

Date: 19/06/2026

Chief Executive Officer
Mareeba Shire Council
PO Box 154, Mareeba QLD 4880
Attn: Carl Ewin

Project Number: 2031
Project Address: 27 Effley St, Mareeba 4880
RE: Quarantine Assessment on Lot 219 SP312807

Dear Carl,

We are lodging this quarantine assessment of non-compliant items against relevant codes with supporting documentation listed below to assist with councils assessment.

- Code Assessment
- DA form 1
- Plans of Development
- Relevant Site information

Should you have any queries concerning this purchase order, please contact Humac Group on 07 4031 7087.



Shane Raso
Director | Humac Group

6.2.5.3 Criteria for assessment

Table 6.2.5.3—Industry zone code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Comments
For accepted development subject to requirements and assessable development		
PO1 Building height takes into consideration and respects the following: (a) the height of existing buildings on adjoining premises; (b) the development potential, with respect to height, on adjoining premises; (c) the height of buildings in the vicinity of the site; (d) site area and street frontage length.	AO1 Development has a maximum building height of: (a) 8.5 metres within 10 metres of any common boundary with land in the Low density residential zone, the Medium density residential zone or the Rural residential zone; (b) 35 metres for all buildings and structures where involving a Telecommunication facility; and (c) 12 metres otherwise.	Complies The site does not have a common boundary with listed zones. The building is under 12m of maximum height
PO2 Development is sited in a manner that considers and respects: (a) the siting and use of adjoining premises; (b) appearance of building bulk; and (c) relationship with road corridors.	AO2 Buildings and structures include a minimum setback of: (a) 3 metres from any road frontage; (b) 6 metres from side and rear boundaries where adjoining land in the Low density residential zone, the Medium density residential zone or the Rural residential zone; and (c) 0 metres from side and rear boundaries otherwise.	Non-Compliant At one location along Keegan Street, the roof overhang is setback 2.4 m from the street boundary, while the blade wall is setback 4.4 m from the street boundary. All other areas comply
PO3 Buildings and structures occupy the site in a manner that: (a) makes efficient use of land; (b) is consistent with the bulk and scale of surrounding buildings.	AO3 No acceptable outcome is provided.	Complies
PO4 Building facades are appropriately designed to maintain and enhance the character of the surrounds.	AO4 Buildings in the Industrial zone include: (a) a main entrance which is easily identifiable and is directly accessible from the primary road frontage; and (b) any office space sited and oriented towards the primary road frontage.	Complies
PO5 Development complements and integrates with the established built character of the Industry zone, having regard to: (a) roof form and pitch; (b) building materials, colours and textures; and (c) window and door size and location.	AO5 No acceptable outcome is provided.	Complies
PO6 Development involving a non-industrial use: (a) has access to adequate infrastructure and essential services; (b) is complementary in nature to the	AO6 No acceptable outcome is provided.	Not Applicable

character and amenity of the Industry zone; and (c) does not negatively impact on the operation of existing uses within the Industry zone.		
PO7 Development must not detract from the amenity of the local area, having regard to: (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions.	AO7 No acceptable outcome is provided.	Complies
PO8 Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to: (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions.	AO8 No acceptable outcome is provided.	Complies

9.4.3.3 Criteria for assessment

Table 9.4.3.3A—Parking and access code – For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Comments
For accepted development subject to requirements and assessable development		
PO1 Development provides sufficient car parking to accommodate the demand likely to be generated by the use, having regard to the: (f) nature of the use; (g) location of the site; (h) proximity of the use to public transport services; (i) availability of active transport infrastructure; and (j) accessibility of the use to all members of the community.	AO1 The number of car parking spaces provided for the use is in accordance with Table 9.4.3.3B . Note—Car parking spaces provided for persons with a disability are to be considered in determining compliance with AO1. Impact Industry requires one space per 90m ² GFA or part thereof.	Non-Compliant Required GFA 1160m ² / 90 = 13 car parks The proposed development has proposed 9 formal car parks. The majority of the building will be used to store heavy machinery when not in use on external sites.

PO2 Vehicle crossovers are provided to:: (d) ensure safe and efficient access between the road and premises; (e) minimize interference with the function and operation of roads; and (f) minimise pedestrian to vehicle conflict.	AO2.1 Vehicular access to/from Council roads is designed and constructed in accordance with the Standard drawings in Planning Scheme Policy 4 - FNQROC Regional Development Manual.	Complies
	AO2.2 Development on a site with two or more road frontages provides vehicular access from: (a) the primary frontage where involving Community activities or Sport and recreation activities, unless the primary road frontage is a State controlled road; or (b) from the lowest order road in all other instances.	Complies
	AO2.3 Vehicular access for particular uses is provided in accordance with Table 9.4.3.3E . Industrial activities Each lot is provided with no more than one access point every 15 metres.	Non-Compliant Vehicular access is designed to FNQROC requirements. Due to the sites location to the street corner and existing stormwater inlet, 15m between driveways is not achieved. The proposed driveway separation on Effley St is 6.2m.
PO3 Access, manoeuvring and car parking areas include appropriate pavement treatments having regard to: (d) the intensity of anticipated vehicle movements; (e) the nature of the use that they service; and (f) the character of the surrounding locality.	AO3 Access, manoeuvring and car parking areas include pavements that are constructed in accordance with Table 9.4.3.3C .	Complies
PO4 Car parking areas are located and designed to: (a) ensure safety and efficiency in operation; and (b) be consistent with the character of the surrounding locality.	AO4.1 Car parking spaces, access and circulation areas have dimensions in accordance with AS/NZS 2890.1 Off-street car parking. AO4.2 Disabled access and car parking spaces are located and designed in accordance with AS/NZS 2890.6 Parking facilities - Off-street parking for people with disabilities. AO4.3 The car parking area includes designated pedestrian routes that provide connections to building entrances. AO4.4 Parking and any set down areas are: (a) wholly contained within the site; (b) visible from the street where involving Commercial activities, Community	Complies

	activities, Industrial activities or a use in the Recreation and open space zone; (c) are set back behind the main building line where involving a Dual occupancy, Multiple dwelling, Residential care facility or Retirement facility; and (d) provided at the side or rear of a building in all other instances.	
PO5 Access to, and manoeuvring within, the site is designed and located to: (a) ensure the safety and efficiency of the external road network; (b) ensure the safety of pedestrians; (c) provide a functional and convenient layout; and (d) accommodate all vehicles intended to use the site.	A05.1 Access and manoeuvrability is in accordance with : (a) AS28901 – Car Parking Facilities (Off Street Parking); and (b) AS2890.2 – Parking Facilities (Offstreet Parking) Commercial Vehicle Facilities. Note—Proposal plans should include turning circles designed in accordance with AP34/95 (Austroads 1995) Design Vehicles and Turning Path Templates. A05.2 Vehicular access has a minimum sight distance in accordance with Part 5 of AUSTROADS. A05.3 Vehicular access is located and designed so that all vehicles enter and exit the site in a forward gear. A05.4 Pedestrian and cyclist access to the site: (a) is clearly defined; (b) easily identifiable; and (c) provides a connection between the site frontage and the entrance to buildings and end of trip facilities (where provided).	Complies
PO6 Development that involves an internal road network ensures that it's design: (a) ensure safety and efficiency in operation; (b) does not impact on the amenity of residential uses on the site and on adjoining sites, having regard to matters of: (i) hours of operation; (ii) noise (iii) light; and (iv) odour; (c) accommodates the nature and volume of vehicle movements anticipated to be generated by the use; (d) allows for convenient access to key on-site features by pedestrians, cyclists and motor vehicles; and (e) in the Rural zone, avoids		Not Applicable

environmental degradation.		
PO7 Development provides access, maneuvering and servicing areas on site that: (a) accommodate a service vehicle commensurate with the likely demand generated by the use; (b) do not impact on the safety or efficiency of internal car parking or maneuvering areas; (c) do not adversely impact on the safety or efficiency of the road network; (d) provide for all servicing functions associated with the use; and (e) are located and designed to minimise their impacts on adjoining sensitive land uses and streetscape quality.	A07.1 All unloading, loading, service and waste disposal areas are located: (a) on the site; (b) to the side or rear of the building, behind the main building line; (c) not adjacent to a site boundary where the adjoining property is used for a sensitive use. A07.2 Unloading, loading, service and waste disposal areas allow service vehicles to enter and exit the site in a forward gear. A07.3 Development provides a servicing area, site access and maneuvering areas to accommodate the applicable minimum servicing vehicle specified in Table 9.4.3.3B.	Complies
PO8 Parking areas are used and maintained for their intended purpose.	A08.1 Parking areas are kept and used exclusively for parking and are maintained in a suitable condition for parking and circulation of vehicles. A08.2 All parking areas will be compacted, sealed, drained, line marked and maintained until such time as the development ceases.	Complies
PO9 Development within the Centre zone; Industry zone or Emerging community zone provides facilities for active transport users that: (a) meet the anticipated demand generated from the use; (b) comprise secure and convenient bicycle parking and storage; and (c) provide end of trip facilities for all active transport users.	A09.1 The number of bicycle parking spaces provided for the use is in accordance with Table 9.4.3.3D . A09.2 End of trip facilities are provided in accordance with Table 9.4.3.3D .	Complies

9.3.5.3 Criteria for assessment

Table 9.3.5.3—Industrial activities code— For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Comments
For accepted development subject to requirements and assessable development		
PO1 Industrial activities are appropriately separated from sensitive uses to ensure their amenity is maintained, having regard to: (a) noise; (b) odour;	AO1 Development is separated from sensitive uses as follows: (a) medium impact industry—250 metres; or (b) high impact industry—500 metres; or (c) special industry— 1.5 kilometres.	Complies

(c) light; and (d) emissions. Note—Development proposed to be located closer than the separation distances specified in AO2 requires supporting investigations to demonstrate that the expected impacts from the industry use have been adequately mitigated in consideration of the local context.		
For assessable development		
PO2 Industrial activities protect and enhance the character and amenity of the locality and streetscape through the appropriate location and screening of: (a) air conditioning; (b) refrigeration plant; (c) mechanical plant; and (d) refuse bin storage areas.	AO2 No acceptable outcome is provided.	Complies AC and refuse areas are located away from the street
PO3 Development avoids and, where unavoidable, mitigates impacts on ground water, particularly where ground water is heavily drawn upon for irrigation or domestic purposes.	AO3 No acceptable outcome is provided.	Complies No ground water used

9.4.2.3 Criteria for assessment

Table 9.4.2.3A—Landscaping code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Comments
For accepted development subject to requirements and assessable development		
PO1 Development, other than in the Rural zone, includes landscaping that: (a) contributes to the landscape character of the Shire; (b) compliments the character of the immediate surrounds; (c) provides an appropriate balance between built and natural elements; and (d) provides a source of visual interest.	AO1 Development, other than in the Rural zone, provides: (a) a minimum of 10% of the site as landscaping; (b) planting in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species; (c) for the integration of retained significant vegetation into landscaping areas; (d) on-street landscaping works in accordance with the Design Guidelines set out in Section D9 Landscaping, of the Planning Scheme Policy 4 - FNQROC Regional Development Manual. Note—Where development exceeds a site cover of 90%, areas of landscaping may be provided above ground level to achieve a total supply of landscaping	Non-Compliant Nominated Landscape area is 7% of the site which occurs to the street frontage

	equivalent to 10% of the site area.	
PO2 Development, other than in the Rural zone, includes landscaping along site frontages that: (a) creates an attractive streetscape; (b) compliments the character of the immediate surrounds; (c) assists to break up and soften elements of built form; (d) screen areas of limited visual interest or servicing; (e) provide shade for pedestrians; and (f) includes a range and variety of planting.	AO2 Development, other than in the Rural zone, includes a landscape strip along any site frontage: (a) with a minimum width of 2 metres where adjoining a car parking area; (b) with a minimum width of 1.5 metres in all other locations; and (c) in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species. Note—Where development is setback from a frontage less than 1.5 metres, the setback area is provided as a landscape strip	Complies
PO3 Development includes landscaping and fencing along side and rear boundaries that: (a) screens and buffer land uses; (b) assists to break up and soften elements of built form; (c) screens areas of limited visual interest; (d) preserves the amenity of sensitive land uses; and (e) includes a range and variety of planting.	AO3.1 Development provides landscape treatments along side and rear boundaries in accordance with Table 9.4.2.3B .	Not Applicable due to building location on boundary
PO4 Car parking areas are improved with a variety of landscaping that: (a) provides visual interest; (b) provides a source of shade for pedestrians; (c) assists to break up and soften elements; and (d) improves legibility.	AO4.1 Landscaping is provided in car parking areas which provides: (a) a minimum of 1 shade tree for every 4 parking spaces, or part thereof, where the car parking area includes 12 or more spaces; (b) a minimum of 1 shade tree for every 6 parking spaces, or part thereof, otherwise; and (c) where involving a car parking area in excess of 500m²: (i) shade structures are provided for 50% of parking spaces; and (ii) a minimum of 10% of the parking area as landscaping. Note—Where a shade structure is provided over part of a car parking area, shade tree planting is not required in this area of the car parking area.	Not Applicable
PO5 Landscaping areas include a range and variety of planting that: (a) is suitable for the intended purpose and local conditions;	AO5.1 Plant species are selected from the Plant Schedule in Planning Scheme Policy 6 - Landscaping and preferred plant species. AO5.2	Complies Planting to be selected in accordance with Mareeba Shire Council Planning Scheme Policy 6 –

(b) contributes to the natural character of the Shire; (c) includes native species; (d) includes locally endemic species, where practical; and (e) does not include invasive plants or weeds.	A minimum of 25% of (new and existing) plants is provided as larger, advanced stock with a minimum plant height of 0.7 metres and mulched to a minimum depth of 0.1 metres with organic mulch.	Landscapeing and preferred plant species.
PO6 Landscaping does not impact on the ongoing provision of infrastructure and services to the Shire.	AO6.1 Tree planting is a minimum of (a) 2 metres from any underground water, sewer, gas, electricity or telecommunications infrastructure; and (b) 4 metres from any inspection chamber. AO6.2 Vegetation below or within 4 metres of overhead electricity lines and power poles has a maximum height of 3.5 metres at maturity. AO6.3 Vegetation adjoining an electricity substation boundary, at maturity, will have: (a) a height of less than 4 metres; and (b) no foliage within 3 metres of the substation boundary, unless the substation has a solid wall along any boundary.	Complies No landscaping external to the site or adjacent infrastructure
PO7 Landscaping areas are designed to: (a) be easily maintained throughout the ongoing use of the site; (b) allow sufficient area and access to sunlight and water for plant growth; (c) not cause a nuisance to occupants of the site or members of the public; and (d) maintain or enhance the safety of pedestrians through the use of Crime Prevention Through Environmental Design principles.	AO7 No acceptable outcome is provided.	Complies

