

20th April 2026

OSE Reference: 24040

Chief Executive Officer
Mareeba Shire Council
PO Box 154
Mareeba Qld 4880

Attention: Brian Millard

RE: RAL/23/0010 – Subdivision for NQ Farming Pty Ltd at 30 Peters Street Mareeba – Operational works application

Dear Brian,

Further to Council issuing the amended decision notice, dated 19th of September 2023, for the above project we now wish to apply for operational works approval to construct this project.

The application fee and the construction monitoring fee have been calculated to be \$6246.00 and \$10782.00 respectively. The construction guarantee (which will also function as the maintenance guarantee) has been determined to be \$63,000.00 and is based on the estimated construction cost of \$1,260,000.00.

The construction monitoring fee will be paid prior to the pre-start meeting and the construction guarantee will be lodged at the same time. As this project is being lodged electronically, the OWA fee of \$6,246.00 will be paid upon receipt of Council's invoice. Early receipt of this invoice would be appreciated, and the invoice should be made out to NQ Farming Pty Ltd.

To assist Council to assess this application we enclose the following:

- Certificate of compliance for operational works design.
- Security lodgement form.
- DA Form 1.
- A PDF copy of the engineering drawings. NB: Engineering drawings will be signed following design approval.
- Copy of the decision notice.

The design is relatively straight forward and comprises the construction earthworks, Roadworks, stormwater drainage, water and sewer reticulation for 28 allotments, Upstream and downstream infrastructure requirements have been considered as well as the connection of services to the existing Council infrastructure.

Generally, the requirements and conditions of the decision notice have been met in these engineering drawings. However, there are several matters that require clarification and/or comment as follows:

Stormwater:

The design includes the provision of the Peters Street road crossing over the existing intermittent gully including stormwater infrastructure capable of carrying the 1% AEP event. The design is generally in accordance with the previously submitted engineering report and hydraulic details are provided on the drawings. The subdivision discharges stormwater to the legal points of discharge being the intermittent gully to the west and the major gully to the east.

The stormwater drainage management plan is in accordance with the previous report, and this design now becomes the SWMP. All stormwater flows have been based on the upstream catchment being fully developed. The increase in post development flow from this development is less than 5% of the catchment flows and therefore has no impact on adjacent properties and minimal impact on the downstream areas.

Roadworks:

The design incorporates the upgrading of the end of the current Peters Street and satisfies the requirements of condition 4.4. Internal roadworks are in accordance with the requirements of FNQROC.

Sewer reticulation:

This design shows the full sewer reticulation for this development, however, we advise that the sewer lines servicing lots 7 to 18 are being constructed (by agreement) as part of the adjacent Edge development to the south. The balance of the reticulation will be constructed as part of this project.

Interface with the adjacent Edge development:

We wish to raise the matter of the interface between this development and the adjacent Edge development to the South. The approval conditions only require NQ Farming to construct the internal road to the southern Boundary. We understand that the conditions applying to the Edge project only require them to provide the reserve for the extension of this road and not construct the road pavement. Therefore, under this situation there is no access to or from the edge to this development.

We understand that the provision for the connectivity between the two developments was one of the reasons for the negotiated decision notice and it would appear that without the connection there is potential for public inconvenience and confusion.

Whilst NQ Farming is not required to go past their boundary It would seem to be an appropriate time for Council to decide if the connection should be completed. Our engineering drawings include the infrastructure work required which generally include roadworks and stormwater drainage. The options available are:

1. For Council, at the appropriate time construct this connection themselves.
2. Request NQ Farming to complete the construction as part of their work with Council to pay for the connecting work based on the contract rates for NQ Farming.
3. Request NQ Farming to complete the work and for Council to credit the cost of the work against applicable infrastructure charges.
4. We would also suggest that the water reticulation main be connected to the Edge system as this will provide a complete ring main system that will assist to balance flows and pressure and provide a more reliable system.

We ask Council to consider the above suggestion and advise if they wish to proceed with construction of the connection.

We trust that we have provided sufficient detail and documentation to enable Council to proceed with its assessment and approval. Should you require any further details or information please do not hesitate to contact our office.

Yours Sincerely,



Alan McPherson
Senior Civil Engineer, RPEQ 809
OSE Group Pty Ltd

FNQROC DEVELOPMENT MANUAL

Council Mareeba Shire
(INSERT COUNCIL NAME)

STATEMENT OF COMPLIANCE OPERATIONAL WORKS DESIGN

This form duly completed and signed by an authorised agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

Name of Development Subdivision at Peters St Mareeba

Location of Development 30 Peters Street Mareeba

Applicant NQ Farming Pty Ltd

Designer OSE Group

It is hereby certified that the Calculations, Drawings, Specifications and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

| Compliance with the requirements of the Operational Works Design Guidelines | Non-Compliance refer to non-compliance report / drawing number |
|---|--|
| Plan Presentation | |
| Geotechnical requirements | N/A |
| Geometric Road Design | |
| Pavements | |
| Structures / Bridges | N/A |
| Subsurface Drainage | |
| Stormwater Drainage | |
| Site Re-grading | |
| Erosion Control and Stormwater Management | |
| Pest Plant Management | N/A |
| Cycleway / Pathways | N/A |

| | |
|--|-----------------------------|
| Landscaping | STREET TREES ONLY |
| Water Source and Disinfection/Treatment Infrastructure (if applicable) | N/A |
| Water Reticulation, Pump Stations and water storages | RETICULATION ONLY |
| Sewer Reticulation and Pump Stations | Reticulation only |
| Electrical Reticulation and Street Lighting | BY OTHERS (SPA CONSULTANTS) |
| Public Transport | N/A |
| Associated Documentation/ Specification | |
| Priced Schedule of Quantities | Estimate only |
| Referral Agency Conditions | N/A |
| Supporting Information (AP1.08) | |
| Other | |

Conscientiously believing the above statements to be true and correct, signed on behalf of:

Designer Alan McPherson for OSE Group **RPEQ No** 809

Name in Full Alan McPherson

Signature Alan McPherson Digitally signed by Alan McPherson
Date: 2022.05.23 12:08:28 +10'00' **Date** 04/20/2026

FNQROC DEVELOPMENT MANUAL

Mareeba Shire Council

SECURITY LODGEMENT FORM

This sheet must be completed prior to the acceptance of any bond by Council.

Development Name: NQ Farming – Peters St Mareeba

Stage: 1 only

Applicant: NQ Farming Pty Ltd

Consultant: OSE Group

Purpose of Bond:

Construction Security

.....
.....

Construction/Defects Liability Bond Assessment

Engineer's estimated value of completed works \$ 1,260,000

Construction/Maintenance Bond Value (apply Factor 0.05)(min \$500.00) \$ 63,000

Council shall retain any interest accrued on cash monies paid to Council and held in trust fund by Council.

Consulting Engineer: Alan McPherson for and on behalf of **OSE Group**

Signature:



RPEQ No.: 809

Date: 20th April 2026

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

| 1) Applicant details | |
|---|--------------------------------|
| Applicant name(s) <i>(individual or company full name)</i> | OSE Group |
| Contact name <i>(only applicable for companies)</i> | Alan McPherson |
| Postal address <i>(P.O. Box or street address)</i> | PO Box 809 |
| Suburb | Edge Hill |
| State | Qld |
| Postcode | 4870 |
| Country | Australia |
| Contact number | 0428772311 |
| Email address <i>(non-mandatory)</i> | Alan.mcpherson@osegroup.com.au |
| Mobile number <i>(non-mandatory)</i> | 0428772311 |
| Fax number <i>(non-mandatory)</i> | |
| Applicant's reference number(s) <i>(if applicable)</i> | 24040 |
| 1.1) Home-based business | |
| <input type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i> | |
| 2) Owner's consent | |
| 2.1) Is written consent of the owner required for this development application? | |
| <input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application | |
| <input checked="" type="checkbox"/> No – proceed to 3) | |

PART 2 – LOCATION DETAILS

| 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable | | | | |
|--|----------|---|------------------------------------|--|
| Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <u>DA Forms Guide: Relevant plans</u> . | | | | |
| 3.1) Street address and lot on plan | | | | |
| <input type="checkbox"/> Street address AND lot on plan (all lots must be listed), or <input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed). | | | | |
| a) | Unit No. | Street No. | Street Name and Type | Suburb |
| | | 30 | Peters Street | Mareeba |
| | Postcode | Lot No. | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
| | 4880 | Lot 453 | SP 247821 | Mareeba Shire |
| b) | Unit No. | Street No. | Street Name and Type | Suburb |
| | | | | |
| | Postcode | Lot No. | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
| | | | | |
| 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay) | | | | |
| Note: Place each set of coordinates in a separate row. | | | | |
| <input type="checkbox"/> Coordinates of premises by longitude and latitude | | | | |
| Longitude(s) | | Latitude(s) | | Datum |
| | | | | <input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/> |
| <input type="checkbox"/> Coordinates of premises by easting and northing | | | | |
| Easting(s) | | Northing(s) | | Datum |
| | | <input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56 | | <input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/> |
| 3.3) Additional premises | | | | |
| <input type="checkbox"/> Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application <input type="checkbox"/> Not required | | | | |
| 4) Identify any of the following that apply to the premises and provide any relevant details | | | | |
| <input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer | | | | |
| Name of water body, watercourse or aquifer: | | <input type="text"/> | | |
| <input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i> | | | | |
| Lot on plan description of strategic port land: | | <input type="text"/> | | |
| Name of port authority for the lot: | | <input type="text"/> | | |
| <input type="checkbox"/> In a tidal area | | | | |
| Name of local government for the tidal area (if applicable): | | <input type="text"/> | | |
| Name of port authority for tidal area (if applicable): | | <input type="text"/> | | |

| |
|---|
| <input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i> |
| Name of airport: <input type="text"/> |
| <input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i> |
| EMR site identification: <input type="text"/> |
| <input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i> |
| CLR site identification: <input type="text"/> |

5) Are there any existing easements over the premises?
Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

| |
|---|
| 6.1) Provide details about the first development aspect |
| a) What is the type of development? <i>(tick only one box)</i> |
| <input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input checked="" type="checkbox"/> Operational work <input type="checkbox"/> Building work |
| b) What is the approval type? <i>(tick only one box)</i> |
| <input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval |
| c) What is the level of assessment? |
| <input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i> |
| d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i> |
| Subdivision of 1 lot into 28 residential lots |
| e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i> |
| <input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application |
| 6.2) Provide details about the second development aspect |
| a) What is the type of development? <i>(tick only one box)</i> |
| <input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work |
| b) What is the approval type? <i>(tick only one box)</i> |
| <input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval |
| c) What is the level of assessment? |
| <input type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i> |
| d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i> |
| |
| e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i> |
| <input type="checkbox"/> Relevant plans of the proposed development are attached to the development application |

| |
|---|
| 6.3) Additional aspects of development |
| <input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application |
| <input checked="" type="checkbox"/> Not required |
| 6.4) Is the application for State facilitated development? |
| <input type="checkbox"/> Yes - Has a notice of declaration been given by the Minister? |
| <input checked="" type="checkbox"/> No |

Section 2 – Further development details

| | |
|---|--|
| 7) Does the proposed development application involve any of the following? | |
| Material change of use | <input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot | <input type="checkbox"/> Yes – complete division 2 |
| Operational work | <input checked="" type="checkbox"/> Yes – complete division 3 |
| Building work | <input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i> |

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

| 8.1) Describe the proposed material change of use | | | |
|---|---|---|--|
| Provide a general description of the proposed use | Provide the planning scheme definition <i>(include each definition in a new row)</i> | Number of dwelling units <i>(if applicable)</i> | Gross floor area (m ²) <i>(if applicable)</i> |
| | | | |
| | | | |
| | | | |
| 8.2) Does the proposed use involve the use of existing buildings on the premises? | | | |
| <input type="checkbox"/> Yes | | | |
| <input type="checkbox"/> No | | | |
| 8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation? | | | |
| <input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application | | | |
| <input type="checkbox"/> No | | | |
| Provide a general description of the temporary accepted development | | Specify the stated period dates under the Planning Regulation | |
| | | | |

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

| | |
|---|---|
| 9.1) What is the total number of existing lots making up the premises? | |
| | |
| 9.2) What is the nature of the lot reconfiguration? <i>(tick all applicable boxes)</i> | |
| <input type="checkbox"/> Subdivision <i>(complete 10)</i> | <input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i> |
| <input type="checkbox"/> Boundary realignment <i>(complete 12)</i> | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i> |

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

| | | | | |
|------------------------------|-------------|------------|------------|------------------------|
| Intended use of lots created | Residential | Commercial | Industrial | Other, please specify: |
| Number of lots created | | | | |

10.2) Will the subdivision be staged?

Yes – provide additional details below
 No

How many stages will the works include? _____

What stage(s) will this development application apply to? _____

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

| | | | | |
|-------------------------------|-------------|------------|------------|------------------------|
| Intended use of parts created | Residential | Commercial | Industrial | Other, please specify: |
| Number of parts created | | | | |

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

| Current lot | | Proposed lot | |
|-------------------------|------------------------|-------------------------|------------------------|
| Lot on plan description | Area (m ²) | Lot on plan description | Area (m ²) |
| | | | |
| | | | |

12.2) What is the reason for the boundary realignment?

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

| Existing or proposed? | Width (m) | Length (m) | Purpose of the easement? (e.g. pedestrian access) | Identify the land/lot(s) benefitted by the easement |
|-----------------------|-----------|------------|---|---|
| | | | | |
| | | | | |

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

| | | |
|--|--|---|
| <input checked="" type="checkbox"/> Road work | <input checked="" type="checkbox"/> Stormwater | <input checked="" type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input checked="" type="checkbox"/> Earthworks | <input checked="" type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: _____ | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

Yes – specify number of new lots: 28

No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$1,260,000

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

| |
|--|
| <input type="checkbox"/> SEQ northern inter-urban break – community activity <input type="checkbox"/> SEQ northern inter-urban break – indoor recreation <input type="checkbox"/> SEQ northern inter-urban break – urban activity <input type="checkbox"/> SEQ northern inter-urban break – combined use <input type="checkbox"/> Tidal works or works in a coastal management district <input type="checkbox"/> Reconfiguring a lot in a coastal management district or for a canal <input type="checkbox"/> Erosion prone area in a coastal management district <input type="checkbox"/> Urban design <input type="checkbox"/> Water-related development – taking or interfering with water <input type="checkbox"/> Water-related development – removing quarry material (<i>from a watercourse or lake</i>) <input type="checkbox"/> Water-related development – referable dams <input type="checkbox"/> Water-related development – levees (<i>category 3 levees only</i>) <input type="checkbox"/> Wetland protection area |
| Matters requiring referral to the local government: <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) (<i>only if the ERA has been devolved to local government</i>) <input type="checkbox"/> Heritage places – Local heritage places |
| Matters requiring referral to the Chief Executive of the distribution entity or transmission entity: <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure |
| Matters requiring referral to: <ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure |
| Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Ports – Brisbane core port land |
| Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994: <input type="checkbox"/> Ports – Brisbane core port land (<i>where inconsistent with the Brisbane port LUP for transport reasons</i>) <input type="checkbox"/> Ports – Strategic port land |
| Matters requiring referral to the relevant port operator, if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane’s port limits (<i>below high-water mark</i>) |
| Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Ports – Land within limits of another port (<i>below high-water mark</i>) |
| Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works or work in a coastal management district (<i>in Gold Coast waters</i>) |
| Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works or work in a coastal management district (<i>involving a marina (more than six vessel berths)</i>) |

| | | |
|---|-----------------|---------------------------|
| 18) Has any referral agency provided a referral response for this development application? | | |
| <input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No | | |
| Referral requirement | Referral agency | Date of referral response |
| | | |
| Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (<i>if applicable</i>). | | |
| | | |

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

- I agree to receive an information request if determined necessary for this development application
 I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application
 No

| List of approval/development application references | Reference number | Date | Assessment manager |
|--|------------------|---------------------------|--------------------|
| <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application | RAL/23/0010 | 19 th Sep 2023 | Mareeba Shire |
| <input type="checkbox"/> Approval <input type="checkbox"/> Development application | | | |

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

| Amount paid | Date paid (dd/mm/yy) | QLeave levy number (A, B or E) |
|-------------|----------------------|--------------------------------|
| \$ | | |

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
 No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

| | | | |
|----------------------|--|-------------------------|--|
| Proposed ERA number: | | Proposed ERA threshold: | |
| Proposed ERA name: | | | |

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated *resource* allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

Note: See guidance materials at www.resources.qld.gov.au for further information.



Queensland
Government

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title

No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



**Queensland
Government**

25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

| | |
|---|--|
| Prescribed assessment manager | |
| Name of chosen assessment manager | |
| Date chosen assessment manager engaged | |
| Contact number of chosen assessment manager | |
| Relevant licence number(s) of chosen assessment manager | |

QLeave notification and payment

Note: For completion by assessment manager if applicable

| | | | |
|---|--|----------------------|--|
| Description of the work | | | |
| QLeave project number | | | |
| Amount paid (\$) | | Date paid (dd/mm/yy) | |
| Date receipted form sighted by assessment manager | | | |
| Name of officer who sighted the form | | | |

22 May 2025

Planning Officer: Carl Ewin
Direct Telephone: 07 4086 4656
Our Reference: RAL/23/0010
Your Reference: F23/21

N Q Farming Pty Ltd TTE
C/- Freshwater Planning
17 Barron View Drive
FRESHWATER QLD 4870

Dear Applicants,

Negotiated Decision Notice

Planning Act 2016

I refer to your application and the representations you made in respect to the decision notice issued on 19 March 2025. On 21 May 2025, Council decided your representations.

Details of the decision are as follows:

APPLICATION DETAILS

Application No: RAL/23/0010
Street Address: 30 Peters Street, Mareeba
Real Property Description: Lot 453 on SP247821
Planning Scheme: Mareeba Shire Council Planning Scheme 2016

DECISION DETAILS

Council, on 21 May 2025, decided to issue the following type of approval:

Development Permit for Reconfiguration of a Lot – Subdivision (1 lot into 27 lots) in two (2) stages

In relation to representations, Council decided to resolve the following:

- (a) Condition 4.5 of Council's Decision Notice issued on 19 March 2025 be amended as follows:

4.5. *Link Road to The edge Estate – Stage 2.*

- (a) *A 15.5 metre wide (Access Street) road reserve must be opened between the new internal road and Lot 300 on SP336263 (The Edge Estate). The road*

reserve must connect to the proposed road reserve to be located generally within the confines of proposed Lot 5 as shown on Drawing 1458-Co1 (marked as Link Road)

- (b) *A new road linking the internal road to ~~Antonio Drive~~ **the southern boundary of Lot 453 on SP247821** must be designed and constructed to Access Street standard in accordance with Council's FNQROC Development Manual, as detailed in Table D.1.1*

CURRENCY PERIOD OF APPROVAL

The currency period for this development approval is **(4) four years** starting the day that this development approval takes effect. (Refer to Section 85 "Lapsing of approval at end of currency period" of the *Planning Act 2016*.)

INFRASTRUCTURE

Where conditions relate to the provision of infrastructure, these are non-trunk infrastructure conditions unless specifically nominated as a "*necessary infrastructure condition*" for the provision of trunk infrastructure as defined under Chapter 4 of the *Planning Act 2016*.

CONSOLIDATED ASSESSMENT MANAGER CONDITIONS

(C) ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)

(a) Development assessable against the Planning Scheme

1. Development must be carried out generally in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, and subject to any alterations:
 - found necessary by the Council's delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
 - to ensure compliance with the following conditions of approval.
2. Timing of Effect
 - 2.1 The conditions of the development permit must be complied with to the satisfaction of Council's delegated officer prior to the endorsement of the plan of survey for each stage of the development, or alternative documentation as approved by the Land Title Act, except where specified otherwise in these conditions of approval.
3. General
 - 3.1 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.

-
- 3.2 All payments or bonds required to be made to the Council pursuant to any condition of this approval or the Adopted Infrastructure Charges Notice must be made prior to the endorsement of the plan of survey, or alternative documentation as approved by the Land Title Act and at the rate applicable at the time of payment.
 - 3.3 The developer must relocate (in accordance with FNQROC standards) any services such as water, sewer, drainage, telecommunications and electricity that are not wholly located within the lots that are being created/serviced where required by the relevant authority, unless approved by Council's delegated officer.
 - 3.4 Where utilities (such as sewers on non-standard alignments) traverse lots to service another lot, easements must be created in favour of Council for access and maintenance purposes. The developer is to pay all costs (including Council's legal expenses) to prepare and register the easement documents.
 - 3.5 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.

3.6 Charges

All outstanding rates, charges, and expenses pertaining to the land are to be paid in full.

4. Infrastructure Services and Standards

4.1 Stormwater Drainage

- (a) The applicant/developer must take all necessary steps to ensure a non-worsening effect on surrounding land as a consequence of the development.
- (b) Prior to works commencing the applicant must submit a Stormwater Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual to the satisfaction of Council's delegated officer.
- (c) Prior to works commencing the applicant must submit a Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline to the satisfaction of Council's delegated officer.
- (d) The Stormwater Quality Management Plan must include an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia) to the satisfaction of Council's delegated officer.

- (e) The applicant/developer must construct the stormwater drainage infrastructure in accordance with the approved Stormwater Management Plan and/or Stormwater Quality Management Plan and Report.
- (f) Temporary drainage is to be provided and maintained during the construction phase of the development, discharged to a lawful point and not onto the construction site.
- (g) All stormwater channels through private property must be registered, with the easement for drainage purposes in favour of Council. All documentation leading to the registration of the easement must be completed at no cost to Council.
- (h) All stormwater drainage collected from the site must be discharged to an approved legal point of discharge.
- (i) The applicant (at their cost) must video all stormwater lines and submit the video for inspection by Council's delegated officer prior to the development being taken "off maintenance" to ensure that no defects have occurred during the 12 month maintenance period.
- (j) All drainage easements must be constructed to prevent erosion. Construction may be in the form of a concrete invert, with outlet protection.

4.2 Earthworks

All earthworks must be carried out in accordance with the requirements of the FNQROC Development Manual (as amended) to the satisfaction of Council's delegated officer.

4.3 Roadworks/footpaths – Internal

- (a) The subdivision internal roads must be designed and constructed to Access Street standard in accordance with Council's FNQROC Development Manual, as detailed in Table D.1.1
- (b) Individual property access must be designed in accordance with the requirements of FNQROC Development Manual. Appropriate distances are required from intersections and tangent points in accordance with AS2890.1.

The provision of layback/roll-over kerbing along the frontage of each allotment will satisfy this condition for all non-rear (access handle) lots.

- (c) For all rear (access handle) lots:

An asphalt sealed, or concrete driveway shall be provided within each access handle of the proposed lots/s to the satisfaction of Council's delegated officer. The driveway will:

- have a minimum formation width of 3 metres.
 - be constructed for the full length of the access handle.
 - be formed with one-way crossfall to cater for stormwater drainage such that any stormwater runoff is contained within the access handle.
 - service and utility conduits are to be provided for the full length of the concrete or sealed driveway constructed within the access handle.
- (d) The diameter of the cul-de-sacs must be suitable for the largest refuse collection vehicle used throughout the shire to be able to turn around in a forward direction. Swept path diagrams must be submitted as part of the development application for Operational Works to demonstrate this requirement.
- (e) A temporary asphalt vehicle turnaround at the end of all partially constructed roads must be provided of a sufficient size to turnaround a refuse collection vehicle, either in a continuous forward movement or by a three-point turn.
- (f) Two (2) metre wide concrete pedestrian footpaths must be installed along one side of the internal road/s. The horizontal alignment of all footpaths must comply with the FNQROC development Manual (specifically Standard Drawing S1004A).
- 4.4 Roadworks - External (Peters Street and unnamed road reserve connecting to the new internal road) – Stage 1**

Peters Street, from the eastern boundary of Lot 12 on M356104 (33 Peters Street), and the unnamed road reserve connecting to the new internal road, must be designed and constructed to Access Street standard in accordance with Council's FNQROC Development Manual, as detailed in Table D.1.1.

In relation to representations, Council decided to resolve that Condition 4.5 of Council's Decision Notice issued on 19 March 2025 be amended as follows:

4.5 — Link road to The Edge Estate — Stage 2

- (a) — A 15.5 metre wide (Access Street) road reserve must be opened between the new internal road and Lot 300 on SP336263 (The Edge Estate). The road reserve must connect to a proposed road reserve to be located generally within the confines of proposed Lot 5 as shown on Drawing 1458 — C01 (marked as Link Road).*
- (b) — A new road linking the new internal road to Antonio Drive must be designed and constructed to Access Street standard in accordance with Council's FNQROC Development Manual, as detailed in Table D.1.1.*

4.5. Link Road to The edge Estate – Stage 2.

- (a) A 15.5 metre wide (Access Street) road reserve must be opened between the new internal road and Lot 300 on SP336263 (The Edge Estate). The road reserve must connect to the proposed road reserve to be located generally within the confines of proposed Lot 5 as shown on Drawing 1458-Co1 (marked as Link Road)
- (b) A new road linking the internal road to ~~Antonio Drive~~ the southern boundary of Lot 453 on SP247821 must be designed and constructed to Access Street standard in accordance with Council's FNQROC Development Manual, as detailed in Table D.1.1

4.6 Water Supply

- (a) A water service connection must be provided to each proposed lot in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.
- (b) Where the existing reticulated water supply does not currently service the site or is not at an adequate capacity, the developer is required to extend or upgrade the reticulated water supply infrastructure to connect the site to Council's existing infrastructure at a point that has sufficient capacity to service the development in accordance with FNQROC Development Manual standards (as amended).

4.7 Sewerage Connection

- (a) The developer must connect the proposed development to Council's reticulated sewerage system in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.
- (b) Where sewerage connections are not available to the site, or where existing connections are not satisfactory for the proposed development, the developer is required to extend or upgrade the reticulated sewerage infrastructure to connect the site to Council's existing infrastructure at a point that has sufficient capacity to service the development in accordance with FNQROC Development Manual standards (as amended).

4.8 Electricity provision/supply

The applicant/developer must ensure that an appropriate level of electricity supply is provided to each allotment in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.

Written advice from an Electricity Service Provider is to be provided to Council indicating that an agreement has been made for the provision of power reticulation.

4.9 Telecommunications

The applicant/developer must enter into an agreement with a telecommunication carrier to provide telecommunication services to each allotment and arrange provision of necessary conduits and enveloping pipes.

4.10 Lighting

Prior to the issue of a development permit for Operational Works a Rate 2 lighting scheme is to be prepared by an Ergon Energy approved consultant and submitted to Council for approval. The Rate 2 lighting scheme is to be designed in accordance with the relevant Road Lighting Standard AS/NZS 1158 and the FNQROC Development Manual. The applicable lighting category is to be determined from the Road Hierarchy Table D1.1.

4.11 Street Trees

One (1) street tree must be at the planted at centre of each lot's road frontage. Corner allotments must have a street tree planted on each frontage.

All street trees must be provided in accordance with the FNQROC Development Manual - Design Manual D9 Landscaping.

Plans for the development works required under Conditions 4.1 - 4.11 must be submitted to Council for approval as part of a subsequent application for operational works.

REFERRAL AGENCIES

Not Applicable.

APPROVED PLANS AND DOCUMENTS

The following plans are Approved plans for the development:

Approved Plans

| Plan/Document Number | Plan/Document Title | Prepared by | Dated |
|----------------------|--|-----------------------|------------|
| 9118-LL1 Rev A | Development Plan Proposed Reconfiguration of a Lot (1 Lot into 27 Lots) Staged Development | Twine Surveys Pty Ltd | 26.07.2023 |
| - | Link Road location | - | - |

ADVISORY NOTES

The following notes are included for guidance and information purposes only and do not form part of the assessment manager conditions:

(D) ASSESSMENT MANAGER'S ADVICE

- (a) An Adopted Infrastructure Charges Notice has been issued with respect to the approved development. The Adopted Infrastructure Charges Notice details the type of infrastructure charge/s, the amount of the charge/s and when the charge/s are payable.

-
- (b) The Adopted Infrastructure Charges Notice does not include all charges or payments that are payable with respect to the approved development. A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.

- (c) Easement Documents

Council has developed standard easement documentation to assist in the drafting of formal easement documents for Council easements. Please contact the Planning Section for more information regarding the drafting of easement documents for Council easements.

- (d) Endorsement Fees

Council charges a fee for the endorsement of a Survey Plan, Community Management Statements, easement documents, and covenants. The fee is set out in Council's Fees & Charges Schedule applicable for each respective financial year.

- (e) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

- (f) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.dcceew.gov.au.

- (g) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the "cultural heritage duty of care"). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.dsdsatsip.qld.gov.au.

- (h) Electric Ants

Electric ants are designated as restricted biosecurity matter under the *Biosecurity Act 2014*.

Certain restrictions and obligations are placed on persons dealing with electric ant carriers within the electric ant restricted zone. Movement restrictions apply in accordance with Sections 74–77 of the *Biosecurity Regulation 2016*. Penalties may be imposed on movement of electric ant carriers and electric ants in contravention of the legislated restrictions. It is the responsibility of the applicant to check if the nominated property lies within a restricted zone.

All persons within and outside the electric ant biosecurity zone have an obligation (a **general biosecurity obligation**) to manage biosecurity risks and threats that are under their

control, they know about, or they are expected to know about. Penalties may apply for failure to comply with a general biosecurity obligation.

For more information please visit the electric ant website at [Electric ants in Queensland | Business Queensland](#) or contact Biosecurity Queensland 13 25 23.

PROPERTY NOTES

Not Applicable.

FURTHER DEVELOPMENT PERMITS REQUIRED

- Development Permit for Operational Work

SUBMISSIONS

There were 1 (one) properly made submissions about the application. In accordance with the *Planning Act 2016*, the name, residential or business address, and electronic address of the principal submitter for each properly made submission is provided below:

| Name of Principal submitter | Address |
|--------------------------------|------------------------------------|
| 1. A & N Singh and B & C Thies | 11 Antonio Drive, Mareeba QLD 4880 |

RIGHTS OF APPEAL

You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* is attached.

17. OTHER DETAILS

If you wish to obtain more information about Council's decision, electronic copies are available online at www.msc.qld.gov.au, or at Council Offices.

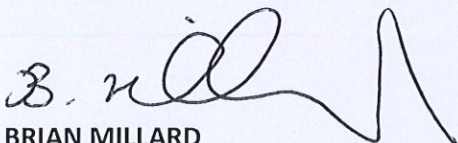
DECISION NOTICE HISTORY

RAL/23/0010 - Original Decision Notice dated 19 March 2025.

RAL/23/0010 – Adopted Infrastructure Charges Notice dated 19 March 2025.

RAL/23/0010 - Negotiated Decision Notice dated 22 May 2025.

