

RAY ROAD, MAREEBA

LOT 224 ON SP276715

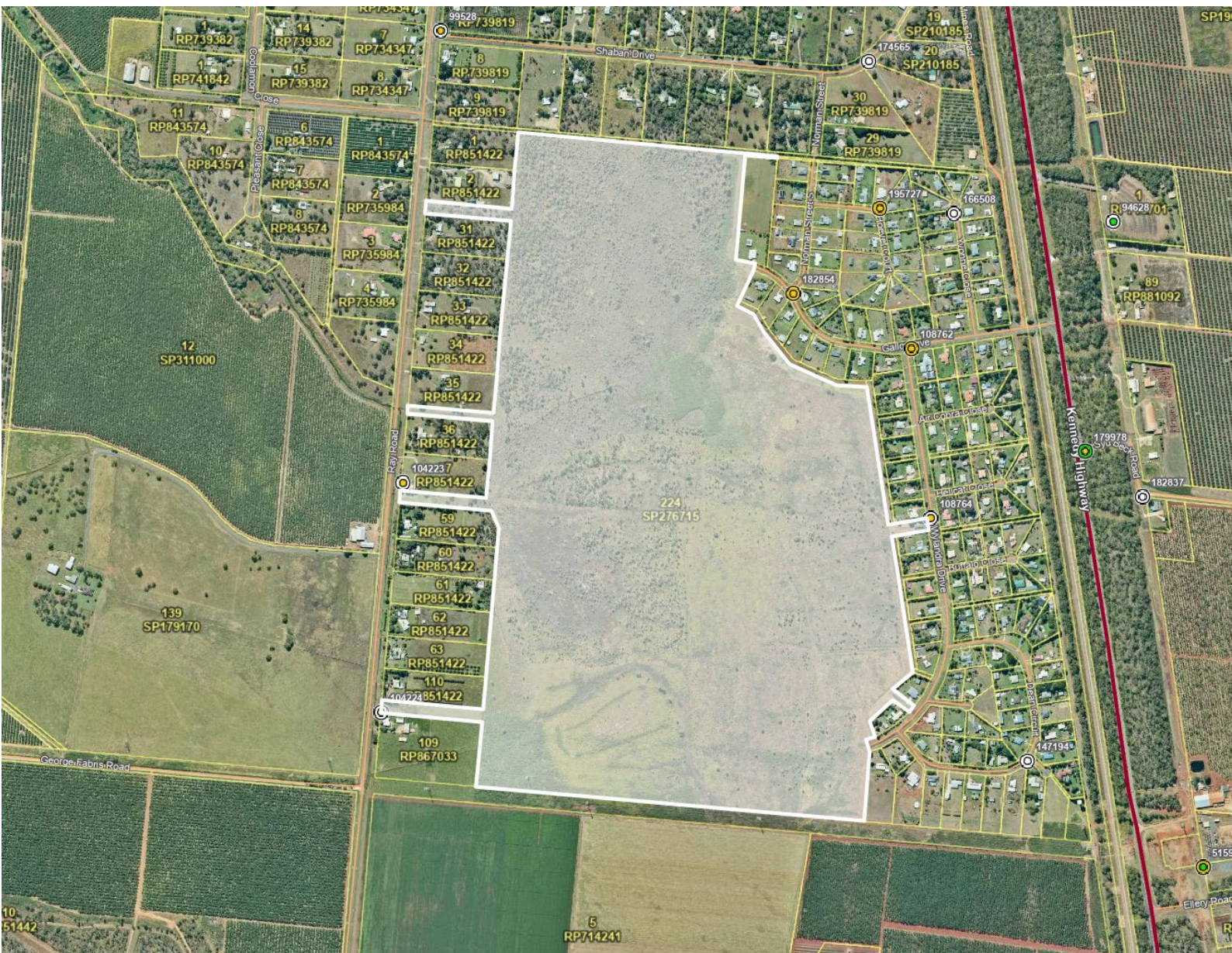
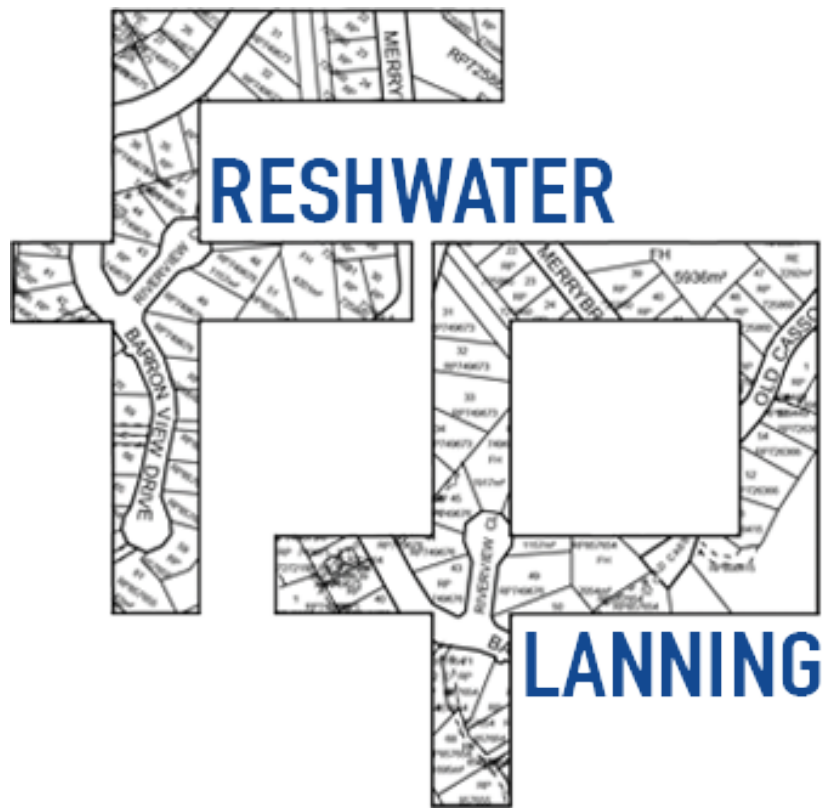
TOWN PLANNING REPORT

RECONFIGURING A LOT

1 LOT INTO 309 LOTS

WYLANDRA ESTATE

F25/34



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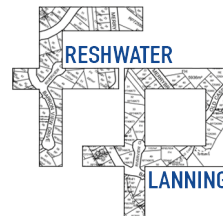
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THE SITE AND REFERRALS

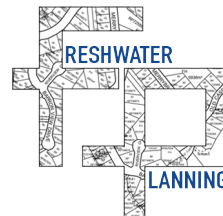
The Site

The subject land is described as Lot 224 on SP276715 and is situated at 446 Ray Road, Mareeba. The site is owned by Wylandra Properties Pty Ltd the applicant for the proposed Reconfiguration. The site is FreeHold, comprises of a single allotment, is irregular in shape, has an area of 141.5 hectares, contains frontage to Ray Road, George Fabris Road (unconstructed), Gallo and Wylandra Drives and encompasses vacant land. The subject site is the balance parcel of the existing Wylandra Estate.

The subject site is located on the outskirts of the Mareeba Township's with the property encompassing the Mareeba Township's most southern remaining Rural Residential Expansion Area. The property is situated within Mareeba's southern Rural Residential locality. The site is the balance of the Wylandra Rural Residential Estate, is surrounded by Rural Residential Allotments and is adjacent to Rural Lands and the Mareeba Aerodrome to the south.

The site is accessed via existing crossovers and the termination of the existing Road Networks with the proposed Reconfiguration proposing new Roads and not affecting the existing. The site is provided with all available services, being Reticulated Water, Electricity and Telecommunications with no changes to the existing infrastructure proposed. The subject site contains an existing Easement, being Easement A on RP851482, which is understood to be for the purposes of Electrical Infrastructure with no change to the existing Easement envisaged.

In relation to the current State Governmental Mapping the site is Not Mapped as containing Remnant Vegetation, Regrowth Vegetation or Essential Habitat nor is Mapped as containing a Referable Wetland. The site is not located within 25 metres of a State Controlled nor within 25 metres of a Railway Corridor.



RAY ROAD, MAREEBA

EXISTING APPROVALS & ENGINEERING REPORT








Existing Approvals and Development Applications

The site contains the original Development Approval that was granted in 1994 over the originating parcel being Lot 3 on RP850055. Subsequent Approvals have been granted over the originating parcel which has formed the current Wylandra Estate. The most recent Development Approval, being RAL/24/0009, is the Reconfiguring a Lot – Subdivision (1 in 14 Lots and a Balance Area) which was granted by Council in mid-March, 2025.

This Development Application is lodged over the existing and Approved Balance Allotment designing the remainder of the site completing the Wylandra Rural Residential Estate. This Development Application has been provided over the Approved Balance Area of RAL/24/0009 as per Twine Surveys Pty Ltd Sketch Plans, without affecting the and in conjunction with the most recent Approval.

Stellen Civil Engineering Report

Attached to this Town Planning Report is an Engineering Report in support of Town Planning Application prepared by Stellen Civil Engineering summarising the proposed servicing and engineering requirements of the site. The attached Report addresses the civil engineering elements of the following:

-  Flooding
-  Roadworks
-  Slope Analysis
-  Stormwater Drainage
-  Water Reticulation
-  Sewerage
-  Electrical and Telecommunications

The Subdivision results in appropriate Stormwater Dispersal, via the use of Drainage Easements, incorporating On-Site Detention and swales. The On-Site Detention (OSD) ensures that post-development peak discharge rates do not exceed pre-development rates for all relevant design storm events. The stormwater drainage strategy is designed such that swales are provided to carry overland flows to convey minor storm events (typically the 1 in 5-year ARI) while utilising the road network and overland flow paths for major events (up to the 1 in 100-year ARI). The resultant design is considered to provide a significant flooding and stormwater benefit to the surrounding community.

The Report outlines that the proposed Development can provide appropriate servicing, civil elements, and stormwater management without significantly affecting the surrounding properties and immediate area with the development of the remainder of the Wylandra Estate.

RAY ROAD, MAREEBA

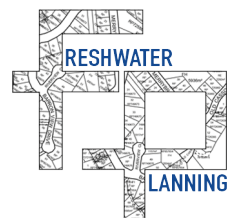
THE PROPOSED DEVELOPMENT

The proposed development is for a Reconfiguring a Lot – 1 Lot into 309 Lots and a Drainage Area within the Rural Residential Zone’s 4,000 m² Precinct of the Mareeba Shire Council’s Planning Scheme. The site is located at 446 Ray Road, Mareeba and is more particularly described as Lot 224 on SP276715. The site is irregular in shape, has an area of 141.5 hectares and contains vacant land, being the Balance of the Wylandra Estate.

A Development Permit is sought to subdivide Lot 224 on SP276715 creating three hundred and nine (309) Rural Residential Allotments and a Drainage Area within the existing Wylandra Estate and Mareeba’s Southern Rural Residential Area. No change to the existing Rural Residential nature or character of the Zone is envisaged with the Reconfiguration. The proposal will provide for three hundred and eight (308) additional Rural Residential Allotments while maintaining the existing amenities and aesthetics of the site. The proposed Reconfiguration is for the further development of the Mareeba Shire’s southern Rural Residential Area within, being the balance of the Wylandra Estate and is considered acceptable and appropriate.

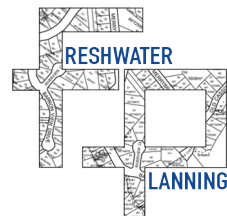
The Reconfiguring a Lot proposes three hundred and nine (309) Rural Residential Allotments within the Wylandra Estate, described as proposed Lots 1 – 309 and incorporates a Drainage Area. The proposed areas of the allotments are:

Proposed Lot 1	6,225 m ²	Proposed Lot 24	3,675 m ²
Proposed Lot 2	5,578 m ²	Proposed Lot 25	3,397 m ²
Proposed Lot 3	4,940 m ²	Proposed Lot 26	3,965 m ²
Proposed Lot 4	4,303 m ²	Proposed Lot 27	5,520 m ²
Proposed Lot 5	3,675 m ²	Proposed Lot 28	4,006 m ²
Proposed Lot 6	3,675 m ²	Proposed Lot 29	3,600 m ²
Proposed Lot 7	3,675 m ²	Proposed Lot 30	3,600 m ²
Proposed Lot 8	3,675 m ²	Proposed Lot 31	3,600 m ²
Proposed Lot 9	3,675 m ²	Proposed Lot 32	3,600 m ²
Proposed Lot 10	3,675 m ²	Proposed Lot 33	3,600 m ²
Proposed Lot 11	3,675 m ²	Proposed Lot 34	3,600 m ²
Proposed Lot 12	4,725 m ²	Proposed Lot 35	3,600 m ²
Proposed Lot 13	3,675 m ²	Proposed Lot 36	3,600 m ²
Proposed Lot 14	3,675 m ²	Proposed Lot 37	3,600 m ²
Proposed Lot 15	3,675 m ²	Proposed Lot 38	3,600 m ²
Proposed Lot 16	3,675 m ²	Proposed Lot 39	3,600 m ²
Proposed Lot 17	3,675 m ²	Proposed Lot 40	3,330 m ²
Proposed Lot 18	3,675 m ²	Proposed Lot 41	3,000 m ²
Proposed Lot 19	3,675 m ²	Proposed Lot 42	3,002 m ²
Proposed Lot 20	3,675 m ²	Proposed Lot 43	3,000 m ²
Proposed Lot 21	3,675 m ²	Proposed Lot 44	3,181 m ²
Proposed Lot 22	4,725 m ²	Proposed Lot 45	3,000 m ²
Proposed Lot 23	3,675 m ²	Proposed Lot 46	3,000 m ²



