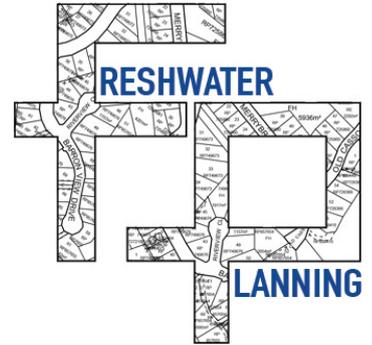


Your Ref:  
Our Ref: F25/40



24 February, 2026

Chief Executive Officer  
Mareeba Shire Council  
PO Box 154  
**MAREEBA QLD 4880**

**Attention: Carl Ewin**  
**Planning Services**

Dear Sir,

**RE: QUARANTINED ASSESSMENT AGAINST RELEVANT CODES FOR ACCEPTED DEVELOPMENT  
SUBJECT TO REQUIREMENTS – DUAL OCCUPANCY.  
LOT 29 ON RP749169, 6 CLINTON CLOSE, MAREEBA.**

This Quarantined Assessment against the non-compliant relevant aspects in relation to the relevant codes demonstrating meeting the requirements for Accepted Development (subject to Requirements) for a Dual Occupancy over land described as Lot 29 on RP749169, situated at 6 Clinton Close, Mareeba is submitted on behalf of the Yeldeh Pty Ltd, the owners of the site. This submission comprises of Hedley Homes Proposal Plans, SmartMap and this Town Planning Quarantined Assessment.

### The Site

The subject land is described as Lot 29 on RP749169, Locality of Mareeba, Parrish of Tinaroo, County of Nares and is situated at 6 Clinton Close, Mareeba. The subject site comprises of a single irregular shaped allotment, has an area of 1,246 m<sup>2</sup>, contains frontage to Clinton Close (24.89 m), and is vacant.

The site is connected to all available Urban services with each proposed Dwelling Unit provided with the same level of servicing. The site is currently vacant and will ensure an appropriate level of Stormwater Management is provided as per depicted on the attached Proposal Plans.

### The Proposed Development

The proposed development is for a Dual Occupancy in the Low Density Residential Zone of the Mareeba Shire Council's Planning Scheme. The site is located at 6 Clinton Close, Mareeba and is more particularly described as Lot 29 on RP749169. The site is irregular in shape, has an area of 1,246 m<sup>2</sup> and contains vacant land. The site is accessed from the existing Road Network, being Clinton Close.

Previous Advice provided by the Mareeba Shire Council, considered the Development to require a Quarantine Assessment Development Application within the Mareeba Shire Council's Planning Scheme.

The proposal is considered to conform to Council's 'low scale development' with the proposal containing non-compliance in relation to Setbacks, Landscaping and Open Space, and Building Design. Freshwater Planning Pty Ltd provides the following in relation to the non-compliance matters.

### Setbacks

The proposal provides for setbacks of 1.5 metres to the outermost (roof) projection of the proposed Dwelling Units to the side (eastern) and rear (southern) boundaries. The Low Density Residential Zone Code requires setbacks of 2.0 metres. Whilst the proposed setbacks are less than 2.0 metres, the setbacks have been provided in accordance with the QDC Requirements for a Dwelling House. The setbacks are also considered appropriate and are similar to those provided on adjoining, adjacent and surrounding properties within Clinton Close and Tilse Street. The proposed setbacks are not considered to adversely affect the siting and use of the adjoining allotments as they already contain existing buildings and structures. The proposed 1.5 metre minimum setbacks will not impede any access to sunlight, casual surveillance, air circulation and access to natural breezes or privacy. It is considered that the proposed setbacks are acceptable and will not significantly affect the existing Residential nature, character and amenity of Clinton Close or Tilse Street.

### Building Design

Acceptable Outcomes AO9.1 of the Accommodation Activities Code requires that External Walls do not exceed 10 metres in continuous length. The proposed Dwelling Unit closest to the Clinton Close frontage contains a southern External Wall of 10.19 metres in length with the eastern External Wall containing a length of 13.79 metres. While both these External Walls contain windows or a sliding door to aid in breaking up the visual bulky look of the Dwelling Unit, they still create continuous walls of greater than 10 metres without meeting three required architectural elements as nominated by the Acceptable Outcome. However, given the configuration of the site, large allotment size (1,246m<sup>2</sup>) and the adjoining, adjacent and surrounding similar size Residential Dwelling Houses, the proposal is not considered to result in the appearance of building bulk. The proposed Dwelling Units are considered to complement the existing Residential neighbourhood and are of compatible scale of the neighbourhood.

### Landscaping and Open Space

The Accommodation Activities Code requires the provision of Private Open Space and Landscaping with the Performance Outcome (PO4) noting that the Development provides a sufficient amount of easily accessible and attractive range of Private Open Space for residents. The Acceptable Outcomes of this Performance Outcome requires Private Open Space for each Ground Level Dwelling to encompass a minimum area of 40 m<sup>2</sup> with a minimum length and width of 3.0 metres. Whilst the proposal provides for Landscaping and Open Space Areas over the site of significant proportions, there are areas of Private Open Space that does not fit the minimum width of 3.0 metres. However, each site can provide 40 m<sup>2</sup> of Private Open Space with a minimum dimension of 3.0 metres. Whilst the proposal does not always meet the minimum dimensions within the proposal, the proposed development overall is considered to provide a sufficient amount of easily accessible and functional Private Open Space for the intended Residences of sufficient dimensions.

The proposal is for the provision of Dual Occupancy over the 1,246 m<sup>2</sup> Residential allotment with the site contains significant Landscaping and Open Space Areas ensuring that a sufficient amount of Landscaping and Open Space is provided for its Residents. The proposal will provide the majority of its Landscaping in the form of manicured lawns with the provision of some gardens understood will be provided. Given the size, configuration and nature of the site, including the activities to the rear of the site, the provision of landscaping strips and treatments along side and rear boundaries are not proposed. The proposal effectively provides for two (2) Residential Dwellings on considered individual allotments/areas containing areas of 574 m<sup>2</sup> and 672 m<sup>2</sup>. These large areas result in the provision of a Dual Occupancy Use that is more similar to standalone Residential Dwellings and have been

provided with similar Landscaping as per the adjoining, adjacent and surrounding Residents. It is noted that within Table 9.4.2.3B Developments involving a Dual Occupancy does not require Landscape Strip minimum widths and does require the provision of a 1.8 metre Screening Fence. Appropriate Fencing is noted on the attached Proposal Plans. The proposal is considered to provide significant Landscaping in the form of manicured lawns for the majority. This Landscaping is considered appropriate and acceptable to achieve the Outcomes, Purposes and Intent of the Landscaping Code. The proposal is considered to provide an acceptable level of Landscaping without affecting the existing, adjoining, adjacent and surrounding Residential neighbourhood.

It is considered that the proposed Quarantine Application is appropriate and acceptable. The proposal is for a 'low scale development' for Dual Occupancy within the Low Density Residential Zone of the Mareeba Shire Council's Planning Scheme. The proposal is considered to achieve the necessary requirements pertaining to the non-compliance in relation to Setbacks, Building Design and Landscaping and Open Space. Freshwater Planning Pty Ltd considers the abovementioned to appropriately address to the non-compliance matters.

The proposal is considered appropriate and acceptable.

If you have any queries, please do not hesitate to contact Freshwater Planning Pty Ltd.

Yours faithfully,

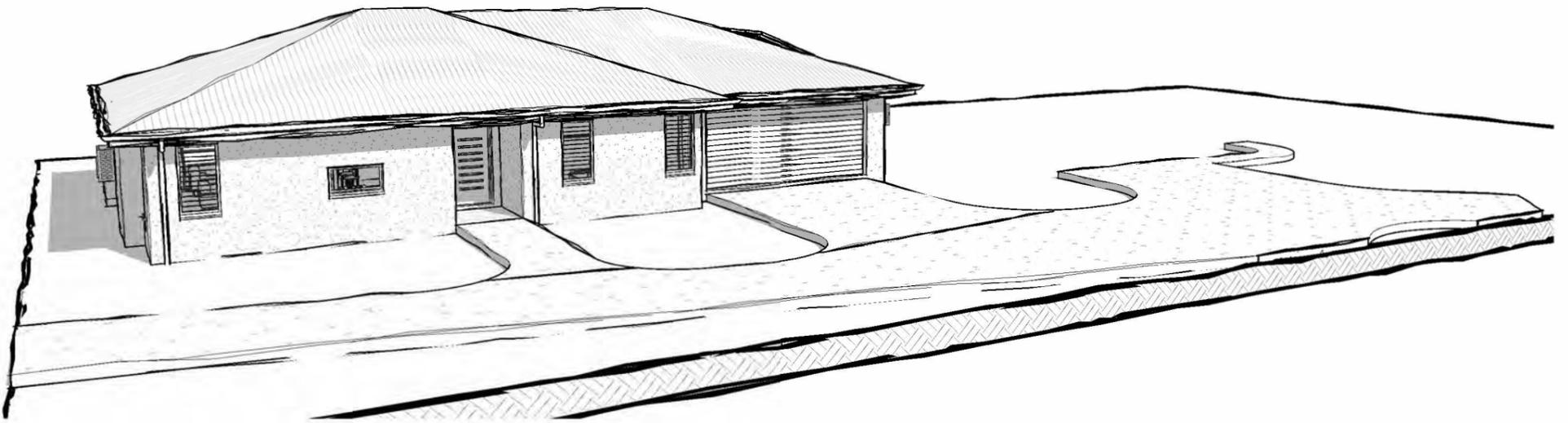
  
**MATTHEW ANDREJIC**  
**FRESHWATER PLANNING PTY LTD**



# DRAWING PORTFOLIO

LOT 29A CLINTON CLOSE

MAREEBA QLD 4880



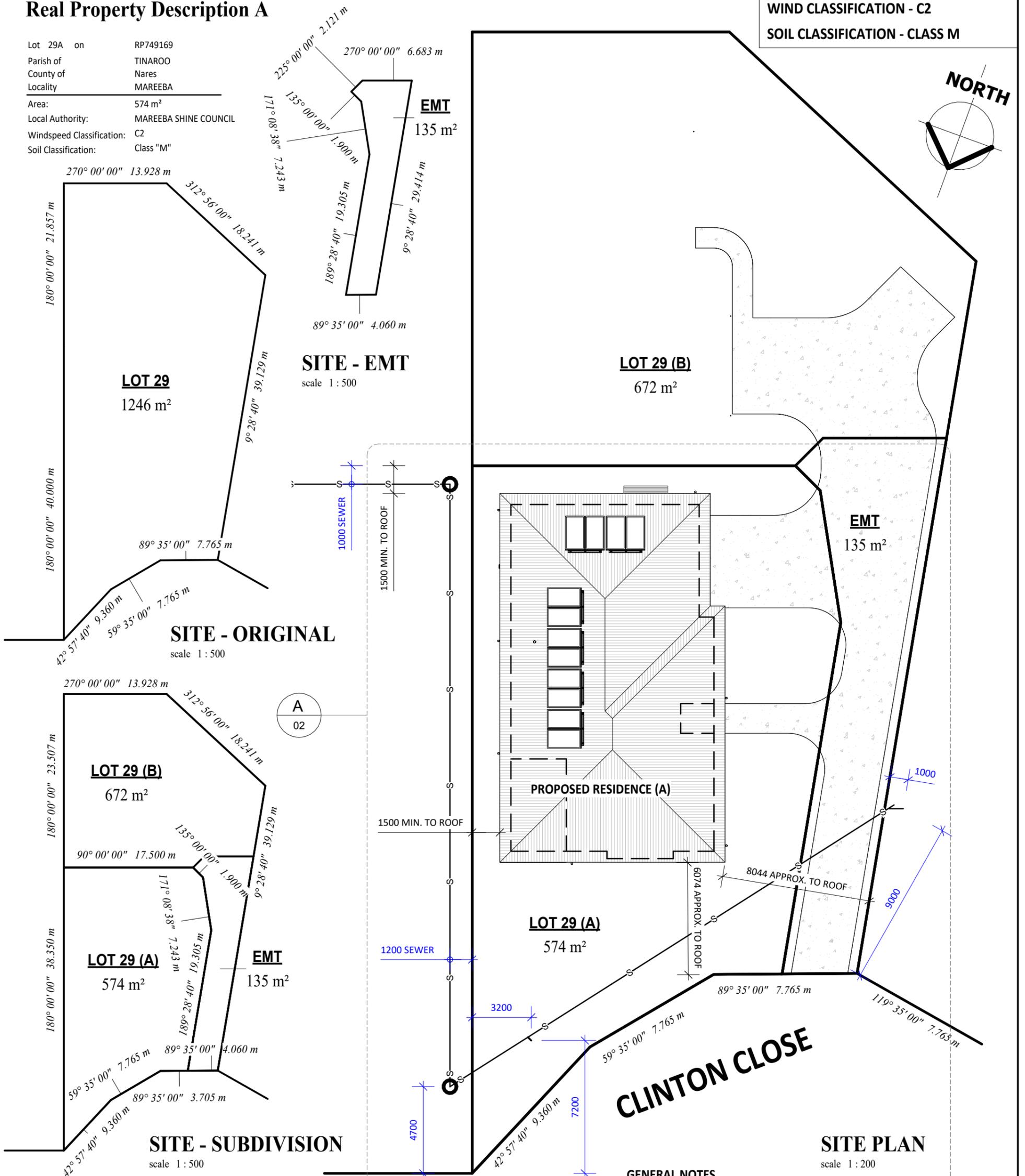
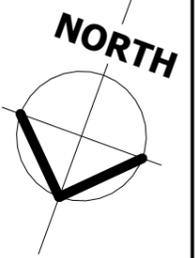
Project Number: HDZ2529A  
 Proposed 2 Lot Subdivision  
 Lot Number: 29A  
 SP Number: RP749169  
 Parish: Tinaroo  
 County: Nares  
 Area: 574 m<sup>2</sup>  
 Windspeed Classification: C2  
 Soil Classification: M Class

DRAWING SCHEDULE -A			
Sheet Number	Sheet Name	Current Revision	Current Revision Date
00	COVER PAGE	A	17.02.2026
01	SITE PLAN (A & B)	A	17.02.2026
02	SITE PLAN - A	A	17.02.2026
03	FLOOR PLAN - HOUSE A	A	17.02.2026
04	ELEVATIONS - HOUSE A	A	17.02.2026
05	TYPICAL SECTION - HOUSE A	A	17.02.2026
06	FOOTING PLAN - HOUSE A	A	17.02.2026
07	STARTER BAR PLAN - HOUSE A	A	17.02.2026
08	TRUSS CONNECTIONS - A	A	17.02.2026
09	ELECTRICAL PLAN - HOUSE A	A	17.02.2026
10	PENETRATION PLAN - HOUSE A	A	17.02.2026

# Real Property Description A

Lot 29A on RP749169  
 Parish of TINAROO  
 County of Nares  
 Locality of MAREEBA  
 Area: 574 m<sup>2</sup>  
 Local Authority: MAREEBA SHINE COUNCIL  
 Windspeed Classification: C2  
 Soil Classification: Class "M"

WIND CLASSIFICATION - C2  
 SOIL CLASSIFICATION - CLASS M



**NOTE - SITE**

GRADE SITE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000MM TO PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES

IT IS THE BUILDERS RESPONSIBILITY TO CONFIRM THE DEPTH OF THE SEWER, WATER AND STORMWATER INFRASTRUCTURE AND ENSURE FOUNDATION CONSTRUCTION ACHIEVES THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE M1.4 - BUILD OVER OR NEAR RELEVANT INFRASTRUCTURE.

**EARTHWORKS**

PLEASE BE AWARE LEVELS ARE TAKEN AT THE CORNERS OF THE BUILDING. ALL CUT AND FILL LEVELS ARE APPROXIMATE AND MAY BE ALTERED AS OUR CONTRACTOR CARRIES OUT THE EARTHWORKS.

**PLUMBING**

PLUMBING SHOWN IS DIAGRAMATIC ONLY. LICENSED PLUMBER TO CONFIRM FINAL ALIGNMENT OF HOUSE SEWER AND STORMWATER AND DOWNPIPE QUANTITIES AND POSITIONS. CONFIRM ALL FALLS PRIOR TO CONSTRUCTION.

**GENERAL NOTES**

**STORMWATER**

THE NUMBER OF DOWNPIPES AND THE POSITION OF STORMWATER IS DIAGRAMATIC ONLY AND MAY BE VARIED BY OUR PLUMBING CONTRACTOR ON SITE. ALL IN GROUND STORMWATER PIPE TO BE 100 DIA.

**NOTE:** CONNECT 100 DIA LINE TO COUNCIL SEWER TO COUNCIL REQUIREMENTS.

**PLEASE NOTE:**

NO ALLOWANCE BY THE BUILDER HAS BEEN MADE TO LANDSCAPE, CONSTRUCT WALLS, RETAINING WALLS OR LANDSCAPE WALLS UNLESS SPECIFICALLY MENTIONED IN THE CONTRACT.

AMENDMENTS		
REV	DESCRIPTION	DATE
A	Revision 1	17.02.2026

**PROPOSED RESIDENCE  
 LOT 29A CLINTON CLOSE  
 MAREEBA QLD 4880**

For: Hedley Homes

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Hedz Constructions Pty Ltd  
 t/a Hedley Homes  
 Unit 1, 45-49 Cannon Street,  
 Manunda QLD 4870  
 T: 07 4231 9999  
 PO Box 1055 Bungalow Qld 4870

QBCC Licence No. 1138780



Drawing Title:

**SITE PLAN (A & B)**

Scale: 1:200 & 1:500

Sheet No. 01 of 10

Issue: A

Job No:

HDZ2529A

WIND CLASSIFICATION - C2  
SOIL CLASSIFICATION - CLASS M

1.8m high colorbond fencing along side & rear boundary from neighbouring properties



1500 BUILDING ENVELOPE  
1500 MIN. TO ROOF

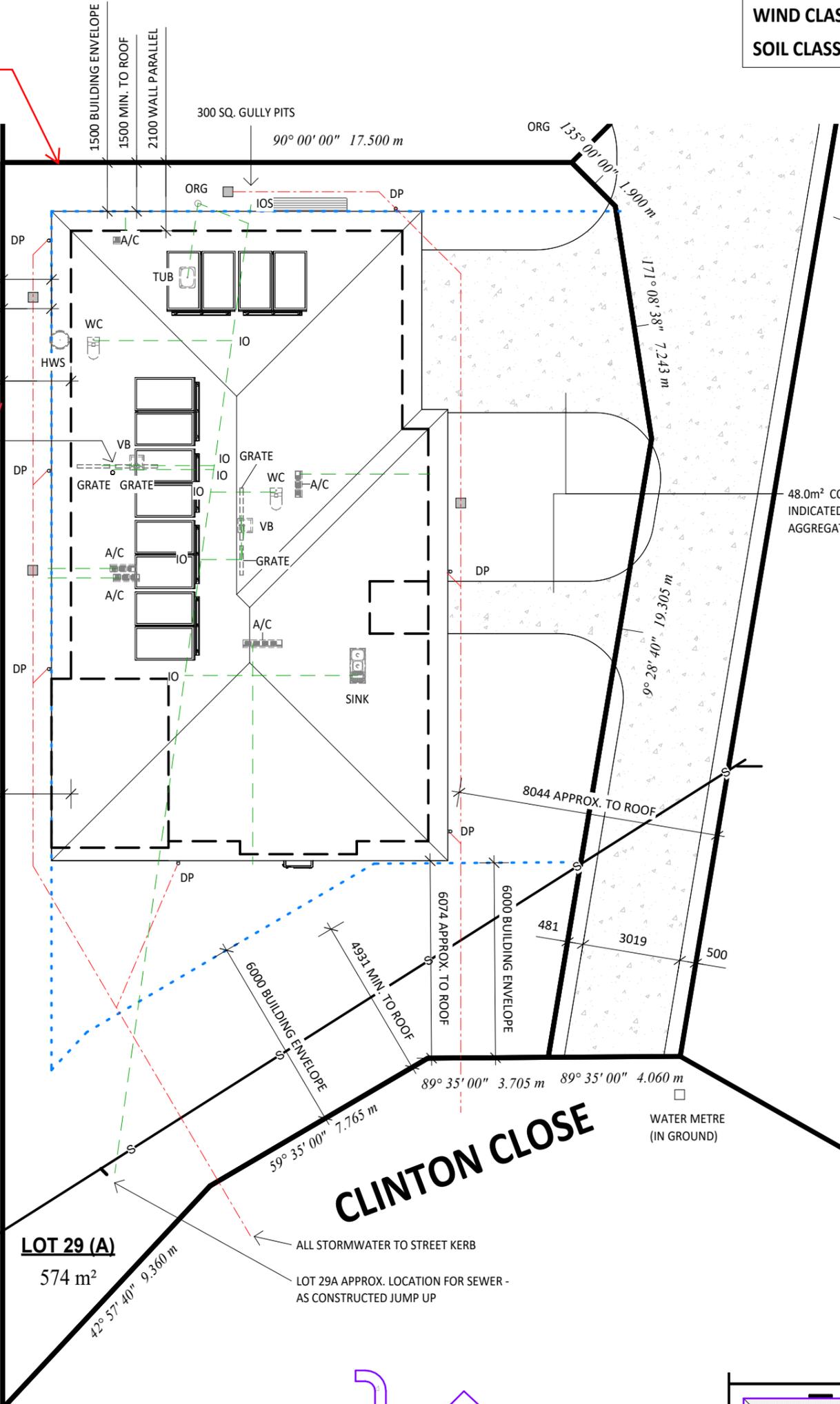
2100 WALL PARALLEL

VENT IN WALL TO ROOF

2100 WALL PARALLEL

17460 SETOUT TO WALL

180° 00' 00" 38.350 m



48.0m<sup>2</sup> CONCRETE DRIVEWAY AS INDICATED. (25mpa 20mm EXPOSED AGGREGATE CONCRETE)