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Northern Civil Earthworks Pty Ltd trading as Terranovus Civil
Contact name (only applicable for companies)	Tomas Cole
Postal address (P.O. Box or street address)	C/ Humac Group P.O. Box 5737
Suburb	Cairns
State	Qld
Postcode	4870
Country	Australia
Contact number	07 4031 7087
Email address (non-mandatory)	Tomas@humacgroup.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	
1.1) Home-based business	
☐ Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
☐ Yes – the written consent of the owner(s) is attached to this development application	
☒ No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		27	EFFLEY STREET	MAREEBA
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4880	219	SP312807	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		☐ WGS84 ☐ GDA94 ☐ Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		☐ 54 ☐ 55 ☐ 56	☐ WGS84 ☐ GDA94 ☐ Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

☐ On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport:
☐ Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification:
☐ Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification:

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Quarantined Assessment for New Industrial Building

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	☒ Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	☐ Yes – complete division 2
Operational work	☐ Yes – complete division 3
Building work	☐ Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Low Impact Industry	Premises used for industrial activities that include the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products and have one or more of the following attributes: ☐ negligible impacts on sensitive land uses due to offsite emissions including aerosol, fume, particle, smoke, odour and noise ☐ minimal traffic generation and heavy-vehicle usage ☐ demands imposed upon the local infrastructure network consistent with surrounding uses ☐ the use generally operates during the day (e.g. 7am to 6pm) ☐ offsite impacts from storage of dangerous goods are negligible ☐ the use is primarily undertaken indoors.	NA	1160m ²

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☒ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation
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Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

☐ Subdivision (complete 10)	☐ Dividing land into parts by agreement (complete 11)
☐ Boundary realignment (complete 12)	☐ Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision**10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- ☐ Yes – provide additional details below
☐ No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?**
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work**Note:** This division is only required to be completed if any part of the development application involves operational work.**14.1) What is the nature of the operational work?**

- | | | |
|--|-------------------------------------|--|
| ☐ Road work | ☐ Stormwater | ☐ Water infrastructure |
| ☐ Drainage work | ☐ Earthworks | ☐ Sewage infrastructure |
| ☐ Landscaping | ☐ Signage | ☐ Clearing vegetation |
| ☐ Other – please specify: _____ | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)☐ Yes – specify number of new lots: _____☐ No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the Transport Infrastructure Act 1994**:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
☐ Approval			
☐ Development application			
☐ Approval			
☐ Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- ☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17	☒ Yes
Note: See the <i>Planning Regulation 2017</i> for referral requirements	
If building work is associated with the proposed development, Parts 4 to 6 of DA Form 2 – Building work details have been completed and attached to this development application	☐ Yes ☒ Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application	☒ Yes
Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template .	
Relevant plans of the development are attached to this development application	☒ Yes
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)	☐ Yes ☒ Not applicable

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☐ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

PROPOSED INDUSTRIAL DEVELOPMENT

TERRANOVUS CIVIL

27 EFFLEY STREET

MAREEBA, QLD 4880

SHEET LIST		
2031-A-000	COVER SHEET	C
2031-A-001	EXTERNAL PERSPECTIVES & FINISHES	C
2031-A-010	SITE PLAN	E
2031-A-100	GROUND FLOOR PLAN	D
2031-A-101	MEZZANINE FLOOR PLAN	C
2031-A-130	REFLECTED CEILING PLAN	C
2031-A-140	ROOF PLAN	D
2031-A-200	ELEVATIONS	C
2031-A-300	SECTIONS	C
2031-A-400	DOOR AND WINDOW SCHEDULE	B
2031-A-500	INTERNAL ELEVATIONS	A
2031-A-501	WASH BAY DETAILS	B
2031-A-600	STRUCTURAL NOTES	
2031-A-601	STRUCTURAL FLOOR PLAN	
2031-A-602	MEZZANINE FRAMING PLAN	
2031-A-603	ROOF FRAMING PLAN	
2031-A-604	PANEL DETAILS	
2031-A-605	PANEL DETAILS	
2031-A-606	WASH BAY STRUCTURAL DETAILS	
2031-A-607	STRUCTURAL DETAILS	
2031-A-608	STRUCTURAL DETAILS	

ABBREVIATION LEGEND	
CH	CLOTHES HOOK
COL	COLUMN
DB	ELECTRICAL DISTRIBUTION BOARD
DP	DOWNSPIPE
FHR	FIRE HOSE REEL
GR.D	GRAB RAIL - DDA WC
GU	COLORBOND GUTTER
HC	HOSE COCK
HR	HANDRAIL
MI	MIRROR
MSB	MAIN SWITCH / METER BOARD
NTD	NETWORK TERMINATION DEVICE FOR NBN NETWORK
PCD	PREMISES CONNECTION DEVICE FOR NBN NETWORK
RS	COLORBOND ROOF SHEETING
RV	ROOF VENTILATOR
SEAT	PROPRIETARY SEAT
SHR	SHOWER
SHR.D	DDA SHOWER
SK	KITCHEN SINK
SU	STORMWATER PIT
VB	VANITY BASIN
VB.D	DDA VANITY BASIN
WAM	WATER METRE
WC	WATER CLOSET, TOILET SUITE
WC.D	WATER CLOSET DDA

GENERAL LEGEND

THE CONTRACT WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND COMPLY WITH ALL REGULATIONS:

- NATIONAL CONSTRUCTION CODE 2022
- NATIONAL CODE OF PRACTICES FOR THE CONSTRUCTION INDUSTRY
- AUSTRALIAN GOVERNMENT GUIDELINES FOR THE NATIONAL CODE OF PRACTICE FOR THE CONSTRUCTION INDUSTRY
- COMPLY WITH QUEENSLAND DEVELOPMENT CODE

℄	CENTRE LINE
COS	CONFIRM ON SITE
EX.	EXISTING
O/H	ROOF OVERHANG
OMP	OUTER MOST PROJECTION
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
SSL	STRUCTURAL SLAB LEVEL
U/S	UNDERSIDE
◁W.01▷	WINDOW MARKER (REFER TO SCHEDULE)
◁D.01▷	DOOR MARKER (REFER TO SCHEDULE)
WT.1	WALL MARKER (REFER TO SCHEDULE)
— —	BREAK IN DRAWING
◊	INTERNAL ELEVATION MARKER
LEVEL 0000	SECTION/ELEVATION - FLOOR LEVEL
0	GRID HEAD/GRID LINE
⊕	NORTH POINT
↑	FIRE EXTINGUISHER
●	SETOUT POINT
←FALL	FALL TO FLOOR
20mm	SLAB STEP
●RL XXXXX	SPOT REFERENCE LEVEL
●TOW XXX	TOP OF WALL REFERENCE LEVEL
ABC 2800	CEILING TYPE ABBREVIATION; and CEILING HEIGHT
—P—	DENOTES STRUCTURAL BRACING ON SIDE OF WALL AS SHOWN. REFER TO ENGINEERING NOTES
---	CIRCULATION SPACE
15° PITCH LOW HIGH	ROOF PITCH SYMBOL

BEFORE YOU DIG AUSTRALIA (BYDA)

CHECK BEFORE YOU DIG AUSTRALIA DOCUMENTATION BEFORE COMMENCEMENT OF CONSTRUCTION.

FOR SOIL INVESTIGATION, REFER TO GEOTECHNICAL REPORT.

SOIL AND WATER MANAGEMENT MEASURES MUST BE INSTALLED/IMPLEMENTED PRIOR TO DISCHARGE OF WATER FROM THE SITE, SUCH THAT NO EXTERNAL STORMWATER FLOW FROM THE SITE ADVERSELY AFFECTS SURROUNDING OR DOWNSTREAM PROPERTIES



CONSULTANTS

ELECTRICAL ENGINEER
SEQUAL ELECTRICAL
P: 0409 563 419

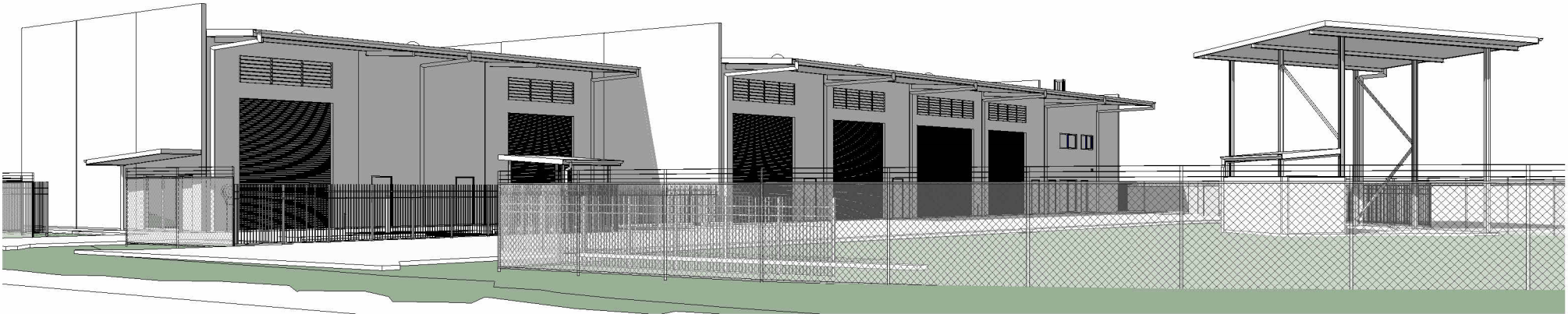
HYDRAULIC & FIRE CONSULTANT
GILBOY HYDRAULIC SOLUTIONS
P: 07 4051 5116

CIVIL ENGINEER
LEKKER URBAN
P: 4253 7023

STRUCTURAL ENGINEER
CMG CONSULTING ENGINEERS PTY LTD
208 BUCHAN ST, CAIRNS, 4870
P: 07 4031 2775

SOIL TESTING
DIRT PROFESSIONALS SOIL TESTING
P: 0417 647 477

SURVEYOR
MD LAND SURVEYS
P: 0417 122 862



APPROVAL ISSUE

No	DATE	REVISION	BY	APP
A	2026.03.25	PRELIMINARY ISSUE	TC	SR
B	2026.03.26	1500 SETBACK TO SIDE BOUNDARY	TC	SR
C	2026.06.17	ISSUED FOR APPROVAL	TC	SR



3D View 1
SCALE @ A1



3D View 2
SCALE @ A1

1 EXTERNAL FINISHES SCHEDULE					
CODE	DESCRIPTION	LOCATION	MANUFACTURER	SPECIFICATION	IMAGERY
PF.1	PAINT FINISH TYPE 1	EXTERNAL: CONCRETE TILT PANELS	DULUX	WEATHERSHIELD SEMI-GLOSS COLOUR: COLORBOND SURFMIST	
PF.2	PAINT FINISH TYPE 2	EXTERNAL: STEEL DOOR FRAME & LEAF	DULUX	WEATHERSHIELD GLOSS COLOUR: COLORBOND MONUMENT	
HDG	EXTERNAL STEEL	EXTERNAL: STEEL COLUMNS & RAFTERS	DULUX	HOT DIPPED GALVANISED	
	ALUMINIUM SLIDING DOOR, WINDOW FRAMES AND FIXED LOUVERS	EXTERNALLY		POWDERCOATED ALUMINIUM FRAME, COLOUR: MONUMENT	
GU	EAVE GUTTER & FASCIAS	ROOF	COLORBOND	COLOUR: MONUMENT	
RS	ROOF SHEETING	ROOF	COLORBOND	COLOUR: SURFMIST	
BC & RC	BARGE & WALL CAPPING	ROOF	COLORBOND	COLOUR: SURFMIST	
MCC	SOFFIT CLADDING	AWNING SOFFITS	COLORBOND	COLOUR: SURFMIST	
	ROLLER SHUTTERS			GALVANISED FINISH	

APPROVAL ISSUE

No	DATE	REVISION	BY	APP
A	2026.03.25	PRELIMINARY ISSUE	TC	SR
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DESIGN | MANAGEMENT | CONSULTING

CAIRNS | BRISBANE | TOWNSVILLE

p: 07 4031 7087 | p: 07 3435 1532 | p: 07 4243 9171

w: www.humacgroup.com.au | e: admin@humacgroup.com.au | q:15180356

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Project:	PROPOSED INDUSTRIAL DEVELOPMENT 27 EFFLEY STREET MAREEBA, QLD 4880
Client Name:	TERRANOVUS CIVIL
Drawing Title:	EXTERNAL PERSPECTIVES & FINISHES

Drawn By:	TC
Checked By:	SR
Scale:	AT A1
Revision:	C
Sheet No.:	2031-A-001

RP DESCRIPTION:	LOT 219	on	SP312807
SITE AREA:	3436m²	LOCAL AUTHORITY:	MSC
SITE COVER:	36%		
ZONE DESCRIPTION:	HEAVY INDUSTRY C		
AFFECTED OVERLAYS:	NIL		
PROPOSED:	WAREHOUSE		
GROSS FLOOR AREA:	1160m²		
PARKING REQUIREMENTS:	1 CAR PARKS PER 90m²		
	13 REQUIRED		
PARKING PROVIDED:	11 PROVIDED		
LANDSCAPE AREA:	7% PROVIDED		
FLOOD REQUIREMENTS:	NO REQUIREMENT		

LEGEND

MB	MAIL BOX
MH	MAN HOLE
WAM	WATER METRE
— S — S —	EXIST. SEWER
— SW — SW —	EXIST. STORMWATER
— PL — PL —	EXIST. POWER LINES
— W — W —	EXIST. WATER
— E — E —	EXIST. ELECTRICAL LINE
— T — T — T —	EXIST. TELEPHONE LINE

SITE NOTES

CAR PARKING - REFER TO CIVIL DOCUMENTS
COMPLY WITH AS 2890.1 & 2890.6

FENCES

F1 - 1800 HIGH BLACK MESH AND 3 x BARB WIRE FENCE TO BOUNDARY
OR MATCH F2 FENCE IF PREFERRED BY CLIENT
F2 - 2100 HIGH PRESSPOINT POWDERCOATED BLACK ALUMINIUM

SLIDING GATES

2100 HIGH PRESSPOINT POWDERCOATED BLACK ALUMINIUM
MATCH DRIVEWAY WIDTHS, MANUAL OPERATION

STORMWATER

REFER TO CIVIL / HYDRAULICS FOR ADDITIONAL STORMWATER PITS
AND DRAINAGE REQUIREMENTS

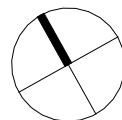
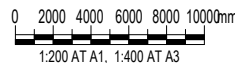
BULK BIN STORAGE

BULK BIN STORAGE AREA TO CONTAIN THE FOLLOWING.