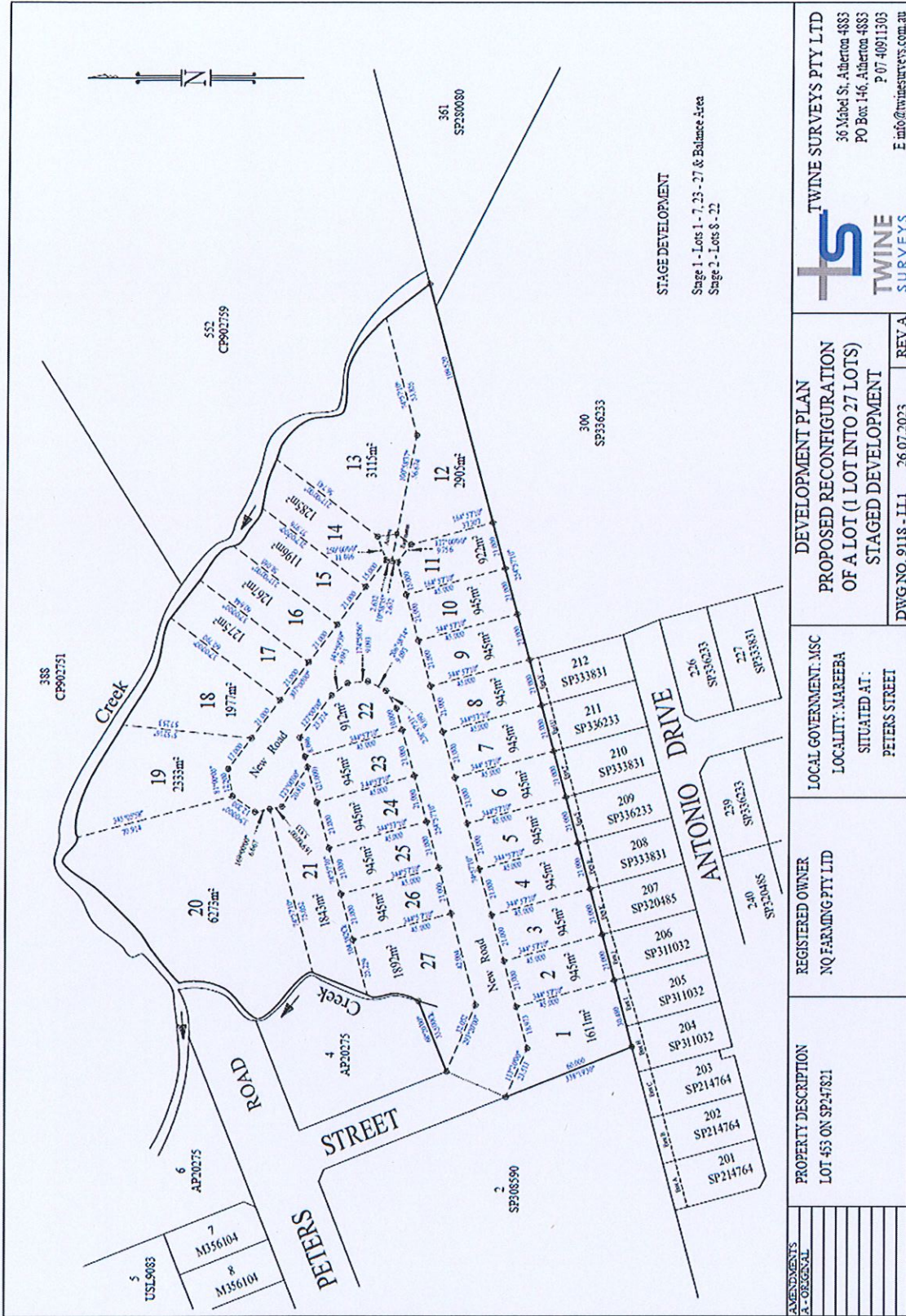
Yours faithfully



BRIAN MILLARD
COORDINATOR PLANNING & BUILDING

Enc: Approved Plans/Documents

Approved Plans/Documents



TWINE SURVEYS PTY LTD
 36 Mabel St, Alherton 4883
 PO Box 146, Alherton 4883
 P 07 40911303
 E info@twinesurveys.com.au

DEVELOPMENT PLAN
PROPOSED RECONFIGURATION
OF A LOT (1 LOT INTO 27 LOTS)
STAGED DEVELOPMENT

LOCAL GOVERNMENT: MSC
 LOCALITY: MAREEBA
 SITUATED AT:
 PETERS STREET

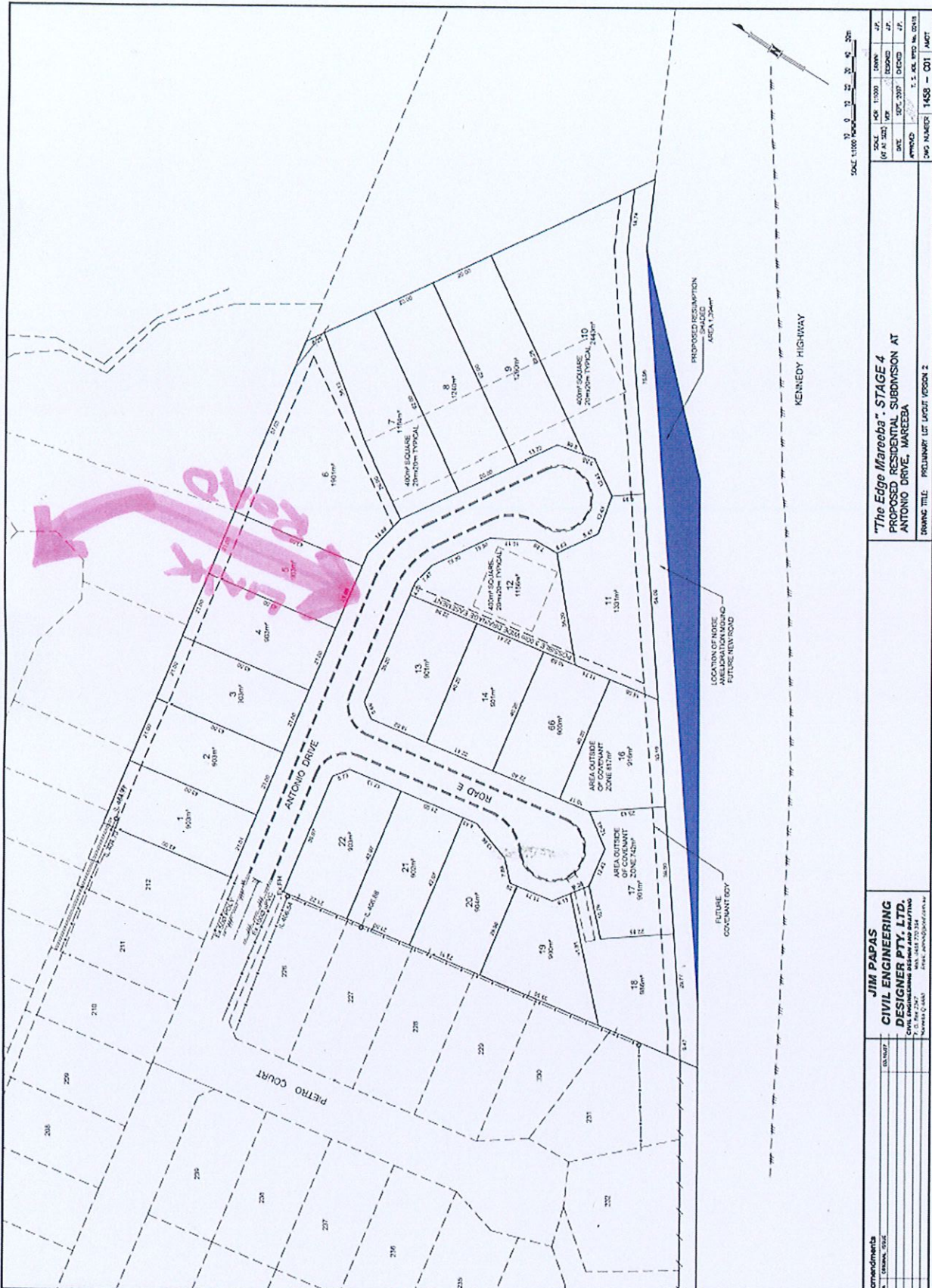
REGISTERED OWNER
 NQ FARMING PTY LTD

PROPERTY DESCRIPTION
 LOT 453 ON SP247821

AMENDMENTS
 A - ORIGINAL

DWG NO. 9118 - 1L1 26.07.2023 REV A

22/5/2025
[Handwritten signature]



| | | | |
|------------|------------------------------|------|----------|
| SCALE | 1:1000 | DATE | 1/1/2025 |
| DATE | 1/1/2025 | BY | J.P. |
| BY | J.P. | CHKD | J.P. |
| CHKD | J.P. | DATE | 1/1/2025 |
| PROJECT | "The Edge Mareeba" - STAGE 4 | | |
| DWG NUMBER | 1458 - 011 - MPT | | |

FORMING TITLE: PRELIMINARY LOT LAYOUT PERSON 2

"The Edge Mareeba" - STAGE 4
 PROPOSED RESIDENTIAL SUBDIVISION AT
 ANTONIO DRIVE, MAREEBA

JIM PAPAS
 CIVIL ENGINEERING
 DESIGNER PTY. LTD.
 CIVIL ENGINEERING DESIGNER AND SURVEYOR
 No. 1488 750 334
 1/1/2025

| | | |
|------------|----------|------|
| amendments | DATE | BY |
| 1 | 1/1/2025 | J.P. |

22/5/2025
 J.P.

Appeal Rights

PLANNING ACT 2016 & THE PLANNING REGULATION 2017

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 of the *Planning Act 2016* states –
- (a) Matters that may be appealed to –
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) The person-
 - (i) who may appeal a matter (**the appellant**); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.

(Refer to Schedule 1 of the Planning Act 2016)

- (2) An appellant may start an appeal within the appeal period.
- (3) The **appeal period** is –
- (a) for an appeal by a building advisory agency – 10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal – at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises – 20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against an infrastructure charges notice – 20 business days after the infrastructure charges notice is given to the person; or
 - (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given – 30 business days after the applicant gives the deemed approval notice to the assessment manager; or
 - (f) for any other appeal – 20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note –

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt. It is declared that an appeal against an infrastructure charges notice must not be about-

- (a) the adopted charge itself; or
- (b) for a decision about an offset or refund-
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that-
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to –
 - (a) the respondent for the appeal ; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, table 1, item 1 – each principal submitter for the development application; and
 - (d) for and appeal about a change application under schedule 1, table 1, item 2 – each principal submitter for the change application; and
 - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
 - (f) for an appeal to the P&E Court – the chief executive; and
 - (g) for an appeal to a tribunal under another Act – any other person who the registrar considers appropriate.
- (4) The *service period* is –
 - (a) if a submitter or advice agency started the appeal in the P&E Court – 2 business days after the appeal has started; or
 - (b) otherwise – 10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section –

decision includes-

 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or failure to make a decision; and

(d) a purported decision ; and

(e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter-

(a) is final and conclusive; and

(b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the Judicial Review Act 1991 or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and

(c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with the rules of the P&E Court.

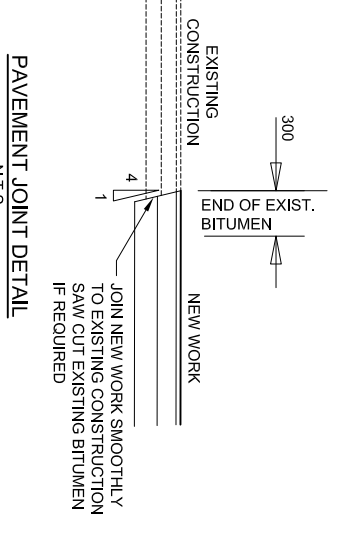
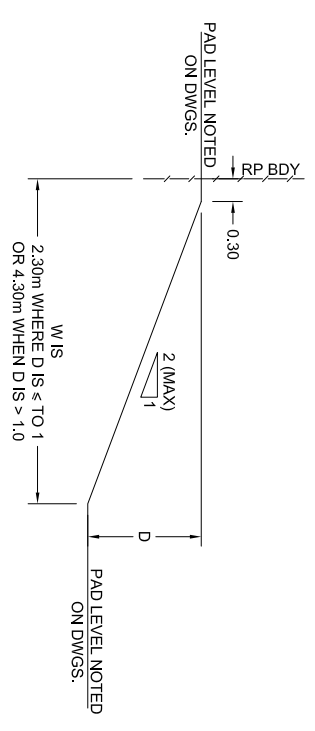
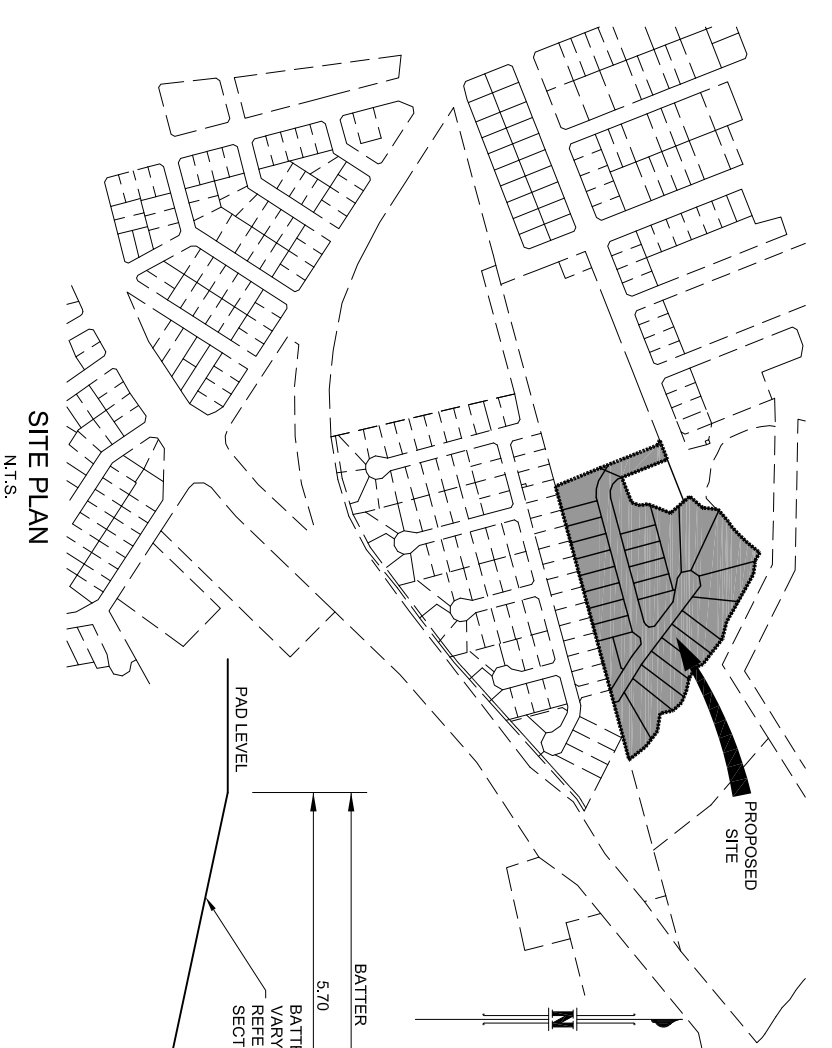
**PROPOSED
RESIDENTIAL SUBDIVISION
AT
PETERS STREET MAREEBA
FOR
N.Q. FARMING PTY. LTD. TTE**

PRELIMINARY



Address: 35 ABBOTT ST. CAIRNS 4870
Email: enr@osegroup.com.au

APRIL 2026

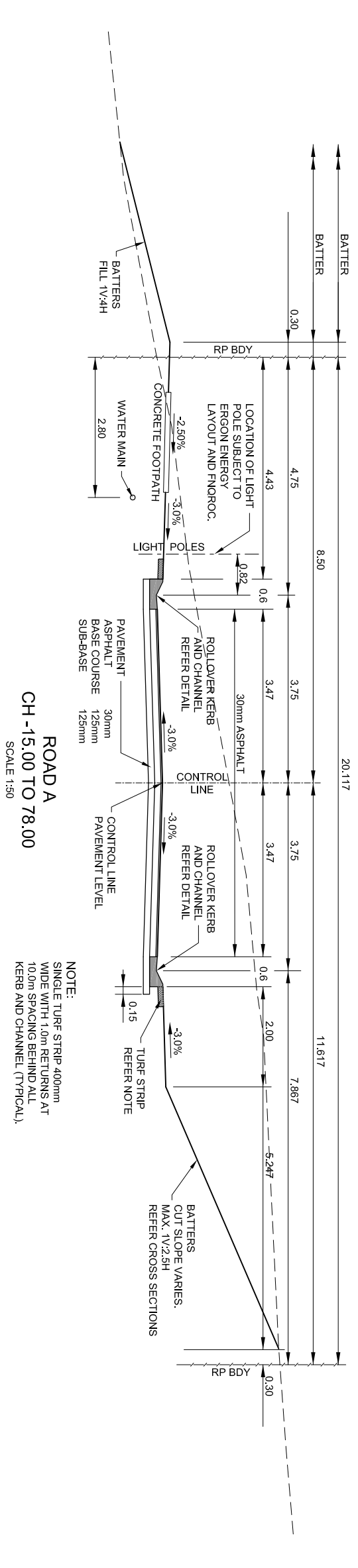
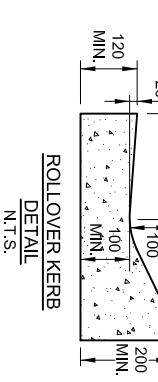
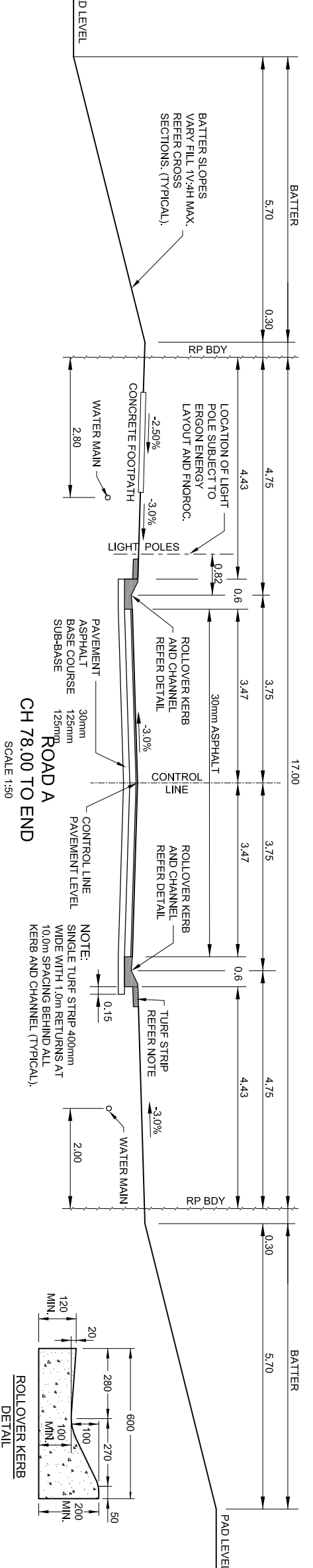
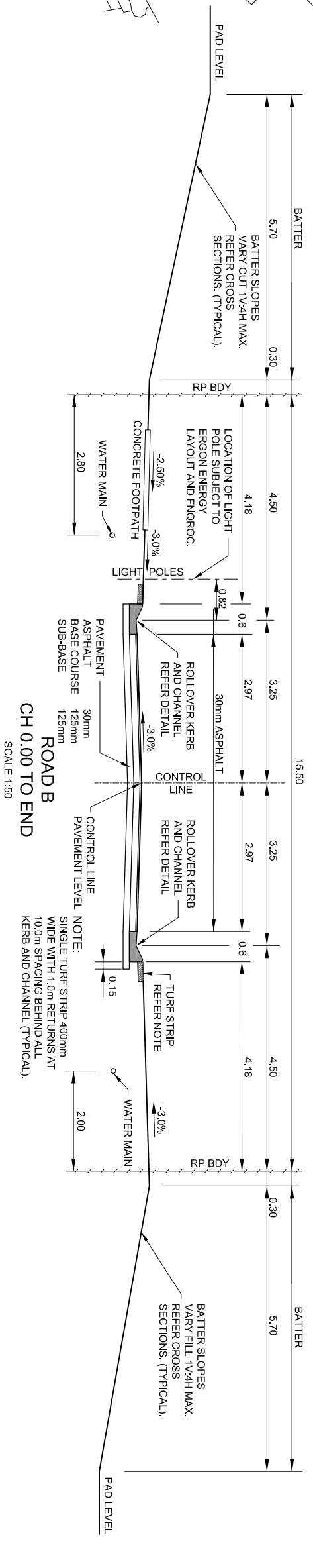


| SURVEY MARKS | | | | |
|--------------|------------|-------------|---------|-------------|
| Point # | Easting | Northing | Level | Description |
| 1 | 333079.341 | 8118855.898 | 406.398 | PM 195713 |
| 2 | 332879.427 | 8119028.879 | 401.977 | STN |
| 3 | 332948.027 | 8119027.772 | 395.935 | STN |
| 4 | 333077.584 | 8119028.550 | 400.041 | STN |
| 5 | 333164.731 | 8119010.349 | 403.557 | STN |
| 6 | 333178.259 | 8119331.214 | 405.064 | STN |
| 7 | 333094.748 | 8119924.653 | 404.590 | STN |
| 8 | 332876.011 | 8118818.226 | 401.750 | STN |
| 9 | 332393.842 | 8117805.674 | 425.911 | STN |

NOTE:
PM 195713 IS LOCATED IN ANTONIO DRIVE
AND IS NOT SHOWN ON THE DRAWING COS

LIST OF DRAWINGS

- C01 LOCALITY PLAN, TYPICAL CROSS SECTIONS, SURVEY MARKS, DRAWING INDEX AND DETAILS.
- C02 GENERAL NOTES.
- C03 BULK EARTHWORKS PLAN
- C04 SOIL AND WATER MANAGEMENT STRATEGY
- C05 EARTHWORKS, ROADWORKS AND STORMWATER DRAINAGE PLAN
- C06 ROBB ROAD - LONGITUDINAL SECTION AND SET OUT DATA (SHEET 1 OF 2)
- C07 ROBB ROAD - LONGITUDINAL SECTION (SHEET 2 OF 2)
- C08 ROBB ROAD - CROSS SECTIONS (SHEET 1 OF 6)
- C09 ROBB ROAD - CROSS SECTIONS (SHEET 2 OF 6)
- C10 ROBB ROAD - CROSS SECTIONS (SHEET 3 OF 6)
- C11 ROBB ROAD - CROSS SECTIONS (SHEET 4 OF 6)
- C12 ROBB ROAD - CROSS SECTIONS (SHEET 5 OF 6)
- C13 ROBB ROAD - CROSS SECTIONS (SHEET 6 OF 6)
- C14 ROAD A - ROBB ROAD - LONGITUDINAL SECTION AND SET OUT DATA
- C15 ROAD A - CROSS SECTIONS (SHEET 1 OF 2)
- C16 ROAD A - CROSS SECTIONS (SHEET 2 OF 2)
- C17 OPEN DRAIN - LONGITUDINAL SECTION, TYPICAL CROSS SECTION, CROSS SECTIONS AND SET OUT.
- C18 OPEN DRAIN - CROSS SECTIONS (SHEET 1 OF 1)
- C19 WATER SUPPLY RETICULATION PLAN
- C20 CUL DE SAC AND INTERSECTION DETAILS
- C21 DRAINAGE CROSS SECTIONS
- C22 DETAIL OF MAIN DRAIN CROSSING AT ROBB ROAD AND ACCESS TO LOT 24
- C23 MAIN DRAIN AND LOT 24 ACCESS - LONGITUDINAL SECTIONS
- C24 MAIN DRAIN - CROSS SECTIONS (SHEET 1 OF 1)
- C25 STORMWATER DRAINAGE LONGITUDINAL SECTIONS (SHEET 1 OF 2)
- C26 STORMWATER DRAINAGE LONGITUDINAL SECTIONS (SHEET 2 OF 2)
- C27 STORMWATER DRAINAGE CATCHMENT PLAN - OVERALL CATCHMENT CATCHMENT
- C28 STORMWATER DRAINAGE CATCHMENT PLAN - DEVELOPED CATCHMENT
- C29 STORMWATER DRAINAGE CALCULATION SHEET
- C30 PLAN SHOWING EXTENT OF Q100 INUNDATION IN ROADS AND DRAINS



| REV | DATE | REVISION NOTES |
|-----|----------|---|
| A | 10/04/26 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

SCALE 1:50
 DO NOT SCALE DRAWINGS
 Scales Before Reduction
 500 0 500 1000 1500 2000 2500 mm

DESIGNER
OSE GROUP
 Address: 38 ABBOTT ST CHENS 4870
 Email: dnr@osegroup.com.au

CLIENT
N.Q. FARMING PTY. LTD. TTE

PROJECT
**PROPOSED RESIDENTIAL SUBDIVISION
 AT PETERS STREET, MAREEBA**

TITLE
**LOCALITY PLAN, TYPICAL CROSS
 SECTIONS, SURVEY MARKS,
 DRAWING INDEX AND DETAILS**
PRELIMINARY

SURVEY & EXISTING SERVICES

- HORIZONTAL DATUM IS 2020 MGA ZONE 55
- LEVEL DATUM IS AHD.
- THE ORIGIN FOR THE LEVELS IS - PM POINT #2 ON DWG C01 RL 739.209 AND LOCATED AT 338231.968E, 8096290.687N
- REFER TWINE SURVEYS FOR THE SURVEY STATION SETUP DETAILS
- THE EXISTING SERVICES SHOWN ON THESE DRAWINGS ARE DERIVED FROM SURFACE SURVEY AND COUNCIL RECORDS AND MAY NOT REPRESENT THE EXISTING SERVICES PRESENT BELOW THE SURFACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE ALL EXISTING SERVICES PRIOR TO ANY EXCAVATION, PARTICULARLY ON FOOTPATHS.
- ALL DAMAGE TO EXISTING SERVICES SHALL BE MADE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT AND THE RELEVANT AUTHORITY. ALL AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOTIFY THE RELEVANT AUTHORITY IMMEDIATELY WHEN ANY DAMAGE OCCURS.
- THE LINE AND LEVEL OF EXISTING UNDERGROUND SERVICES SHALL BE DETERMINED CLASHERS WITH DESIGN STRUCTURES AND SERVICES PRIOR TO COMMENCING CONSTRUCTION.
- EXISTING OUTLET LEVELS OR CONNECTION LEVELS FOR ALL DESIGN STORMWATER FLASHERS SHALL BE CONFIRMED BY THE CONTRACTOR AND THE ENGINEER SHALL BE NOTIFIED OF ANY VARIATIONS PRIOR TO COMMENCING CONSTRUCTION.
- EXISTING SERVICES ON THE DRAWINGS ARE PLOTTED FROM THE BEST INFORMATION AVAILABLE. NO RESPONSIBILITY IS TAKEN BY THE PRINCIPAL OR SUPERINTENDENT FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION SHOWN.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR IS TO ESTABLISH ON SITE THE EXACT POSITION OF ALL UNDERGROUND SERVICES IN THE PROPOSED WORKS AREA. METHODS FOR ACHIEVING THIS WILL INCLUDE BUT NOT BE LIMITED TO:
 - CONSULTATION WITH THE RELEVANT SERVICE AUTHORITIES
 - CONCRETE EXAMINATION OF THE RELEVANT SERVICE TRENCHES
 - AND MARKING ON THE GROUND THE POSITION OF SERVICES
 - HAND EXCAVATING TO EXPOSE ALL SUCH SERVICES WHICH MAY BE AFFECTED BY THE PROPOSED WORKS UNDER THE DIRECTION OF THE RELEVANT SERVICE AUTHORITY.
- THE CONTRACTOR IS TO BRING TO THE SUPERINTENDENT'S ATTENTION ANY DISCREPANCIES BETWEEN THE EXISTING SERVICES THIS IDENTIFIED AND DOCUMENTED SERVICES WHICH MIGHT AFFECT THE PROPOSED WORKS. APPROPRIATE MEASURES TO RESOLVE ANY CONFLICT WILL BE DOCUMENTED BY THE SUPERINTENDENT.
- THIS DESIGN HAS BEEN BASED ON SERVICE AUTHORITY AS CONSTRUCTED INFORMATION AND LIMITED POTHOLES OR NO POTHOLES HAS BEEN UNDERTAKEN TO REVEAL EXISTING SERVICE LOCATIONS AND DEPTHS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE POSITION OF SERVICES AND REPORT ANY DISCREPANCIES TO THE DESIGN CONSULTANTS OF ANY SERVICE CLASHERS.

GENERAL NOTES

- CONSTRUCTION AND INSTALLATION OF ALL WORKS AS DETAILED ON THESE DRAWINGS SHALL BE IN ACCORDANCE WITH THE PROCEDURES, SPECIFICATIONS AND DRAWINGS CONTAINED IN THE CURRENT ISSUE OF THE FNOROC DEVELOPMENT MANUAL AND TO THE REQUIREMENTS OF THE TABLELANDS REGIONAL COUNCIL.
- THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS SET OUT IN THE COUNCIL DESIGN NOTICE CONDITIONS. A COPY WILL BE PROVIDED TO THE CONTRACTOR PRIOR TO THE PRE-START MEETING.
- TRAFFIC CONTROL DEVICES (ROAD EDGE GUIDE POSTS, SIGNS, ETC) SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT ISSUE OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AS ISSUED BY THE DEPARTMENT OF TRANSPORT AND MAIN ROADS, QUEENSLAND.
- REFER TO THE "TYPE CROSS SECTIONS" DRAWING FOR PAVEMENT DETAILS.
- ENSURE SERVICE CONDUITS ARE LAID BENEATH ANY EARLY WORKS FINISHES. E.G. WATER, POWER, TELECOMMUNICATIONS, ETC.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION, TREES, SERVICES ETC AS NECESSARY TO PERMIT CONSTRUCTION OF THE NEW WORKS.
- THE CONTRACTOR SHALL ENSURE THE PROPOSED CONSTRUCTION EQUIPMENT TO BE USED ON THE SITE WILL NOT DAMAGE EXISTING UNDERGROUND INFRASTRUCTURE. IN PARTICULAR HEAVY EQUIPMENT TRAVERSING OVER A.C. MAINS WITH NOMINAL COVERS.

AS CONSTRUCTED INFORMATION

- PRIOR TO PRACTICAL COMPLETION, THE CONTRACTOR SHALL PROVIDE AS CONSTRUCTED DRAWINGS INCLUDING BOTH ELECTRONIC AND HARD COPIES. CERTIFIED BY A REGISTERED ENGINEER OR FOR ALL UNDERGROUND SERVICES INSTALLED FOR THIS PROJECT IN ACCORDANCE WITH FNOROC DEVELOPMENT MANUAL AND TABLELANDS REGIONAL COUNCIL'S REQUIREMENTS.

EROSION SEDIMENT CONTROL STRATEGY AND ENVIRONMENTAL PROTECTION

- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND PRESERVE THE LOCAL ENVIRONMENT AND SHALL AVOID ENVIRONMENTAL POLLUTION IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION ACT.
- APPROPRIATE CONTROL AND MANAGEMENT MEASURES CONFORMING TO THE REQUIREMENTS OF THE ACT AND THE RELEVANT AUTHORITIES.
- THE EROSION AND SEDIMENT CONTROL STRATEGY, SHOWN OR NOTED ON THESE DRAWINGS, HAS BEEN PROVIDED AS A GUIDE.
- THE CONTRACTOR SHALL PROVIDE AN EROSION SEDIMENT CONTROL PLAN (ESCP) FOR EACH PHASE OF HIS PROPOSED CONSTRUCTION PROGRAM AND WORK METHODS, AND IS WHOLLY RESPONSIBLE FOR THE IMPLEMENTATION, CONTROL AND MANAGEMENT OF SUCH PLAN.
- THE CONTRACTOR SHALL INSTALL ALL DEVICES/MEASURES NECESSARY TO COMPLY WITH THE PROVISIONS OF THE ESCP FNOROC DEVELOPMENT MANUAL, THE ENVIRONMENTAL PROTECTION ACT, AND COUNCIL REQUIREMENTS.
- THE ESCP SHALL INCLUDE SUCH MEASURES AS SHOWN ON THE STRATEGIC PLAN.
- SMEC DO NOT ACCEPT RESPONSIBILITY FOR THE CONTRACTOR'S DESIGN & IMPLEMENTATION OF HIS ESCP NOR THE CONSEQUENCES OF HIS FAILURE TO APPLY ALL REASONABLE CONTROLS.
- ALL STORMWATER INLETS, TRENCHES, ETC. SHALL BE CONSTRUCTED IN SUCH A WAY AS TO PREVENT THE ENTRY OF SEDIMENT INTO THE STRUCTURE. IF IT IS NECESSARY TO DISCHARGE INTO SUCH INLETS THEN SUITABLE SILT TRAPS SHALL BE CONSTRUCTED UPSTREAM OF THE INLETS SUCH THAT OVERFLOW FROM TRAPS ENTERS THE DRAINS AFTER THE SEDIMENT HAS DROPPED OUT.
- ALL SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE END OF THE MAINTENANCE PERIOD UNLESS NOTED OTHERWISE. ALL SEDIMENT CONTROL DEVICES ARE TO BE FULLY MAINTAINED IN AN EFFECTIVE WORKING CONDITION DURING CONSTRUCTION AND THE MAINTENANCE PERIOD. THE CONTRACTOR SHALL ENSURE THAT ALL SEDIMENT CONTROL DEVICES ARE KEPT FREE OF SEDIMENT BUILD-UP.
- SEGMENT FENCES SHALL BE INSTALLED SUCH THAT THE BASE OF THE FENCE IS PLACED 150mm MINIMUM BELOW GROUND LEVEL, AND ANCHORED SECURELY IN SUCH POSITION.
- ALL VEHICLE EXIT POINTS SHALL ENDEAVOUR TO PREVENT VEHICLES FROM TRACKING SOIL AND MUD OFF SITE.
- ALL SOIL STOCKPILES SHALL BE PROTECTED AGAINST WIND EROSION BY COVERING AND AGAINST STORMWATER RUNOFF BY SILT FENCES AT THE DOWNHILL SLOPES. STOCKPILE LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND EROSION/CONTROL MEASURES IMPLEMENTED & MAINTAINED FOR THE LIFE OF THE STOCKPILE.
- THE CONTRACTOR SHALL INSTALL TURF STRIPS BEHIND ALL KERB & CHANNEL, ADJACENT CONCRETE INVERTS AND ALLOTMENT DRAINS ETC WHERE DIRTY WATER SHEET FLOWS INTO DRAINAGE COLLECTION SYSTEMS.
- DIVERT CLEAN WATER AROUND AREAS OF CONSTRUCTION.
- ALL WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH FNOROC GP.1.3
- ALL DISTURBED AND/OR BARE AREAS SHALL BE SUITABLY GRASSED TO PREVENT EROSION.