8044 APPROX. TO ROOF

6074 APPROX. TO ROOF

6000 BUILDING ENVELOPE

CLINTON CLOSE

LOT 29 (A)  
574 m<sup>2</sup>

ALL STORMWATER TO STREET KERB  
LOT 29A APPROX. LOCATION FOR SEWER - AS CONSTRUCTED JUMP UP

ERGON PILLAR BOX  
NBN

DRIVEWAY B  
190.4 m<sup>2</sup>

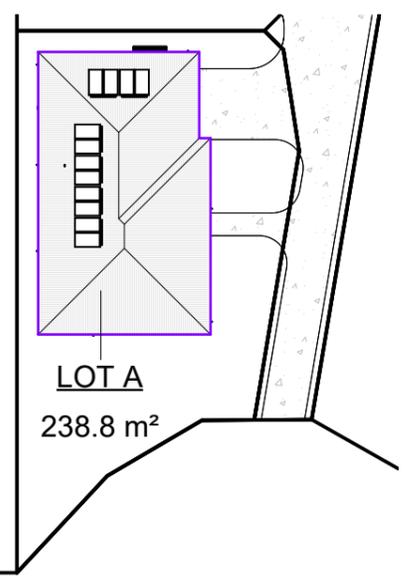
DRIVEWAY A  
37.6 m<sup>2</sup>

DRIVEWAY A  
10.4 m<sup>2</sup>

DRIVEWAY A  
scale 1 : 500

SITE COVERAGE

MAX. SITE COVER : 50 %  
LOT AREA : 574.0 m<sup>2</sup>  
FOOTPRINT : 238.8 m<sup>2</sup>  
SITE COVER : 41.6 %



LOT A  
238.8 m<sup>2</sup>

A SITE PLAN - A  
01 scale 1 : 150

I HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

MAL Engineers  
Michael Lancini RPEQ. 18786  
UNIT 4/194 MCLEOD ST,  
CAIRNS, QLD, 4870  
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Date: / /  
Ph: 07 40  
Mob: 0400 748 070  
Fax: 07 40

PROPOSED RESIDENCE  
LOT 29A CLINTON CLOSE  
MAREEBA QLD 4880

For: Hedley Homes

Hedz Constructions Pty Ltd  
t/a Hedley Homes  
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QBC Licence No. 1138780



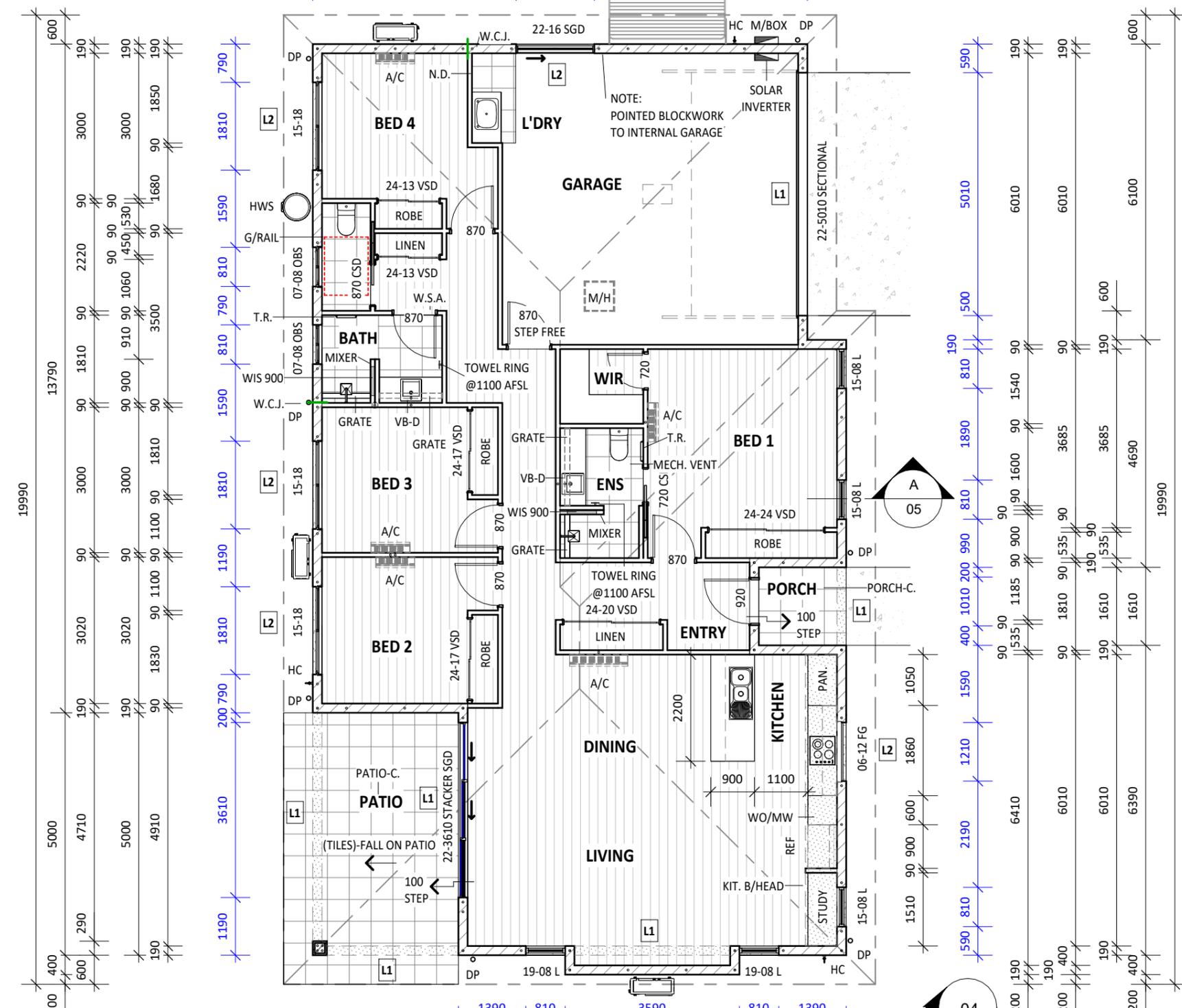
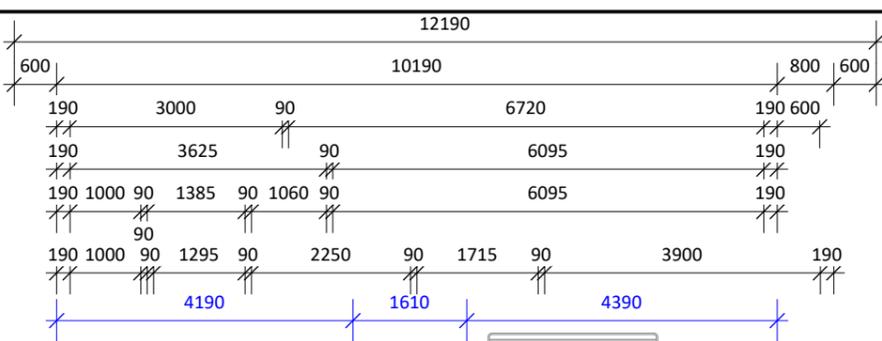
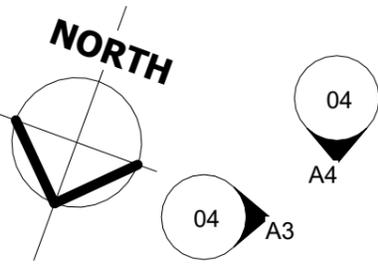
Drawing Title:  
SITE PLAN - A

Scale: 1:150  
Sheet No. 02 of 10  
Issue: A

Job No:  
HDZ2529A

**WIND CLASSIFICATION - C2**  
**SOIL CLASSIFICATION - CLASS M**

AREA SCHEDULE - LOT A	
LIVING	144.9 m <sup>2</sup>
GARAGE	40.2 m <sup>2</sup>
PATIO	20.2 m <sup>2</sup>
PORCH	2.9 m <sup>2</sup>
<b>Grand total</b>	<b>208.2 m<sup>2</sup></b>



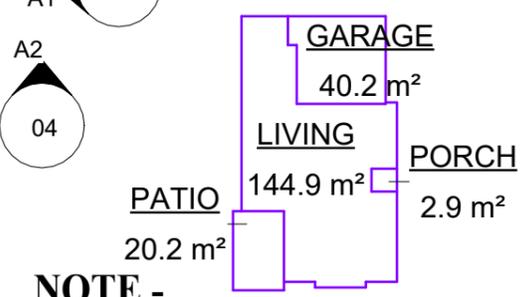
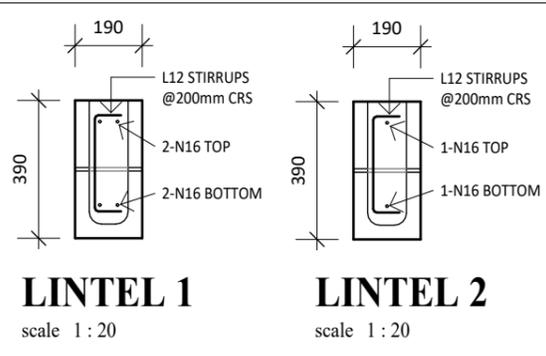
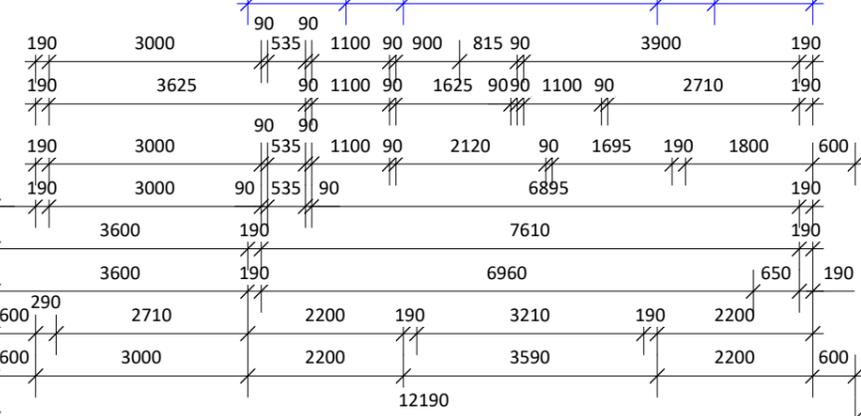
**EXTERNAL WALLS:**  
 EXTERNAL WALLS TO BE 200MM CM BLOCK WORK WITH CEMENT RENDER FINISH EXTERNALLY AND PLASTERBOARD LINED INTERNALLY.

**INTERNAL WALLS:**  
 INTERNAL WALLS TO BE 90MM METAL STUD PARTITIONS WITH PLASTERBOARD TO EACH SIDE (90MM TO CAVITY SLIDER DOORS & OR 90MM FRAMED AND PLASTERBOARD LINED INTERNALLY AND WET AREA PLASTERBOARD TO GARAGE SIDE AS PER PLAN). DIVIDING GARAGE WALL TO BE 200MM CMB AND PLASTERBOARD LINED INTERNALLY.

**WALL E.J.:**  
 STACKBOND BLOCKS EITHER SIDE OF JOINT AND FILL 10MM GAP WITH "PRESTITE" BACKING STRIP OR SIMILAR AND APPROVED WEATHERPROOF SEALANT BOTH SIDES. BOND BEAM AND LINTEL REINFORCEMENT TO BE CONTINUOUS THRU JOINT.

**GENERAL NOTES:**  
 \* WATER STOP ANGLES TO ALL WET AREA DOORWAYS INCLUDING BATHROOMS, WATER CLOSETS AND LAUNDRIES AS PER BCA 2006 PART 3.8.1.8(C)(II).  
 \* PROVIDE M12 X 75MM DYNABOLTS WITH 50MM SQUARE WASHERS, AT 1000MM CENTRES MAX. AND DOUBLE SIDED STRAP BRACING USING 30MMX1MM STRAP WITH TENSIONERS, TOBONDO STEEL FRAME WALLS SCREWED AT TOP AND CRIMPED AT THE BOTTOM. USING RONDO TOP TRACK SLOT D/HD 92MM 0.70BMT DRACK 92X28 0.50BMT DTUD WALL 92MM 0.55BMT  
 \* PROVIDE "ANTI-RACKING" CLEATS TO TOP OF BRACING WALLS IN ACCORDANCE WITH CODE.

**BRACING NOTES:**  
 \* G DENOTES GYROCK BRACING WALL.  
 \* BRACING WALLS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS DETAILS.  
 \* PROVIDE M12 X 75MM DYNABOLTS WITH 50MM SQUARE WASHERS, AT 1000MM CENTRES MAX. AND DOUBLE SIDED STRAP BRACING USING 30MMX1MM STRAP WITH TENSIONERS, TOBONDO STEEL FRAME WALLS SCREWED AT TOP AND CRIMPED AT THE BOTTOM. USING RONDO TOP TRACK SLOT D/HD 92MM 0.70BMT DRACK 92X28 0.50BMT DTUD WALL 92MM 0.55BMT  
 \* PROVIDE "ANTI-RACKING" CLEATS TO TOP OF BRACING WALLS IN ACCORDANCE WITH CODE.



**NOTE -**  
 • FLOOR COVERINGS IN WET AREAS TO COMPLY WITH AS3740. INCLUDES BATHROOMS, TOILETS, AND LAUNDRY.  
 • ACCESS TO DWELLING TO COMPLY WITH LDHS.

KEYNOTE LEGEND	
G/RAIL	PROVISION FOR GRAB RAIL WITH 12mm STRUCTURAL PLY SHEET.
KIT. B/HEAD	FRAMED AND PLASTERED BULKHEAD 650mm DEEP @2450 AFSL.
MECH. VENT	VENTILATION TO COMPLY WITH AS1668.2 FOR MECHANICAL VENTILATION.
MIXER	SHOWER MIXER FIXED TO 1500h, 70x35 MGP TIMBER STUD WALL.
N.D.	NOGGINNS FOR DRYER CENTRED @2100 AFSL.
PATIO-C.	PATIO CEILING - CSR 4.5mm COMPRESSED CEMENT SHEET FIXED TO 42x25 H2 PINE BATTENS.
PORCH-C.	PORCH CEILING & BATTENS TO MATCH EAVES SOFFIT ADJACENT.
T.R.	TOWEL RAIL.
VB-D	FLOATING VANITIES DRAINS IN WALLS.
W.C.J.	WALL CONTROL JOINT.
W.S.A.	WATER STOP ANGLES TO ALL WET AREA DOORWAYS INCLUDING BATHROOMS, WATER CLOSETS AND LAUNDRIES AS PER BCA 2006 PART 3.8.1.8(C)(II).
WIS 900	2x 90mm TIMBER STUD WALL 900L x 1800h. NICHE CENTRED 500mm WIDE SILL @1100, HEAD @1600.

I HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

MAL Engineers  
 Michael Lancini RPEQ. 18786  
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 michael.lancini@malengineers.com.au

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 Ph: 07 40  
 Mob: 0400 748 070  
 Fax: 07 40

**PROPOSED RESIDENCE**  
**LOT 29A CLINTON CLOSE**  
**MAREEBA QLD 4880**

For: Hedley Homes

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 t/a Hedley Homes  
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 T: 07 4231 9999  
 PO Box 1055 Bungalow Qld 4870

**Hedley homes**

QBCC Licence No. 1138780

Drawing Title:  
**FLOOR PLAN - HOUSE A**

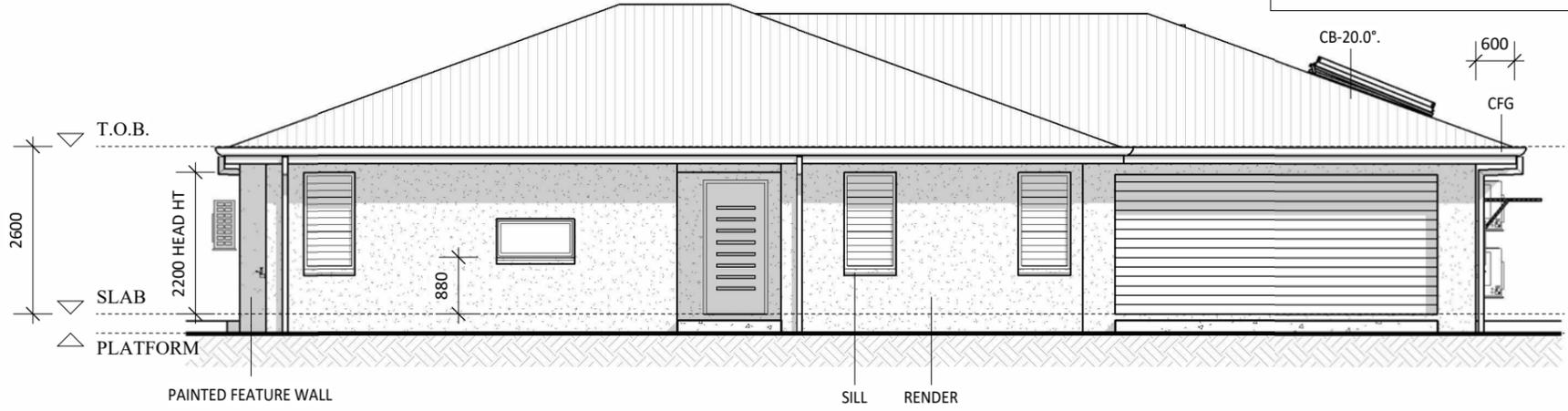
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Sheet No. 03 of 10

Job No:  
**HDZ2529A**

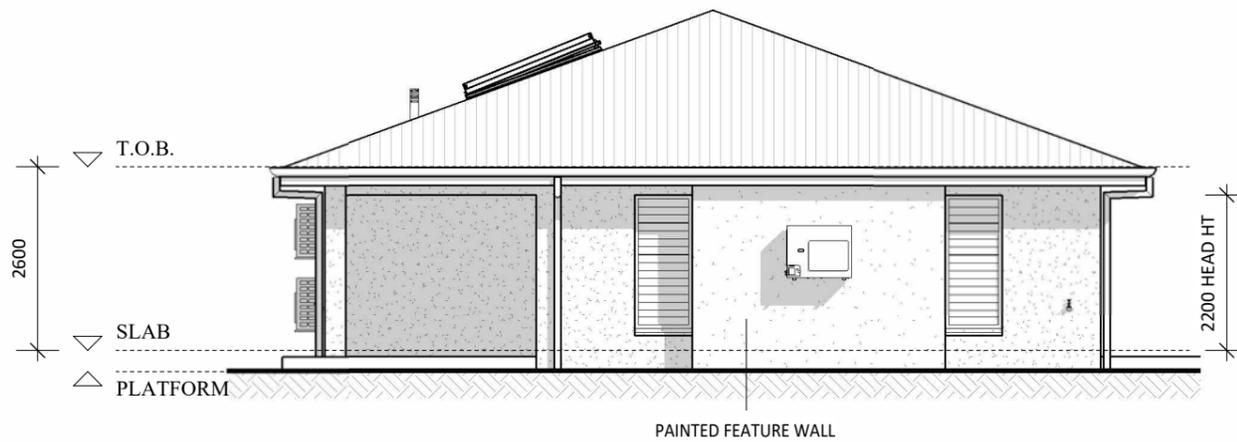
Issue: **A**

WIND CLASSIFICATION - C2  
SOIL CLASSIFICATION - CLASS M

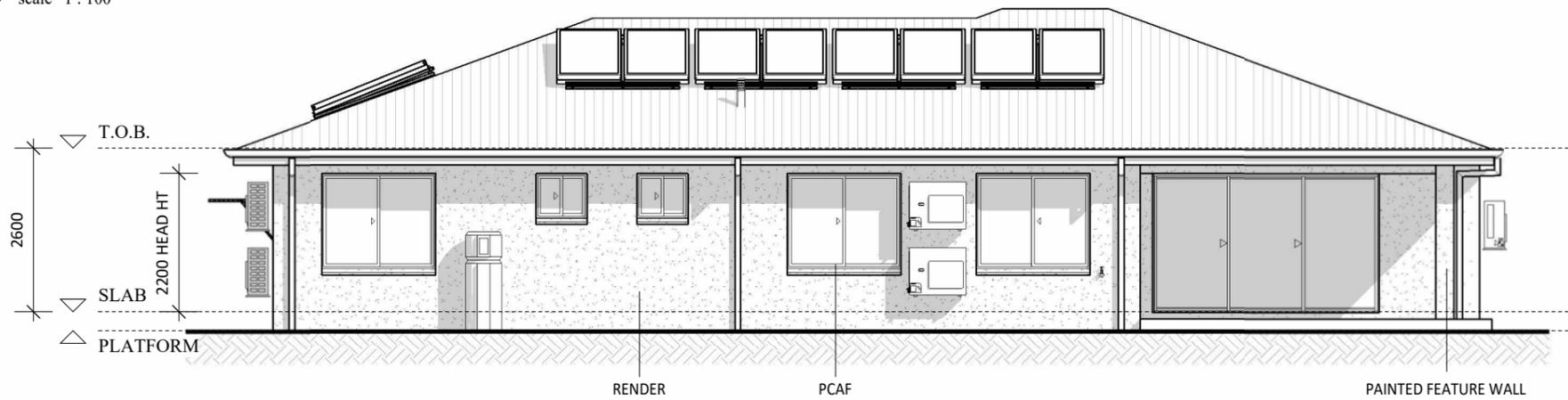


**A1**  
03 **ELEVATION A1**  
scale 1 : 100

KEYNOTE LEGEND	
CB-20.0°	COLORBOND 'CUSTOM ORB' METAL ROOF SHEETING AT 20.0° PITCH
CFG	COLORBOND FASCIA AND GUTTER.
PCAF	POWDER COATED ALUMINIUM FRAMED WINDOWS AND SLIDING GLASS DOORS.
RENDER	6-8mm SINGLE APPLICATION SPONGE FINISH RENDER AS SHOWN.
SILL	SILL BLOCKS ARE 15.38



