

19 June 2026

Attention: Carl Ewin
Mareeba Shire Council
PO Box 154
Mareeba QLD 4880

Our reference: 048-2501

RFI Response - Amaroo Estate, Mareeba – Stage 15

We refer to Mareeba Shire Council's Information Request dated 11 June 2026 (reference OPW/26/0003). Responses to Items 1 to 14 of the Information Request are provided below.

INFORMATION REQUEST

General

1. Clarify the number of lots proposed in Stage 15 as part of this operational works application. DA Form 1 indicates inconsistency in the number of lots proposed. Item 6.1(d) indicates 19 lots. Item 14.2 indicates 14 lots, and the engineering drawings show 20 lots.

Update and re-submit DA Form 1 with the number of lots proposed in Stage 15. Also update DA Form 1 to reference the correct Lot on Plan, that now being Lot 500 on SP352770

An amended DA Form 1 is attached to this letter.

Roads

2. Karobean Drive is incorrectly labelled as "Wandarra Avenue" on the drawings, please amend.

Karobean Drive is amended on the updated drawings attached.

3. Review the verge widths for Karobean Drive (Wandara Avenue) shown on Neon Drawing 201. The northern verge appears to scale as 4m width and the southern verge scales as 6m. Clarify the apparent deviation from the Table of Widths nominated on Neon Drawing 301.

The table of widths has been amended to show 4m and 6m verges, which matches the proposed and existing treatment of the Karobean Drive road reserve.

Earthworks

4. Confirm the extent of cut and fill proposed as part of this Operational Works Application. Neon Drawing 201 appears to indicate earthworks are proposed within Stage 14A, adjacent to Stage 15.

If works are proposed within Stage 14A, the full extent of works must be documented on the engineering drawings.

Earthworks associated with stage 14A are already approved by Council. This submission seeks approval for earthworks associated with stage 15.

5. Update Neon Drawing 201 to show the High Bank for the adjacent Cobra Creek.

The surveyed top of bank along Cobra Creek has been highlighted on the amended drawing.

6. Clarify the gradient of the 4m fill batter proposed within Lot 268. This appears to be approximately 1v in 1.67h.

If the batter is steeper than 1v in 2h, provide geotechnical certification by a suitably experienced RPEQ confirming the stability of the batter.

Note: All batters steeper than 1 in 2 and higher than 1.5m shall require certification as to stability by a Geotechnical Engineer in accordance with the FNQROC Development Manual.

The batter has been amended to a proposed slope of 1 in 2.

Stormwater

7. Advise why a 20mm step is nominated through stormwater pipes noting 50mm is the minimum required per the FNQROC Development Manual Standard Drawing S1050.

The 50mm fall noted on FNQROC standard drawings relates to internal benching, ie. fall from corners of pits to the invert lines for self-cleansing.

8. Update the civil engineering drawings to nominate all stormwater pipes as being reinforced concrete pipes. Council will not accept the use of polypropylene piping.

RCPs are shown on the updated drawings attached.

Sewer

9. Confirm why the minimum vertical clearance of 300mm is not able to be achieved to the 450mm diameter stormwater pipe between sewer manholes 3/F1 and 4/F1.

300mm of clearance is shown on revised drawings.

10. Provide advice addressing why the sewer main is located above stormwater between sewer manholes 3/F1 and 4/F1 which is not consistent with the requirements of the Water Services Association of Australia (WSAA).

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The sewer main is above the stormwater based on downstream sewer invert levels. It is not considered a high risk of cross-contamination in the case of a sewer breakage in this location, given that minimal (2) allotments are contributing.

Water

11. Confirm the number of lots proposed to be serviced by the existing and proposed 63mm OD water main on the southern side of Karobean Drive (Wandara Avenue) noting 15 lots is the maximum permitted by the FNQROC Development Manual for a watermain of this size.

Eight (8) allotments ultimately connect to the 63 dia water main.

12. Update Neon Drawing 601 to show a valve on ail legs of the 150-100 tee in the northern verge of Karobean Drive (Wandara Avenue) per the FNQROC Development Manual D6.13.

Valves are shown on the updated drawings attached.

13. Neon Drawing 601 is requested to be updated to include a hydrant adjacent the battle axe lot (Lot 258), and any additional hydrants required on Karobean Drive (Wandara Avenue) to achieve the maximum spacing per the FNQROC Development Manual D6, Appendix A, Section 8.8.8

Hydrant is shown on the updated drawings attached.

14. Nominate the location for the 150mm diameter water main bends on Neon Drawing 601.

Bends are shown on the updated drawings attached.

Should you require any additional information, please do not hesitate to me on 0402 568 698 or the email address below.

Yours sincerely



Craig Caplick

Principal Engineer | RPEng | RPEQ

Craig@ConsultNeon.com.au | 0402 568 698

Updated DA Form 1



DA Form 1 – Development application details

Approved form (version 1.4 effective 15 December 2023) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	BTM & S Stankovich
Contact name (only applicable for companies)	
Postal address (P.O. Box or street address)	c-/ Neon Consulting – 11 Rosemont Court
Suburb	Mooroolbool
State	Queensland
Postcode	4870
Country	Australia
Contact number	0402 568 698
Email address (non-mandatory)	Craig@ConsultNeon.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	048-2501

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
☐ Yes – the written consent of the owner(s) is attached to this development application	
☒ No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			Emerald End Road	Mareeba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4880	500	SP352770	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		☐ WGS84 ☐ GDA94 ☐ Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		☐ 54 ☐ 55 ☐ 56	☐ WGS84 ☐ GDA94 ☐ Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	
☐ On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
☐ In a tidal area	
Name of local government for the tidal area (if applicable):	
Name of port authority for tidal area (if applicable):	
☐ On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>	

Name of airport:	
☐ Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
☐ Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☒ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Stage 15 – 20 lot subdivision

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	☐ Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	☐ Yes – complete division 2
Operational work	☒ Yes – complete division 3
Building work	☐ Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)

8.2) Does the proposed use involve the use of existing buildings on the premises?

☐ Yes

☐ No

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

☐ Subdivision (complete 10))	☐ Dividing land into parts by agreement (complete 11))
☐ Boundary realignment (complete 12))	☐ Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

☐ Yes – provide additional details below

☐ No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:

Number of parts created			

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

☒ Road work	☒ Stormwater	☒ Water infrastructure
☒ Drainage work	☒ Earthworks	☒ Sewage infrastructure
☐ Landscaping	☒ Signage	☒ Clearing vegetation
☐ Other – please specify: _____		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

☒ Yes – specify number of new lots: **20**

☐ No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$600,000

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

☐ Yes – a copy of the decision notice is attached to this development application

☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached

☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the local government:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- ☐ Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to: • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual ☐ Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council : ☐ Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the <i>Transport Infrastructure Act 1994</i> : ☐ Ports – Brisbane core port land (<i>where inconsistent with the Brisbane port LUP for transport reasons</i>) ☐ Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator: ☐ Ports – Land within Port of Brisbane's port limits (<i>below high-water mark</i>)
Matters requiring referral to the Chief Executive of the relevant port authority : ☐ Ports – Land within limits of another port (<i>below high-water mark</i>)
Matters requiring referral to the Gold Coast Waterways Authority : ☐ Tidal works or work in a coastal management district (<i>in Gold Coast waters</i>)
Matters requiring referral to the Queensland Fire and Emergency Service : ☐ Tidal works or work in a coastal management district (<i>involving a marina (more than six vessel berths)</i>)

18) Has any referral agency provided a referral response for this development application?		
☐ Yes – referral response(s) received and listed below are attached to this development application ☒ No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
☒ I agree to receive an information request if determined necessary for this development application ☐ I do not agree to accept an information request for this development application Note: By not agreeing to accept an information request I, the applicant, acknowledge: • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. Further advice about information requests is contained in the DA Forms Guide .

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
☐ Yes – provide details below or include details in a schedule to this development application ☒ No			
List of approval/development application references	Reference number	Date	Assessment manager

☒ Approval ☐ Development application	RAL/22/0019	25 January 2023	Mareeba Shire Council
☐ Approval ☐ Development application			

21) Has the portable long service leave levy been paid? *(only applicable to development applications involving building work or operational work)*

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
- ☒ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a hazardous chemical facility?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve clearing native vegetation that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000?**

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
- ☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
- ☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- ☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- ☒ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- ☐ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	☒ Yes
If building work is associated with the proposed development, Parts 4 to 6 of DA Form 2 – Building work details have been completed and attached to this development application	☐ Yes ☒ Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.</i>	☒ Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	☒ Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)	☒ Yes ☐ Not applicable

25) Applicant declaration	
☒ By making this development application, I declare that all information in this development application is true and correct ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, Planning Regulation 2017 and the DA Rules except where: • such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or • required by other legislation (including the <i>Right to Information Act 2009</i>); or • otherwise required by law. This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.	

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

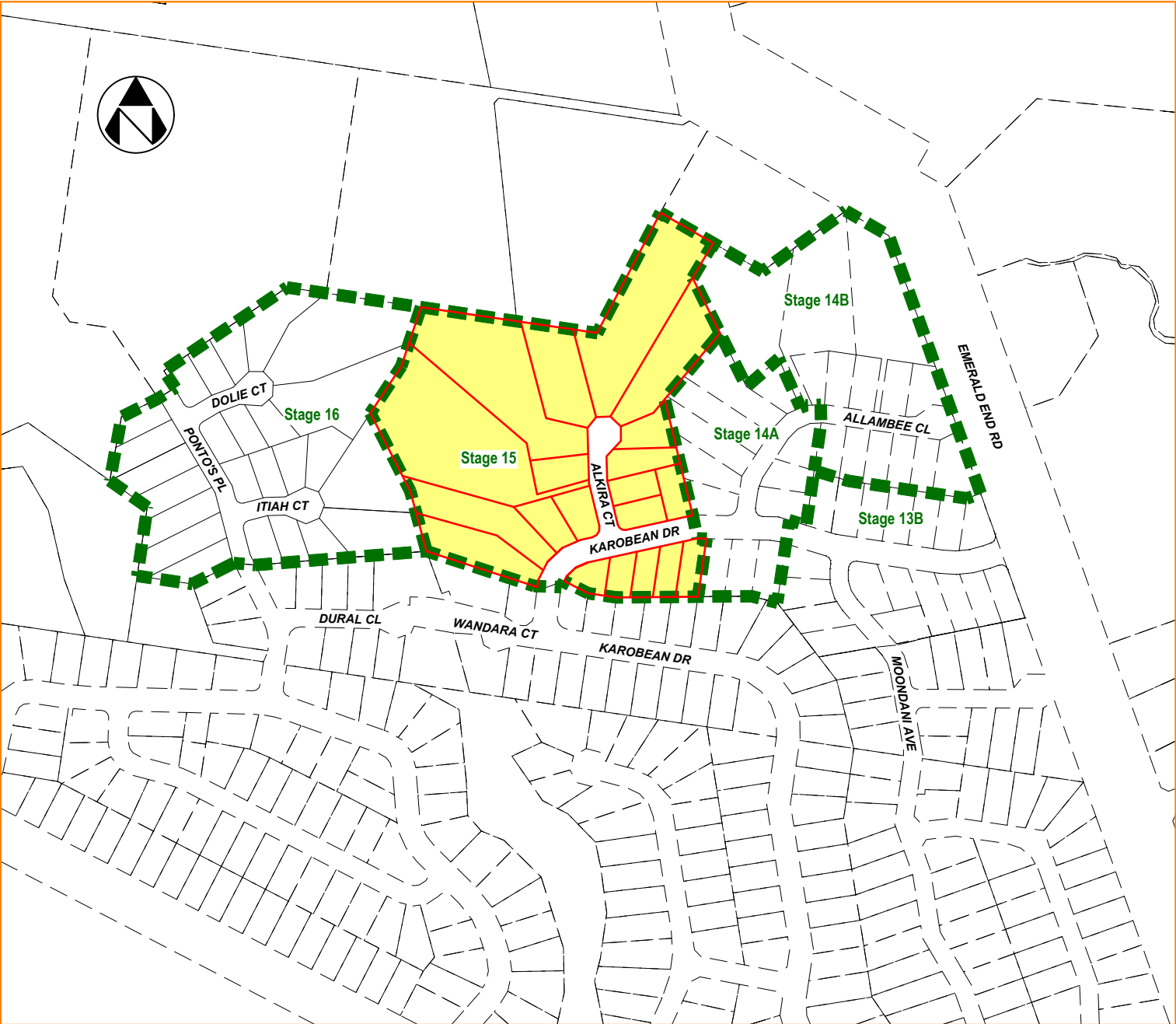
QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Updated Drawings



AMAROO ESTATE SUBDIVISION, MAREEBA

STAGE 15



LOCALITY PLAN
N.T.S.

DRAWING INDEX

DRAWING No.	DRAWING TITLE
048-2501-15-DRG-0101	LOCALITY PLAN
048-2501-15-DRG-0102	PROJECT NOTES
048-2501-15-DRG-0103	GENERAL ARRANGEMENT
048-2501-15-DRG-0201	EARTHWORKS PLAN
048-2501-15-DRG-0301	TYPICAL SECTIONS AND DETAILS, SHEET 1 OF 2
048-2501-15-DRG-0302	TYPICAL SECTIONS AND DETAILS, SHEET 2 OF 2
048-2501-15-DRG-0303	INTERSECTION DETAILS
048-2501-15-DRG-0401	STORMWATER DRAINAGE PLAN
048-2501-15-DRG-0402	STORMWATER DRAINAGE LONGITUDINAL SECTIONS
048-2501-15-DRG-0501	SEWERAGE PLAN
048-2501-15-DRG-0502	SEWERAGE LONGITUDINAL SECTIONS
048-2501-15-DRG-0601	WATER RETICULATION
048-2501-15-DRG-0701	SITE BASED STORMWATER MANAGEMENT PLAN, PHASE 1: TOPSOIL STRIPPING
048-2501-15-DRG-0702	SITE BASED STORMWATER MANAGEMENT PLAN, PHASE 2: EARTHWORKS
048-2501-15-DRG-0703	SITE BASED STORMWATER MANAGEMENT PLAN, PHASE 3: ROADWORKS
048-2501-15-DRG-0801	MASTER SERVICES PLAN
048-2501-15-DRG-0901	ROAD LONGITUDINAL SECTIONS, KAROBEAN DRIVE
048-2501-15-DRG-0902	ROAD LONGITUDINAL SECTIONS, ALKIRA COURT
048-2501-15-DRG-0903	ROAD CROSS SECTIONS, KAROBEAN DRIVE
048-2501-15-DRG-0904	ROAD CROSS SECTIONS, ALKIRA COURT

FNQROC STANDARD DRAWINGS

DRAWING No.	DRAWING TITLE
S1000 - S1110	ROADWORKS AND DRAINAGE
S2000 - S2025	WATER
S3000 - S3015	SEWERAGE

MAREEBA SHIRE COUNCIL STANDARD DRAWINGS

DRAWING No.	DRAWING TITLE
S2000	VALVE BOX INSTALLATION
S2005	HYDRANT BOX INSTALLATION
S2015	THRUST BLOCK DETAILS
S2020	MAIN CONNECTION DETAILS
S2060	DOMESTIC WATER SERVICE CONNECTION DETAILS

INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALIA STANDARD DRAWINGS

DRAWING No.	DRAWING TITLE
D-0040	SEDIMENT CONTROL DEVICES - SEDIMENT FENCE, ENTRY/EXIT SEDIMENT TRAP
D-0041	SEDIMENT CONTROL DEVICES - KERB AND FIELD INLETS, CHECK DAMS & STRAW BALE BANKS

GENERAL ARRANGEMENT

GENERAL

- G1. ALL WORKS ARE TO BE IN ACCORDANCE WITH THE FNQROC DEVELOPMENT MANUAL SPECIFICATIONS S1 TO S8.
- G2. CONTRACTOR TO PROVIDE PUBLIC NOTIFICATION/SIGNS (REFER FNQROC DEVELOPMENT MANUAL CP1.11).
- G3. CLEARED VEGETATION SHALL BE MULCHED ON SITE BY THE CONTRACTOR.
- G4. FOR CONCRETE PATHWAY DETAILS REFER FNQROC STD DRG S1035.
- G5. FOR CONCRETE DRIVEWAY DETAILS REFER FNQROC STD DRG S1110.

