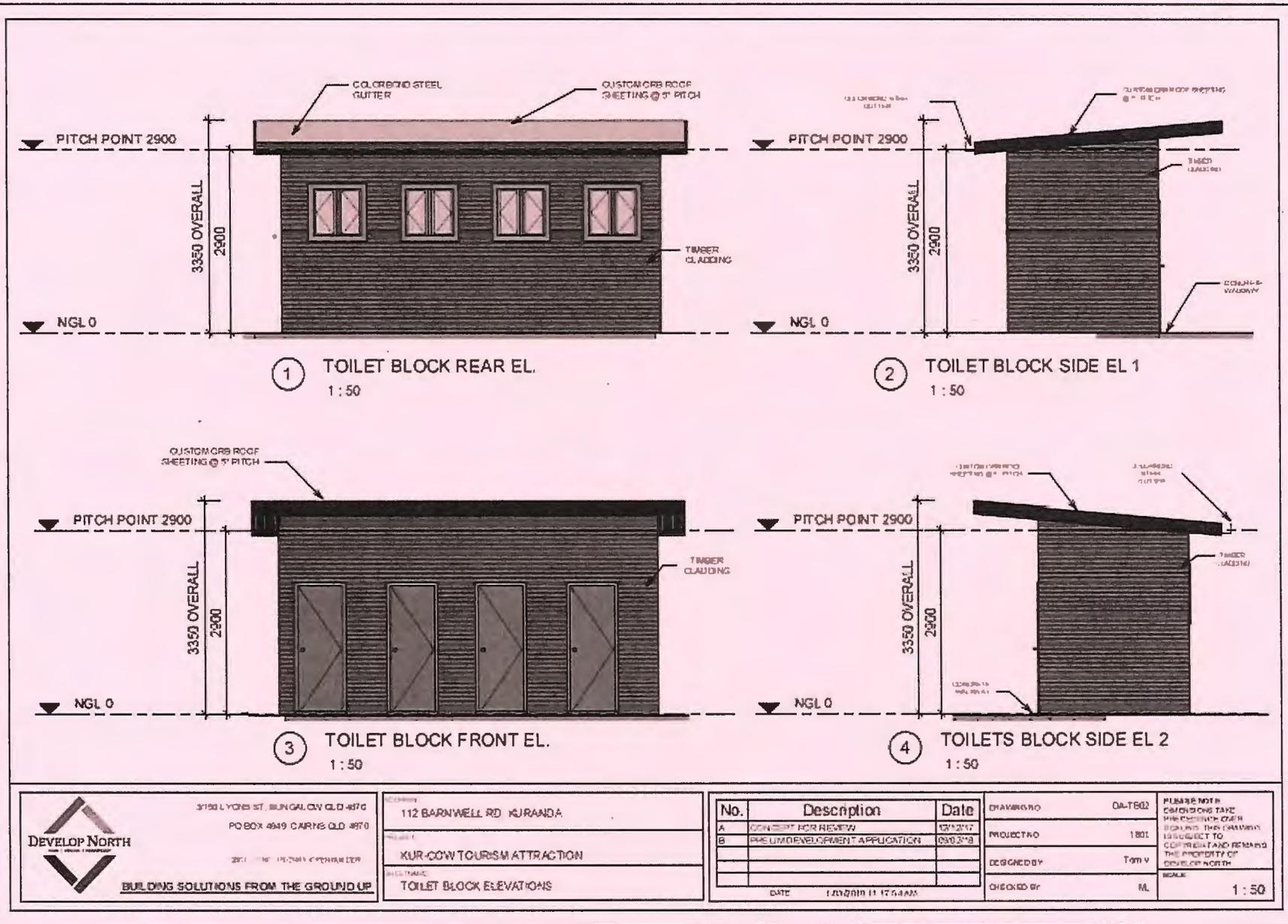
No.	Description	Date
A	DESIGNED FOR REVIEW	15/11/2018
B	PRELIM DEVELOPMENT APPLICATION	05/10/18

DRAWN BY: DA-TB01
PROJECT NO: 1801
DESIGNED BY: TOMMY
CHECKED BY: ML

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Handwritten signature: B. McCall