**A2**  
03 **ELEVATION A2**  
scale 1 : 100



**A3**  
03 **ELEVATION A3**  
scale 1 : 100

Door Schedule - HOUSE A			
Type	Height	Width	Count
<b>Exterior</b>			
22-16 SGD	2200	1610	1
22-3610 STACKER SGD	2200	3610	1
22-5010 SECTIONAL	2200	5010	1
920	2040	920	1
<b>Interior</b>			
24-13 VSD	2400	1300	2
24-17 VSD	2400	1700	2
24-20 VSD	2400	2010	1
24-24 VSD	2200	2410	1
720 CSD	2040	720	1
870	2040	870	6
870 CSD	2040	870	1
Grand total			18



**A4**  
03 **ELEVATION A4**  
scale 1 : 100

Window Schedule - HOUSE A			
Type	Height	Width	Count
07-08 OBS	700	810	2
15-18	1500	1810	3
19-08 L	1900	810	2
Grand total			7

I HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

MAL Engineers  
Michael Lancini RPEQ. 18786  
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Date: / /  
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Fax: 07 40

**PROPOSED RESIDENCE  
LOT 29A CLINTON CLOSE  
MAREEBA QLD 4880**

For: Hedley Homes

Hedz Constructions Pty Ltd  
t/a Hedley Homes  
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QBC Licence No. 1138780



Drawing Title:  
**ELEVATIONS - HOUSE A**

Scale: 1:100

Sheet No. 04 of 10

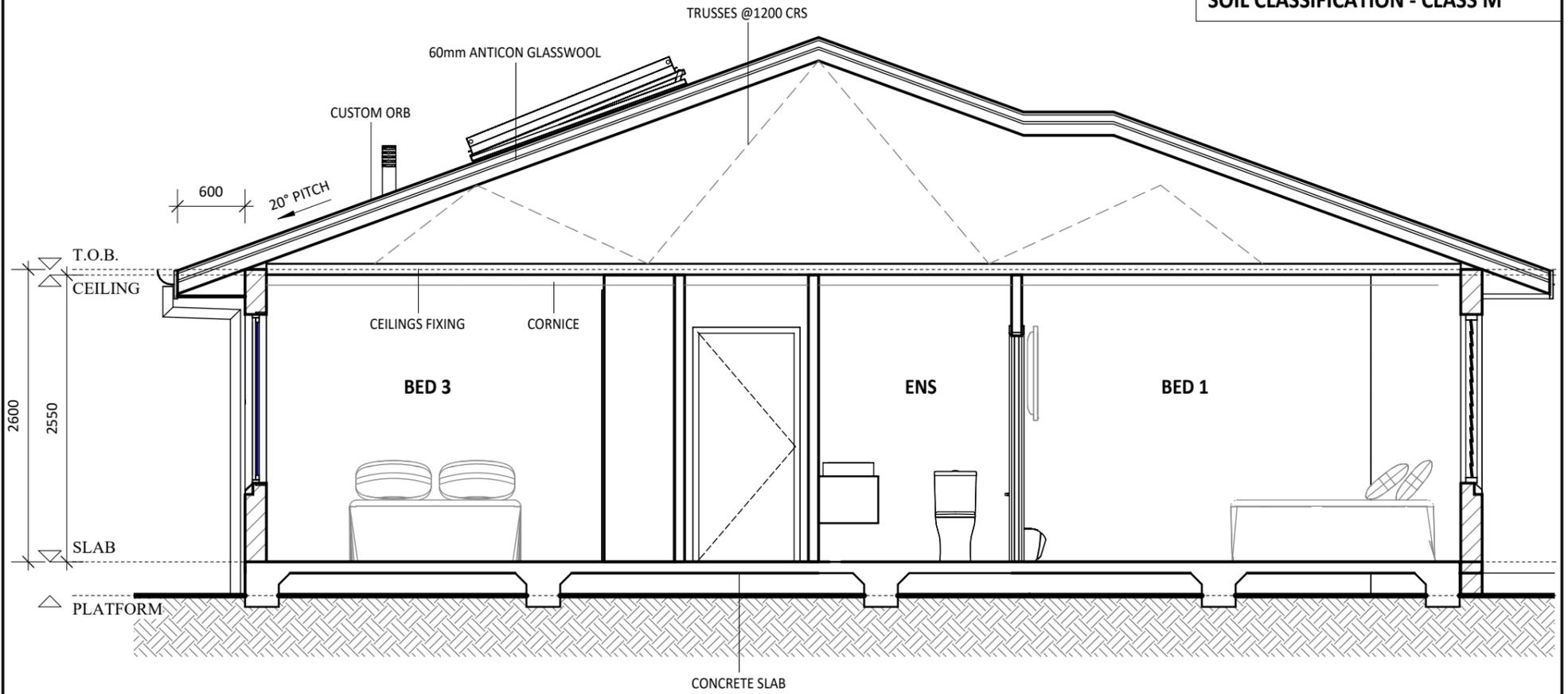
Issue: **A**

Job No:

**HDZ2529A**

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WIND CLASSIFICATION - C2  
SOIL CLASSIFICATION - CLASS M

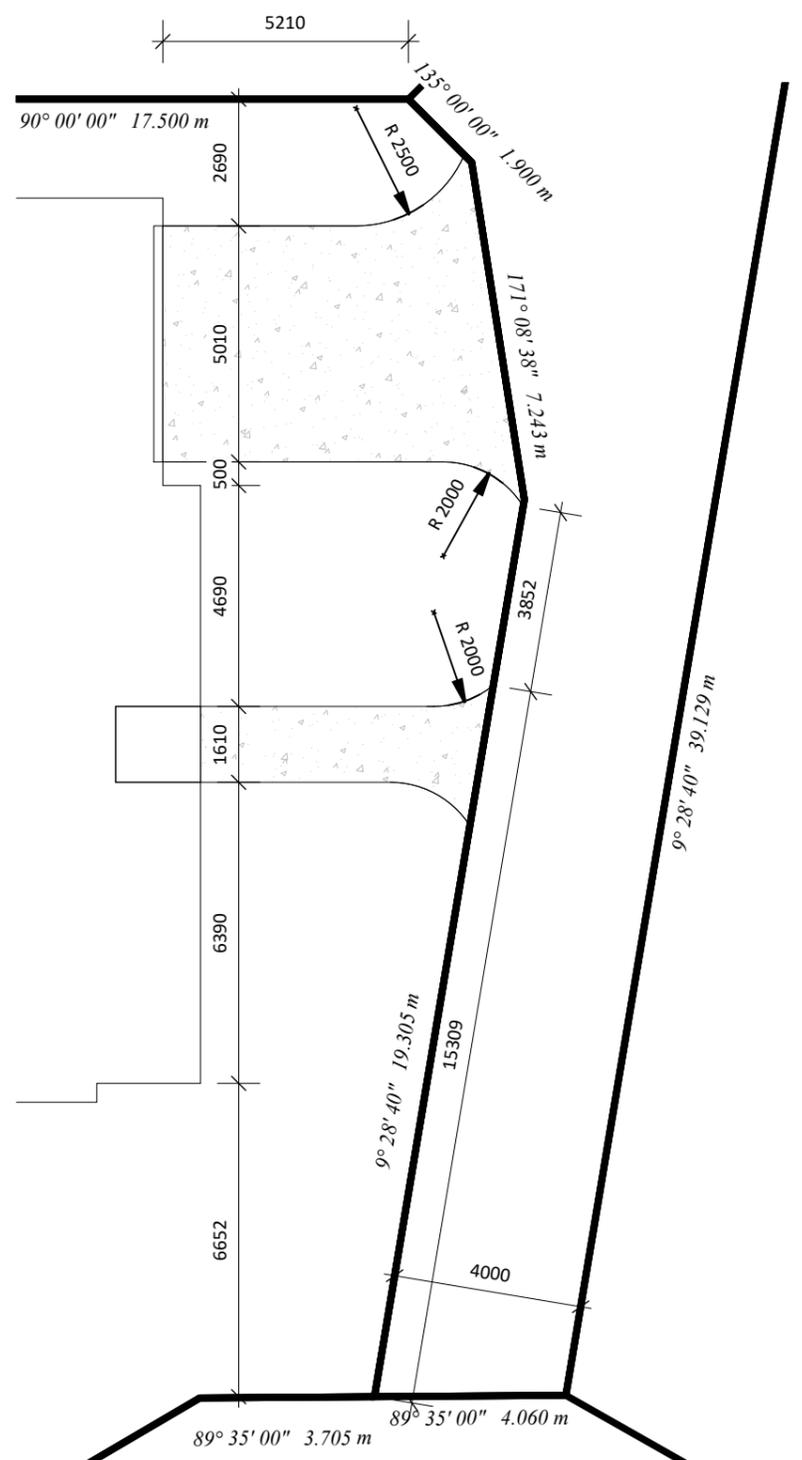


**A SECTION A**  
03 scale 1:50

KEYNOTE LEGEND	
60mm ANTICON GLASSWOOL	60mm ANTICON GLASSWOOL INSULATION BLANKET TO ENTIRE ROOF AS PER ENERGY EFFICIENCY REPORT.
CEILINGS FIXING	10mm THICK PLASTERBOARD CEILINGS FIXED TO 50x38mm OR METAL CEILING BATTENS @ 450mm CRS MAX.
CONCRETE SLAB	100mm THICK CONCRETE SLAB. N25 GRADE CONCRETE WITH SL82 MESH 30mm TOP COVER (40mm COVER TO EXTERNAL AREAS). LAY SLAB ON 0.2mm WATERPROOF POLYTHENE MEMBRANE AND CONSOLIDATED SAND BASE.
CORNICE	90mm GYPROCK CORNICE.
CUSTOM ORB	COLORBOND 'CUSTOM ORB' METAL ROOF SHEETING FIXED TO MANUFACTURED SPECIFICATION.
TRUSSES @1200 CRS	PREFABRICATED TIMBER TRUSSES @1200 CRS MAX TO MANUFACTURER'S SPECIFICATION FOR C2 WIND CLASSIFICATION.

**BLOCK WALL NOTES**

1. PROVIDE DOUBLE COURSE BOND BEAM AT UNDERSIDE OF ROOF. REINFORCED WITH 1/N16 BAR EACH COURSE, MIN. LAP 500mm.
2. PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINFORCED WITH 1/N16 BAR. EXTEND BOND BEAM 200mm PAST EACH SIDE OF OPENING.
3. U.N.O. ON PLAN ALL LINTELS TO BE REINFORCED WITH 2/N12 OR 1/N16 BAR WITH L12 TIE BARS AT 1000mm CRS. MAX.
4. U.N.O. ON PLAN / DETAILS ALL 200 SERIES CMB WALL TO BE REINFORCED WITH N12 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND 1200 MAX CRS BETWEEN.
5. PROVIDE ADDITIONAL N12 VERTICAL BAR TO CORES ADJACENT TO OPENINGS GREATER THAN 1800 WIDE.
6. UNLESS NOTED OTHERWISE CONCRETE FILL ALL CORES CONTAINING REINFORCEMENT, HOLDING DOWN BOLTS AND MASONRY ANCHORS.
7. W.C.J. DENOTES WALL CONTROL JOINT U.N.O. TO BE REINFORCED WITH 1/N12 VERTICAL EACH SIDE OF JOINT. EXTEND BOND BEAM REINFORCEMENT THROUGH JOINT. FILL JOINT WITH COMPRESSIBLE BACKING ROD AND APPROVED SEALANT BOTH SIDES TO BUILDERS SPECIFICATION.
8. CONCRETE SLAB STRENGTH - 25 Mpa min.
9. ALL PRIMARY BUILDING ELEMENTS RESISTANT TO TERMITE ATTACK.
10. TIEDOWNS AND BRACING TO COMPLY WITH AS1684.3.



**A - DRIVEWAY**  
scale 1:150

I HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

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**PROPOSED RESIDENCE  
LOT 29A CLINTON CLOSE  
MAREEBA QLD 4880**

For: Hedley Homes

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Hedz Constructions Pty Ltd  
t/a Hedley Homes  
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QBCC Licence No. 1138780



Drawing Title:  
**TYPICAL SECTION - HOUSE A**

Scale: 1:50

Sheet No. 05 of 10

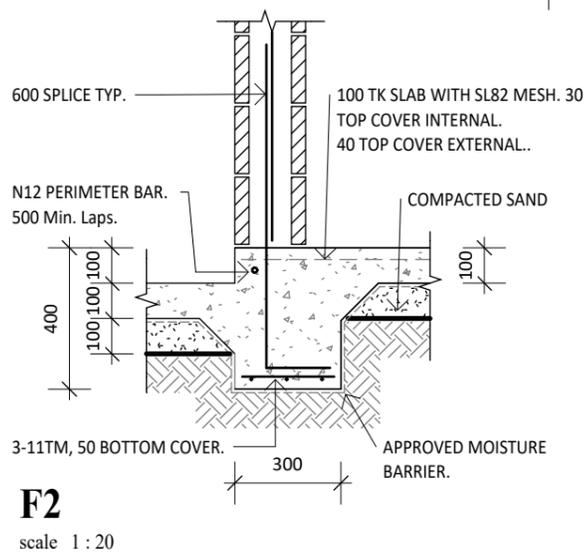
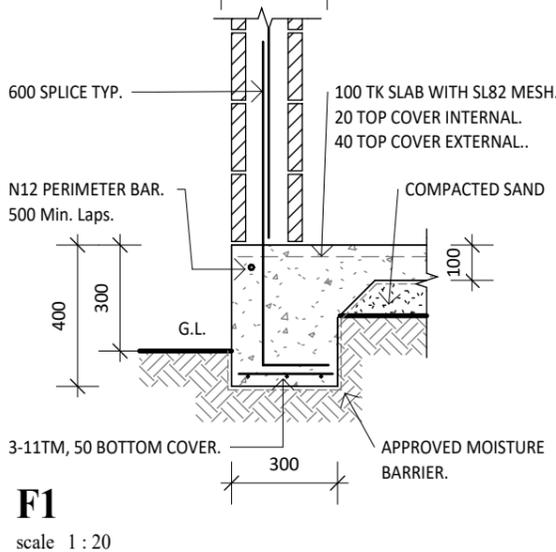
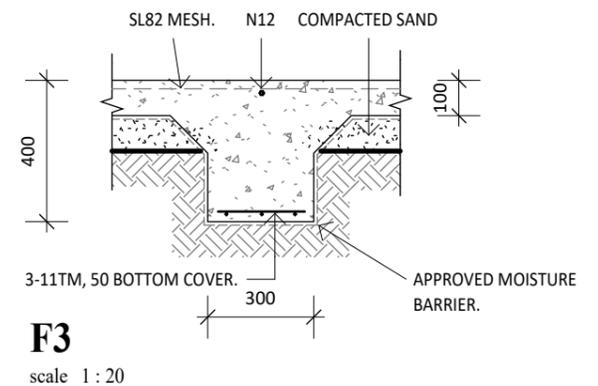
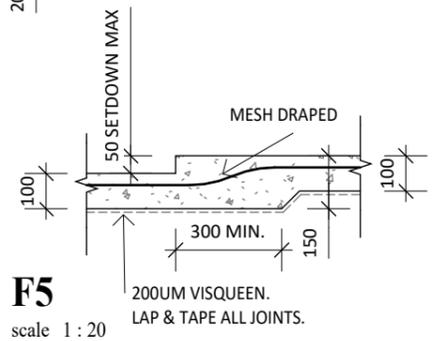
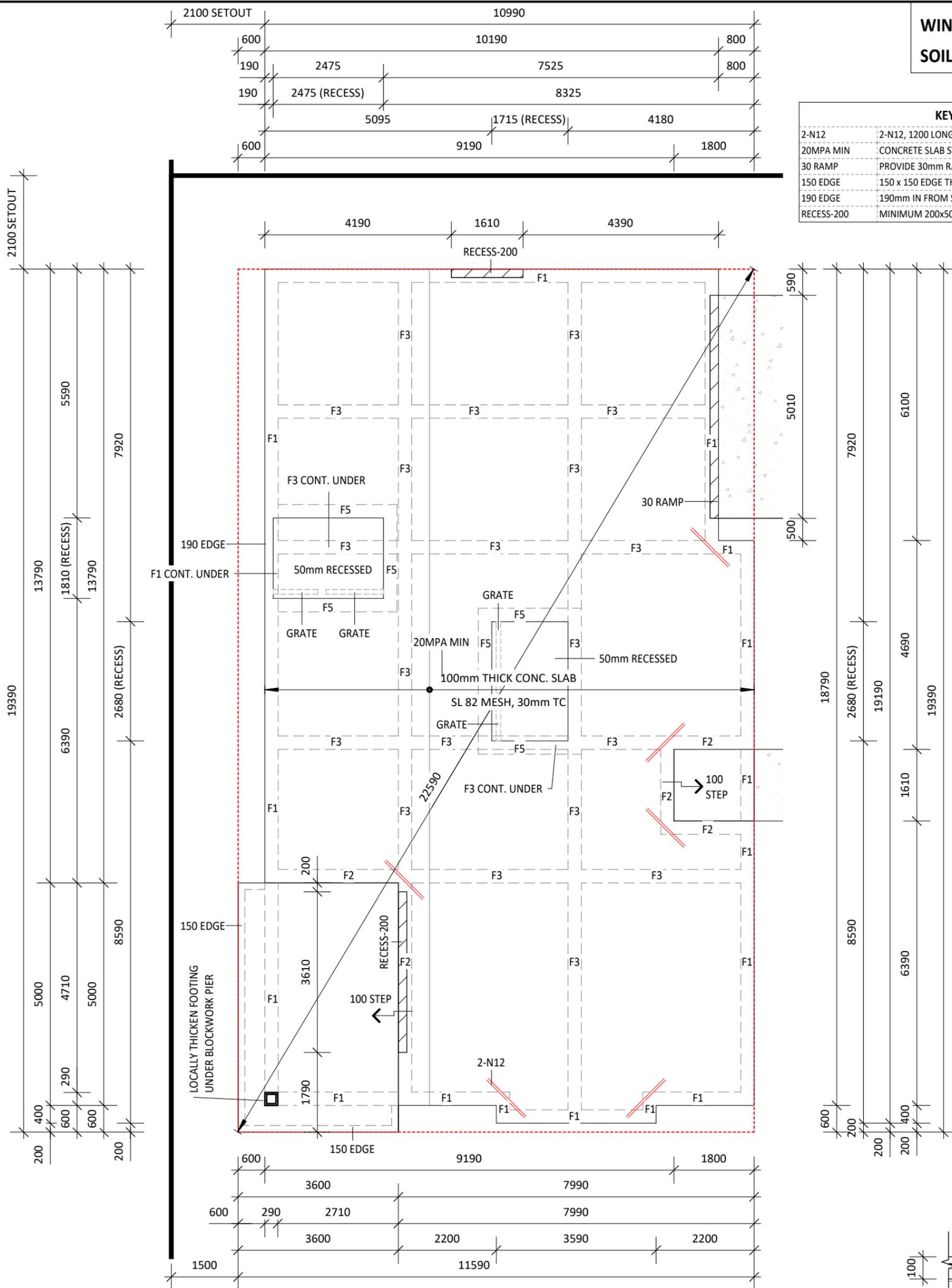
Issue: **A**

Job No:

**HDZ2529A**

**WIND CLASSIFICATION - C2**  
**SOIL CLASSIFICATION - CLASS M**

KEYNOTE LEGEND	
2-N12	2-N12, 1200 LONG T/U.
20MPA MIN	CONCRETE SLAB STRENGTH - 20MPA MIN.
30 RAMP	PROVIDE 30mm RAMPED ENTRY TO SLAB AT GARAGE DOOR.
150 EDGE	150 x 150 EDGE THICKENING
190 EDGE	190mm IN FROM SLAB EDGE TO SETDOWN
RECESS-200	MINIMUM 200x50mm THICK RECESS FOR GLASS SLIDING DOOR.