EXISTING SERVICES

- ES1. EXISTING SERVICES ARE PLOTTED FROM THE BEST INFORMATION AVAILABLE. NO RESPONSIBILITY IS TAKEN BY THE PRINCIPAL OR SUPERINTENDENT FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION SHOWN.
- ES2. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR IS TO ESTABLISH ON SITE THE EXACT POSITION OF ALL UNDERGROUND SERVICES IN THE PROPOSED WORKS AREA. METHODS FOR ACHIEVING THIS WILL INCLUDE BUT NOT BE LIMITED TO:-
- CAREFUL EXAMINATION OF THE CONTRACT DRAWINGS.
 - CONSULTATION WITH THE RELEVANT SERVICE AUTHORITIES.
 - COMPREHENSIVELY SCANNING THE AFFECTED AREAS WITH A CABLE DETECTOR AND MARKING ON THE GROUND THE POSITION OF ALL SERVICES.
 - HAND EXCAVATING TO EXPOSE ALL SUCH SERVICES WHICH MAY BE AFFECTED BY THE PROPOSED WORKS UNDER THE DIRECTION OF THE RELEVANT SERVICE AUTHORITY.
- ES3. THE CONTRACTOR IS TO BRING TO THE SUPERINTENDENT'S ATTENTION ANY DISCREPANCIES BETWEEN THE EXISTING SERVICES THUS IDENTIFIED AND DOCUMENTED SERVICES WHICH MIGHT AFFECT THE PROPOSED WORKS. APPROPRIATE MEASURES TO RESOLVE ANY CONFLICTS WILL BE DOCUMENTED BY THE SUPERINTENDENT.

VEGETATION & CLEARING

- VC1. PRIOR TO THE REMOVAL OF ANY TREE. AN INSPECTION MUST BE CARRIED OUT OF ANY SIGNS OF PROTECTED WILDLIFE INCLUDING NESTS AND ANIMAL HABITATS. SHOULD ANY RECENT WILDLIFE ACTIVITY BE IDENTIFIED, REMOVAL OF THE TREE MUST NOT OCCUR UNTIL THE ANIMAL HAS VACATED THE AREA OF IMMEDIATE DANGER. IF THE ANIMAL DOES NOT MOVE FROM THE AREA OF DANGER, THE QUEENSLAND PARKS AND WILDLIFE MUST BE CONTACTED FOR ADVICE.
- VC2. COUNCIL MUST BE NOTIFIED TWO DAYS PRIOR TO THE PROPOSED DATE OF COMMENCEMENT OF ANY APPROVED VEGETATION CLEARING TO FACILITATE COMMUNITY AWARENESS OF SUCH WORKS.
- VC3. VEGETATION TO BE RETAINED MUST BE ADEQUATELY DEFINED BY FENCING, FLAGGING OR BARRIER MESH FOR PROTECTION PURPOSES PRIOR TO CONSTRUCTION COMMENCING ON SITE.

- VC4. A MINIMUM 2m WIDE BUFFER SHALL BE PROVIDED AROUND THE VEGETATION TO BE RETAINED. THIS BUFFER MUST CONSIST OF SUITABLE FENCING, FLAGGING OR BARRIER MESH TO ENSURE THAT MACHINERY, EQUIPMENT OR CONSTRUCTION MATERIALS ARE NOT STORED OR USED WITHIN THIS AREA. THIS BUFFER IS TO BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF ANY WORKS ON SITE AND MUST BE MAINTAINED AT ALL TIMES FOR THE DURATION OF CONSTRUCTION.

- VC5. CLEARED VEGETATION TO BE MULCHED AND SPREAD OVER THE CLEARED AREA FOR EROSION AND SEDIMENT CONTROL OR LANDSCAPING PURPOSES.

EARTHWORKS

- E1. ALL BATTERS TO ROAD FRONTAGES OF LOTS ARE 1 ON 4 OR FLATTER. ALL OTHER BATTERS ARE 1 ON 1 U.N.O.
- E2. UPON COMPLETION ALL BATTERS STEEPER THAN 1 IN 2 AND HIGHER THAN 1.5m SHALL REQUIRE CERTIFICATION BY A GEOTECHNICAL ENGINEER.
- E3. BATTERS TO BE ADJUSTED LOCALLY AROUND SEWER MANHOLES. REFER DRG-0302 FOR DETAILS.

INTERSECTION DETAILS

- I1. ALL KERB SETOUT DETAILS REFER TO THE LIP OF KERB AND CHANNEL OR FACE OF KERB.

STORMWATER DRAINAGE

- D1. FOR STANDARD STORMWATER DRAINAGE DETAILS REFER FNQROC STD. DRGS. S1045-S1100 INCLUSIVE.
- D2. SUBSURFACE DRAINS TO BE CONSTRUCTED IN ACCORDANCE WITH STANDARD SPECIFICATION, FLUSHING POINTS IN ACCORDANCE WITH FNQROC STD DRG S1095.
- D3. PRIOR TO COMMENCEMENT OF PIPEWORK, THE CONTRACTOR IS TO CONFIRM THE INVERT LEVEL OF DOWNSTREAM DRAINAGE TO ENSURE THE STORMWATER SYSTEM CAN DRAIN SATISFACTORILY. REFER ANY DISCREPANCY TO THE SUPERINTENDENT.
- D4. CCTV INSPECTIONS ARE TO BE CONDUCTED FOR ALL NEW STORMWATER PIPES FOR COUNCIL ASSESSMENT.
- D5. ALL STORMWATER PIPES SHALL BE EITHER REINFORCED CONCRETE PIPE (RCP). RCP PIPES SHALL BE CLASS 2 FJ UNLESS NOTED OTHERWISE.

SEWERAGE

- S1. ALL SEWER PIPES SHALL BE 150Ø uPVC CLASS 'S.N.8.' (U.N.O.).
- S2. FOR STANDARD DETAILS OF SEWER MAINS, ETC. REFER FNQROC STD. DRGS. S3000 TO S3015 INCLUSIVE.
- S3. ALL WORKS ARE TO BE IN ACCORDANCE WITH FNQROC DEVELOPMENT MANUAL SPECIFICATION S6.
- S4. CONNECTIONS TO EXISTING COUNCIL MAINS TO BE MADE BY COUNCIL.
- S5. CCTV INSPECTIONS ARE TO BE CONDUCTED FOR ALL NEW SEWERS FOR COUNCIL ASSESSMENT.
- S6. MANHOLES ADJACENT ROAD BOUNDARIES SHALL BE ON A 1.5m ALIGNMENT U.N.O. MANHOLES ADJACENT SIDE AND REAR BOUNDARIES SHALL BE ON A 0.8m ALIGNMENT U.N.O.
- S7. SEWER MANHOLES SHALL BE FINISHED 50mm MAX ABOVE FINISHED SURFACE LEVEL IN ALLOTMENTS AND FLUSH IN ROAD RESERVES.
- S8. HOUSE DRAINS ARE TO EXTEND 1.5m CLEAR OF ANY EARTHWORKS BATTER THAT IS STEEPER THAN 1 ON 2 AND OVER 1.5m HIGH. AN INSPECTION OPENING IS TO BE PROVIDED AT THE DOWNSTREAM END OF ANY EXTENDED HOUSE DRAIN.
- S9. ALL HOUSE CONNECTION BRANCHES ARE REQUIRED TO BE BROUGHT TO WITHIN A MAXIMUM OF 300mm OF THE FINISHED SURFACE LEVEL AND A GLUED CAP INSTALLED. THE RISER MUST BE CONNECTED TO A MARKER PEG WITH PLASTIC COATED WIRE. THE MARKER PEG IS TO BE OF HARDWOOD MATERIAL, PROTRUDING 20mm ABOVE THE GROUND AND SHALL BE INSTALLED IMMEDIATELY ADJACENT TO THE RISER IN ACCORDANCE WITH FNQROC DRAWING S3005.
- S13. ALL VERTICAL DROPS SHALL BE CONSTRUCTED USING FIBREGLOSS HEAVY DUTY DEEP SEWER DROPS.

WATER

- W1. ALL WATER MAINS ARE ON A 2.8m ALIGNMENT FROM BOUNDARY U.N.O.
- W2. FOR STANDARD DETAILS REFER FNQROC. STD. DRGS. S2000 TO S2035 INCLUSIVE, AND MSC STD DRGS S2000 TO S2060.
- W3. ALL WORKS ARE TO BE IN ACCORDANCE WITH FNQROC DEVELOPMENT MANUAL SPECIFICATION S5.
- W4. CONNECTIONS TO EXISTING COUNCIL MAINS TO BE MADE BY COUNCIL AND REQUIRE 30 DAYS NOTICE.
- W5. PROVIDE 80mm PVC-U CLASS 6 CONDUIT UNDER CONCRETE FOOTPATH FOR WATER SERVICES AS PER FNQROC STD DRG S2038. FINAL LOCATION OF CONDUITS TO BE CONFIRMED ONCE ERGON PILLAR BOX LOCATIONS ARE AVAILABLE.
- W6. TEARDROP MARKERS AND BLUE RETRO REFLECTIVE MARKERS TO BE IN ACCORDANCE WITH FNQROC STD DRG S2010 REVISION B.
- W7. PROVIDE A COMPRESSIBLE LAYER BETWEEN ALL EXISTING AND PROPOSED HYDRANT OR VALVE SURROUNDS WITHIN AREAS OF CONCRETE.

EROSION AND SEDIMENT CONTROL STRATEGY

- SC1. SEQUENCING OF CONTROL MEASURES

- a) INSTALL STABLE POINT OF ENTRY
- b) INSTALL SILT FENCES
- c) PROTECT TOPSOIL STOCKPILES
- d) CONSTRUCT TEMPORARY SEDIMENT BASINS
- e) INSTALL STORMWATER PIPES
- f) IMPLEMENT PROTECTION MEASURES TO STORMWATER PITS
- g) REVEGETATE BARE AREAS UPON COMPLETION OF EARTHWORKS
- h) THE SEDIMENT CONTROL STRUCTURES ARE TO BE CLEANED & MAINTAINED AFTER EVERY SIGNIFICANT RAIN EVENT. ERODED SOILS SHALL BE STOCKPILED AS DIRECTED.
- SC2. THE AMOUNT OF DISTURBANCE TO EXISTING VEGETATION BE KEPT TO A MINIMUM.
- SC3. EXACT LOCATION OF SEDIMENT CONTROL STRUCTURES TO BE DETERMINED ON SITE BY COUNCIL & SUPERINTENDENT.
- SC4. STOCKPILE LOCATIONS TO BE AGREED WITH COUNCIL & THE SUPERINTENDENT. STOCKPILES TO BE PROTECTED VIA DIVERSION DRAIN ON THE UPSLOPE & SILT FENCE ON THE DOWNSLOPE.
- SC5. RETURNS IN SILT FENCE TO BE AT 20m INTERVALS WHEN INSTALLED ALONG THE CONTOUR. SPACING IS TO DECREASE TO 5-10m DEPENDING ON SLOPE IF THE SILT FENCE IS INSTALLED AT AN ANGLE TO THE CONTOUR. THE RETURN SHALL CONSIST OF EITHER:
- V-SHAPED SECTION EXTENDING AT LEAST 1.5m UP THE SLOPE; OR
 - SANDBAG OR ROCK/AGGREGATE CHECK DAM A MINIMUM OF 1/3 AND MAXIMUM OF 1/2 FENCE HEIGHT, AND EXTENDING AT LEAST 1.5m UP THE SLOPE.
- SC6. STORMWATER PIPES TO HAVE PIT PROTECTION MEASURES AS DETAILED IN FNQROC DEVELOPMENT MANUAL.
- SC7. ALL SEDIMENT CONTROL MEASURES TO BE IN ACCORDANCE WITH THE CONTRACTORS ESC PLAN.
- SC8. THE FOLLOWING REVEGETATION MEASURES ARE TO BE UNDERTAKEN IMMEDIATELY UPON COMPLETION OF EARTHWORKS.
- a) CUT & FILL BATTERS STEEPER THAN 1 IN 4 TO BE HYDROMULCHED.
- b) VERGES & ALLOTMENTS TO BE GRASS SEEDDED.
- c) PLACE TURF STRIPS BEHIND ALL KERB LINES.

- SC9. REVEGETATION IS TO BE WATERED & MAINTAINED UNTIL GROWTH IS ESTABLISHED.

- SC10. CONTRACTOR MUST IMPLEMENT A SUITABLE DUST MANAGEMENT STRATEGY TO MINIMISE DUST NUISANCE ON ADJACENT PROPERTIES. DETAILS OF THE DUST MANAGEMENT STRATEGY TO BE INCORPORATED INTO EROSION AND SEDIMENT CONTROL STRATEGY.

- SC11. SEDIMENT BASIN
- a) INLET PROTECTION TO MINIMISE SCOUR & EVENLY DISTRIBUTE FLOW THROUGH BASIN.
- b) A MARKER PEG SHOULD BE INSTALLED TO SHOW THE STORAGE DEPTH. SEDIMENT SHALL BE REMOVED FROM BASIN WHEN 30% STORAGE DEPTH IS ENCROACHED & APPROPRIATELY DISPOSED ON SITE BY RESPREADING IN AREAS OF NON-EROSIVE FLOWS.

- SC12. WATER QUALITY MONITORING SHOULD BE UNDERTAKEN DURING SIGNIFICANT RAINFALL EVENTS (I.E. > 10mm).

- SC13. DESIGN CRITERIA FOR CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN TO BE IN ACCORDANCE WITH SECTION CP1.05 OF THE FNQROC DEVELOPMENT MANUAL.

SURVEY AND SETOUT

- SS1. SURVEY, DATUM, LEVELS & SERVICES HAVE BEEN DERIVED FROM STAGE 14 CAD AND DATA FILES.
- SS2. DIGITAL CAD FILES OF THE CIVIL WORKS WILL BE PROVIDED FOR SETOUT PURPOSES.