KERB AND CHANNEL

- KERB AND CHANNEL SHALL BE LAYBACK TYPE GENERALLY IN ACCORDANCE WITH FNOROC DWG NO. S1000 ALL KERB AND CHANNEL EXCEPT AS VARRIED IN DETAIL ON DWG C01.
- PROVIDE PEDESTRIAN RAMPS AT EACH KERB RETURN IN ACCORDANCE WITH FNOROC STD. DWG S1016.

FOOTPATHS

- VERGE CROSS FALLS SHALL NOT EXCEED THOSE SPECIFIED.

- INSTALL 100µPVC STORMWATER PIPE UNDER CONCRETE PATH.
- 3 PER LOT AS SHOWN ON FNOROC STD. DWG S1035 WHERE APPROPRIATE

SEDIMENT CONTROL TURF DETAILS

- PROVIDE ONE STRIP OF TURF BEHIND ALL KERBS, CONCRETE SLABS, PATHWAYS, DRIVEWAYS, CHANNELS, ETC. WITH ONE METRE LONG RETURNS AT 10 METRE

STORMWATER

- ALL CULVERTS SHALL BE IN ACCORDANCE WITH FNOROC AND REVELANT AUSTRALIAN STANDARDS.
- PROVIDE SLOTTED DRAIN TAILS IN ACCORDANCE WITH FNOROC DWG NO. S1050 AT THE DOWNSTREAM END OF STORMWATER PIPE REACHES ENTERING ALL PITS.

TYPICAL CROSS SECTION NOTES

PAVEMENT DATA

- BASE COURSE - 125 mm TYPE 2.2 (GBR 60) COMPACTED TO 100% SRDD.
- SUB BASE COURSE - 125mm TYPE 2.3 (GBR 45) COMPACTED TO 100% SRDD.
- GRAVEL TYPES SHALL COMPLY WITH DEPARTMENT OF TRANSPORT AND MAIN ROADS QUEENSLAND STANDARD SPECIFICATION MRS 11.05- UNBOUND PAVEMENTS
- PAVEMENTS AREAS SHALL BE CLEARED AND GRUBBED OUT TO REMOVE TOPSOIL AND ORGANIC MATERIAL.
- ANY TREES TO BE REMOVED SHALL BE EXCAVATED AND THE HOLE FILLED WITH APPROVED FILL COMPACTED AS NOTED UNDER.
- EXPPOSED EXISTING/NATURAL SUB GRADE MATERIAL SHALL BE BOXED OUT TO REQUIRED LEVEL, TRIMMED AND COMPACTED TO 98% SRDD TO A DEPTH OF AT LEAST 250mm (ASSUMED MINIMUM SOAKED GBR = 7 WHEN COMPACTED TO 98% SRDD).
- ALL SOFT SPOTS SHALL BE EXCAVATED BACK TO FIRM GROUND. THE BASE OF THE EXCAVATION COMPACTED AND BACKFILLED WITH APPROVED FILL COMPACTED AS ABOVE
- ALL FILL SHALL CONSIST OF APPROVED FILL AND SHALL BE SPREAD IN LAYERS NOT EXCEEDING 200mm AND COMPACTED USING VIBRATORY ROLLER TO 98% SRDD AT OPTIMUM MOISTURE CONTENT.
- THE CONTRACTOR SHALL VERIFY THE SUBGRADE GBR BY TESTING AND SUBMIT THE GBR TEST RESULTS TO THE SUPERINTENDENT FOR CONFIRMATION OF PAVEMENT DESIGN. AT LEAST TWO WEEKS PRIOR TO THE PLACEMENT OF ANY GRAVEL, REFER SUPERINTENDENT FOR TEST FREQUENCY AND LOCATION HOWEVER ALLOW FOR A MINIMUM OF TWO (2) TESTS PER MATERIAL TYPE
- ALL EARTHWORKS FILL SHALL BE TESTED FOR COMPACTION IN ACCORDANCE WITH AS 3798. FILL WITH DEPTH GREATER THAN 400mm SHALL BE SUPERVISED TO LEVEL 2 IN ACCORDANCE WITH AS 3798 AND SHALL COMPLY WITH THE REQUIREMENTS OF THE FNOROC DEVELOPMENT MANUAL.
- THE CONTRACTOR SHALL ADVISE THE COUNCIL, IN WRITING, OF THE SOURCE OF GRAVEL SUPPLY, PROOF OF GRADING, GBR AND TYPE. AT LEAST ONE WEEK PRIOR TO PAVEMENT GRAVEL BEING DELIVERED TO THE SITE.
- THE CONTRACTOR SHALL ENSURE THAT THE PAVEMENT COURSES ARE SET DOWN SUFFICIENTLY TO ALLOW FOR THE THICKNESS OF ASPHALTIC SEAL.

ASPHALTIC SURFACE SHOWN THUS: [REDACTED]

- THE PAVEMENT SHALL BE BROOMED CLEAN AND SHALL BE DRY PRIOR TO APPLYING PRIME COAT.
- PRIME COAT SHALL BE APPLIED 48 HOURS PRIOR TO ASPHALT SEALING.
- APPLY 30mm OF APPROVED ASPHALT - CRG 10.
- THE PRIME COAT AND HOT MIX DESIGN SHALL BE SUPPLIED AND PLACED IN ACCORDANCE WITH COUNCIL DEVELOPMENT MANUAL REQUIREMENTS, WITH POLYMER ADDITIVES. (FNOROC DESIGN MANUAL SECTION D3--1A)
- PRIME COAT - C170 BITUMEN 8% CUT BACK 0.8 litres/sq.m.
- ASPHALT - 48 HOURS MIN. AFTER PRIME COAT

CENTRES (WHERE LONGITUDINAL GRADES EXCEED 5%).

WATER RETICULATION

- MATERIALS
 - 63ø - Polyethylene (63ø OD) PN 16 TO AS 1430 COLOUR BLUE
 - 150ø, 100ø - uPVC PN 16 SERIES 2 RR2 TO AS 1477
- VALVES AND HYDRANTS MUST BE LOCATED OPPOSITE BOUNDARY JUNCTIONS AND TRIBUTATIONS.
- WATER SUPPLY FITTINGS SHALL INCORPORATE SOCKETS WITH AN EFFECTIVE SEALING LENGTH EQUAL OR GREATER THAN THAT OF THE uPVC PIPE USED.
- ALIGNMENT OF WATER RETICULATION MAINS WITHIN ROAD RESERVES SHALL BE 2.80m WHICH IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE TABLELANDS REGIONAL COUNCIL FOR URBAN AREAS.
- VALVES SHALL BE MARKED BY AN A RAISED REFLECTIVE PAVEMENT MARKER COLOURED ORANGE AS NOTE IN THE FNOROC DEVELOPMENT MANUAL SPECIFIC REQUIREMENTS.
- FIRE HYDRANTS SHALL BE MARKED BY AN A RAISED REFLECTIVE PAVEMENT MARKER COLOURED ORANGE AS NOTED IN THE FNOROC DEVELOPMENT MANUAL DEVELOPMENT MANUAL SECTION SS.
- ALL WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH FNOROC
- WHERE NON-METALLIC PIPE IS LAID A CONTINUOUS STAINLESS STEEL OR COPPER WIRE 1.6mm DIA. SHALL BE LAID IMMEDIATELY ABOVE THE SAND FILL. THE WIRE SHALL BE WRAPPED ONCE AROUND ALL HYDRANTS AND SLUICE VALVES WITH SUFFICIENT SLACK FOR TESTING.
- MINIMUM COVER TO ALL WATER MAINS UNDER KERBED ROAD SHALL BE 800mm.
- MINIMUM TEST PRESSURE FOR ALL WATER MAINS SHALL BE 1250KPa. THE CONTRACTOR SHALL GIVE THE WATER OFFICER TWENTY FOUR (24) HOURS NOTICE PRIOR TO TESTING.
- 50ø BRASS VALVES ARE NOT PERMITTED. ALL VALVES IN 63ø WATER MAINS SHALL BE 100ø POWER COATED SLUICE VALVES CLASS 699 WITH APPROVED REDUCING FITTINGS FOR INSTALLATION IN THE SMALLER MAINS.

BULK EARTHWORKS

- SITE EARTHWORKS SHALL GENERALLY CONSIST OF CLEARANCE OF VEGETATION OVER THE EARTHWORKS AREA FOLLOWED BY EXCAVATION OF TOP SOILS, CUTTING AND FILLING OF MATERIAL TO SET FINAL DESIGN LEVELS.
- TOP SOILS MAY BE STOCKPILED FOR REUSE LATER. THE LOCATION OF SUCH STOCKPILE SITES SHALL BE ON SITE AS DIRECTED BY THE SUPERINTENDENT AFTER CONSULTATION AND AGREEMENT WITH COUNCIL. STOCKPILE SITES SHALL BE PROTECTED BY DIVERSION DRAINS AND SILT FENCES AS APPROPRIATE.
- THE SUBGRADE EXPOSED BY THE STRIPPING OPERATION SHALL BE UNIFORMLY COMPACTED TO ACHIEVE A DRY DENSITY RATIO TO A DEPTH OF 250mm OR NOT LESS THAN 98% SRDD.
- SUBGRADE COMPACTION SHALL BE ACCOMPANIED BY GENERAL INSPECTION TO ALLOW DETECTION AND RECTIFICATION OF ANY LOCALISED COMPRESSIBLE ZONES WHICH MAY EXIST.
- ALL FILLING PLACED SHALL BE UNIFORMLY COMPACTED IN LAYERS OF NOT MORE THAN 200mm FINAL THICKNESS. UNDER LEVEL 2 SUPERVISION (AS 3798--1996 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT") TO ACHIEVE A DRY DENSITY RATIO OF NOT LESS THAN 98% SRDD.
- CARE SHALL BE TAKEN TO ENSURE THAT ANY VIBRATORY ROLLING OR CONSTRUCTION ACTIVITIES DO NOT CAUSE DISTRESS (BY WAY OF INDUCED SETTLEMENT) TO ANY ADJACENT MOVEMENT-SENSITIVE FEATURES STRUCTURES ETC.
- ON COMPLETION OF THE WORKS, TOP SOIL SHALL BE RE-SPREAD TO BATTERS, FOOTPATHS AND FILL AREAS TO A DEPTH OF 75mm. (WITH AN ABSOLUTE MINIMUM DEPTH OF 40mm) THE FINISHED EARTHWORKS AREAS SHALL BE SEEDED AS SOON AS PRACTICABLE AFTER COMPLETION. ALL BATTERS SHALL BE PROTECTED FROM EROSION, BY SEEDING WITH AN APPROVED SUITABLE GRASS SPECIES, AND MAINTAINED FOR THE REQUIRED MAINTENANCE PERIOD.
- THE CONTRACTOR SHALL ENSURE NO PONDING AREAS RESULT FROM THE EARTHWORKS OPERATION. ANY SUCH AREAS WHICH DEVELOP SHALL BE RECTIFIED AS DIRECTED BY THE SUPERINTENDENT. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENT OF THE DEVELOPMENT OR EXISTENCE OF ANY SUCH PONDING AREAS.
- THE CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM AT THE TOP OF ALL BATTERS TO DIRECT AND CONTROL RUNOFF TO A SINGLE LOCATION. THE DISCHARGE OVER THE BATTER SHALL BE THROUGH A STABILISED CHUTE ADDRESSED IN THE CONTRACTORS PLAN, e.g. REINFORCED TURF, GEOTEXTILE, CONCRETE OR SIMILAR.
- THE FINISHED LEVELS NOTED ON THE DRAWINGS ARE THE LEVELS TO BE ACHIEVED AFTER COMPLETION OF THE EARTHWORKS AND PRIOR TO PLACEMENT OF TOP SOIL IF ANY OR IS THE EXISTING SURFACE LEVELS AS APPLICABLE.

| | | |
|-----|----------|---|
| REV | DATE | REVISION/NOTES |
| A | 10/04/26 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

| | |
|----------|--|
| DESIGNER | |
|----------|--|



| | |
|--------|----------------------------|
| CLIENT | N.Q. FARMING PTY. LTD. TTE |
|--------|----------------------------|

| | | | |
|--|------|---------------|--------|
| PROJECT | | | |
| PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA | | | |
| DRAWN | J.P. | DRAWING CHECK | A. MCP |
| DESIGNED | J.P. | DESIGN REVIEW | A. MCP |
| APPROVED | | DATE | |

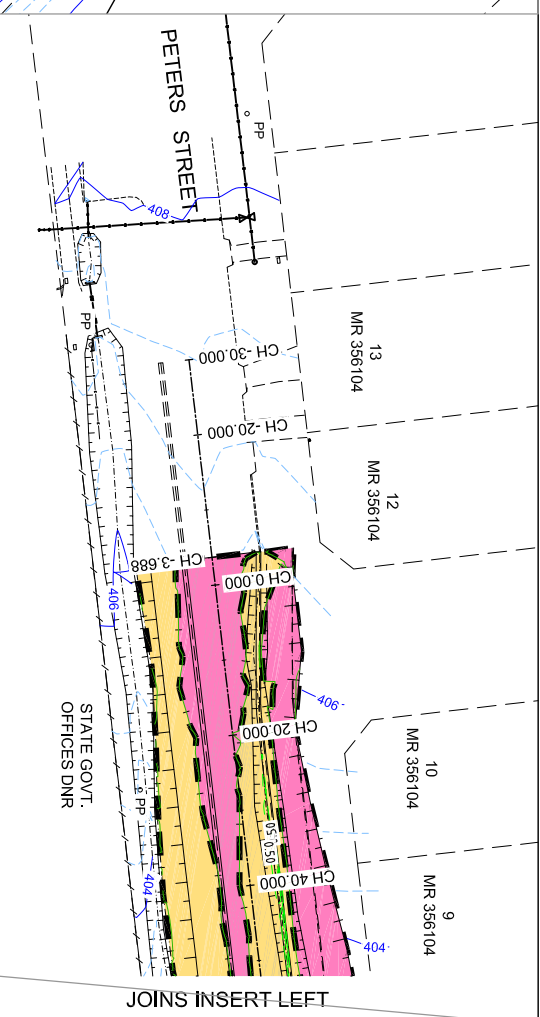
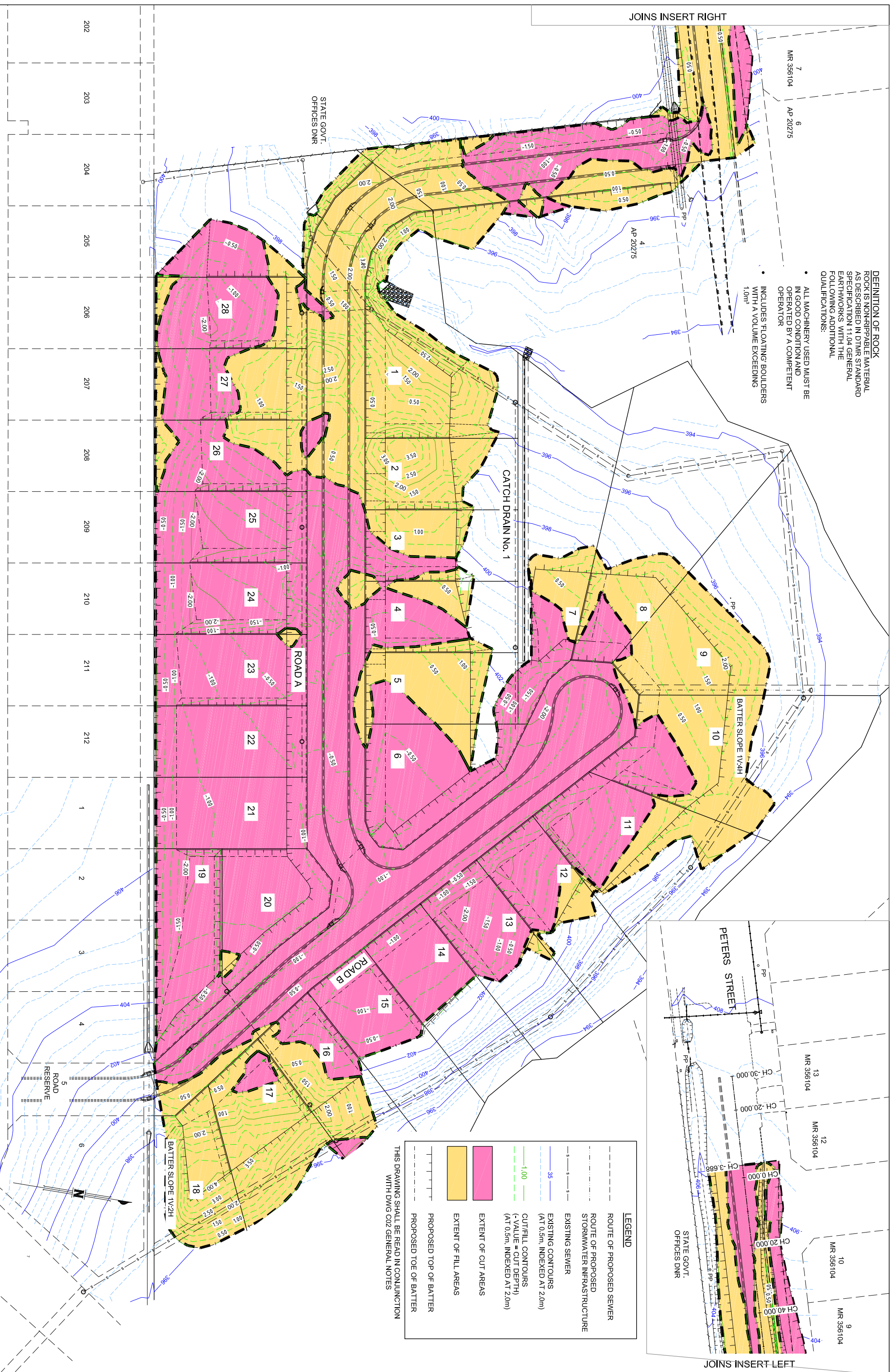
| | |
|-------------|---------------|
| TITLE | GENERAL NOTES |
| SCALE | N.T.S. |
| DRAWING NO. | 24040 - C02 |
| REV | A |
| | PRELIMINARY |

DEFINITION OF ROCK
 ROCK IS NON-RIPPABLE MATERIAL AS DESCRIBED IN DTMR STANDARD SPECIFICATION 11.04 GENERAL EARTHWORKS WITH THE FOLLOWING ADDITIONAL QUALIFICATIONS:

- ALL MACHINERY USED MUST BE IN GOOD CONDITION AND OPERATED BY A COMPETENT OPERATOR
- INCLUDES FLOATING BOULDERS WITH A VOLUME EXCEEDING 1.0m³

JOINS INSERT RIGHT

JOINS INSERT LEFT



LEGEND

| | |
|-----|--|
| --- | ROUTE OF PROPOSED SEWER |
| --- | ROUTE OF PROPOSED STORMWATER INFRASTRUCTURE |
| --- | EXISTING SEWER |
| --- | EXISTING CONTOURS (AT 0.5m, INDEXED AT 2.0m) |
| --- | CUT/FILL CONTOURS (- VALUE = CUT DEPTH) (AT 0.5m, INDEXED AT 2.0m) |
| --- | EXTENT OF CUT AREAS |
| --- | EXTENT OF FILL AREAS |
| --- | PROPOSED TOP OF BATTER |
| --- | PROPOSED TOE OF BATTER |

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DWG C02 GENERAL NOTES

| | | |
|-----|----------|---|
| REV | DATE | REVISION/NOTES |
| A | 10/28/25 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

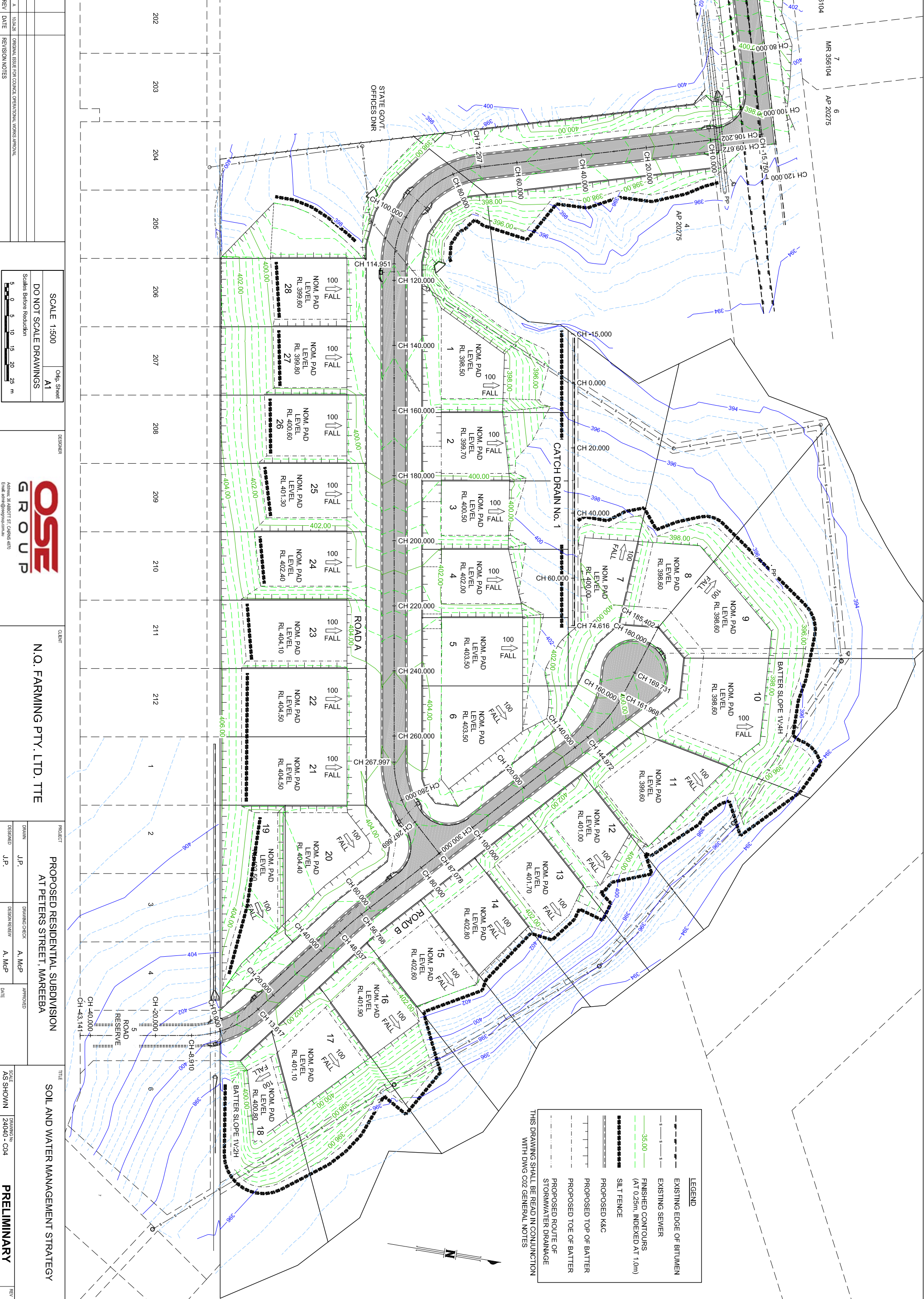
| | | |
|-------------------------|-------|-------------|
| SCALE | 1:500 | Orig. Sheet |
| DO NOT SCALE DRAWINGS | | A1 |
| Scales Before Reduction | | |
| 5 0 5 10 15 20 25 m | | |

| | | | |
|---|----------------------------|---|----------------------|
| DESIGNER | CLIENT | PROJECT | TITLE |
| OSE GROUP Address: 36 ABBOTT ST CLARENS 4870 Email: daniel@osegroup.com.au | N.Q. FARMING PTY. LTD. TTE | PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA | BULK EARTHWORKS PLAN |

| | | | | |
|-------|----------|---------------|---------------|----------|
| DRAWN | DESIGNED | DRAWING CHECK | DESIGN REVIEW | APPROVED |
| J.P. | J.P. | A.MCP | A.MCP | |
| | | | | DATE |

| | | |
|----------|-------------|-----|
| SCALE | DRAWING NO. | REV |
| AS SHOWN | 24040 - C03 | A |

PRELIMINARY



THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DWG C02 GENERAL NOTES

| LEGEND | |
|--------|---|
| | EXISTING EDGE OF BITUMEN |
| | EXISTING SEWER |
| | FINISHED CONTOURS (AT 0.25m, INDEXED AT 1.0m) |
| | SILT FENCE |
| | PROPOSED K&C |
| | PROPOSED TOE OF BATTER |
| | PROPOSED ROUTE OF STORMWATER DRAINAGE |

| | | |
|-----|----------|---|
| REV | DATE | REVISION/NOTES |
| A | 10/04/26 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

SCALE 1:500
 DO NOT SCALE DRAWINGS
 Scales Before Reduction
 0 5 10 15 20 25 m

DESIGNER

Address: 36 ABBOTT ST CAIRNS 4870
 Email: admin@osegroup.com.au

CLIENT

N.Q. FARMING PTY. LTD. TTE

PROJECT

PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA

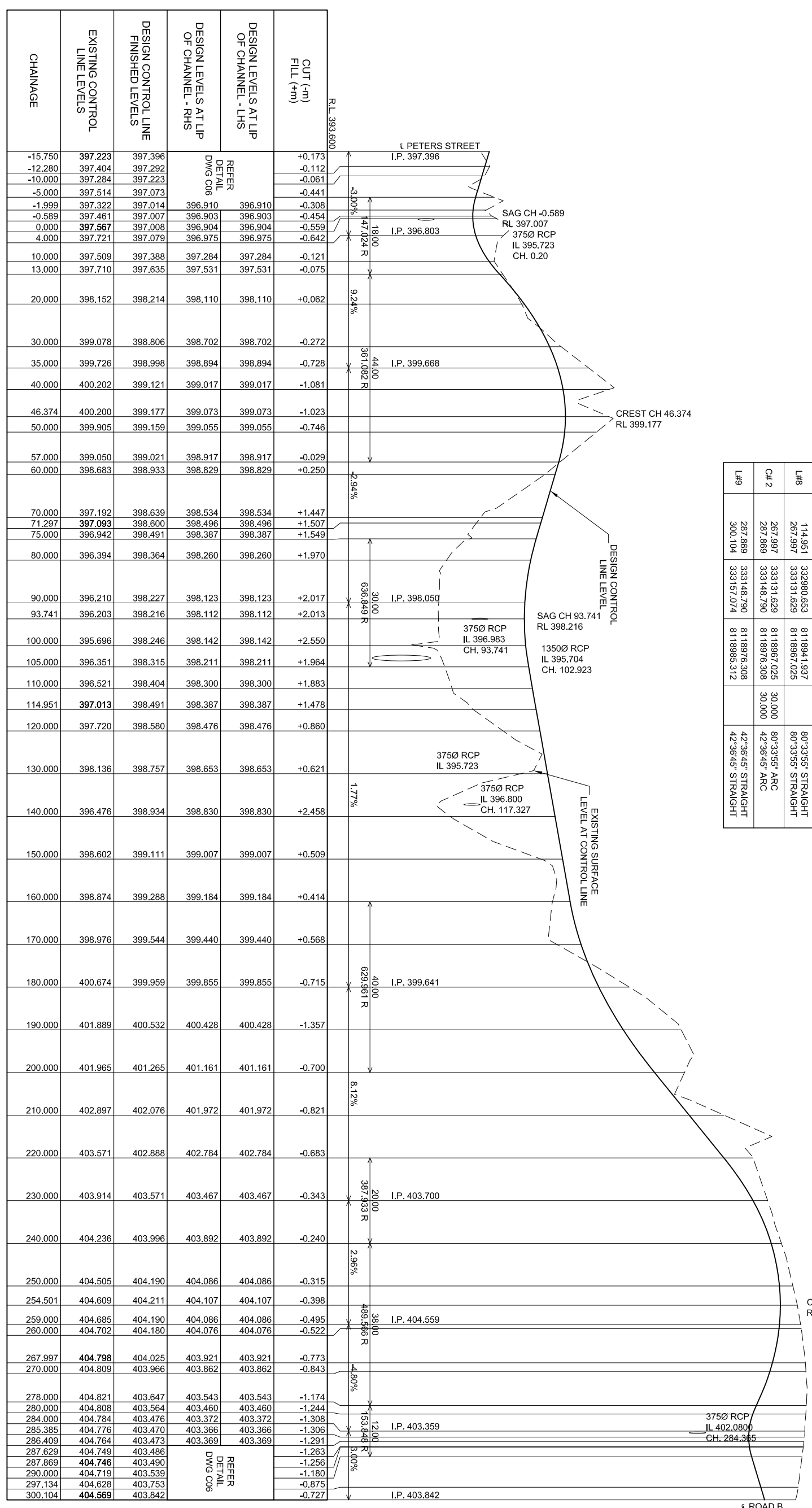
| | | | |
|----------|------|---------------|--------|
| DRAWN | J.P. | DRAWING CHECK | A. MCP |
| DESIGNED | J.P. | DESIGN REVIEW | A. MCP |
| DATE | | APPROVED | |

TITLE

SOIL AND WATER MANAGEMENT STRATEGY

SCALE AS SHOWN
 DRAWING NO 24040 - C04
PRELIMINARY

| ROAD A | | | | |
|----------|---------|------------|-------------|---------------------|
| CHAINAGE | EASTING | NORTHING | RADII | BEARING |
| L#6 | -15.750 | 332922.822 | 8119046.879 | 163°56'15" STRAIGHT |
| L#6 | 0.000 | 332927.180 | 8119031.744 | 163°56'15" STRAIGHT |
| L#7 | 0.000 | 332927.180 | 8119031.744 | 163°56'15" STRAIGHT |
| L#7 | 71.297 | 332946.907 | 8118963.230 | 163°56'15" STRAIGHT |
| C# 1 | 71.297 | 332946.907 | 30.000 | 163°56'15" ARC |
| C# 1 | 114.951 | 332960.653 | 8118941.937 | 80°33'55" ARC |
| L#8 | 114.951 | 332960.653 | 8118941.937 | 80°33'55" STRAIGHT |
| L#8 | 267.997 | 333131.629 | 8118967.025 | 80°33'55" STRAIGHT |
| C# 2 | 267.997 | 333131.629 | 30.000 | 80°33'55" ARC |
| C# 2 | 287.869 | 333148.790 | 8118976.308 | 42°38'45" ARC |
| L#9 | 287.869 | 333148.790 | 8118976.308 | 42°38'45" STRAIGHT |
| L#9 | 300.104 | 333157.074 | 8118985.312 | 42°38'45" STRAIGHT |