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Drawing Title:  
**FOOTING PLAN - HOUSE A**

Scale: 1:100 & 1:20

Sheet No. 06 of 10

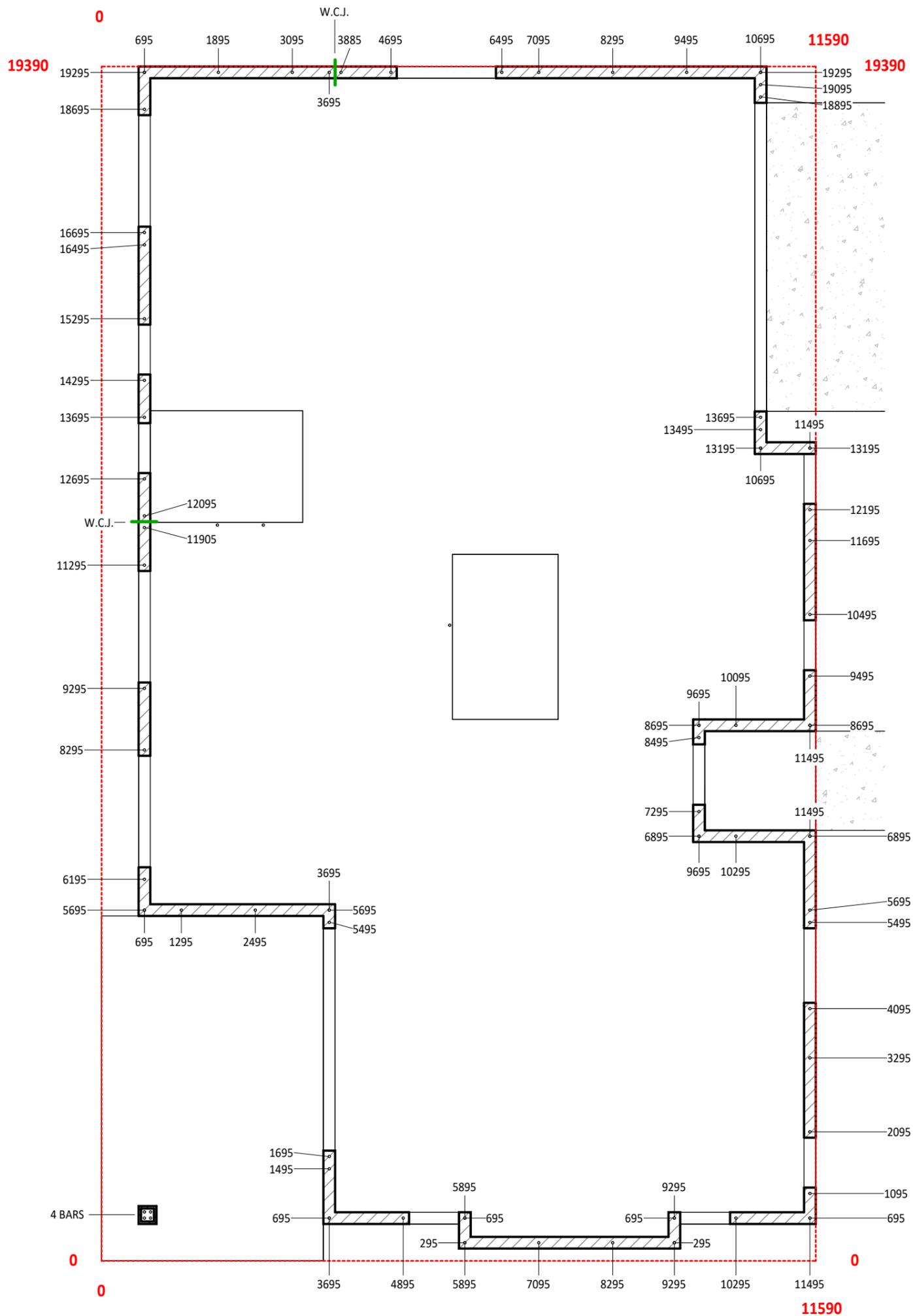
Issue: **A**

Job No:

**HDZ2529A**

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SOIL CLASSIFICATION - CLASS M



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Drawing Title:  
**STARTER BAR PLAN - HOUSE A**

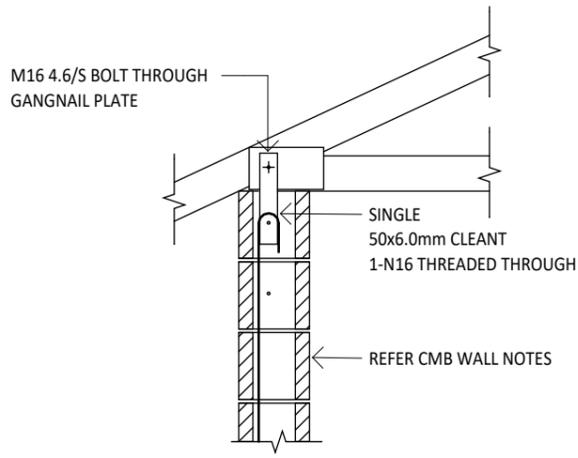
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Sheet No. 07 of 10

Issue: **A**

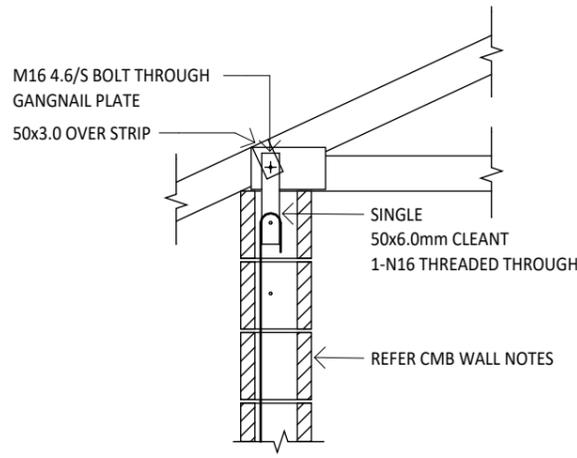
Job No:  
**HDZ2529A**

**WIND CLASSIFICATION - C2**  
**SOIL CLASSIFICATION - CLASS M**



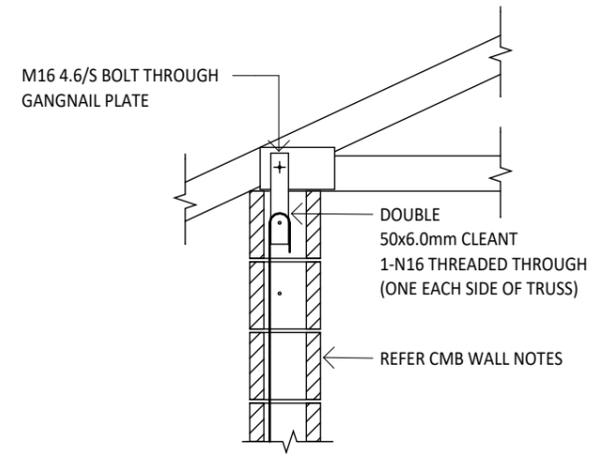
**TD1**

scale 1 : 20



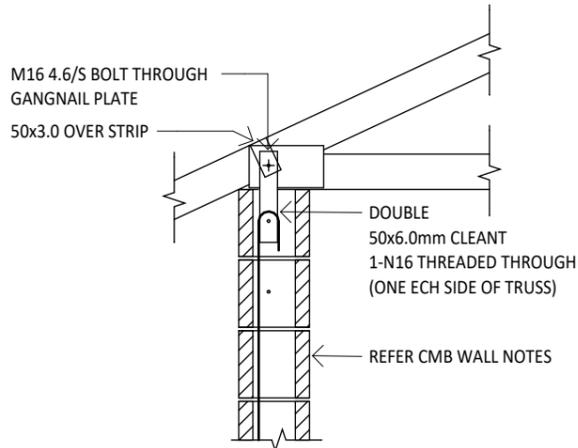
**TD2**

scale 1 : 20



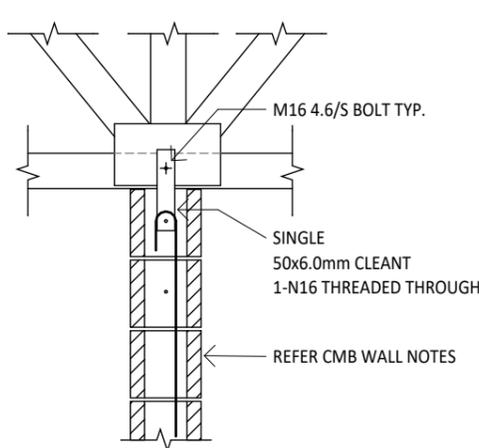
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scale 1 : 20



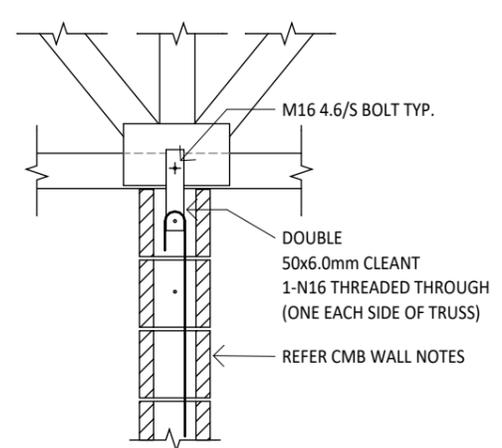
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scale 1 : 20



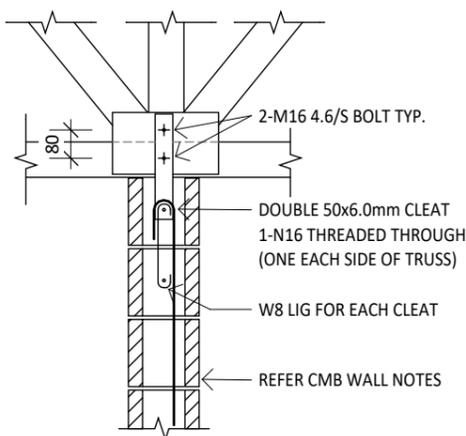
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scale 1 : 20



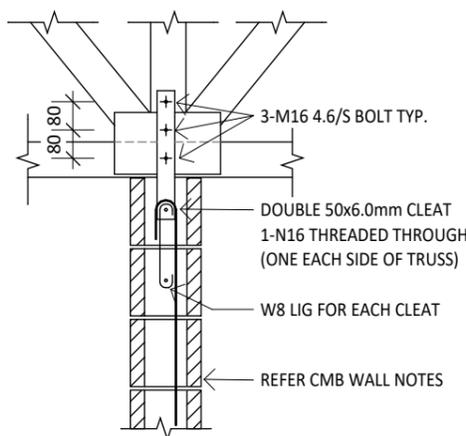
**TD6**

scale 1 : 20



**TD7**

scale 1 : 20



**TD8**

scale 1 : 20

**UPLIFT RESISTANCE KN (ULTIMATE LIMIT STATE)**

TYPE	TRUSS JOINT GROUP					
	J2	J3	J4	J5	J6	J7
TD1	20	15	10	16	11	8
TD2	35	25	16	23	18	15
TD3	49	44	28	44	36	28
TD4	76	54	34	54	43	34
TD5	20	15	10	16	11	8
TD6	49	44	28	44	36	28
TD7	93	84	53	84	68	53
TD8	128	115	73	115	94	73

NOTE:  
 PROVIDE 2-N12 (MIN.) VERTICAL REIN. BARS ADJACENT TO CLEATS WITH TIE-DOWN LOADS GREATER THAN 80KN.

NOTE:  
 CLEAT SIZES AND CONNECTION SIMILAR FOR RHS BEAMS

**TRUSS TIE DOWN - DETAILS**

scale 1 : 20

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**MAREEBA QLD 4880**

For: Hedley Homes

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Drawing Title:  
**TRUSS CONNECTIONS - A**

Scale: 1:100

Sheet No. 08 of 10

Issue: **A**

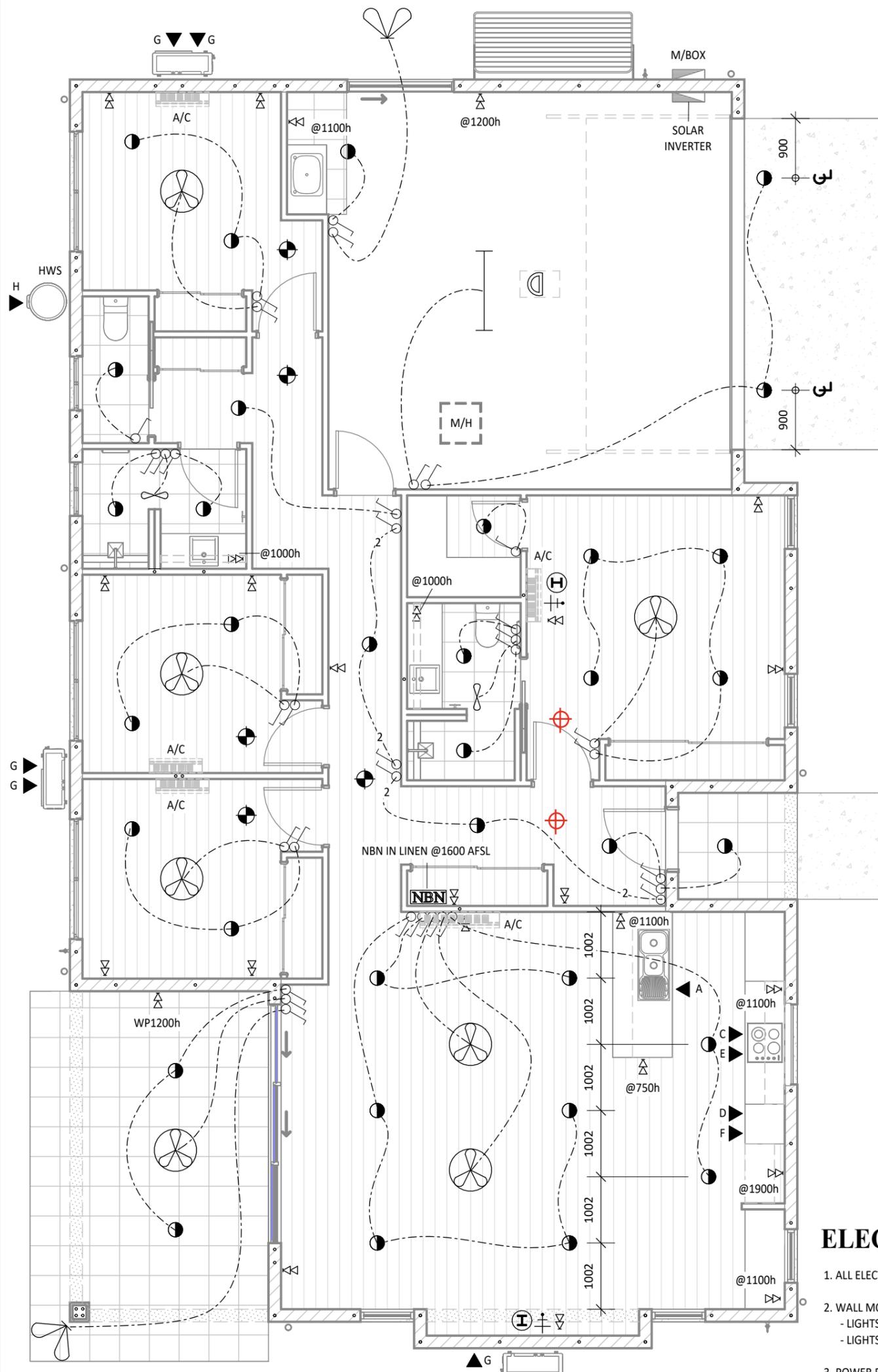
Job No:

**HDZ2529A**

WIND CLASSIFICATION - C2

SOIL CLASSIFICATION - CLASS M

-  SMOKE DETECTOR/ALARM - CLIPSAL 755PMSA2 - PHOTOELECTRIC TYPE FIXED WIRED AND INTERCONNECTED WITH BATTERY BACK UP
-  CHANDELIER
-  AIRFLOW 1200mm CEILING FAN (3 BLADE)
-  AIRFLOW 1200mm CEILING FAN (3 BLADE) & ROUND 32 watt FLUORESCENT LIGHT COMBINATION
-  2x 36w FLUORESCENT LIGHT SURFACE MOUNT
-  1x 36w FLUORESCENT LIGHT SURFACE MOUNT
-  ROUND FLUORO - 32 watt
-  WALL MOUNTED LIGHT - 2020 AFL
-  3 IN 1 HEAT LIGHT FAN COMBO
-  RECESSED LED DOWNLIGHTER
-  SURFACE MOUNTED FLURO LIGHT
-  TELEVISION OUTLET
-  TELEPHONE OUTLET
-  KITCHEN -1500 AFL
-  BED - 300 AFL
-  INTERNET OUTLET
-  BED - 300 AFL
-  EXTERNAL SPOTLIGHT WITH SENSOR
-  EXTERNAL SPOTLIGHT
-  EXTERNAL DOUBLE PORTA FLOOD LIGHT
-  EXTERNAL DOWNLIGHT
-  EXTERNAL BUNKER LIGHT
-  DOUBLE G.P.O. 10amp OUTLET
-  DOUBLE G.P.O. 10amp OUTLET WITH USB PORTS
-  ONE WAY LIGHT FAN / SWITCH @ 1300 AFL UNO
-  TWO WAY LIGHT SWITCH @ 1300 AFL UNO
-  THREE WAY LIGHT SWITCH @ 1300 AFL UNO
-  DIMMER LIGHT SWITCH @ 1300 AFL UNO
-  DENOTES - WATERPROOF
-  PERMANENT POWER OUTLET
-  A = D'WASHER
-  B = ZIP TAP HARDWARE
-  C = RANGEHOOD
-  D = OVEN
-  E = COOKTOP ELECTRIC
-  F = MICROWAVE OVEN
-  G = AC CONDENSER
-  H = HWS
-  GARAGE DOOR REMOTE GPO ON CEILING
-  EXHAUST FAN
-  COMBO EXHAUST FAN / LIGHT
-  PENDANT LIGHT
-  LEDLUX AVENUE LED DIMMABLE BAR
-  LED-V
-  WIFI DATA
-  NBN HUB (1x GPO, 1x DATA) ALL @ 1800 AFSL



### ELECTRICAL NOTES

1. ALL ELECTRICAL FITTINGS WILL BE IN POSITIONED AS CLOSE TO DIAGRAM AS POSSIBLE.
2. WALL MOUNTED LIGHTS TO BE 1.9m ABOVE A.F.S.L. EXCEPT:
  - LIGHTS ABOVE WINDOWS & SLIDING DOORS TO BE 2.35m ABOVE A.F.S.L.
  - LIGHTS ABOVE VANITIES TO BE 2.0m ABOVE A.F.S.L.
3. POWER POINTS MOUNTED 0.35m ABOVE A.F.S.L. IN GENERAL AREAS & APPROX. 250mm ABOVE BENCH TOPS.
4. SUPPLY POWER POINT IN CEILING FOR AERIAL.
5. FLOW RATE & DISCHARGE OF EXHAUST FANS MUST COMPLY WITH BCA PART 3.8.7
6. ALLOWANCE FOR POOL PUMP/POWER PROVISION AND 101/m OF UNDERGROUND TO POOL PUMP POSITION.

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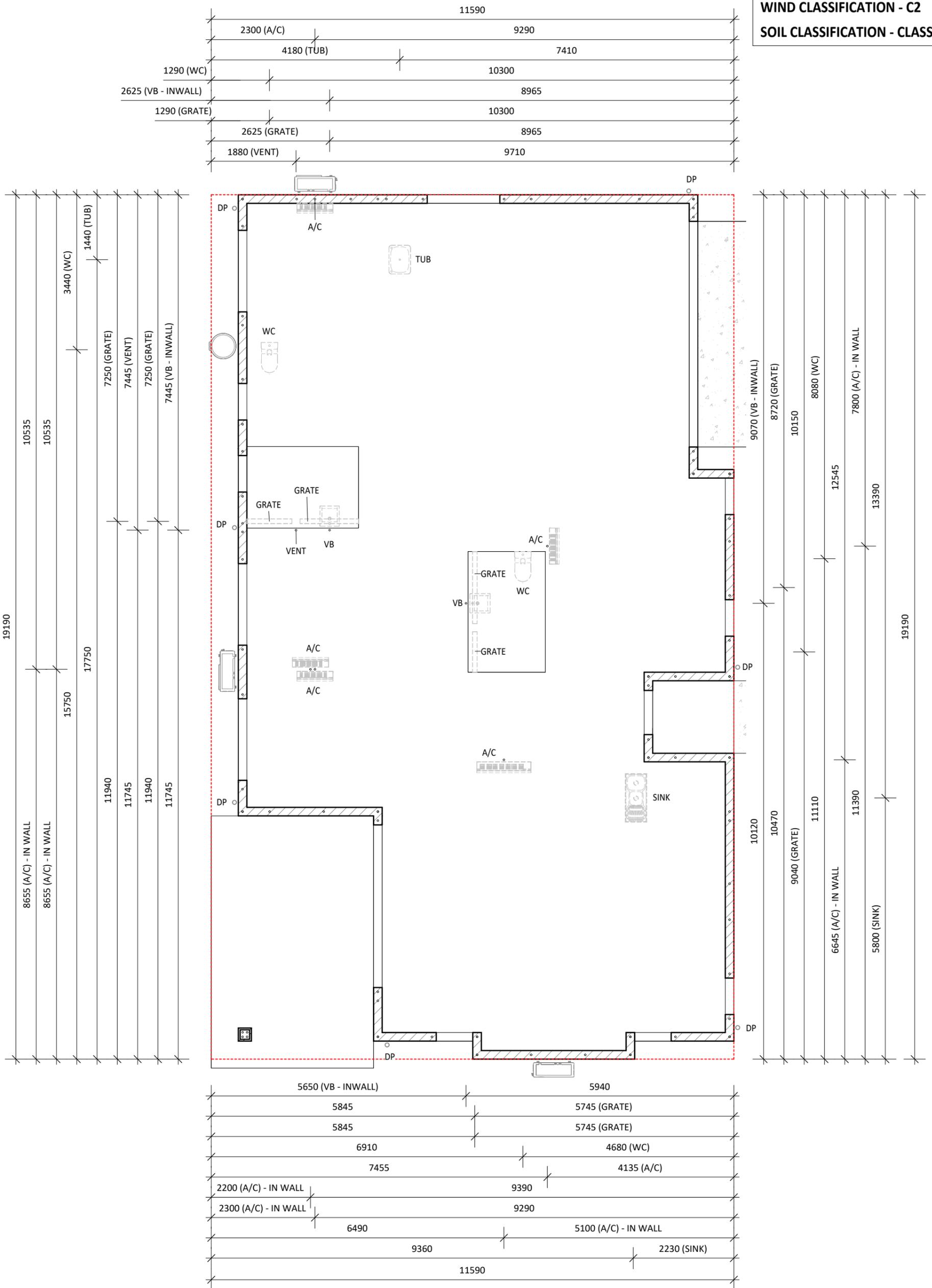
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Drawing Title:  
**ELECTRICAL PLAN - HOUSE A**

Scale: 1:70	Job No:
Sheet No. 09 of 10	<b>HDZ2529A</b>
Issue: <b>A</b>	

WIND CLASSIFICATION - C2  
SOIL CLASSIFICATION - CLASS M



I HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

*[Signature]*  
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For: Hedley Homes

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homes**

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Drawing Title:  
**PENETRATION PLAN - HOUSE A**

