

DRAWING SCHEDULE

W00	1	COVER SHEET
W01	1	SITE PLAN
W02	1	FLOOR PLAN
W03		SLAB PLAN
W04		ROOF PLAN
W06	1	ELEVATIONS
W07		SECTIONS
W08		ELECTRICAL
W09		JOINERY DETAILS

GENERAL NOTES

DESIGN & CONSTRUCTION STANDARDS

COMPLY WITH INDUSTRY STANDARDS INCLUDING:

- \* QUEENSLAND BUILDING ACT - 1975 INCLUDING AMENDMENTS
- \* QUEENSLAND DEVELOPMENT CODE - APPLICABLE STANDARDS
- \* BUILDING CODE OF AUSTRALIA - 2011 OR CURRENT EDITION, INCLUDING ALL REFERENCED AUSTRALIAN STANDARDS
- \* TRADAC TIMBER FRAMING MANUAL TO SUIT THE SPECIFIED DESIGN LOADS
- \* CAIRNS REGIONAL COUNCIL - LOCAL PLAN POLICY CURRENT ISSUE
- \* THE APPLICABLE MANUFACTURES PRINTED INSTRUCTIONS FOR THE INSTALLATION OF ALL PROPRIATARY PRODUCTS AND FINISHES

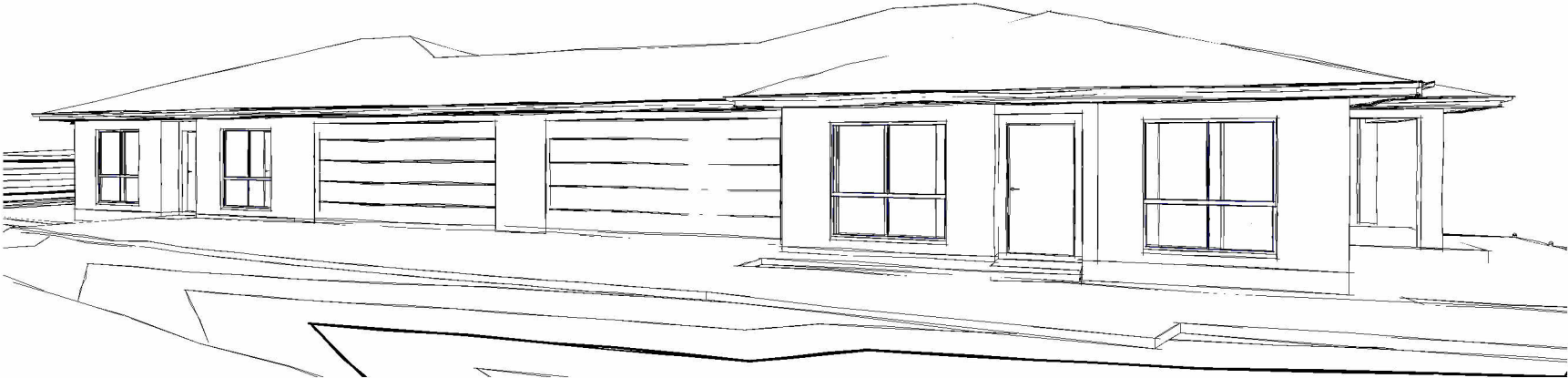
CONNECTION TO SERVICES:

APPLY TO THE RELEVANT SUPPLY AUTHORITIES FOR THE CONNECTION AND APPROVAL OF WATER, SANITARY, ELECTRICAL CONNECTIONS AND OTHER SERVICES AS REQUIRED.

NOTE THAT THESE DRAWINGS ARE APPLICABLE ONLY TO THE SITE IDENTIFIED ON THE DRAWINGS, AND ARE NOT APPLICABLE TO SITES WITH DIFFERING STRUCTURAL, CLIMATIC, OR CORROSSIVITY CRITERIA.