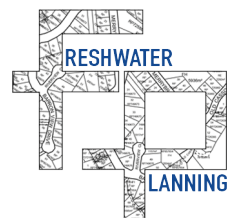
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Proposed Lot 47	3,000 m ²	Proposed Lot 92	3,000 m ²
Proposed Lot 48	3,000 m ²	Proposed Lot 93	3,000 m ²
Proposed Lot 49	3,000 m ²	Proposed Lot 94	3,003 m ²
Proposed Lot 50	3,000 m ²	Proposed Lot 95	3,003 m ²
Proposed Lot 51	3,000 m ²	Proposed Lot 96	3,000 m ²
Proposed Lot 52	3,000 m ²	Proposed Lot 97	3,000 m ²
Proposed Lot 53	3,000 m ²	Proposed Lot 98	3,018 m ²
Proposed Lot 54	3,000 m ²	Proposed Lot 99	3,732 m ²
Proposed Lot 55	3,000 m ²	Proposed Lot 100	6,444 m ²
Proposed Lot 56	3,000 m ²	Proposed Lot 101	3,425 m ²
Proposed Lot 57	3,004 m ²	Proposed Lot 102	3,023 m ²
Proposed Lot 58	3,607 m ²	Proposed Lot 103	3,000 m ²
Proposed Lot 59	3,600 m ²	Proposed Lot 104	3,002 m ²
Proposed Lot 60	3,600 m ²	Proposed Lot 105	3,002 m ²
Proposed Lot 61	3,600 m ²	Proposed Lot 106	3,000 m ²
Proposed Lot 62	3,600 m ²	Proposed Lot 107	3,000 m ²
Proposed Lot 63	3,600 m ²	Proposed Lot 108	3,000 m ²
Proposed Lot 64	3,600 m ²	Proposed Lot 109	3,000 m ²
Proposed Lot 65	3,600 m ²	Proposed Lot 110	3,329 m ²
Proposed Lot 66	3,600 m ²	Proposed Lot 111	3,377 m ²
Proposed Lot 67	3,600 m ²	Proposed Lot 112	3,550 m ²
Proposed Lot 68	3,600 m ²	Proposed Lot 113	4,125 m ²
Proposed Lot 69	3,929 m ²	Proposed Lot 114	3,478 m ²
Proposed Lot 70	4,069 m ²	Proposed Lot 115	3,000 m ²
Proposed Lot 71	3,000 m ²	Proposed Lot 116	3,000 m ²
Proposed Lot 72	3,000 m ²	Proposed Lot 117	3,000 m ²
Proposed Lot 73	3,000 m ²	Proposed Lot 118	3,000 m ²
Proposed Lot 74	3,594 m ²	Proposed Lot 119	3,000 m ²
Proposed Lot 75	3,488 m ²	Proposed Lot 120	3,000 m ²
Proposed Lot 76	3,000 m ²	Proposed Lot 121	3,000 m ²
Proposed Lot 77	3,002 m ²	Proposed Lot 122	3,378 m ²
Proposed Lot 78	3,671 m ²	Proposed Lot 123	4,000 m ²
Proposed Lot 79	3,115 m ²	Proposed Lot 124	4,794 m ²
Proposed Lot 80	3,666 m ²	Proposed Lot 125	3,000 m ²
Proposed Lot 81	4,108 m ²	Proposed Lot 126	3,000 m ²
Proposed Lot 82	5,164 m ²	Proposed Lot 127	3,000 m ²
Proposed Lot 83	4,609 m ²	Proposed Lot 128	3,000 m ²
Proposed Lot 84	3,445 m ²	Proposed Lot 129	3,000 m ²
Proposed Lot 85	3,000 m ²	Proposed Lot 130	3,000 m ²
Proposed Lot 86	3,000 m ²	Proposed Lot 131	3,006 m ²
Proposed Lot 87	3,002 m ²	Proposed Lot 132	3,610 m ²
Proposed Lot 88	3,000 m ²	Proposed Lot 133	3,600 m ²
Proposed Lot 89	3,000 m ²	Proposed Lot 134	3,600 m ²
Proposed Lot 90	3,621 m ²	Proposed Lot 135	3,600 m ²
Proposed Lot 91	6,350 m ²	Proposed Lot 136	3,600 m ²



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Proposed Lot 137	3,600 m ²	Proposed Lot 182	3,239 m ²
Proposed Lot 138	3,600 m ²	Proposed Lot 183	3,644 m ²
Proposed Lot 139	3,739 m ²	Proposed Lot 184	3,000 m ²
Proposed Lot 140	4,803 m ²	Proposed Lot 185	3,000 m ²
Proposed Lot 141	4,565 m ²	Proposed Lot 186	3,000 m ²
Proposed Lot 142	4,164 m ²	Proposed Lot 187	3,212 m ²
Proposed Lot 143	3,400 m ²	Proposed Lot 188	3,750 m ²
Proposed Lot 144	3,400 m ²	Proposed Lot 189	3,000 m ²
Proposed Lot 145	3,400 m ²	Proposed Lot 190	3,000 m ²
Proposed Lot 146	3,400 m ²	Proposed Lot 191	3,000 m ²
Proposed Lot 147	3,400 m ²	Proposed Lot 192	4,013 m ²
Proposed Lot 148	3,409 m ²	Proposed Lot 193	4,025 m ²
Proposed Lot 149	5,987 m ²	Proposed Lot 194	4,025 m ²
Proposed Lot 150	3,200 m ²	Proposed Lot 195	4,025 m ²
Proposed Lot 151	3,200 m ²	Proposed Lot 196	5,175 m ²
Proposed Lot 152	3,200 m ²	Proposed Lot 197	4,025 m ²
Proposed Lot 153	3,200 m ²	Proposed Lot 198	4,025 m ²
Proposed Lot 154	3,677 m ²	Proposed Lot 199	4,025 m ²
Proposed Lot 155	5,601 m ²	Proposed Lot 200	4,025 m ²
Proposed Lot 156	3,944 m ²	Proposed Lot 201	4,025 m ²
Proposed Lot 157	3,600 m ²	Proposed Lot 202	4,025 m ²
Proposed Lot 158	3,588 m ²	Proposed Lot 203	3,945 m ²
Proposed Lot 159	3,360 m ²	Proposed Lot 204	3,521 m ²
Proposed Lot 160	3,000 m ²	Proposed Lot 205	3,000 m ²
Proposed Lot 161	3,000 m ²	Proposed Lot 206	3,000 m ²
Proposed Lot 162	4,125 m ²	Proposed Lot 207	3,000 m ²
Proposed Lot 163	3,000 m ²	Proposed Lot 208	3,000 m ²
Proposed Lot 164	3,002 m ²	Proposed Lot 209	3,554 m ²
Proposed Lot 165	4,203 m ²	Proposed Lot 210	4,179 m ²
Proposed Lot 166	3,047 m ²	Proposed Lot 211	3,000 m ²
Proposed Lot 167	3,000 m ²	Proposed Lot 212	3,000 m ²
Proposed Lot 168	3,000 m ²	Proposed Lot 213	3,273 m ²
Proposed Lot 169	3,000 m ²	Proposed Lot 214	3,000 m ²
Proposed Lot 170	3,202 m ²	Proposed Lot 215	3,000 m ²
Proposed Lot 171	3,226 m ²	Proposed Lot 216	3,763 m ²
Proposed Lot 172	4,858 m ²	Proposed Lot 217	3,000 m ²
Proposed Lot 173	4,884 m ²	Proposed Lot 218	3,098 m ²
Proposed Lot 174	3,069 m ²	Proposed Lot 219	3,224 m ²
Proposed Lot 175	4,036 m ²	Proposed Lot 220	3,200 m ²
Proposed Lot 176	3,674 m ²	Proposed Lot 221	3,300 m ²
Proposed Lot 177	3,000 m ²	Proposed Lot 222	3,313 m ²
Proposed Lot 178	3,000 m ²	Proposed Lot 223	3,336 m ²
Proposed Lot 179	3,000 m ²	Proposed Lot 224	3,003 m ²
Proposed Lot 180	4,640 m ²	Proposed Lot 225	3,000 m ²
Proposed Lot 181	3,344 m ²	Proposed Lot 226	3,000 m ²



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Proposed Lot 227	3,000 m ²	Proposed Lot 269	4,076 m ²
Proposed Lot 228	3,000 m ²	Proposed Lot 270	3,930 m ²
Proposed Lot 229	4,294 m ²	Proposed Lot 271	3,000 m ²
Proposed Lot 230	3,191 m ²	Proposed Lot 272	3,150 m ²
Proposed Lot 231	3,000 m ²	Proposed Lot 273	3,150 m ²
Proposed Lot 232	3,000 m ²	Proposed Lot 274	3,150 m ²
Proposed Lot 233	3,000 m ²	Proposed Lot 275	3,150 m ²
Proposed Lot 234	3,933 m ²	Proposed Lot 276	3,150 m ²
Proposed Lot 235	6,667 m ²	Proposed Lot 277	3,150 m ²
Proposed Lot 236	4,704 m ²	Proposed Lot 278	3,150 m ²
Proposed Lot 237	4,704 m ²	Proposed Lot 279	3,150 m ²
Proposed Lot 238	3,000 m ²	Proposed Lot 280	3,544 m ²
Proposed Lot 239	3,003 m ²	Proposed Lot 281	5,414 m ²
Proposed Lot 240	3,000 m ²	Proposed Lot 282	8,428 m ²
Proposed Lot 241	4,600 m ²	Proposed Lot 283	4,778 m ²
Proposed Lot 242	5,750 m ²	Proposed Lot 284	3,105 m ²
Proposed Lot 243	4,600 m ²	Proposed Lot 285	3,000 m ²
Proposed Lot 244	7,639 m ²	Proposed Lot 286	3,000 m ²
Proposed Lot 245	6,165 m ²	Proposed Lot 287	3,000 m ²
Proposed Lot 246	4,600 m ²	Proposed Lot 288	3,000 m ²
Proposed Lot 247	4,202 m ²	Proposed Lot 289	3,000 m ²
Proposed Lot 248	3,639 m ²	Proposed Lot 290	3,000 m ²
Proposed Lot 249	3,000 m ²	Proposed Lot 291	3,000 m ²
Proposed Lot 250	3,000 m ²	Proposed Lot 292	3,000 m ²
Proposed Lot 251	3,000 m ²	Proposed Lot 293	3,000 m ²
Proposed Lot 252	3,750 m ²	Proposed Lot 294	3,000 m ²
Proposed Lot 253	3,168 m ²	Proposed Lot 295	3,000 m ²
Proposed Lot 254	3,513 m ²	Proposed Lot 296	3,000 m ²
Proposed Lot 255	4,000 m ²	Proposed Lot 297	3,082 m ²
Proposed Lot 256	4,880 m ²	Proposed Lot 298	3,150 m ²
Proposed Lot 257	3,487 m ²	Proposed Lot 299	3,102 m ²
Proposed Lot 258	3,000 m ²	Proposed Lot 300	4,500 m ²
Proposed Lot 259	3,000 m ²	Proposed Lot 301	3,597 m ²
Proposed Lot 260	3,000 m ²	Proposed Lot 302	3,567 m ²
Proposed Lot 261	3,000 m ²	Proposed Lot 303	3,614 m ²
Proposed Lot 262	7,800 m ²	Proposed Lot 304	3,479 m ²
Proposed Lot 263	3,460 m ²	Proposed Lot 305	4,228 m ²
Proposed Lot 264	3,368 m ²	Proposed Lot 306	3,644 m ²
Proposed Lot 265	3,000 m ²	Proposed Lot 307	4,298 m ²
Proposed Lot 266	3,000 m ²	Proposed Lot 308	4,889 m ²
Proposed Lot 267	3,000 m ²	Proposed Lot 309	7,815 m ²
Proposed Lot 268	3,000 m ²		

Drainage Area
Drainage Area

4.383 ha.

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The site is designated within the Rural Residential Zone's 4,000 m² Precinct of the Mareeba Shire Planning Scheme with the proposal providing Rural Residential Allotments ranging from 3,000 m² to 8,428 m². Whilst the proposal proposes Rural Residential Allotments 3,000 m² or greater, which is less than the 4,000 m², the allotment configuration has been designed to be consistent with the existing Approval and original Approval over the site, existing Estate and in accordance with the previous Zoning Allotment sizes. The proposed Reconfiguration provides for an average area of greater than 4,000 m² (4,579 m²) per allotment, which is consistent with the current Zoning. The proposal layout has been meticulously designed to contain allotments of 3,000 m² clear of any drainage encumbrances with the majority of the proposed allotments containing frontages of generally 35 metres to 40 metres. The site adjoins Approved Rural Residential Developments to the north, east and west and adjacent Rural Land to the south. The site is adjoined and surrounded by Rural Residential Land and Uses.

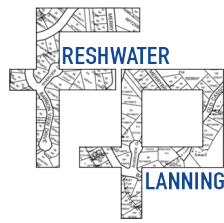
The site is accessed via existing crossovers and the termination of the existing Road Networks with the proposed Reconfiguration proposing new Roads and not affecting the existing. It is accepted that each allotment contains the safe provision of access to the newly proposed Road Network. The site is connected to all available services, being Water, Power and Telecommunications with each proposed Allotment able to be provided with the necessary services. No change to the existing is proposed, with each proposed allotment of sufficient size for the provision of an effective Effluent Disposal System and an appropriate level of Stormwater Disposal. This is reinforced by the attached Engineering Report in support of Town Planning Application prepared by Stellen Civil Engineering. The Subdivision results in appropriate Stormwater Dispersal via the use of Drainage Easements which is provided in more detail within the attached Engineering Report. The proposed Subdivision will ensure that no change to the existing nature, character and amenity of the site and surrounding area is envisaged.

The subject site contains an existing Easement, being Easement A on RP851482 which is understood to be for the purposes of Electrical Infrastructure with no change to the existing Easement envisaged.

The proposed allotments are considered to appropriately meet the minimum area requirements, ensuring appropriate areas and dimensions for the provision of a dwelling unit on each allotment as required by the Mareeba Shire Council's Planning Scheme's Reconfiguring a Lot Code for allotments in the Rural Residential Zone's 4,000 m² Precinct. The proposed allotments contain a minimum area of greater than 3,000 m² and an average greater than 4,000 m² (4,579 m²) as consistent with the existing and original Approvals over the site and within the immediate adjoining Rural Residential Area. It is not considered that the proposed Reconfiguration will be detrimental to the adjacent sites or adversely impact on the surrounding area. It is considered that the Performance Outcomes of the Rural Residential Zone Code and the Reconfiguring a Lot Code can be met in this instance.

The proposed Reconfiguration is located in the Rural Residential Zone's 4,000 m² Precinct of the Mareeba Shire Council's Planning Scheme. Reconfiguring a Lot is a Code Assessable Use within this Zone. The application is Code Assessable.

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FAR NORTH QUEENSLAND REGIONAL PLAN 2009 - 2031

Lot 224 on SP276715 is identified as being in the Rural Living Area designation of the FNQ Regional Plan Mapping.

The proposal provides for a Rural Residential Subdivision located within the Rural Living Area designation. The Reconfiguration results in similar sizes to that of the immediate and surrounding vicinity. The site is further designated within the Rural Residential Zone of the Mareeba Shire Planning Scheme with the proposal considered to be a greenfield development. The proposal provides for the provision of additional Rural Residential/Rural Living Allotments achieving greater population densities without affecting the existing natural environment in accordance with the Intent of the FNQ Regional Plan.