- HAVE A FLOOR WHICH IS RAISED AND GRADED TO THE CENTRE, IMPROVISEDLY PAVED, SUITABLY DRAINED TO COUNCIL'S SEWER VIA AN APPROVED BUCKET TRAP WITH DRY BASKET ARRESTER (DBA), AND WITH THE FRONT EDGE RAMPED (AT A MAXIMUM GRADIENT OF 5%) TO ALLOW EASY SERVICING OF THE BULK BIN
- BE ROOFED TO PREVENT INGRESS OF STORMWATER
- HAVE A SUITABLE HOSECOCK WITH HOSE ATTACHED, LOCATED ON AN EXTERNAL FRONT CORNER OF THE ENCLOSURE WITH DUAL CHECK VALVE BACKFLOW PREVENTION
- HAVE APPROPRIATE ACCESS AND SUFFICIENT ON SITE MANOEUVRABILITY AREA FOR GENERAL WASTE AND RECYCLING COLLECTION VEHICLES.

APPROVAL ISSUE

No	DATE	REVISION	BY	APP
A	2026.03.25	PRELIMINARY ISSUE	TC	SR
B	2026.03.26	1500 SETBACK TO SIDE BOUNDARY	TC	SR
C	2026.06.08	PRELIMINARY ISSUE	TC	SR
D	2026.06.09	PRELIMINARY ISSUE	TC	SR
E	2026.06.17	ISSUED FOR APPROVAL	TC	SR



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Project:	PROPOSED INDUSTRIAL DEVELOPMENT 27 EFFLEY STREET MAREEBA, QLD 4880
Client Name:	TERRANOVUS CIVIL
Drawing Title:	SITE PLAN

Drawn By:	TC
Checked By:	SR
Scale:	As indicated AT A1
Revision:	E
Sheet No.:	2031-A-010

FLOOR AREA	
SHED 1	275.4 m²
SHED 2 (TERRANOVUS)	869.9 m²
SHED 2 MEZZANINE	54.8 m²
	1200.1 m²

GENERAL NOTES

THE CONTRACT WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND COMPLY WITH ALL REGULATIONS:

- NATIONAL CONSTRUCTION CODE 2022
- NATIONAL CODE OF PRACTICES FOR THE CONSTRUCTION INDUSTRY
- AUSTRALIAN GOVERNMENT GUIDELINES FOR THE NATIONAL CODE OF PRACTICE FOR THE CONSTRUCTION INDUSTRY
- COMPLY WITH QUEENSLAND DEVELOPMENT CODE

VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS, MATERIAL PURCHASING, OFF SITE PRODUCTION AND/OR CONSTRUCTION;

ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF HUMAC GROUP STAFF IMMEDIATELY BEFORE ACTION IS TAKEN;

DO NOT SCALE OFF DRAWINGS;

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO DIMENSIONS SCALED OFF DRAWINGS;

SMALL SCALE DETAILS TAKE PRECEDENCE OVER GENERAL ARRANGEMENT PLANS;

DIMENSIONS SHOWN ARE IN MILLIMETRES UNLESS OTHERWISE NOTED;

CROSS REFERENCE ALL DRAWING WITHIN SET;

PROVIDE ALL MATERIALS AND LABOUR, INCLUDING MAKING GOOD TO AFFECTED AREAS, TO ENSURE COMPLETELY SAFE AND RELIABLE INSTALLATION;

ALL TIMBER OR STEEL FRAMED WALLS TO WET AREAS TO BE LINED WITH FC OR APPROVED WET AREA CLADDING, FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS;

ALL BALUSTRADES / BARRIERS TO BE 1050 MINIMUM ABOVE FINISHED FLOOR LEVEL (i.e. TOP OF TILES, CARPET etc) AND HAVE NO OPENINGS GREATER THAN 124mm, IN ACCORDANCE WITH RELEVANT CODES & STANDARDS. NCC VOL 1 PART D3D17-D3D20

SUSPENDED TIMBER OR STEEL FRAMED FLOORS TO HAVE WET AREA FLOORING TO ALL WET AREAS, FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS;

TERMITE PROTECTION NOTES

ALL PRIMARY BUILDING ELEMENTS:

- NOT SUBJECT TO TERMITE ATTACK
- TREATED TO MIN. H2 INTERNALLY AND H3 EXTERNALLY

WET AREA WATERPROOFING

WATERPROOFING TO COMPLY WITH PART F2D2 OF THE NCC VOL 1 AND AS3740.

BRAILLE AND TACTILE SIGNAGE

REFER TO DOOR SCHEDULE

DOOR THRESHOLDS AND SETOWNS

SWING DOORS - 260 x 30mm RAMPED ENTRY (1:8 MAX. GRADE)

ROLLER SHUTTER - 260 x 30mm RAMPED ENTRY (1:8 MAX. GRADE)

SHOWER / BATHROOM - SLAB RECESS 50mm

FIRE HAZARD PROPERTIES

ALL LININGS, COVERINGS & FINISHES COMPLY WITH NCC VOL 1, SECTION C SPECIFICATION 7 - FIRE HAZARD PROPERTIES

FLOOR LEGEND

VNL.1 VINYL FLOORING 1:

- COMMERCIAL VINYL SHEET FLOORING

VNL.2 VINYL FLOORING 2:

- COMMERCIAL VINYL SHEET FLOORING WET AREA
- COVED VINYL SKIRTING
- P3 SLIP RATING

CONC.1 CONCRETE FLOORING 1:

- PLAIN FINISH CONCRETE

WALL LEGEND

NOTES:

- WALL TAGGED SIDE OF WALL NOMINATES ORDER OF CONSTRUCTION
- READ IN-CONJUNCTION WITH INTERNAL ELEVATIONS
- APPLY WA PLASTERBOARD TO ALL WET AREAS OR FIBRE CEMENT.
- INTERNAL NON-LOADBEARING WALLS TO COMPLY WITH AS1170.4
- REFER TO EXTERNAL ELEVATIONS FOR EXTERNAL FINISHES

WT.1 WALL TYPE 1:

- CONCRETE TILT PANEL WALL

WT.2 WALL TYPE 2:

- CONCRETE TILT PANEL WALL
- 92mm METAL STUD
- 13mm WET AREA PLASTERBOARD

WT.3 WALL TYPE 3:

- 13mm IMPACT RATED PLASTERBOARD
- 92mm METAL STUD
- 13mm WET AREA PLASTERBOARD

WT.4 WALL TYPE 4:

- 13mm IMPACT RATED PLASTERBOARD
- 92mm METAL STUD
- 13mm IMPACT RATED PLASTERBOARD

WT.5 WALL TYPE 5:

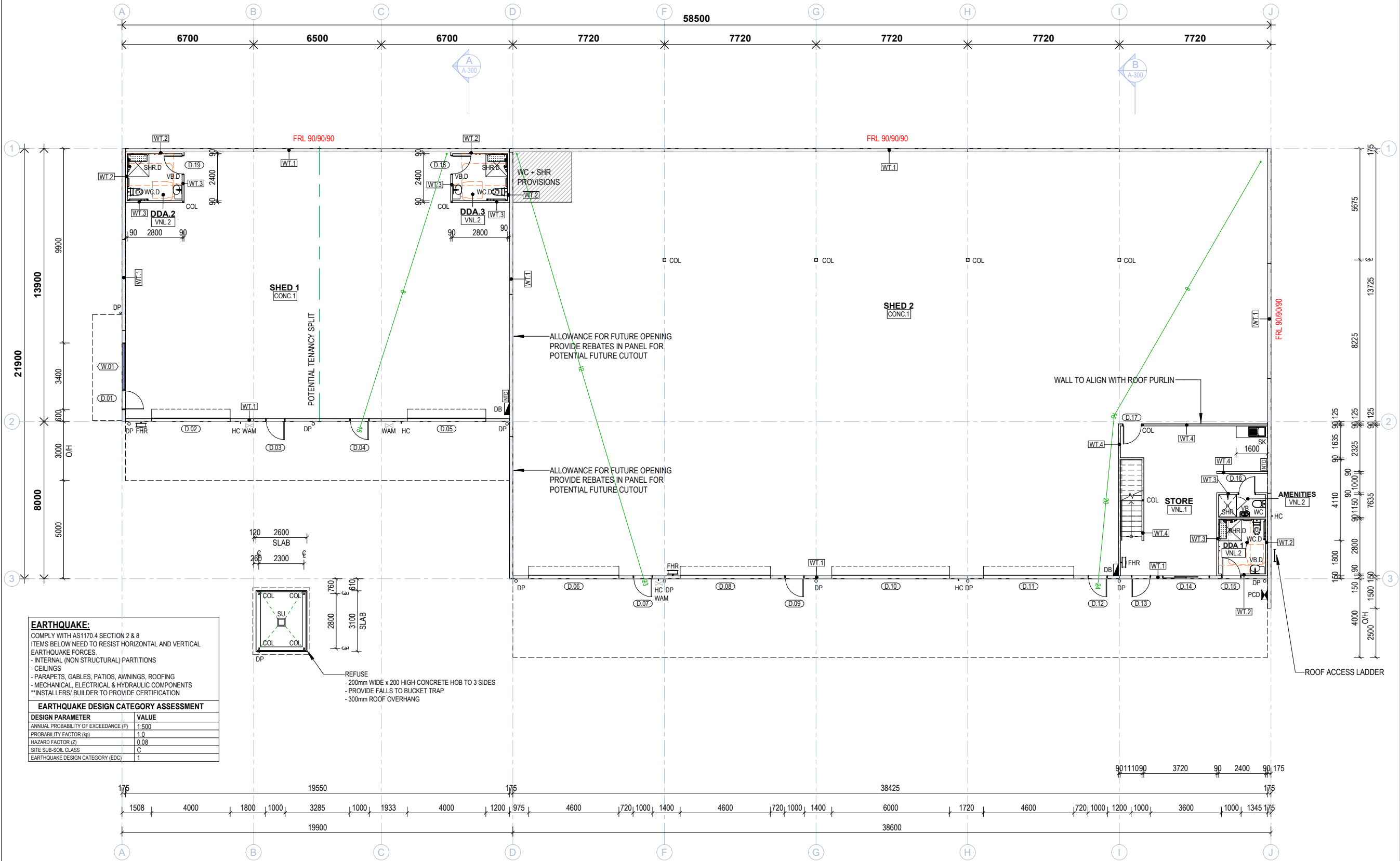
- 13mm IMPACT RATED PLASTERBOARD
- 92mm METAL STUD
- 13mm PLASTERBOARD

APPROVAL ISSUE

No	DATE	REVISION	BY	APP
A	2026.03.25	PRELIMINARY ISSUE	TC	SR
B	2026.03.26	1500 SETBACK TO SIDE BOUNDARY	TC	SR
C	2026.06.09	PRELIMINARY ISSUE	TC	SR
D	2026.06.17	ISSUED FOR APPROVAL	TC	SR

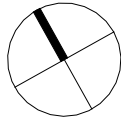
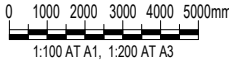
Document Set ID: 4659430

Version: 2, Version Date: 22/06/2026



GROUND FLOOR PLAN

SCALE 1 : 100 @ A1



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CAIRNS | BRISBANE | TOWNSVILLE

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Project: **PROPOSED INDUSTRIAL DEVELOPMENT**

27 EFFLEY STREET

MAREEBA, QLD 4880

Client Name: **TERRANOVUS CIVIL**

Drawing Title: **GROUND FLOOR PLAN**

Drawn By: **TC**

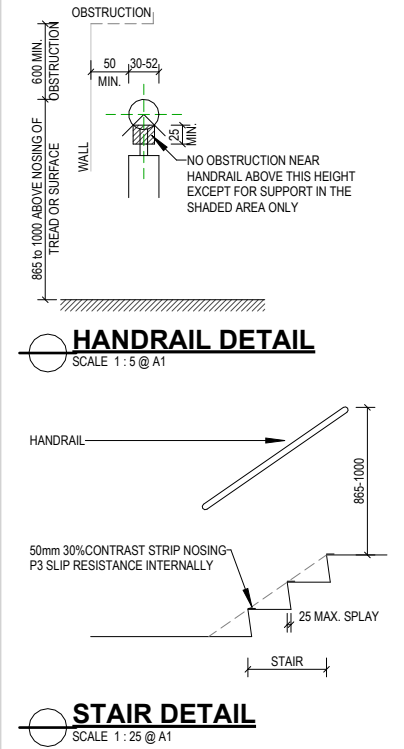
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Scale: **1 : 100 AT A1**

Revision: **D**

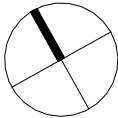
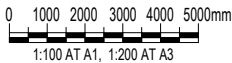
Sheet No.: **2031-A-100**

STAIR RISER & GOING DIMENSIONS CLASS 2-9 BALUSTRADES / BARRIERS, LANDINGS, STAIRS TO COMPLY WITH NCC VOL. 1 PART D3D14-D3D20			
NCC VOL 1 - TABLE D3D14, VOL 2 - TABLE 11.2.2a			
CLASS	RISER	GOING	2R + G =
2 to 9	190 - 115	355 - 250	700 - 550
GOING & RISER TOLERANCE = 5mm			
MAX. RISERS BETWEEN LANDINGS = 18			
MIN. WIDTH BETWEEN HANDRAILS ON STAIRS = 1000mm			
SLIP RESISTANCE REQUIREMENTS NCC VOL 1 (CLASS 2-9) - TABLE D3D15			
APPLICATION	DRY SURFACE	WET SURFACE	
STAIR / LANDING NOSING	P3	P4	



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Project:	PROPOSED INDUSTRIAL DEVELOPMENT 27 EFFLEY STREET MAREEBA, QLD 4880
Client Name:	TERRANOVUS CIVIL
Drawing Title:	MEZZANINE FLOOR PLAN

Drawn By:	TC
Checked By:	SR
Scale:	As indicated AT A1
Revision:	C
Sheet No.:	2031-A-101

ABC	CEILING TYPE ABBREVIATION
2800	AND CEILING HEIGHT

 GENERAL PLASTERBOARD

- SUSPENDED CEILING
- R2.5 INSULATION
- 10mm PLASTERBOARD
- 55mm COVE CORNICE

PB.WA WET AREA PLASTERBOARD
 - SUSPENDED CEILING
 - R2.5 INSULATION
 - 10mm WET AREA PLASTERBOARD
 - 55mm COVE CORNICE

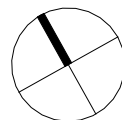
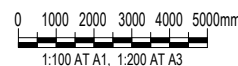
MCC METAL CEILING CLADDING
- COLORBOND CORRUGATED PROFILE