LEGEND

AC	AIR CONDITIONING UNIT	EL	EXISTING LEVEL	SA	SMOKE ALARM
AHD	AUSTRALIAN HEIGHT DATUM	EQ	EQUAL	SB	SWITCHBOARD
AP	ACCESS PANEL	EX	EXISTING	SC1	SCREEN TYPE 1
BTH	BATH	HC	HOSE COCK	SC2	SCREEN TYPE 2
BN	BASIN	HWD	HARDWOOD	SG	SLIDING GLASS
BF	BROOM FINISH	HYD	FIRE HYDRANT	SH	SHELF
CAB	CABINET	F1	FENCE TYPE 1	SHR	SHOWER
CBD	CUPBOARD	F2	FENCE TYPE 2	SK	SINK
C'BOND	COLORBOND	F3	FENCE TYPE 3	SR	SHOWER ROSE
CJ	CONTROL JOINT	FHR	FIRE HOSE REEL	SS	STAINLESS STEEL
C/L	CENTRE LINE	FL	FLOOR LEVEL	TH	TOWEL HOOK
CM	CONCRETE MASONARY	FR	FRIDGE	TR	TOWEL RAIL
CMP	CONCRETE MASONARY PEIR	FT	FLOOR TILES	TRH	TOILET ROLL HOLDER
COL	COLUMN	FWG	FLOOR WASTE GULLY	UBO	UNDER BENCH OVEN
CONC	CONCRETE	FZ	FREEZER	VBL	VENETAIN BLINDS
CONT	CONTINUOUS	HWS	HOT WATER SYSTEM	W.1	WINDOW.NUMBER
COS	CONFIRM ON SITE	FCU	FAN COIL UNIT	WC	WATER CLOSET
CPT	CARPET	FG	FIXED GLASS	WH-1	WINDOW HOOD TYPE 1
CRS	CENTRES	LAM	LAMINATED	WH-2	WINDOW HOOD TYPE 2
CR	CURTAIN TRACK/RAIL	LT	LAUNDRY TUB	WO	WALL OVEN
CS	CLEANERS SINK	MH	MANHOLE	WT	WALL TILE
CT	COOKTOP	MR	MIRROR	ZA	ZINCALUME
DL	DESIGN LEVEL	MSB	MAIN SWITCH BOARD		
DN	DOWN	MW	MICROWAVE		
DP	DOWNPIPE	NS	NON-SLIP		
DP-SS	DOWNPIPE - STAINLESS STEEL	O	OVEN		
DW	DISHWASHER	OH	OVERHEAD		
DWG	DRY WASTE GULLY	O/HANG	OVERHANG		
EJ	EXPANSION JOINT	RHX	RANGEHOOD EXHAUST		



NEW DUPLEX  
AT:  
LOT 46 ANDRE STREET  
MAREEBA 4880  
FOR:  
SCHILLING GROUP PTY LTD

No.	Amendments	Date	NOTE: Unless noted otherwise, all work shall be strictly in accordance with The Building Code of Australia & the Queensland Building Act 1975 both as amended. The Queensland Home Building Code, The Australian Domestic Construction Manual, the relevant adopted Australian Standards, Local Authorities By-Laws & Req's. Accredited Building Products Register & Manufacturers current written recommendations & instructions. Confirm all fittings & fixtures & finishes prior to commencing any work. Construction must not vary from this documentation w/out prior written approval.	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. Dimensions shown may vary to suit actual site conditions. Dimensions shown are nominal. Allowance to be made for finished sizes. Verify all dimensions and site conditions prior to commencing work. This document is and shall remain the property of The Schilling Properties Trust. Unauthorised use of this document in any way is prohibited.	<div>MAC CONSTRUCTIONS</div> <div>Schilling Homes Pty Ltd ATF The Schilling Properties Trust T/A Mac Construction (NQ)</div> <div>QBSA Licence No. 1186169</div> <div>6 Quail Close, Woree, Qld. 4868</div> <div>Ph 0439 831 830 M 0439 831 830</div> <div>Email info@macconstructions.com.au</div>	Proprietor: SCHILLING GROUP PTY LTD		Date 24/02/2025		Scale @ A3		Drawing Title COVER SHEET	
1	For Planning	15/01/26				Printed 19/01/2026 8:00:24 AM		Drawn JES		Checked JLS		Issue Stamp Preliminary	
Document Set ID: 4598788						Soil Class M	Wind Category C2	Drawing Number 2509 - W00		Rev. 1			

CONCRETE DRIVEWAY - 100mm THICKNESS N25 CONCRETE WITH SL72 MESH 40 TOP COVER

EJ — — — EXPANSION JOINT

SJ — — — SAWN JOINT

— -24.00— — EXISTING SURFACE CONTOURS (0.2m INTERVALS)

— -24.00— — DESIGN SURFACE CONTOURS (0.2m INTERVALS)