It is considered that the proposed Reconfiguration is not in conflict with the Intent for Rural Living Area designation in the FNQ Regional Plan 2009-2031.

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RURAL RESIDENTIAL ZONE CODE

The proposal is for a Development Permit for a Reconfiguring of 1 Lot into 309 Lots and a Drainage Area is sought to provide additional Rural Residential Allotments within the surrounding Mareeba Environs. The proposal is for the complete development of the Wylandra Rural Residential Estate. The site is designated within the Rural Residential Zone's 4,000 m² Precinct and no change to the existing Rural Residential Zone is proposed with the Reconfiguration. The proposal will maintain the existing amenities of the site and the surrounding properties.

No new buildings or structures are proposed with the Reconfiguration with any future dwellings or structures are able to meet the Rural Residential Zone Code's requirements. The proposed Reconfiguration creates allotments of 3,000 m² or greater within the 4,000 m² designated Precinct. The Subdivision has been designed to be consistent with the existing and original Approvals over the site and in accordance with the previous Zoning Allotment sizes of which the existing Estate was Approved for and developed under. The proposed Reconfiguration provides for an average area of 4,579 m² per allotment, consistent with the current Zoning and Immediate and surrounding Rural Residential Area.

The site is surrounded by Rural Residential Allotments within Mareeba's southern Rural Residential Area with no change to the existing is envisaged. The proposal is considered to comply with the purpose of the Rural Residential Zone as the provision of Rural Residential Allotments will ensure that the existing Uses and Rural Residential Uses will be provided over the site now and within the future. The proposed Reconfiguration will provide additional allotments while maintaining the existing amenities and aesthetics of the site.

The proposed Reconfiguration results in allotment sizes similar to those of the immediate vicinity and the surrounding Rural Residential Area which is consistent with the existing Approvals over the site. The proposal provides for additional Rural Residential Allotments without affecting the existing character and nature of the Rural Residential Area within an existing Rural Residential Estate. No change to the existing services is proposed with the Reconfiguration and any further development of any of the newly created Allotments can be provided with all available and necessary services, an appropriate level of effluent disposal, in addition to an appropriate level of Stormwater disposal at the time of construction of any dwelling associated with that Rural Residential Allotment. This is validated within the attached Engineering Report prepared by Stellen Civil Engineering in support of Town Planning Application.

It is not considered that the proposal is in conflict with the relevant aspects of the Rural Residential Zone Code. The proposal offers similar character and nature to what is existing whilst enhancing the existing character. The proposed development is for the complete/overall Rural Residential design within the Wylandra Estate is considered acceptable and appropriate.

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OVERLAY CODES

Airports Environs Overlay Code

The site is located within the 3km Bird and Bat Zone of the Bird and Bat Strike Zones, within the 6km Light Intensity, and inside the Inner Horizontal Limitations Surface Boundary – Mareeba Overlay Mapping. No new buildings or structures are proposed with the Reconfiguration nor is a waste disposal site proposed. The proposal has been meticulously designed not adversely affecting the site, immediate vicinity, or surrounds and is not considered to contribute to the potentially serious hazard from wildlife (bird or bat) strike and will ensure that potential food and waste sources are covered and collected so that they are not accessible to wildlife. The proposal is for the continued development within the Wylandra Estate proposing Rural Residential Allotments similar to the existing Estate. It is considered that the Airports Environs Overlay Code is Not Applicable to the proposed Subdivision as the proposed Reconfiguration will not affect the Bird and Bat Strike Zone, Light Intensity Zone nor the Inner Horizontal Limitations Surface Boundary.

Bushfire Hazard Overlay Code

The site is Mapped as containing areas of Medium Potential Bushfire Intensity and Potential Impact Buffer within the Bushfire Hazard Overlay Mapping over the site. The Bushfire Hazard Mapping comprises of Medium Hazard within the southwestern and northeastern parts of the site. The site does contain Potential Impact Buffers buffering these Mapped Area and some of the adjoining Hazard Mapping. The proposal is for a Reconfiguration creating additional Rural Residential Allotments. No new buildings or structures are proposed with the Reconfiguration. Any future structures are able to be provided with appropriate setbacks and firebreaks if located within the Mapped Hazard. The proponents will ensure that maintenance and upkeep of the site will be maintained to ensure no build-up of hazardous materials and that existing or proposed firebreaks are maintained. It is not considered that the proposal will affect the Bushfire Hazard of the property as the site will ensure to remove any piling of fuel loads, contains existing firebreaks, and is provided with appropriate water sources. Any appropriate water source will contain sufficient storage of water for Firefighting Supply and will be provided with the appropriate connections where required.

Slope Overlay Code

The site is Mapped as containing a very minor area of Slope Hazard 15% or greater within the Slope Hazard Overlay Mapping. This Mapped area is provided towards the south-western part of the site and is provided over a small hill. The Stellen Report notes that the *existing slopes present on the site have been calculated from the Detailed Survey by Twine Surveys Pty Ltd. In general, the site slopes are between 1% to 2.7%. Geotechnical investigation for slope greater than 15% is not required.* No clearing is proposed and if any works are proposed over land greater than 15% a Geotechnical Report can be provided. It is considered that the Slope Overlay Code is Not Applicable to the proposed Reconfiguration.

RAY ROAD, MAREEBA

RECONFIGURING A LOT CODE

The proposal is for a Reconfiguring a Lot – 1 Lot into 309 Lots and Drainage Area in the Rural Residential Zone's 4,000 m² Precinct of the of the Mareeba Shire Council's Planning Scheme. The proposal is sought to create three hundred and eight (308) additional Rural Residential Allotments within the Wylandra Estate and Mareeba's southern Rural Residential Area. The proposed Subdivision is to preserve the existing nature of the site and the immediate and surrounding amenity in accordance with the Mareeba Shire Council's Planning Scheme.

Page
13

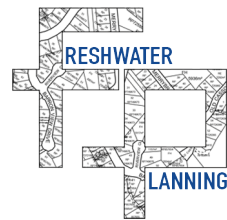
The minimum lot size in the Rural Residential Zone's 4,000 m² Precinct is 4,000 m² requiring a minimum frontage of 40 metres. Existing Lot 224 on SP276715 have an area of 141.5 hectares and frontage to the Ray Road, George Fabris Road (unconstructed), Gallo and Wylandra Drives. The site contains the Development Approval, being RAL/24/0009, for a Reconfiguring a Lot – Subdivision (1 in 14 Lots). The Reconfiguring a Lot proposes three hundred and nine (309) Rural Residential Allotments, being the balance of the Wylandra Estate and continuing from the recent Approval (RAL/24/0009). The proposed new Lots are described as proposed Lots 1 – 309 and a Drainage Area. The typical Road frontage of the proposed allotments is 35m – 40m wide, with the provision of some that are smaller frontages (ignoring the rear access allotments and allotments with frontage along a cul-de-sac head). Proposed Lots 5 – 24 provided along the southern boundary of the site containing the Easement for Electricity Infrastructure have frontages of 35 metres. Proposed Lots 44, 70, 71, 72, 139, 156, 166, 207, 209, 212, 213, 216, 245, 261 and 262 are provided with frontages ranging from 12.89m to 31.99 metres however, these allotments are provided along the bends in the proposed Road Network. It is accepted that each allotment contains sufficient area and frontages for the safe provision of access without affecting the functioning of the existing or proposed new Road Network.

The site is designated within the Rural Residential Zone's 4,000 m² Precinct with the proposal providing Rural Residential Allotments ranging from 3,000 m² to 8,428 m². Whilst the proposal proposes Rural Residential Allotments 3,000 m² or greater, which is less than the 4,000 m², the allotment configuration has been designed to be consistent with the existing Approvals over the site, the Wylandra Estate, and in accordance with the previous Zoning Allotment sizes. The proposed Reconfiguration provides for an average area greater than 4,000 m² (4,579 m²) per allotment, which is consistent with the current Zoning. It is considered that the proposed Allotment sizes are acceptable for the Rural Residential Zone, existing Approval, existing Estate, and adjoining Rural Residential Areas.

The site is accessed via existing crossovers and the termination of the existing Road Networks with the proposed Reconfiguration proposing new Roads and not affecting the existing. It is accepted that each allotment contains the safe provision of access to the newly proposed Road Network. The site is connected to all available services, being Water, Power and Telecommunications with each proposed Allotment able to be provided with the necessary services. No change to the existing is proposed, with each proposed allotment of sufficient size for the provision of an effective Effluent Disposal System and an appropriate level of Stormwater Disposal as validated within the attached Engineering Report prepared by Stellen Civil Engineering. The proposed Subdivision will ensure that no change to the existing nature, character and amenity of the site and surrounding area is envisaged.

The proposed Reconfiguration results in the protection of the existing Rural Residential nature and character of the immediate and surrounding environs ensuring that Rural Residential Activities can be provided over the site now and within the future. The proposal is for the design of the remaining Balance Area within the Wylandra Estate and no change to the nature and character of the Rural Residential Allotments is envisaged with the Reconfiguration.

RAY ROAD, MAREEBA










The proposed allotments are considered to appropriately meet the minimum area requirements, ensuring appropriate areas and dimensions for the provision of a dwelling unit on each allotment as required by the Mareeba Shire Council's Planning Scheme's Reconfiguring a Lot Code for allotments in the Rural Residential Zone's 4,000 m² Precinct. The proposed allotments contain a minimum area of greater than 3,000 m² and an average greater than 4,000 m² (4,579 m²) as consistent with the existing Approval over the site, the Wylandra Estate, and within the immediate adjoining Rural Residential Area. It is not considered that the proposed Reconfiguration will be detrimental to the adjacent sites or adversely impact on the surrounding area. It is considered that the Performance Outcomes of the Reconfiguring a Lot Code can be met in this instance.

RAY ROAD, MAREEBA

WORKS, SERVICES, AND INFRASTRUCTURE CODE

The proposal is for a Reconfiguring a Lot – 1 Lot into 309 Lots and a Drainage Area in the Rural Residential Zone's 4,000 m² Precinct within the Mareeba Shire Council's Planning Scheme. The Reconfiguration is sought to create additional Rural Residential Allotments within the Mareeba South Area. The site is connected to all available and necessary services. No change to the existing services is proposed with the Reconfiguration and any new Rural Residential Allotment will be provided with the same level of servicing in addition to being provided with an appropriate level of Stormwater disposal, at the time of construction of any Dwelling House. The proposed Subdivision will ensure that no change to the existing nature, character and amenity of the site and surrounding area is envisaged.

Attached to this Town Planning Report is an Engineering Report in support of Town Planning Application prepared by Stellen Civil Engineering summarising the proposed servicing and engineering requirements of the site. The attached Report addresses the civil engineering elements of the following:

-  Flooding
-  Roadworks
-  Slope Analysis
-  Stormwater Drainage
-  Water Reticulation
-  Sewerage
-  Electrical and Telecommunications

The Subdivision results in appropriate Stormwater Dispersal, via the use of Drainage Easements, incorporating On-Site Detention and swales. The On-Site Detention (OSD) ensures that post-development peak discharge rates do not exceed pre-development rates for all relevant design storm events. The stormwater drainage strategy is designed such that swales are provided to carry overland flows to convey minor storm events (typically the 1 in 5-year ARI) while utilising the road network and overland flow paths for major events (up to the 1 in 100-year ARI). The resultant design is considered to provide a significant flooding and stormwater benefit to the surrounding community.

The subject site contains an existing Easement, being Easement A on RP851482 which is understood to be for the purposes of Electrical Infrastructure with no change to the existing Easement envisaged.

No Excavation or Filling is proposed with the Reconfiguration however, if any significant Excavation or Filling associated with the proposed Reconfiguration is required than any resultant earthworks will be provided as part of an Operational Works Application.

It is considered that the proposed Reconfiguration complies with the Intent of the Works, Services, and Infrastructure Code.

CONCLUSION

It is considered that the proposed development being a Reconfiguring a Lot – 1 Lot into 309 Lots and a Drainage Allotment on land described as Lot 224 on SP276715 is appropriate. In particular, the proposed development:

- ✚ Can meet the Acceptable Outcomes and Performance Outcomes relating to minimum allotment size and dimension;
- ✚ Ensures no change to the existing Rural Residential nature or character of the area is envisaged, and the Subdivision will ensure that the new allotments will remain to be used as existing or for Rural Residential Uses;
- ✚ Meets the Objectives of the Land Use Policies and is not in conflict with the Intent of the Far North Queensland Regional Plan 2009 – 2031, in particular the Rural Living Designation;
- ✚ Can meet the Performance Outcomes, Purposes and the Intent of the Reconfiguring a Lot Code for land included in the Rural Residential Zone, in particular the 4,000 m² Precinct;
- ✚ Is not in conflict with the Airports Environs, Bushfire Hazard, and Slope Overlays;
- ✚ Can meet the Intent and Objectives and Intent for the Rural Residential Zone;
- ✚ Provides for an average area of 4,579 m² per allotment, consistent with the current Zoning. It is considered that the proposed Allotment sizes are acceptable for the Rural Residential Zone, existing Approval, the Wylandra Estate and similar development within the surrounding area and the Mareeba Shire; and
- ✚ Is for the complete development within the Wylandra Rural Residential Estate, providing additional Rural Residential Allotments within Mareeba’s Southern Rural Residential Area.

Freshwater Planning Pty Ltd request that Council provide a copy of the Draft Conditions/Recommendation with sufficient time for review prior to Tabulating the Item on the Agenda or a Decision is provided. If you have any queries, please do not hesitate to contact Freshwater Planning Pty Ltd.