(M) EXHAUST FAN DUCTED TO ROOF / EXTERNAL WALL
COMPLY WITH NCC VOL 1, F8D4
25L/s FOR EACH BATHROOM OR SANITARY COMPARTMENT
CONNECTED TO THE LIGHT SWITCH AND RUN FOR 10
MINUTES AFTER THE LIGHT SWITCH IS TURNED OFF

REFER TO ELECTRICAL CONSULTANT DOCUMENTS
FOR LIGHTING LAYOUTS



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Project:	PROPOSED INDUSTRIAL DEVELOPMENT 27 EFFLEY STREET MAREEBA, QLD 4880
Client Name:	TERRANOVUS CIVIL
Drawing Title:	REFLECTED CEILING PLAN

Drawn By:	TC
Checked By:	SR
Scale:	1 : 100 AT A1
Revision:	C
Sheet No.:	2031-A-130

ROOF LEGEND

- NOTES:
- COLORBOND FLASHING OVER ALL EXPOSED CONCRETE
 - REFER TO HYDRAULIC CONSULTANT FOR ROOF DRAINAGE DETAILS
 - ROOF SAFETY ACCESS TO BE PROVIDED BY D&C CONTRACT

LOW
HIGH
15° PITCH

RS ROOF SHEETING

- 0.42 COLORBOND 'TRIMDEK' ROOF SHEETING
- 75mm DOUBLE SIDED TROPIC FOIL BLANKET (NOT REQUIRED TO OVERHANGS)

GU GUTTER

- HALF ROUND EAVES GUTTER
- REFER TO HYDRAULICS FOR SIZE REQUIREMENTS

DP DOWNPIPE

- UPVC DOWNPIPE
- SIZE AND LOCATIONS BY HYDRAULICS
- PAINT TO MATCH WALL COLOUR

VP VENT PIPE

- VENT PIPE, REFER HYDRAULIC CONSULTANT / PLUMBING DRAWINGS FOR LOCATIONS
- 'DEKTITE' FLASHINGS TO ROOF PENETRATIONS

RV ROOF VENT

- AMPELITE AMPERLAIR SV INDUSTRIAL 600
- LOCATE CENTRAL TO EACH STRUCTURAL BAY
- COLORBOND BACK FLASHING FROM PENETRATIONS TO ROOF RIDGE

RIDGE / BARGE CAPPINGS

- COLORBOND FINISH COLOUR TO MATCH ROOF SHEETING

ROOFING NOTES

ROOF SYSTEM SHALL BE PRE-FINISHED METAL PROFILED SHEETING, SCREW FIXED TO ROOF FRAMING. OTHER ROOF SYSTEMS (SUCH AS RIGID FOAM SANDWICH PANELS) SHALL ONLY BE USED WHERE SPECIFICALLY BRIEFED OR SPECIFIED.

SHEETS SHALL BE FULL LENGTH SHEETS WITH NO END LAPS

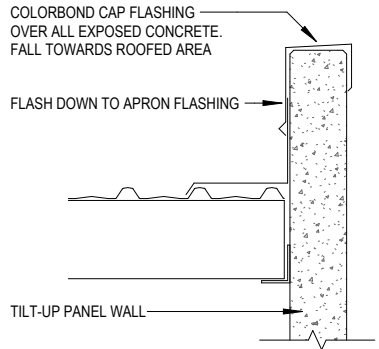
ALL MATERIALS, FINISH, FLASHINGS AND FIXINGS SHALL BE PROTECTED FROM THE EFFECTS OF GALVANIC CORROSION

ROOF FLASHINGS GENERALLY SHALL BE DESIGNED TO MINIMISE THE USE OF SEALANTS AND SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE ROOF DECK MANUFACTURER'S RECOMMENDATIONS. THE PLUMBING DESIGNER SHALL DESIGN AND SPECIFY FLASHINGS NECESSARY FOR ROOFING PENETRATIONS. FLASHINGS, CAPPINGS AND OTHER ITEMS ASSOCIATED WITH THE ROOFING SHALL BE PREFINISHED TO MATCH THE DECKING. ALL FIXING TYPES ARE TO BE AS RECOMMENDED BY THE ROOF DECK MANUFACTURER. UNDER NO CIRCUMSTANCES SHALL PLASTIC TAP IN FIXINGS SHALL BE USED ON ANY EXPOSED SECTION OF ROOFING. ALL CAULKING AND RIVETS SHALL MATCH THE COLOUR OF THE ROOF AND FLASHINGS.

FLASHINGS TO PENETRATIONS FOR ROOF COWLS AND THE LIKE SHALL INCORPORATE A SOAKER FLASHING WHICH SHALL EXTEND TO THE ROOF RIDGE WHENEVER POSSIBLE. FLASHINGS TO ALL ROOF PENETRATIONS SHALL BE DESIGNED TO MINIMISE THE COLLECTION OF LEAVES AND DEBRIS.

'DEKTITE' FLASHINGS (OR APPROVED EQUIVALENT) ARE ACCEPTABLE FOR PENETRATIONS. WHERE FLASHINGS ABUT WALLS, 'K' FLASHING (TWO PIECE) FLASHING IS REQUIRED.

SAFE WORK AND FALL-PREVENTION SYSTEMS INCORPORATING FIXED ROOF ANCHOR POINTS AND SAFETY SYSTEMS SHALL BE PROVIDED UNLESS SPECIFICALLY APPROVED. THESE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH STATUTORY REQUIREMENTS AND RELEVANT AUSTRALIAN STANDARDS.



2 WALL CAPPING

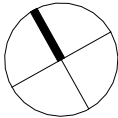
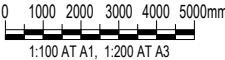
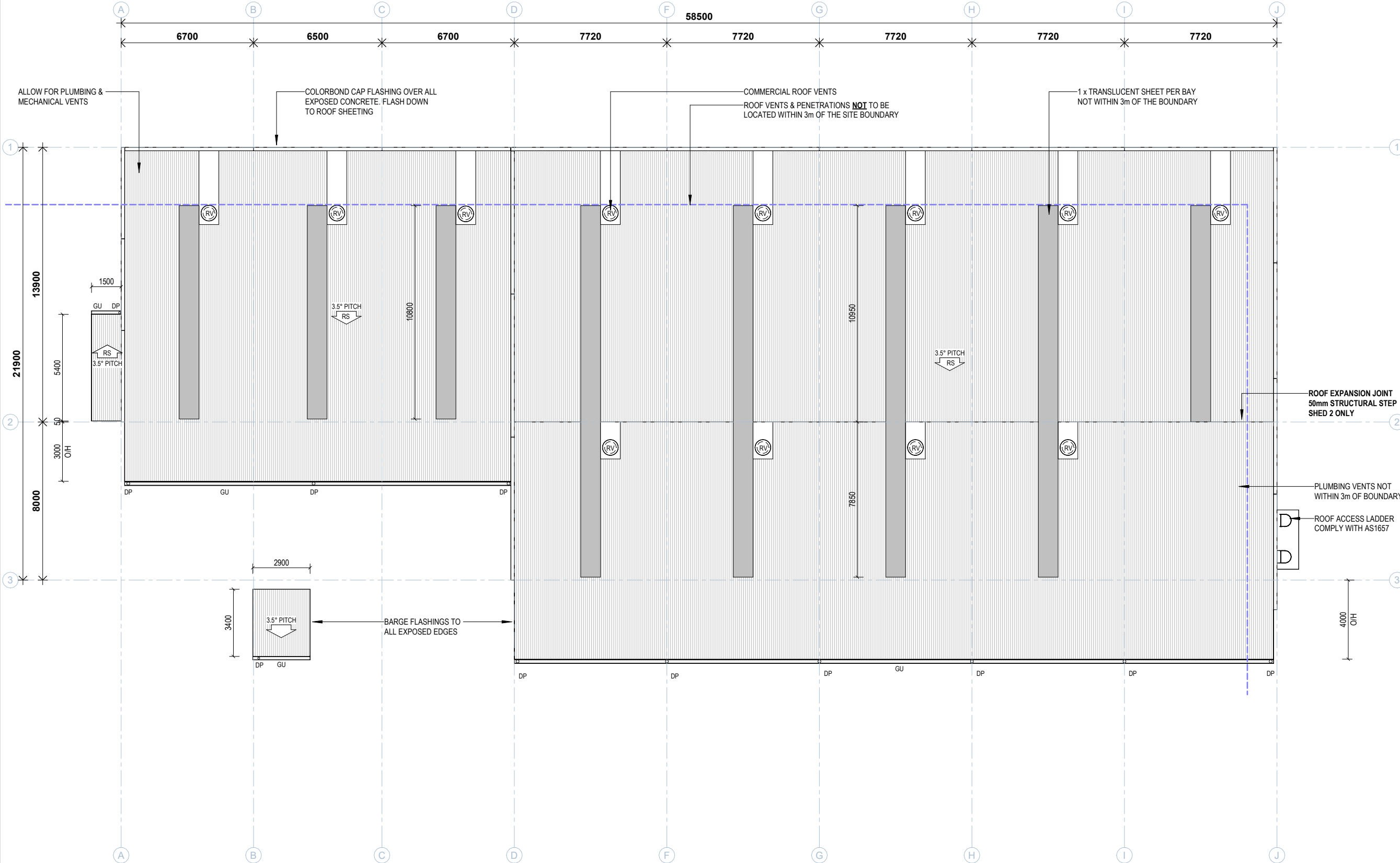
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B	2026.03.26	1500 SETBACK TO SIDE BOUNDARY	TC	SR
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D	2026.06.17	ISSUED FOR APPROVAL	TC	SR

ROOF PLAN

SCALE 1:100 @ A1



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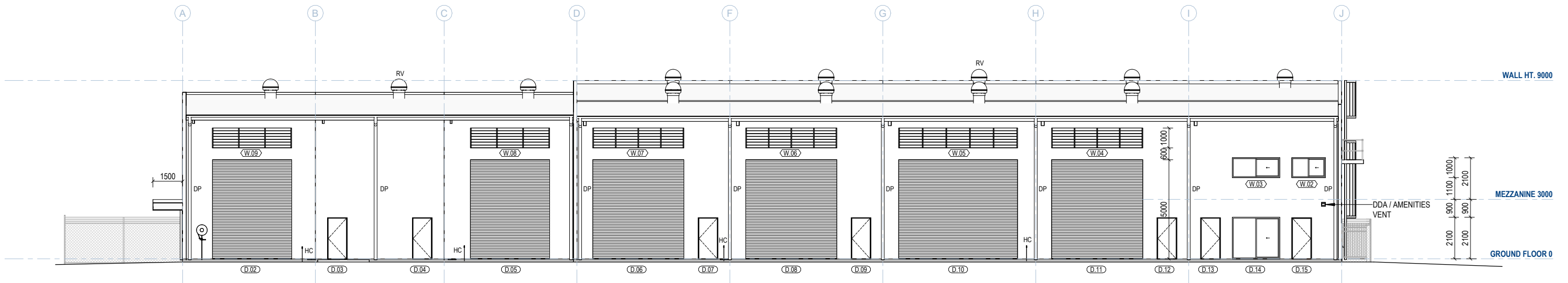
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27 EFFLEY STREET
MAREEBA, QLD 4880**

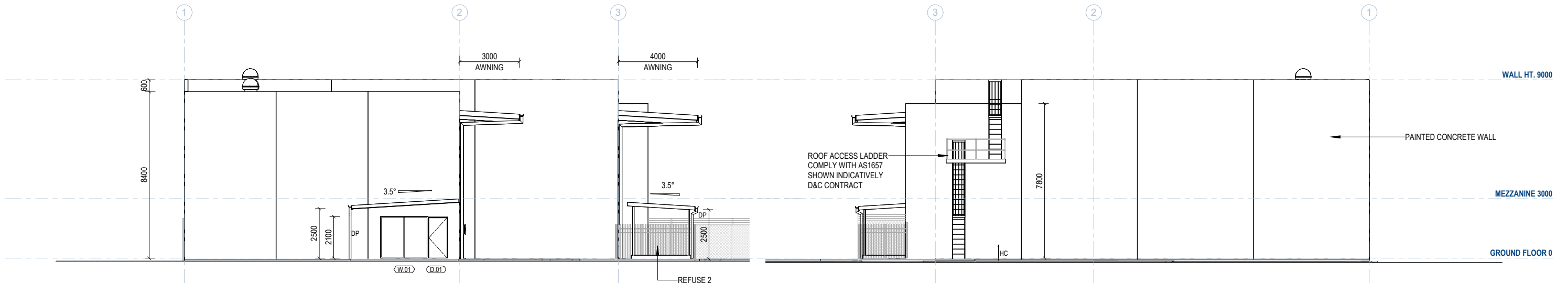
Client Name: **TERRANOVUS CIVIL**

Drawing Title: **ROOF PLAN**

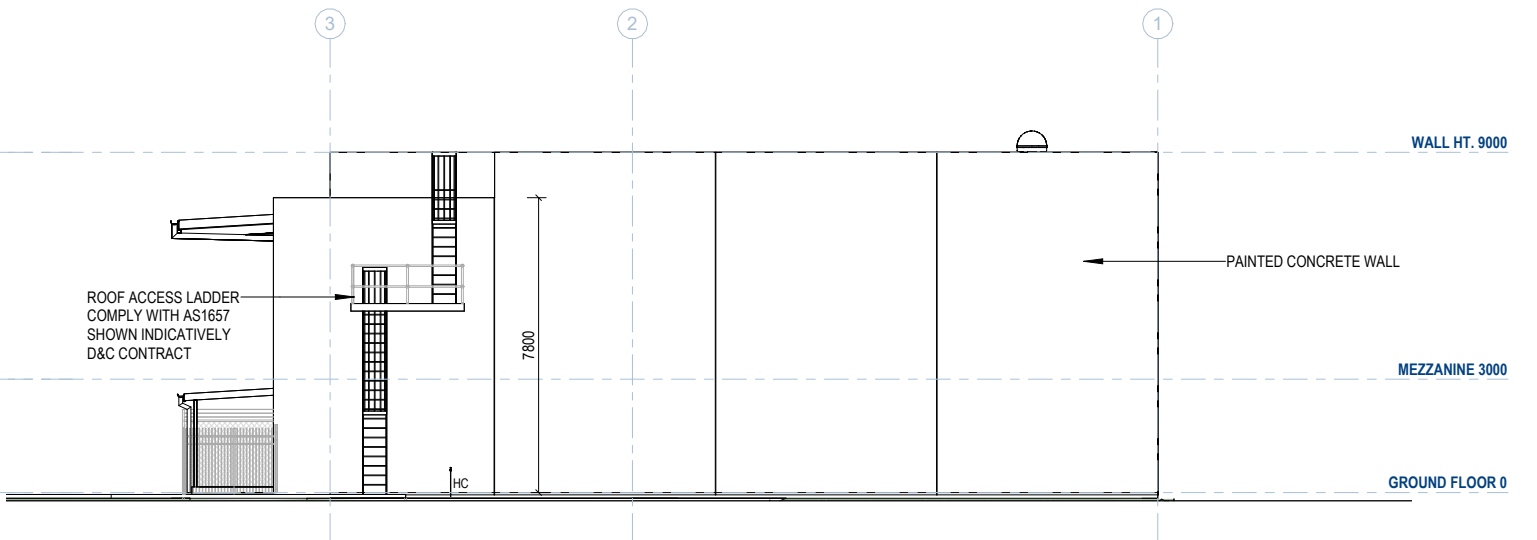
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Checked By:	SR
Scale:	As indicated AT A1
Revision:	D
Sheet No.:	2031-A-140