● DL. DESIGN SURFACE LEVEL

× EL. EXISTING SURFACE LEVEL

× TOP. TOP OF PIT LEVEL

× IL. INVERT LEVEL

→ FALL OF FINISHED SURFACE

■ SW PIT 300x300 STORMWATER PIT

— · — · — ROOF WATER DRAINAGE

— · — · — EXISTING SEWER & MANHOLE

— · — · — EXISTING HOUSE CONNECTION BRANCH

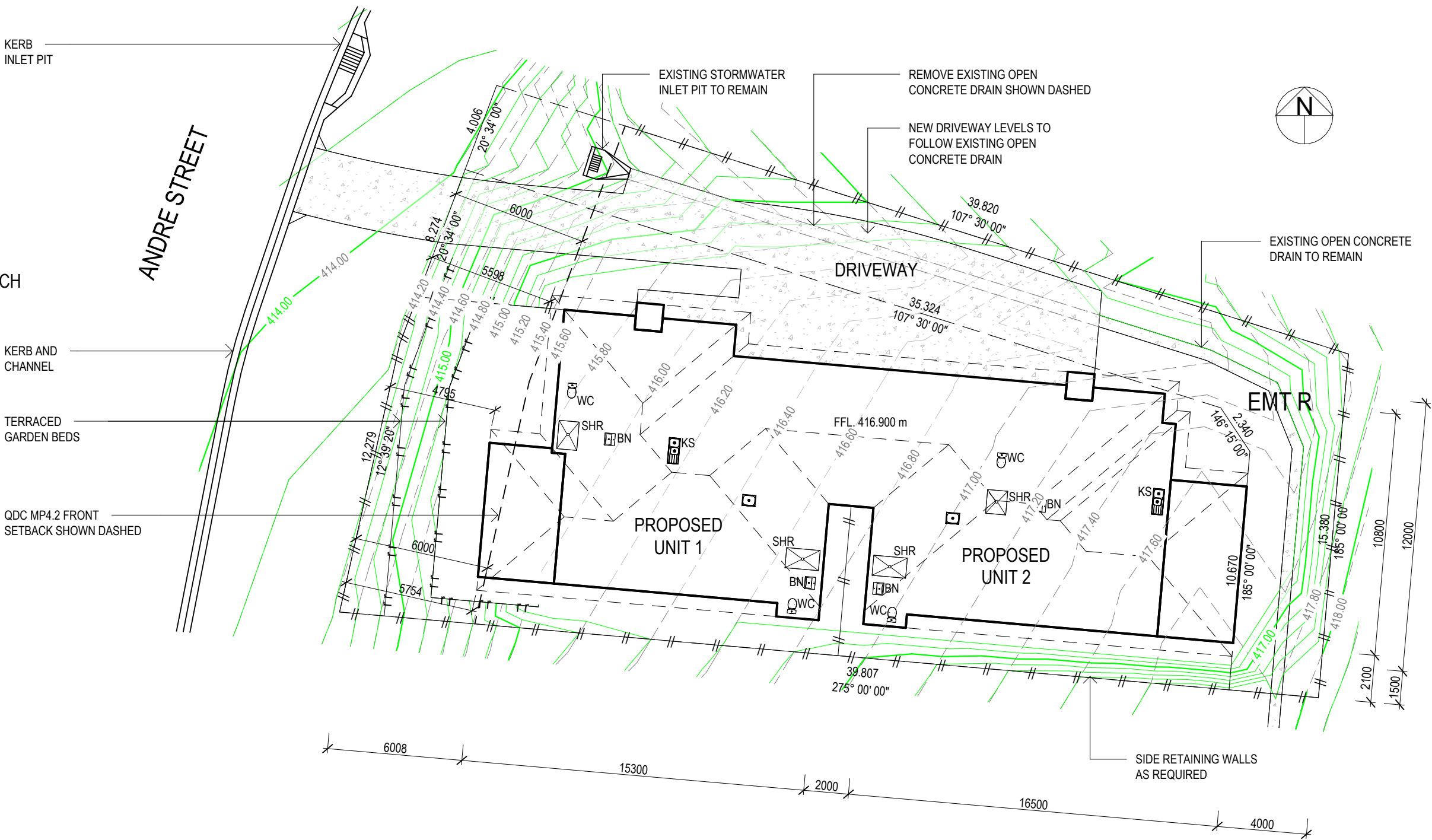
— // — // — FENCING WITH MATCHING GATES

R.P.D.  
LOT: 46  
SP: 321490  
SITE AREA: 835 m<sup>2</sup>  
**PROPOSED DEVELOPMENT**  
BUILDING AREA: 0.00 m<sup>2</sup>  
SITE COVERAGE: 0%

**SITE LEVELS**  
CONFIRM ALL SITE SPOT LEVELS AND APPROVE THE SLAB TOP LEVEL ON SITE BEFORE COMMENCEMENT OF WORKS. SITE SHALL BE GRADED TO ENSURE CROSS FALL AND SURFACE WATER DRAINAGE AWAY FROM THE BUILDING

**PLUMBING**  
CONNECT SEWERAGE TO JUMP-UP WITH 100 PVC-U PIPING. THE LAYOUT SHOWN ON THIS DRAWING IS DIAGRAMMATIC ONLY. LICENCED PLUMBING CONTRACTOR SHALL DETERMINE ALL PLUMBING AND VENTING ON SITE.