Yours faithfully,



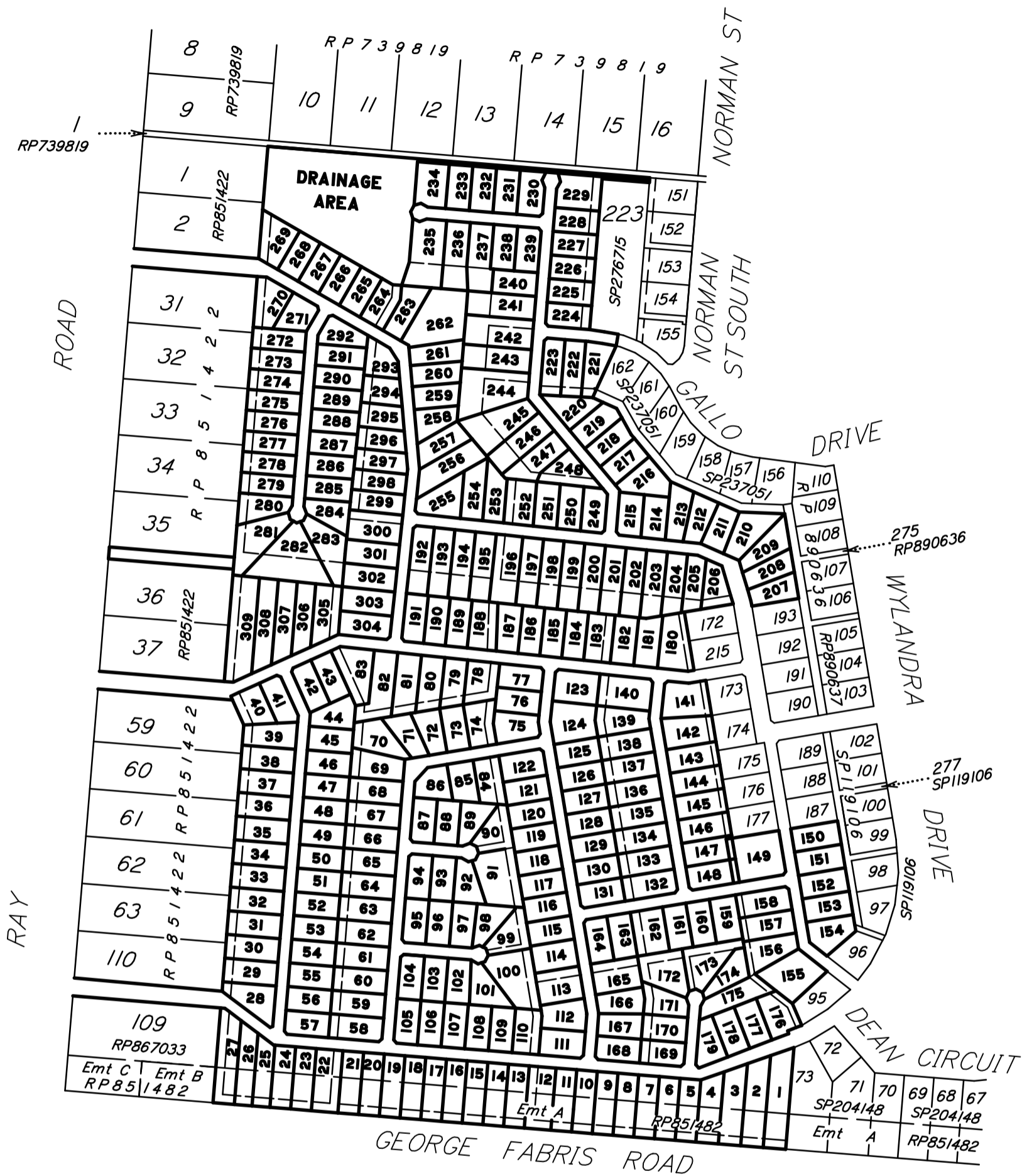
MATTHEW ANDREJIC

FRESHWATER PLANNING PTY LTD

P: 0402729004

E: FreshwaterPlanning@outlook.com

17 Barron View Drive, FRESHWATER QLD 4870



See sheet 2 for diagram A,
 sheet 3 for diagram B,
 and sheet 4 for diagram C

0 400m 800m 1:2km

LOCAL GOVERNMENT: MSC
 LOCALITY: Mareeba
 Scale 1: 8000
 Reference: 9406 Overall LL1
 Lot Layout – 02-04-2026

DEVELOPMENT PLAN
 Plan of Lots 1 – 309
 Wylandra Estate



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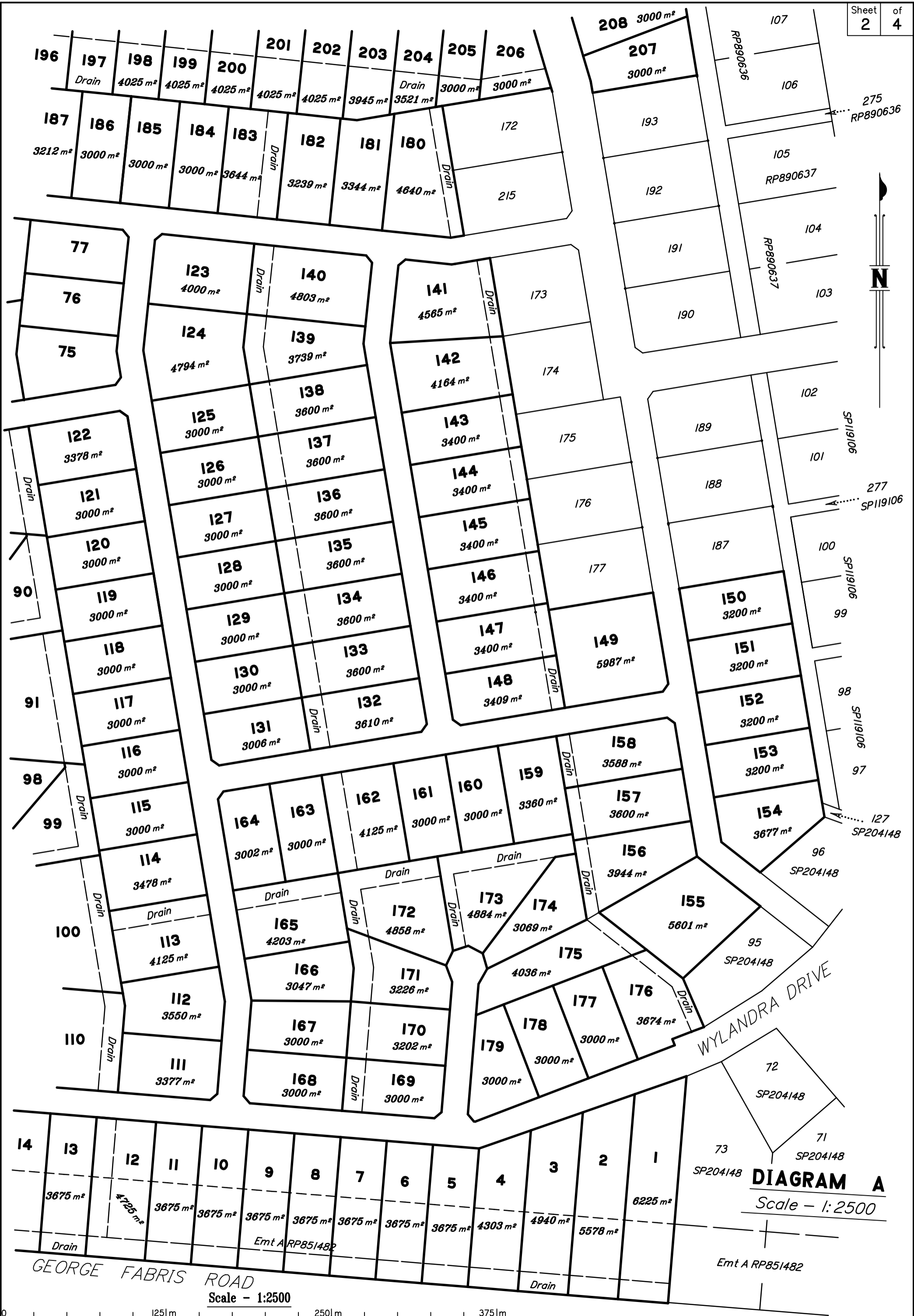


DIAGRAM A

Scale - 1:2500

GEORGE FABRIS ROAD
Scale - 1:2500

Emt A RP851482

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DIAGRAM B
Scale - 1:2500



GEORGE FABRIS ROAD

Scale - 1:2500

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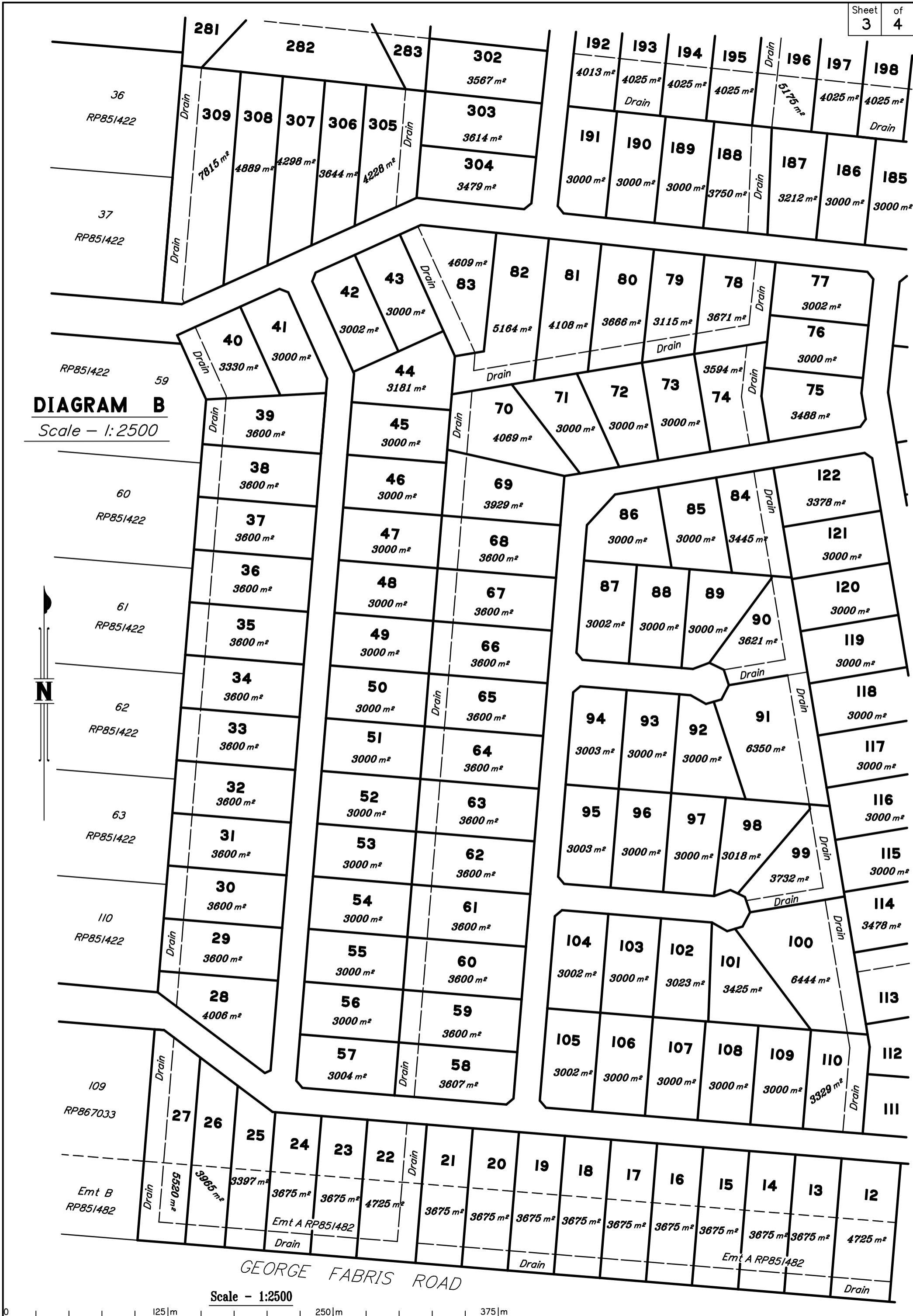
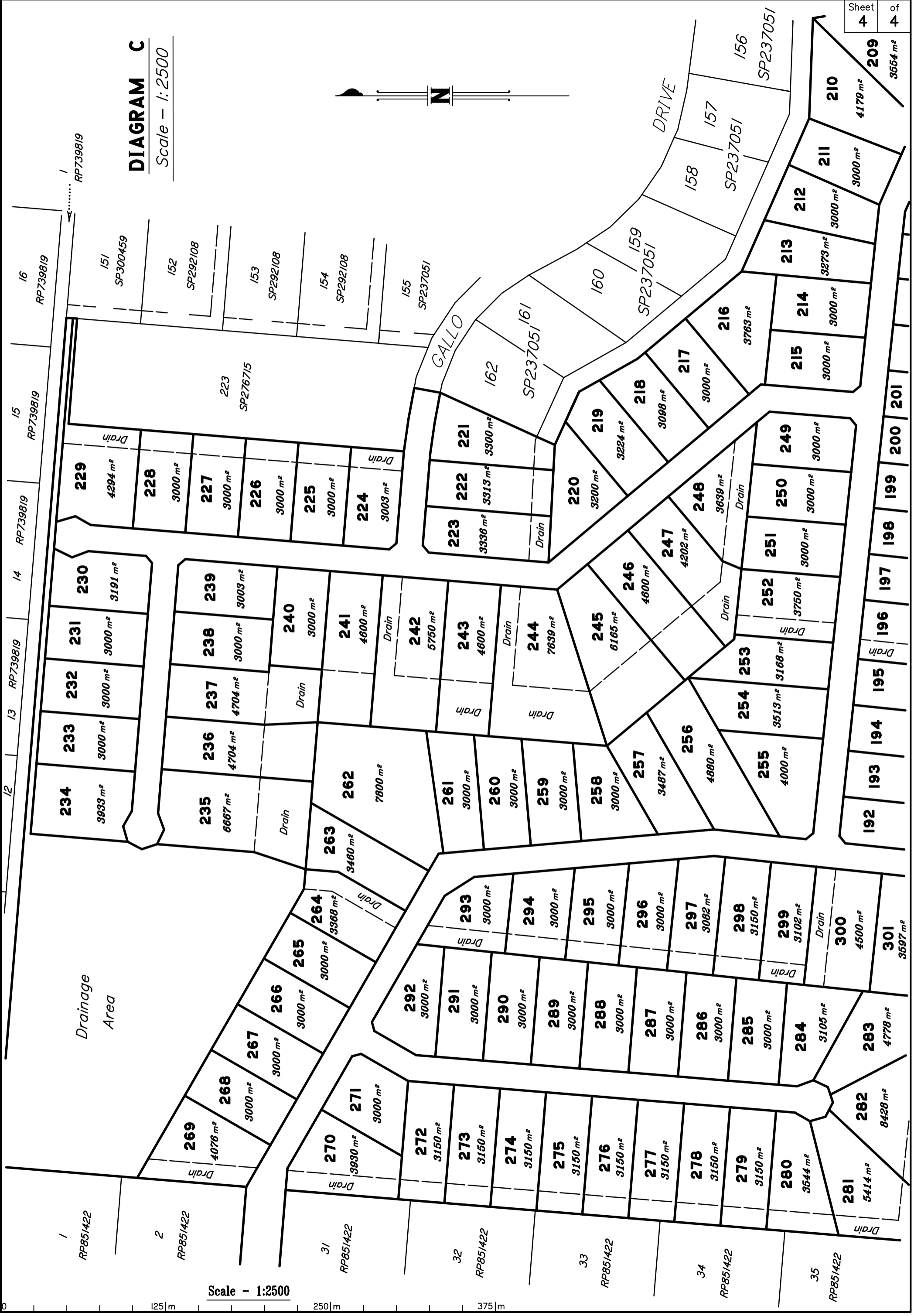


DIAGRAM C

Scale - 1:2500



Drainage Area

Scale - 1:2500

125m 250m 375m

Engineering Report in support of town planning application

For proposed development at Wylandra Drive, Mareeba

Support Town Planning Application Report

Proposed development at Wylandra Drive Mareeba

Prepared for our clients:

Wylandra Properties Pty Ltd

Prepared by:

Stellen Consulting

Level 1, 27 Belgrave Street, Manly, NSW 2095, PO Box 151 Freshwater PO, NSW 2096

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15 April 2026

P171587-RP-CV-001-01

Quality Information

Document Support Town Planning Application Report

Ref P171587-RP-CV-001-01

Date 17 April 2026

Prepared by Yasser Al-Ashmori

Reviewed by Tyler Karvinen

Revision History

Revision	Date	Details	Authorised	
			Name/Position	Signature
0	15.04.2026	Draft	Yasser Al-Ashmori Civil Engineer	
1	17.04.2026	Submission	Tyler Karvinen Civil Engineer	T. Karvinen

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1.0 Introduction

Stellen Consulting was engaged to assess possible civil engineering issues associated with the proposed Town Planning Application at Wylandra Drive.