Scale: 1:80

Sheet No. 10 of 10

Job No:  
**HDZ2529A**

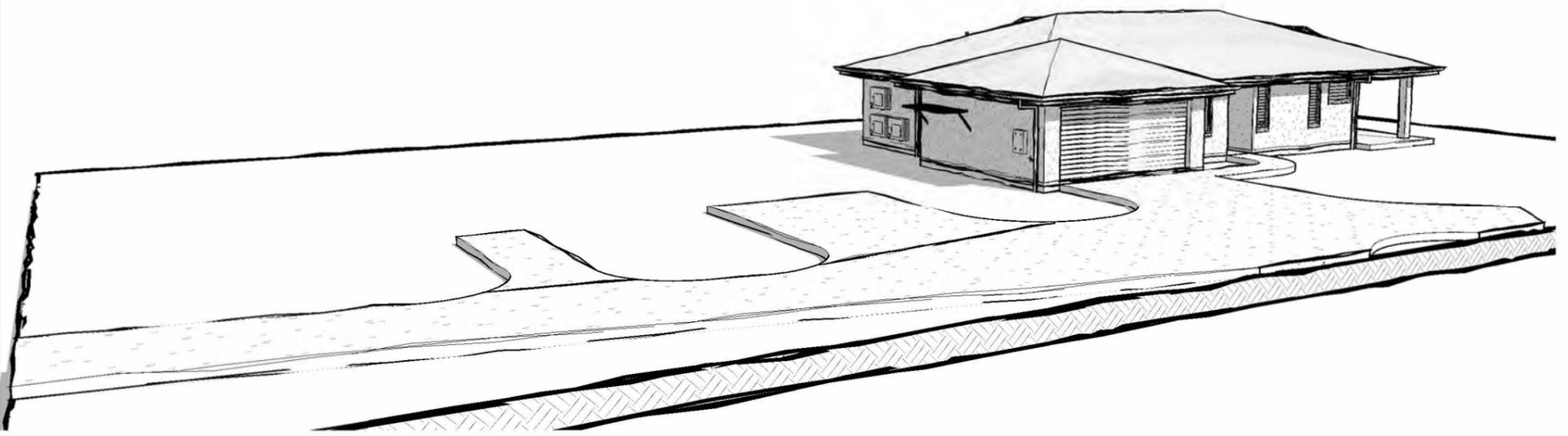
Issue: **A**



# DRAWING PORTFOLIO

LOT 29B CLINTON CLOSE

MAREEBA QLD 4880



Project Number: HDZ2529B  
 Proposed 2 Lot Subdivision  
 Lot Number: 29B  
 SP Number: RP749169  
 Parish: Tinaroo  
 County: Nares  
 Area: 672 m<sup>2</sup>  
 Windspeed Classification: C2  
 Soil Classification: M Class

DRAWING SCHEDULE - B			
Sheet Number	Sheet Name	Current Revision	Current Revision Date
.00	COVER PAGE - B	C	19.02.2026
.01	SITE PLAN (A & B)	C	19.02.2026
.02	SITE PLAN B	C	19.02.2026
.03	FLOOR PLAN - HOUSE B	C	19.02.2026
.04	ELEVATIONS - HOUSE B	C	19.02.2026
.05	TYPICAL SECTION - HOUSE B	C	19.02.2026
.06	FOOTING PLAN - HOUSE B	A	17.02.2026
.07	STARTER BAR PLAN - HOUSE B	A	17.02.2026
.08	TRUSS CONNECTIONS - B	A	17.02.2026
.09	ELECTRICAL PLAN - HOUSE B	A	17.02.2026
.10	PENETRATION PLAN - HOUSE B	A	17.02.2026

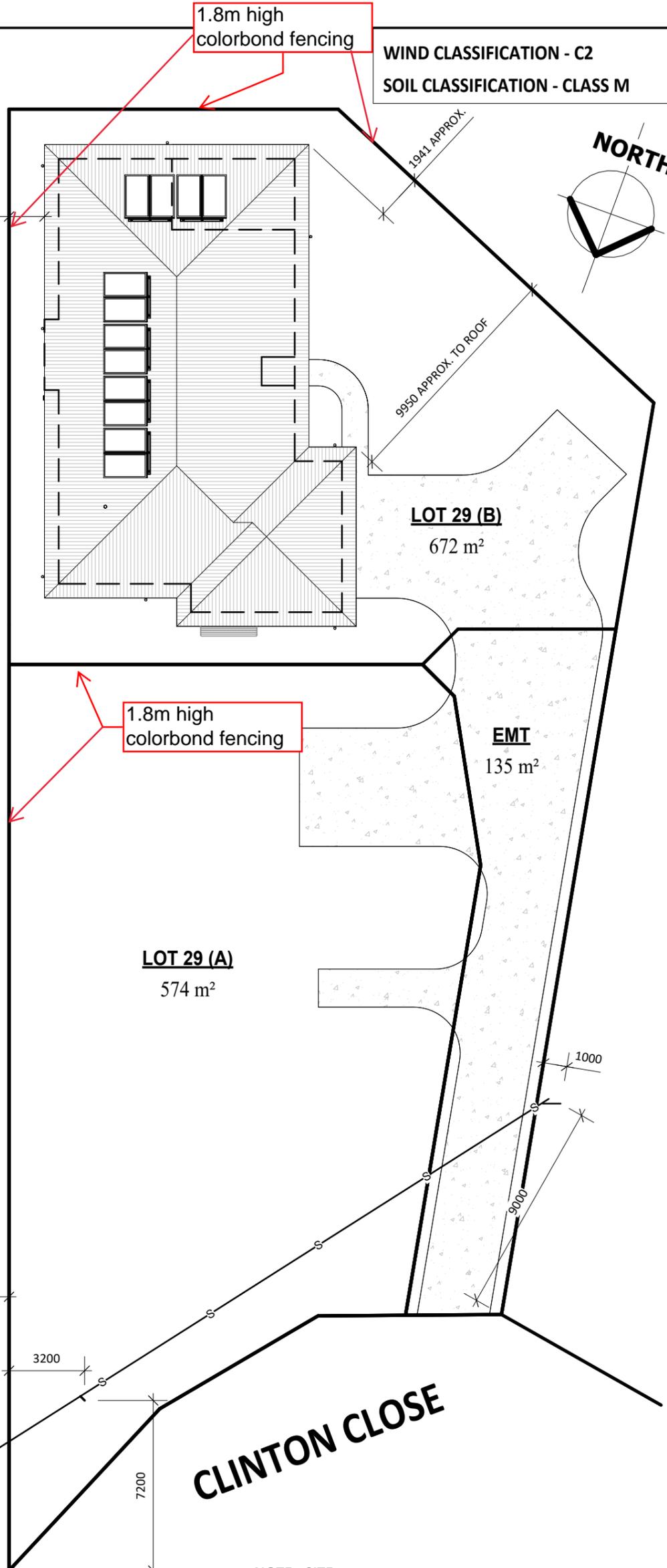
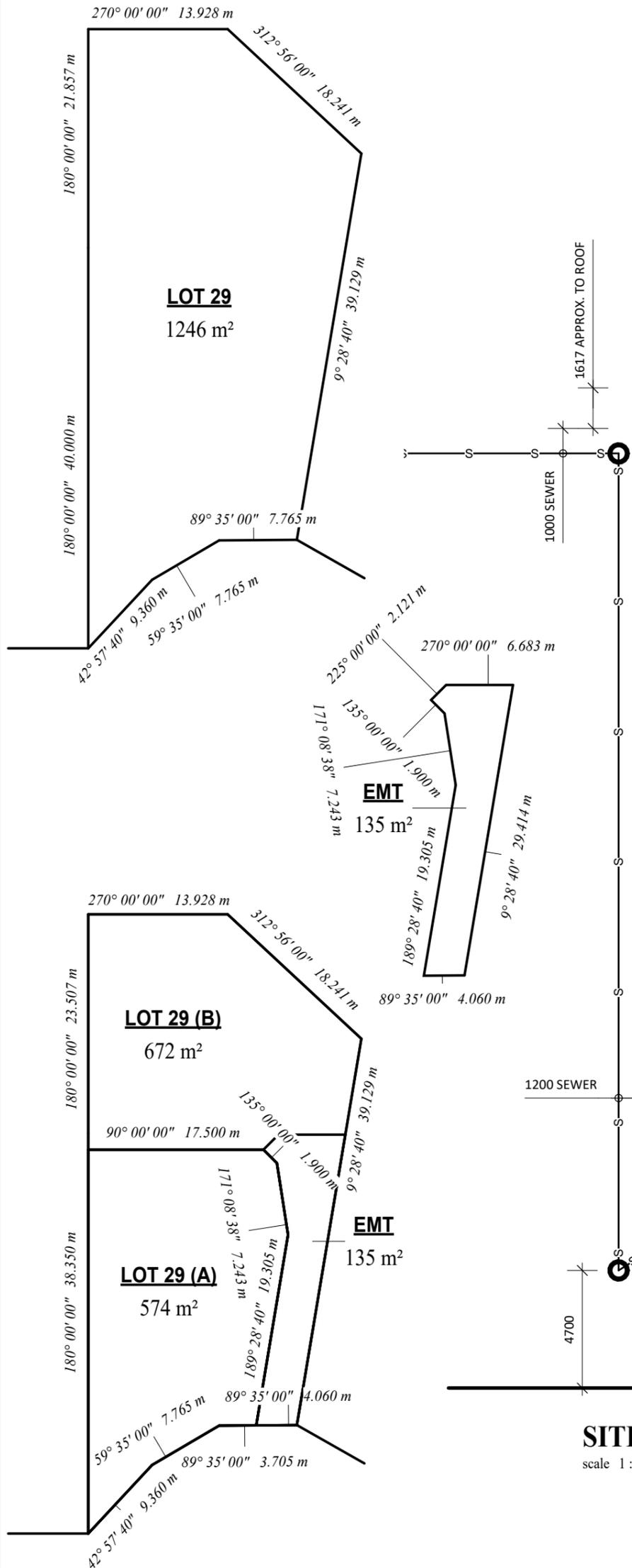
# Real Property Description B

Lot 29B on RP749169  
 Parish of TINAROO  
 County of Nares  
 Locality MAREEBA

---

Area: 672 m<sup>2</sup>  
 Local Authority: MAREEBA SHINE COUNCIL  
 Windspeed Classification: C2  
 Soil Classification: Class "M"

WIND CLASSIFICATION - C2  
 SOIL CLASSIFICATION - CLASS M



**SITE PLAN'**  
 scale 1 : 200

**CLINTON CLOSE**

**NOTE - SITE**

GRADE SITE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000MM TO PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES

IT IS THE BUILDERS RESPONSIBILITY TO CONFIRM THE DEPTH OF THE SEWER, WATER AND STORMWATER INFRASTRUCTURE AND ENSURE FOUNDATION CONSTRUCTION ACHIEVES THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE M1.4 - BUILD OVER OR NEAR RELEVANT INFRASTRUCTURE.

AMENDMENTS		
REV	DESCRIPTION	DATE
C	Revision 3	19.02.2026
B	Revision 2	02.02.2026
A	Revision 1	17.02.2026

**PROPOSED RESIDENCE  
 LOT 29B CLINTON CLOSE  
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Drawing Title:

**SITE PLAN (A & B)**

Scale: 1:200 & 1:500

Sheet No. .01 of 10

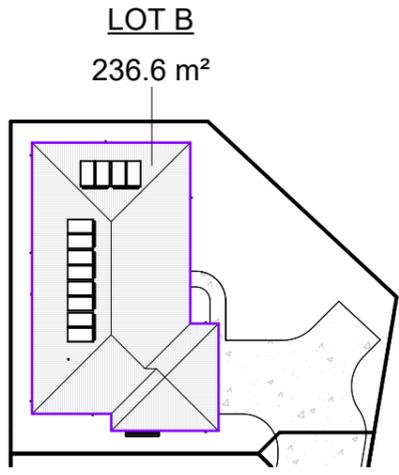
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Job No:

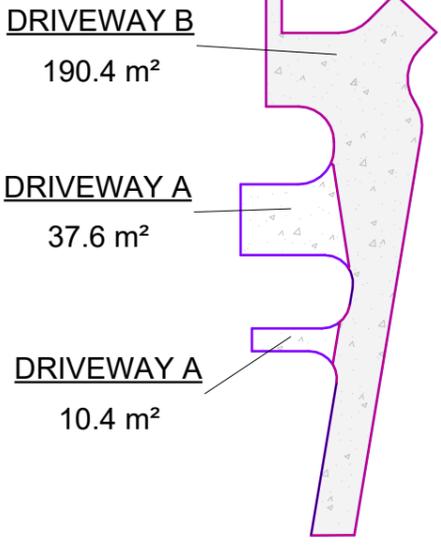
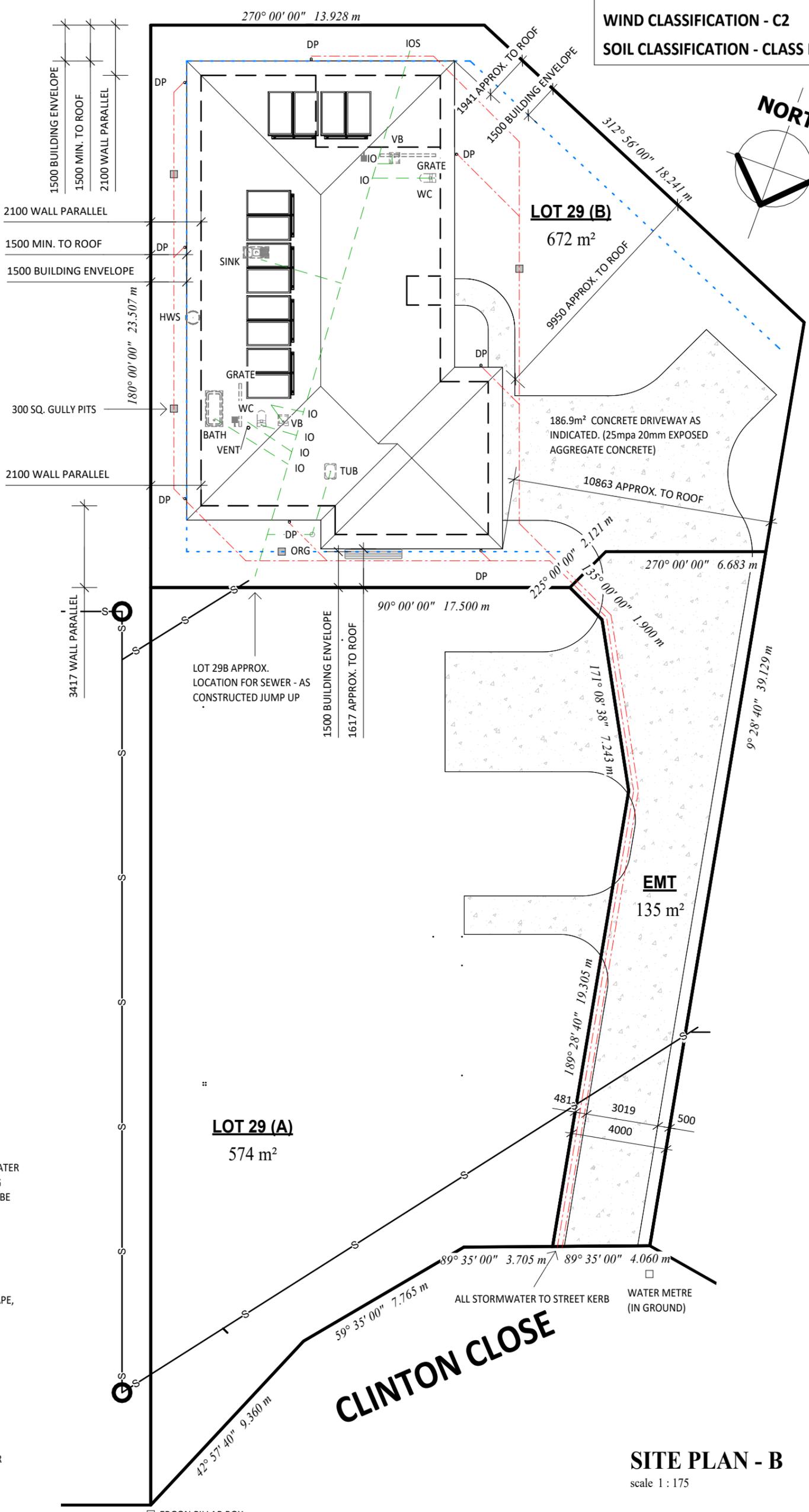
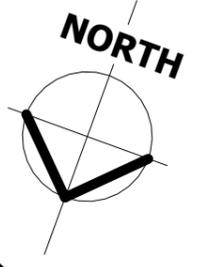
**HDZ2529B**

**SITE COVERAGE**

MAX. SITE COVER 50 %  
 LOT AREA : 672.0 m<sup>2</sup>  
 FOOTPRINT : 236.6 m<sup>2</sup>  
 SITE COVER : 35.21 %



WIND CLASSIFICATION - C2  
 SOIL CLASSIFICATION - CLASS M



**DRIVEWAY B**  
scale 1 : 500

**SITE PLAN NOTES**

**STORMWATER**  
 THE NUMBER OF DOWNPIPES AND THE POSITION OF STORMWATER IS DIAGRAMATIC ONLY AND MAY BE VARIED BY OUR PLUMBING CONTRACTOR ON SITE. ALL IN GROUND STROMWATER PIPE TO BE 100 DIA.

**NOTE:** CONNECT 100 DIA LINE TO COUNCIL SEWER TO COUNCIL REQUIREMENTS.

**PLEASE NOTE:**  
 NO ALLOWANCE BY THE BUILDER HAS BEEN MADE TO LANDSCAPE, CONSTRUCT WALLS, RETAINING WALLS OR LANDSCAPE WALLS UNLESS SPECIFICALLY MENTIONED IN THE CONTRACT.

**EARTHWORKS**  
 PLEASE BE AWARE LEVELS ARE TAKEN AT THE CORNERS OF THE BUILDING. ALL CUT AND FILL LEVELS ARE APPROXIMATE AND MAY BE ALTERED AS OUR CONTRACTOR CARRIES OUT THE EARTHWORKS.

**PLUMBING**  
 PLUMBING SHOWN IS DIAGRAMATIC ONLY. LICENSED PLUMBER TO CONFIRM FINAL ALIGNMENT OF HOUSE SEWER AND STORMWATER AND DOWNPIPE QUANTITIES AND POSITIONS. CONFIRM ALL FALLS PRIOR TO CONSTRUCTION.

- ERGON PILLAR BOX
- NBN

**SITE PLAN - B**  
scale 1 : 175

I HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

*[Signature]* / /  
 Date

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Drawing Title:  
**SITE PLAN B**

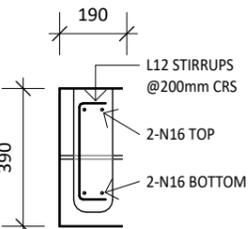
Scale: 1:150 & 1:500	Job No: <b>HDZ2529B</b>
Sheet No. .02 of 10	
Issue: <b>C</b>	

**WIND CLASSIFICATION - C2**  
**SOIL CLASSIFICATION - CLASS M**

AREA SCHEDULE - LOT B	
LIVING	140.7 m <sup>2</sup>
GARAGE	39.7 m <sup>2</sup>
PATIO	20.9 m <sup>2</sup>
PORCH	1.7 m <sup>2</sup>
<b>Grand total</b>	<b>203.0 m<sup>2</sup></b>