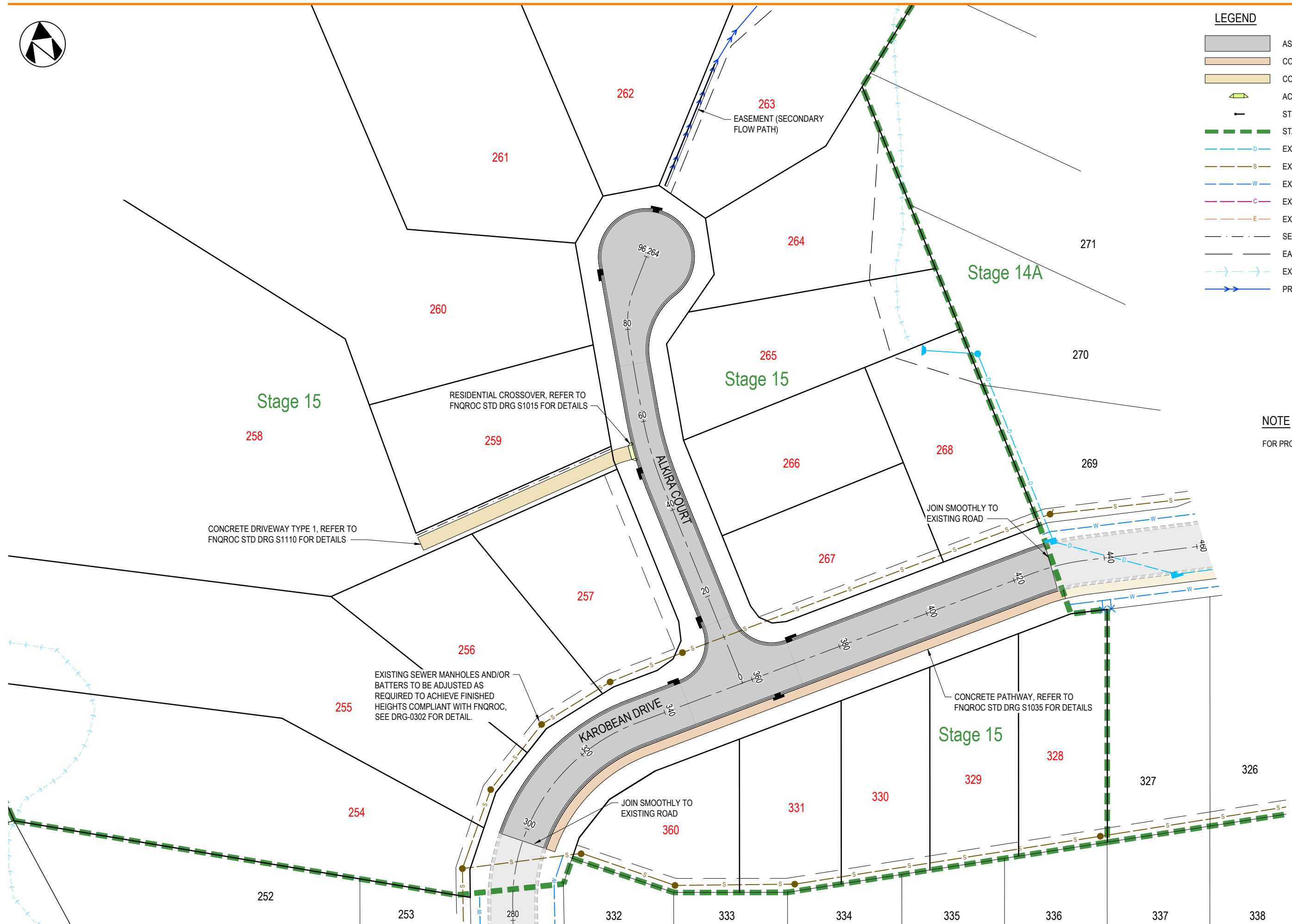


LEGEND

	ASPHALT SEALED PAVEMENT
	CONCRETE PATHWAY
	CONCRETE DRIVEWAY
	ACCESS CROSSOVER
	STREET/PATHWAY SIGN
	STAGE BOUNDARY
	EXISTING STORMWATER
	EXISTING SEWER
	EXISTING WATER
	EXISTING COMMS
	EXISTING ELECTRICAL
	SERVICES CONDUIT
	EASEMENT BOUNDARY
	EXISTING OPEN DRAIN/CREEK/GULLY
	PROPOSED DRAIN

NOTE

FOR PROJECT NOTES REFER TO DRG-0102.



Rev	Date	Revision Notes
D	19.06.26	ROAD NAMES AMENDED
C	28.05.26	ADDITIONAL LOT 360 ADDED
B	23.12.25	STORMWATER REVISED
A	30.10.25	INITIAL ISSUE



NEON
CONSULTING

BTM & S STANKOVICH PTY LTD

AMAROO ESTATE SUBDIVISION
STAGE 15
GENERAL ARRANGEMENT

Drawn	Design	Check'd	Appr'd	RPEQ 25102
PAM	PAM	CJC	CJC	C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0103

D

LEGEND - DEPTH OF EARTHWORKS

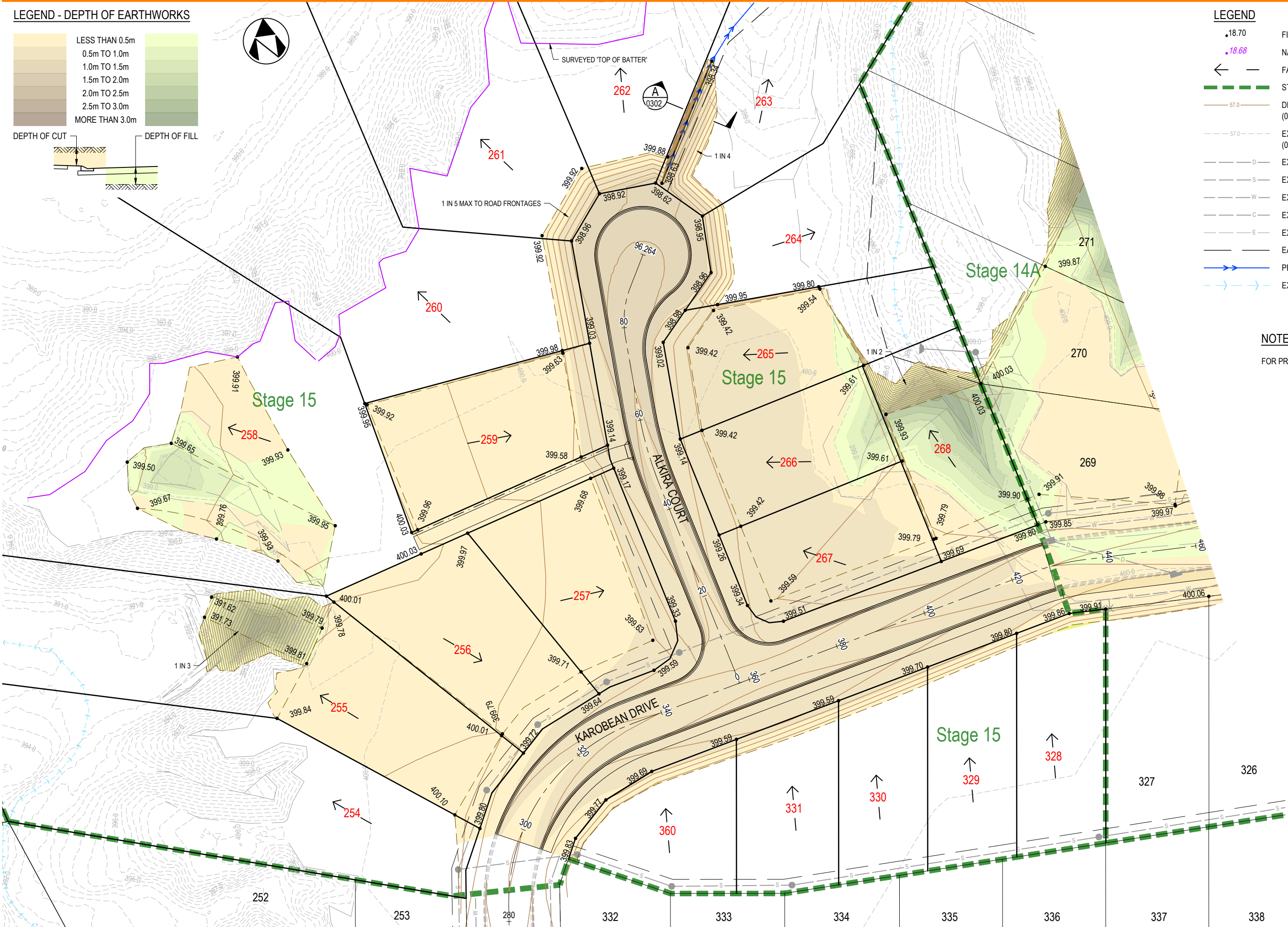


LEGEND

- 18.70 FINISHED SURFACE LEVEL
- 18.68 NATURAL SURFACE LEVEL
- ← — FALL OF LOTS
- STAGE BOUNDARY
- 57.0 DESIGN SURFACE CONTOURS (0.2m INTERVAL)
- 57.0 EXISTING SURFACE CONTOURS (0.5m INTERVAL)
- D EXISTING STORMWATER
- S EXISTING SEWER
- W EXISTING WATER
- C EXISTING COMMS
- E EXISTING ELECTRICAL
- EASEMENT BOUNDARY
- PROPOSED DRAIN
- EXISTING OPEN DRAIN/CREEK/GULLY

NOTE

FOR PROJECT NOTES REFER TO DRG-0102.



C 19.06.26 ROAD NAMES AMENDED
B 28.05.26 ADDITIONAL LOT 360 ADDED
A 30.10.25 INITIAL ISSUE

Rev Date Revision Notes

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CONSULTING

BTM & S STANKOVICH PTY LTD

AMAROO ESTATE SUBDIVISION
STAGE 15
EARTHWORKS PLAN

Drawn PAM
Design PAM
Checkd CJC
Apprv'd CJC
RPEQ 25102
C.J. CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0201

C

CONTROL LINE KAROBEAN DR SETOUT

CHAINAGE	COORDINATES		BEARING DEG MIN SEC	RADIUS OF CURVATURE	TANGENT LENGTH	ARC LENGTH
	EASTING	NORTHING				
283.082	333707.335	8120859.819	7° 14' 32"	41.000		
IP 308.281	333710.984	8120888.526	-	41.000	28.939	50.399
333.481	333739.255	8120894.705	77° 40' 21"	STRAIGHT		
424.047	333827.733	8120914.041	77° 40' 21"	51.000		
IP 430.151	333833.725	8120915.350	-	51.000	6.133	12.207
436.254	333839.855	8120915.202	91° 23' 10"	STRAIGHT		

CONTROL LINE ALKIRA COURT SETOUT

CHAINAGE	COORDINATES		BEARING DEG MIN SEC	RADIUS OF CURVATURE	TANGENT LENGTH	ARC LENGTH
	EASTING	NORTHING				
0.000	333763.039	8120899.902	346° 23' 10"	STRAIGHT		
45.386	333752.356	8120944.013	346° 23' 10"	80.000		
IP 53.763	333750.377	8120952.185	-	80.000	8.408	16.755
62.141	333750.140	8120960.590	358° 23' 10"	STRAIGHT		
77.950	333749.695	8120976.393	358° 23' 10"	20.000		
IP 83.414	333749.537	8120981.995	-	20.000	5.604	10.928
88.878	333752.313	8120986.863	29° 41' 33"	STRAIGHT		
96.264	333755.972	8120993.279	29° 41' 33"	STRAIGHT		

TABLE OF WIDTHS

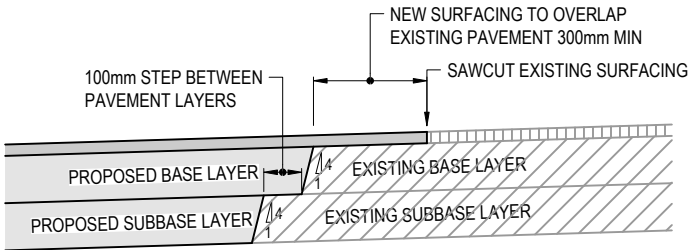
ROAD	CARRIAGEWAY WIDTH (m)	VERGE WIDTH (m)		RESERVE WIDTH (m)
		LHS	RHS	
KAROBEAN DR	10.00	4.00	6.00	20.00
ALKIRA CT	6.50	4.50	4.50	15.50

PROVISIONAL PAVEMENT DETAILS

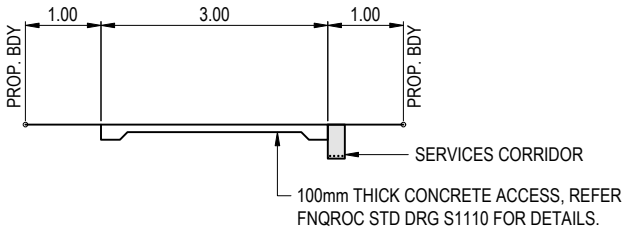
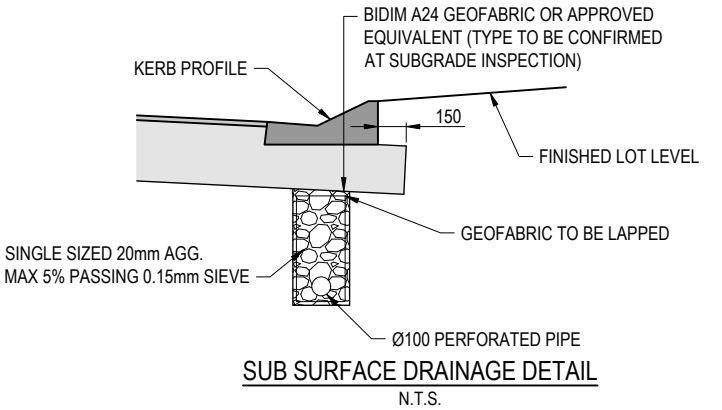
LOCATION	SURFACING	BASE COURSE	SUBBASE COURSE
KAROBEAN DR	30mm ASPHALT	150mm THICK CBR 60 MIN	130mm THICK CBR 45 MIN
ALKIRA CT	30mm ASPHALT	110mm THICK CBR 60 MIN	140mm THICK CBR 45 MIN

NOTES
PROVISIONAL PAVEMENT DESIGN IS BASED ON AN ASSUMED SUBGRADE SOAKED CBR OF 6. THE CONTRACTOR IS TO CONFIRM SUBGRADE CBR DURING CONSTRUCTION AND THE PAVEMENT DESIGN MAY BE AMENDED ACCORDINGLY BY THE COUNCIL.

ASPHALT SURFACING TO BE INCREASED TO 50mm AT CUL-DE-SAC.
REFER DRG. DRG-0303 FOR LOCATION.