DEVELOP NORTH
BUILDING SOLUTIONS FROM THE GROUND UP

3120 LYONS ST, BUNGA QLD 4870
PO BOX 4849 CARRYS QLD 4870

2871 112 BARNWELL RD KURANDA

112 BARNWELL RD KURANDA

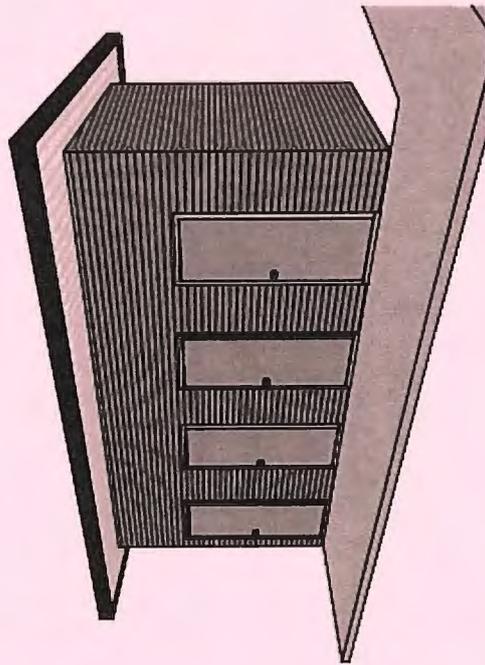
KUR-COW TOURISM ATTRACTION

TOILET BLOCK ELEVATIONS

No.	Description	Date
A	CONCEPT FOR REVIEW	10/12/17
B	PRE-DEVELOPMENT APPLICATION	09/03/18

DATE: 12/02/18 11:17:54 AM

DRAWN BY	DA-TBO2	PLEASE NOTE: CLIENTS TAKE RESPONSIBILITY OVER ISSUES THE DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF DEVELOP NORTH
PROJECT NO	1801	SCALE: 1:50
DESIGNED BY	Tom V	
CHECKED BY	ML	