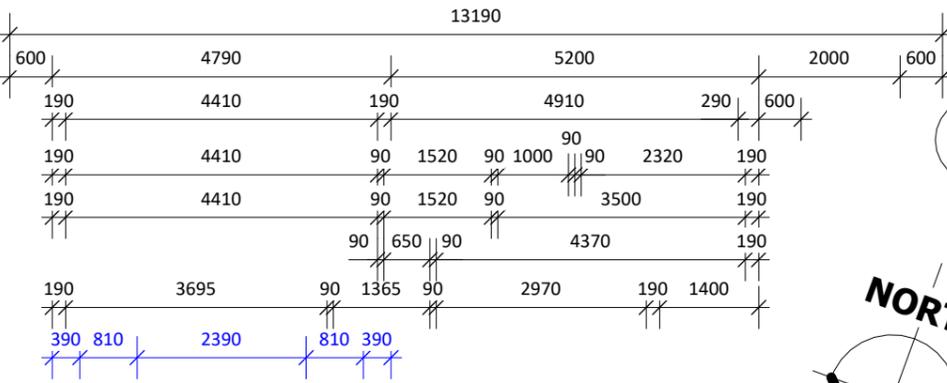
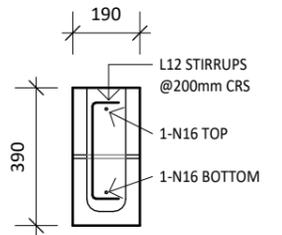
### LINTEL 1

scale 1 : 20



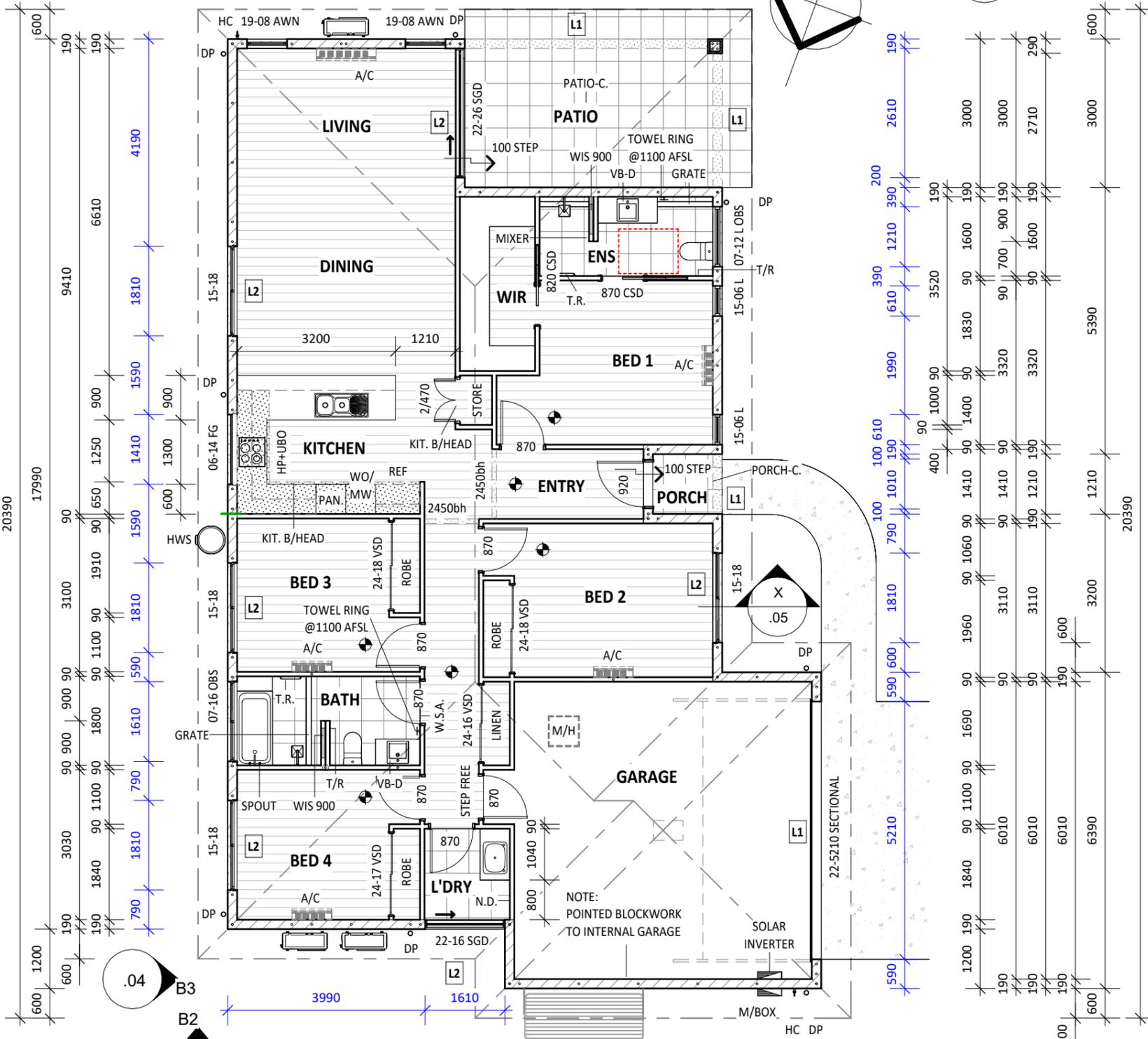
### LINTEL 2

scale 1 : 20



B1 .04

B4 .04



<b>PATIO</b>	20.9 m <sup>2</sup>
<b>LIVING</b>	140.7 m <sup>2</sup>
<b>PORCH</b>	1.7 m <sup>2</sup>
<b>GARAGE</b>	39.7 m <sup>2</sup>

### NOTE -

- FLOOR COVERINGS IN WET AREAS TO COMPLY WITH AS3740. INCLUDES BATHROOMS, TOILETS, AND LAUNDRY.
- ACCESS TO DWELLING TO COMPLY WITH LDHS.

KEYNOTE LEGEND	
KIT. B/HEAD	FRAMED AND PLASTERED BULKHEAD 650mm DEEP @2450 AFSL.
MIXER	SHOWER MIXER FIXED TO 1500H, 70x35 MGP TIMBER STUD WALL.
N.D.	NOGGINNS FOR DRYER CENTRED @2100 AFSL.
PATIO-C.	PATIO CEILING - CSR 4.5mm COMPRESSED CEMENT SHEET FIXED TO 42x25 H2 PINE BATTENS.
PORCH-C.	PORCH CEILING & BATTENS TO MATCH EAVES SOFFIT ADJACENT.
SPOUT	BATH SPOUT FIXED TO 70x35 MGP TIMBER STUD WALL.
T.R.	TOWEL RAIL.
T/R	TOILET ROLL HOLDER.
VB-D	FLOATING VANITIES DRAINS IN WALLS.
W.S.A.	WATER STOP ANGLES TO ALL WET AREA DOORWAYS INCLUDING BATHROOMS, WATER CLOSETS AND LAUNDRIES AS PER BCA 2006 PART 3.8.1.8(C)(II).
WIS 900	2x 90mm TIMBER STUD WALL 900L x 1800H. NICHE CENTRED 500MM WIDE SILL @1100, HEAD @1600.

**EXTERNAL WALLS:**  
EXTERNAL WALLS TO BE 200MM CM BLOCK WORK WITH CEMENT RENDER FINISH EXTERNALLY AND PLASTERBOARD LINED INTERNALLY.

**INTERNAL WALLS:**  
INTERNAL WALLS TO BE 90MM METAL STUD PARTITIONS WITH PLASTERBOARD TO EACH SIDE (90MM TO CAVITY SLIDER DOORS & OR 90MM FRAMED AND PLASTERBOARD LINED INTERNALLY AND WET AREA PLASTERBOARD TO GARAGE SIDE AS PER PLAN). DIVIDING GARAGE WALL TO BE 200MM CMB AND PLASTERBOARD LINED INTERNALLY.

**WALL E.J.:**  
STACKBOND BLOCKS EITHER SIDE OF JOINT AND FILL 10MM GAP WITH "PRESTITE" BACKING STRIP OR SIMILAR AND APPROVED WEATHERPROOF SEALANT BOTH SIDES. BOND BEAM AND LINTEL REINFORCEMENT TO BE CONTINUOUS THRU JOINT.

**GENERAL NOTES:**  
\* WATER STOP ANGLES TO ALL WET AREA DOORWAYS INCLUDING BATHROOMS, WATER CLOSETS AND LAUNDRIES AS PER BCA 2006 PART 3.8.1.8(C)(II).  
\* ALL PRIMARY BUILDING ELEMENTS RESISTANT TO TERMITE ATTACK.  
\* ANTI-CON INSULATION BLANKET INSTALLED UNDERNEATH ROOF SHEETING.

**BRACING NOTES:**  
\* G DENOTES GYROCK BRACING WALL.  
\* BRACING WALLS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS DETAILS.  
\* PROVIDE M12 X 75MM DYNABOLTS WITH 50MM SQUARE WASHERS, AT 1000MM CENTRES MAX. AND DOUBLE SIDED STRAP BRACING USING 30MMX1MM STRAP WITH TENSIONERS, TOBONDO STEEL FRAME WALLS SCREWED AT TOP AND CRIMPED AT THE BOTTOM. USING RONDO TOP TRACK SLOT D/HD 92MM 0.70BMT DRACK 92X28 0.50BMT DTUD WALL 92MM 0.55BMT  
\* PROVIDE "ANTI-RACKING" CLEATS TO TOP OF BRACING WALLS IN ACCORDANCE WITH CODE.

I HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

*[Signature]*  
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## PROPOSED RESIDENCE LOT 29B CLINTON CLOSE MAREEBA QLD 4880

For: Hedley Homes

Hedz Constructions Pty Ltd  
t/a Hedley Homes  
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Drawing Title:  
**FLOOR PLAN - HOUSE B**

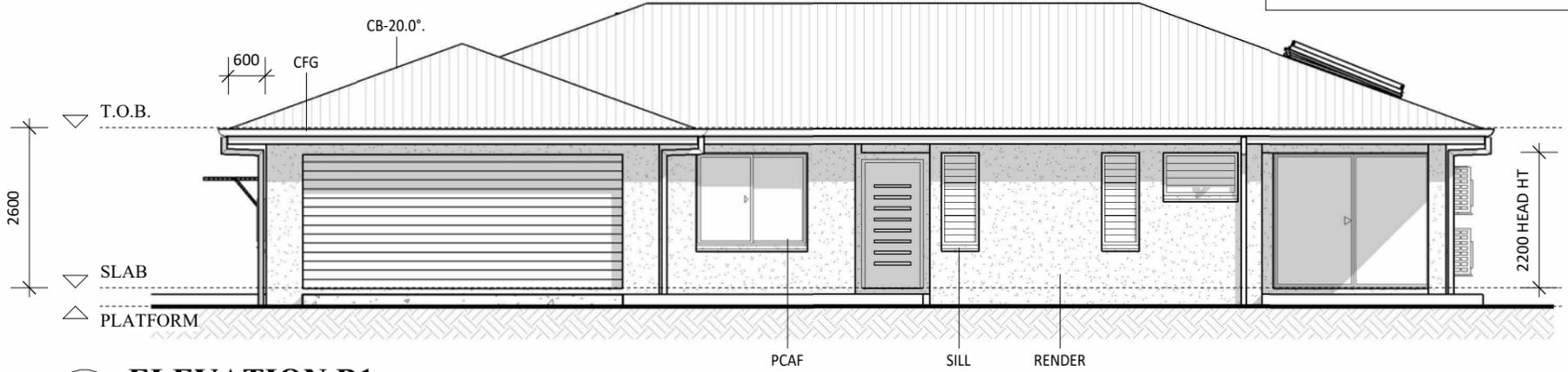
Scale: 1:100  
Job No: **HDZ2529B**

Sheet No. .03 of 10  
Issue: **C**

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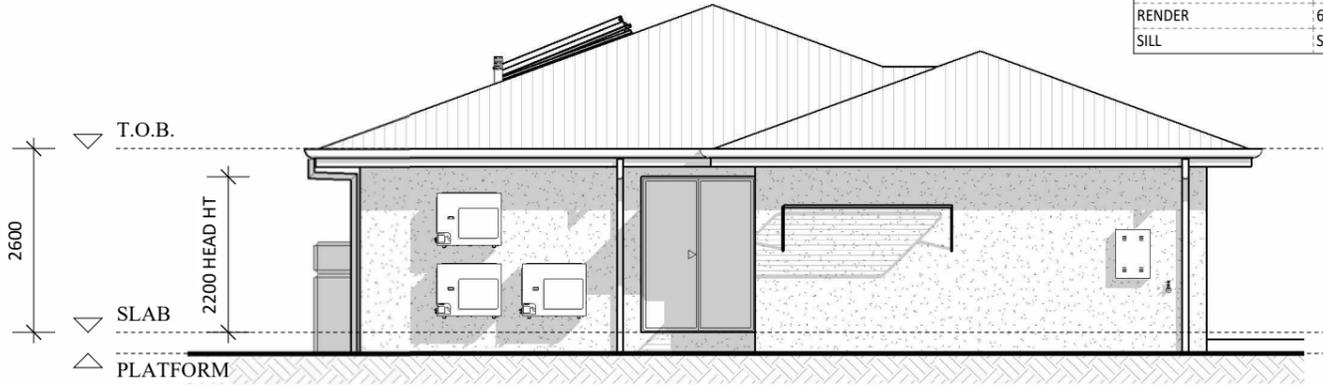
QBCC Licence No. 1138780

WIND CLASSIFICATION - C2  
SOIL CLASSIFICATION - CLASS M

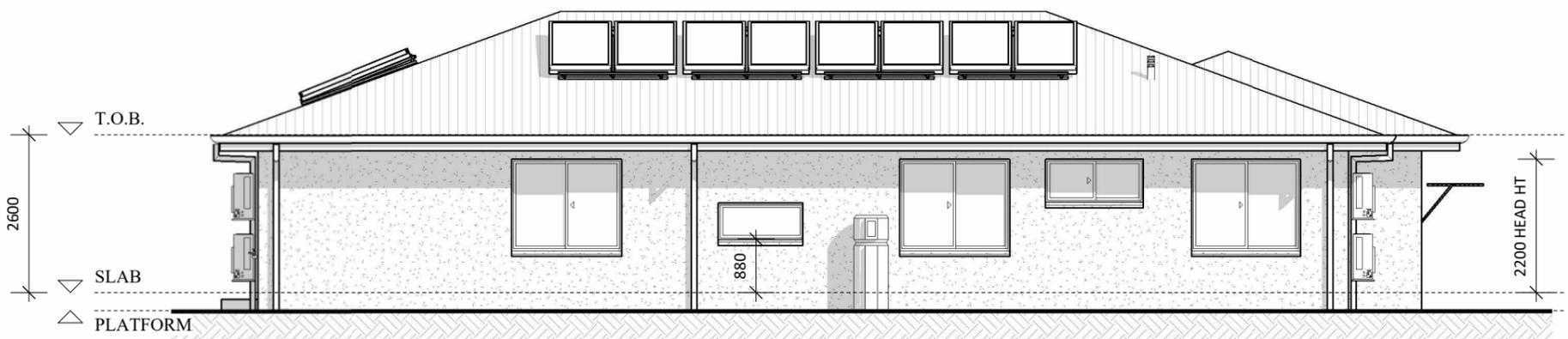


**B1 ELEVATION B1**  
.03 scale 1 : 100

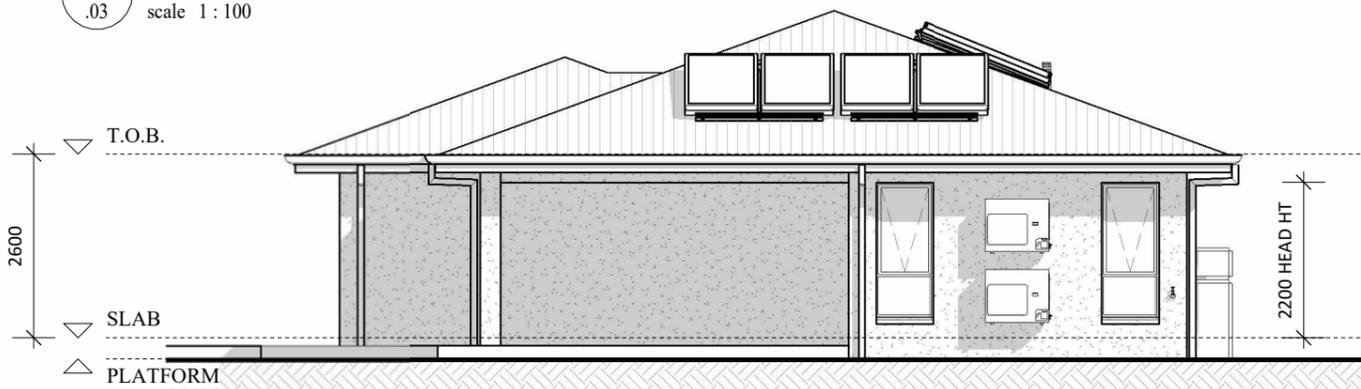
KEYNOTE LEGEND	
CB-20.0°	COLORBOND 'CUSTOM ORB' METAL ROOF SHEETING AT 20.0° PITCH
CFG	COLORBOND FASCIA AND GUTTER.
PCAF	POWDER COATED ALUMINIUM FRAMED WINDOWS AND SLIDING GLASS DOORS.
RENDER	6-8mm SINGLE APPLICATION SPONGE FINISH RENDER AS SHOWN.
SILL	SILL BLOCKS ARE 15.38



**B2 ELEVATION B2**  
.03 scale 1 : 100



**B3 ELEVATION B3**  
.03 scale 1 : 100



**B4 ELEVATION B4**  
.03 scale 1 : 100

Window Schedule - HOUSE B			
Type	Height	Width	Count
07-12 L OBS	700	1210	1
07-16 OBS	700	1610	1
15-06 L	1500	610	2
15-18	1500	1810	4
19-08 AWN	1900	810	2
Grand total			10

Door Schedule - HOUSE B			
Type	Height	Width	Count
<b>Exterior</b>			
22-16 SGD	2200	1610	1
22-26 SGD	2200	2610	1
22-5210 SECTIONAL	2200	5210	1
920	2040	920	1
<b>Interior</b>			
2/470	2100	940	1
24-16 VSD	2400	1600	1
24-17 VSD	2400	1700	1
24-18 VSD	2400	1810	2
720	2040	720	1
820 CSD	2040	820	1
870	2040	870	7
870 CSD	2040	870	1
Grand total			19

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Drawing Title:  
**ELEVATIONS - HOUSE B**

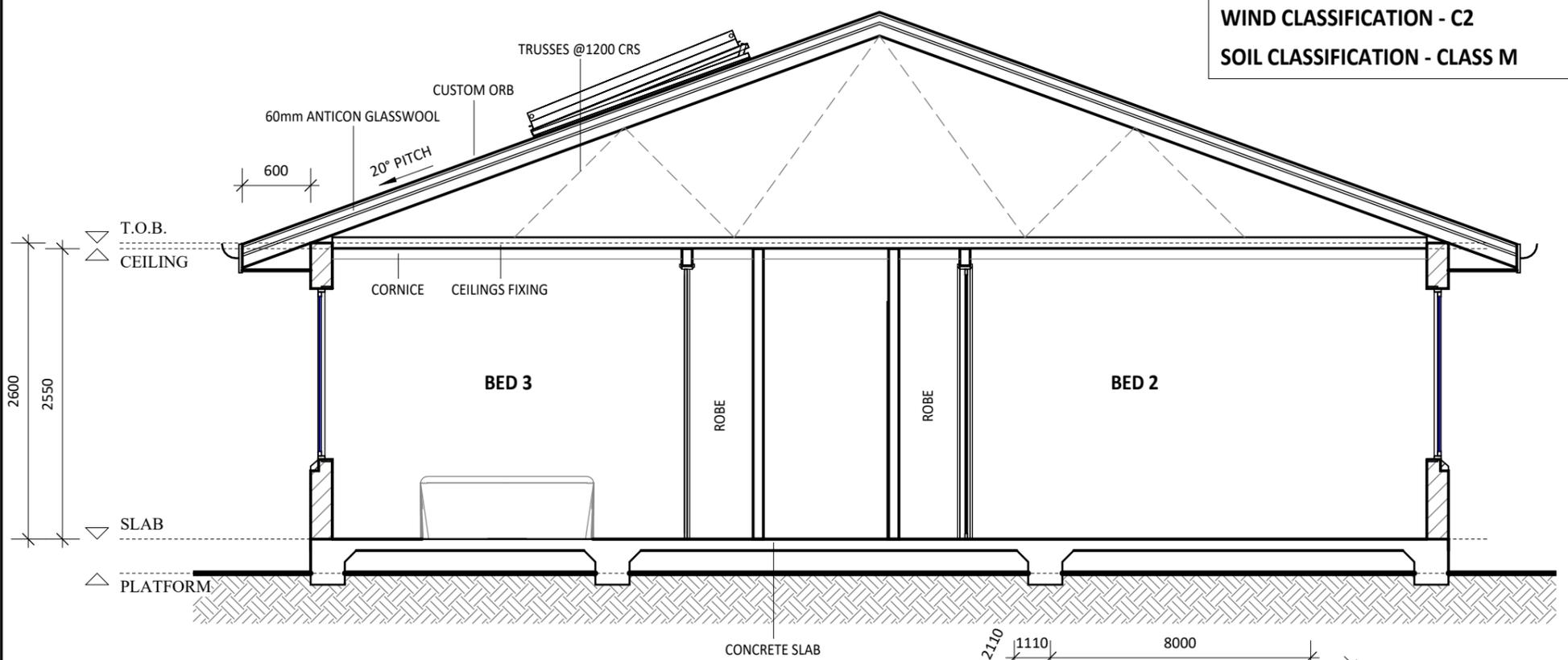
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Sheet No. .04 of 10

Job No:  
**HDZ2529B**

Issue: **C**

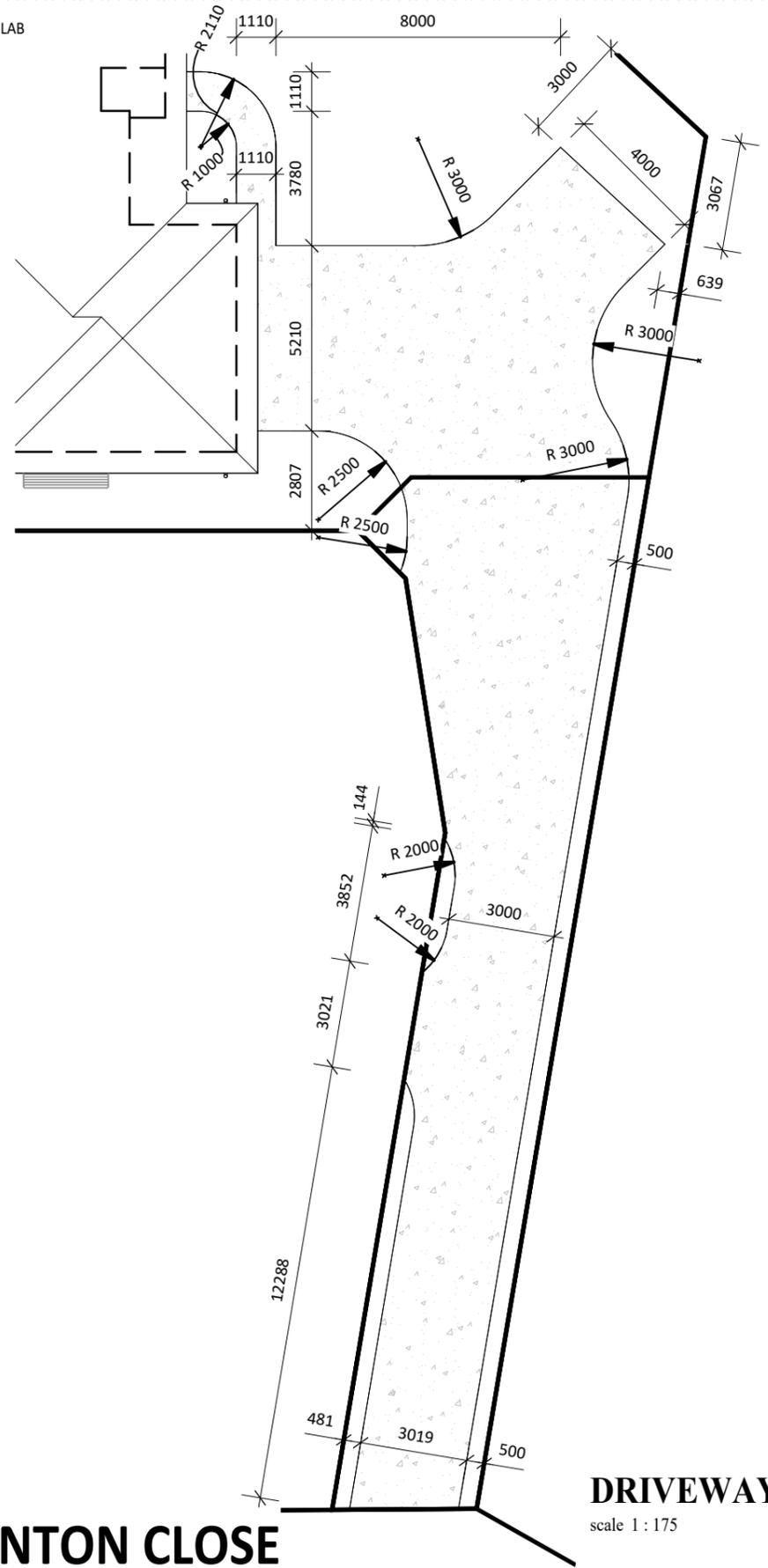
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WIND CLASSIFICATION - C2  
SOIL CLASSIFICATION - CLASS M



**SECTION X**  
scale 1 : 50

KEYNOTE LEGEND	
60mm ANTICON GLASSWOOL	60mm ANTICON GLASSWOOL INSULATION BLANKET TO ENTIRE ROOF AS PER ENERGY EFFICIENCY REPORT.
CEILINGS FIXING	10mm THICK PLASTERBOARD CEILINGS FIXED TO 50x38mm OR METAL CEILING BATTENS @ 450mm CRS MAX.
CONCRETE SLAB	100mm THICK CONCRETE SLAB. N25 GRADE CONCRETE WITH SL82 MESH 30mm TOP COVER (40mm COVER TO EXTERNAL AREAS). LAY SLAB ON 0.2mm WATERPROOF POLYTHENE MEMBRANE AND CONSOLIDATED SAND BASE.
CORNICE	90mm GYPROCK CORNICE.
CUSTOM ORB	COLORBOND 'CUSTOM ORB' METAL ROOF SHEETING FIXED TO MANUFACTURED SPECIFICATION.
TRUSSES @1200 CRS	PREFABRICATED TIMBER TRUSSES @1200 CRS MAX TO MANUFACTURER'S SPECIFICATION FOR C2 WIND CLASSIFICATION.