LONGITUDINAL SECTION - ROAD A CH -15.75 TO CH. 300.104

SCALE: HOR: 1:500
VER: 1:50

| CHAINAGE | EXISTING CONTROL LINE LEVELS | DESIGN CONTROL LINE FINISHED LEVELS | DESIGN LEVELS AT LIP OF CHANNEL - RHS | DESIGN LEVELS AT LIP OF CHANNEL - LHS | CUT (-m) FILL (+m) |
|----------|------------------------------|-------------------------------------|---------------------------------------|---------------------------------------|-----------------------|
| -15.750 | 397.223 | 397.396 | | | +0.173 |
| -12.280 | 397.404 | 397.292 | | | -0.112 |
| -10.000 | 397.284 | 397.223 | | | -0.061 |
| -5.000 | 397.514 | 397.073 | | | -0.441 |
| -1.999 | 397.322 | 397.014 | 396.910 | 396.910 | -0.308 |
| -0.589 | 397.461 | 397.007 | 396.903 | 396.903 | -0.454 |
| 0.000 | 397.567 | 397.008 | 396.904 | 396.904 | -0.559 |
| 4.000 | 397.721 | 397.079 | 396.975 | 396.975 | -0.642 |
| 10.000 | 397.509 | 397.388 | 397.284 | 397.284 | -0.121 |
| 13.000 | 397.710 | 397.635 | 397.531 | 397.531 | -0.075 |
| 20.000 | 398.152 | 398.214 | 398.110 | 398.110 | +0.062 |
| 30.000 | 399.078 | 398.806 | 398.702 | 398.702 | -0.272 |
| 35.000 | 399.726 | 398.998 | 398.894 | 398.894 | -0.728 |
| 40.000 | 400.202 | 399.121 | 399.017 | 399.017 | -1.081 |
| 46.374 | 400.200 | 399.177 | 399.073 | 399.073 | -1.023 |
| 50.000 | 399.905 | 399.159 | 399.055 | 399.055 | -0.746 |
| 57.000 | 399.050 | 399.021 | 398.917 | 398.917 | -0.029 |
| 60.000 | 398.683 | 398.933 | 398.829 | 398.829 | +0.250 |
| 70.000 | 397.192 | 398.639 | 398.534 | 398.534 | +1.447 |
| 71.297 | 397.093 | 398.600 | 398.496 | 398.496 | +1.507 |
| 75.000 | 396.942 | 398.491 | 398.387 | 398.387 | +1.549 |
| 80.000 | 396.394 | 398.364 | 398.260 | 398.260 | +1.970 |
| 90.000 | 396.210 | 398.227 | 398.123 | 398.123 | +2.017 |
| 93.741 | 396.203 | 398.216 | 398.112 | 398.112 | +2.013 |
| 100.000 | 395.696 | 398.246 | 398.142 | 398.142 | +2.550 |
| 105.000 | 396.351 | 398.315 | 398.211 | 398.211 | +1.964 |
| 110.000 | 396.521 | 398.404 | 398.300 | 398.300 | +1.883 |
| 114.951 | 397.013 | 398.491 | 398.387 | 398.387 | +1.478 |
| 120.000 | 397.720 | 398.580 | 398.476 | 398.476 | +0.860 |
| 130.000 | 398.136 | 398.757 | 398.653 | 398.653 | +0.621 |
| 140.000 | 396.476 | 398.934 | 398.830 | 398.830 | +2.458 |
| 150.000 | 398.602 | 399.111 | 399.007 | 399.007 | +0.509 |
| 160.000 | 398.874 | 399.288 | 399.184 | 399.184 | +0.414 |
| 170.000 | 398.976 | 399.544 | 399.440 | 399.440 | +0.568 |
| 180.000 | 400.674 | 399.959 | 399.855 | 399.855 | -0.715 |
| 190.000 | 401.889 | 400.532 | 400.428 | 400.428 | -1.357 |
| 200.000 | 401.965 | 401.265 | 401.161 | 401.161 | -0.700 |
| 210.000 | 402.897 | 402.076 | 401.972 | 401.972 | -0.821 |
| 220.000 | 403.571 | 402.888 | 402.784 | 402.784 | -0.683 |
| 230.000 | 403.914 | 403.571 | 403.467 | 403.467 | -0.343 |
| 240.000 | 404.236 | 403.996 | 403.892 | 403.892 | -0.240 |
| 250.000 | 404.505 | 404.190 | 404.086 | 404.086 | -0.315 |
| 254.501 | 404.609 | 404.211 | 404.107 | 404.107 | -0.398 |
| 259.000 | 404.685 | 404.190 | 404.086 | 404.086 | -0.495 |
| 260.000 | 404.702 | 404.180 | 404.076 | 404.076 | -0.522 |
| 267.997 | 404.798 | 404.025 | 403.921 | 403.921 | -0.773 |
| 270.000 | 404.809 | 403.966 | 403.862 | 403.862 | -0.843 |
| 278.000 | 404.821 | 403.647 | 403.543 | 403.543 | -1.174 |
| 280.000 | 404.808 | 403.564 | 403.460 | 403.460 | -1.244 |
| 284.000 | 404.784 | 403.476 | 403.372 | 403.372 | -1.308 |
| 285.385 | 404.776 | 403.470 | 403.366 | 403.366 | -1.306 |
| 286.409 | 404.764 | 403.473 | 403.369 | 403.369 | -1.291 |
| 287.629 | 404.749 | 403.486 | | | -1.263 |
| 287.869 | 404.746 | 403.490 | | | -1.256 |
| 290.000 | 404.719 | 403.539 | | | -1.180 |
| 297.134 | 404.628 | 403.753 | | | -0.875 |
| 300.104 | 404.569 | 403.842 | | | -0.727 |

DO NOT SCALE DRAWINGS
Scales Before Reduction Orig. Sheet A1
SCALE 1:50
SCALE 1:500

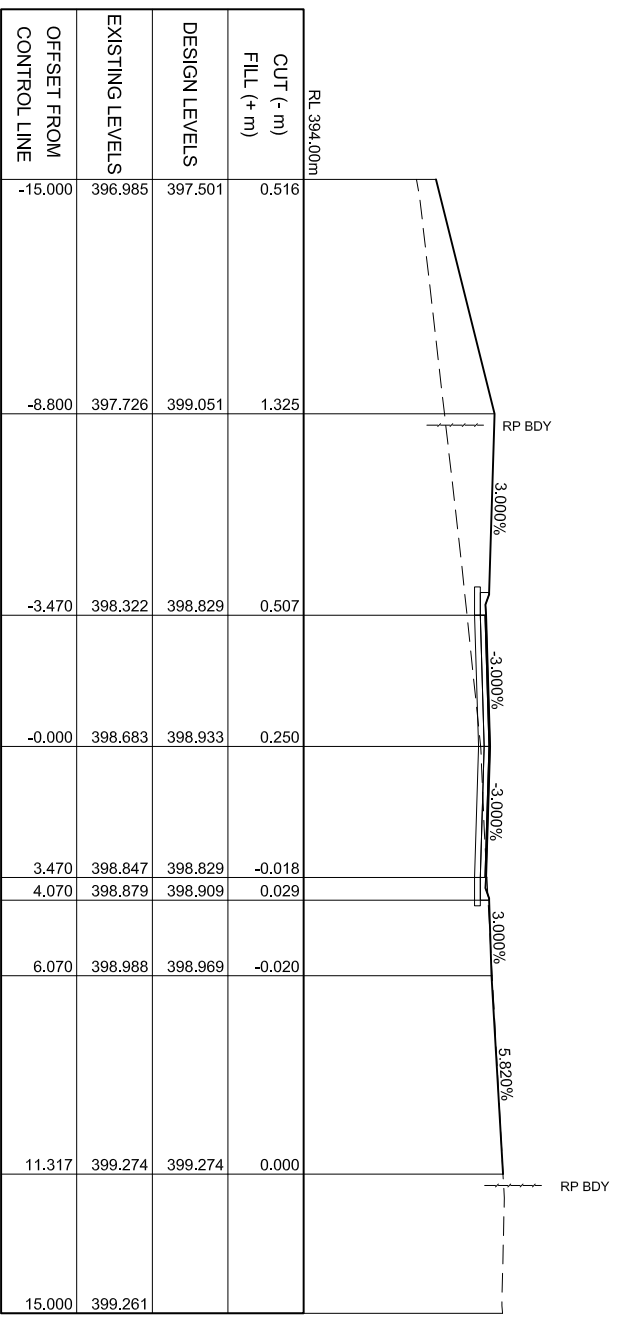
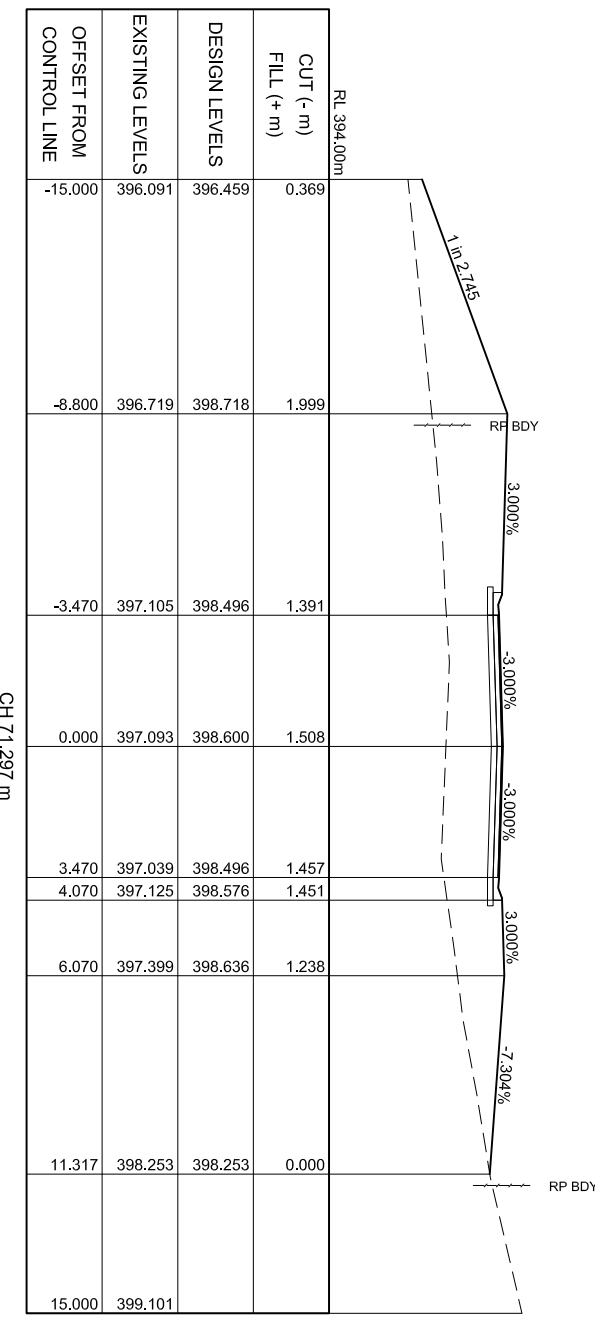
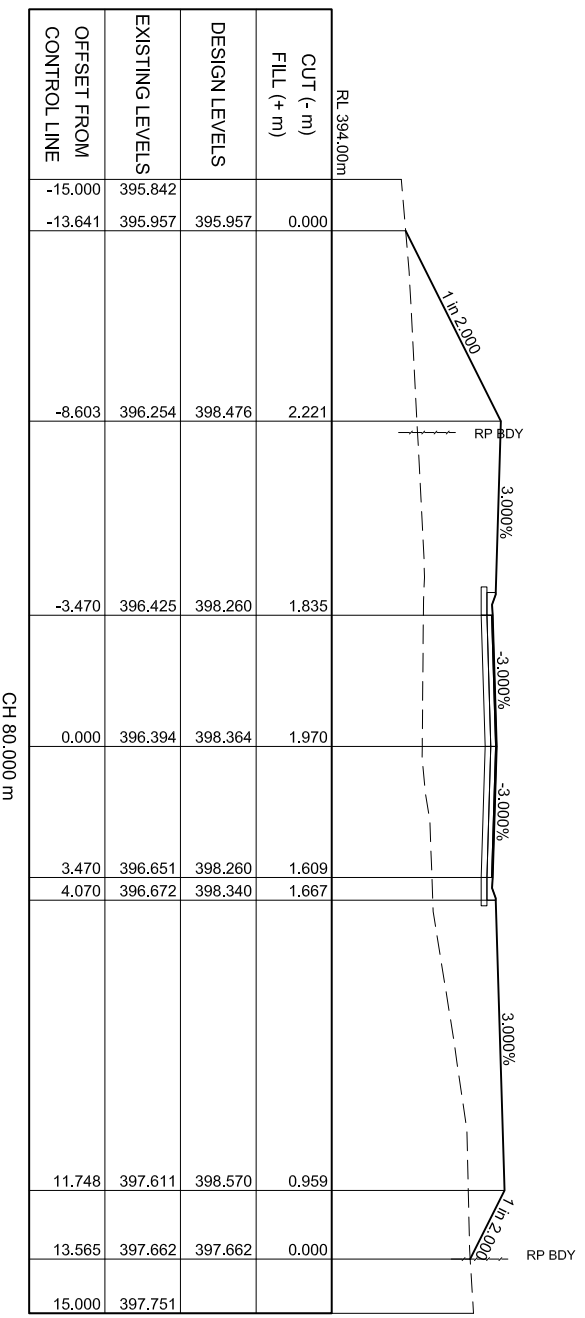
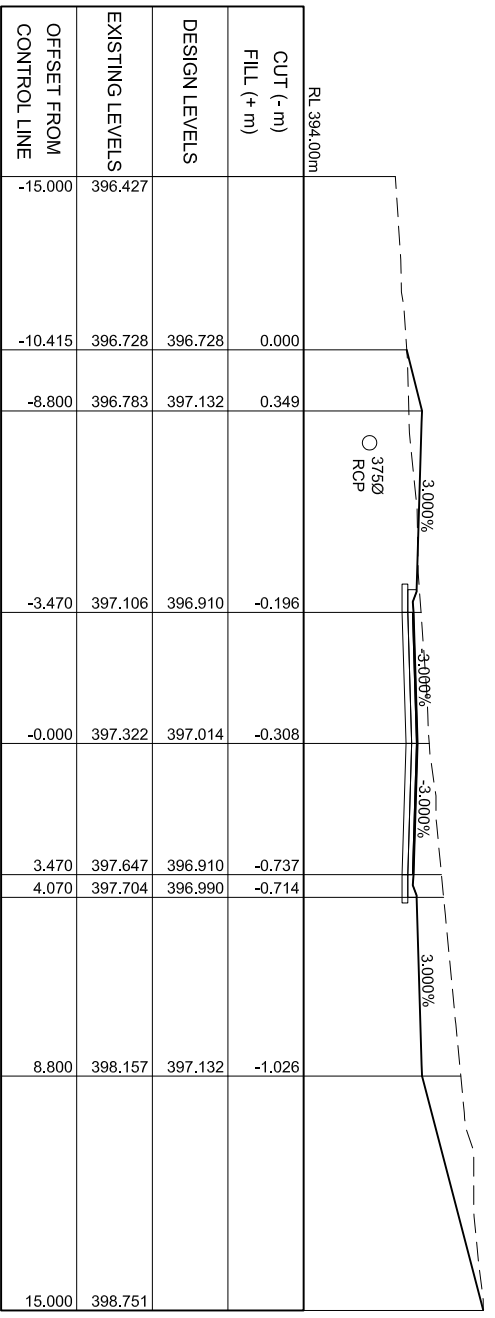
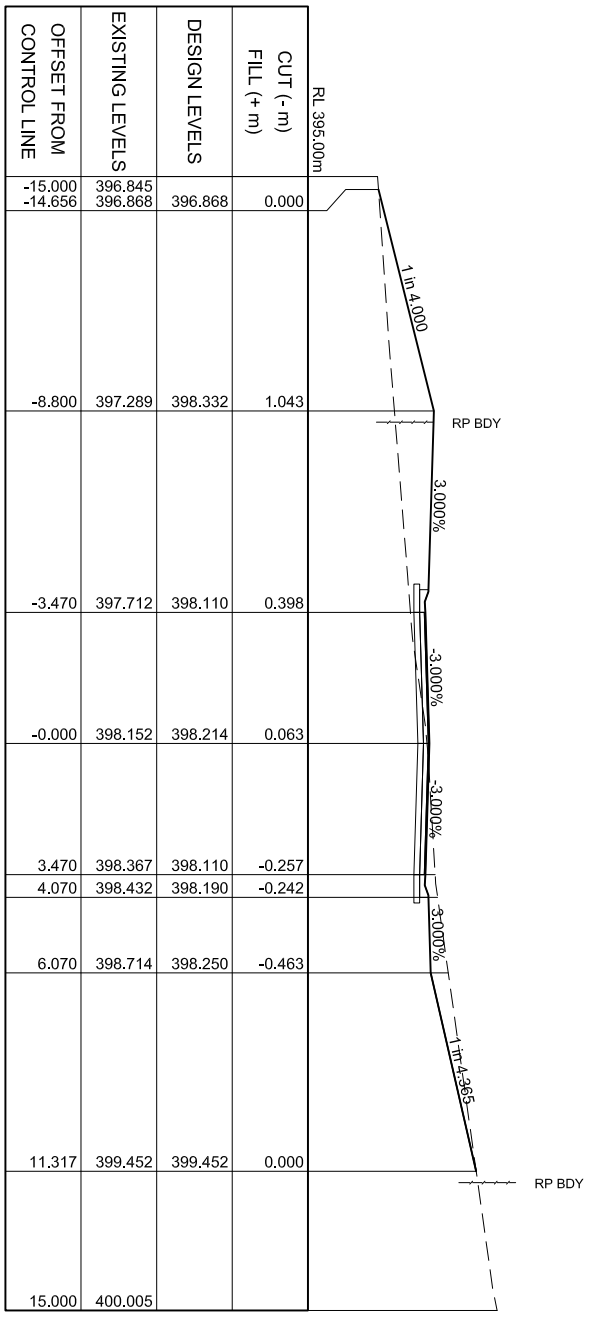
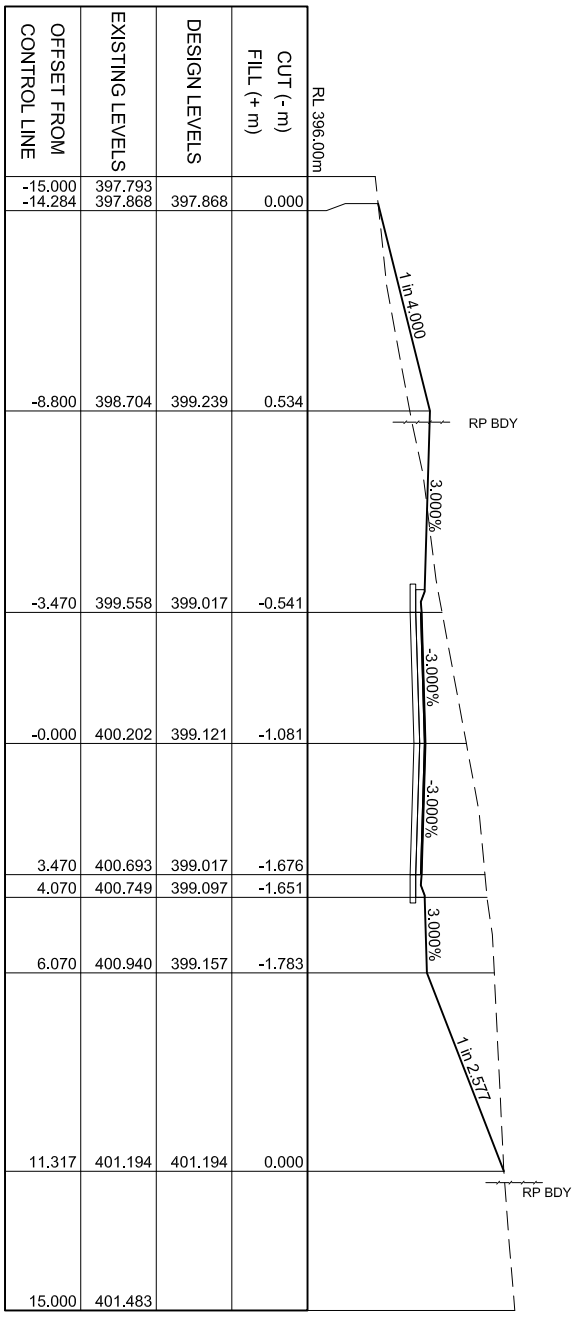
DESIGNER
OSE GROUP
Address: 38 ABBOTT ST. CLARENDON
Email: admin@osegroup.com.au

CLIENT
N.Q. FARMING PTY. LTD. TTE

PROJECT
PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA

TITLE
ROAD A - LONGITUDINAL SECTION AND SET OUT

SCALE AS SHOWN
DRAWING NO. 24040 - C07
PRELIMINARY



CROSS SECTIONS - ROAD A

SCALE: HOR: 1:100
VER: 1:100

| REV | DATE | REVISION NOTES |
|-----|----------|---|
| A | 10/26/25 | ORIGINAL ISSUE FOR CONICAL OPERATIONAL WORKS APPROVAL |

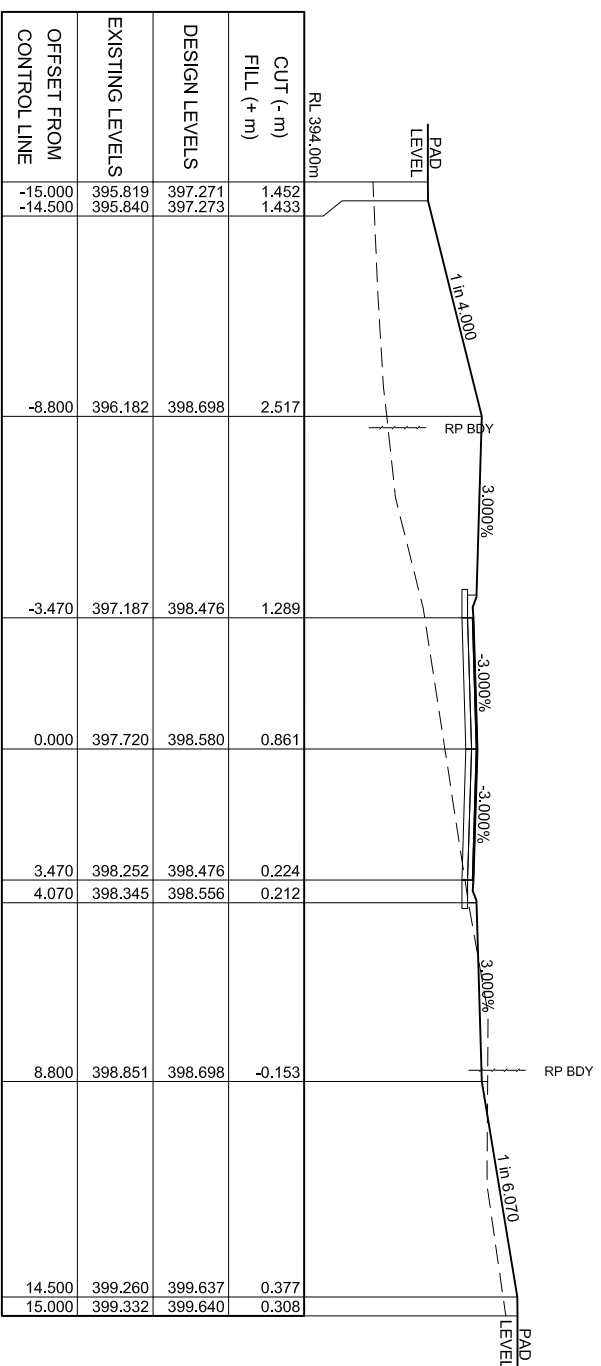
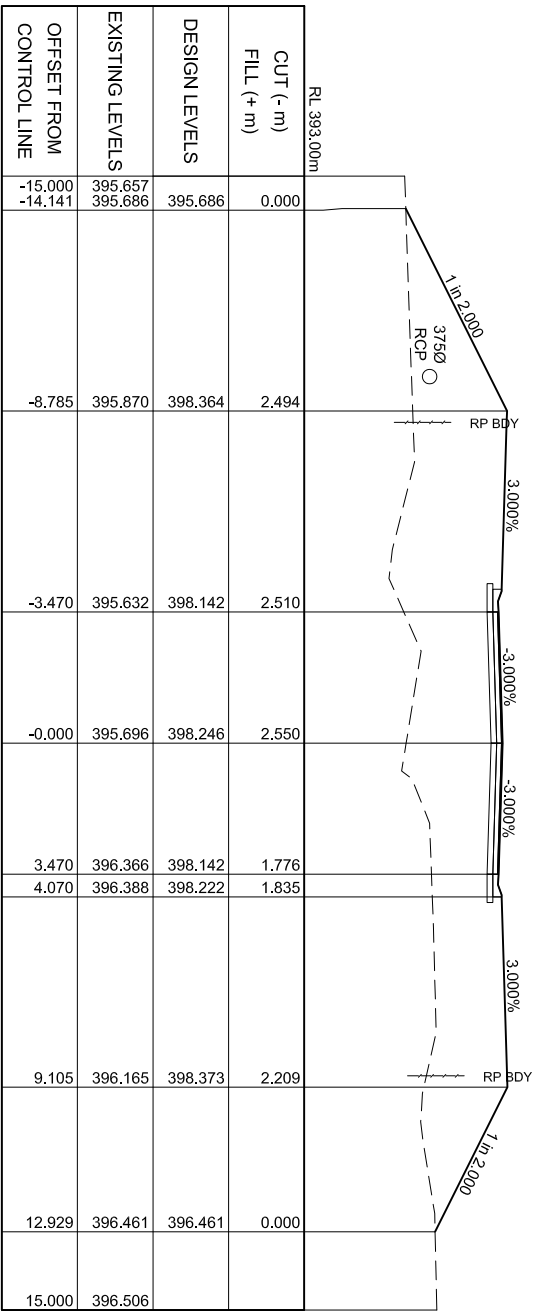
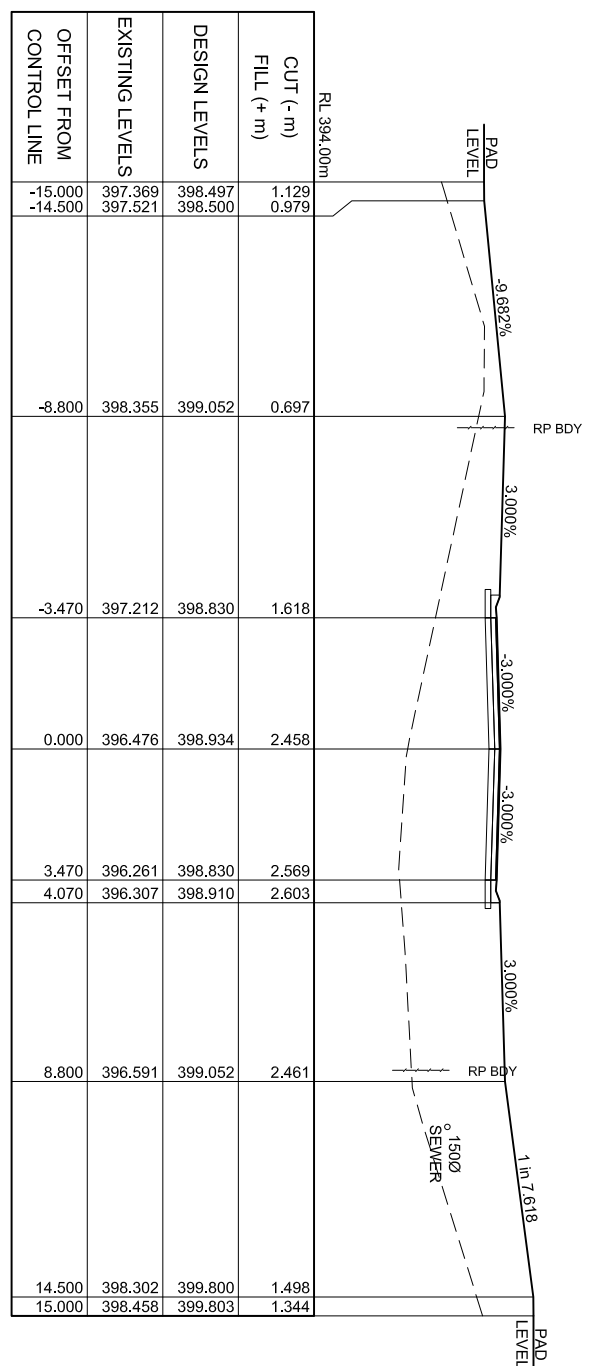
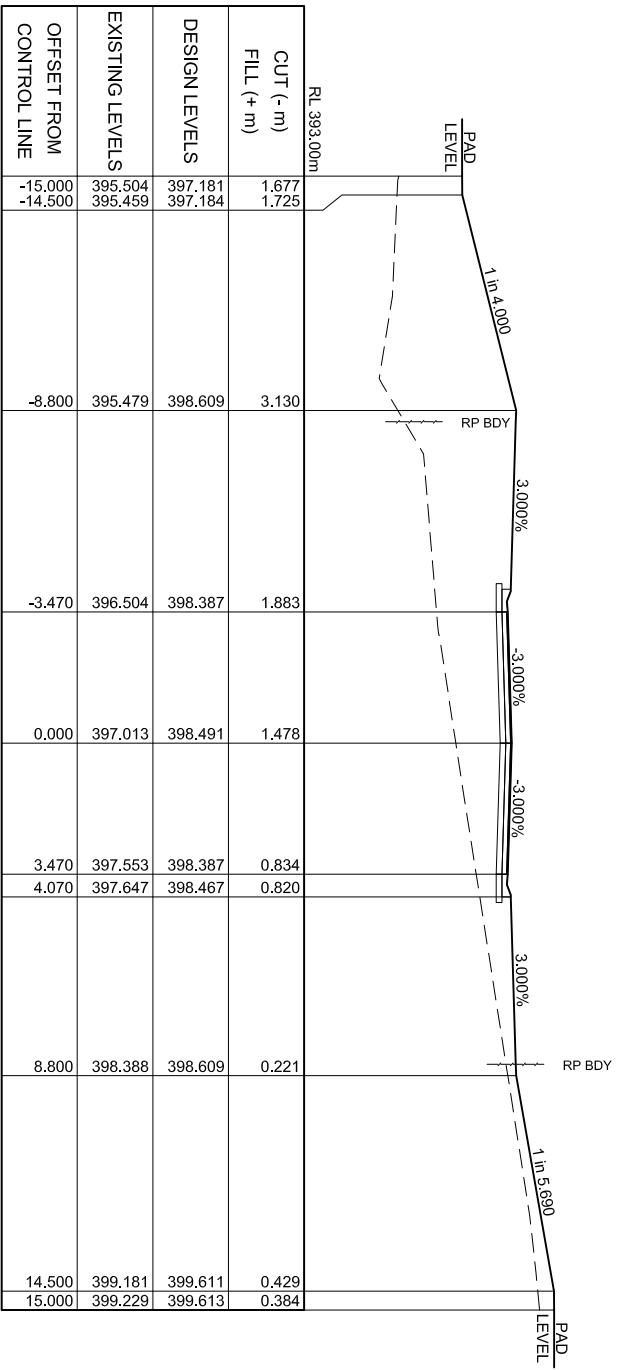
SCALE 1:100
DO NOT SCALE DRAWINGS
Scales Before Reduction

DESIGNER
OSE GROUP
Address: 38 ABBOTT ST CHENG 480
Email: oseteam@osegroup.com.au

CLIENT
N.Q. FARMING PTY. LTD. TTE

| PROJECT | PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA |
|---------------|--|
| DRAWN | J.P. |
| DESIGNED | J.P. |
| DRAWING CHECK | A. MCP |
| DESIGN REVIEW | A. MCP |
| DATE | |

TITLE
ROAD A - CROSS SECTIONS (SHEET 1 OF 4)
SCALE AS SHOWN
DRAWING NO 24040 - C08
PRELIMINARY



CROSS SECTIONS - ROAD A
 SCALES: HOR: 1:100
 VER: 1:100

| REV | DATE | REVISION NOTES |
|-----|-------|---|
| A | 10/28 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