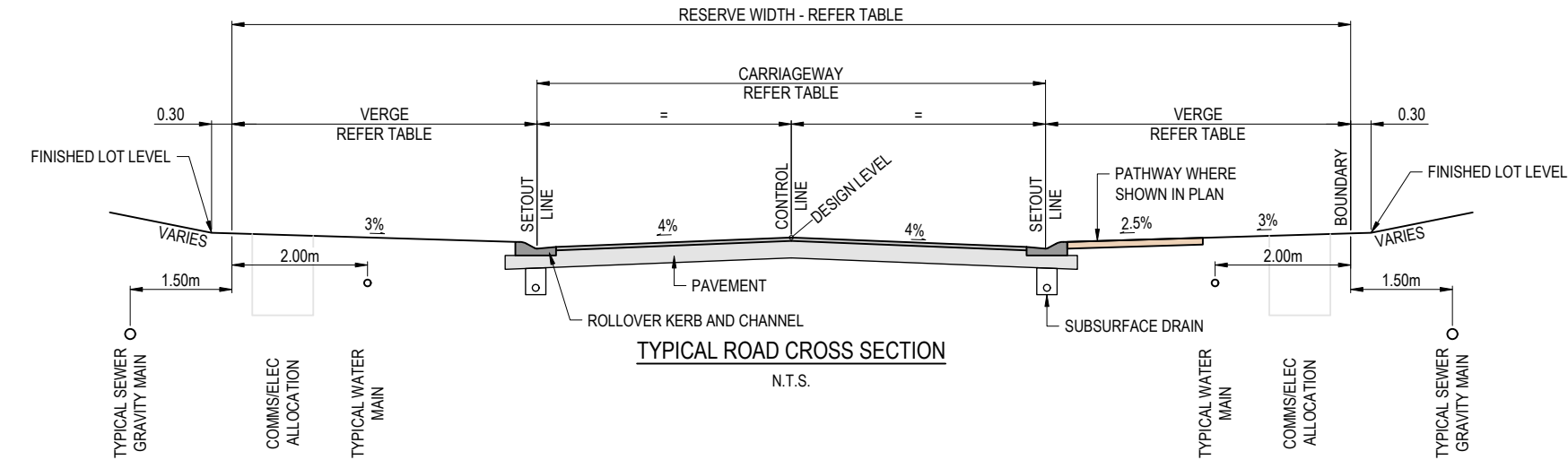


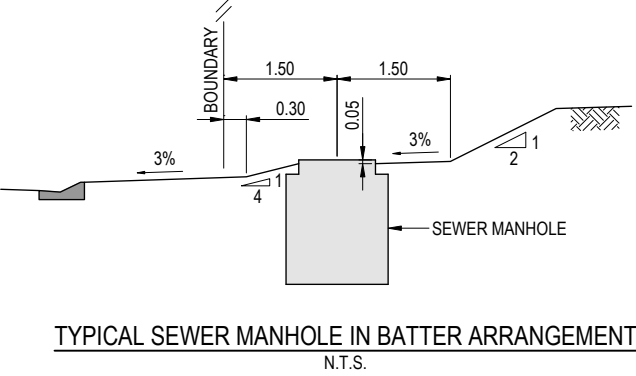
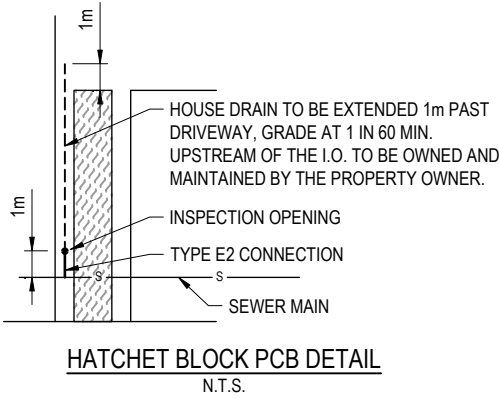
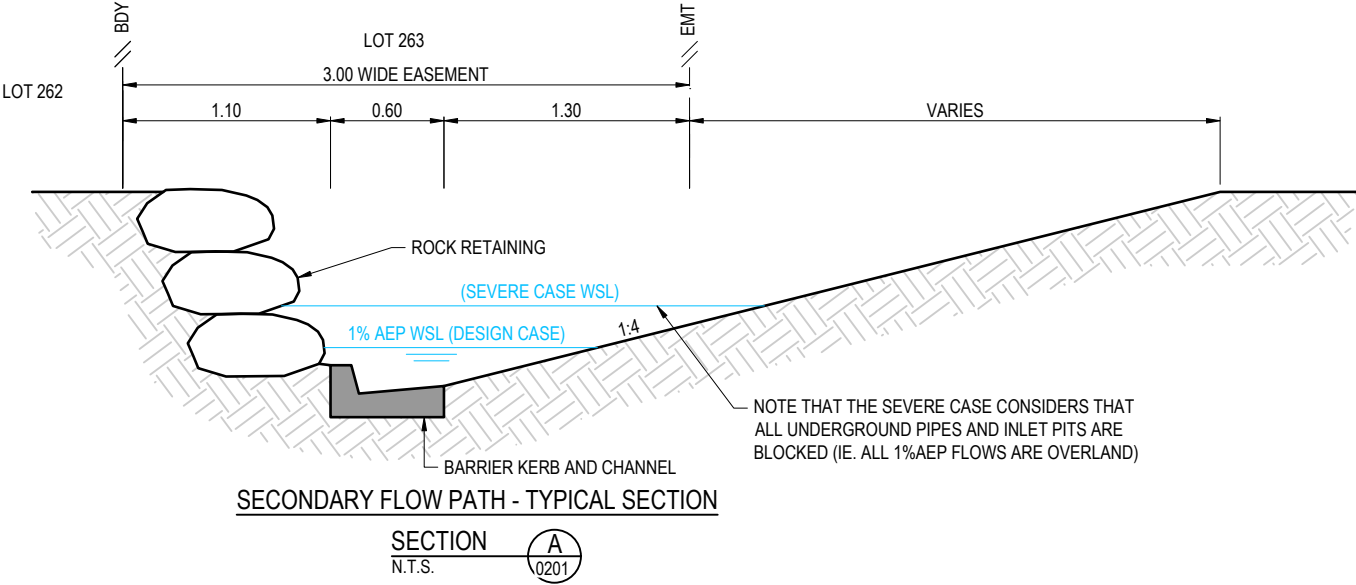
TYPICAL JOIN TO EXISTING ROAD
N.T.S.

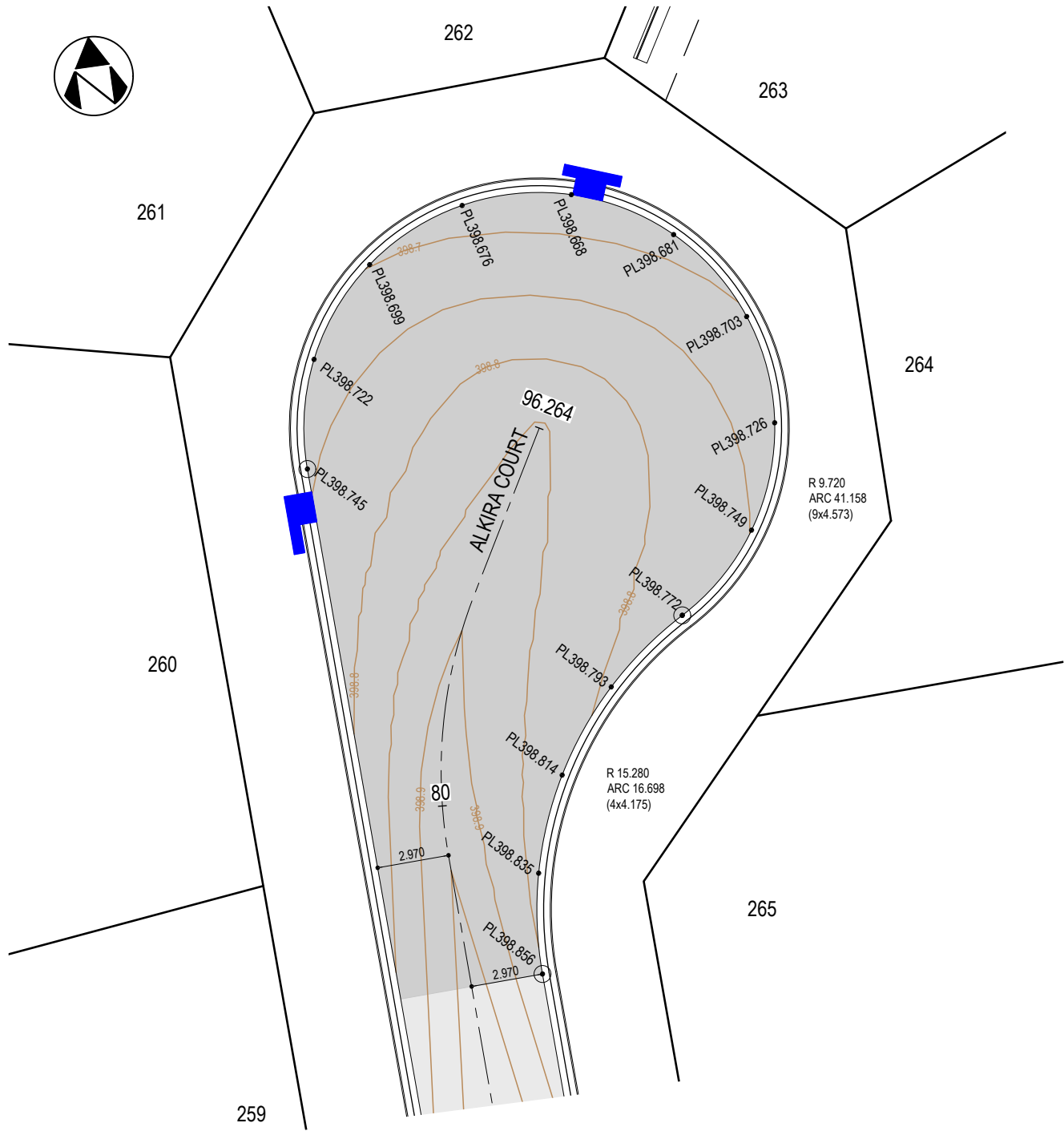


TYPICAL ACCESS CROSS SECTION
N.T.S.

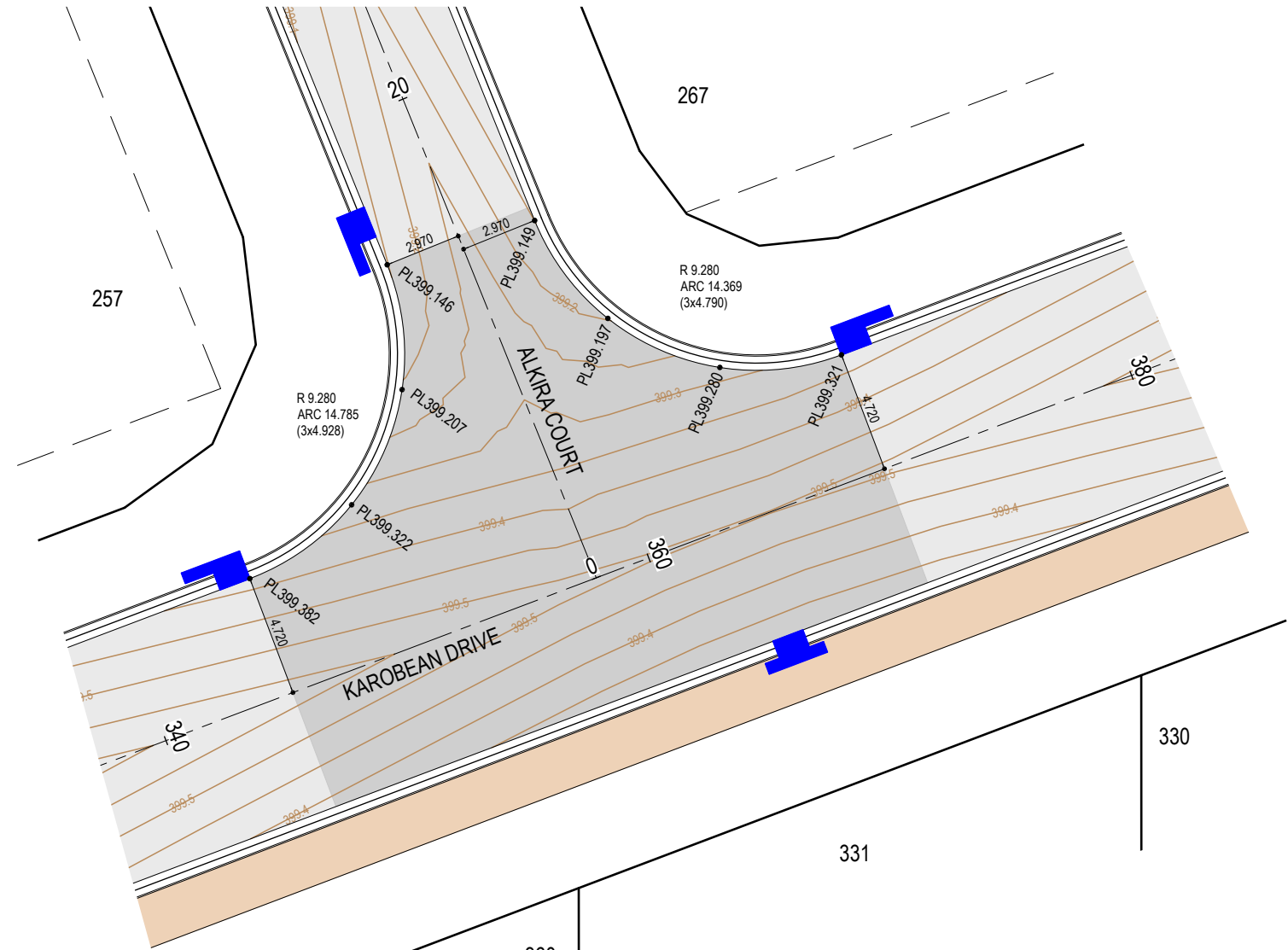
PROVIDE THE FOLLOWING 4 CONDUITS PER LOT:
- 40mm DIA. uPVC CONDUIT FOR ERGON (ORANGE)
- 50mm DIA. uPVC FOR TELSTRA (WHITE)
- 20mm DIA. HDPE FOR WATER SERVICE







NOTE
FOR PROJECT NOTES REFER TO DRG-0102.