**BLOCK WALL NOTES**

1. PROVIDE DOUBLE COURSE BOND BEAM AT UNDERSIDE OF ROOF. REINFORCED WITH 1/N16 BAR EACH COURSE, MIN. LAP 500mm.
2. PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINFORCED WITH 1/N16 BAR. EXTEND BOND BEAM 200mm PAST EACH SIDE OF OPENING.
3. U.N.O. ON PLAN ALL LINTELS TO BE REINFORCED WITH 2/N12 OR 1/N16 BAR WITH L12 TIE BARS AT 1000mm CRS. MAX.
4. U.N.O. ON PLAN / DETAILS ALL 200 SERIES CMB WALL TO BE REINFORCED WITH N12 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND 1200 MAX CRS BETWEEN.
5. PROVIDE ADDITIONAL N12 VERTICAL BAR TO CORES ADJACENT TO OPENINGS GREATER THAN 1800 WIDE.
6. UNLESS NOTED OTHERWISE CONCRETE FILL ALL CORES CONTAINING REINFORCEMENT, HOLDING DOWN BOLTS AND MASONRY ANCHORS.
7. W.C.J. DENOTES WALL CONTROL JOINT U.N.O. TO BE REINFORCED WITH 1/N12 VERTICAL EACH SIDE OF JOINT. EXTEND BOND BEAM REINFORCEMENT THROUGH JOINT. FILL JOINT WITH COMPRESSIBLE BACKING ROD AND APPROVED SEALANT BOTH SIDES TO BUILDERS SPECIFICATION.
8. CONCRETE SLAB STRENGTH - 25 Mpa min.
9. ALL PRIMARY BUILDING ELEMENTS RESISTANT TO TERMITE ATTACK.
10. TIEDOWNS AND BRACING TO COMPLY WITH AS1684.3.

**CLINTON CLOSE**

**DRIVEWAY B**  
scale 1 : 175

I HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

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Drawing Title:  
**TYPICAL SECTION - HOUSE B**

Scale: 1:50 & 1:75

Sheet No. .05 of 10

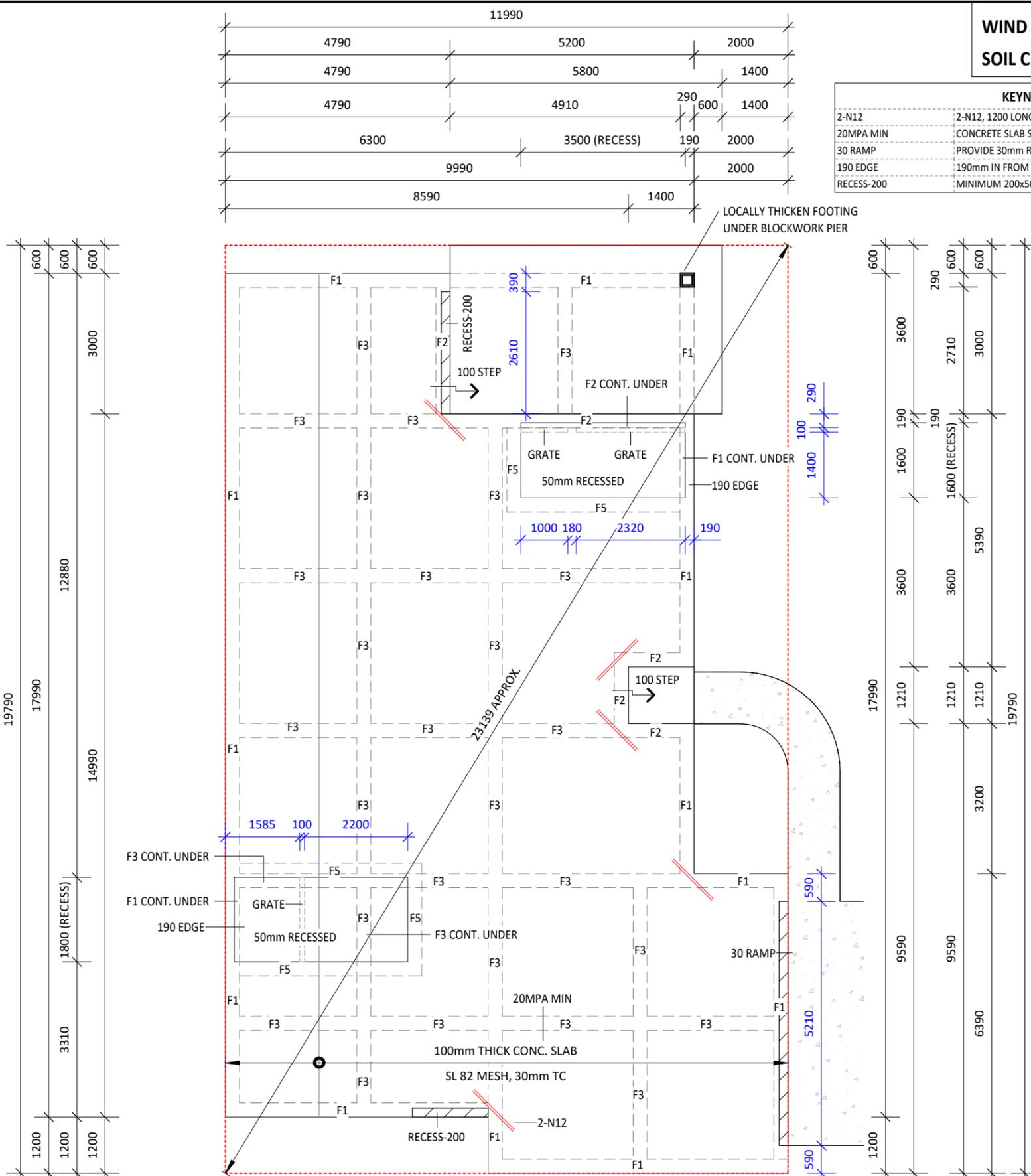
Issue: **C**

Job No:

**HDZ2529B**

**WIND CLASSIFICATION - C2**  
**SOIL CLASSIFICATION - CLASS M**

KEYNOTE LEGEND	
2-N12	2-N12, 1200 LONG T/U.
20MPA MIN	CONCRETE SLAB STRENGTH - 20MPA MIN.
30 RAMP	PROVIDE 30mm RAMPED ENTRY TO SLAB AT GARAGE DOOR.
190 EDGE	190mm IN FROM SLAB EDGE TO SETDOWN
RECESS-200	MINIMUM 200x50mm THICK RECESS FOR GLASS SLIDING DOOR.



**NOTE**

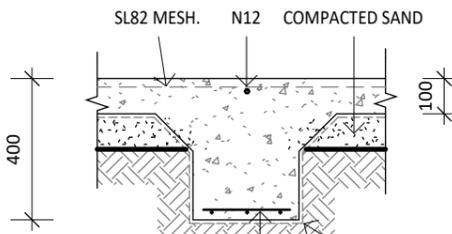
PINS WILL BE SET ON THE 4 CORNERS OF THE RED BOX SO NEED THE MEASUREMENTS TO RUN FROM THESE POINTS.



**F5**

scale 1 : 20

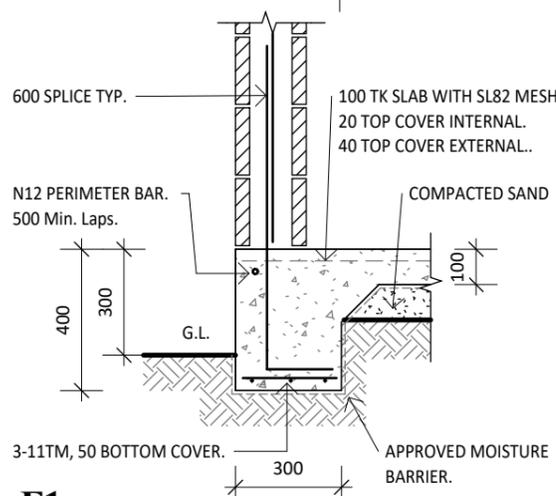
200UM VISQUEEN. LAP & TAPE ALL JOINTS.



**F3**

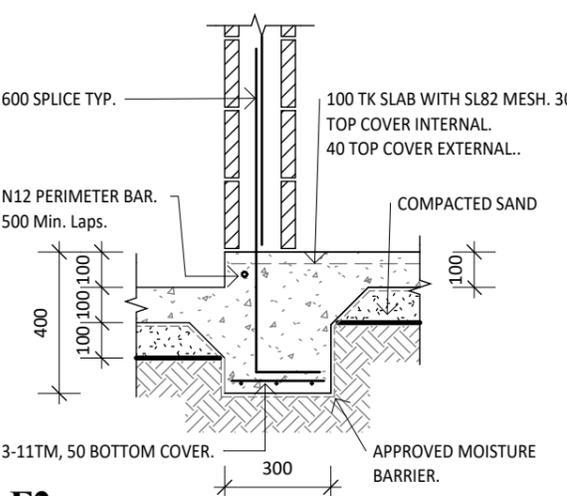
scale 1 : 20

3-11TM, 50 BOTTOM COVER. APPROVED MOISTURE BARRIER.



**F1**

scale 1 : 20



**F2**

scale 1 : 20

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*[Signature]*

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**Hedley homes**

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Drawing Title:  
**FOOTING PLAN - HOUSE B**

Scale: 1:100

Job No:  
**HDZ2529B**

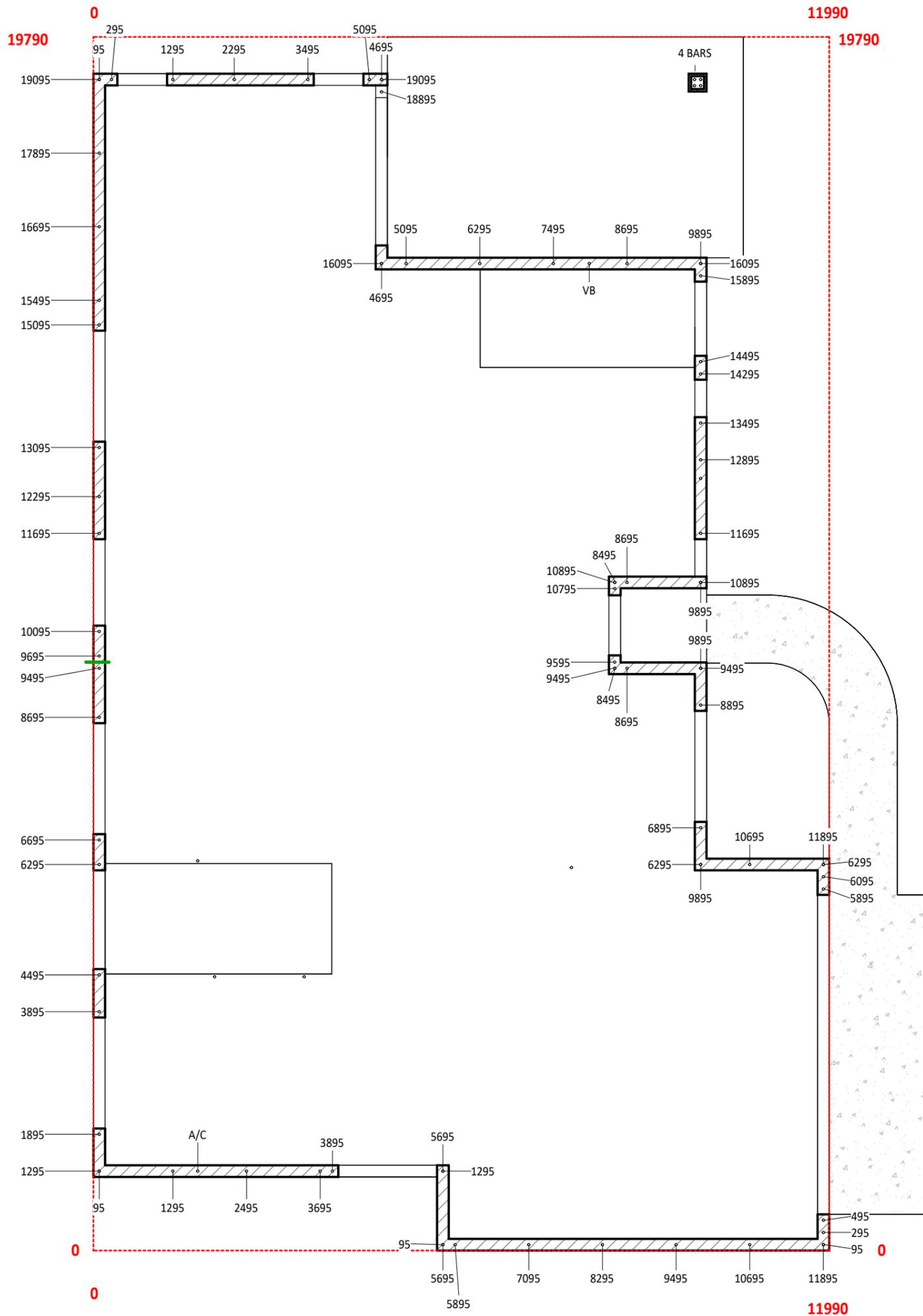
Sheet No. .06 of 10

Issue: **A**

WIND CLASSIFICATION - C2  
SOIL CLASSIFICATION - CLASS M

**NOTE**

PINS WILL BE SET ON THE 4 CORNERS OF THE RED BOX SO  
NEED THE MEASUREMENTS TO RUN FROM THESE POINTS.



I HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

*[Signature]*  
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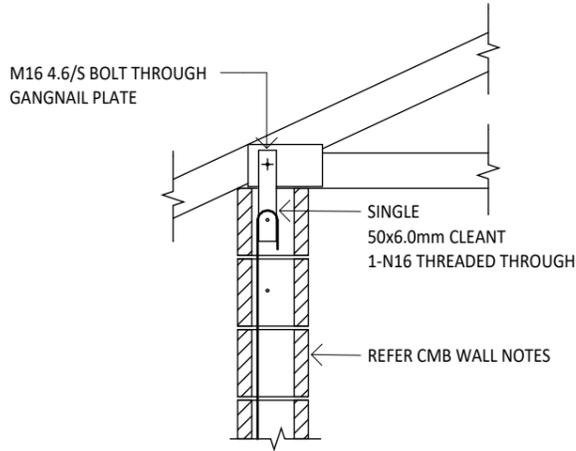
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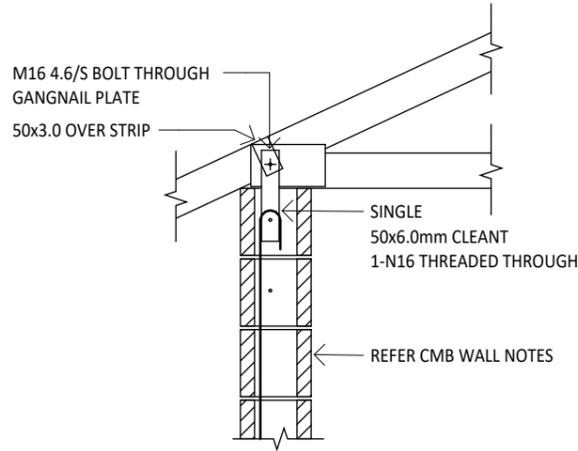
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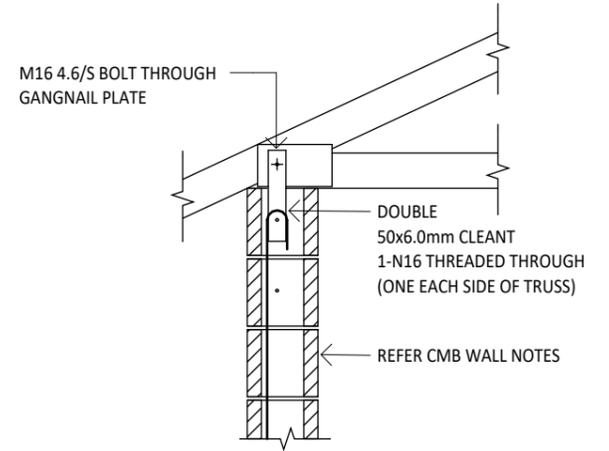
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Scale: 1:75	Job No: <b>HDZ2529B</b>
Sheet No. .07 of 10	
Issue: <b>A</b>	



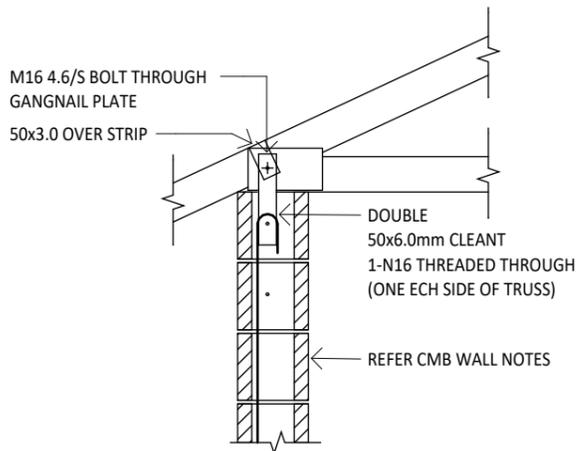
**TD1**  
scale 1 : 20



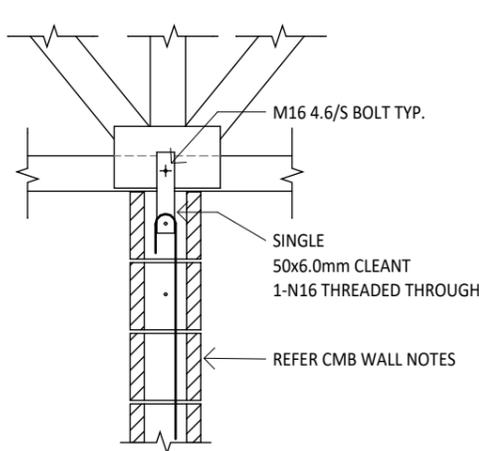
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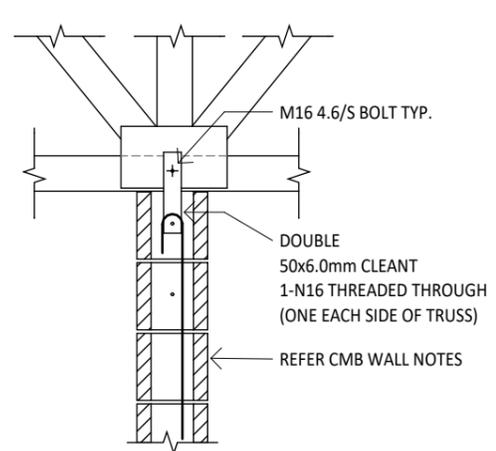
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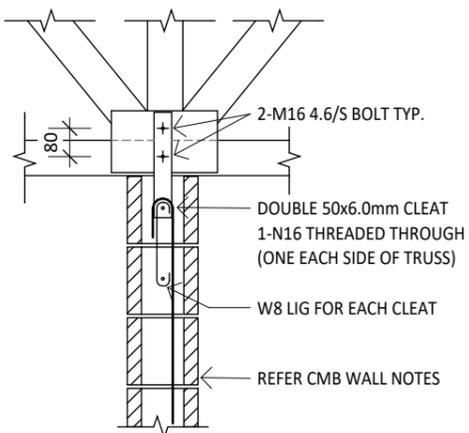
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scale 1 : 20



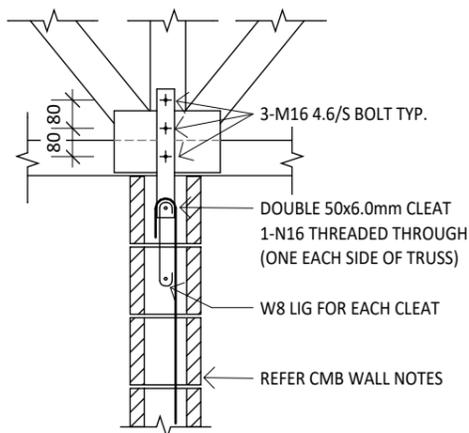
**TD5**  
scale 1 : 20



**TD6**  
scale 1 : 20



**TD7**  
scale 1 : 20



**TD8**  
scale 1 : 20

**UPLIFT RESISTANCE kN (ULTIMATE LIMIT STATE)**

TYPE	TRUSS JOINT GROUP					
	J2	J3	J4	J5	J6	J7
TD1	20	15	10	16	11	8
TD2	35	25	16	23	18	15
TD3	49	44	28	44	36	28
TD4	76	54	34	54	43	34
TD5	20	15	10	16	11	8
TD6	49	44	28	44	36	28
TD7	93	84	53	84	68	53
TD8	128	115	73	115	94	73

NOTE:  
PROVIDE 2-N12 (MIN.) VERTICAL REIN. BARS ADJACENT TO CLEATS WITH TIE-DOWN LOADS GREATER THAN 80kN.