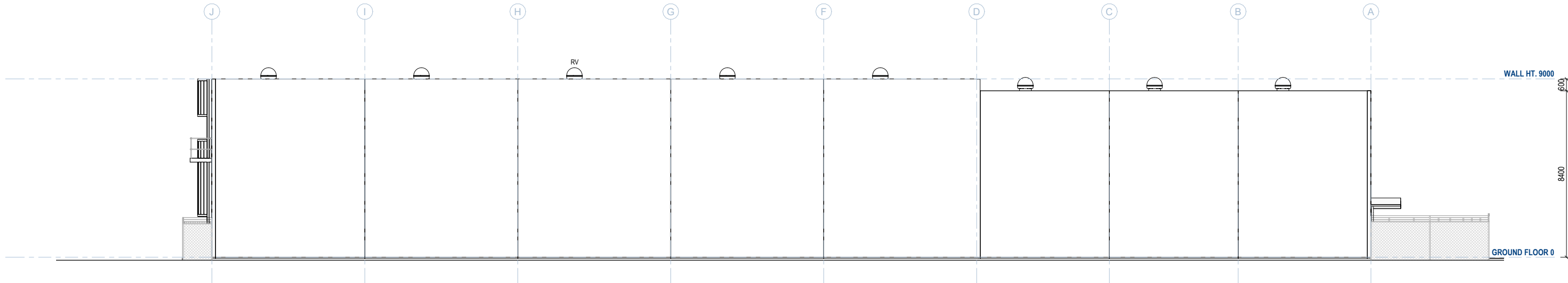
ELEVATION 1



ELEVATION 2



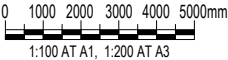
ELEVATION 4



ELEVATION 3

APPROVAL ISSUE

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B	2026.03.26	1500 SETBACK TO SIDE BOUNDARY	TC	SR
C	2026.06.17	ISSUED FOR APPROVAL	TC	SR



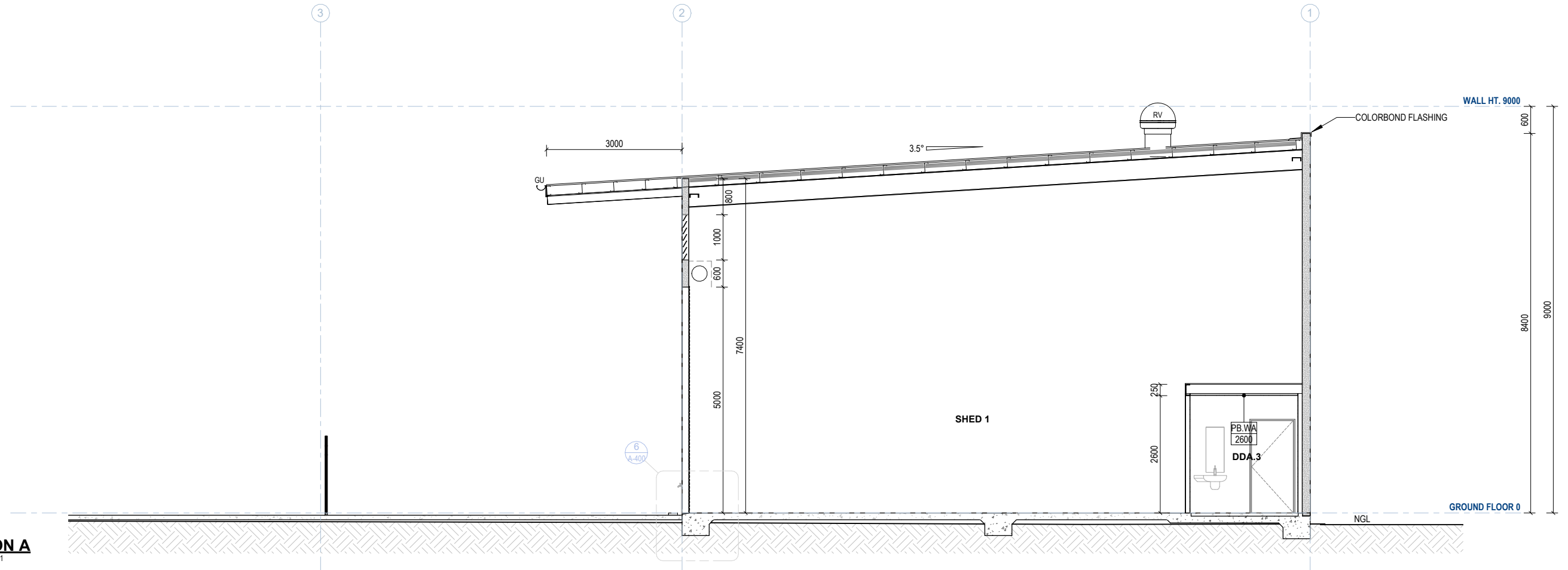
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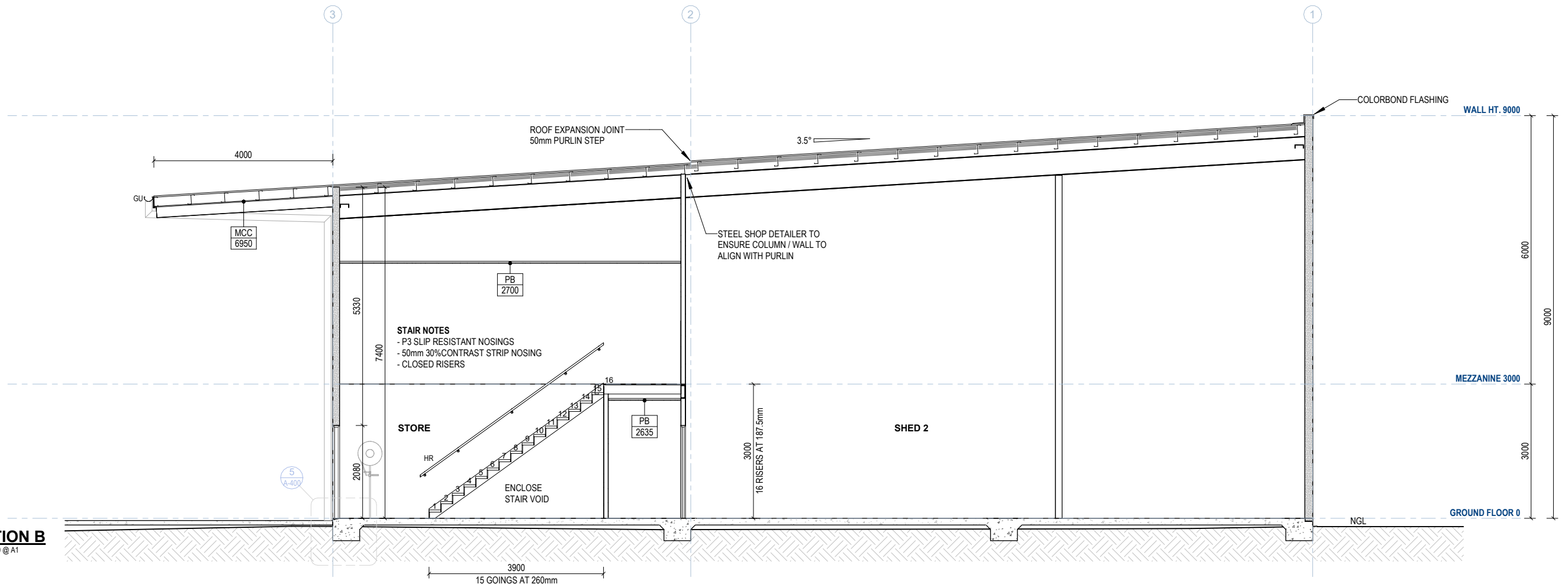
Project: **PROPOSED INDUSTRIAL DEVELOPMENT
27 EFFLEY STREET
MAREEBA, QLD 4880**
Client Name: **TERRANOVUS CIVIL**
Drawing Title: **ELEVATIONS**

Drawn By: TC
Checked By: SR
Scale: 1 : 100 AT A1
Revision: C
Sheet No.: **2031-A-200**

SECTION A
SCALE 1:50 @ A1

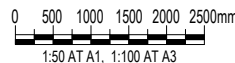


SECTION B
SCALE 1:50 @ A1



APPROVAL ISSUE

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Project: **PROPOSED INDUSTRIAL DEVELOPMENT**
27 EFFLEY STREET
MAREEBA, QLD 4880
Client Name: **TERRANOVUS CIVIL**
Drawing Title: **SECTIONS**

Drawn By: **TC**
Checked By: **SR**
Scale: **1 : 50 AT A1**
Revision: **C**
Sheet No.: **2031-A-300**

DDA SIGNAGE DETAILS

SN.1
UNISEX DDA WC LH SIGN
LOCATE ON WALL ADJACENT DOOR
METLAM - MLS16267_BLK

SN.2
UNISEX DDA WC & SHOWER SIGN RH
LOCATE ON WALL ADJACENT DOOR
METLAM - MLS16298_BLK

BRILLE AND TACTILE SIGNS

ALL BRILLE AND TACTILE SIGNS TO COMPLY WITH NCC - VOLUME 1
SPECIFICATION 15 - BRILLE AND TACTILE SIGNS.

- 30% LUMINANCE CONTRAST BETWEEN CHARACTERS AND SIGN SURFACE, AND TO FACE WHICH THE SIGN IS MOUNTED
- BRILLE AND TACTILE COMPONENTS OF A SIGN MUST BE LOCATED NOT LESS THAN 1200mm AND NOT HIGHER THAN 1600mm ABOVE THE FLOOR
- SIGNS WITH SINGLE LINES OF CHARACTERS MUST HAVE THE LINE OF TACTILE CHARACTERS NOT LESS THAN 1250mm AND NOT HIGHER THAN 1350mm ABOVE THE FLOOR
- ON THE WALL ON THE LATCH SIDE OF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50mm AND 300mm FROM THE ARCHITRAVE AND WHERE NOT POSSIBLE, THE SIGN MAY BE PLACED ON THE DOOR ITSELF

COLOUR CONTRAST NOTES

PROVIDE MINIMUM 30% LUMINANCE CONTRASTING COLOURS
BETWEEN THE FOLLOWING ADJACENT SURFACES

- DOOR LEAF AND DOOR JAMB; OR
- DOOR LEAF AND ADJACENT WALL; OR
- ARCHITRAVE AND WALL; OR
- DOOR LEAF AND ARCHITRAVE; OR
- DOOR JAMB AND ADJACENT WALL; OR

A MINIMUM WIDTH OF THE AREA OF LUMINANCE CONTRAST SHALL
BE 50mm

DOOR SCHEDULE										
No.	LEAF		DESCRIPTION	FRAME	LEAF	HARDWARE		SCREENS	SIGNAGE	COMMENTS
	HEIGHT	WIDTH			LOCKS/OPERATION	CLOSER/STOP	SEALS			
D.01	2040	920	SINGLE SWING EXTERNAL DOOR	POWDERCOATED ALUM.	LOCKWOOD ENABLE LOCKSET, EXTERIOR CYLINDER	DELAYED ACTION CLOSER	WEATHER SEAL	NIL	NIL	
D.02	5000	4000	STEEL ROLLER SHUTTER	N/A	MOTORISED, CHAIN OVERRIDE	N/A	WEATHER SEAL	NIL	NIL	
D.03	2040	920	SINGLE SWING EXTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, EXTERIOR CYLINDER	DELAYED ACTION CLOSER	WEATHER SEAL	NIL	NIL	
D.04	2040	920	SINGLE SWING EXTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, EXTERIOR CYLINDER	DELAYED ACTION CLOSER	WEATHER SEAL	NIL	NIL	
D.05	5000	4000	STEEL ROLLER SHUTTER	N/A	MOTORISED, CHAIN OVERRIDE	N/A	WEATHER SEAL	NIL	NIL	
D.06	5000	4600	STEEL ROLLER SHUTTER	N/A	MOTORISED, CHAIN OVERRIDE	N/A	WEATHER SEAL	NIL	NIL	
D.07	2040	920	SINGLE SWING EXTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, EXTERIOR CYLINDER	DELAYED ACTION CLOSER	WEATHER SEAL	NIL	NIL	
D.08	5000	4600	STEEL ROLLER SHUTTER	N/A	MOTORISED, CHAIN OVERRIDE	N/A	WEATHER SEAL	NIL	NIL	
D.09	2040	920	SINGLE SWING EXTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, EXTERIOR CYLINDER	DELAYED ACTION CLOSER	WEATHER SEAL	NIL	NIL	
D.10	5000	6000	STEEL ROLLER SHUTTER	N/A	MOTORISED, CHAIN OVERRIDE	N/A	WEATHER SEAL	NIL	NIL	
D.11	5000	4600	STEEL ROLLER SHUTTER	N/A	MOTORISED, CHAIN OVERRIDE	N/A	WEATHER SEAL	NIL	NIL	
D.12	2040	920	SINGLE SWING EXTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, EXTERIOR CYLINDER	DELAYED ACTION CLOSER	WEATHER SEAL	NIL	NIL	
D.13	2040	920	SINGLE SWING EXTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, EXTERIOR CYLINDER	DELAYED ACTION CLOSER	WEATHER SEAL	NIL	NIL	
D.14	2100	2400	XO SLIDING GLASS DOOR	POWDERCOATED ALUM.	STANDARD HARDWARE	N/A	WEATHER SEAL	YES	NIL	30% VISUAL INDICATOR
D.15	2040	920	SINGLE SWING EXTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, EXTERIOR CYLINDER	DELAYED ACTION CLOSER	WEATHER SEAL	NIL	SN.1	
D.16	2040	820	SINGLE SWING INTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, PRIVACY CYLINDER	NIL	NIL	NIL	NIL	
D.17	2040	920	SINGLE SWING INTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, EXTERIOR CYLINDER	DOOR CATCH	NIL	NIL	NIL	
D.18	2040	920	SINGLE SWING INTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, PRIVACY CYLINDER	DELAYED ACTION CLOSER	NIL	NIL	SN.1	
D.19	2040	920	SINGLE SWING INTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, PRIVACY CYLINDER	DELAYED ACTION CLOSER	NIL	NIL	SN.2	
D.20	2040	920	SINGLE SWING INTERNAL DOOR	STEEL	LOCKWOOD ENABLE LOCKSET, EXTERIOR CYLINDER	DOOR CATCH	NIL	NIL	NIL	