STORMWATER DRAINAGE TO STREET KERB DISCHARGE OR STORMWATER MAIN WITH 90 PVC-U PIPING. 300x300 STORMWATER PITS TO BE INSTALLED WHERE NOTED. THE LAYOUT SHOWN IS ON THIS DRAWING IS DIAGRAMMATIC ONLY.

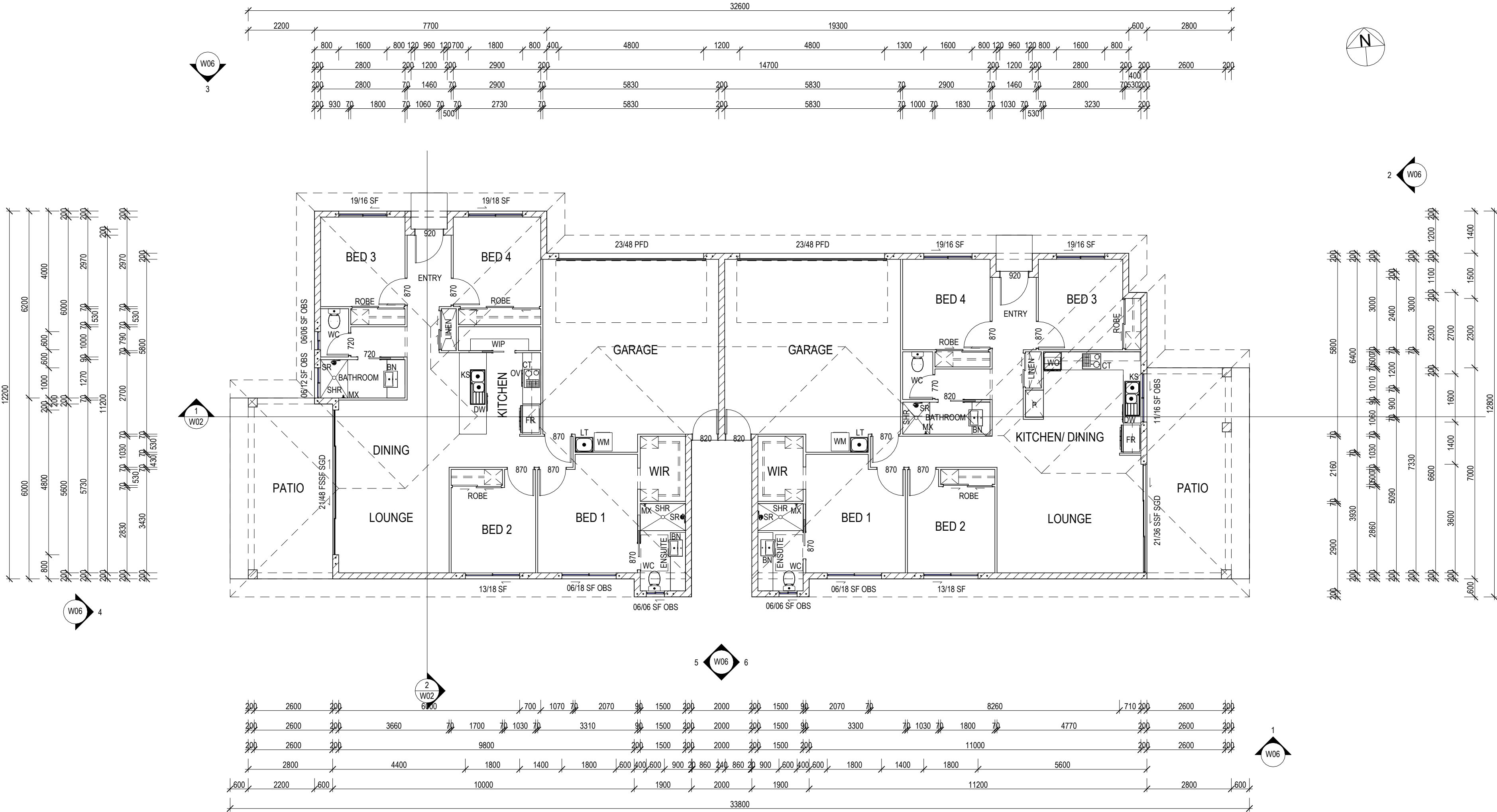


1 SITE PLAN  
1 : 200

No.	Amendments	Date	NOTE: Unless noted otherwise, all work shall be strictly in accordance with The Building Code of Australia & the Queensland Building Act 1975 both as amended. The Queensland Home Building Code, The Australian Domestic Construction Manual, the relevant adopted Australian Standards, Local Authorities By-Laws & Req's. Accredited Building Products Register & Manufacturers current written recommendations & instructions. Confirm all fittings & fixtures & finishes prior to commencing any work. Construction must not vary from this documentation w/out prior written approval.		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. Dimensions shown may vary to suit actual site conditions. Dimensions shown are nominal. Allowance to be made for finished sizes. Verify all dimensions and site conditions prior to commencing work. This document is and shall remain the property of The Schilling Properties Trust. Unauthorised use of this document in any way is prohibited.		