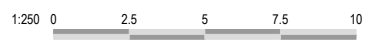


LEGEND

- PL44.956 PAVEMENT LEVEL OF KERB & TRAY
- SETOUT POINT
- ⊙ TANGENT POINT
- LKC LAYBACK KERB AND CHANNEL
- 57.0 DESIGN SURFACE CONTOURS (0.1m INTERVAL)
- CONCRETE PATHWAY (2m WIDE U.N.O.)
- EXTENT OF 50mm ASPHALT THICKNESS

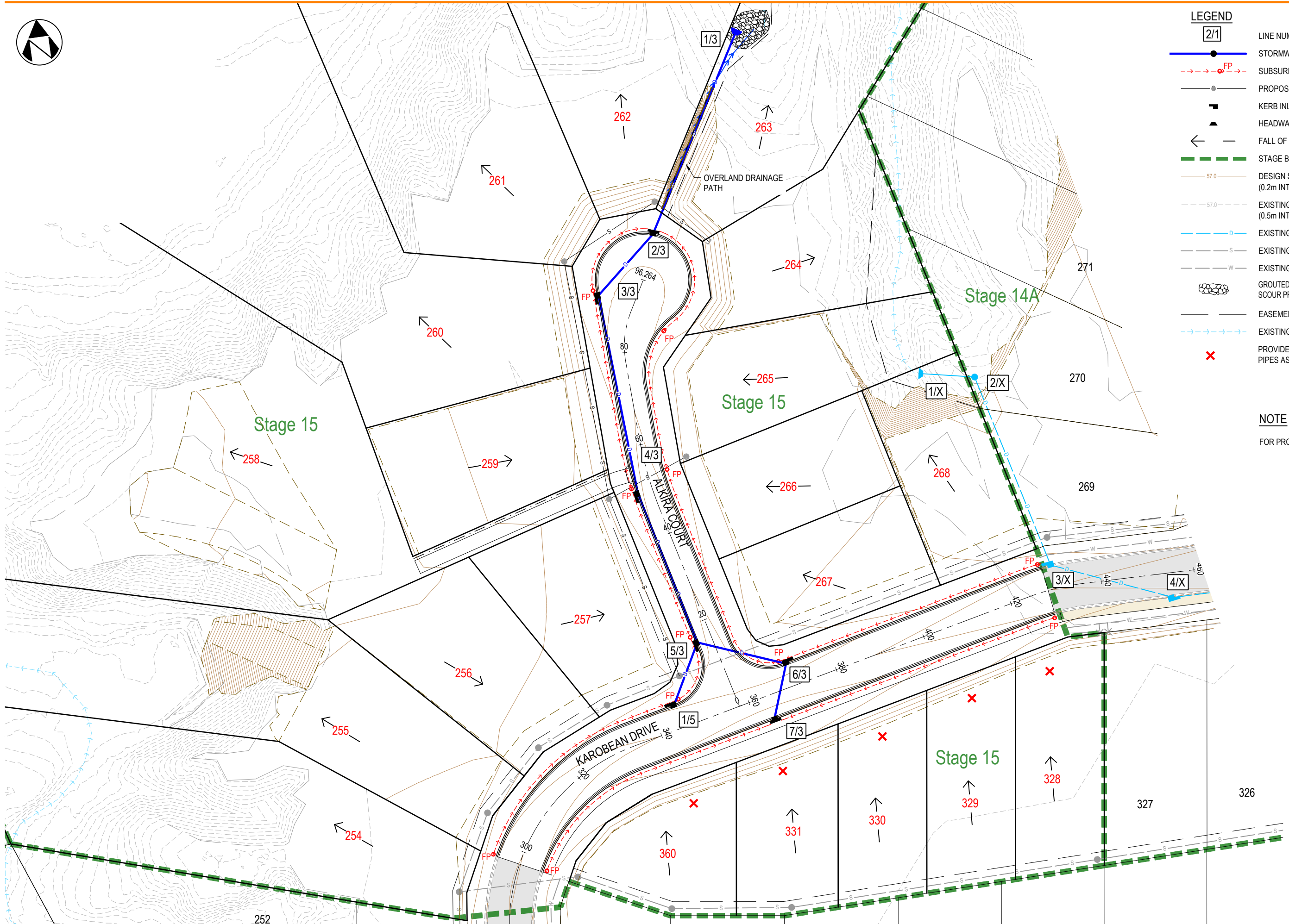
SETOUT TABLE		
PT NO	X	Y
1	334037.569	8120993.368
2	334031.101	8121008.667
3	334016.475	8121002.482

Rev	Date	Revision Notes
D	19.06.26	ROAD NAMES AMENDED
C	28.05.26	ADDITIONAL LOT 360 ADDED
B	23.12.25	STORMWATER REVISED
A	30.10.25	INITIAL ISSUE



BTM & S STANKOVICH PTY LTD

AMAROO ESTATE SUBDIVISION
STAGE 15
INTERSECTION DETAILS



LEGEND

- | | |
|--|--|
| | LINE NUMBER / STRUCTURE No. |
| | STORMWATER DRAINAGE PIPE & MANHOLE |
| | SUBSURFACE DRAINAGE & FLUSHING POINT |
| | PROPOSED SEWER |
| | KERB INLET PIT |
| | HEADWALL |
| | FALL OF LOTS |
| | STAGE BOUNDARY |
| | DESIGN SURFACE CONTOURS (0.2m INTERVAL) |
| | EXISTING SURFACE CONTOURS (0.5m INTERVAL) |
| | EXISTING STORMWATER |
| | EXISTING SEWER |
| | EXISTING WATER |
| | GROUTED STONE PITCHING SCOUR PROTECTION (10m² NOMINAL) |
| | EASEMENT BOUNDARY |
| | EXISTING DRAIN |
| | PROVIDE 3x1000 uPVC ROOFWATER PIPES AS PER FNQROC STD DRG 1035 |

NOTE

FOR PROJECT NOTES REFER TO DRG-0102.

Rev	Date	Revision Notes
D	19.06.26	ROAD NAMES AMENDED
C	28.05.26	ADDITIONAL LOT 360 ADDED
B	23.12.25	STORMWATER REVISED
A	30.10.25	INITIAL ISSUE



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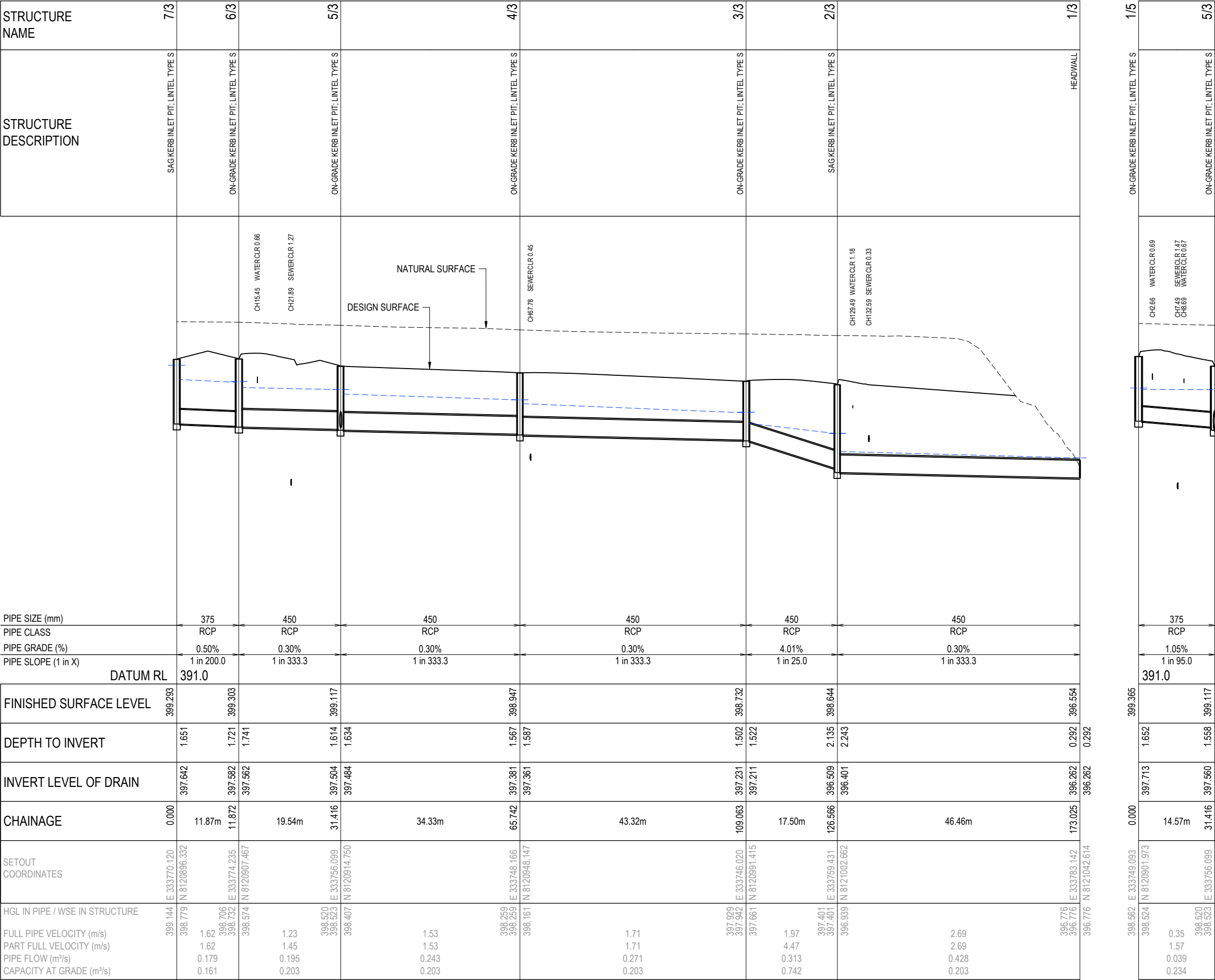
AMAROO ESTATE SUBDIVISION
STAGE 15
STORMWATER DRAINAGE PLAN

Drawn	Design	Checked	Approved	Reviewed
PAM	PAM	CJC	CJC	C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0401

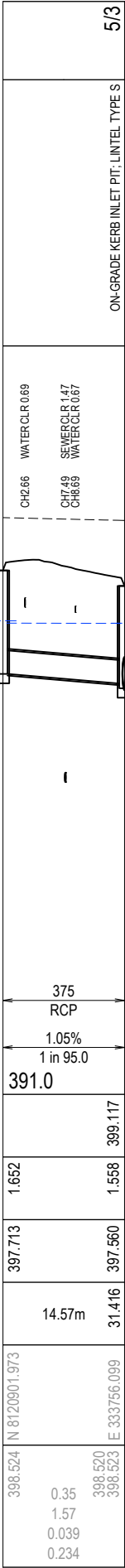
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LINE

3

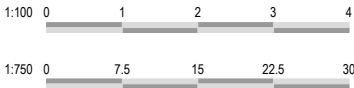
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C 19.06.26 CLEARANCE BETWEEN TO SEWER AND DRAINAGE INCREASED
B 23.12.25 STORMWATER REVISED
A 30.10.25 INITIAL ISSUE

Rev Date Revision Notes

19/06/2026 3:59:00 PM File: I:\048\048-2501\110 Drawings\15 Drawings\048-2501-15-DRG-0402_Stormwater LS.dwg



BTM & S STANKOVICH PTY LTD

AMAROO ESTATE SUBDIVISION
STAGE 15
STORMWATER DRAINAGE LONGITUDINAL SECTIONS

Drawn PAM
Design PAM
Checked CJC
Approved CJC
RPEQ 23102 C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0402

C

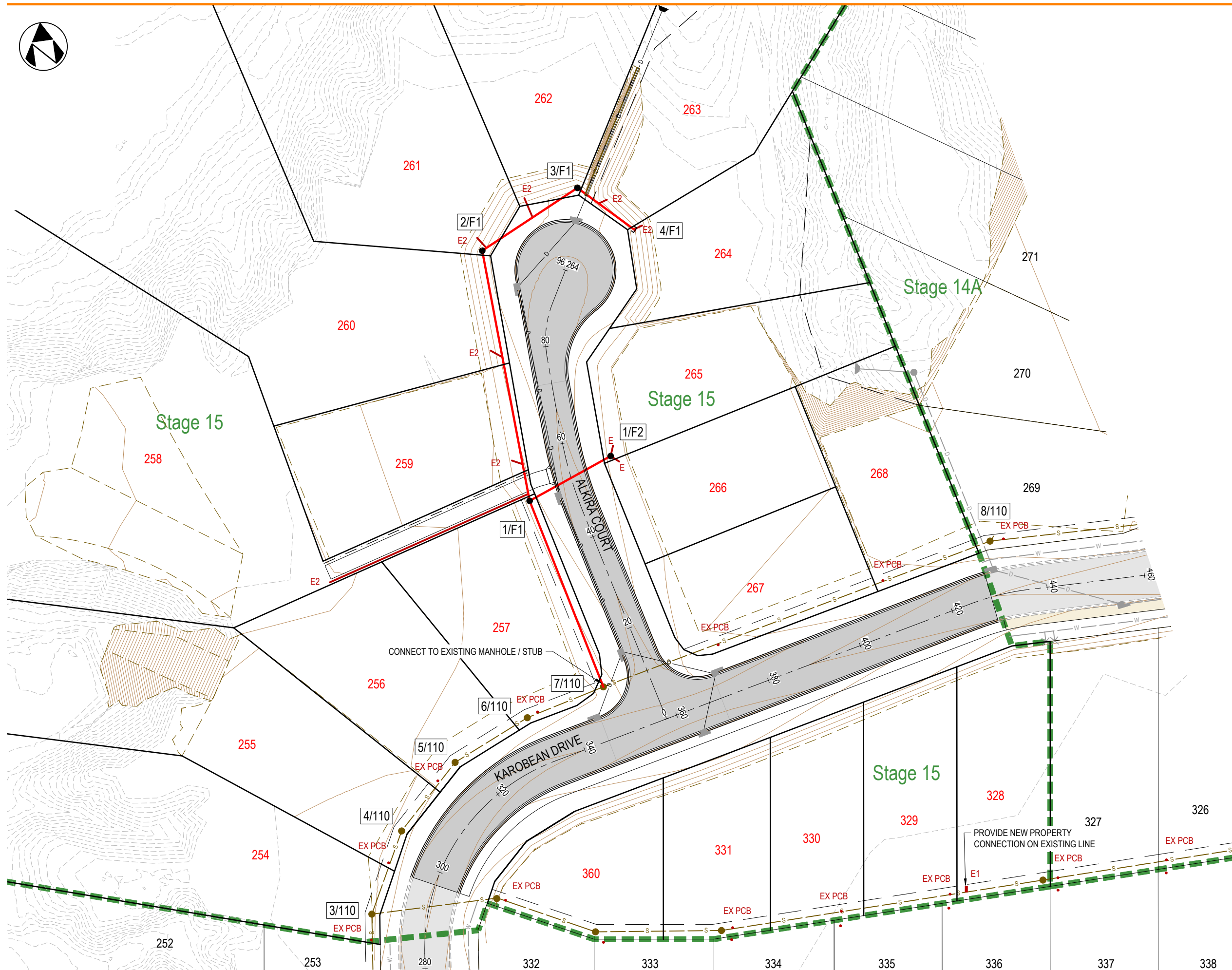


LEGEND

	STRUCTURE No. / LINE NUMBER
	SEWER MAIN, MANHOLE AND ENDCAP
	HOUSE CONNECTION BRANCH / TYPE
	STAGE BOUNDARY
	DESIGN SURFACE CONTOURS (0.2m INTERVAL)
	EXISTING SURFACE CONTOURS (0.5m INTERVAL)
	EXISTING STORMWATER
	EXISTING SEWER
	EXISTING WATER
	EASEMENT BOUNDARY

NOTE

FOR PROJECT NOTES REFER TO DRG-0102.