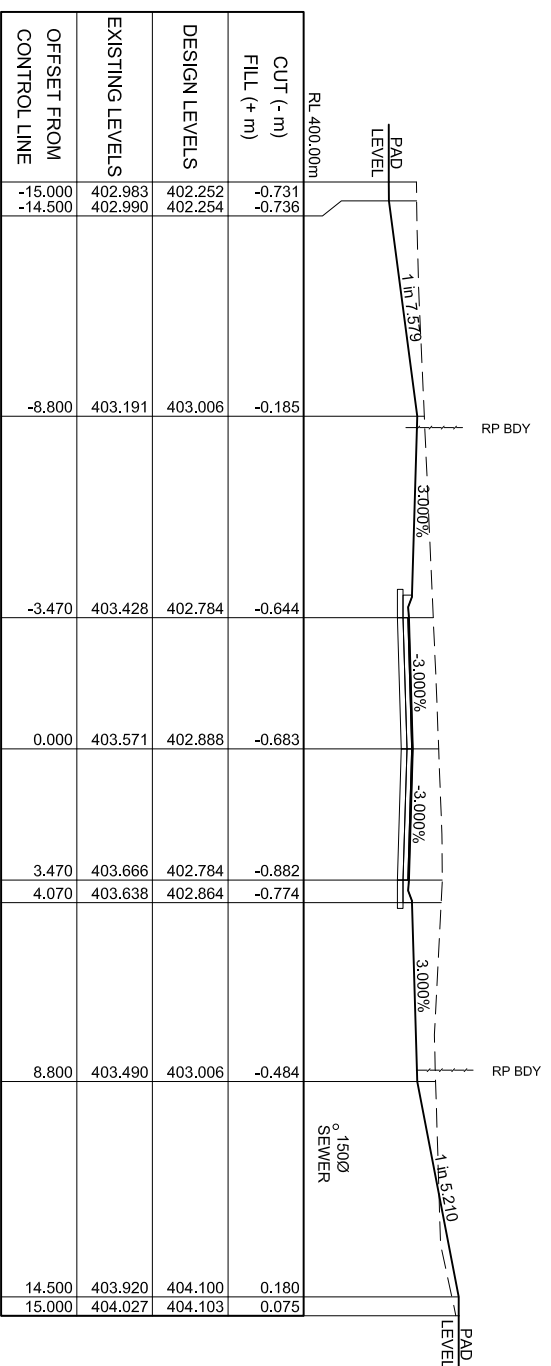
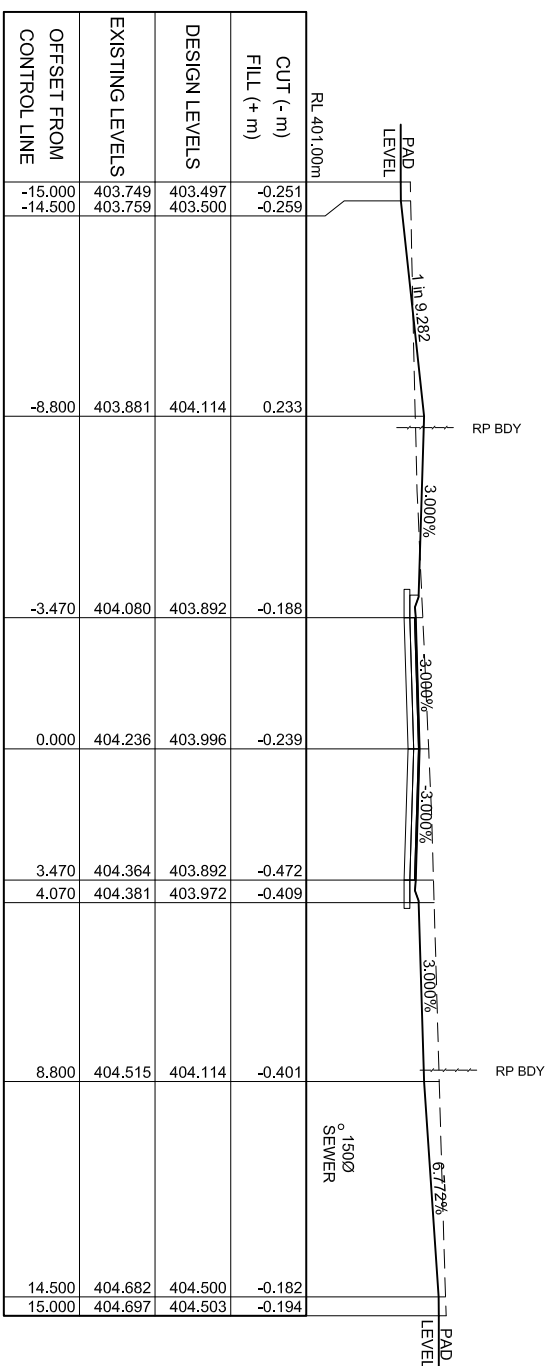
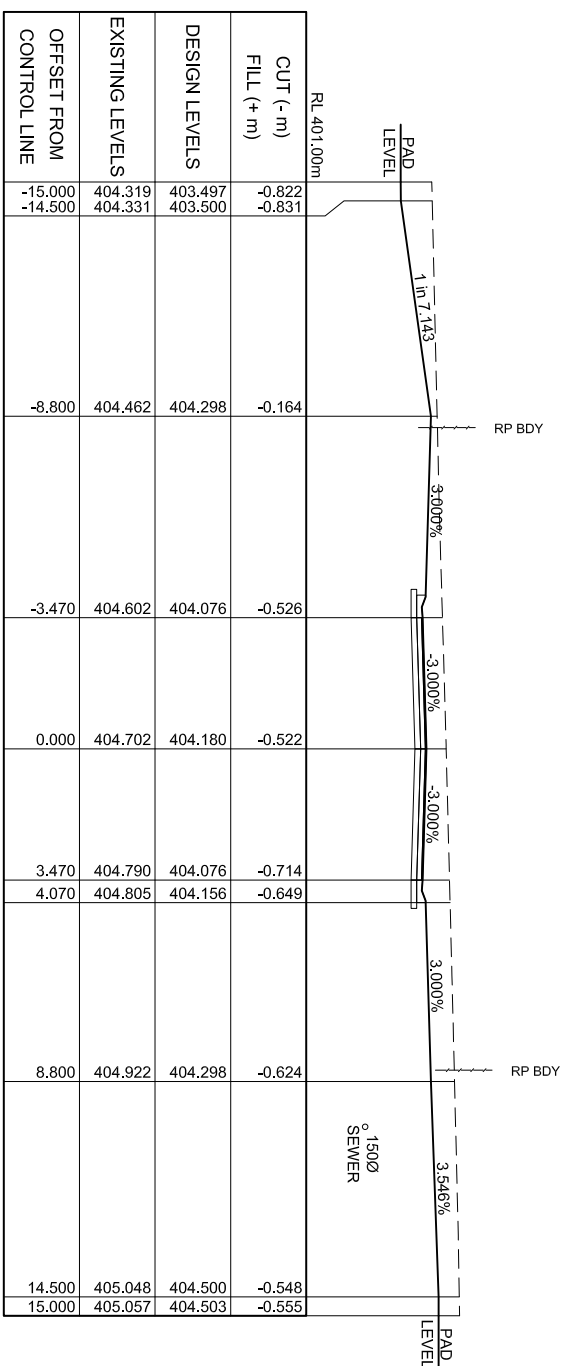
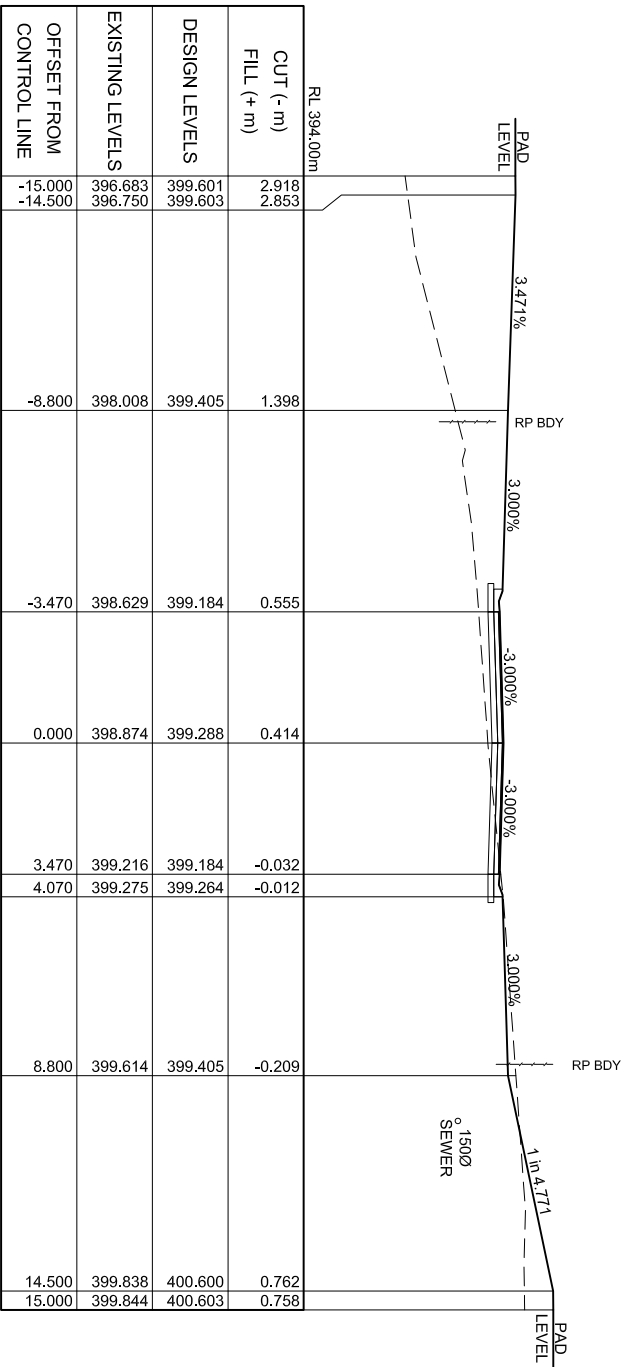
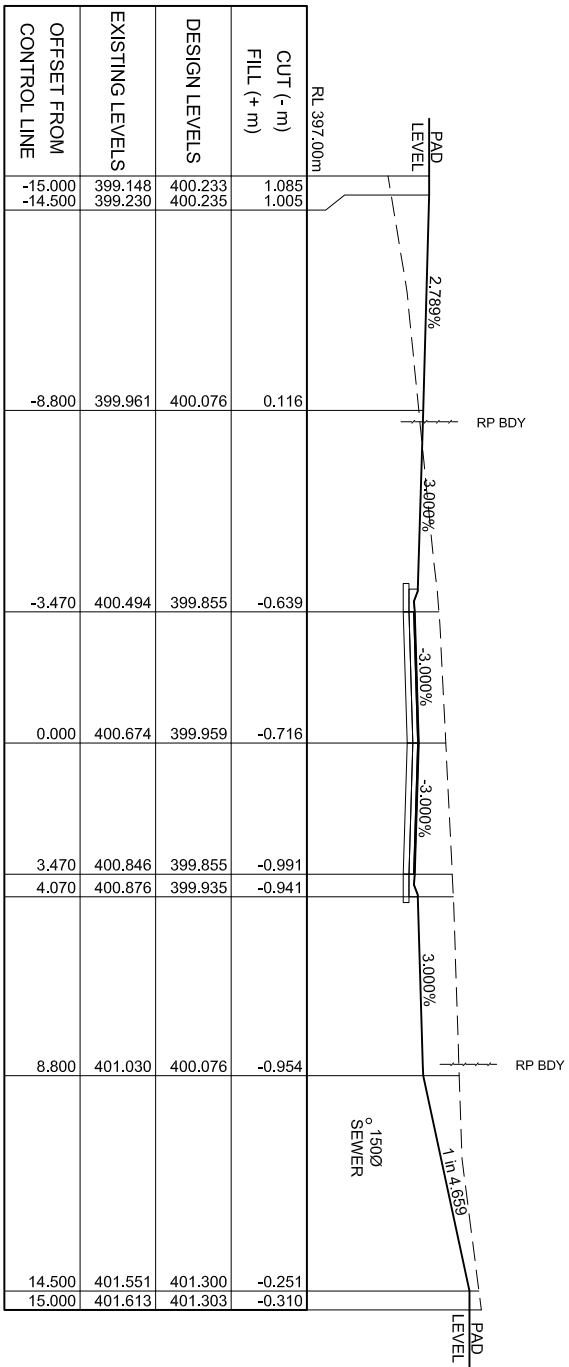
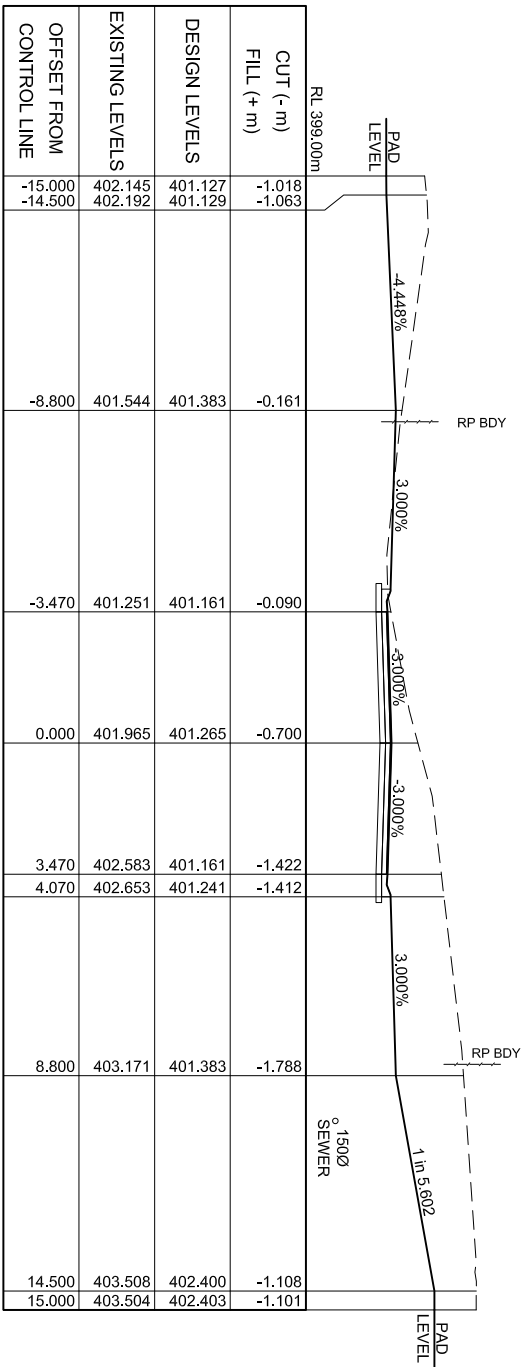
| | |
|-------------------------|------------|
| SCALE 1:100 | Chg. Sheet |
| DO NOT SCALE DRAWINGS | A1 |
| Scales Before Reduction | |
| 1 0 1 2 3 4 5 m | |



CLIENT
N.Q. FARMING PTY. LTD. TTE

| PROJECT | PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA |
|---------------|--|
| DRAWN | J.P. |
| DESIGNED | J.P. |
| DRAWING CHECK | A. MCP |
| DESIGN REVIEW | A. MCP |
| APPROVED | |

TITLE
ROAD A - CROSS SECTIONS (SHEET 2 OF 4)
PRELIMINARY



CROSS SECTIONS - ROAD A
 SCALES: HOR: 1:100
 VER: 1:100

| | | |
|-----|-------|---|
| REV | DATE | REVISION NOTES |
| A | 10/28 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

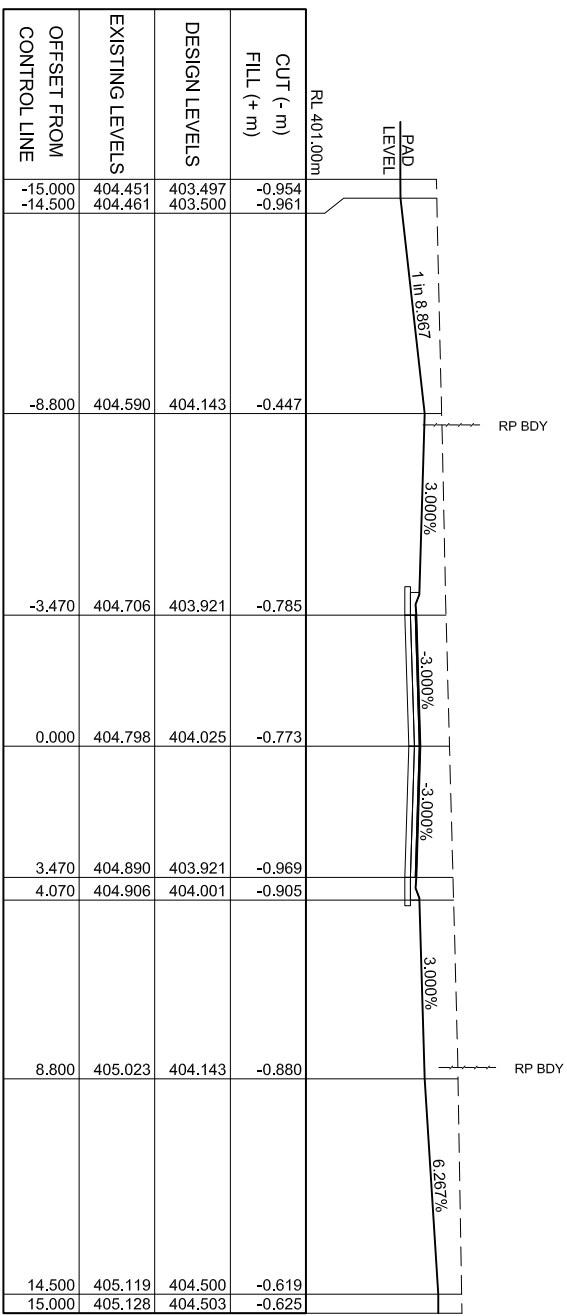
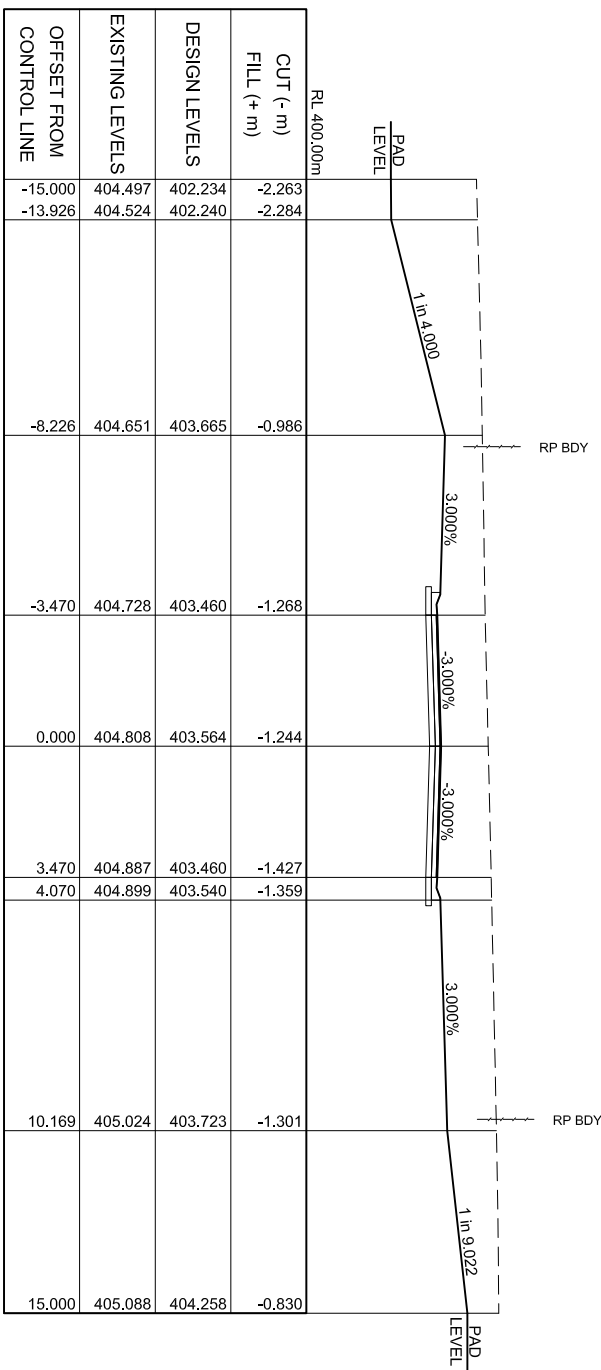
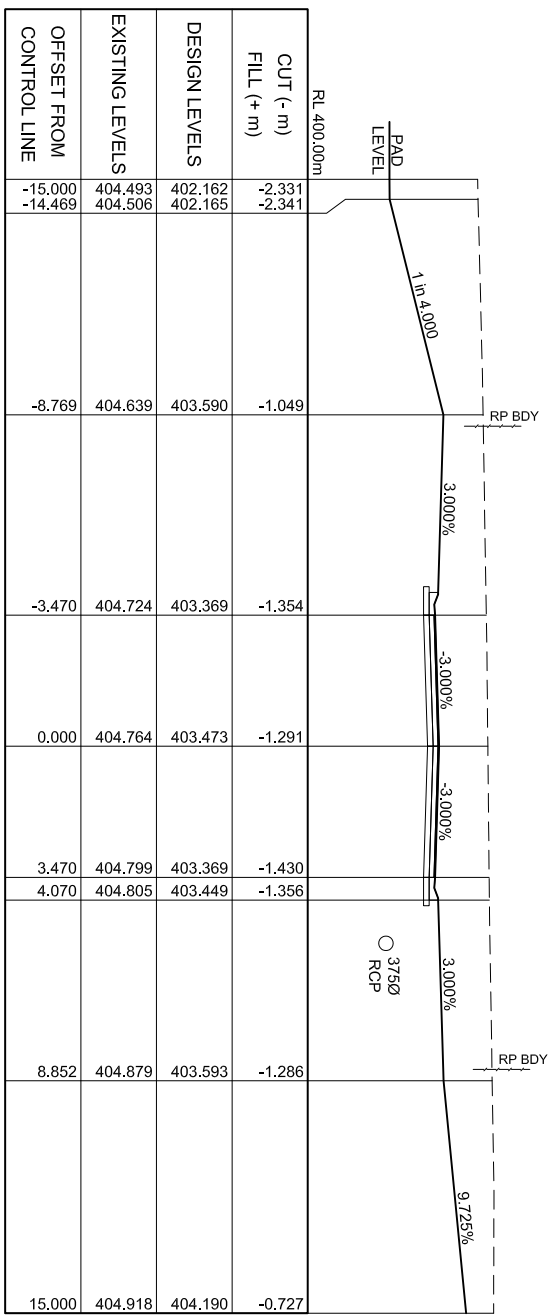
SCALE 1:100
 DO NOT SCALE DRAWINGS
 Scales Before Reduction
 0 1 2 3 4 5 m

RESIGNER
OSE GROUP
 Address: 38 ABBOTT ST CHENG 4870
 Email: osei@osegroup.com.au

CLIENT
N.Q. FARMING PTY. LTD. TTE

| | |
|---------------|--|
| PROJECT | PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA |
| DRAWN | J.P. |
| DESIGNED | J.P. |
| DRAWING CHECK | A.M.P. |
| DESIGN REVIEW | A.M.P. |
| APPROVED | |
| DATE | |

TITLE
ROAD A - CROSS SECTIONS (SHEET 3 OF 4)
PRELIMINARY



CROSS SECTIONS - ROAD A
 SCALES: HOR: 1:100
 VER: 1:100

| REV | DATE | REVISION NOTES |
|-----|-------|---|
| A | 10/26 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

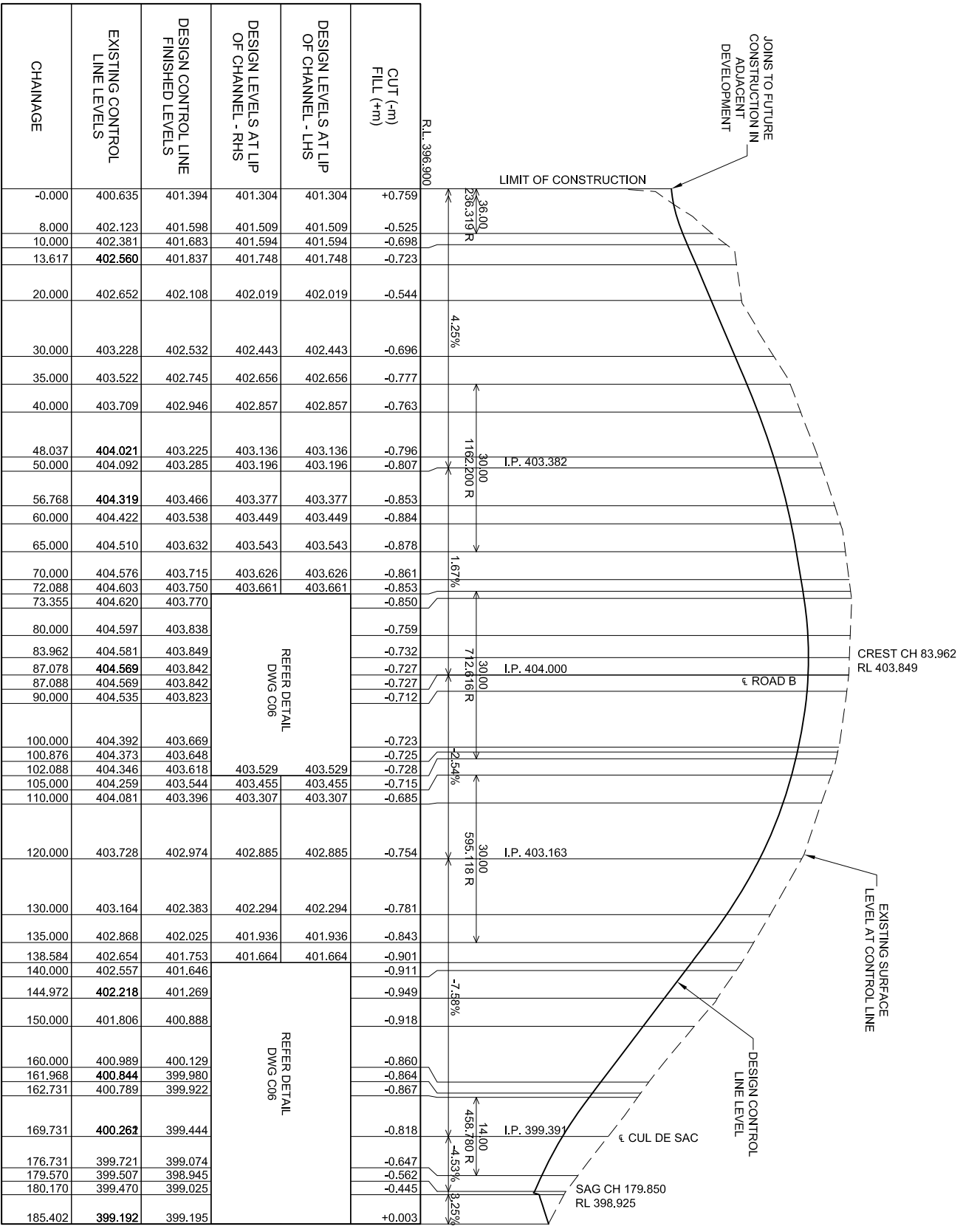
SCALE 1:100
 DO NOT SCALE DRAWINGS
 Scales Before Reduction
 0 1 2 3 4 5 m

DESIGNER
OSE GROUP
 Address: 38 ABBOTT ST CHENS 4870
 Email: dhr@osegroup.com.au

CLIENT
N.Q. FARMING PTY. LTD. TTE

| PROJECT | | DRAWING CHECK | | APPROVED | |
|---|------|---------------|---------------|----------|------|
| PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA | | DESIGNED | DESIGN REVIEW | DATE | DATE |
| J.P. | J.P. | A. MCP | A. MCP | | |

| TITLE | | SCALE | DRAWING No | REV |
|---|--|----------|-------------|-----|
| ROAD A - CROSS SECTIONS (SHEET 4 OF 4) | | AS SHOWN | 24040 - C11 | A |
| PRELIMINARY | | | | |



| CHAINAGE | EASTING | NORTHING | RADII | BEARING |
|----------|---------|------------|-------------|---------------------|
| L#10 | 43.141 | 333230.306 | 8118885.593 | 350°33'55" STRAIGHT |
| L#10 | -8.910 | 333224.694 | 8118819.361 | 350°33'55" STRAIGHT |
| C#3 | -8.910 | 333224.694 | 8118819.361 | 350°33'55" ARC |
| C#3 | -0.011 | 333221.964 | 8118927.797 | 333°34'06" ARC |
| C#4 | 13.617 | 333213.380 | 8118938.231 | 307°32'25" ARC |
| L#11 | 13.617 | 333213.380 | 8118938.231 | 307°32'25" STRAIGHT |
| L#11 | 48.037 | 333168.088 | 8118959.203 | 307°32'25" STRAIGHT |
| C#5 | 48.037 | 333168.088 | 8118959.203 | 307°32'25" ARC |
| C#5 | 56.768 | 333179.406 | 8118964.818 | 312°32'34" ARC |
| L#14 | 56.768 | 333179.406 | 8118964.818 | 312°32'34" STRAIGHT |
| L#14 | 87.078 | 333157.074 | 8118985.312 | 312°32'34" STRAIGHT |
| L#15 | 87.078 | 333157.074 | 8118985.312 | 312°32'34" STRAIGHT |
| L#15 | 144.972 | 333114.422 | 8119024.461 | 312°32'52" STRAIGHT |
| C#6 | 144.972 | 333114.422 | 8119024.461 | 312°32'52" ARC |
| C#6 | 161.968 | 333099.869 | 8119032.990 | 288°12'10" ARC |
| L#12 | 161.968 | 333099.869 | 8119032.990 | 288°12'10" STRAIGHT |
| L#12 | 169.731 | 333092.495 | 8119035.415 | 288°12'10" STRAIGHT |
| L#13 | 169.731 | 333092.495 | 8119035.415 | 288°12'15" STRAIGHT |
| L#13 | 185.402 | 333077.608 | 8119040.311 | 288°12'15" STRAIGHT |

DO NOT SCALE DRAWINGS
 Scales Before Reduction Orig. Sheet A1
 0.5 0 0.5 1.0 1.50 2.0 2.5m
 SCALE 1:50
 0 5 10 15 20 25.0m
 SCALE 1:500

DESIGNER: **OSE GROUP**
 Address: 38 ABBOTT ST. CLARENDON
 Email: daniel@osegroup.com.au