NOTE:  
CLEAT SIZES AND CONNECTION SIMILAR FOR RHS BEAMS

**TRUSS TIE DOWN - DETAILS**  
scale 1 : 20

I HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

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For: Hedley Homes

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Drawing Title:  
**TRUSS CONNECTIONS - B**

Scale: 1:20

Job No:

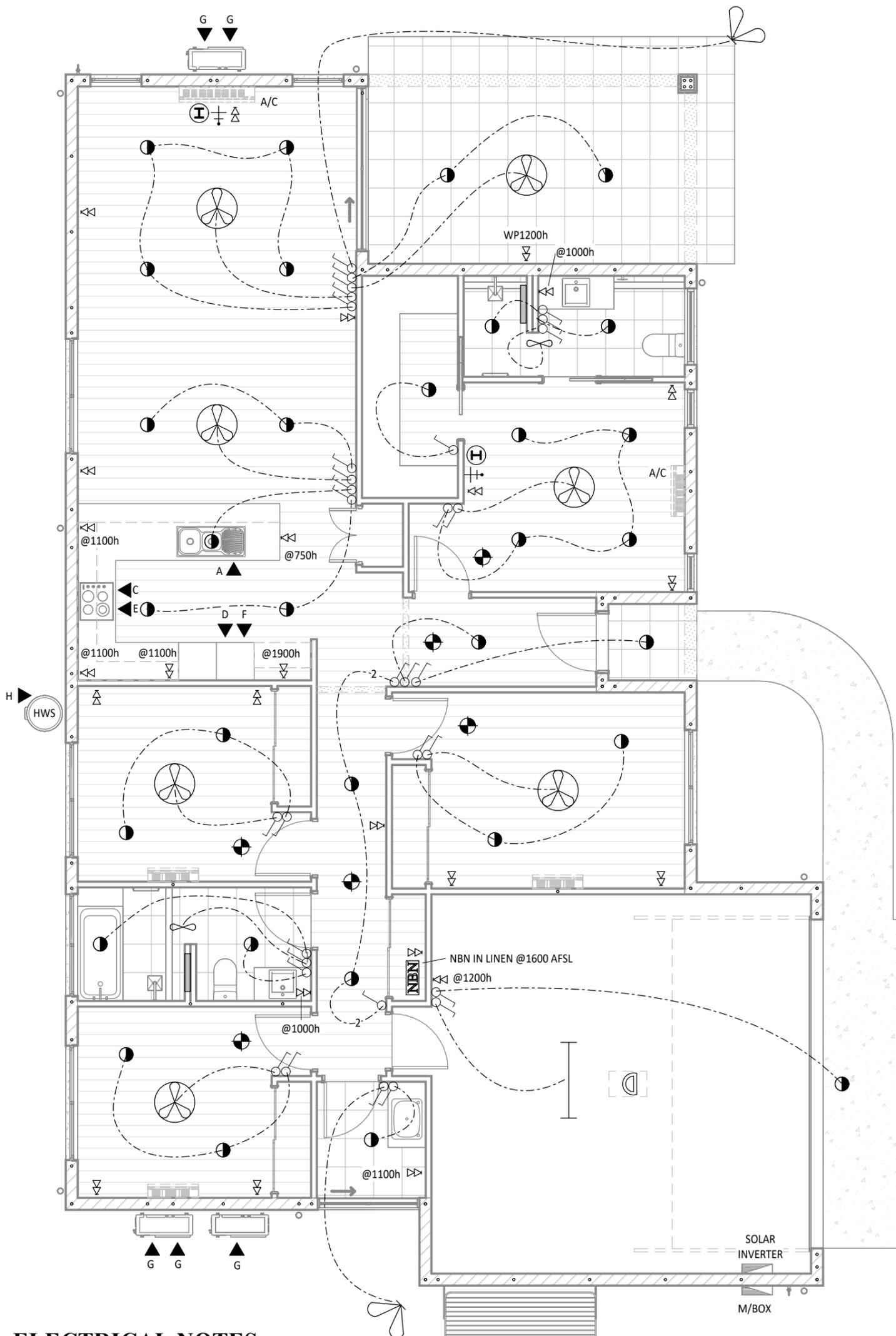
Sheet No. .08 of 10

**HDZ2529B**

Issue: **A**

WIND CLASSIFICATION - C2

SOIL CLASSIFICATION - CLASS M



- SMOKE DETECTOR/ALARM - CLIPSA 755PMSA2 - PHOTOELECTRIC TYPE FIXED WIRED AND INTERCONNECTED WITH BATTERY BACK UP
- CHANDELIER
- AIRFLOW 1200mm CEILING FAN (3 BLADE)
- AIRFLOW 1200mm CEILING FAN (3 BLADE) & ROUND 32 watt FLUORESCENT LIGHT COMBINATION
- 2x 36w FLUORESCENT LIGHT SURFACE MOUNT
- 1x 36w FLUORESCENT LIGHT SURFACE MOUNT
- ROUND FLUORO - 32 watt
- WALL MOUNTED LIGHT - 2020 AFL
- 3 IN 1 HEAT LIGHT FAN COMBO
- RECESSED LED DOWNLIGHTER
- SURFACE MOUNTED FLURO LIGHT
- TELEVISION OUTLET
- TELEPHONE OUTLET
- KITCHEN -1500 AFL
- BED - 300 AFL
- INTERNET OUTLET
- BED - 300 AFL
- EXTERNAL SPOTLIGHT WITH SENSOR
- EXTERNAL SPOTLIGHT
- EXTERNAL DOUBLE PORTA FLOOD LIGHT
- EXTERNAL DOWNLIGHT
- EXTERNAL BUNKER LIGHT
- DOUBLE G.P.O. 10amp OUTLET
- USB
- DOUBLE G.P.O. 10amp OUTLET WITH USB PORTS
- ONE WAY LIGHT FAN / SWITCH @ 1300 AFL UNO
- TWO WAY LIGHT SWITCH @ 1300 AFL UNO
- THREE WAY LIGHT SWITCH @ 1300 AFL UNO
- DIMMER LIGHT SWITCH @ 1300 AFL UNO
- WP DENOTES - WATERPROOF
- PERMANENT POWER OUTLET
- A = D'WASHER
- B = ZIP TAP HARDWARE
- C = RANGEHOOD
- D = OVEN
- E = COOKTOP ELECTRIC
- F = MICROWAVE OVEN
- G = AC CONDENSER
- H = HWS
- GARAGE DOOR REMOTE GPO ON CEILING
- EXHAUST FAN
- COMBO EXHAUST FAN / LIGHT
- PENDANT LIGHT
- LEDLUX AVENUE LED DIMMABLE BAR
- LED-V
- WIFI DATA
- NBN HUB (1x GPO, 1x DATA) ALL @ 1800 AFSL

## ELECTRICAL NOTES

1. ALL ELECTRICAL FITTINGS WILL BE IN POSITIONED AS CLOSE TO DIAGRAM AS POSSIBLE.
2. WALL MOUNTED LIGHTS TO BE 1.9m ABOVE A.F.S.L. EXCEPT:
  - LIGHTS ABOVE WINDOWS & SLIDING DOORS TO BE 2.35m ABOVE A.F.S.L.
  - LIGHTS ABOVE VANITIES TO BE 2.0m ABOVE A.F.S.L.
3. POWER POINTS MOUNTED 0.35m ABOVE A.F.S.L. IN GENERAL AREAS & APPROX. 250mm ABOVE BENCH TOPS.
4. SUPPLY POWER POINT IN CEILING FOR AERIAL.
5. FLOW RATE & DISCHARGE OF EXHAUST FANS MUST COMPLY WITH BCA PART 3.8.7
6. ALLOWANCE FOR POOL PUMP/POWER PROVISION AND 101/m OF UNDERGROUND TO POOL PUMP POSITION.

**PROPOSED RESIDENCE  
LOT 29B CLINTON CLOSE  
MAREEBA QLD 4880**

For: Hedley Homes

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Drawing Title:

**ELECTRICAL PLAN - HOUSE B**

Scale: 1:70

Job No:

Sheet No. .09 of 10

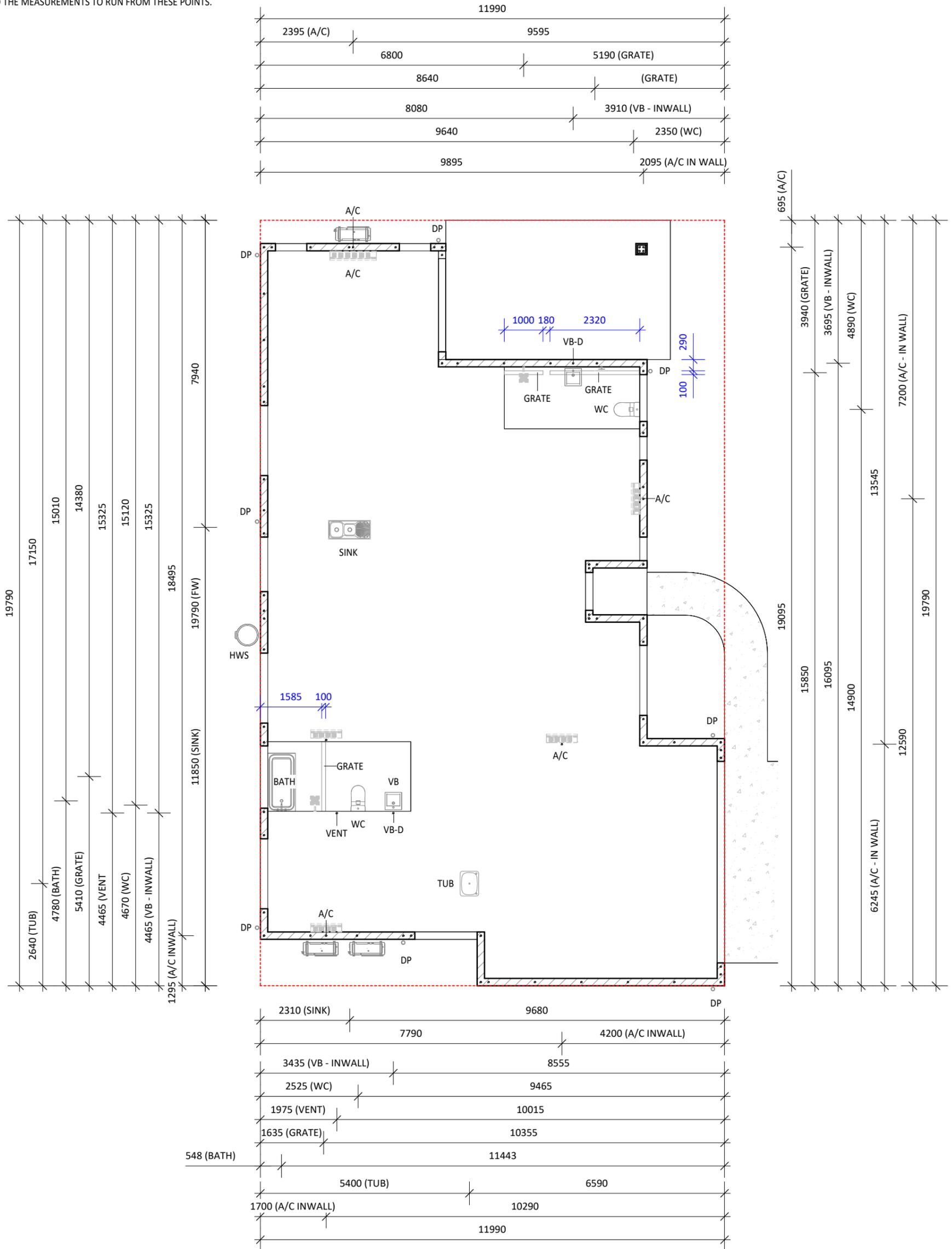
**HDZ2529B**

Issue: **A**

# NOTE

PINS WILL BE SET ON THE 4 CORNERS OF THE RED BOX SO NEED THE MEASUREMENTS TO RUN FROM THESE POINTS.

**WIND CLASSIFICATION - C2**  
**SOIL CLASSIFICATION - CLASS M**



I HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

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Drawing Title:

**PENETRATION PLAN - HOUSE B**

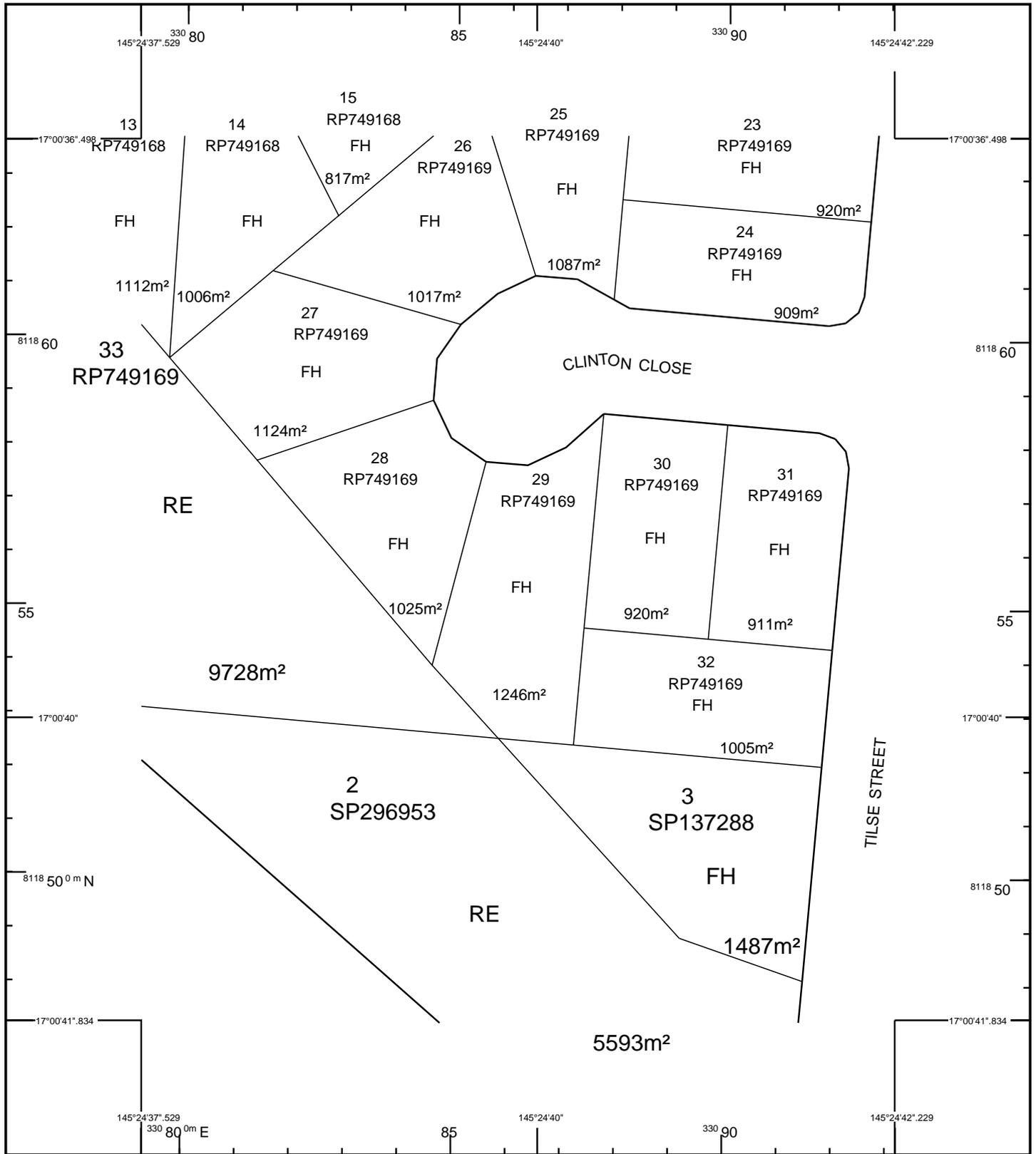
Scale: 1:100

Sheet No. .10 of 10

Issue: **A**

Job No:

**HDZ2529B**



STANDARD MAP NUMBER  
7963-11414



**SmartMap**

An External Product of  
SmartMap Information Services  
Based upon an extraction from the  
Digital Cadastral Data Base

MAP WINDOW POSITION &  
NEAREST LOCATION



**SUBJECT PARCEL DESCRIPTION**

DCDB	29/RP749169
Lot/Plan	1246m <sup>2</sup>
Area/Volume	FREEHOLD
Tenure	MAREEBA SHIRE
Local Government	MAREEBA
Locality	9061/52
Segment/Parcel	

**CLIENT SERVICE STANDARDS**

PRINTED	13/02/2026
DCDB	12/02/2026
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For further information on SmartMap products visit <a href="https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps">https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps</a>	



**Queensland Government**  
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# DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

## PART 1 – APPLICANT DETAILS

### 1) Applicant details

Applicant name(s) (individual or company full name)	Yeldeh Pty Ltd
Contact name (only applicable for companies)	
Postal address (P.O. Box or street address)	C/ Freshwater Planning Pty Ltd 17 Barronview Drive
Suburb	Freshwater
State	QLD
Postcode	4870
Country	Australia
Contact number	0402729004
Email address (non-mandatory)	FreshwaterPlanning@outlook.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	F25/40

### 1.1) Home-based business

Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

### 2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application  
 No – proceed to 3)

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

#### 3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**  
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		6	Clinton Close	Mareeba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4880	29	RP749169	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
 Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

**6.1) Provide details about the first development aspect**

a) What is the type of development? *(tick only one box)*

- Material change of use     Reconfiguring a lot     Operational work     Building work

b) What is the approval type? *(tick only one box)*

- Development permit     Preliminary approval     Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment     Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Quarantined Assessment Application for Dual Occupancy

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

**6.2) Provide details about the second development aspect**

a) What is the type of development? *(tick only one box)*

- Material change of use     Reconfiguring a lot     Operational work     Building work

b) What is the approval type? *(tick only one box)*

- Development permit     Preliminary approval     Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment     Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application



**6.3) Additional aspects of development**

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

**6.4) Is the application for State facilitated development?**

- Yes - Has a notice of declaration been given by the Minister?
- No

**Section 2 – Further development details****7) Does the proposed development application involve any of the following?**

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

**Division 1 – Material change of use**

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

**8.1) Describe the proposed material change of use**

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m <sup>2</sup> ) <i>(if applicable)</i>
Dual Occupancy	Dual Occupancy	2	

**8.2) Does the proposed use involve the use of existing buildings on the premises?**

- Yes
- No

**8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?**

- Yes – provide details below or include details in a schedule to this development application
- No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

**Division 2 – Reconfiguring a lot**

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

**9.1) What is the total number of existing lots making up the premises?**

--

**9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)***

<input type="checkbox"/> Subdivision <i>(complete 10)</i>	<input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>
<input type="checkbox"/> Boundary realignment <i>(complete 12)</i>	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i>



14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

## PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



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- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

**Matters requiring referral to the local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- Heritage places – Local heritage places

**Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:**

- Infrastructure-related referrals – Electricity infrastructure

**Matters requiring referral to:**

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

**Matters requiring referral to the Brisbane City Council:**

- Ports – Brisbane core port land

**Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:**

- Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)
- Ports – Strategic port land

**Matters requiring referral to the relevant port operator, if applicant is not port operator:**

- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)

**Matters requiring referral to the Chief Executive of the relevant port authority:**

- Ports – Land within limits of another port (*below high-water mark*)

**Matters requiring referral to the Gold Coast Waterways Authority:**

- Tidal works or work in a coastal management district (*in Gold Coast waters*)

**Matters requiring referral to the Queensland Fire and Emergency Service:**

- Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

**18) Has any referral agency provided a referral response for this development application?**

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

## PART 6 – INFORMATION REQUEST

### 19) Information request under the DA Rules

- I agree to receive an information request if determined necessary for this development application  
 I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application  
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application  
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached  
 No

## 23) Further legislative requirements

### Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

### Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

**Note:** The environmental offset section of the Queensland Government’s website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

**Note:** Contact the Department of Environment, Science and Innovation at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

**Note:** See guidance materials at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

### Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - A certificate of title

No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

### Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

### Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

**Note:** See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for further information.

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

### 24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

**Note:** See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



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## 25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference number(s):

### Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	