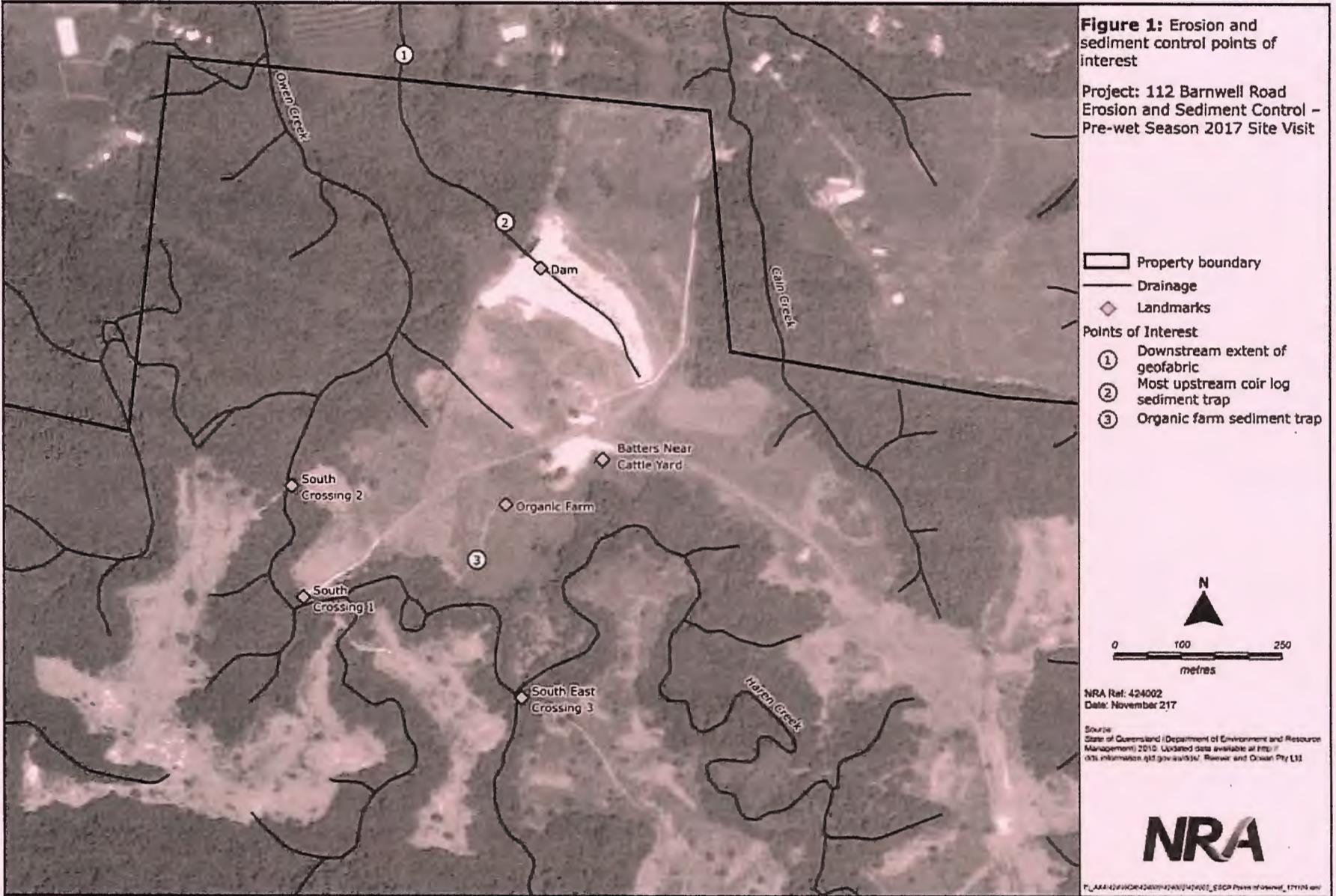
1 GRAND STAND TOILET 3D View

 <p>37141 YONS ST, BUNGA QLD 4870 PO BOX 448 CAPINS QLD 4870 08 4711 1924 08 4711 1924 BUILDING SOLUTIONS FROM THE GROUND UP</p>		<p>112 BARNWELL RD KURANDA MAREEBA KUR-GOW TOURISM ATTRACTION TOILET BLOCK 3D</p>		<p>NO. Description Date</p> <p>A CONCEPT REVIEW 15/01/17</p> <p>B PRELIMINARY DEVELOPMENT APPLICATION 03/03/18</p>	<p>DATE 10/02/2018 11:17:56AM</p>
<p>ISSUED BY</p>	<p>PROJECT NO</p>	<p>DESIGNED BY</p>	<p>CHECKED BY</p>	<p>DATE</p>	<p>PROJECT NO</p>
<p>PROJECT NO</p>	<p>DESIGNED BY</p>	<p>CHECKED BY</p>	<p>DATE</p>	<p>PROJECT NO</p>	<p>DATE</p>
<p>PROJECT NO</p>	<p>DESIGNED BY</p>	<p>CHECKED BY</p>	<p>DATE</p>	<p>PROJECT NO</p>	<p>DATE</p>

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21/5/2018
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21/5/2018
B. Z. [Signature]



	Referral Agency Response
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RA6-N



Department of
State Development,
Manufacturing,
Infrastructure and Planning

Our reference: 1803-4632 SRA
Your reference: MCU/18/0006

4 May 2018

Chief Executive Officer
Mareeba Shire Council
PO Box 154
Mareeba Qld 4880
planning@msc.qld.gov.au

Attention: Brian Millard

Dear Sir/Madam

Referral agency response—with conditions
(Given under section 56 of the *Planning Act 2016*)

The development application described below was properly referred to the Department of State Development, Manufacturing, Infrastructure and Planning on 5 April 2018.

Applicant details

Applicant name:	Reever and Ocean Pty Ltd c-/ Cardno
Applicant contact details:	PO Box 1619 Cairns QLD 4870 stephen.whitaker@cardno.com.au

Location details

Street address:	77 Barnwell Road, Kuranda
Real property description:	16N157227; 17SP296830; 18SP296830; 19SP296830; 22SP296830
Local government area:	Mareeba Shire Council

Application details

Development permit	Material change of use for Tourist Attraction
--------------------	---

1803-4632 SRA

Referral triggers

The development application was referred to the department under the following provisions of the Planning Regulation 2017:

- 10.9.4.1.1.1 Infrastructure - state transport infrastructure

Conditions

Under section 56(1)(b)(i) of the *Planning Act 2016* (the Act), the conditions set out in Attachment 1 must be attached to any development approval.

Reasons for decision to impose conditions

The department must provide reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Advice to the assessment manager

Under section 56(3) of the Act, the department offers advice about the application to the assessment manager—see Attachment 3.

Approved plans and specifications

The department requires that the plans and specifications set out below and enclosed must be attached to any development approval.

Drawing/report title	Prepared by	Date	Reference no.	Version/issue
Aspect of development: Material change of use for Tourist Attraction				
Town Planning Report: Kur-Cow Tourist Attraction Barnwell Road, Kuranda Development Permit for Material Change of Use Tourist Attraction	Cardno	7 March 2018	HRP16299/006	-

A copy of this response has been sent to the applicant for their information.