Rev	Date	Revision Notes
D	19.06.26	ROAD NAMES AMENDED
C	28.05.26	ADDITIONAL LOT 360 ADDED
B	23.12.25	STORMWATER REVISED
A	30.10.25	INITIAL ISSUE

19/06/2026 3:59:02 PM File: I:\048\048-2501\110 Drawings\15 Drawings\048-2501-15-DRG-0501_Sewer.dwg



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AMAROO ESTATE SUBDIVISION
STAGE 15
SEWERAGE PLAN

Drawn	Design	Checked	Approved	Reviewed
PAM	PAM	CJC	CJC	C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0501

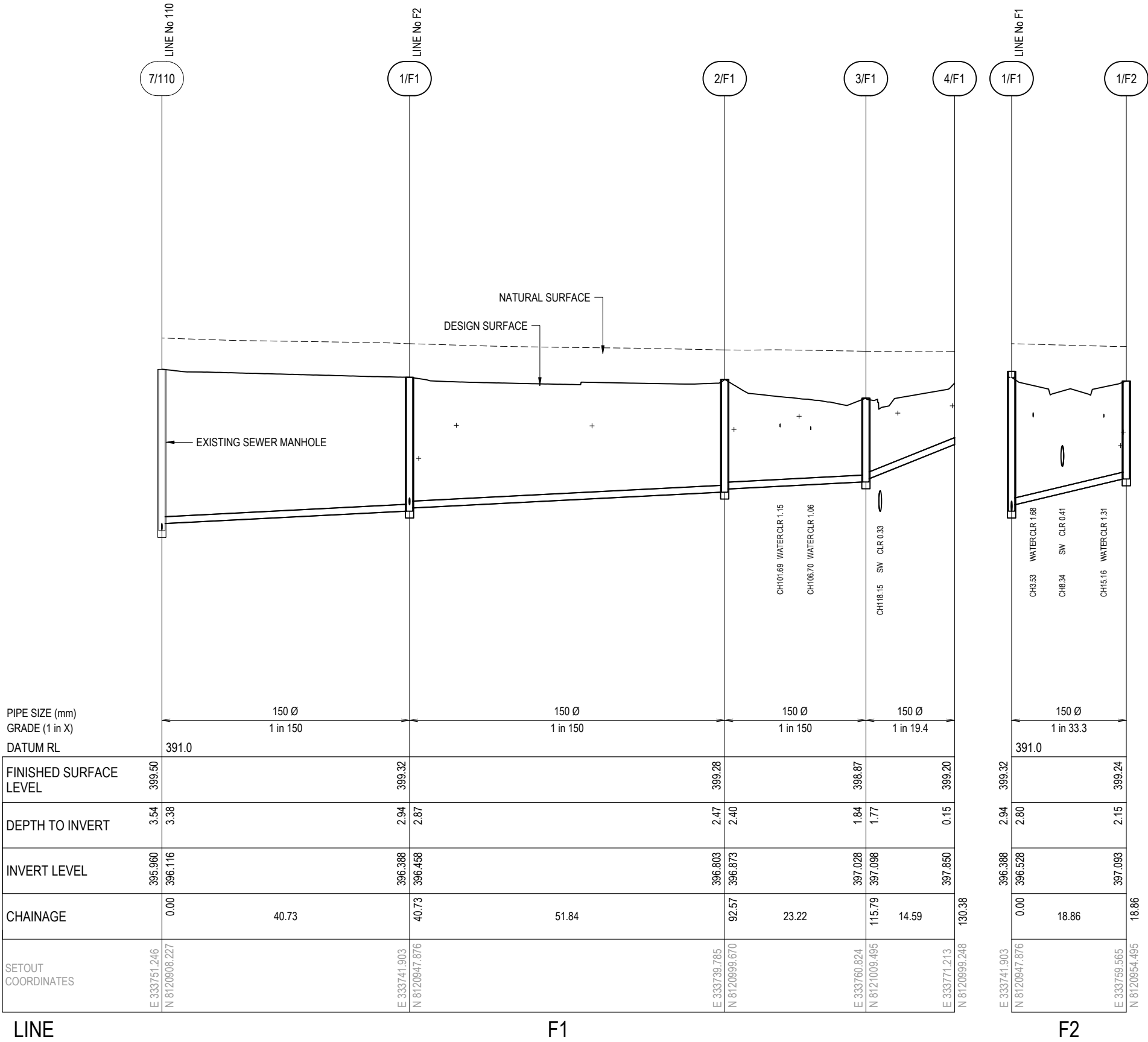
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LEGEND

+ HOUSE CONNECTION BRANCH

NOTES

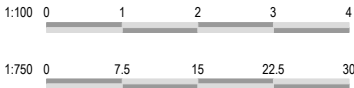
1. ALL MANHOLE DIAMETERS, DROP TYPES AND COVERS TO BE IN ACCORDANCE WITH FNQROC STD DRG S3000.
2. FINISHED SURFACE AT ENDCAPS IS TO BE NO GREATER THAN 1.5m ABOVE INVERT.



LINE

F1

F2



B 19.06.26 CLEARANCE BETWEEN TO SEWER AND DRAINAGE INCREASED
A 30.10.25 INITIAL ISSUE

Rev Date Revision Notes

19/06/2026 3:59:03 PM File: I:\048\048-2501\110 Drawings\15 Drawings\048-2501-15-DRG-0502_Sewer LS.dwg



BTM & S STANKOVICH PTY LTD

AMAROO ESTATE SUBDIVISION
STAGE 15
SEWERAGE LONGITUDINAL SECTIONS

Drawn PAM
Design PAM
Check'd CJC
Appr'd CJC
RPEQ 25102 C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0502

B



WATER SUPPLY PIPE AND FITTINGS LIST

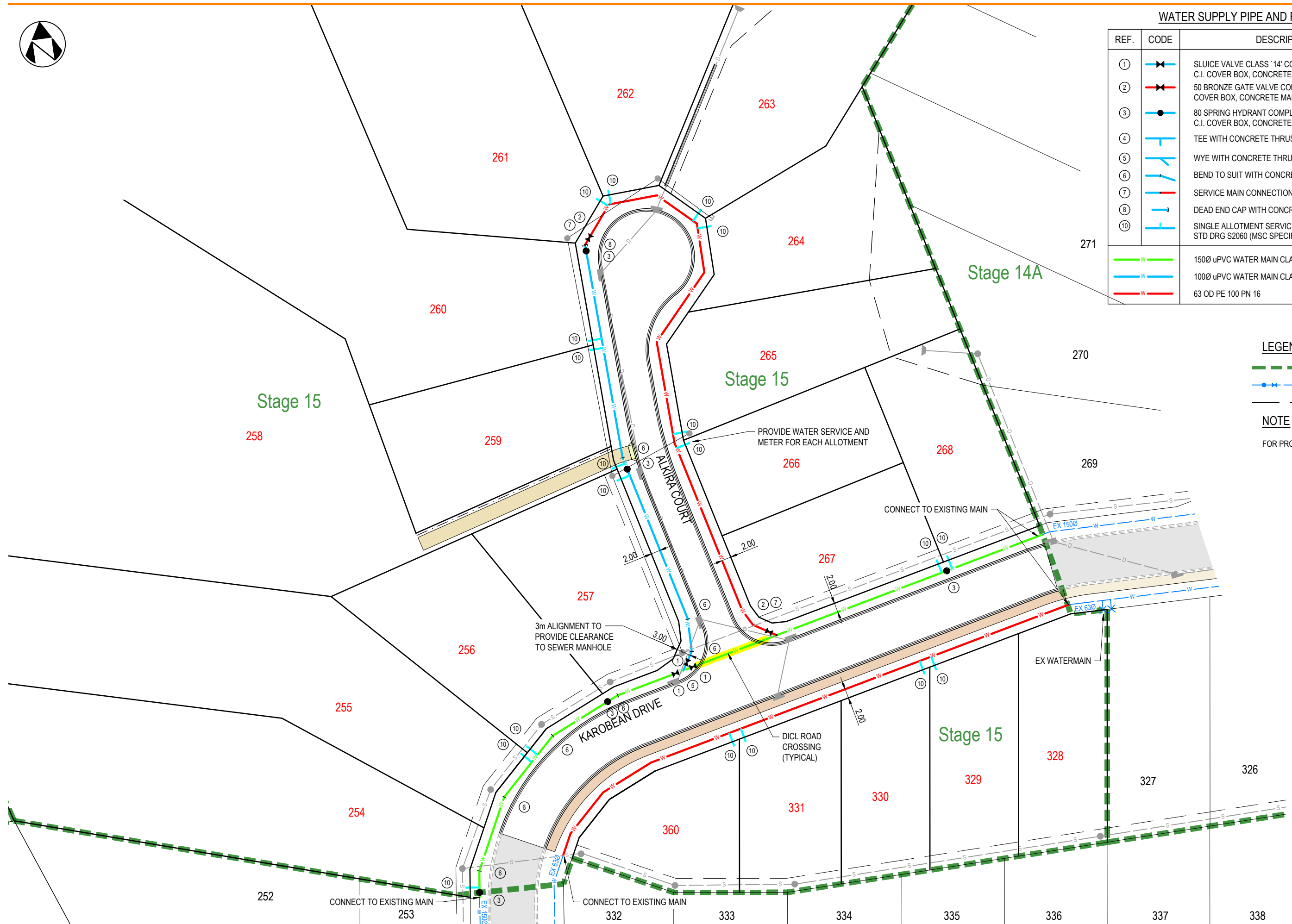
REF.	CODE	DESCRIPTION
①		SLUICE VALVE CLASS '14' COMPLETE WITH C.I. COVER BOX, CONCRETE MARGIN AND MARKER
②		50 BRONZE GATE VALVE COMPLETE WITH C.I. COVER BOX, CONCRETE MARGIN AND MARKER
③		80 SPRING HYDRANT COMPLETE WITH RISER, TEE, C.I. COVER BOX, CONCRETE MARGIN AND MARKER
④		TEE WITH CONCRETE THRUST BLOCK
⑤		WYE WITH CONCRETE THRUST BLOCK
⑥		BEND TO SUIT WITH CONCRETE THRUST BLOCK
⑦		SERVICE MAIN CONNECTION
⑧		DEAD END CAP WITH CONCRETE THRUST BLOCK
⑩		SINGLE ALLOTMENT SERVICE, SEE FNQROC STD DRG S2060 (MSC SPECIFIC)
		1500 uPVC WATER MAIN CLASS '16' RUBBER RING JOINTED
		1000 uPVC WATER MAIN CLASS '16' RUBBER RING JOINTED
		63 OD PE 100 PN 16

LEGEND

- STAGE BOUNDARY
- EXISTING WATER
- EASEMENT BOUNDARY

NOTE

FOR PROJECT NOTES REFER TO DRG-0102.



Rev	Date	Revision Notes
D	19.06.26	ADDITIONAL FITTINGS ADDED
C	28.05.26	ADDITIONAL LOT 360 ADDED
B	23.12.25	STORMWATER REVISED
A	30.10.25	INITIAL ISSUE



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AMAROO ESTATE SUBDIVISION
STAGE 15
WATER RETICULATION

Drawn	Design	Check'd	Appr'd	RPEQ 25102
PAM	PAM	CJC	CJC	C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0601

D

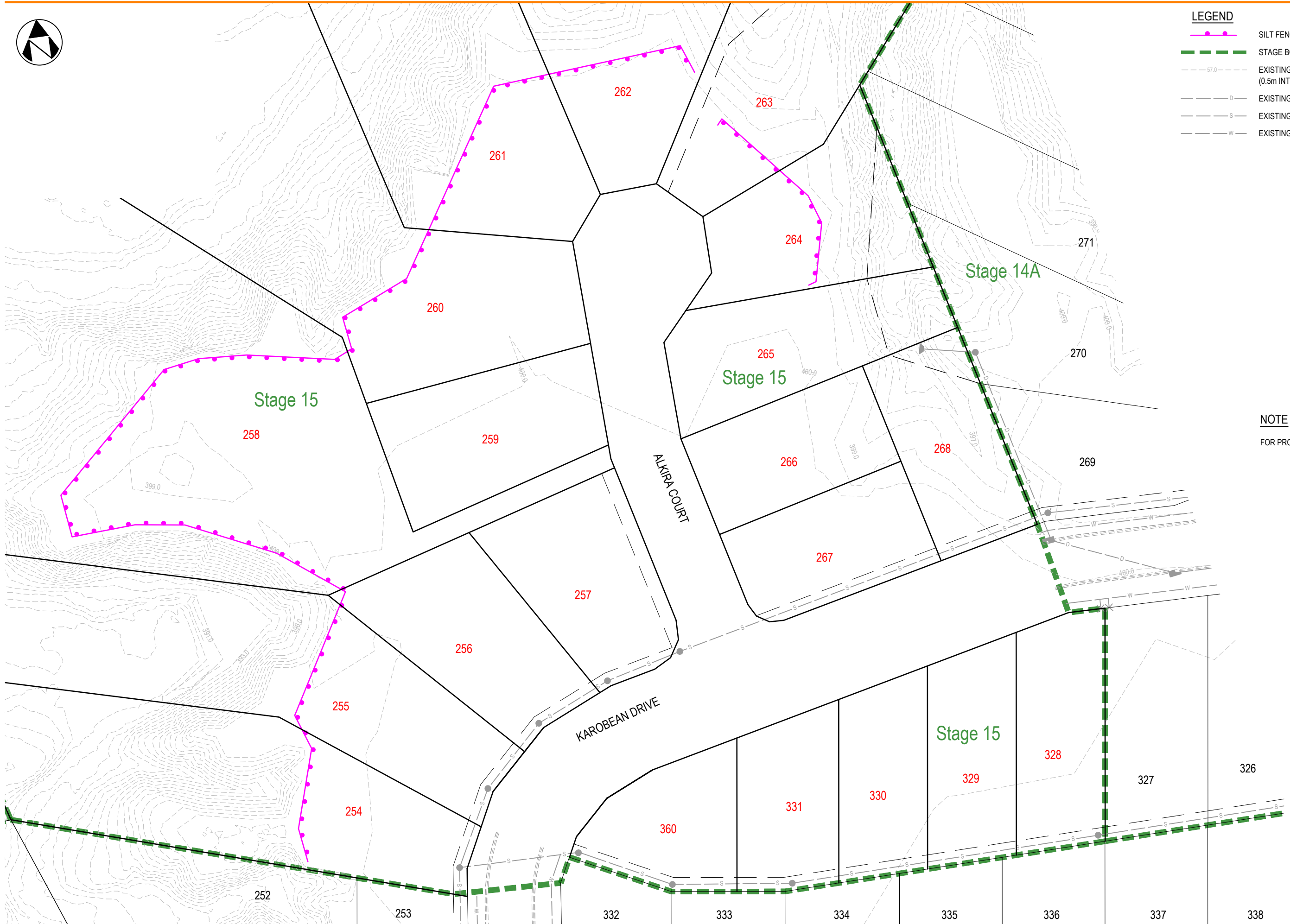


LEGEND

- SILT FENCE
- STAGE BOUNDARY
- EXISTING SURFACE CONTOURS (0.5m INTERVAL)
- EXISTING STORMWATER
- EXISTING SEWER
- EXISTING WATER

NOTE

FOR PROJECT NOTES REFER TO DRG-0102.