The project will include construction activities involving earthworks, roadworks, stormwater drainage, and water reticulation together with other service infrastructure. A general lot arrangement is shown in Appendix A.

2.0 Flooding

The site and Wylandra Estate are not mapped within the Queensland Floodplain Assessment Overlay Mapping nor the Mareeba Shire Council's Flood Hazard Levels Overlay. The site is not mapped as containing any flooding within the Mareeba Shire Council's Planning Scheme, 2016.

A preliminary flood risk assessment has been undertaken for the proposed development at Wylandra Drive, Mareeba. Based on the site's topographical setting and the surrounding catchment characteristics, the development has been designed to manage overland flow paths and mitigate flood risks. The Stormwater Management Plan (Drawing Nos. P171587-DR-SW-001 to 009 in Appendix B) illustrates the preliminary proposed swale and OSD arrangement.

Where flow paths intersect the site, conveyance channels and road reserves have been aligned to safely convey major storm events without causing hazardous conditions to habitable floor levels. No significant inundation from regional flooding has been identified; however, finished floor levels for proposed dwellings will be set in accordance with FNQROC requirements and any applicable Mareeba Shire Council flood overlays to ensure community safety and property resilience.

The proposed design incorporates the recommended upgrades to Chinaman Creek and Coolamon Close from the Ray Road Drainage Management Plan (2025) as described in section 4.8 and 4.10, and table 9 and 11. This is expected to upgrade the downstream drain and culvert capacity for Chinaman Creek from 4.0m³/s to 45.4m³/s and for Coolamon Close from 5.5m³/s to 11.5m³/s – providing a significant flooding and stormwater benefit to the surrounding community.

3.0 Roadworks

Design of local and access streets to provide safe and functional access to all lots, including cul de-sac and T-intersections compliant with Austroads and FNQROC standards Table D1.1. General road arrangement by Twine Surveys Pty Ltd and typical cross sections for the various road are shown in Appendix A and Appendix C.

Table D1.1 Street and Road Hierarchy - Deemed to Comply Requirements

Road Hierarchy Classification ⁸	Type	Standard Drawing	Catchment Size (no of dwellings)	AADT (vpd)	Reserve Width (Min) ^{1,2,6,7}	Carriageway Width ¹⁰ (Min) ^{1,3}	Verge Width ⁹ (Min each side)	Footpath	Max Grade (Desirable)	Design Speed (km/h)	Lighting Category
Access Place (CRC only)	1	S1005	0-19	0-190	14.5m	5.5m sealed	4.5m	not req'd	16% ⁴ (12%)	30	P4
Access Street (CRC only)	2	S1005	20-74	200-740	15.5m	6.5m sealed	4.5m	1 side	16% ^{3,4} (12%)	30	P4
Low Density Residential (CRC only)	3	S1005	n/a	n/a	20m	7.0m sealed with 1.0m wide gravel shoulders ⁵	5.5m	Not req'd	16% ³ (12%)	60	P4
Residential Street (excl CRC)	4	S1005	0-74	0-740	16.5m	7.5m sealed	4.5m	1 side ¹²	16% ^{3,4} (12)	40	P4
Collector Road	Minor	S1006	75-299	750-2990	16.5m	7.5m ⁷	4.5m	1 side	10% (8%)	50	P3
	Major	S1006	300-599	3000-5999	20m	11m	4.5m	1 side	10% (8%)	50	V5
Sub Arterial/Arterials	No median	S1007	>600	>6000	25m	16m	4.5m	both sides	8% (6%)	60	V3
	2 lane median divided				28m	2 x 5.5m separated by a 5m median	6m				
	4 lane median divided	31m			2 x 8.5m separated by a 5m median	4.5m					
	4 lane median divided with parking	40m			2 x 12.4m separated by a 5m median if no centre parking	5.1m					
Industrial Access Street	11	S1009	<8Ha		21m	12m	4.5m	not req'd	10% (6%)	60	P4
Industrial Collector Street	12	S1009	<30Ha		23m	14m	4.5m	Not req'd	8% (6%)	60	P3
Rural / rural residential Road ¹¹											

Notes:

- Carriageway (and reserve) widening shall be provided on bends in accordance with Queensland Streets.
- Widening of carriageway to 10m shall be required on all bus routes, and a minimum road reserve of 18m provided.
- Carriageway widths are measured from the invert of the kerb and channel on one side of the carriageway to the invert of the kerb and channel on the opposite side of the carriageway.
- The absolute maximum grade shall be 20% for a maximum length of 60m. The maximum length of grades less than 20%, but not less than 16%, shall be 60m plus 25m for each 1% the grade is less than 20%. The maximum length of any grade greater than 16% shall be 160m.
- Where the ultimate traffic catchment exceeds 30 allotments and Council considers bicycle use likely, shoulders shall be sealed to provide a total seal minimum width of 9.0m.
- Road reserve widths may require widening to accommodate table drains, provision for services, on-street car parking provision & bus bays.
- Minimum reserve width must be provided, irrespective of minimum verge and carriageway widths specified.
- In CRC - For CBD streets between Florence St, Wharf St, McLeod St, & The Esplanade, refer to CBD Streetscape Masterplan policy.
- The road cross section type for this category shall be provided by the Council or Relevant Authority (DMR). Traffic volumes shall be identified in a traffic management report.
- Where the road is nominated as part of the bikeway network, allowance for bike lanes shall be added to this width (minimum bikeway width is 1.5m, or 2.0m where the design speed is > 60km/h).
- The deemed to comply requirements for rural residential developments is equivalent to residential developments
- Unless otherwise approved by council

4.0 Slope Analysis

The existing slopes present on the site have been calculated from the Detailed Survey by Twine Surveys Pty Ltd (29/1/2024). In general, the site slopes are between 1% to 2.7%. As there is relatively low gradient across the site, at grade swales will be utilized to convey stormwater where possible. The OSD depths at the outlet locations are similarly constrained and will require relatively larger footprints to compensate. Geotechnical investigation for slope greater than 15% is not required.

Earthworks and grading will be done throughout the site to ensure stormwater drainage requirements are met.

5.0 Stormwater Drainage

The development will incorporate On-Site Detention (OSD) to ensure that post-development peak discharge rates do not exceed pre-development rates for all relevant design storm events. While preliminary concepts have considered OSD locations upstream of Coolamon Close and Chinaman Creek, the final OSD configuration, including exact location, storage volume, and outlet structure, will be confirmed during detailed civil design. Refer to The Stormwater Management Plan (Drawing Nos. P171587-DR-SW-001 to 009, Appendix B) for more details. This strategy ensures that peak discharge from the developed site does not exceed pre-development rates where required and provides safe, nuisance-free drainage for residents.

The stormwater drainage strategy is designed such that swales are provided to carry overland flows to convey minor storm events (typically the 1 in 5-year ARI) while utilising the road network and overland flow paths for major events (up to the 1 in 100-year ARI). As detailed in the preliminary stormwater layout, the system comprises a series of swales that capture runoff from individual lots and road reserves.

Local and major drainage design is in accordance with QUDM (2017), including detention and water treatment via bioretention and rain gardens.

The proposed design incorporates the recommended upgrades to Chinaman Creek and Coolamon Close from the Ray Road Drainage Management Plan (2025) as described in section 4.8 and 4.10, and table 9 and 11. This is expected to upgrade the downstream drain and culvert capacity for Chinaman Creek from 4.0m³/s to 45.4m³/s and for Coolamon Close from 5.5m³/s to 11.5m³/s – providing a significant flooding and stormwater benefit to the surrounding community.

6.0 Water Reticulation

Final water connection points are to be chosen in detailed design as multiple viable connection points are available along Ray Road and through the Stage 1 development works. Reticulated water supply will meet FNQROC D7 and AS/NZS 3500.1, ensuring adequate pressure, fire flow, and redundancy. Available water connection points are shown in the Dial Before You Dig report in Appendix D.

7.0 Sewerage

A sewer reticulation system is not proposed. Each individual lot will provide for its own effluent disposal system as required for its specific use and be provided at the time of construction for any dwelling on that allotment.

8.0 Electrical and Telecommunications

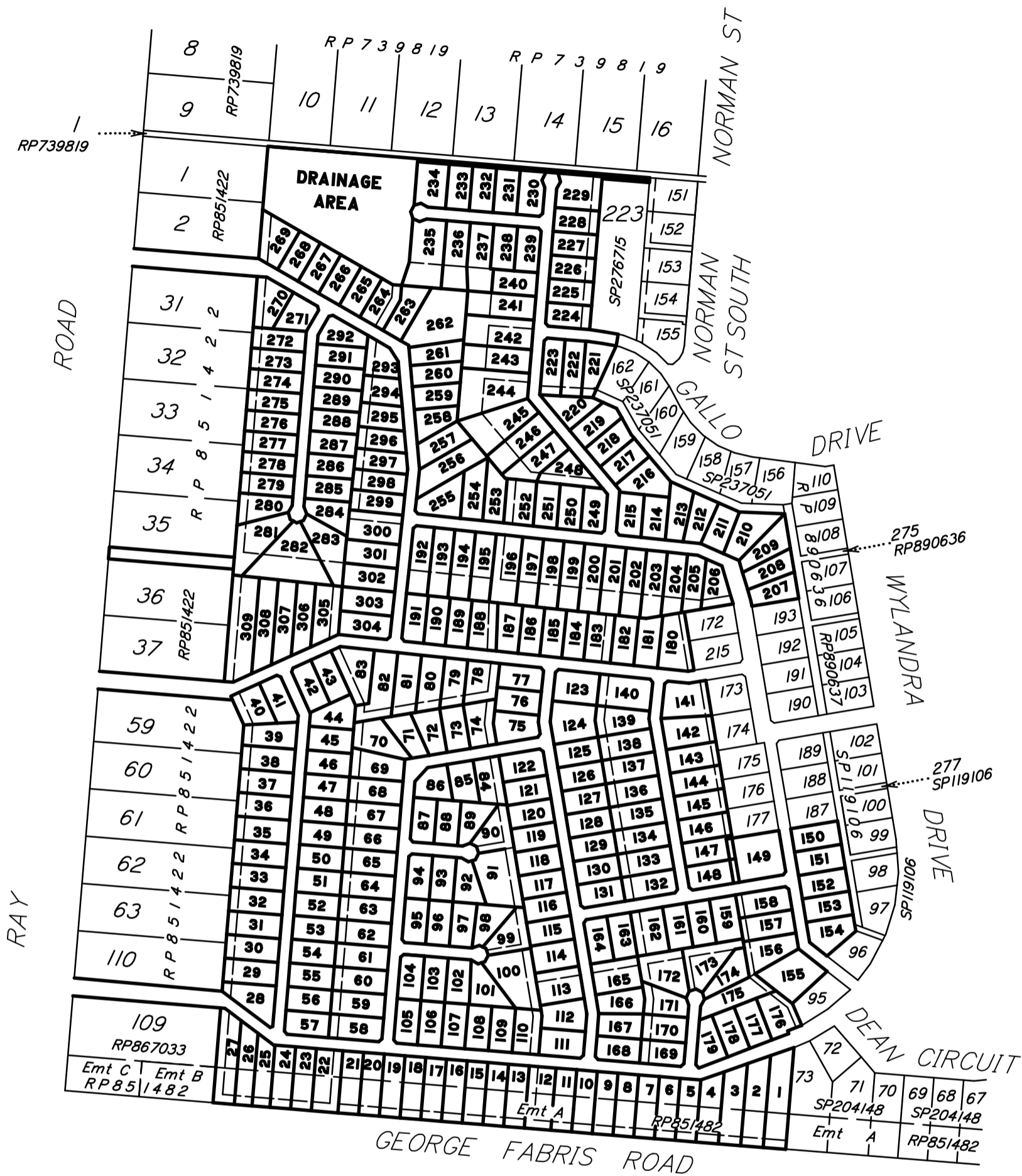
The electrical and telecommunications system, including street lighting, will be designed by an electrical engineering consultant. It is expected that these services shall be incorporated into the construction of the civil and road works.