For further information please contact Tony Croke, Principal Planner, on 40373205 or via email CairnsSARA@dilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Brett Nancarrow
Manager (Planning)

cc Reeve and Ocean Pty Ltd c/- Cardno, stephen.whitaker@cardno.com.au

enc Attachment 1—Conditions to be imposed
Attachment 2—Reasons for decision to impose conditions
Attachment 3—Advice to the assessment manager
Approved plans and specifications

1803-4632 SRA

Attachment 1—Conditions to be imposed

No.	Conditions	Condition timing
Material change of use for Tourist Attraction		
10.9.4.1.1.1 - Infrastructure - state transport infrastructure — The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	<p>The development must be generally in accordance with the Town Planning Report, Kur-Cow Tourist Attraction, Barnwell Road, Kuranda, Development Permit for Material Change of Use Tourist Attraction, prepared by Cardno, dated 7 March 2018, Reference HRP16299/006; in particular:</p> <ul style="list-style-type: none"> • The proposed development is to be delivered in three stages and restricted to the following tourists visitor numbers: <ul style="list-style-type: none"> o Stage TA60 involving up to 60 tourists; o Stage TA150 involving up to 150 tourists; o Stage TA300 involving up to 300 tourists. • The transportation of tourists to the Kur-Cow tourist attraction site on any given day must be limited to private charter buses only; • No tourists are allowed to enter the Kur-Cow tourist attraction site by private vehicle. 	<p>Prior to the commencement of use and to be maintained at all times.</p>

1803-4632 SRA

Attachment 2—Reasons for decision to impose conditions

The reasons for this decision are:

- To ensure the development is carried out generally in accordance with the town planning report and the traffic impact assessment submitted with the application.
- To protect the state-controlled road from adverse impacts of the development.
- To maintain the safety and efficiency of the state-controlled road.

1803-4632 SRA

Attachment 3—Advice to the assessment manager

General advice	
Ref.	Advertising device
1.	<p>A local government should obtain advice from the Department of Transport and Main Roads (DTMR) if it intends to approve the erection, alteration or operation of an advertising sign or another advertising device that would be visible from a state-controlled road, and beyond the boundaries of the state-controlled road, and reasonably likely to create a traffic hazard for the state-controlled road.</p> <p>Note: DTMR has powers under section 139 of the <i>Transport Operations (Road Use Management - Accreditation and Other Provisions) Regulation 2015</i> to require removal or modification of an advertising sign and/or a device which is deemed that it creates a danger to traffic.</p>

Appeal Rights

PLANNING ACT 2016 & THE PLANNING REGULATION 2017

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 of the *Planning Act 2016* states –
- (a) Matters that may be appealed to –
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) The person-
 - (i) who may appeal a matter (**the appellant**); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.

(Refer to Schedule 1 of the Planning Act 2016)

- (2) An appellant may start an appeal within the appeal period.
- (3) The **appeal period** is –
- (a) for an appeal by a building advisory agency – 10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal – at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises – 20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against an infrastructure charges notice – 20 business days after the infrastructure charges notice is given to the person; or
 - (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given – 30 business days after the applicant gives the deemed approval notice to the assessment manager; or
 - (f) for any other appeal – 20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note –

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt. It is declared that an appeal against an infrastructure charges notice must not be about-

- (a) the adopted charge itself; or
- (b) for a decision about an offset or refund-
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that-
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to –
 - (a) the respondent for the appeal ; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, table 1, item 1 – each principal submitter for the development application; and
 - (d) for an appeal about a change application under schedule 1, table 1, item 2 – each principal submitter for the change application; and
 - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
 - (f) for an appeal to the P&E Court – the chief executive; and
 - (g) for an appeal to a tribunal under another Act – any other person who the registrar considers appropriate.
- (4) The *service period* is –
 - (a) if a submitter or advice agency started the appeal in the P&E Court – 2 business days after the appeal has started; or
 - (b) otherwise – 10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section –
 - decision* includes-
 - (a) conduct engaged in for the purpose of making a decision; and

- (b) other conduct that relates to the making of a decision; and
- (c) the making of a decision or failure to make a decision; and
- (d) a purported decision ; and
- (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter-

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the Judicial Review Act 1991 or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with the rules of the P&E Court.