C	19.06.26	ROAD NAMES AMENDED
B	28.05.26	ADDITIONAL LOT 360 ADDED
A	30.10.25	INITIAL ISSUE

Rev Date Revision Notes

19/06/2026 3:59:06 PM File: I:\048\048-2501\110 Drawings\15 Drawings\048-2501-15-DRG-0701_Erosion.dwg



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AMAROO ESTATE SUBDIVISION
STAGE 15
SITE BASED STORMWATER MANAGEMENT PLAN
PHASE 1: TOPSOIL STRIPPING

Drawn	Design	Checked	Approved	RPEQ 25102
PAM	PAM	CJC	CJC	C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0701

C

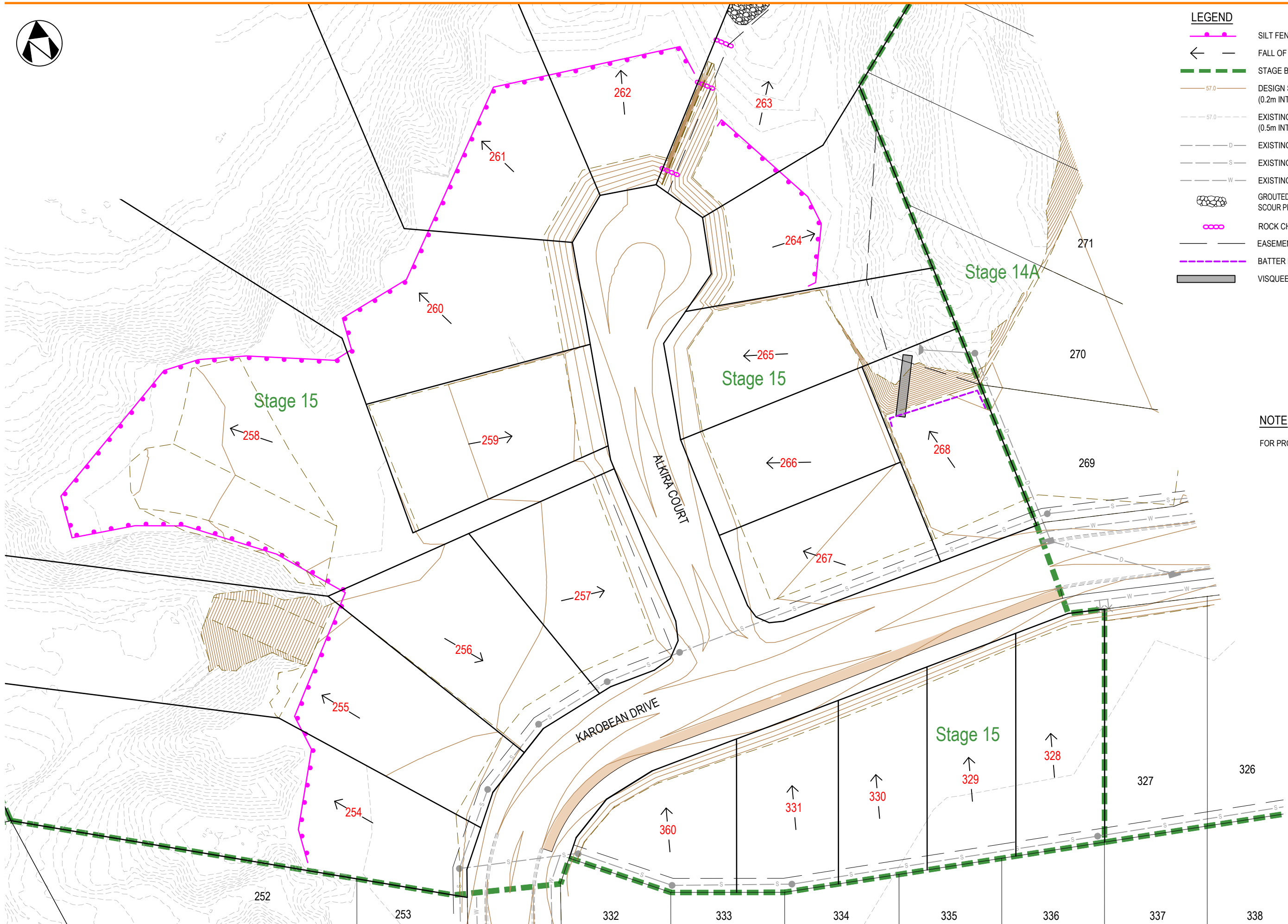


LEGEND

- SILT FENCE
- FALL OF LOTS
- STAGE BOUNDARY
- DESIGN SURFACE CONTOURS (0.2m INTERVAL)
- EXISTING SURFACE CONTOURS (0.5m INTERVAL)
- EXISTING STORMWATER
- EXISTING SEWER
- EXISTING WATER
- GROUTED STONE PITCHING SCOUR PROTECTION (10m² NOMINAL)
- ROCK CHECK DAM
- EASEMENT BOUNDARY
- BATTER BUND
- VISQUEEN LINED BATTER CHUTE

NOTE

FOR PROJECT NOTES REFER TO DRG-0102.



C	19.06.26	ROAD NAMES AMENDED
B	28.05.26	ADDITIONAL LOT 360 ADDED
A	30.10.25	INITIAL ISSUE

Rev Date Revision Notes

19/06/2026 3:59:07 PM File: I:\048\048-2501\110 Drawings\15 Drawings\048-2501-15-DRG-0701_Erosion.dwg



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AMAROO ESTATE SUBDIVISION
STAGE 15
SITE BASED STORMWATER MANAGEMENT PLAN
PHASE 2: EARTHWORKS

Drawn PAM
Design PAM
Checked CJC
Approved CJC
RPEQ 25102 C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0702

C

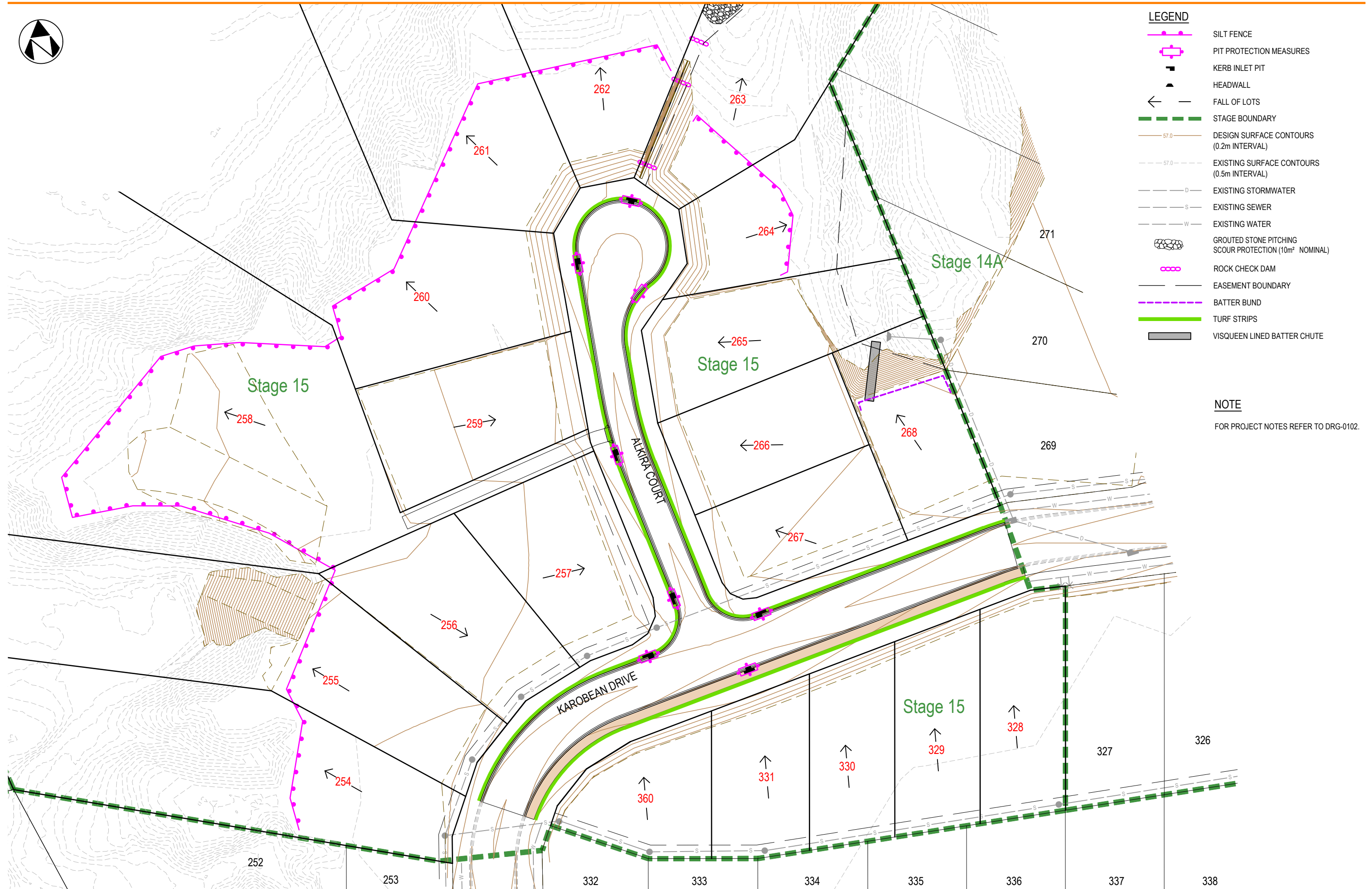


LEGEND

- SILT FENCE
- PIT PROTECTION MEASURES
- KERB INLET PIT
- HEADWALL
- FALL OF LOTS
- STAGE BOUNDARY
- DESIGN SURFACE CONTOURS (0.2m INTERVAL)
- EXISTING SURFACE CONTOURS (0.5m INTERVAL)
- EXISTING STORMWATER
- EXISTING SEWER
- EXISTING WATER
- GROUTED STONE PITCHING SCOUR PROTECTION (10m² NOMINAL)
- ROCK CHECK DAM
- EASEMENT BOUNDARY
- BATTER BUND
- TURF STRIPS
- VISQUEEN LINED BATTER CHUTE

NOTE

FOR PROJECT NOTES REFER TO DRG-0102.



D	19.06.26	ROAD NAMES AMENDED
C	28.05.26	ADDITIONAL LOT 360 ADDED
B	23.12.25	STORMWATER REVISED
A	30.10.25	INITIAL ISSUE

Rev Date Revision Notes

19/06/2026 3:59:08 PM File: I:\048\048-2501\110 Drawings\15 Drawings\048-2501-15-DRG-0701_Erosion.dwg



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AMAROO ESTATE SUBDIVISION
STAGE 15
SITE BASED STORMWATER MANAGEMENT PLAN
PHASE 3: ROADWORKS

Drawn PAM
Design PAM
Checked CJC
Approved CJC
RPEQ 25102 C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

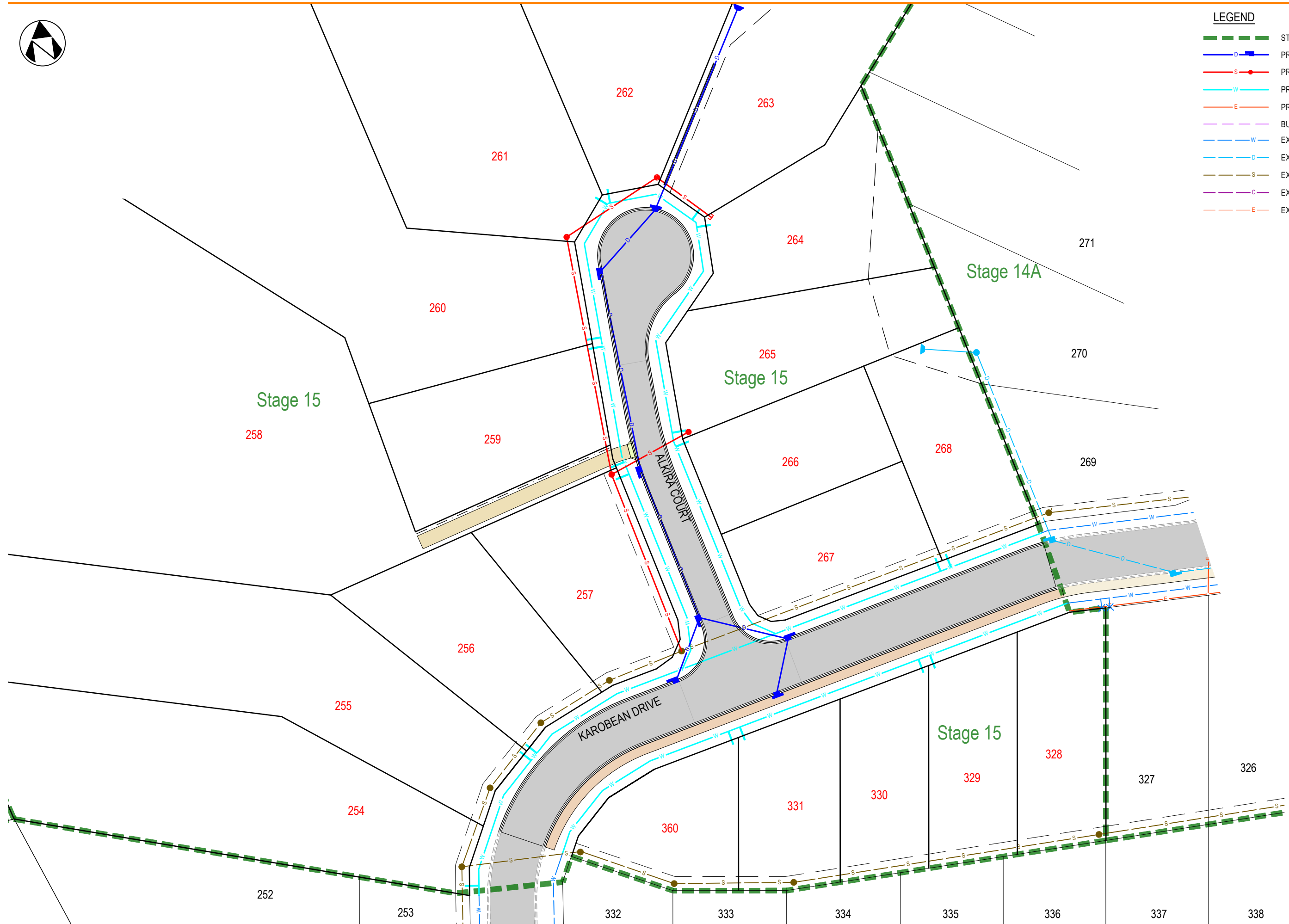
048-2501-15-DRG-0703

D



LEGEND

- STAGE BOUNDARY
- PROPOSED STORMWATER DRAINAGE
- PROPOSED SEWER
- PROPOSED WATER MAIN
- PROPOSED ELECTRICAL
- BUILDING LOCATION ENVELOPE
- EXISTING WATER
- EXISTING STORMWATER
- EXISTING SEWER
- EXISTING COMMS
- EXISTING ELECTRICAL



D	19.06.26	ROAD NAMES AMENDED
C	28.05.26	ADDITIONAL LOT 360 ADDED
B	23.12.25	STORMWATER REVISED
A	30.10.25	INITIAL ISSUE

Rev Date Revision Notes

19/06/2026 3:59:11 PM File: I:\048\048-2501\110 Drawings\15 Drawings\048-2501-15-DRG-0801_Master Services.dwg