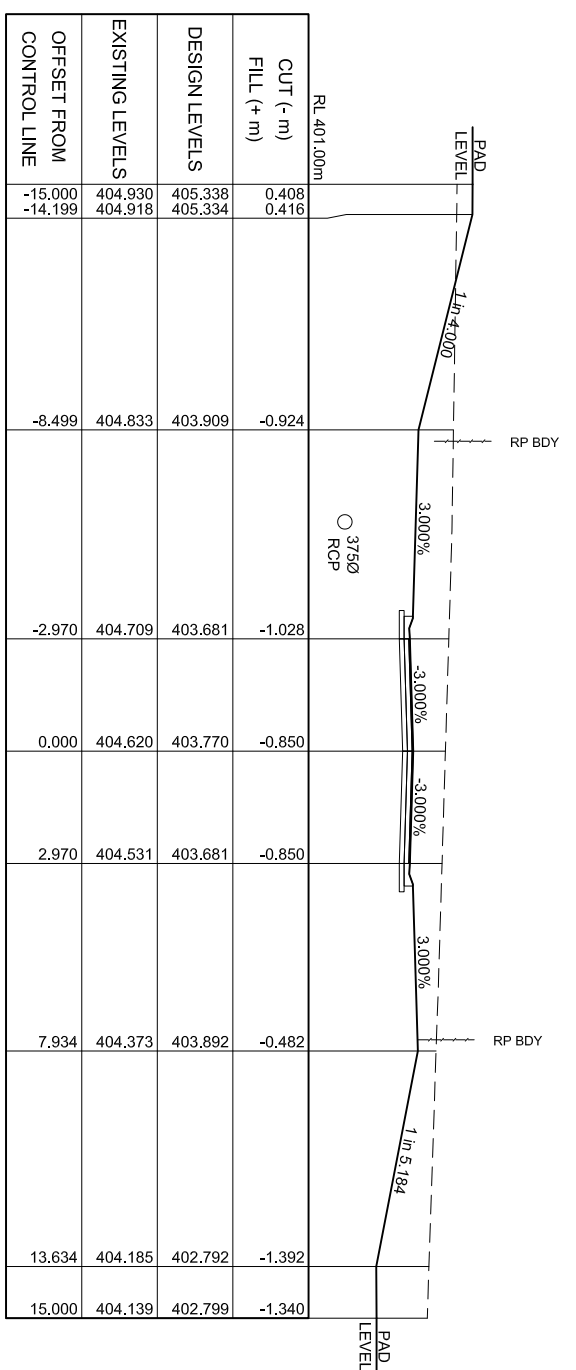
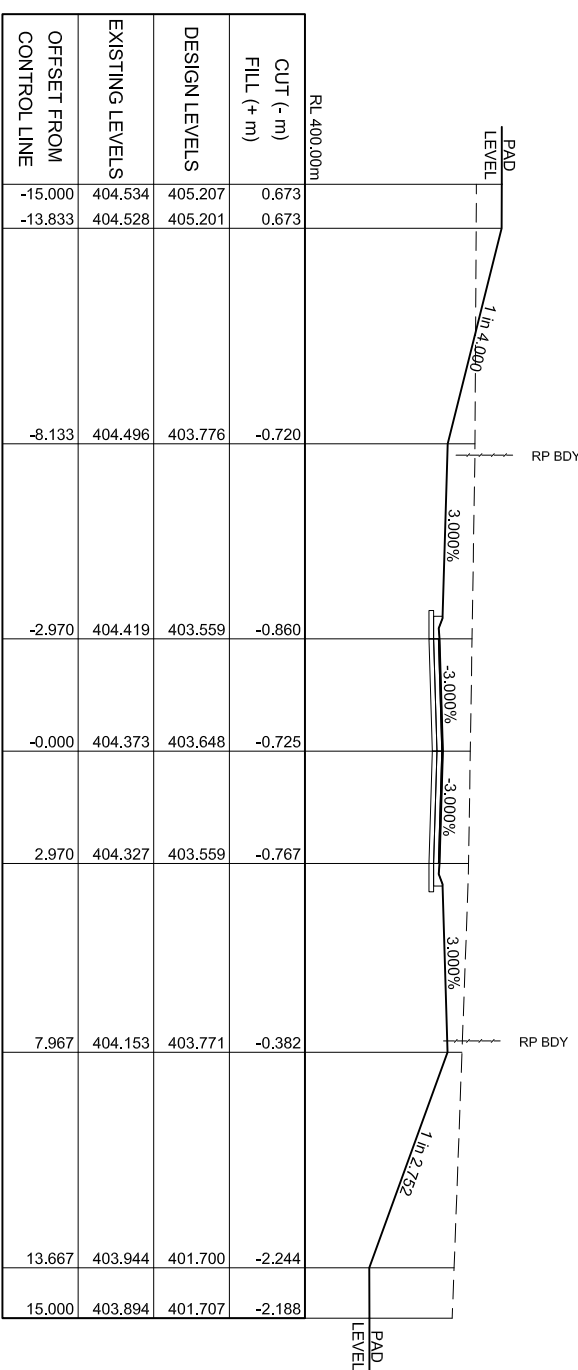
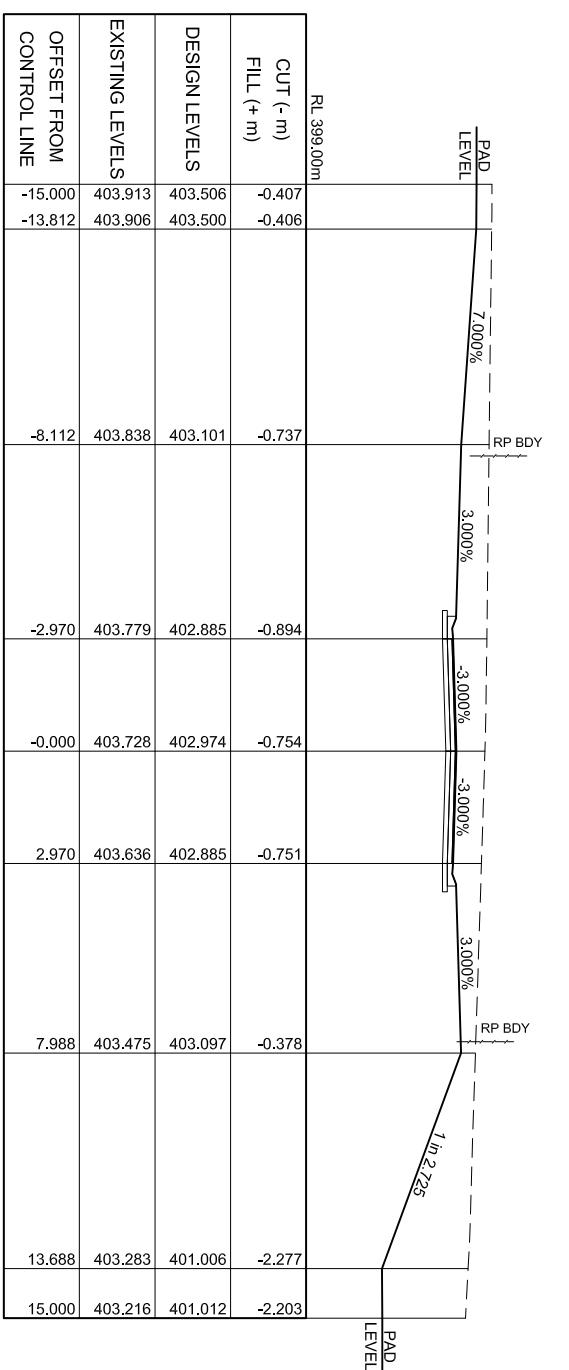
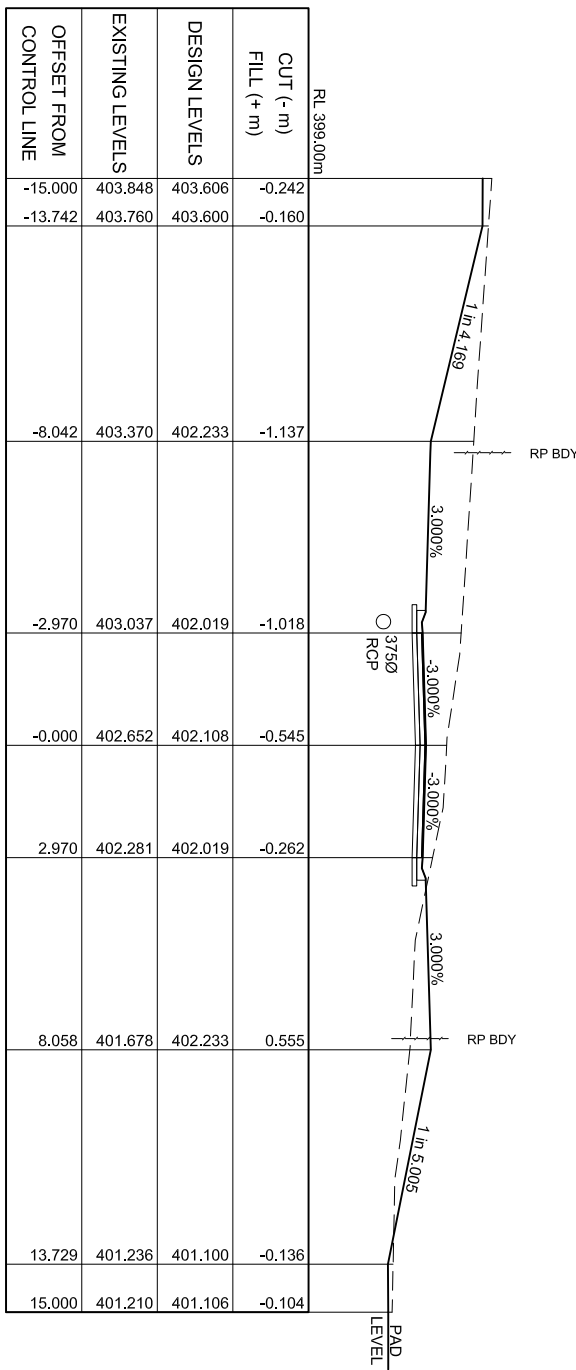
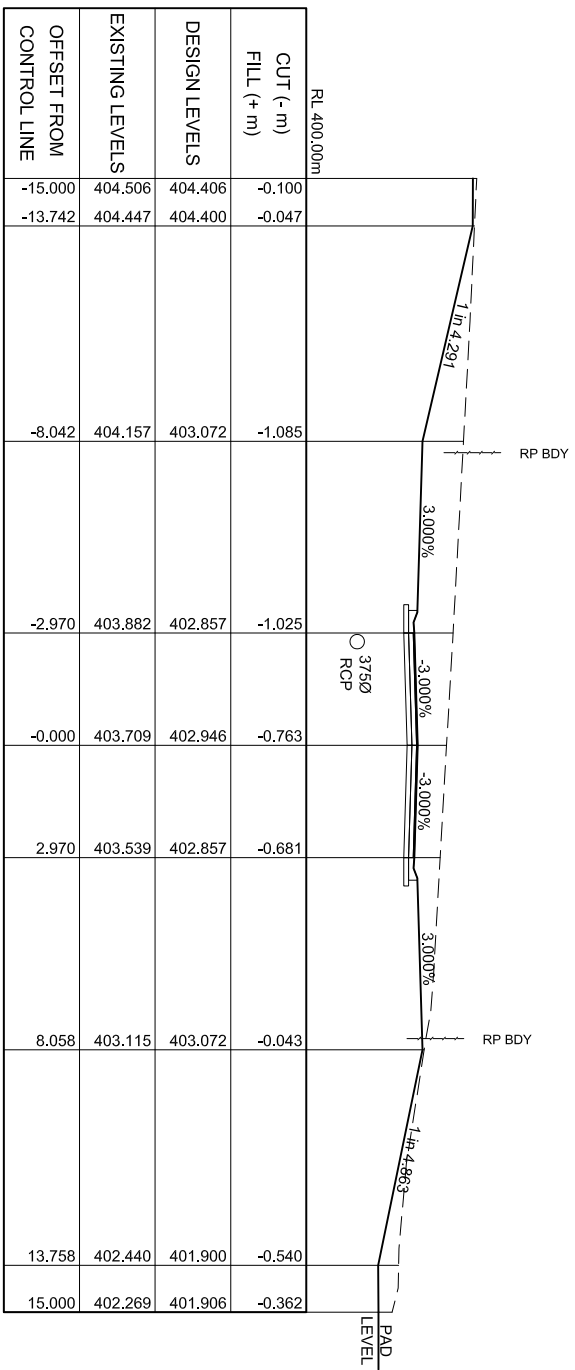
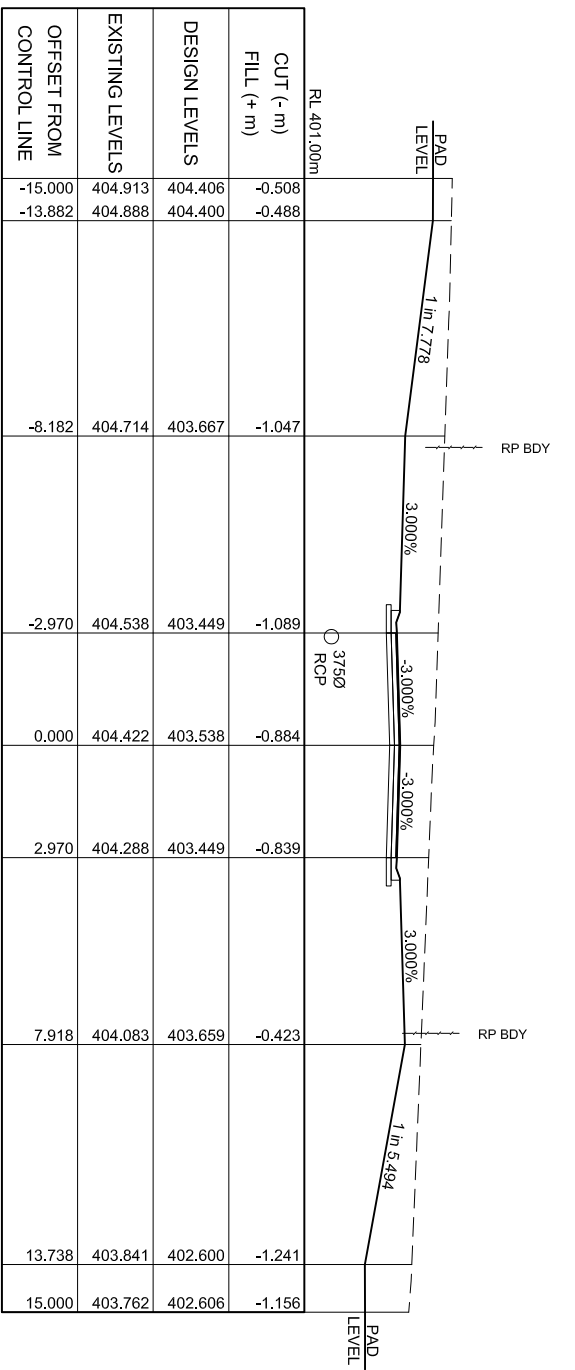
CLIENT: **N.Q. FARMING PTY. LTD. TTE**

PROJECT: **PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA**

TITLE: **ROAD A - LONGITUDINAL SECTION AND SET OUT**

| | | | |
|----------------|----------------------|-----------------|-------------------------|
| DRAWN: J.P. | DRAWING CHECK: A.MCP | APPROVED: A.MCP | SCALE: AS SHOWN |
| DESIGNED: J.P. | DESIGN REVIEW: A.MCP | DATE: | DRAWING NO: 24040 - C12 |

PRELIMINARY



CROSS SECTIONS - ROAD B

SCALE: HOR: 1:100
VER: 1:100

| REV | DATE | REVISION NOTES |
|-----|----------|---|
| A | 10/26/26 | ORIGINAL ISSUE FOR CONICAL OPERATIONAL WORKS APPROVAL |

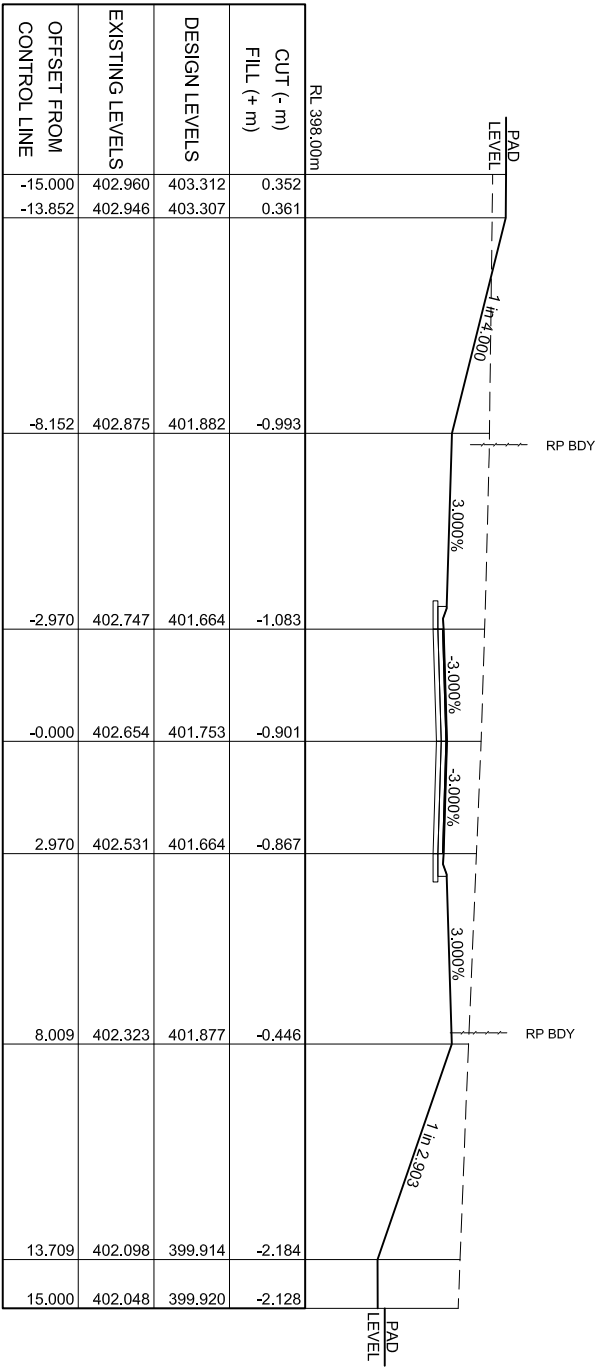
SCALE 1:100
DO NOT SCALE DRAWINGS
Scales Before Reduction
1 0 1 2 3 4 5 m

RESIGNER
OSE
G R O U P
Address: 38 ABBOTT ST CHENG KUN
Email: daniel@osegroup.com.au

CLIENT
N.Q. FARMING PTY. LTD. TTE

| PROJECT | PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA |
|---------------|--|
| DRAWN | J.P. |
| DESIGNED | J.P. |
| DRAWING CHECK | A. MCP |
| DESIGN REVIEW | A. MCP |
| DATE | |

TITLE
ROAD B - CROSS SECTIONS (SHEET 1 OF 2)
SCALE AS SHOWN
DRAWING NO: 24040 - C13
PRELIMINARY



CROSS SECTIONS - ROAD B
 SCALES: HOR: 1:100
 VER: 1:100

| REV | DATE | REVISION NOTES |
|-----|----------|---|
| A | 10/04/26 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

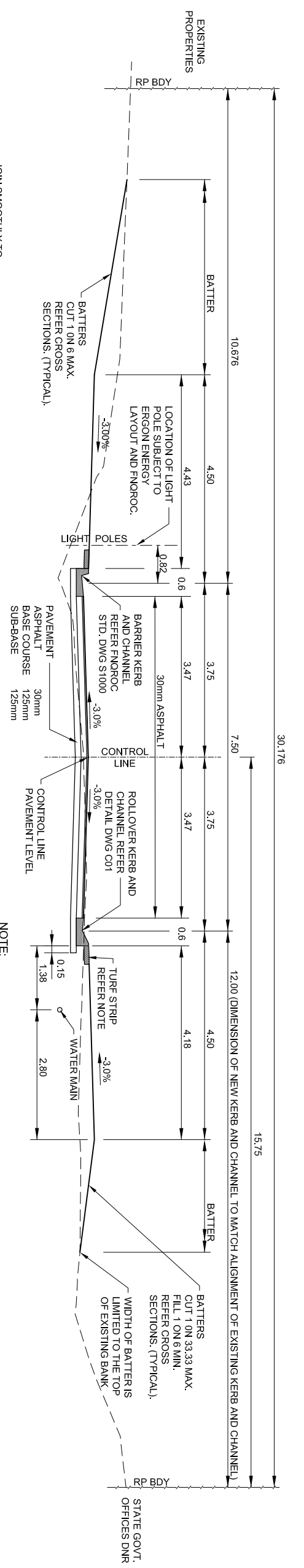
SCALE 1:100
 DO NOT SCALE DRAWINGS
 Scales Before Reduction
 0 1 2 3 4 5 m

DESIGNER
OSE GROUP
 Address: 36 ABBOTT ST CHENG 4870
 Email: admin@osegroup.com.au

CLIENT
N.Q. FARMING PTY. LTD. TTE

| PROJECT | | DRAWING CHECK | | APPROVED | |
|--|------|---------------|---------------|----------|------|
| PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA | | DESIGNED | DESIGN REVIEW | DATE | DATE |
| J.P. | J.P. | A. MCP | A. MCP | | |

| TITLE | | SCALE | DRAWING NO | REV |
|--|--|----------|-------------|-----|
| ROAD B - CROSS SECTIONS (SHEET 2 OF 2) | | AS SHOWN | 24040 - C14 | A |
| PRELIMINARY | | | | |



PETERS STREET
CH -3.688 TO 120.00
 SCALE 1:50

NOTE:
 SINGLE TURF STRIP 400mm WIDE WITH 1.0m RETURNS AT 10.0m SPACING BEHIND ALL KERB AND CHANNEL (TYPICAL).

| CHAINAGE | EXISTING CONTROL LINE LEVELS | DESIGN CONTROL LINE FINISHED LEVELS | DESIGN LEVELS AT LIP OF CHANNEL - RHS | DESIGN LEVELS AT LIP OF CHANNEL - LHS | CUT (-m) FILL (+m) |
|----------|------------------------------|-------------------------------------|---------------------------------------|---------------------------------------|--------------------|
| -30.000 | 407.480 | | | | |
| -20.000 | 407.173 | | | | |
| -10.000 | 406.889 | | | | |
| -3.688 | 406.675 | 406.550 | 406.446 | 406.373 | -0.125 |
| -0.000 | 406.500 | 406.413 | 406.309 | 406.249 | -0.087 |
| 10.000 | 406.138 | 406.042 | 405.938 | 405.914 | -0.096 |
| 20.000 | 405.585 | 405.582 | 405.478 | 405.478 | -0.003 |
| 30.000 | 404.911 | 404.946 | 404.841 | 404.841 | +0.035 |
| 40.000 | 404.023 | 404.131 | 404.027 | 404.027 | +0.108 |
| 50.000 | 403.045 | 403.140 | 403.036 | 403.036 | +0.095 |
| 60.000 | 401.955 | 402.060 | 401.956 | 401.956 | +0.105 |
| 70.000 | 400.805 | 400.980 | 400.876 | 400.876 | +0.175 |
| 80.000 | 399.741 | 399.931 | 399.827 | 399.827 | +0.190 |
| 90.000 | 398.704 | 398.944 | 398.840 | 398.840 | +0.240 |
| 92.450 | 398.464 | 398.710 | 398.606 | 398.606 | +0.246 |
| 100.000 | 397.782 | 397.988 | 397.884 | 397.884 | +0.206 |
| 106.202 | 397.223 | 397.396 | 397.292 | 397.292 | +0.173 |
| 109.672 | 396.838 | 397.064 | 396.960 | 396.960 | +0.226 |
| 110.000 | 396.808 | 397.026 | 396.922 | 396.922 | +0.218 |
| 120.000 | 395.865 | 395.865 | | 395.761 | +0.000 |

| Peters Street | | | | |
|---------------|------------|-------------|--------------------|---------|
| CHAINAGE | EASTING | NORTHING | RADII | BEARING |
| L#1 | 332791.943 | 8119009.175 | 73°55'45" STRAIGHT | |
| L#2 | 332817.227 | 8119016.459 | 73°55'45" STRAIGHT | |
| L#3 | 332820.770 | 8119017.480 | 73°55'45" STRAIGHT | |
| L#4 | 332922.822 | 8119046.879 | 73°55'45" STRAIGHT | |
| L#5 | 332926.157 | 8119047.840 | 73°55'45" STRAIGHT | |
| L#6 | 332936.081 | 8119050.899 | 73°55'45" STRAIGHT | |

LONGITUDINAL SECTION - PETERS STREET
CH -130.00 TO CH. 120.00
 SCALES: HOR: 1:500
 VER: 1:100

| REV | DATE | REVISION NOTES |
|-----|----------|---|
| A | 10/04/26 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

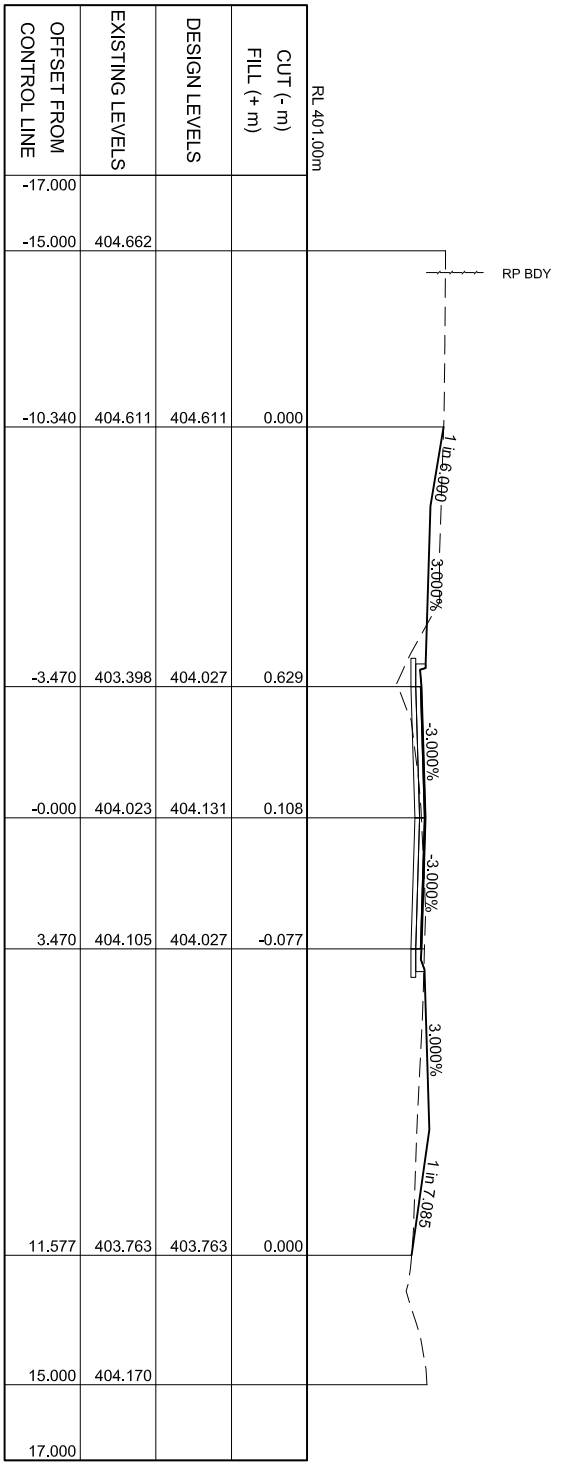
DO NOT SCALE DRAWINGS
 Scales Before Reduction Orig. Sheet A1
 SCALE 1:100
 SCALE 1:500



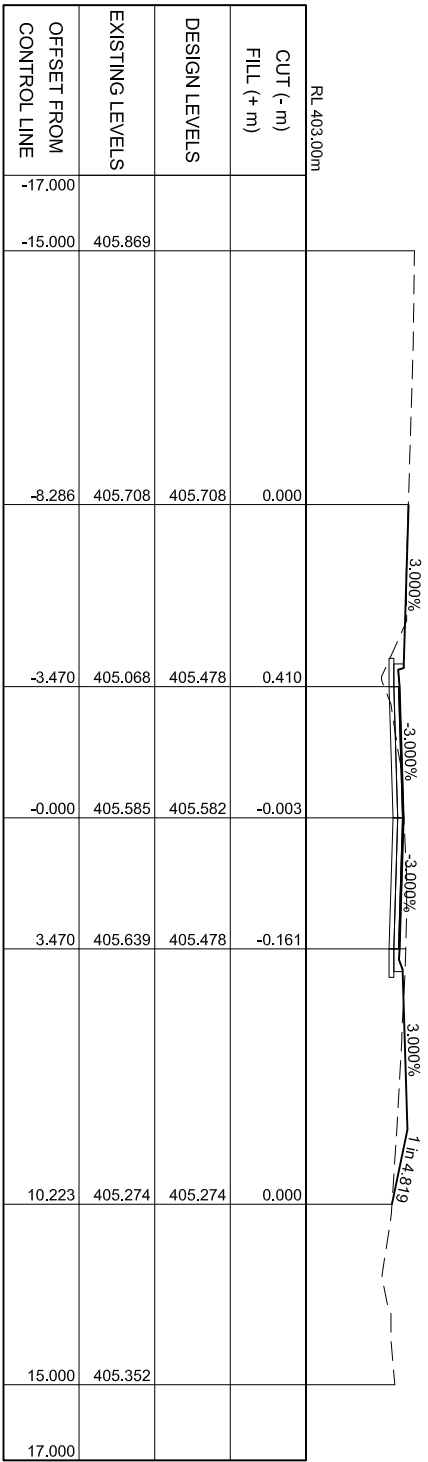
CLIENT
N.Q. FARMING PTY. LTD. TTE

| PROJECT | | | |
|----------|-------|---------|----------|
| DESIGNED | DRAWN | CHECKED | APPROVED |
| J.P. | J.P. | A.MCP | A.MCP |
| J.P. | J.P. | A.MCP | |

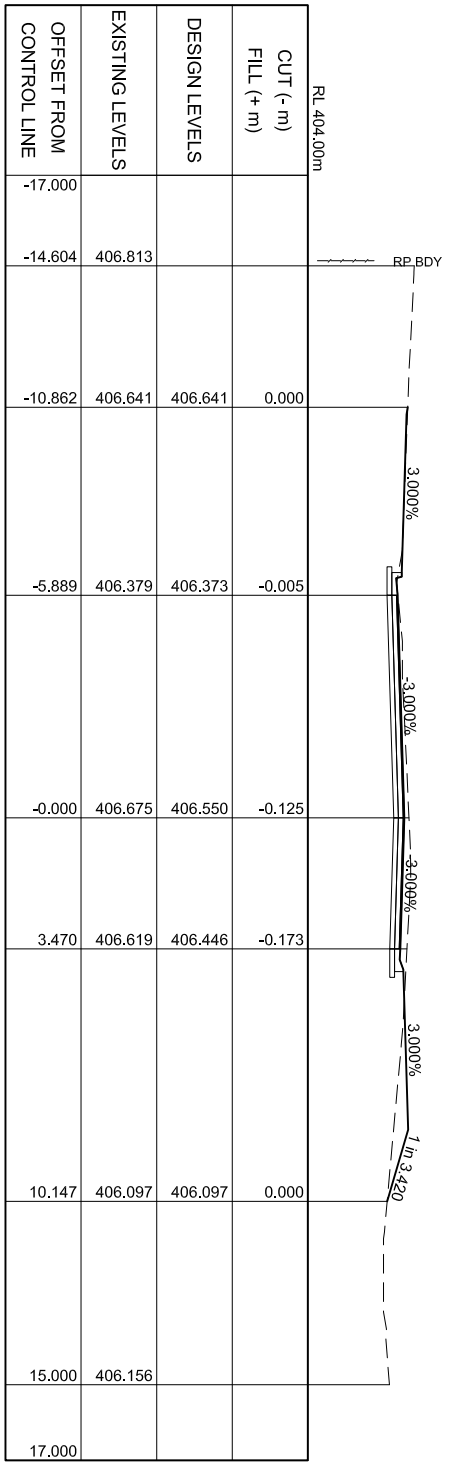
TITLE
ROAD B - LONGITUDINAL SECTION, TYPICAL
CROSS SECTION AND SET OUT
PRELIMINARY



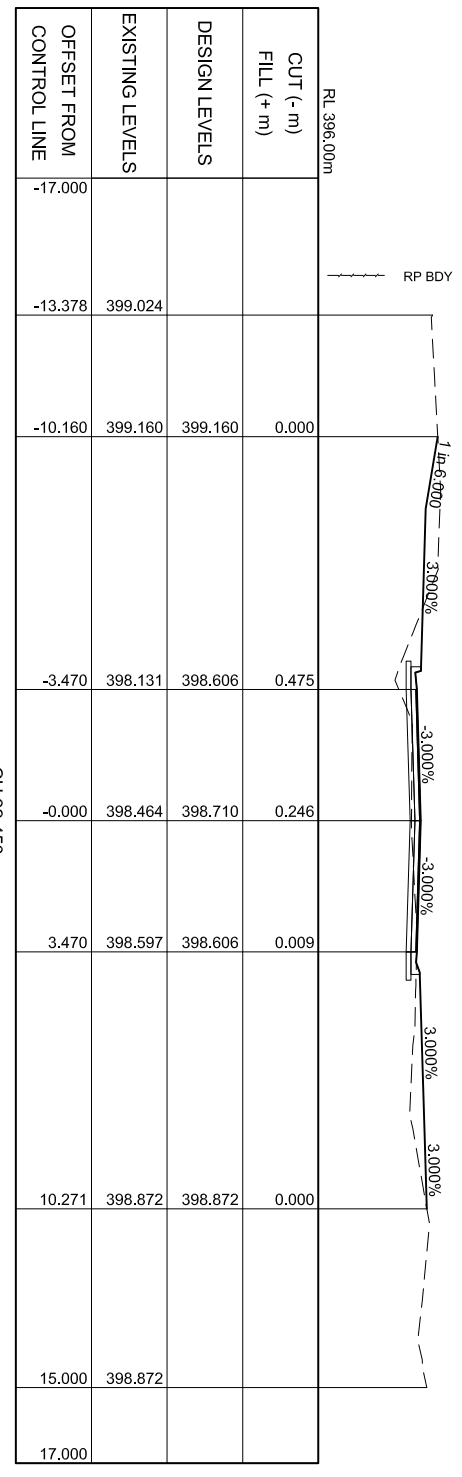
CH 40.000 m



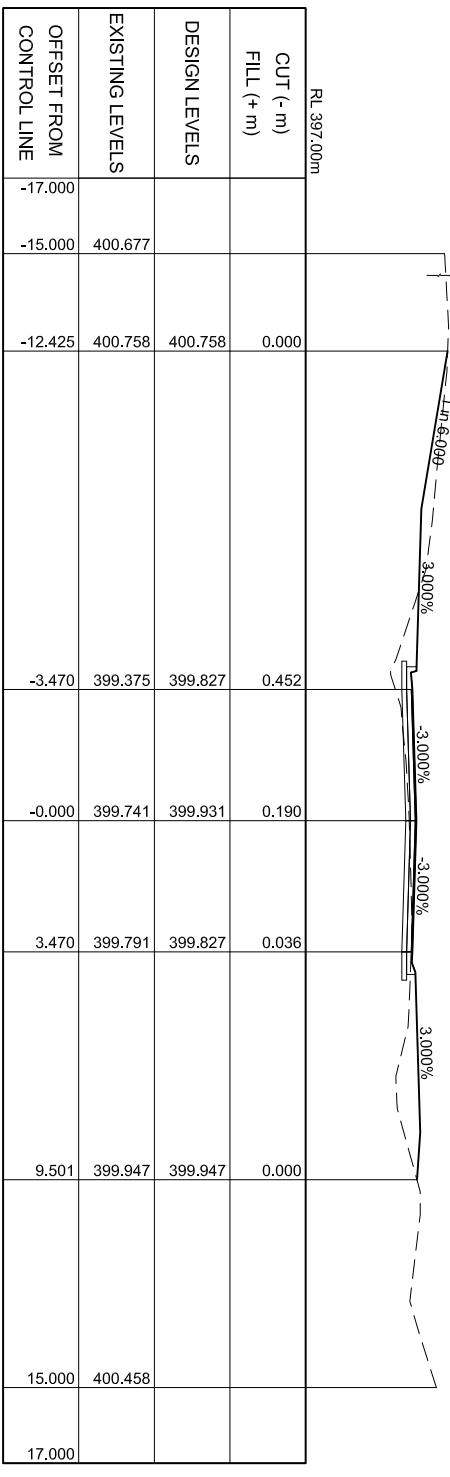
CH 20.000 m



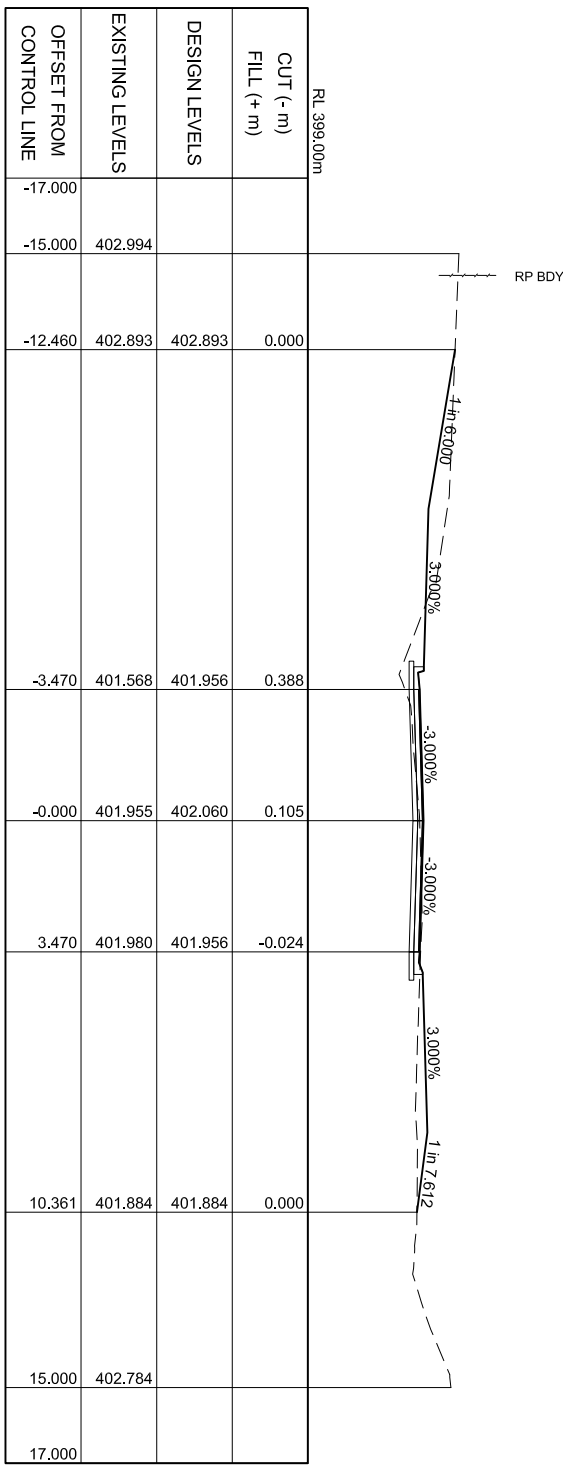
CH -3.688 m



CH 92.450 m



CH 80.000 m



CH 60.000 m

CROSS SECTIONS - PETERS STREET

SCALE: HOR: 1:100
VER: 1:100

| REV | DATE | REVISION NOTES |
|-----|------|--|
| A | | ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