WINDOW SCHEDULE									
No.	HEIGHT	WIDTH	HEAD HT.	SILL HT.	DESCRIPTION	FRAME	GLAZING	SCREENS	COMMENTS
W.01	2100	2400	2100	0	DOUBLE PANEL FIXED GLASS WINDOW (OO)	POWDERCOATED ALUM.	GREY	NIL	30% VISUAL INDICATOR
W.02	1000	1700	2100	1100	XO SLIDING GLASS WINDOW	POWDERCOATED ALUM.	GREY	YES	
W.03	1000	2400	2100	1100	XO SLIDING GLASS WINDOW	POWDERCOATED ALUM.	GREY	YES	
W.04	1000	4600	6600	5600	POWDERCOATED ALUM. SINGLE STAGE FIXED LOUVERS	POWDERCOATED ALUM.	N/A	NIL	
W.05	1000	6000	6600	5600	POWDERCOATED ALUM. SINGLE STAGE FIXED LOUVERS	POWDERCOATED ALUM.	N/A	NIL	
W.06	1000	4600	6600	5600	POWDERCOATED ALUM. SINGLE STAGE FIXED LOUVERS	POWDERCOATED ALUM.	N/A	NIL	
W.07	1000	4600	6600	5600	POWDERCOATED ALUM. SINGLE STAGE FIXED LOUVERS	POWDERCOATED ALUM.	N/A	NIL	
W.08	1000	4000	6600	5600	POWDERCOATED ALUM. SINGLE STAGE FIXED LOUVERS	POWDERCOATED ALUM.	N/A	NIL	
W.09	1000	4000	6600	5600	POWDERCOATED ALUM. SINGLE STAGE FIXED LOUVERS	POWDERCOATED ALUM.	N/A	NIL	

WINDOW / DOOR NOTES

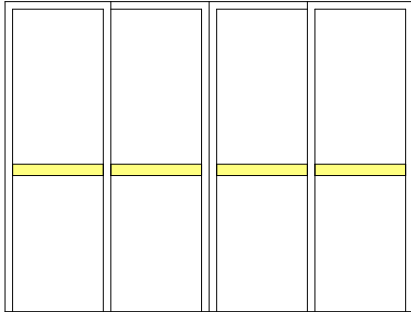
- REFER TO FLOOR PLANS / ELEVATIONS FOR LOCATION AND SWING / OPENING DIRECTION
- CONFIRM ALL SIZES PRIOR TO ORDERING.
- SWING DOOR SIZES INDICATED IN SCHEDULE ARE LEAF SIZES, OPENING SIZES FOR GARAGE AND SLIDING GLASS DOORS
- PROVIDE 3 No. HINGES TO ALL SWING DOORS UP TO 2100 HIGH OR 920 WIDE, 4 No. HINGES UP TO 2700 HIGH OR WIDER THAN 920
- DOOR HANDLE HEIGHTS TO BE 1000 AFFL UNO.
- ROLLER SHUTTERS TO COMPLY WITH AS4505 OR AS1170.1 & 2 AS REQUIRED
- PROVIDE WINDOW SCREENS AT A MINIMUM, SECURITY SCREENS IF REQUESTED BY CLIENT
- PROVIDE ALUM. ANGLE TRIMS AND SEALANT TO PROVIDE NEAT AND WATERPROOF FINISH

DOOR & WINDOW GLAZED ASSEMBLIES:

ALL GLAZING TO COMPLY WITH AS 1288 - GLASS IN BUILDINGS - SELECTION AND INSTALLATION
WINDOW / DOOR ASSEMBLIES TO COMPLY WITH AS 2047 - WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION
MUST BE DESIGNED FOR THE WIND LOADS SPECIFIC TO THE BUILDING;
GLAZING ASSEMBLY TO MEET ENERGY REPORT REQUIREMENTS

DDA HARDWARE NOTE

DOOR SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A BOLT OR CATCH.
WHERE A SNIB CATCH IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM
LENGTH OF 45 MM FROM THE CENTRE OF THE SPINDLE. IN AN EMERGENCY,
THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE.

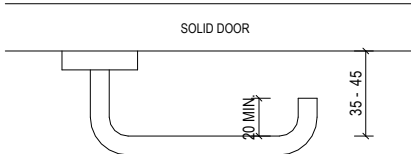


1 30% VISUAL INDICATOR
SCALE 1:25 @ A1

COMPLY WITH AS1428.1 SECTION 3.6

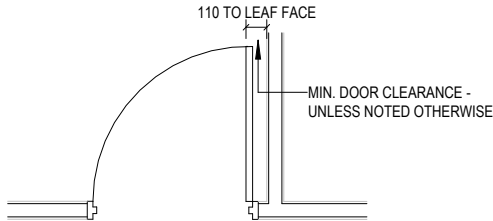
VISUAL INDICATOR ON ALL GLAZING DOORWAYS OR
OPENINGS. INDICATOR TO BE CLEARLY MARKED FOR THEIR
FULL WIDTH WITH A SOLID CONTRASTING LINE. THE
CONTRASTING LINE SHALL BE NOT LESS THAN 75mm WIDE
AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE
GLAZING PANEL. THE LOWER EDGE OF THE CONTRASTING
LINE SHALL BE LOCATED BETWEEN 900 - 1000mm ABOVE
PLANE OF FFL.

ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE
A MIN. 30% LUMINANCE CONTRAST WHEN VIEWED AGAINST
THE FLOOR SURFACE OR SURFACES WITHING 2m OF THE
GLAZING ON THE OPPOSITE SIDE.

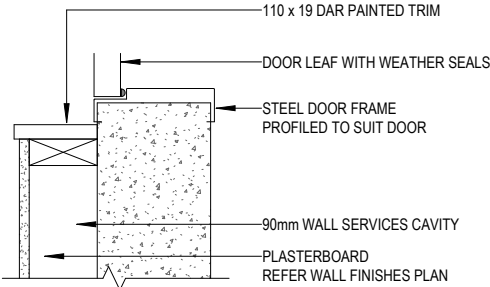


THE DOOR HANDLE AND RELATED HARDWARE SHALL BE OF THE TYPE THAT ALLOWS
THE DOOR TO BE UNLOCKED AND OPENED WITH ONE HAND. THE HANDLE SHALL BE
SUCH THAT THE HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE
HANDLE DURING THE OPERATION OF THE LATCH. DOOR HANDLES OF 'D' LEVER TYPE
PROVIDE AN ADEQUATE GRIP FOR PEOPLE WITH HAND IMPAIRMENTS.

2 ACCEPTABLE 'D' LEVER HANDLE
SCALE 1:2 @ A1



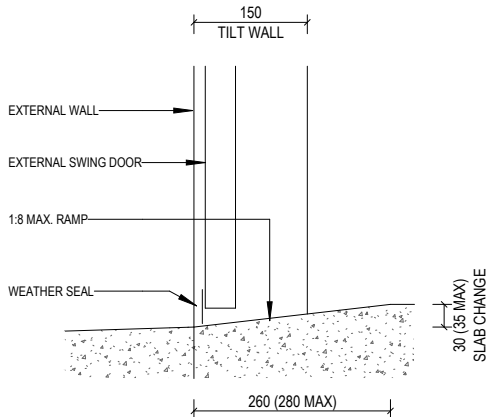
3 HINGE DOOR WALL CLEARANCE
SCALE 1:20 @ A1



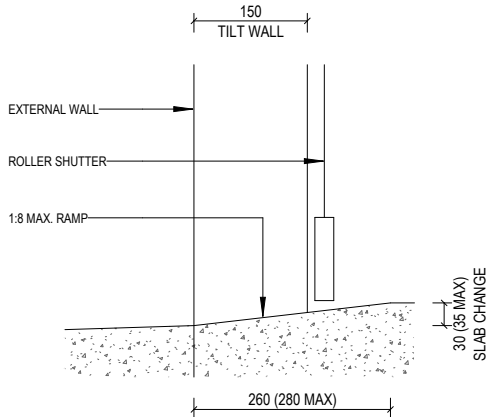
INTERNAL

EXTERNAL

4 DDA.1 DOOR JAMB / HEAD
SCALE 1:5 @ A1



5 SWING DOOR SILL
SCALE 1:5 @ A1



6 ROLLER SHUTTER SILL
SCALE 1:5 @ A1

APPROVAL ISSUE

No.	DATE	REVISION	BY	APP
A	2026.03.25	PRELIMINARY ISSUE	TC	SR
B	2026.06.17	ISSUED FOR APPROVAL	TC	SR

WATERPROOF NOTES
WATERPROOFING TO COMPLY WITH NCC VOL 1 PART F2D2,NCC SPECIFICATION 26 AND AS3740.
WATERPROOFING TO BE 1500mm MINIMUM FROM THE SHOWER ROSE ON THE WALLS AND TO THE ENTIRE FLOOR IN SHOWER AREAS.
TYP. PENETRATIONS LIKE TAPS, SHOWER NOZZLES, ETC. ARE TO BE WATERPROOFED BY SEALING WITH PROPRIETARY FLANGE SYSTEM OR SEALANT.

DDA REQUIREMENTS AND NOTES
COMPLY WITH AS1428.1 - 2021

BASIN AND LEVER MIXER TAP SHALL COMPLY WITH REQUIREMENTS OF AS1428.1
MIRROR MINIMUM WIDTH 450mm, MINIMUM HEIGHT 1000mm

BASIN DEPTH SHALL BE MIN. 440mm
BASIN SHOWN BASED ON CAROMA OPAL 720 WITH INTEGRATED SHELF AND WASTE SHROUD

ENCROACHMENT-FREE KNEE AND TOE CLEARANCE SPACE AS PER AS1428.1. UNDER THE BASIN FOR A MIN. WIDTH OF 850mm, CENTRED ON THE HAND WASH BASIN.

PROVIDE CLOTHES HOOKS WHERE NOMINATED BETWEEN 1200-1350 ABOVE FFL

ALL HORIZ. GRABRAILS TO BE INSTALLED 800-820 FROM TOP OF GRABRAIL TO FINISHED FLOOR LEVEL.
ENSURE 50-60mm CLEARANCE FROM GRABRAIL TO FINISHED FACE OF WALL.

VERTICAL AND HORIZONTAL SUPPORT GRABRAIL SHALL BE PROVIDED TO THE SHOWER, WITH PROVISION OF HEIGHT ADJUSTABLE SHOWER HEAD AND HOSE AS PER AS1428.1.

TOILET SEAT SHALL HAVE A MINIMUM LUMINANCE CONTRAST OF 30% WITH THE PAN

BACKREST SHALL BE PROVIDED

SHOWER SIZE SHALL BE A MIN. 1160 x 1100mm.

SHOWER CURTAIN RAIL AND CURTAIN SHALL BE PROVIDED AROUND THE 1160 x 1100mm SHOWER SPACE.

LEVER STYLE SHOWER TAP SHALL BE PROVIDED AND LOCATED IN A ZONE BETWEEN 900 to 1100mm ABOVE FFL AND BETWEEN 300mm AND 800mm FROM THE INTERNAL CORNER WITH 50mm GAPS TO VERTICAL SHOWER RAIL

SLIP RESISTANCE OF ALL FLOORS TO SANITARY FACILITIES SHALL BE MINIMUM OF P3 OR R10.

POWER / LIGHTING:
GPO & LIGHT SWITCHES WITHIN AN ACCESSIBLE SANITARY FACILITY, TO BE CLIPSAL PRESTIGE 2000 SERIES OR EQUAL (30x30 ROCKER SWITCHES)

DISPENSERS:
SOAP DISPENSERS, TOWEL DISPENSERS, HAND DRYERS AND SIMILAR FITTINGS SHALL BE OPERABLE BY ONE HAND AND SHALL BE INSTALLED WITH THE HEIGHT OF THEIR OPERATIVE COMPONENT OR OUTLET NOT LESS THAN 900mm AND NOT MORE THAN 1100mm ABOVE THE PLANE OF THE FINISHED FLOOR, AND NO CLOSER THAN 500mm FROM AN INTERNAL CORNER PER SECTION 15.4.3 OF AS1428.1

WALL REINFORCEMENT NOTES
EXCEPT FOR WALLS CONSTRUCTED OF CONCRETE, INSTALL MINIMUM OF 12mm THICK PLY BEHIND WALL HANGING SHELVES, GRAB RAILS, WALL FIXTURES

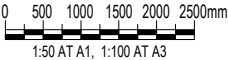
FLOOR WASTE NOTE
THE FLOOR IS REQUIRED TO BE GRADED BETWEEN 1:50 AND 1:80

GENERAL JOINERY NOTES & STANDARDS
-CHECK ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE COMMENCEMENT OF ANY BUILDING WORKS AND/OR COMMENCEMENT OF JOINERY SHOP DRAWINGS
- CONTRACTOR TO REPORT ANY DISCREPANCIES (ON DRAWING OR ON SITE) BEFORE COMMENCING OF ANY BUILDING WORKS AND/OR COMMENCEMENT OF JOINERY SHOP DRAWINGS
- SPECIFIED PROPRIETARY ITEMS DOES NOT IMPLY PREFERENCE FOR THE ITEM INDICATED, BUT IDENTIFIES THE MINIMUM PROPERTIES REQUIRED FOR SUCH ITEMS. ANY SUBSTITUTIONS REQUIRE APPROVAL.
- CONFIRM NOMINATED APPLIANCES MANUFACTURER'S RECOMMENDATIONS, SPECIFICATION, REQUIRED SPATIAL REQUIREMENTS AND INSTALLATION REQUIREMENTS WHERE SPECIFIED AS PART OF JOINERY UNIT AND / OR LOCATED ADJACENT TO - REFER JOINERY DRAWINGS AND FLOOR PLAN
- JOINER TO ENSURE ALL APPLIANCES AND EQUIPMENT FITS IN ALLOCATED SPACINGS, AND TO ADVISE AND ACCOUNT FOR ADJUSTMENTS FOR APPROVED SUBSTITUTIONS
- JOINER TO ENSURE ALL APPLIANCES AND EQUIPMENT THAT REQUIRE POWER, WATER AND/OR WASTE ARE CORRECTLY PROVIDED