Kind regards,



Tyler Karvinen
Civil Engineer
STELLEN CONSULTING
Civil Engineering

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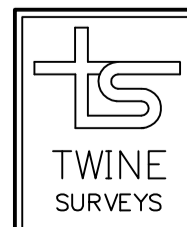


See sheet 2 for diagram A,
 sheet 3 for diagram B,
 and sheet 4 for diagram C

0 400m 800m 12km

LOCAL GOVERNMENT: MSC
 LOCALITY: Mareeba
 Scale 1: 8000
 Reference: 9406 Overall LL1
 Lot Layout – 02-04-2026

DEVELOPMENT PLAN
 Plan of Lots 1 – 309
 Wylandra Estate



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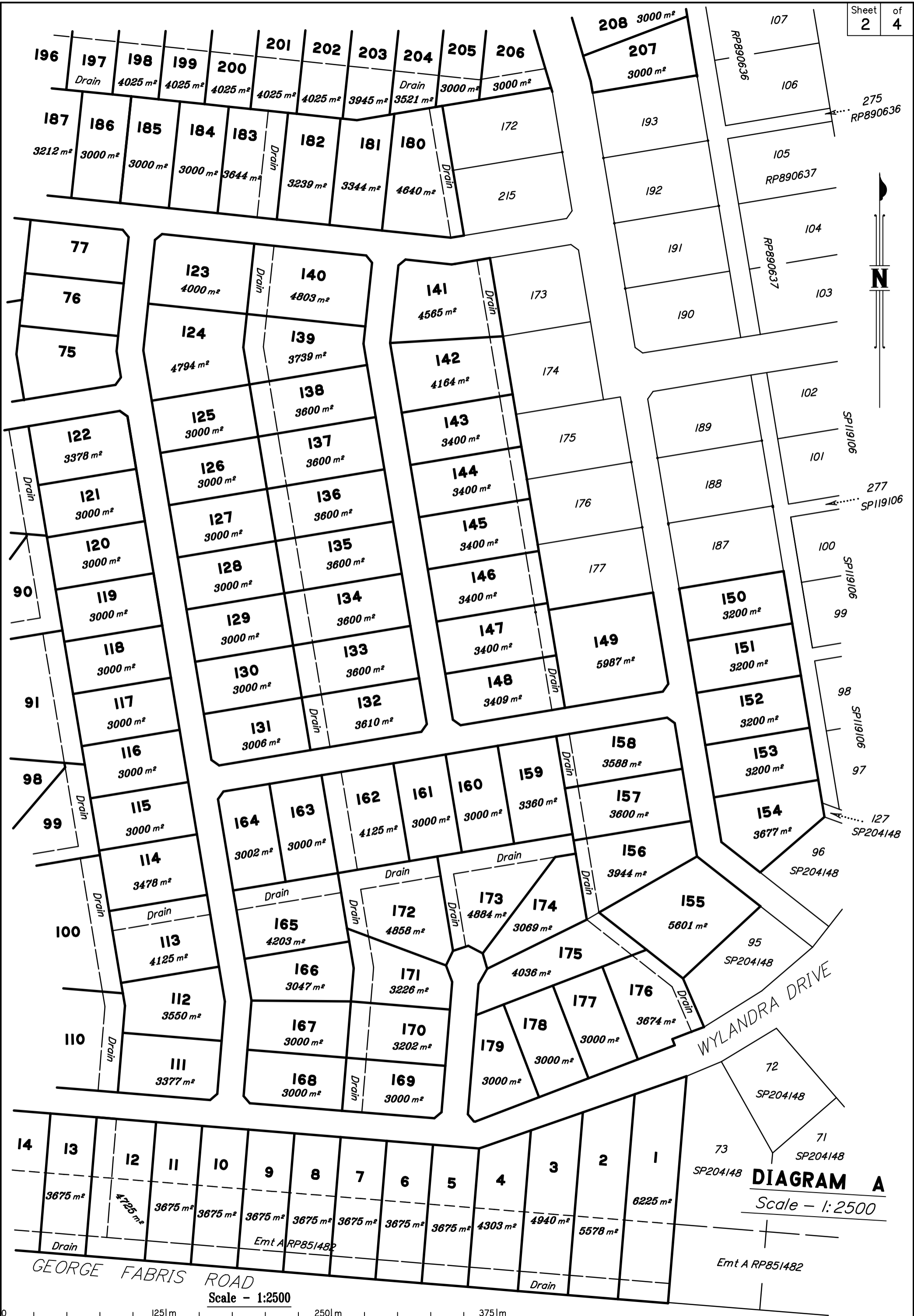
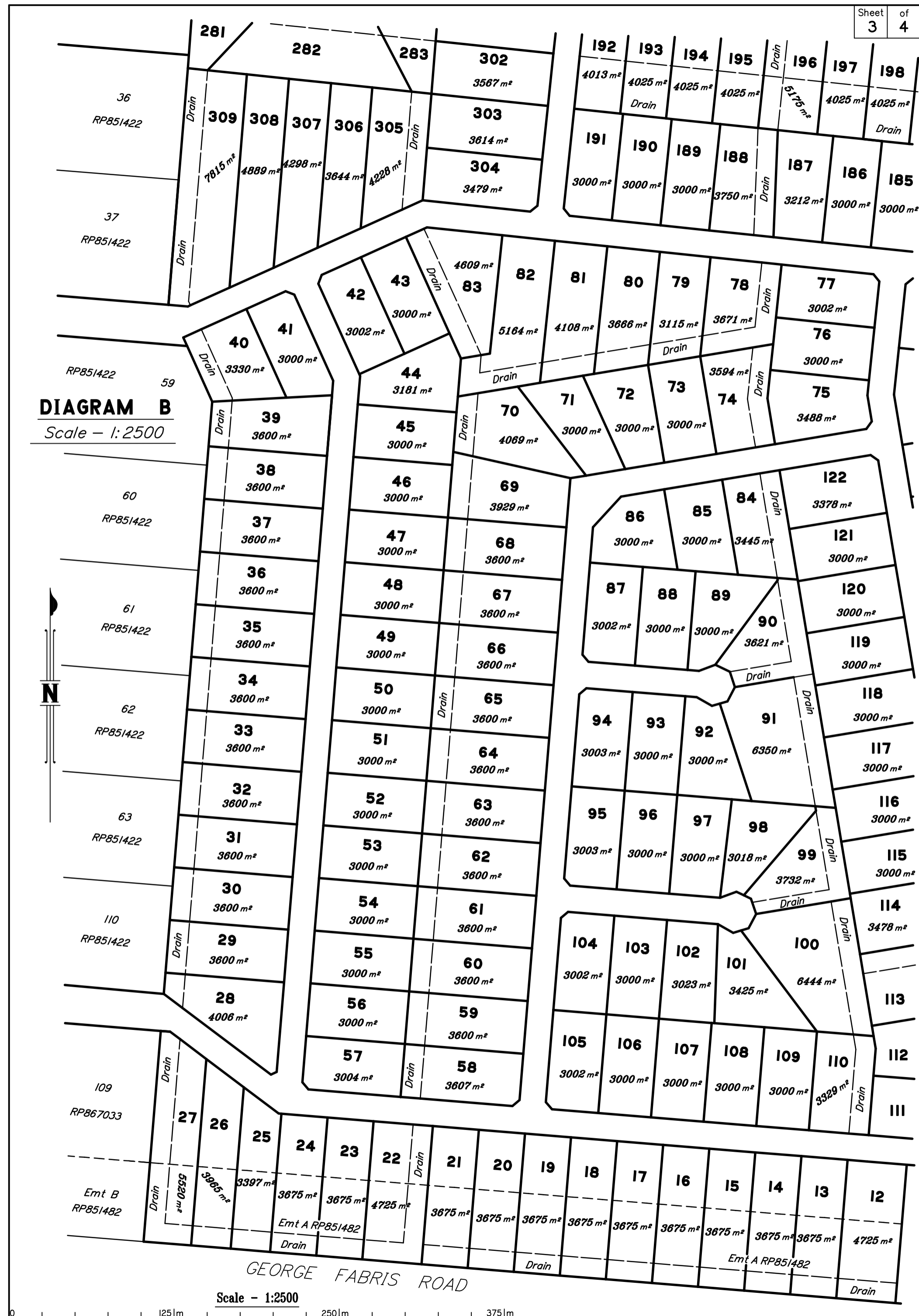


DIAGRAM B
Scale - 1:2500



GEORGE FABRIS ROAD

Scale - 1:2500

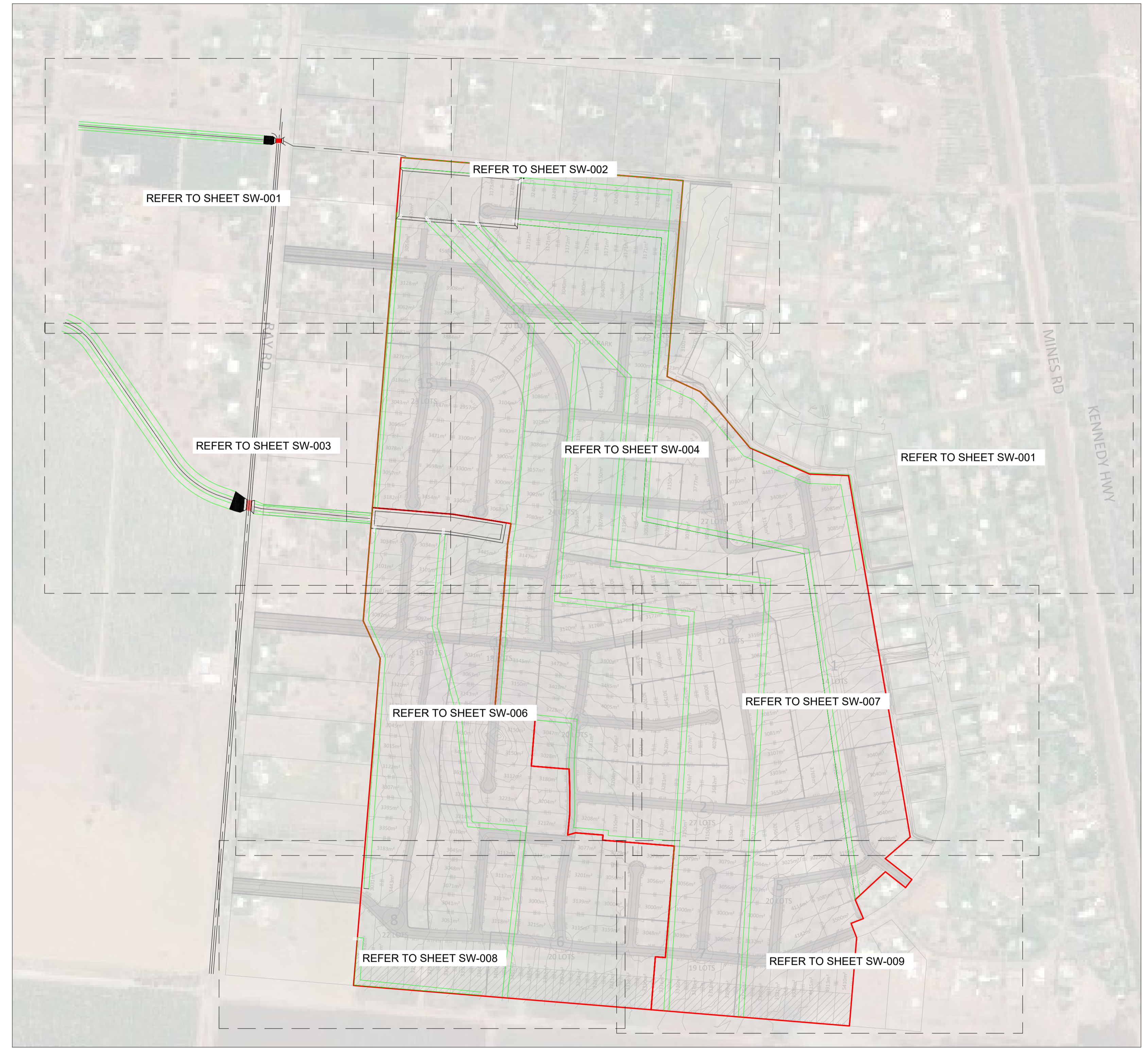
0 125m 250m 375m

WYLANDRA DRIVE MAREEBA, QLD

STORMWATER MANAGEMENT PLAN

DRAWING INDEX:

- SW-000 COVER SHEET
- SW-001 STORMWATER PIPE LAYOUT – SHEET 1
- SW-002 STORMWATER PIPE LAYOUT – SHEET 2
- SW-003 STORMWATER PIPE LAYOUT – SHEET 3
- SW-004 STORMWATER PIPE LAYOUT – SHEET 4
- SW-005 STORMWATER PIPE LAYOUT – SHEET 5
- SW-006 STORMWATER PIPE LAYOUT – SHEET 6
- SW-007 STORMWATER PIPE LAYOUT – SHEET 7
- SW-008 STORMWATER PIPE LAYOUT – SHEET 8
- SW-009 STORMWATER PIPE LAYOUT – SHEET 9



KEY PLAN

REVISIONS				
No.	BY	DATE	DESCRIPTION	APPD
B	TK	10.03.2026	SKETCH FOR COORDINATION	TK
A	YYA	21.01.2026	SKETCH	TK

This drawing is confidential and shall only be used for the purposes of this project.		Scale
NA		
DO NOT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED		

THE SIGNING OF THIS TITLE BLOCK CONFIRMS THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CHECKED IN ACCORDANCE WITH THE STELLEN CONSULTING QUALITY ASSURANCE SYSTEM			
DESIGNED	DJ	CHECKED	TK
DRAWN	YYA	CHECKED	TK
APPROVED	TK	DATE	10.03.2026



WYLANDRA DRIVE MAREEBA, QLD			
COVER SHEET			
Site	Status	Org No.	Rev.
A1	SKETCH	P171587-DR-SW-000	B



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REVISIONS			
No.	BY	DATE	DESCRIPTION
A	YYA	21.01.2026	SKETCH

Scale: NA

DO NOT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED

THE SIGNING OF THIS TITLE BLOCK CONFIRMS THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CHECKED IN ACCORDANCE WITH THE STELLEN CONSULTING QUALITY ASSURANCE SYSTEM

DESIGNED	DJ	CHECKED	TK
DRAWN	YYA	CHECKED	TK
APPROVED	TK	DATE	21.01.2026

Stellen Consulting ABN 61 149 095 189

WYLANDRA DRIVE MAREEBA, QLD

STORMWATER PIPE LAYOUT - SHEET 1

Site	A1	Status	SKETCH	Org No	P171587-DR-SW-001	Rev	A
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This drawing is confidential and shall only be used for the purposes of this project.