SCALE 1:100
DO NOT SCALE DRAWINGS
Scales Before Reduction

DESIGNER
OSE GROUP
Address: 36 ABBOTT ST CHENG 4870
Email: dchris@osegroup.com.au

CLIENT
N.Q. FARMING PTY. LTD. TTE

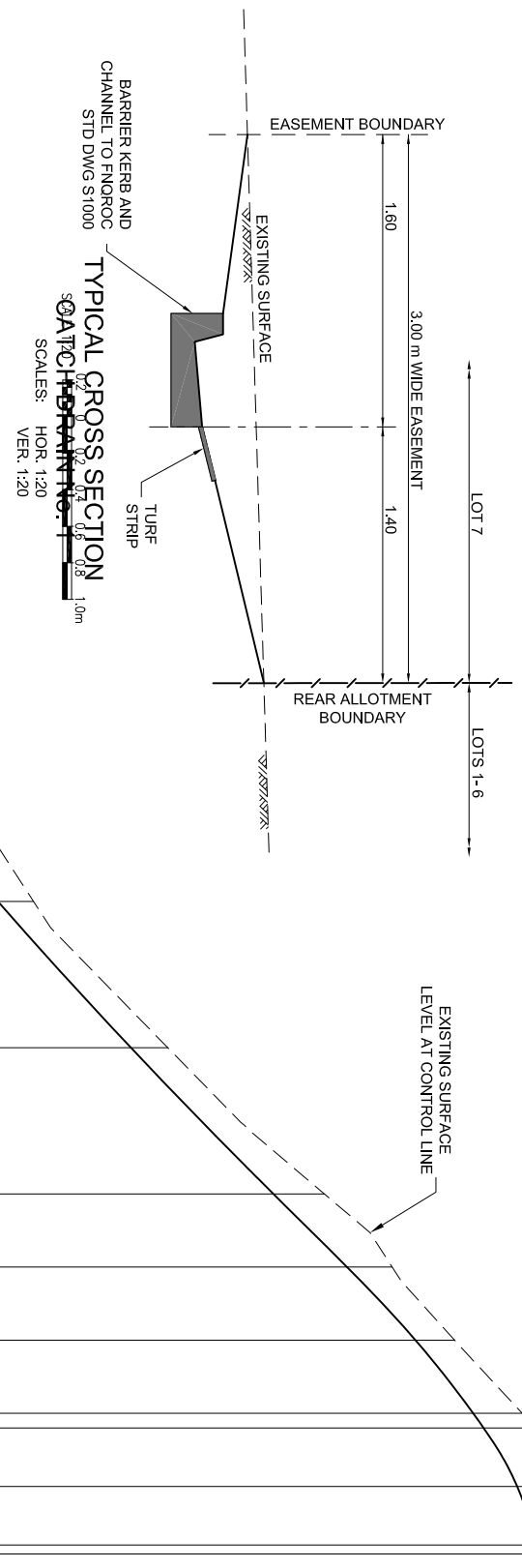
| PROJECT | PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA |
|---------------|---|
| DRAWN | J.P. |
| DESIGNED | J.P. |
| DRAWING CHECK | A. MCP |
| DESIGN REVIEW | A. MCP |
| APPROVED | |

TITLE
**PETERS STREET - CROSS SECTIONS
(SHEET 1 OF 1)**

SCALE AS SHOWN
DRAWING NO: C16
PRELIMINARY

OPEN DRAIN DATA
[AT CHN. -10.00]

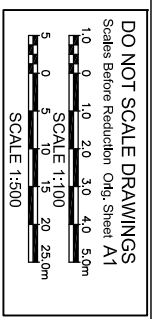
| | | |
|---------------------|---|----------------------|
| Q3, Q100 DISCHARGE: | = | 13 m ³ |
| MIN. SLOPE | = | 0.070, 0.144 cumecs. |
| Q100 DEPTH AT CL: | = | 2.25% |
| Q100 VELOCITY: | = | 0.34m |
| | = | 1.67 m/sec |



| CHAINAGE | EXISTING CONTROL LINE LEVELS | DESIGN CONTROL LINE INVERT LEVELS | CUT (-m) FILL (+m) | DESIGN LINE LEVEL | SLOPE | I.P. |
|----------|------------------------------|-----------------------------------|-----------------------|-------------------|--------|--------------|
| -15.000 | 394.368 | 394.085 | -0.283 | | 2.93% | I.P. 394.085 |
| -10.000 | 394.506 | 394.232 | -0.274 | | | |
| 0.000 | 394.974 | 394.707 | -0.267 | | 20.00 | I.P. 394.525 |
| 10.000 | 395.828 | 395.548 | -0.280 | | 10.23% | |
| 20.000 | 396.854 | 396.570 | -0.284 | | | I.P. 396.570 |
| 30.000 | 397.691 | 397.448 | -0.243 | | 8.77% | |
| 40.000 | 398.610 | 398.358 | -0.252 | | 20.00 | I.P. 398.325 |
| 50.000 | 399.681 | 399.333 | -0.349 | | 10.07% | |
| 55.000 | 400.145 | 399.836 | -0.309 | | | |
| 60.000 | 400.572 | 400.304 | -0.268 | | 10.00 | I.P. 400.340 |
| 65.000 | 401.034 | 400.699 | -0.336 | | | |
| 66.000 | 401.115 | 400.770 | -0.345 | | 7.17% | |
| 70.000 | 401.260 | 401.000 | -0.260 | | 8.00 | I.P. 401.057 |
| 74.000 | 401.330 | 401.115 | -0.215 | | | |
| 74.616 | 401.341 | 401.124 | -0.217 | | 1.45% | |

LONGITUDINAL SECTION - CATCH DRAIN No. 1
CH -150.00 TO CH. 74.616

SCALE: HOR. 1:500
VER. 1:100



| REV | DATE | REVISION/NOTES |
|-----|----------|---|
| A | 10/04/26 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

DO NOT SCALE DRAWINGS
Scales Before Reduction Orig. Sheet A1

SCALE 1:100
SCALE 1:500

DESIGNER: **OSE GROUP**
Address: 36 ABBOTT ST. CLARENDON
Email: dhrm@osegroup.com.au

CLIENT: **N.Q. FARMING PTY. LTD. TTE**

| PROJECT | |
|--|----------------------|
| PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA | |
| DRAWN: J.P. | DESIGNED: J.P. |
| DRAWING CHECK: A.MCP | DESIGN REVIEW: A.MCP |
| APPROVED: | DATE: |

TITLE: **ROAD A - LONGITUDINAL SECTION AND SET OUT**

SCALE: AS SHOWN
DRAWING No: 24040 - C17
PRELIMINARY



CROSS SECTIONS - CATCH DRAIN No. 1
SCALE: HOR. 1:50
VER. 1:50

CH -10.000 m

| OFFSET FROM CONTROL LINE | EXISTING LEVELS | DESIGN LEVELS | CUT (-m) FILL (+m) |
|--------------------------|-----------------|---------------|-----------------------|
| -2.600 | 394.358 | 394.419 | 0.000 |
| -1.600 | 394.419 | 394.232 | -0.274 |
| 0.000 | 394.506 | 394.572 | 0.000 |
| 1.400 | 394.572 | 394.572 | 0.000 |
| 2.400 | 394.611 | | |

CH 0.000 m

| OFFSET FROM CONTROL LINE | EXISTING LEVELS | DESIGN LEVELS | CUT (-m) FILL (+m) |
|--------------------------|-----------------|---------------|-----------------------|
| -2.600 | 394.833 | 394.889 | 0.000 |
| -1.600 | 394.889 | 394.707 | -0.267 |
| -0.000 | 394.974 | 395.042 | 0.000 |
| 1.400 | 395.042 | 395.042 | 0.000 |
| 2.400 | 395.086 | | |

CH 20.000 m

| OFFSET FROM CONTROL LINE | EXISTING LEVELS | DESIGN LEVELS | CUT (-m) FILL (+m) |
|--------------------------|-----------------|---------------|-----------------------|
| -2.600 | 396.745 | 396.787 | 0.000 |
| -1.600 | 396.787 | 396.570 | -0.284 |
| -0.000 | 396.854 | 396.912 | 0.000 |
| 1.400 | 396.912 | 396.912 | 0.000 |
| 2.400 | 396.980 | | |

CH 40.000 m

| OFFSET FROM CONTROL LINE | EXISTING LEVELS | DESIGN LEVELS | CUT (-m) FILL (+m) |
|--------------------------|-----------------|---------------|-----------------------|
| -2.600 | 398.553 | 398.583 | 0.000 |
| -1.600 | 398.583 | 398.358 | -0.252 |
| -0.000 | 398.610 | 398.630 | 0.000 |
| 1.400 | 398.630 | 398.630 | 0.000 |
| 2.400 | 398.645 | | |

CH 60.000 m

| OFFSET FROM CONTROL LINE | EXISTING LEVELS | DESIGN LEVELS | CUT (-m) FILL (+m) |
|--------------------------|-----------------|---------------|-----------------------|
| -2.600 | 400.443 | 400.493 | 0.000 |
| -1.600 | 400.493 | 400.304 | -0.268 |
| -0.000 | 400.572 | 400.648 | 0.000 |
| 1.400 | 400.648 | 400.648 | 0.000 |
| 2.400 | 400.704 | | |

CH 70.000 m

| OFFSET FROM CONTROL LINE | EXISTING LEVELS | DESIGN LEVELS | CUT (-m) FILL (+m) |
|--------------------------|-----------------|---------------|-----------------------|
| -2.600 | 401.031 | 401.119 | 0.000 |
| -1.600 | 401.119 | 401.000 | -0.260 |
| -0.000 | 401.260 | 401.345 | 0.000 |
| 1.400 | 401.345 | 401.345 | 0.000 |
| 2.400 | 401.395 | | |

WATER SUPPLY FITTING LIST

| REF. | SYMBOL | DESCRIPTION |
|------|--------|--|
| 1 | | 75 Ø SPRING HYDRANT (MAXI FLO TYPE) COMPLETE WITH C.I.M.E. TEE, RISER, C.I. COVER BOX, MARGIN & MARKER, ORIENTATE HYDRANT SUCH THAT BOLTS ARE PARALLEL TO WATER MAIN. |
| 2 | | 1000Ø VALVE TO AS 2638.2 COATED WITH A THERMOSETTING EPOXY POWDER, NE PN16 COMPLETE WITH C.I. COVER, BOX, ANCHOR, MARGIN & MARKER OR 50Ø DR BRASS VALVE TO AS 1628 COMPLETE WITH C.I. COVER, BOX, ANCHOR, MARGIN AND MARKER. SIZES AS NOTED. |
| 3 | | C.I.M.E. TEE WITH CONCRETE THRUST BLOCK |
| 4 | | C.I.M.E. BEND TO SUIT WITH CONCRETE THRUST BLOCK. |
| 5 | | 630 Ø SERVICE MAIN CONNECTION AS PER FNOROC STD DWG S2020 |
| 6 | | C.I.M.E. DEAD END CAP OR 630Ø DEAD END CAP WITH CONCRETE THRUST BLOCK. |
| 7 | | CONTRACTOR TO ARRANGE FOR COUNCIL TO CONNECT TO NEW WATER MAIN TO EXISTING AND PAY ALL FEES AND CHARGES |
| 8 | | INSTALL A WATER SERVICE CONNECTION TO EACH LOT (EXCLUDING METERS). REFER FNOROC MSC SPECIFIC DWG S2060. |
| 9 | | 1000Ø DCCL |

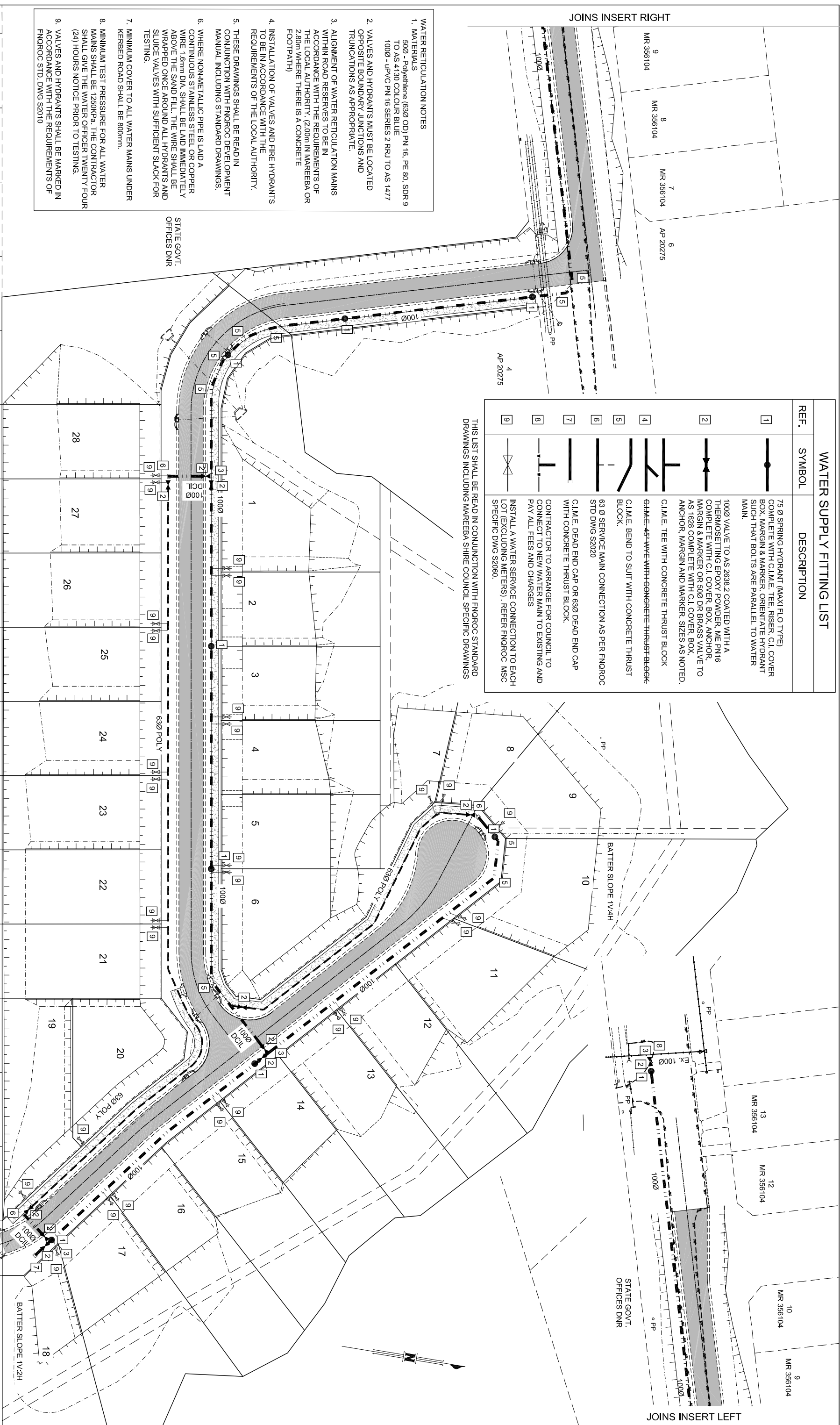
THIS LIST SHALL BE READ IN CONJUNCTION WITH FNOROC STANDARD DRAWINGS INCLUDING MAREEBA SHIRE COUNCIL SPECIFIC DRAWINGS

WATER RETICULATION NOTES

1. MATERIALS
500 - Polyethylene (630 OD) PN 16, PE 80, SDR 9 TO AS 4130 COLOUR BLUE
1000 - uPVC PN 16 SERIES 2 RRU TO AS 1477
2. VALVES AND HYDRANTS MUST BE LOCATED OPPOSITE BOUNDARY JUNCTIONS AND TRUNCATIONS AS APPROPRIATE.
3. ALIGNMENT OF WATER RETICULATION MAINS WITHIN ROAD RESERVES TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY. (2.00m IN MAREEBA OR 2.80m WHERE THERE IS A CONCRETE FOOTPATH)
4. INSTALLATION OF VALVES AND FIRE HYDRANTS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
5. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH FNOROC DEVELOPMENT MANUAL INCLUDING STANDARD DRAWINGS.
6. WHERE NON-METALLIC PIPE IS LAID A CONTINUOUS STAINLESS STEEL OR COPPER WIRE 1.6mm DIA. SHALL BE LAID IMMEDIATELY ABOVE THE SAND FILL. THE WIRE SHALL BE WRAPPED ONCE AROUND ALL HYDRANTS AND SLICE VALVES WITH SUFFICIENT SLACK FOR TESTING.
7. MINIMUM COVER TO ALL WATER MAINS UNDER KERBED ROAD SHALL BE 800mm.
8. MINIMUM TEST PRESSURE FOR ALL WATER MAINS SHALL BE 1250KPa. THE CONTRACTOR SHALL GIVE THE WATER OFFICER TWENTY FOUR (24) HOURS NOTICE PRIOR TO TESTING.
9. VALVES AND HYDRANTS SHALL BE MARKED IN ACCORDANCE WITH THE REQUIREMENTS OF FNOROC STD. DWG S2010

JOINS INSERT RIGHT

JOINS INSERT LEFT



| | | |
|-----|----------|---|
| REV | DATE | REVISION NOTES |
| A | 10/04/26 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

| | |
|-------------------------|----------------|
| SCALE 1:500 | Orig. Sheet A1 |
| DO NOT SCALE DRAWINGS | |
| Scales Before Reduction | |
| | |

| | |
|--|----------------------------|
| DESIGNER | CLIENT |
| OSE GROUP Address: 36 ABBOTT ST. CHENNS 4870 Email: dnr@osegroup.com.au | N.Q. FARMING PTY. LTD. TTE |

| | |
|--|-------------------------|
| PROJECT | TITLE |
| PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA | WATER RETICULATION PLAN |

| | | | | | | | |
|-------|----------|---------------|---------------|----------|-------------|-------------|-----|
| DRAWN | DESIGNED | DRAWING CHECK | DESIGN REVIEW | APPROVED | SCALE | DRAWING NO. | REV |
| J.P. | J.P. | A. MCP | A. MCP | AS SHOWN | 24040 - C18 | A | |

| | | |
|-----|----------|---|
| REV | DATE | REVISION NOTES |
| A | 10/28/26 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

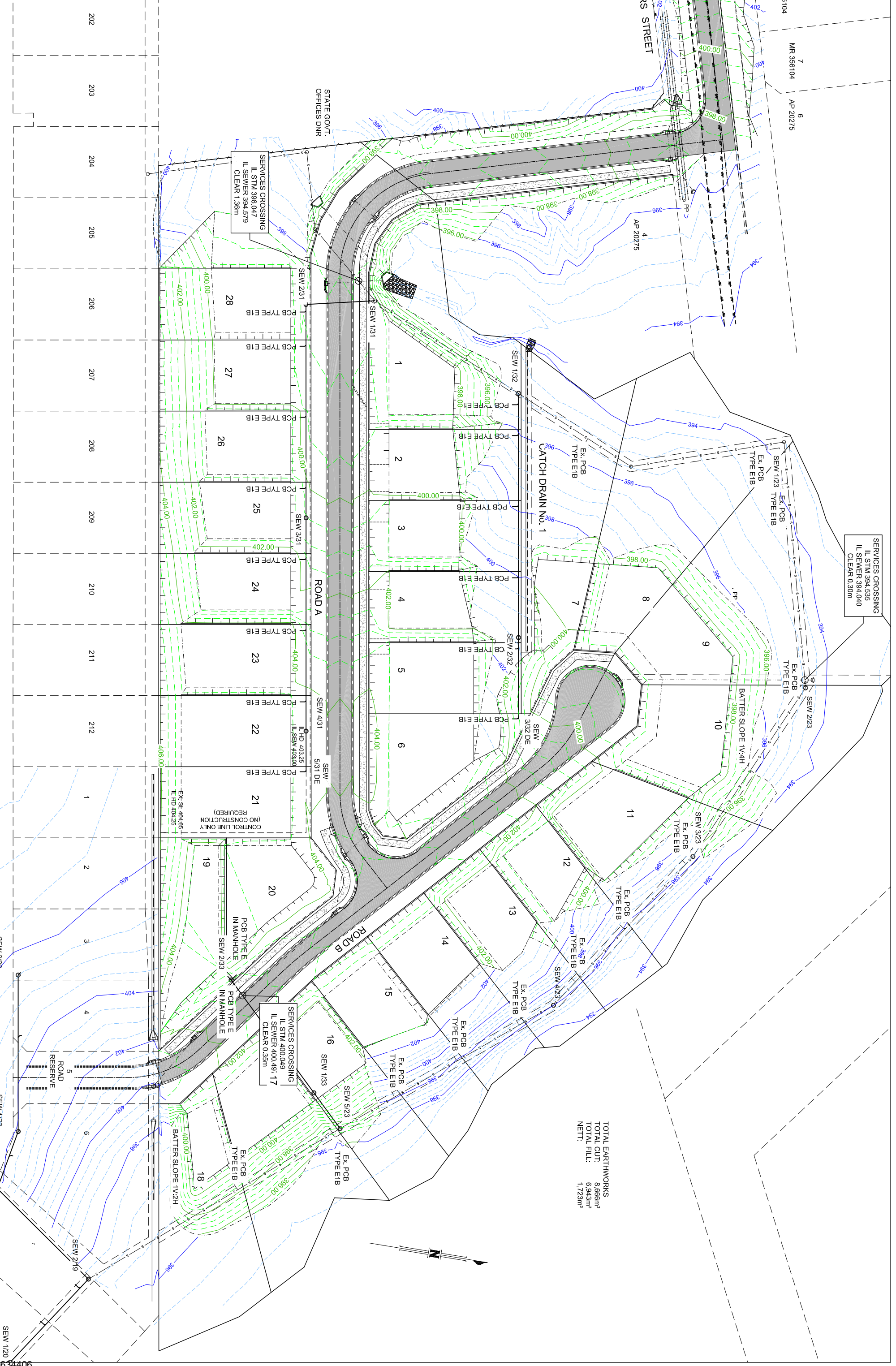
SCALE 1:500
 DO NOT SCALE DRAWINGS
 Scales Before Reduction
 0 5 10 15 20 25 m

DESIGNER
OSE GROUP
 Address: 36 ABBOTT ST. CARRIS APT 8
 Email: office@osegroup.com.au

CLIENT
N.Q. FARMING PTY. LTD. TTE

| | |
|---------------|---|
| PROJECT | PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA |
| DESIGNED | J.P. |
| DESIGN REVIEW | A.M.P. |
| APPROVED | A.M.P. |
| DATE | |

SEWERAGE RETICULATION PLAN
 PRELIMINARY

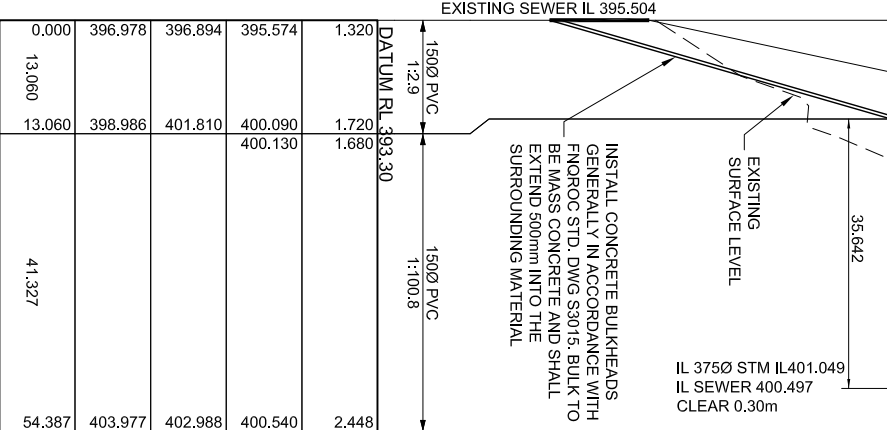
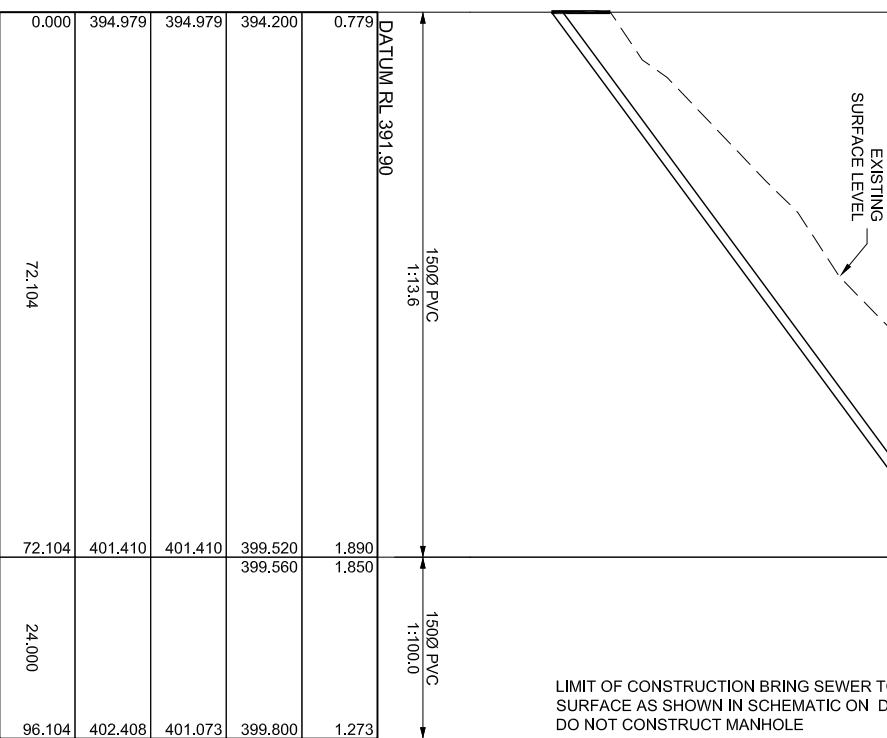
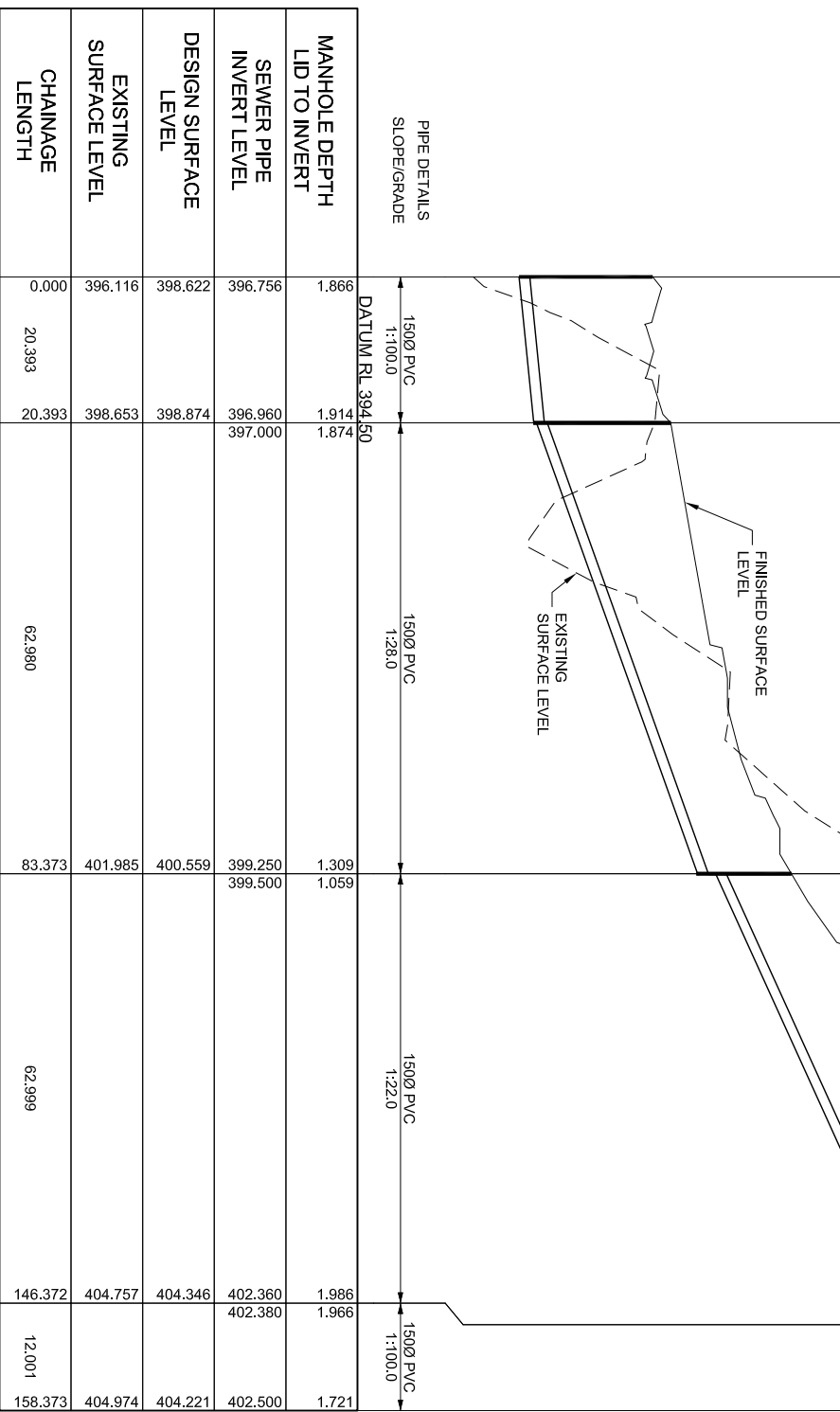


| MANHOLE TYPE CLASS OF LID | RECT CLASS 'B' | CIRCULAR CLASS 'B' | CIRCULAR CLASS 'B' | CIRCULAR CLASS 'B' |
|---------------------------|----------------|--------------------|--------------------|--------------------|
| MANHOLE DROP | TYPE 'A' | TYPE 'A' | TYPE 'C' | TYPE 'A' |
| MANHOLE NUMBER | SEW 1/31 | SEW 2/31 | SEW 3/31 Ezi Pit | SEW 4/31 |
| | | | | SEW 5/31 DE |

| RECT CLASS 'B' | CIRCULAR CLASS 'B' | CIRCULAR CLASS 'B' |
|----------------|--------------------|--------------------|
| TYPE 'A' | TYPE 'A' | TYPE 'A' |
| SEW 1/32 | SEW 2/32 | SEW 3/32 DE |

| RECT CLASS 'B' | RECT CLASS 'B' |
|----------------|----------------|
| TYPE 'A' | TYPE 'A' |
| SEW 1/33 | SEW 2/33 |

| SEWER SETOUT POINTS | | | |
|---------------------|------------|-------------|---------|
| Point # | Easting | Northing | Level |
| 71 | 332986.545 | 8118953.421 | 398.672 |
| 72 | 332990.979 | 8118933.515 | 398.924 |
| 73 | 333053.107 | 8118943.839 | 400.609 |
| 74 | 333115.254 | 8118954.186 | 404.396 |
| 75 | 333127.092 | 8118956.133 | 404.271 |
| 76 | 333006.607 | 8118999.672 | 395.029 |
| 77 | 333077.737 | 8119011.492 | 401.460 |
| 78 | 333101.412 | 8119015.426 | 401.123 |
| 79 | 333229.361 | 8118983.291 | 396.944 |
| 80 | 333220.239 | 8118973.944 | 401.880 |
| 81 | 333191.376 | 8118944.366 | 403.038 |