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BTM & S STANKOVICH PTY LTD

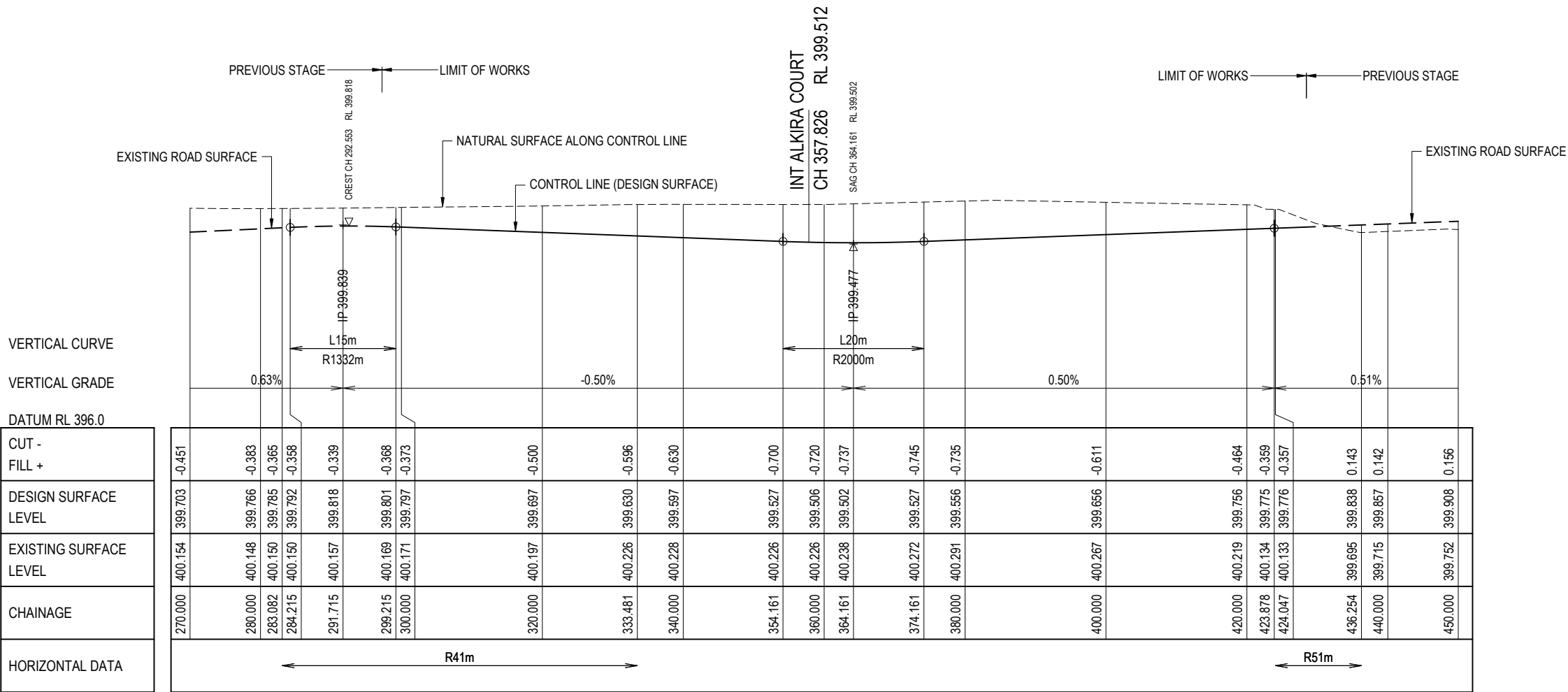
AMAROO ESTATE SUBDIVISION
STAGE 15
MASTER SERVICES PLAN

Drawn PAM
Design PAM
Checked CJC
Approved CJC
RPEQ 25102 C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0801

D

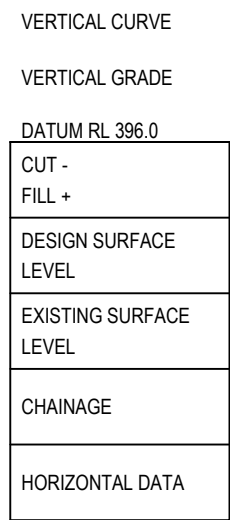


LONGITUDINAL SECTION KAROBEAN DRIVE

SCALE 1:750H

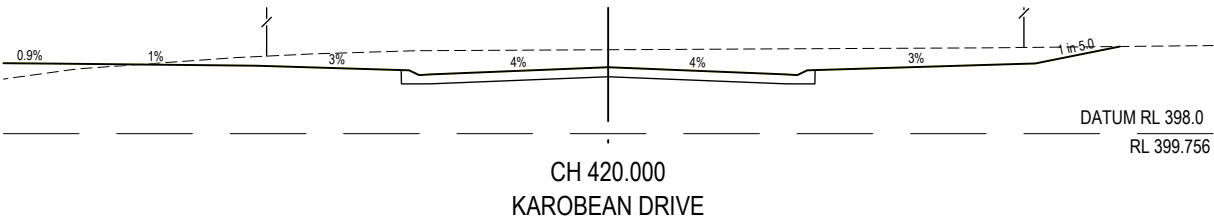
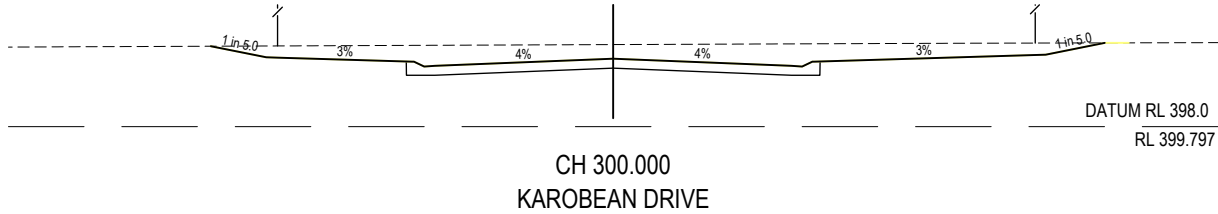
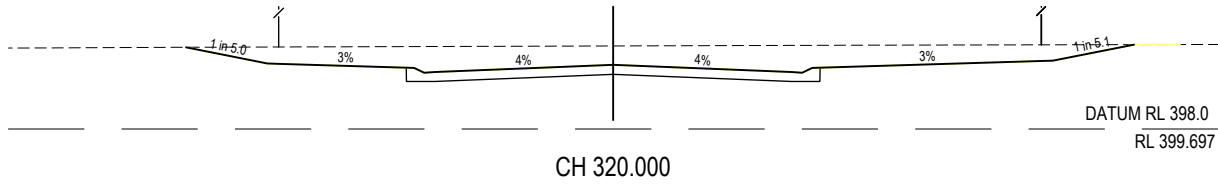
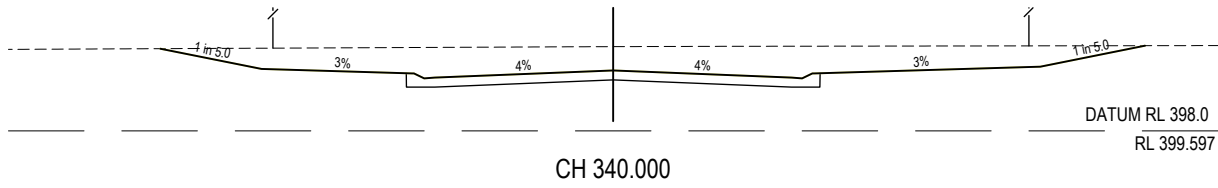
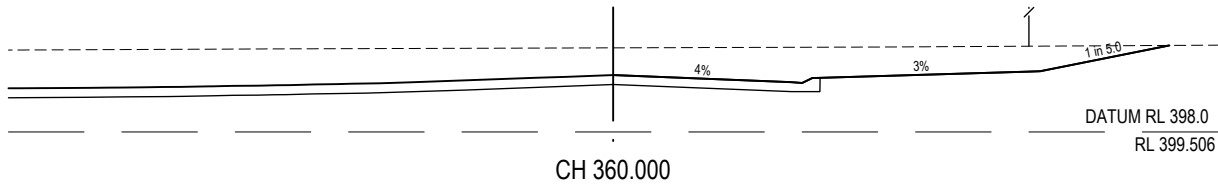
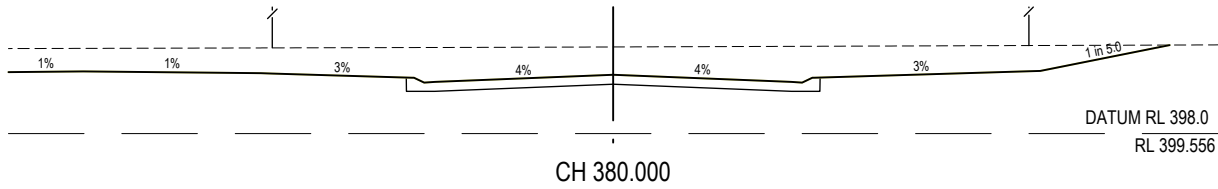
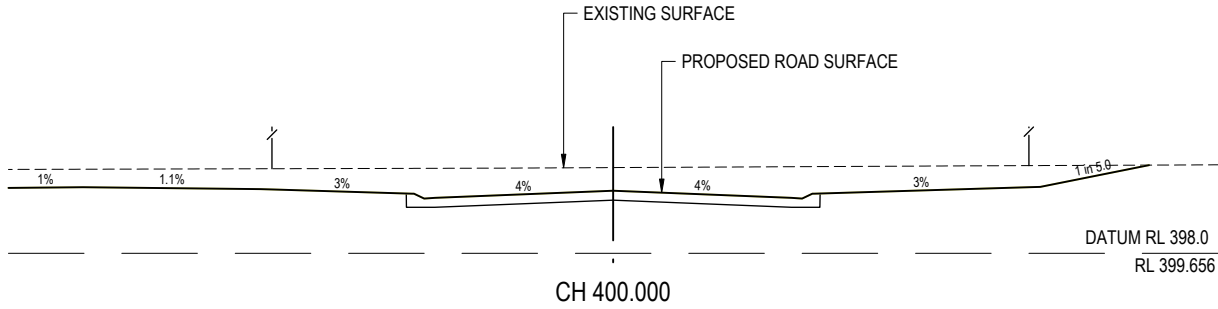
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LONGITUDINAL SECTION ALKIRA COURT
SCALE 1:750H
1:100V





B 19.06.26 ROAD NAMES AMENDED
A 30.10.25 INITIAL ISSUE

Rev Date Revision Notes

19/06/2026 3:59:12 PM File: I:\048\048-2501\110 Drawings\115 Drawings\048-2501-15-DRG-0901_Road Sections.dwg

NEON
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BTM & S STANKOVICH PTY LTD

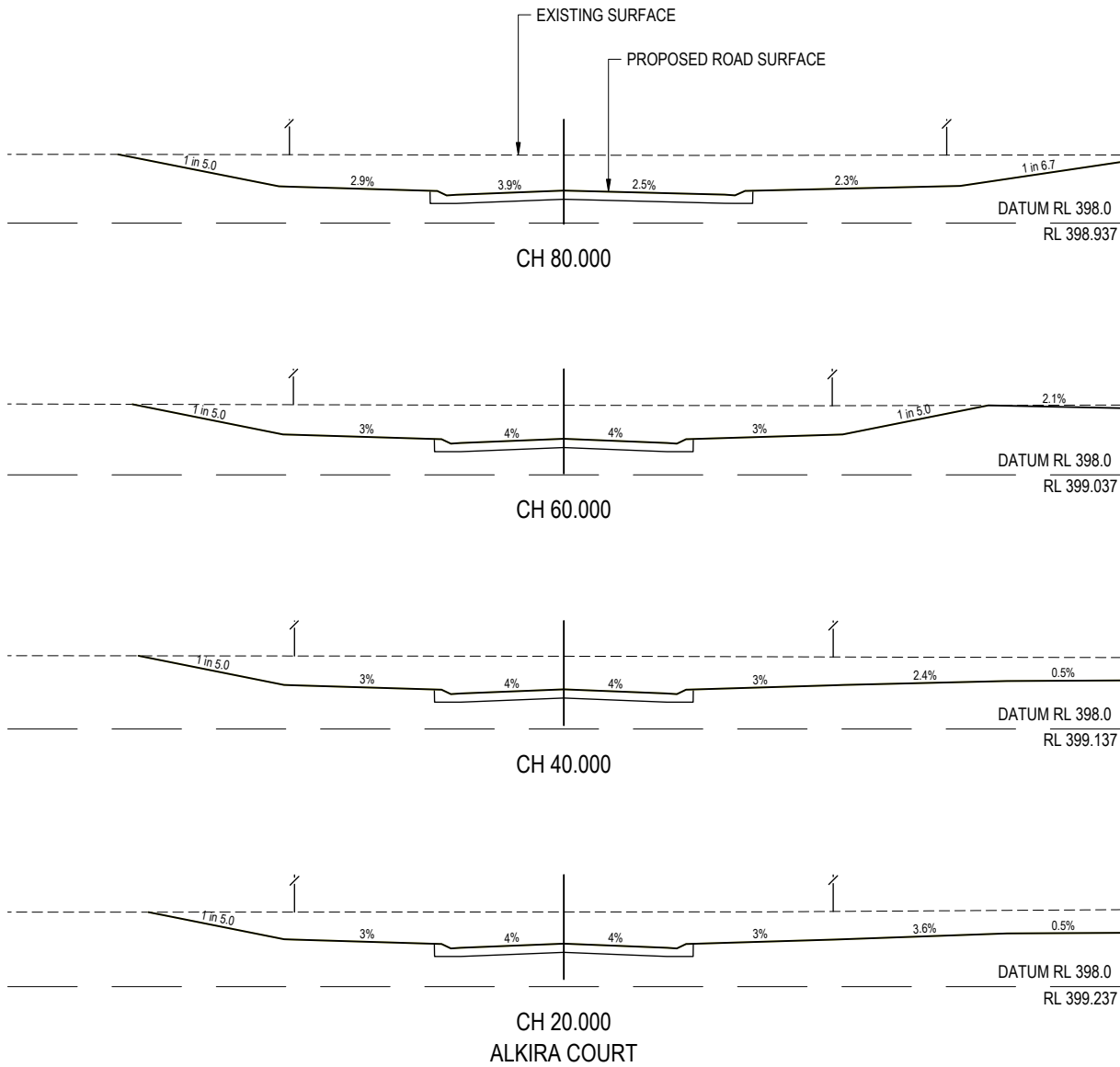
AMAROO ESTATE SUBDIVISION
STAGE 15
ROAD CROSS SECTIONS
KAROEAN DRIVE

Drawn PAM
Design PAM
Checked CJC
Apprv'd CJC
RPEQ 25102 C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0903

B



BTM & S STANKOVICH PTY LTD

AMAROO ESTATE SUBDIVISION
STAGE 15
ROAD CROSS SECTIONS
ALKIRA COURT

A 30.10.25 INITIAL ISSUE

Rev	Date	Revision Notes
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Drawn	Design	Check'd	Appr'd	RPEQ 25102
PAM	PAM	CJC	CJC	C.J.CAPLICK

A3 Full Size (Scale as shown)
30.10.25

048-2501-15-DRG-0904

A