REVISIONS	No.	BY	DATE	DESCRIPTION	APPD
	A	YYA	21.01.2026	SKETCH	TK

Scale: **NA**

DO NOT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED

THE SIGNING OF THIS TITLE BLOCK CONFIRMS THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CHECKED IN ACCORDANCE WITH THE STELLEN CONSULTING QUALITY ASSURANCE SYSTEM

DESIGNED	DJ	CHECKED	TK
DRAWN	YYA	CHECKED	TK
APPROVED	TK	DATE	21.01.2026



Stellen

Stellen Consulting ABN 61 149 095 189

WYLANDRA DRIVE MAREEBA, QLD

STORMWATER PIPE LAYOUT - SHEET 3

Site	A1	Status	SKETCH	Org No	P171587-DR-SW-003	Rev	A
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This drawing is confidential and shall only be used for the purposes of this project.

REVISIONS	No.	BY	DATE	DESCRIPTION	APPD
	A	YYA	21.01.2026	SKETCH	TK

Scale
NA

DO NOT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED

THE SIGNING OF THIS TITLE BLOCK CONFIRMS THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CHECKED IN ACCORDANCE WITH THE STELLEN CONSULTING QUALITY ASSURANCE SYSTEM

DESIGNED	DJ	CHECKED	TK
DRAWN	YYA	CHECKED	TK
APPROVED	TK	DATE	21.01.2026



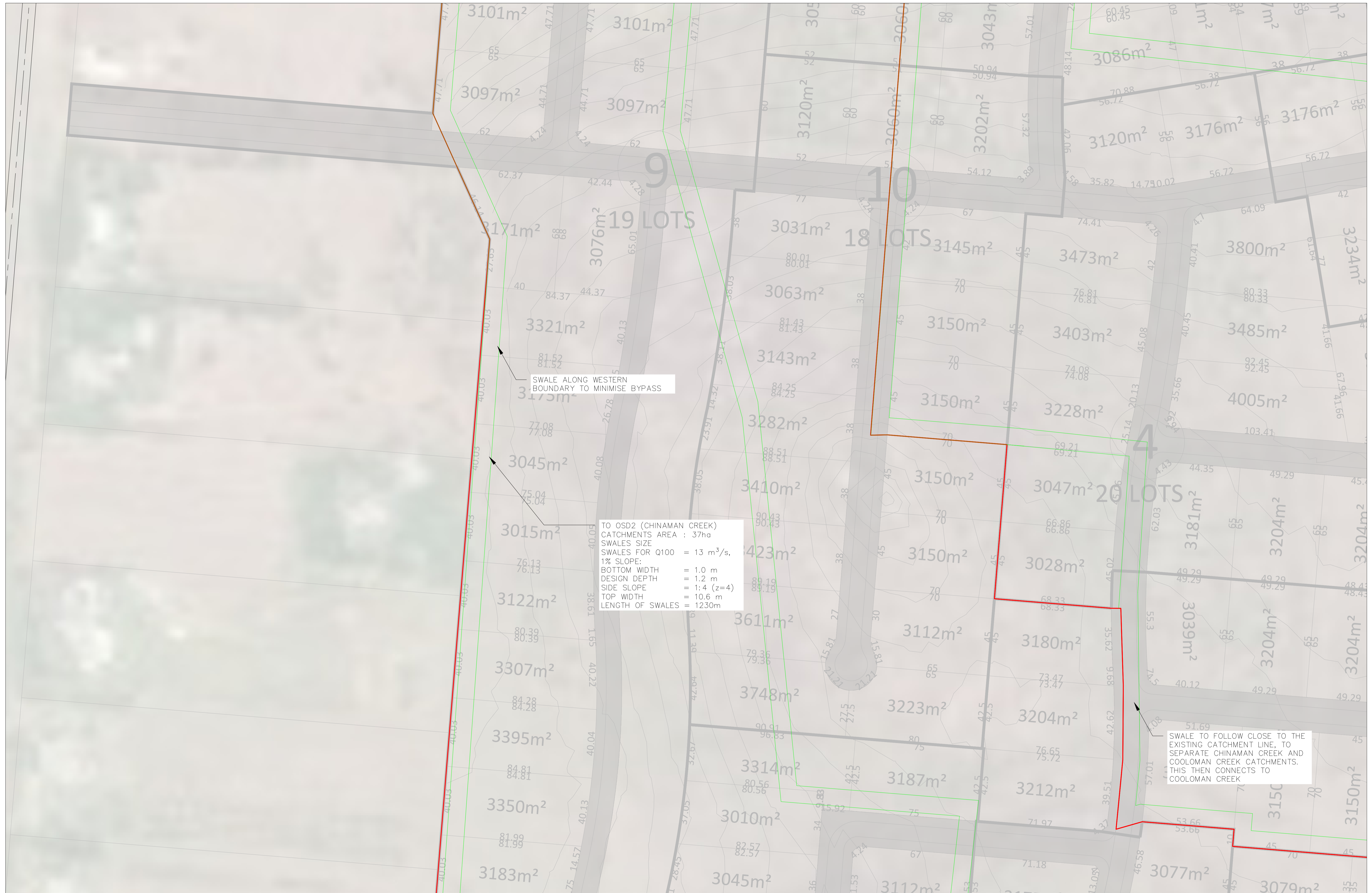
Stellen

Stellen Consulting ABN 61 149 095 189

WYLANDRA DRIVE MAREEBA, QLD

STORMWATER PIPE LAYOUT - SHEET 5

Size	A1	Status	SKETCH	Org No	P171587-DR-SW-005	Rev	A
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This drawing is confidential and shall only be used for the purposes of this project.

REVISIONS			
No.	BY	DATE	DESCRIPTION
A	YYA	21.01.2026	SKETCH

Scale: **NA**

DO NOT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED

THE SIGNING OF THIS TITLE BLOCK CONFIRMS THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CHECKED IN ACCORDANCE WITH THE STELLEN CONSULTING QUALITY ASSURANCE SYSTEM

DESIGNED	DJ	CHECKED	TK
DRAWN	YYA	CHECKED	TK
APPROVED	TK	DATE	21.01.2026



WYLANDRA DRIVE MAREEBA, QLD			
STORMWATER PIPE LAYOUT - SHEET 6			
Site	Status	Org No	Rev
A1	SKETCH	P171587-DR-SW-006	A



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REVISIONS	No.	BY	DATE	DESCRIPTION	APPD
	A	YYA	21.01.2026	SKETCH	TK

Scale
NA

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DRAWN	YYA	CHECKED	TK
APPROVED	TK	DATE	21.01.2026

Stellen
Stellen Consulting ABN 61 149 095 189

WYLANDRA DRIVE MAREEBA, QLD			
STORMWATER PIPE LAYOUT - SHEET 7			
Size	Status	Org No	Rev
A1	SKETCH	P171587-DR-SW-007	A



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REVISIONS			
No.	BY	DATE	DESCRIPTION
A	YYA	21.01.2026	SKETCH

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DRAWN	YYA	CHECKED	TK
APPROVED	TK	DATE	21.01.2026

Stellen

Stellen Consulting ABN 61 14 9 095 189

WYLANDRA DRIVE MAREEBA, QLD

STORMWATER PIPE LAYOUT - SHEET 8

Site	A1	Status	SKETCH	Org No	P171587-DR-SW-008	Rev	A
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REVISIONS			
No.	BY	DATE	DESCRIPTION
A	YYA	21.01.2026	SKETCH

Scale
NA

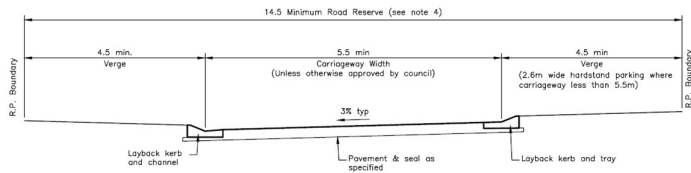
DO NOT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED

THE SIGNING OF THIS TITLE BLOCK CONFIRMS THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CHECKED IN ACCORDANCE WITH THE STELLEN CONSULTING QUALITY ASSURANCE SYSTEM

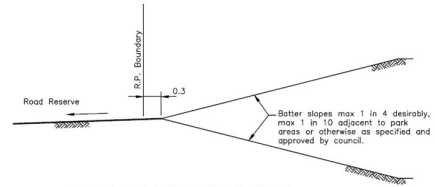
DESIGNED	DJ	CHECKED	MIA
DRAWN	YYA	CHECKED	TK
APPROVED	TK	DATE	21.01.2026



WYLANDRA DRIVE MAREEBA, QLD			
STORMWATER PIPE LAYOUT - SHEET 9			
Size	Status	Org No.	Rev.
A1	SKETCH	P171587-DR-SW-009	A



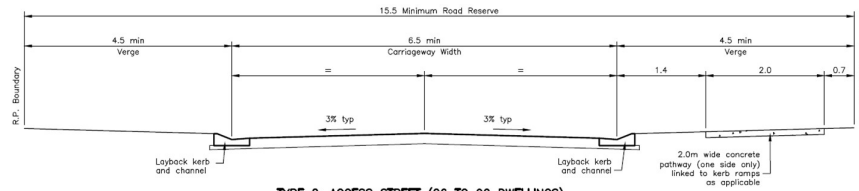
TYPE 1: ACCESS PLACE (0 TO 25 DWELLINGS)
(GRC & DSC ONLY)



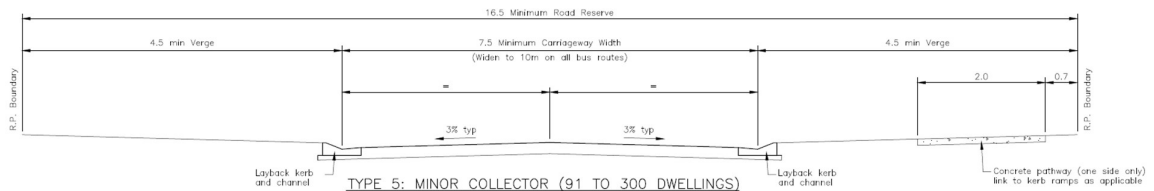
ROAD RESERVE BOUNDARY TREATMENT

NOTES

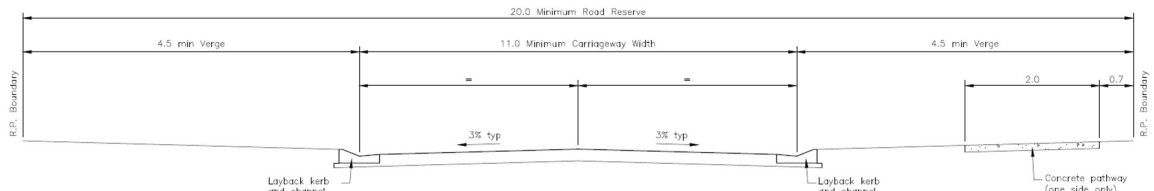
1. This drawing is provided to assist in the interpretation of Table D1.1 of the FNQRC Regional Development Manual. This drawing should be read in conjunction with the above table and the remainder of the manual. Where conflicts occur Table D1.1 shall take precedence.
2. All dimensions are in metres U.N.O.
3. Refer to Project Drawings for pavement & seal details & subsoil drainage requirements.
4. The minimum reserve width overrides the sum of other minimum dimensions.
5. Driveway cuts or fills must not encroach on the road reserve.



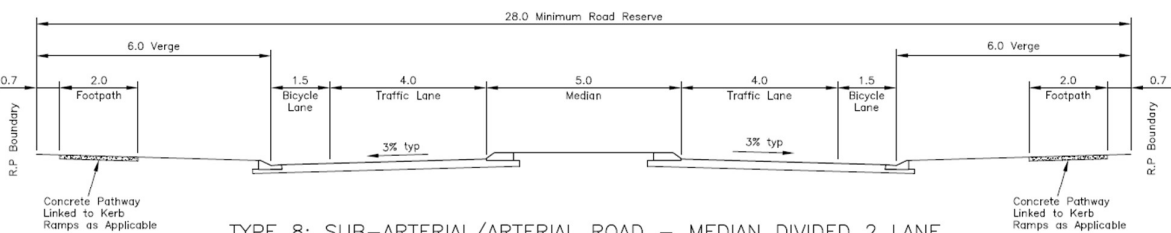
TYPE 2: ACCESS STREET (26 TO 90 DWELLINGS)
(GRC, TRC, MSC & DSC ONLY)



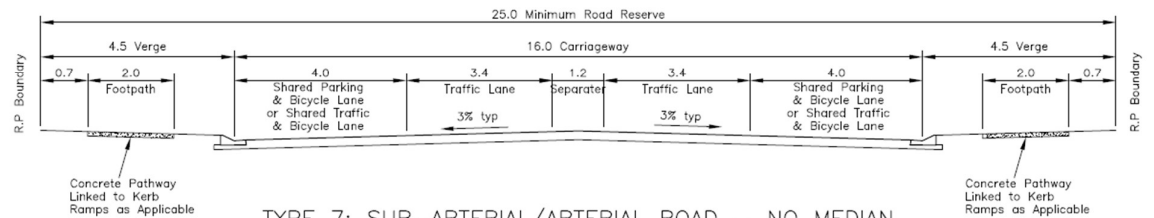
TYPE 5: MINOR COLLECTOR (91 TO 300 DWELLINGS)