SEWER LONGITUDINAL SECTION FOR LINE 31
 SCALES: HORIZONTAL 1:500 VERTICAL 1:50

SEWER LONGITUDINAL SECTION FOR LINE 32
 SCALES: HORIZONTAL 1:500 VERTICAL 1:50

SEWER LONGITUDINAL SECTION FOR LINE 33
 SCALES: HORIZONTAL 1:500 VERTICAL 1:50

| REV | DATE | REVISION NOTES |
|-----|----------|---|
| A | 10/04/26 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

DO NOT SCALE DRAWINGS
 Scales Before Reduction Orig. Sheet A1
 0.5 1.0 1.5 2.0 2.5m
 SCALE 1:50
 0 5 10 15 20 25.0m
 SCALE 1:500

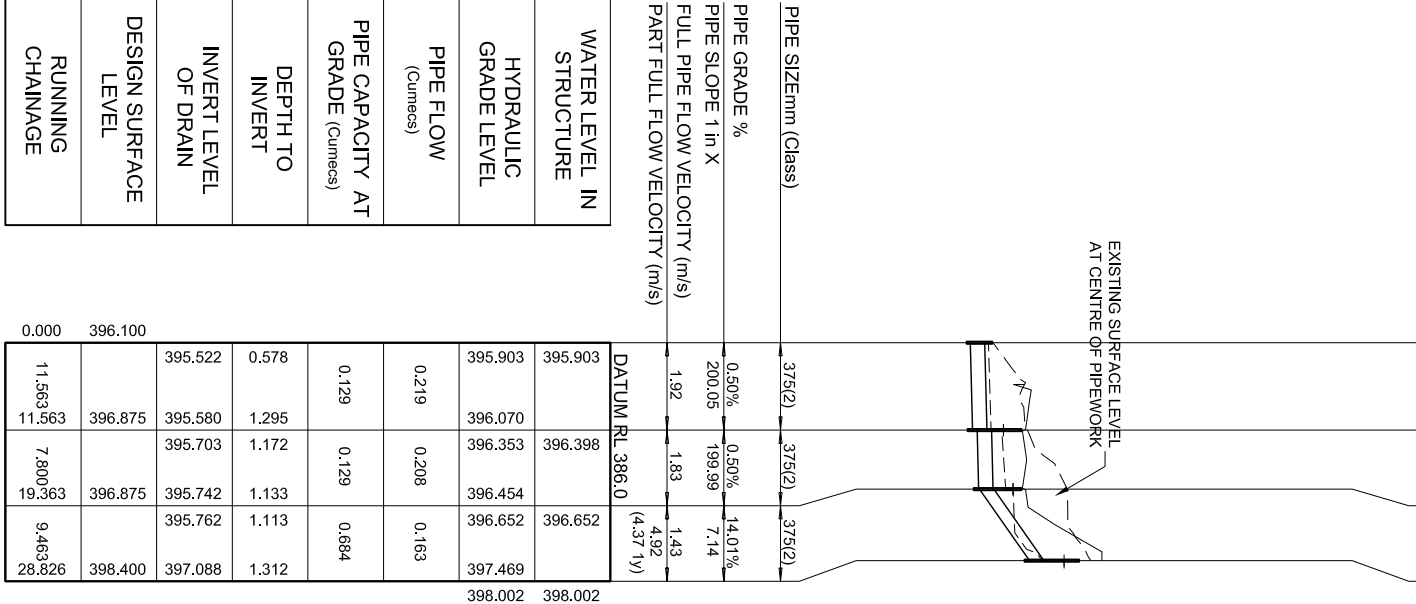
DESIGNER
OSE GROUP
 Address: 36 ABBOTT ST CHENG 4870
 Email: dhr@osegroup.com.au

CLIENT
N.Q. FARMING PTY. LTD. TTE

| PROJECT | |
|--|-----------------------|
| PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA | APPROVED |
| DRAWN: J.P. | DESIGN CHECK: A. MCP |
| DESIGNED: J.P. | DESIGN REVIEW: A. MCP |
| DATE: | DATE: |

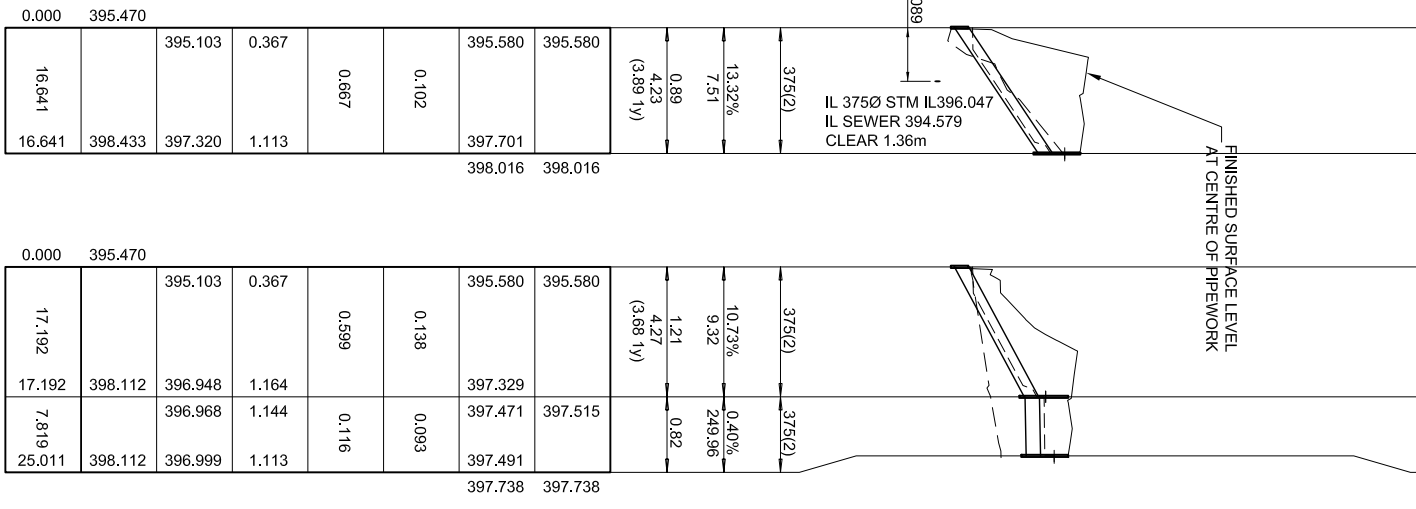
TITLE
SEWERAGE RETICULATION - LONGITUDINAL SECTIONS AND SET OUT
 SCALE AS SHOWN
 DRAWING NO: 24040 - C20
PRELIMINARY

| | |
|-----------------------|---|
| STRUCTURE NAME | SW 4/10 |
| STRUCTURE DESCRIPTION | CONCRETE HEADWALL, WINGWALLS AND APRON GENERALLY IN ACCORDANCE WITH FNQROC STD. DWG S1085 |



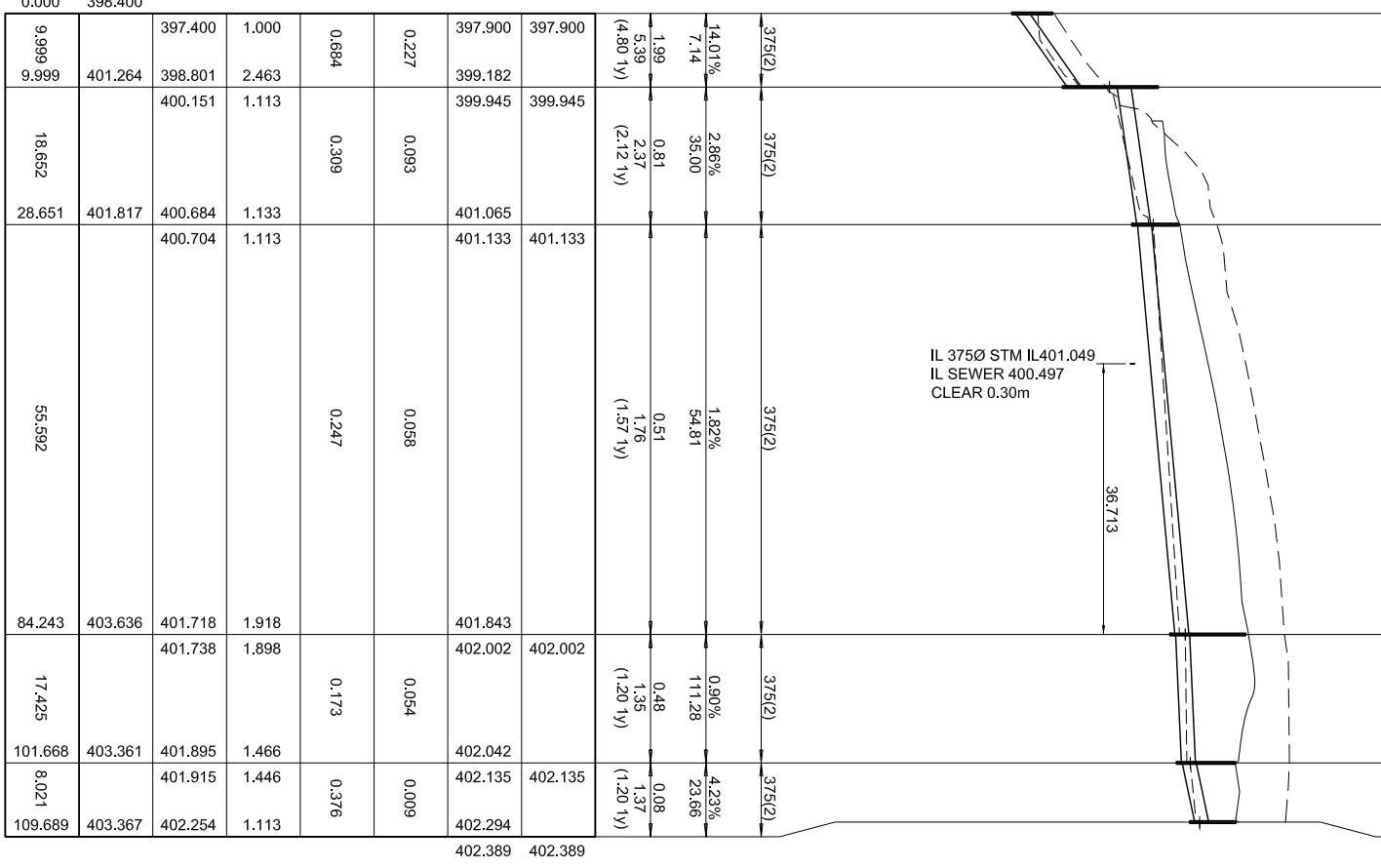
| | | | | | | | | | | | | | | |
|--------|---------|---------|-------|---------|---------|--------|--------|------|------|------|--------|--------|--------|--------|
| 0.000 | 396.100 | 395.522 | 0.578 | 395.903 | 395.903 | 0.50% | 200.05 | 1.92 | 1.43 | 4.92 | 375(2) | 375(2) | 375(2) | 375(2) |
| 11.563 | 396.875 | 395.580 | 1.295 | 396.070 | 396.398 | 0.50% | 199.99 | 1.83 | 1.43 | 4.92 | 375(2) | 375(2) | 375(2) | 375(2) |
| 7.800 | 396.875 | 395.703 | 1.172 | 396.353 | 396.454 | 14.01% | 7.14 | 1.83 | 1.43 | 4.92 | 375(2) | 375(2) | 375(2) | 375(2) |
| 19.363 | 396.875 | 395.742 | 1.133 | 396.652 | 396.652 | 14.01% | 7.14 | 1.83 | 1.43 | 4.92 | 375(2) | 375(2) | 375(2) | 375(2) |
| 9.463 | 398.400 | 395.762 | 1.113 | 397.469 | 397.469 | 14.01% | 7.14 | 1.83 | 1.43 | 4.92 | 375(2) | 375(2) | 375(2) | 375(2) |
| 28.826 | 398.400 | 397.088 | 1.312 | 397.469 | 397.469 | 14.01% | 7.14 | 1.83 | 1.43 | 4.92 | 375(2) | 375(2) | 375(2) | 375(2) |
| | | | | 398.002 | 398.002 | | | | | | | | | |

| | |
|---------|--|
| SW 3/10 | KERB INLET IN SAG SMALL LINTEL |
| SW 2/10 | KERB INLET IN SAG SMALL LINTEL |
| SW 1/10 | FIELD INLET TYPE A TO FNQROC STD. DWG. S1070 |



| | | | | | | | | | | | | | | |
|--------|---------|---------|-------|---------|---------|--------|------|------|------|------|--------|--------|--------|--------|
| 0.000 | 395.470 | 395.103 | 0.367 | 395.580 | 395.580 | 13.32% | 7.51 | 0.89 | 4.23 | 3.89 | 375(2) | 375(2) | 375(2) | 375(2) |
| 16.641 | 398.433 | 397.320 | 1.113 | 397.701 | 397.701 | 13.32% | 7.51 | 0.89 | 4.23 | 3.89 | 375(2) | 375(2) | 375(2) | 375(2) |
| 16.641 | 398.433 | 397.320 | 1.113 | 397.701 | 397.701 | 13.32% | 7.51 | 0.89 | 4.23 | 3.89 | 375(2) | 375(2) | 375(2) | 375(2) |
| | | | | 398.016 | 398.016 | | | | | | | | | |

| | |
|----------|---|
| SW 4A/11 | CONCRETE HEADWALL, WINGWALLS AND APRON GENERALLY IN ACCORDANCE WITH FNQROC STD. DWG S1085 REFER DWG C21 |
| SW 3/11 | KERB INLET ON GRADE SMALL LINTEL 10% BLOCKAGE |
| SW 2/11 | KERB INLET IN SAG SMALL LINTEL |
| SW 1/11 | KERB INLET IN SAG SMALL LINTEL |



| | | | | | | | | | | | | | | |
|---------|---------|---------|-------|---------|---------|--------|--------|------|------|------|--------|--------|--------|--------|
| 0.000 | 398.400 | 397.400 | 1.000 | 397.900 | 397.900 | 14.01% | 7.14 | 1.99 | 5.39 | 4.80 | 375(2) | 375(2) | 375(2) | 375(2) |
| 9.999 | 401.264 | 398.801 | 2.463 | 399.182 | 399.945 | 2.86% | 35.00 | 0.81 | 2.37 | 2.12 | 375(2) | 375(2) | 375(2) | 375(2) |
| 9.999 | 401.264 | 398.801 | 2.463 | 399.182 | 399.945 | 2.86% | 35.00 | 0.81 | 2.37 | 2.12 | 375(2) | 375(2) | 375(2) | 375(2) |
| 18.652 | 401.817 | 400.684 | 1.133 | 401.065 | 401.133 | 1.82% | 54.81 | 0.51 | 1.76 | 1.57 | 375(2) | 375(2) | 375(2) | 375(2) |
| 28.651 | 401.817 | 400.704 | 1.113 | 401.133 | 401.133 | 1.82% | 54.81 | 0.51 | 1.76 | 1.57 | 375(2) | 375(2) | 375(2) | 375(2) |
| 55.592 | 403.636 | 401.718 | 1.918 | 401.843 | 402.002 | 0.90% | 111.28 | 0.48 | 1.35 | 1.20 | 375(2) | 375(2) | 375(2) | 375(2) |
| 84.243 | 403.636 | 401.738 | 1.898 | 402.002 | 402.002 | 0.90% | 111.28 | 0.48 | 1.35 | 1.20 | 375(2) | 375(2) | 375(2) | 375(2) |
| 17.425 | 403.361 | 401.895 | 1.466 | 402.042 | 402.135 | 4.23% | 23.66 | 0.08 | 1.37 | 1.20 | 375(2) | 375(2) | 375(2) | 375(2) |
| 101.668 | 403.361 | 401.915 | 1.446 | 402.135 | 402.135 | 4.23% | 23.66 | 0.08 | 1.37 | 1.20 | 375(2) | 375(2) | 375(2) | 375(2) |
| 8.021 | 403.367 | 402.254 | 1.113 | 402.294 | 402.294 | 4.23% | 23.66 | 0.08 | 1.37 | 1.20 | 375(2) | 375(2) | 375(2) | 375(2) |
| 109.689 | 403.367 | 402.254 | 1.113 | 402.294 | 402.294 | 4.23% | 23.66 | 0.08 | 1.37 | 1.20 | 375(2) | 375(2) | 375(2) | 375(2) |
| | | | | 402.389 | 402.389 | | | | | | | | | |

| | |
|---------|---|
| SW 8/12 | CONCRETE HEADWALL, WINGWALLS AND APRON GENERALLY IN ACCORDANCE WITH FNQROC STD. DWG S1085 |
| SW 7/12 | KERB INLET IN SAG SMALL LINTEL |
| SW 4/12 | KERB INLET ON GRADE SMALL LINTEL 10% BLOCKAGE |
| SW 3/12 | KERB INLET ON GRADE SMALL LINTEL 10% BLOCKAGE |
| SW 2/12 | KERB INLET IN SAG SMALL LINTEL |
| SW 1/12 | KERB INLET IN SAG SMALL LINTEL |

| | |
|---------------------------------|---------|
| WATER LEVEL IN STRUCTURE | 395.903 |
| HYDRAULIC GRADE LEVEL | 396.070 |
| PIPE FLOW (Cumecs) | 0.219 |
| PIPE CAPACITY AT GRADE (Cumecs) | 0.129 |
| DEPTH TO INVERT | 0.208 |
| INVERT LEVEL OF DRAIN | 396.454 |
| DESIGN SURFACE LEVEL | 396.652 |
| RUNNING CHAINAGE | 397.469 |

| | |
|------|----|
| LINE | 10 |
|------|----|

| | |
|------|----|
| LINE | 11 |
|------|----|

| | |
|------|----|
| LINE | 12 |
|------|----|

DO NOT SCALE DRAWINGS
Scales Before Reduction Orig. Sheet A1
1:0 0 1.0 2.0 3.0 4.0 5.0m
SCALE 1:100
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SCALE 1:500

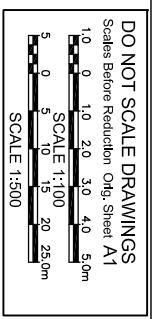
DESIGNER
OSE GROUP
Address: 38 ABBOTT ST CHENS 4870
Email: dhr@osegroup.com.au

CLIENT
N.Q. FARMING PTY. LTD. TTE

| | |
|---------------|--|
| PROJECT | PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA |
| DRAWN | J.P. |
| DESIGNED | J.P. |
| DRAWING CHECK | A.M.P. |
| DESIGN REVIEW | A.M.P. |
| APPROVED | |
| DATE | |

TITLE
STORMWATER DRAINAGE LONGITUDINAL SECTIONS (SHEET 1 OF 2)
SCALE AS SHOWN
DRAWING NO 24040 - C21
PRELIMINARY

| | | |
|-----|----------|---|
| REV | DATE | DESCRIPTION |
| A | 10/04/20 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |



DESIGNER

Address: 38 ABBOTT ST. CHENG 4870
Email: dhr@osegroup.com.au

CLIENT

N.Q. FARMING PTY. LTD. TTE

| | |
|---------------|--|
| PROJECT | PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA |
| DRAWN | J.P. |
| DESIGNED | J.P. |
| DRAWING CHECK | A.M.P. |
| DESIGN REVIEW | A.M.P. |
| APPROVED | |

TITLE

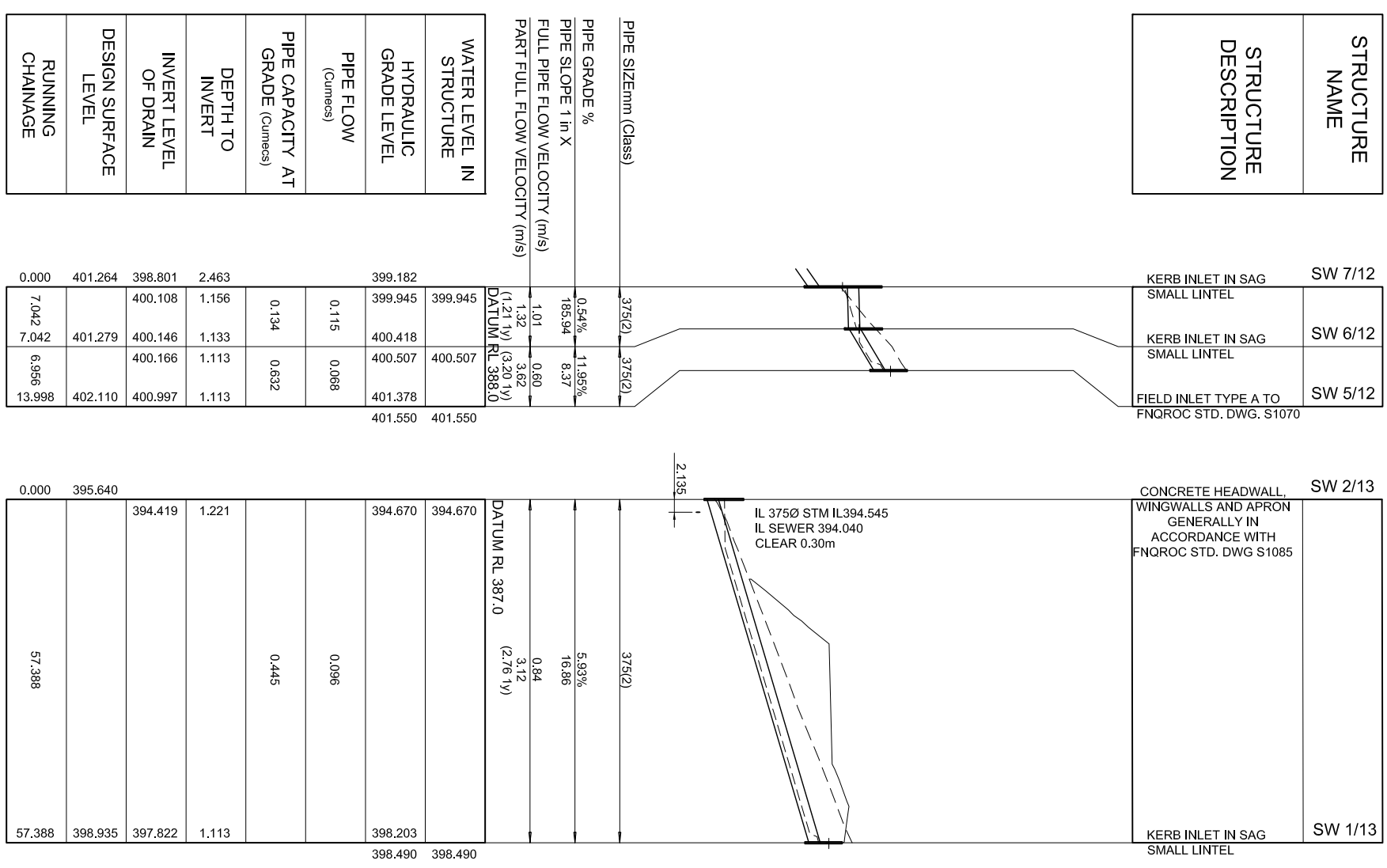
STORMWATER DRAINAGE LONGITUDINAL SECTIONS, SET OUT, PIT SCHEDULE AND DETAILS

SCALE AS SHOWN

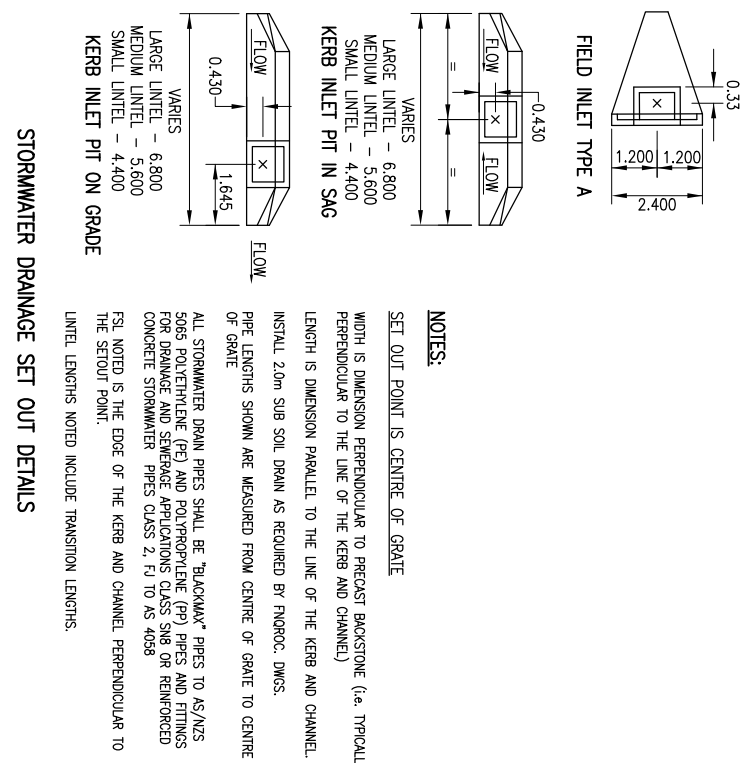
DRAWING NO. 24040 - C22

PRELIMINARY

REV. A



| PIT No. | TYPE | INTERNAL | | INLET | | OUTLET | | PIT DEPTH | REMARKS |
|---------|---|----------|------|----------|----------|----------|----------|-----------|----------------|
| | | WID | LEN. | DIA.(CL) | INV.R.L. | DIA.(CL) | INV.R.L. | | |
| SW 1/13 | KERB INLET IN SAG SMALL LINTEL | 835 | 930 | | 397.822 | 375(2) | 397.822 | 398.935 | 1.11 CONSTRUCT |
| SW 1/10 | FIELD INLET TYPE A TO FNOROC STD DWG S1070 | 835 | 930 | | 397.088 | 375(2) | 397.088 | 398.400 | 1.31 CONSTRUCT |
| SW 2/10 | KERB INLET IN SAG SMALL LINTEL | 835 | 930 | 375(2) | 395.762 | 375(2) | 395.742 | 396.875 | 1.13 CONSTRUCT |
| SW 3/10 | KERB INLET IN SAG SMALL LINTEL | 835 | 930 | 375(2) | 395.703 | 375(2) | 395.579 | 396.875 | 1.33 CONSTRUCT |
| SW 3/11 | KERB INLET ON GRADE SMALL LINTEL 10% BLOCKAGE | 835 | 930 | | 397.320 | 375(2) | 397.320 | 398.433 | 1.11 CONSTRUCT |
| SW 1/11 | KERB INLET IN SAG SMALL LINTEL | 835 | 930 | | 396.999 | 375(2) | 396.999 | 398.112 | 1.11 CONSTRUCT |
| SW 2/11 | KERB INLET IN SAG SMALL LINTEL | 835 | 930 | 375(2) | 396.988 | 375(2) | 396.948 | 398.112 | 1.16 CONSTRUCT |
| SW 1/12 | KERB INLET IN SAG SMALL LINTEL | 835 | 930 | | 402.254 | 375(2) | 402.254 | 403.367 | 1.11 CONSTRUCT |
| SW 2/12 | KERB INLET IN SAG SMALL LINTEL | 835 | 930 | 375(2) | 401.915 | 375(2) | 401.895 | 403.361 | 1.47 CONSTRUCT |
| SW 3/12 | KERB INLET ON GRADE SMALL LINTEL 10% BLOCKAGE | 835 | 930 | 375(2) | 401.738 | 375(2) | 401.718 | 403.636 | 1.92 CONSTRUCT |
| SW 4/12 | KERB INLET ON GRADE SMALL LINTEL 10% BLOCKAGE | 835 | 930 | 375(2) | 400.704 | 375(2) | 400.684 | 401.817 | 1.13 CONSTRUCT |
| SW 5/12 | FIELD INLET TYPE A TO FNOROC STD DWG S1070 | 835 | 930 | | 400.997 | 375(2) | 400.997 | 402.110 | 1.11 CONSTRUCT |
| SW 6/12 | KERB INLET IN SAG SMALL LINTEL | 835 | 930 | 375(2) | 400.166 | 375(2) | 400.146 | 401.279 | 1.13 CONSTRUCT |
| SW 7/12 | KERB INLET IN SAG SMALL LINTEL | 835 | 930 | 375(2) | 400.151 | 375(2) | 400.108 | 398.801 | 2.46 CONSTRUCT |



| Point # | Easting | Northing | Level | Description |
|---------|------------|-------------|---------|-------------|
| 101 | 332914.140 | 8119031.942 | 398.400 | SW 1/10 |
| 102 | 332923.488 | 8119030.472 | 398.875 | SW 2/10 |
| 103 | 332930.983 | 8119032.632 | 396.875 | SW 3/10 |
| 104 | 332939.227 | 8119040.740 | 395.522 | SW 4/10 |
| 105 | 332958.276 | 8118942.557 | 398.112 | SW 1/11 |
| 106 | 332962.312 | 8118949.254 | 398.112 | SW 2/11 |
| 107 | 332977.950 | 8118956.396 | 395.103 | SW 4B/11 |
| 108 | 332983.869 | 8118938.517 | 398.143 | SW 3/11 |
| 109 | 332980.159 | 8118954.739 | 395.103 | SW 4A/11 |
| 110 | 333142.973 | 8118916.320 | 403.567 | SW 1/12 |
| 111 | 333149.416 | 8118971.542 | 403.361 | SW 2/12 |
| 112 | 333166.841 | 8118971.572 | 403.536 | SW 3/12 |
| 113 | 333210.004 | 8118936.537 | 401.817 | SW 4/12 |
| 114 | 333212.184 | 8118924.664 | 402.110 | SW 5/12 |
| 115 | 333219.042 | 8118925.827 | 401.279 | SW 6/12 |
| 116 | 333225.996 | 8118926.938 | 401.264 | SW 7/12 |
| 117 | 333235.860 | 8118928.577 | 397.400 | SW 6/12 |
| 118 | 333085.199 | 8119042.472 | 398.935 | SW 1/13 |
| 119 | 333075.929 | 8119039.106 | 394.419 | SW 2/13 |

NOTES:

SET OUT POINT IS CENTRE OF GRADE

WIDTH IS DIMENSION PERPENDICULAR TO PRECAST BACKSTONE (i.e. TYPICALLY PERPENDICULAR TO THE LINE OF THE KERB AND CHANNEL)

LENGTH IS DIMENSION PARALLEL TO THE LINE OF THE KERB AND CHANNEL

INSTALL 2.0m SUB SOIL DRAIN AS REQUIRED BY FNOROC DWGS.

PIPE LENGTHS SHOWN ARE MEASURED FROM CENTRE OF GRADE TO CENTRE OF GRADE

ALL STORMWATER DRAIN PIPES SHALL BE "BLACKMAN" PIPES TO AS/NZS 3065 POLYETHYLENE (PE) AND POLYPROPYLENE (PP) PIPES AND FITTINGS FOR DRAINAGE AND SEWERAGE APPLICATIONS CLASS S18 OR REINFORCED CONCRETE STORMWATER PIPES CLASS 2, F1 TO AS 4068

FSL NOTED IS THE EDGE OF THE KERB AND CHANNEL PERPENDICULAR TO THE SETOUT POINT.

LINTEL LENGTHS NOTED INCLUDE TRANSITION LENGTHS.

| | | |
|-----|-------|---|
| REV | DATE | REVISION/NOTES |
| A | 10/26 | ORIGINAL ISSUE FOR COUNCIL OPERATIONAL WORKS APPROVAL |

SCALE 1:1000
 DO NOT SCALE DRAWINGS
 Scales Before Reduction
 10 0 10 20 30 40 50 m

DESIGNER



Address: 36 ABBOTT ST CHENG 4870
 Email: oseteam@opwgroup.com.au

CLIENT

N.Q. FARMING PTY. LTD. TTE

| | |
|---------------|---|
| PROJECT | PROPOSED RESIDENTIAL SUBDIVISION AT PETERS STREET, MAREEBA |
| DESIGNED | J.P. |
| DRAWN | J.P. |
| DESIGN REVIEW | A. MCP |
| APPROVED | A. MCP |
| DATE | |

TITLE

STORMWATER DRAINAGE CATCHMENT PLAN

SCALE AS SHOWN
 DRAWING NO 24040 - C23
PRELIMINARY