ABBREVIATIONS	
CH	CLOTHES HOOK
GR.D	GRAB RAIL - DDA WC
MI	MIRROR
SEAT	PROPRIETARY SEAT
SHR	SHOWER
SHR.D	DDA SHOWER
SK	KITCHEN SINK
VB	VANITY BASIN
VB.D	DDA VANITY BASIN
WC	WATER CLOSET, TOILET SUITE
WC.D	WATER CLOSET DDA

APPROVAL ISSUE

No	DATE	REVISION	BY	APP
A	2026.06.17	ISSUED FOR APPROVAL	TC	SR





DESIGN | MANAGEMENT | CONSULTING

CAIRNS | BRISBANE | TOWNSVILLE

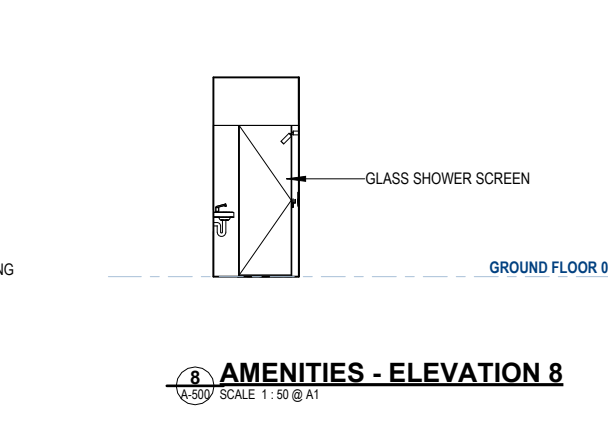
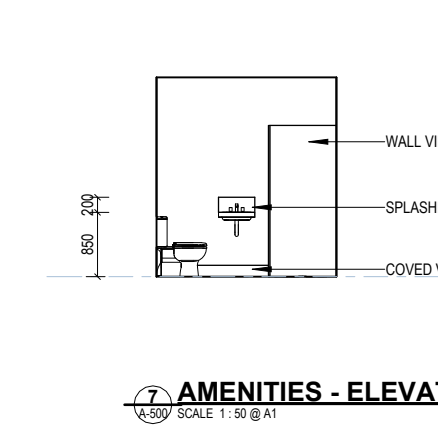
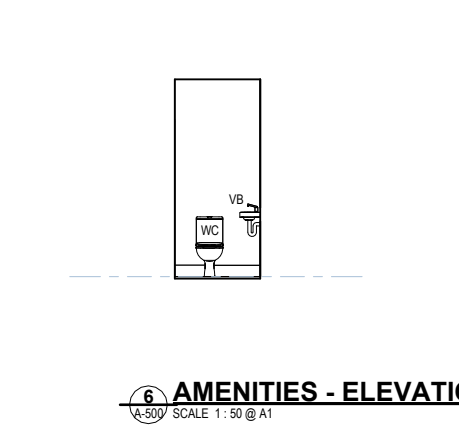
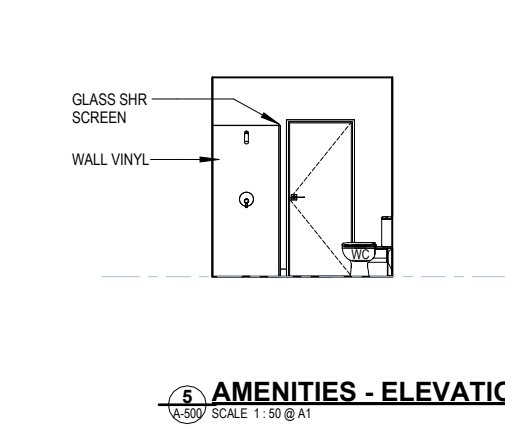
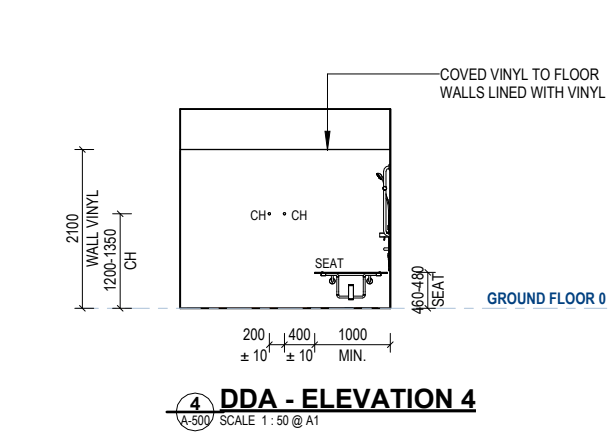
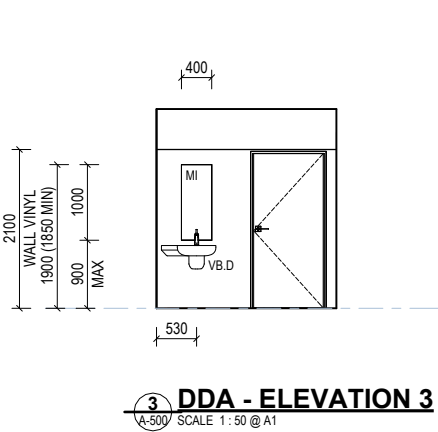
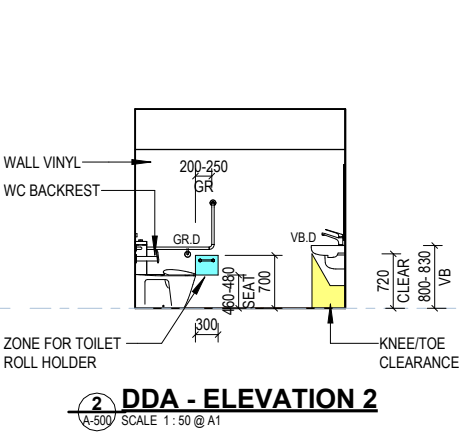
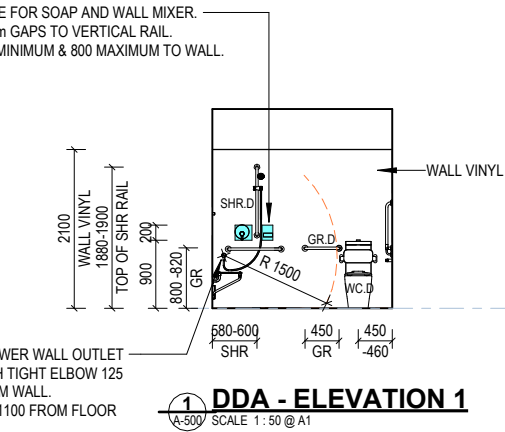
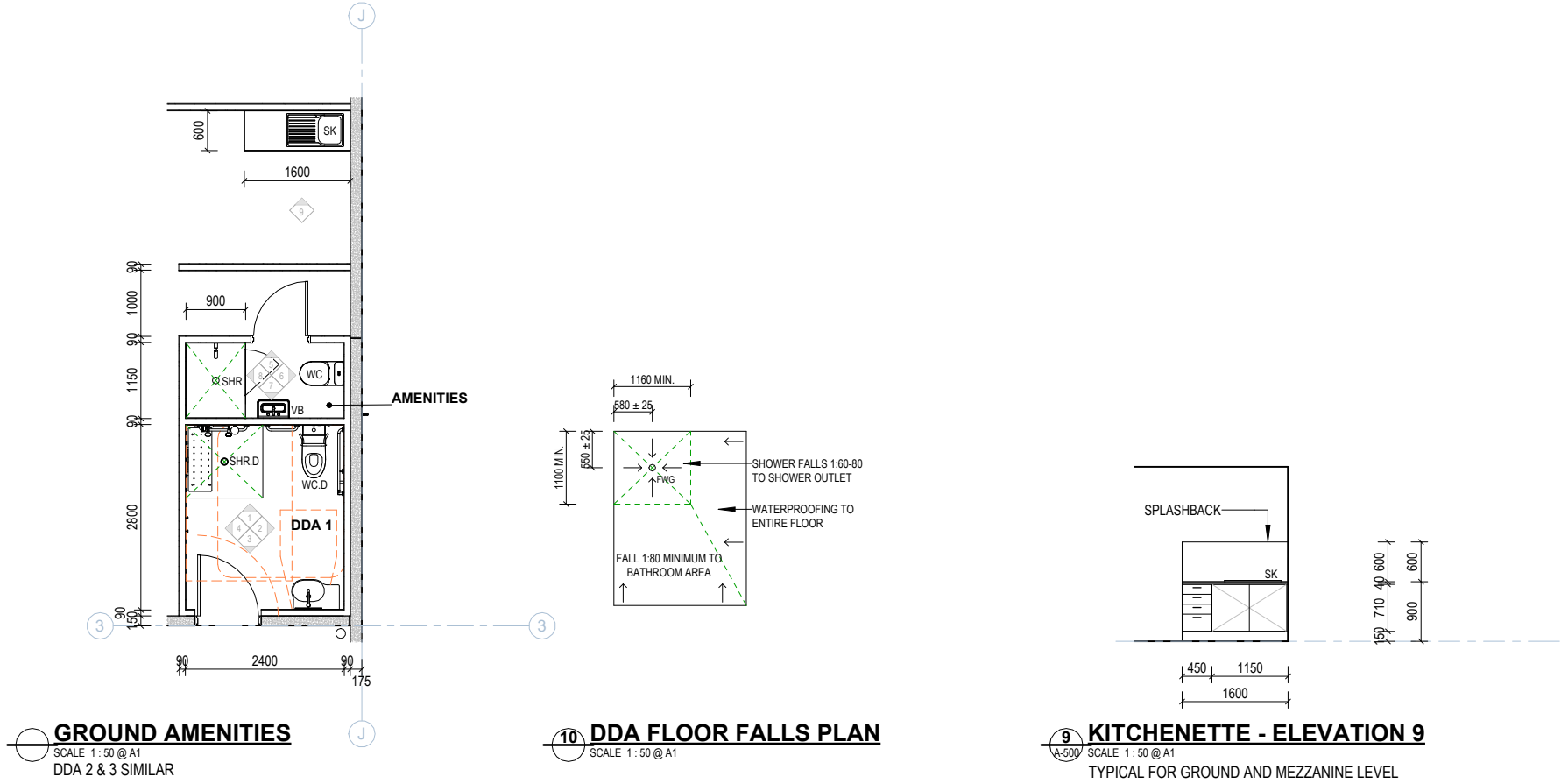
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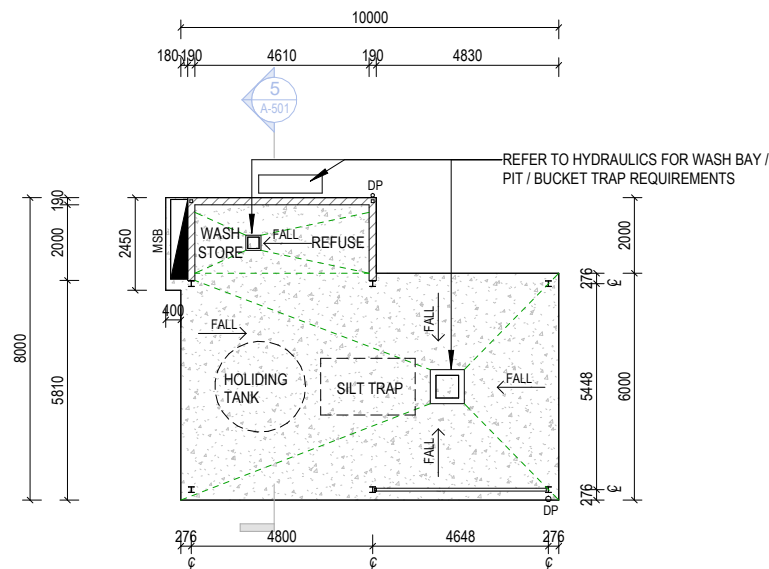
w: www.humacgroup.com.au | e: admin@humacgroup.com.au | q:15180356

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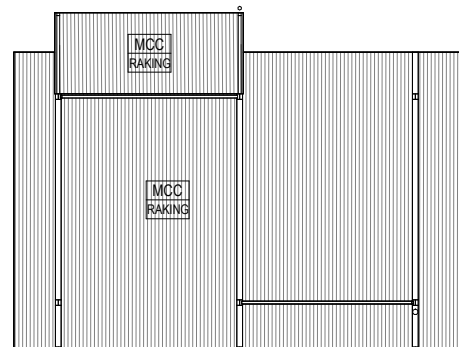
Project:	PROPOSED INDUSTRIAL DEVELOPMENT 27 EFFLEY STREET MAREEBA, QLD 4880
Client Name:	TERRANOVUS CIVIL
Drawing Title:	INTERNAL ELEVATIONS

Drawn By:	TC
Checked By:	SR
Scale:	As indicated AT A1
Revision:	A
Sheet No.:	2031-A-500