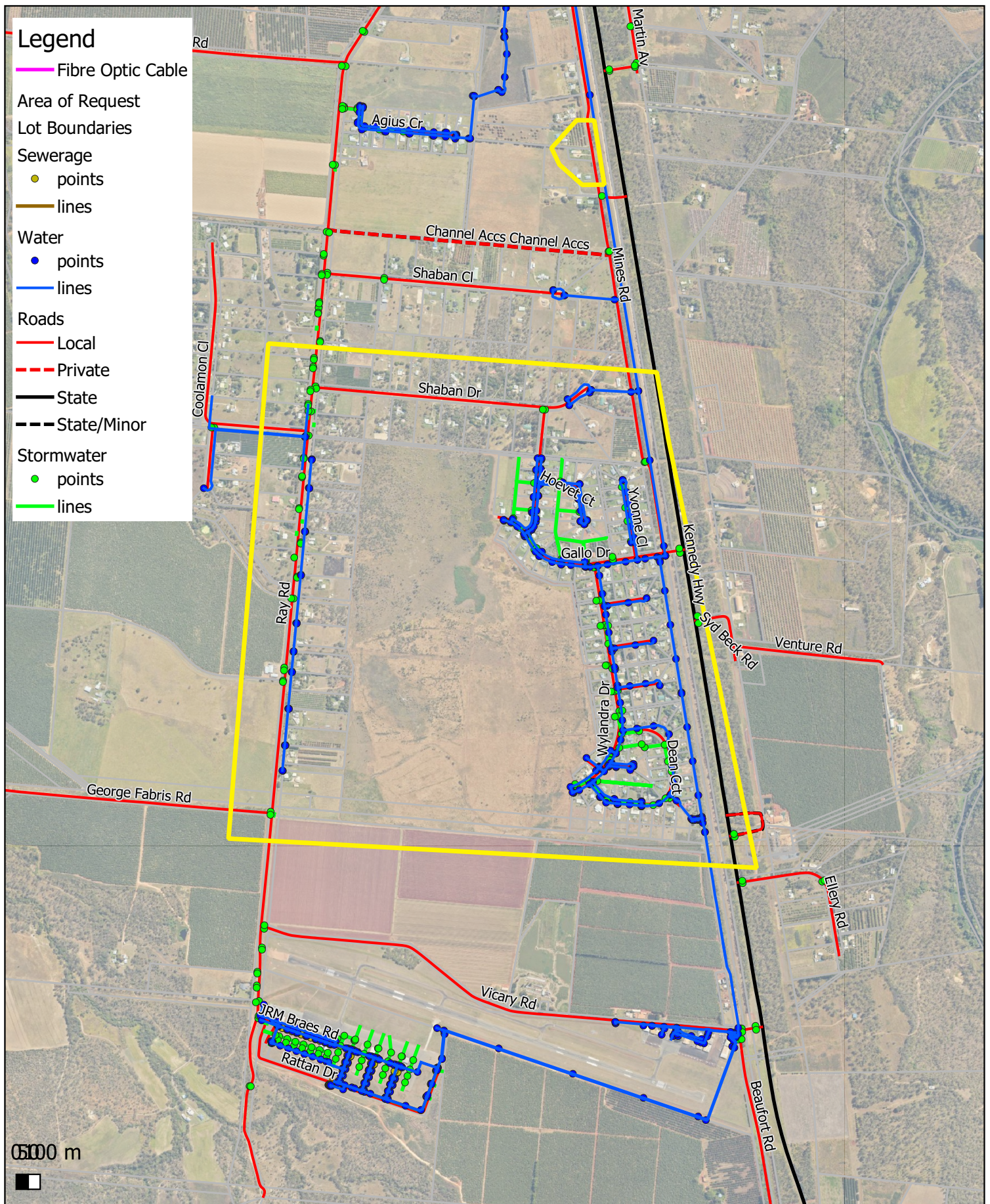
TYPE 6: MAJOR COLLECTOR/BUS ROUTE (301 TO 600 DWELLINGS)



TYPE 8: SUB-ARTERIAL/ARTERIAL ROAD - MEDIAN DIVIDED 2 LANE



TYPE 7: SUB-ARTERIAL/ARTERIAL ROAD - NO MEDIAN



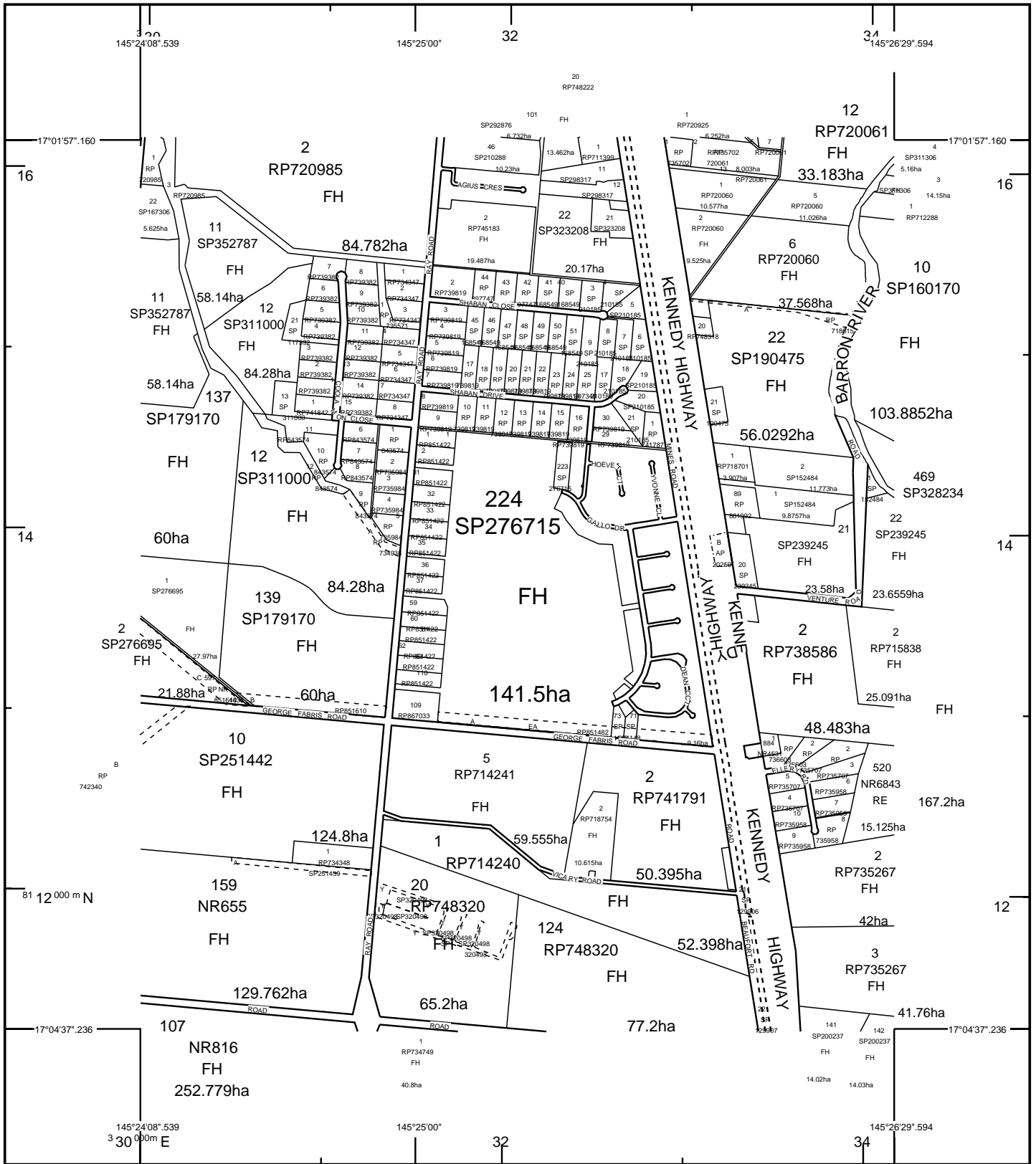
DBYD JOB:52829469 SEQ:270960046 - Lot 222 Gallo Drive, Mareeba, QLD, 4880
 USER REF= Lot 222 Gallo Drive



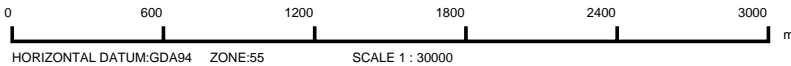
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N





STANDARD MAP NUMBER
7963-11422

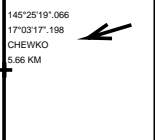


SmartMap

An External Product of
SmartMap Information Services

Based upon an extraction from the
Digital Cadastral Data Base

MAP WINDOW POSITION &
NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB	224/SP276715
Lot/Plan	141.5ha
Area/Volume	FREEHOLD
Tenure	MAREEBA SHIRE
Local Government	MAREEBA
Locality	21245/884
Segment/Parcel	

CLIENT SERVICE STANDARDS

PRINTED 15/04/2026

DCDB 14/04/2026 (Lots with an area less than 1.000ha are not shown)

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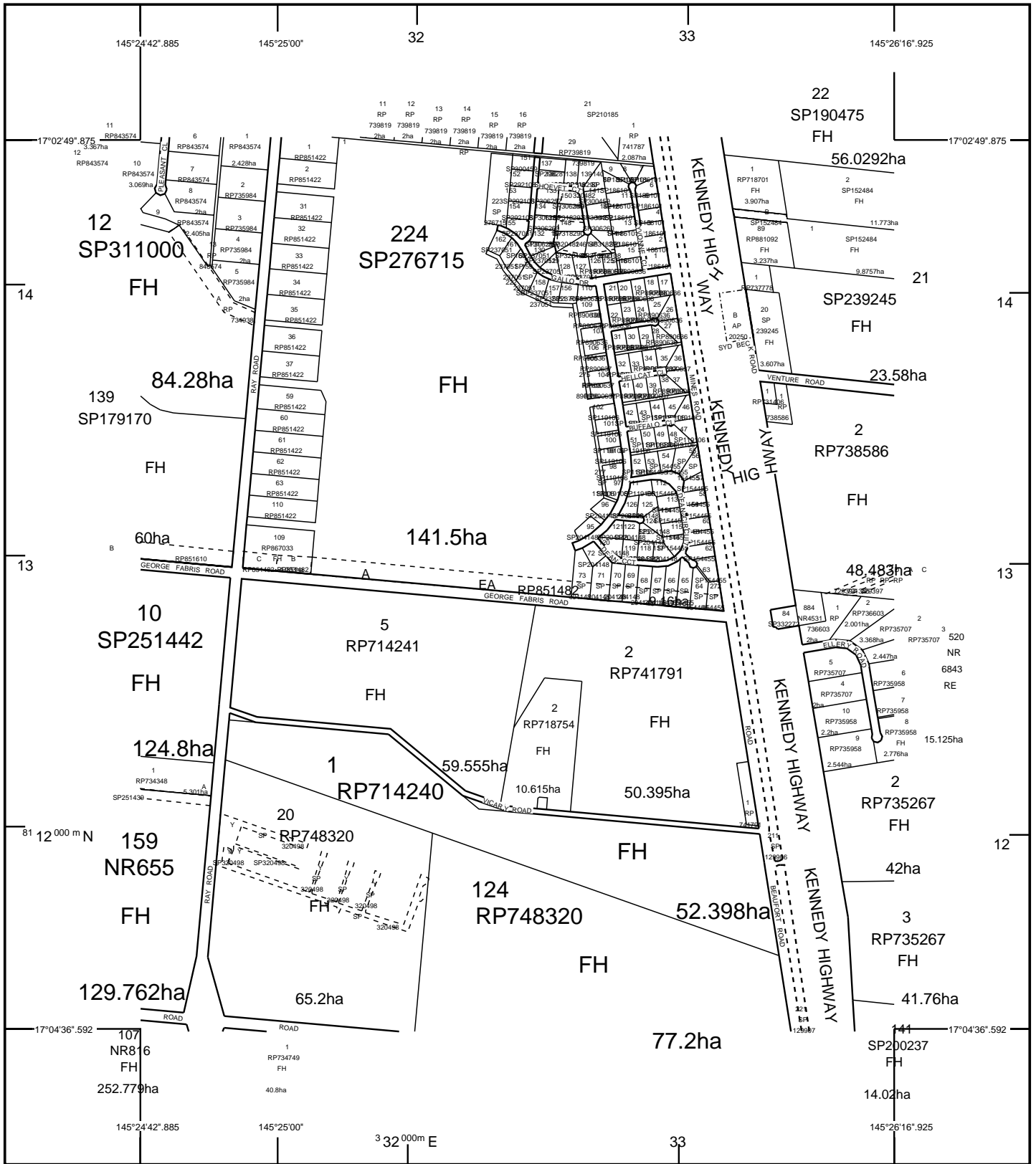
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**Queensland
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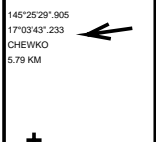




STANDARD MAP NUMBER
7963-11422



MAP WINDOW POSITION & NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB	A/RP851482
Lot/Plan	9.16ha
Area/Volume	EASEMENT
Tenure	MAREEBA SHIRE
Local Government	MAREEBA
Locality	21245/229
Segment/Parcel	

CLIENT SERVICE STANDARDS

PRINTED 20/04/2026

DCDB 16/04/2026 (Lots with an area less than 3000m² are not shown)

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SmartMap

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Based upon an extraction from the
Digital Cadastral Data Base



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DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Wylandra Properties Pty Ltd
Contact name <i>(only applicable for companies)</i>	
Postal address <i>(P.O. Box or street address)</i>	C/ Freshwater Planning Pty Ltd 17 Barronview Drive
Suburb	Freshwater
State	QLD
Postcode	4870
Country	Australia
Contact number	0402729004
Email address <i>(non-mandatory)</i>	FreshwaterPlanning@outlook.com
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	F25/34
1.1) Home-based business	
<input type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2, and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		446	Ray Road	Mareeba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4880	224	SP276715	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer: _____

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land: _____

Name of port authority for the lot: _____

- In a tidal area

Name of local government for the tidal area (if applicable): _____

Name of port authority for tidal area (if applicable): _____

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Reconfiguration of 1 Lot into 309 Lots and a Drainage Area

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

6.4) Is the application for State facilitated development?

- Yes - Has a notice of declaration been given by the Minister?
- No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

- | | |
|------------------------|------------------------------------------------------------------------------------------------------|
| Material change of use | <input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot | <input checked="" type="checkbox"/> Yes – complete division 2 |
| Operational work | <input type="checkbox"/> Yes – complete division 3 |
| Building work | <input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i> |

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>

8.2) Does the proposed use involve the use of existing buildings on the premises?

- Yes
- No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- Yes – provide details below or include details in a schedule to this development application
- No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

1

9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)*

- | | |
|----------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Subdivision <i>(complete 10)</i> | <input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i> |
| <input type="checkbox"/> Boundary realignment <i>(complete 12)</i> | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i> |

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the local government:

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

- Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the Brisbane City Council:

- Ports – Brisbane core port land

Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:

- Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)
- Ports – Strategic port land

Matters requiring referral to the relevant port operator, if applicant is not port operator:

- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)

Matters requiring referral to the Chief Executive of the relevant port authority:

- Ports – Land within limits of another port (*below high-water mark*)

Matters requiring referral to the Gold Coast Waterways Authority:

- Tidal works or work in a coastal management district (*in Gold Coast waters*)

Matters requiring referral to the Queensland Fire and Emergency Service:

- Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

18) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

Yes – provide details below or include details in a schedule to this development application

No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	RAL/24/0009	March, 2025	Mareeba Shire Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

Yes – a copy of the receipted QLeave form is attached to this development application

No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes – show cause or enforcement notice is attached

No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below

No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application

No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

Yes – the development application involves premises in the koala habitat area in the koala priority area

Yes – the development application involves premises in the koala habitat area outside the koala priority area

No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

Note: See guidance materials at www.resources.qld.gov.au for further information.



Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title

No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



Queensland
Government

25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	