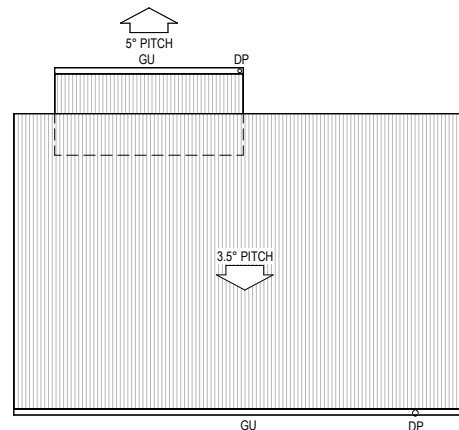




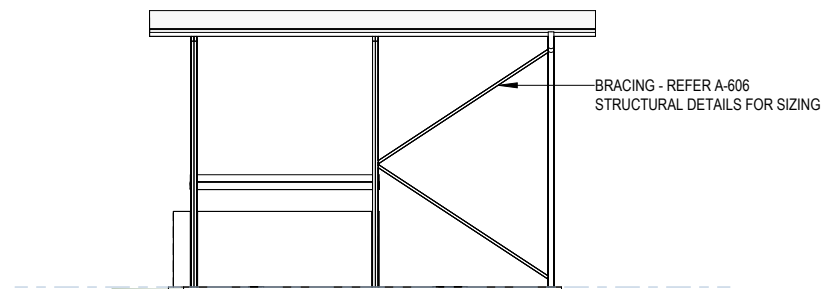
WASH BAY FLOOR PLAN
SCALE 1: 100 @ A1



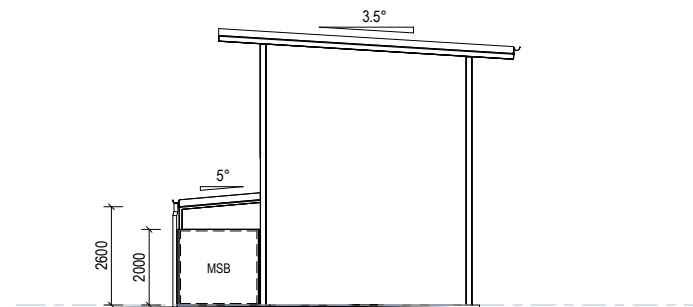
WASH BAY CEILING PLAN
SCALE 1: 100 @ A1



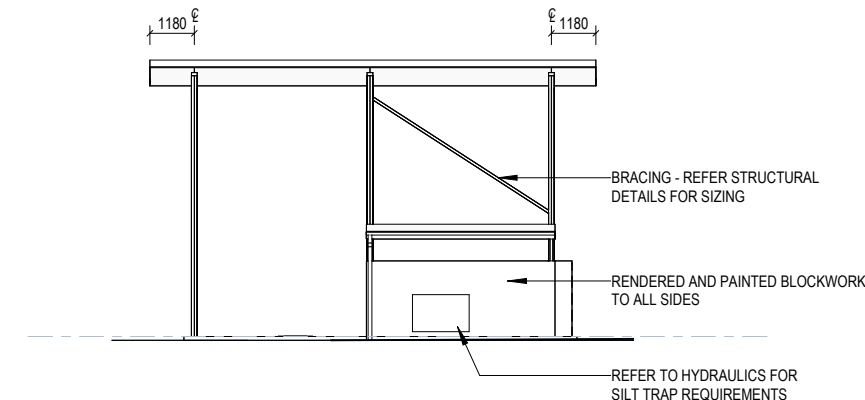
WASH BAY ROOF PLAN
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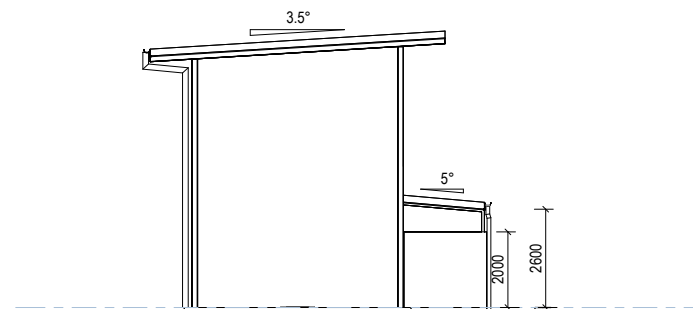
1 WASH BAY - ELEVATION 1
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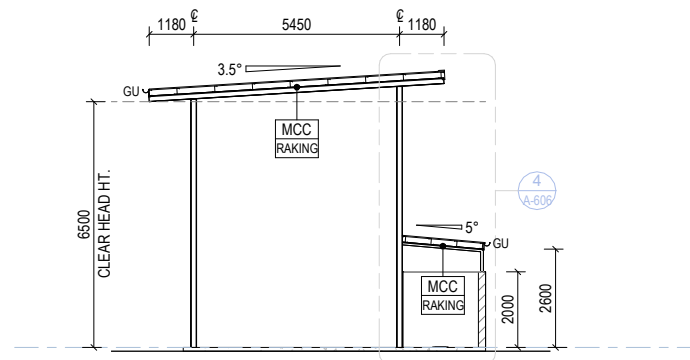
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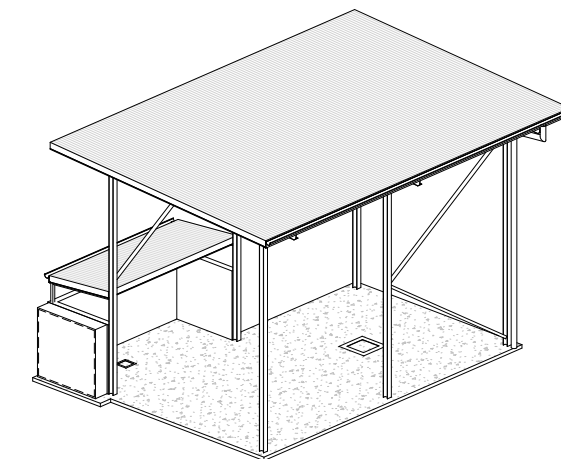
3 WASH BAY - ELEVATION 3
SCALE 1: 100 @ A1



4 WASH BAY - ELEVATION 4
SCALE 1: 100 @ A1



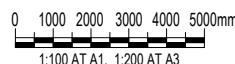
5 WASH BAY SECTION
SCALE 1: 100 @ A1



WASH BAY 3D VIEW
SCALE @ A1

APPROVAL ISSUE

No	DATE	REVISION	BY	APP
A	2026.03.26	1500 SETBACK TO SIDE BOUNDARY	TC	SR
B	2026.06.17	ISSUED FOR APPROVAL	TC	SR



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Project: **PROPOSED INDUSTRIAL DEVELOPMENT**
27 EFFLEY STREET
MAREEBA, QLD 4880
Client Name: **TERRANOVUS CIVIL**
Drawing Title: **WASH BAY DETAILS**

Drawn By: **TC**
Checked By: **SR**
Scale: **1 : 100 AT A1**
Revision: **B**
Sheet No.: **2031-A-501**

Detail and Contour Survey Plan

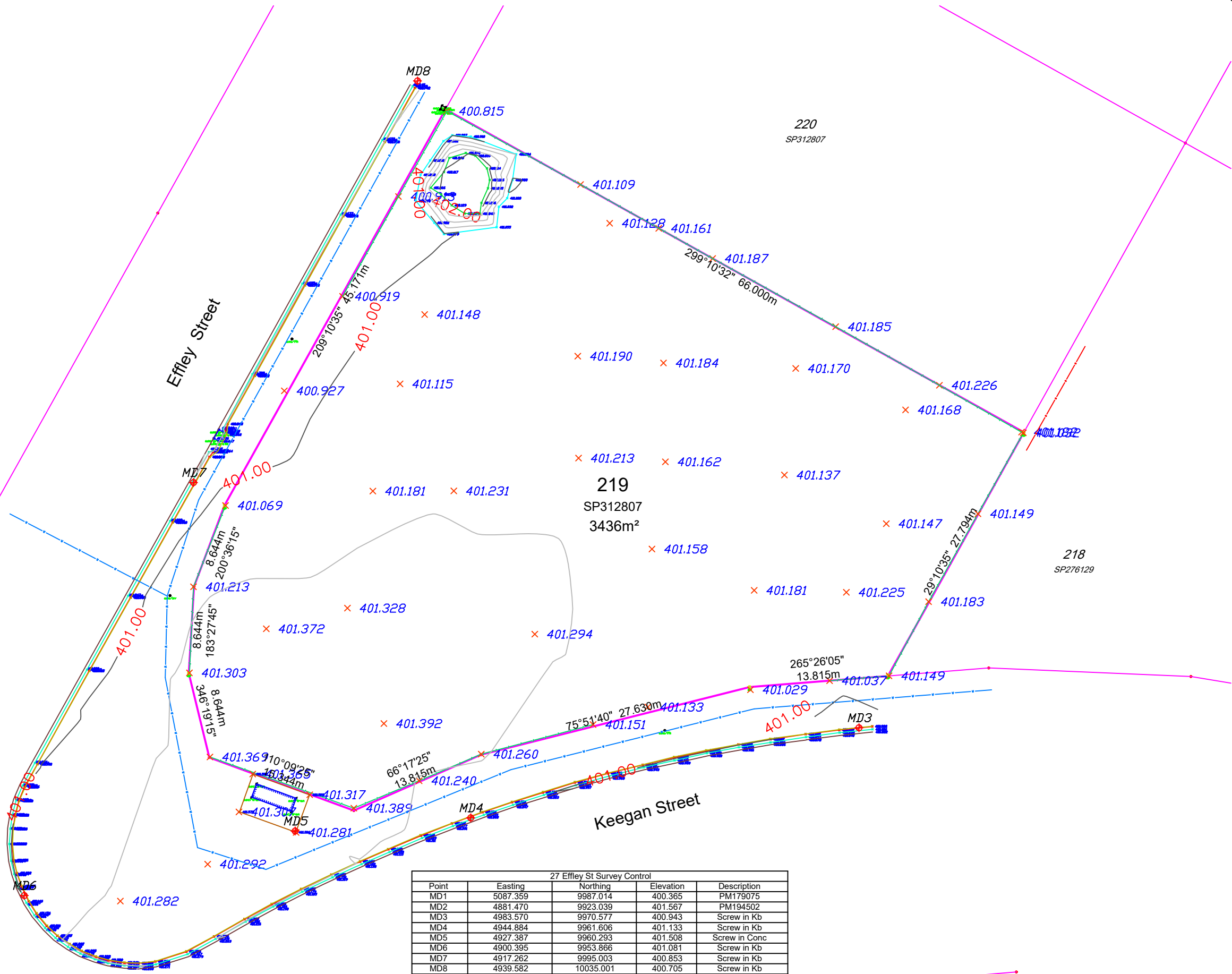
"27 Effley Street, Mareeba"

Legend

- Subject Property Boundary
- Adjoining Property Boundary
- Invert of Kerb
- Top of Kerb
- Back of Kerb
- Fence Line
- Edge of Concrete
- Bottom of Bank
- Top of Bank
- Water by Records
- Sewer By Records
- Minor Contour 0.1m
- Major Contour - 1m

Datums:

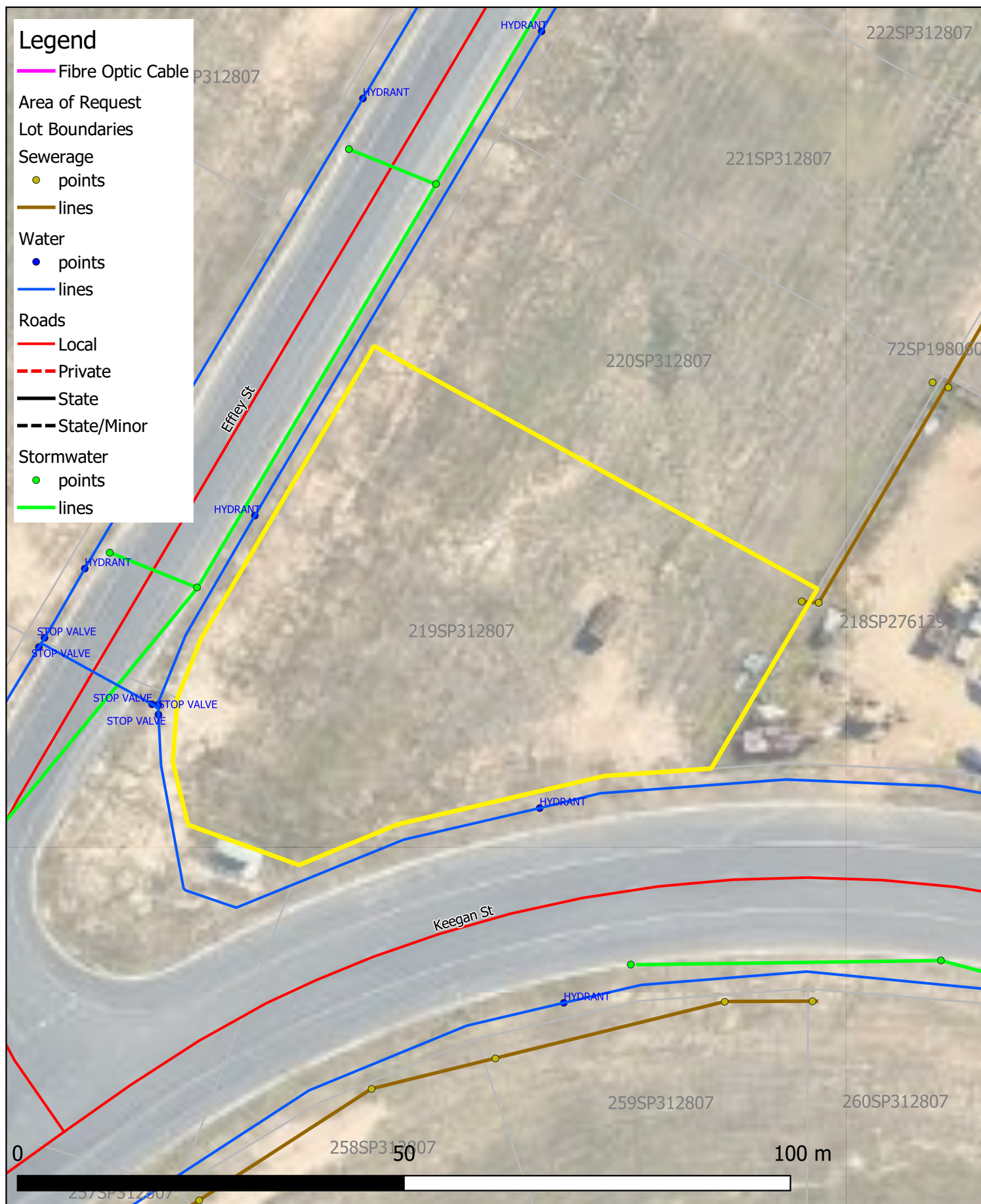
Local Authority: Mareeba S.C.
Contour Interval: 0.1m, 1.0m
Levels are Arbitrary
Coordinates are Arbitrary
Azimuth: MGA vide SP331550



27 Effley St Survey Control				
Point	Easting	Northing	Elevation	Description
MD1	5087.359	9987.014	400.365	PM179075
MD2	4881.470	9923.039	401.567	PM194502
MD3	4983.570	9970.577	400.943	Screw in Kb
MD4	4944.884	9961.606	401.133	Screw in Kb
MD5	4927.387	9960.293	401.508	Screw in Conc
MD6	4900.395	9953.866	401.081	Screw in Kb
MD7	4917.262	9995.003	400.853	Screw in Kb
MD8	4939.582	10035.001	400.705	Screw in Kb



Date: 6 March 2026
Scale: 1:400 @ A3
Drawn: M Dunn
Job No: 2353
Plan No: Detail Survey



DBYD JOB:52692052 SEQ:270140670 - 27 Effley St, Mareeba, QLD, 4880
 USER REF= 2031



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