MāC CONSTRUCTIONS Schilling Homes Pty Ltd ATF The Schilling Properties Trust T/A Mac Construction (NQ) QBSA Licence No. 1186169 6 Quail Close, Woree, Qld. 4868 Ph 0439 831 830 M 0439 831 830 Email info@macconstructions.com.au		Proprietor: SCHILLING GROUP PTY LTD  Site Address: LOT 46 ANDRE STREET MAREEBA 4880		Date 24/02/2025	Scale 1 : 200 @ A3	Drawing Title SITE PLAN	
1	For Planning	15/01/26									Printed 19/01/2026 8:00:25 AM	Drawn JES	Issue Stamp Preliminary	
												Checked JLS	Drawing Number 2509 - W01	
											Soil Class M	Wind Category C2	Rev. 1	

NETT ROOM AREA	
NAME	AREA
GARAGE	35.06 m²
GARAGE	35.06 m²
LOUNGE	22.83 m²
PATIO	22.65 m²
PATIO	16.02 m²
KITCHEN/ DINING	15.97 m²
KITCHEN	13.62 m²
DINING	12.79 m²
BED 1	12.39 m²
BED 1	12.35 m²
LOUNGE	10.91 m²
BED 2	9.95 m²
BED 2	9.60 m²
BED 3	9.40 m²
BED 4	8.70 m²
BED 4	8.61 m²
BED 3	8.40 m²
ENSUITE	4.35 m²
BATHROOM	3.56 m²
ENTRY	3.53 m²
ENTRY	3.50 m²
ENSUITE	3.45 m²
WIR	3.24 m²
WIR	3.24 m²
BATHROOM	3.07 m²
WIP	2.16 m²
WC	1.58 m²
WC	1.49 m²
Room	Not Placed
	297.46 m²

GROSS AREA	
NAME	AREA
LIIVING H1	150.35 m²
LIVING H2	148.70 m²
PATIO H2	23.80 m²
PATIO H1	20.28 m²
	343.13 m²



## NOTES

CEILING HEIGHT:

## STRUCTURAL NOTES

STARTER BARS (N12) FOR CONCRETE MASONRY WALLS  
SHOWN INDICATIVE FOR CATEGORY C2  
MAX. SPACING:  
COLUMN BARS (2-N16)

## STRUCTURAL LEGEND

L5.1 DENOTES CM BLOCK LINTEL AS DETAILED  
G DENOTES PLASTERBOARD BRACING WALL  
FIXED TO MANUFACTURE'S SPECIFICATION

REFER TO DRAWING:

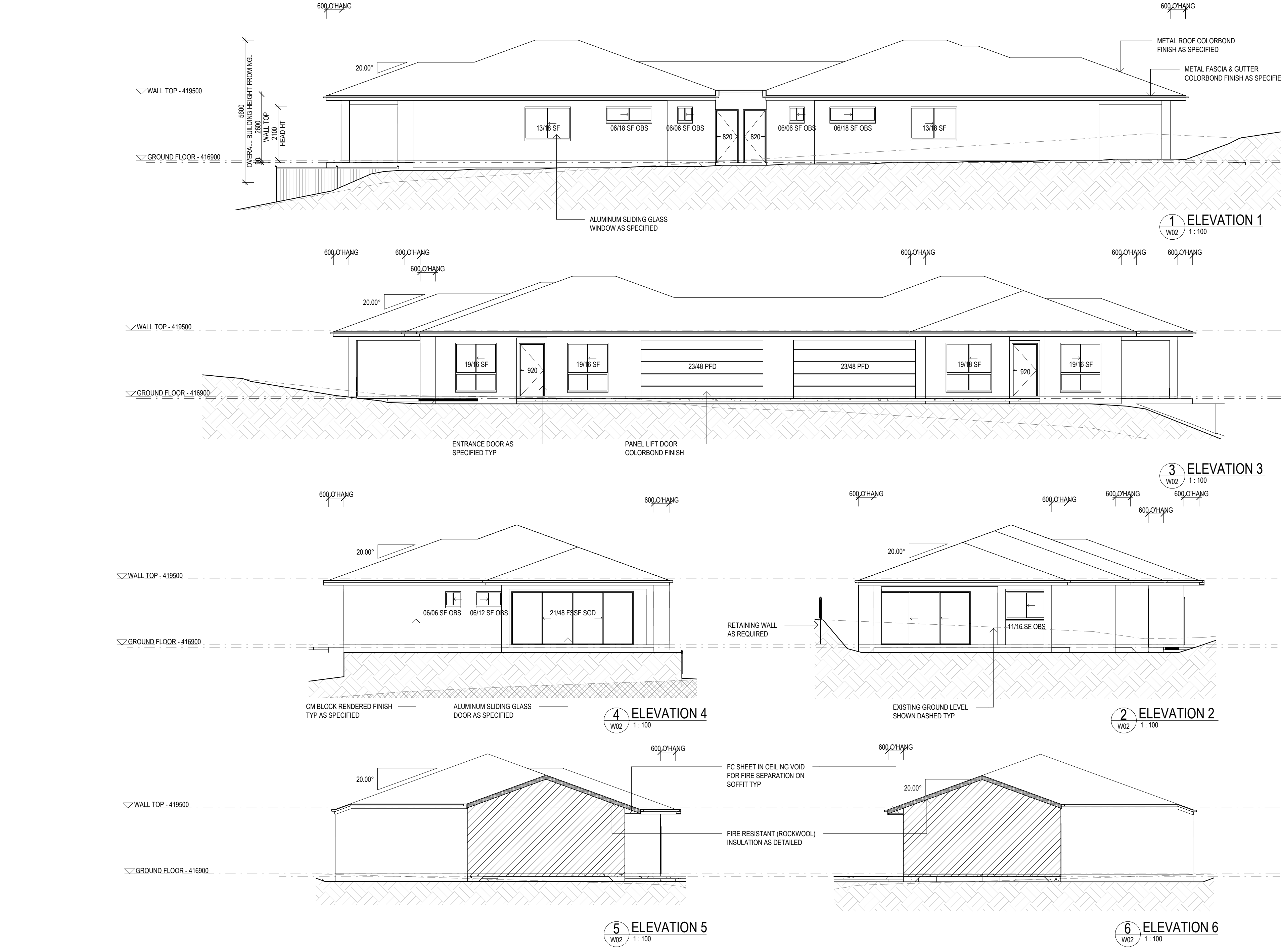
## 1 FLOOR PLAN

1 : 100

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION	
<b>C.M.G. CONSULTING</b> A.C.N. 011 065 375	208 BUCHAN ST. CAIRNS QLD. 4870 PH. 07 4031 2775 FAX. 07 4051 9013

No.	Amendments	Date	NOTE: Unless noted otherwise, all work shall be strictly in accordance with The Building Code of Australia & the Queensland Building Act 1975 both as amended. The Queensland Home Building Code, The Australian Domestic Construction Manual, the relevant adopted Australian Standards, Local Authorities By-Laws & Req's, Accredited Building Products Register & Manufacturers current written recommendations & instructions. Confirm all fittings & fixtures & finishes prior to commencing any work. Construction must not vary from this documentation w/out prior written approval.	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. Dimensions shown may vary to suit actual site conditions. Dimensions shown are nominal. Allowance to be made for finished sizes. Verify all dimensions and site conditions prior to commencing work. This document is and shall remain the property of The Schilling Properties Trust. Unauthorised use of this document in any way is prohibited.	<b>MaC CONSTRUCTIONS</b>	<b>Schilling Group Pty Ltd</b> QBSA Licence No. 15108932 3 Scott Street, Parramatta Park, Qld. 4868 Ph 0439 831 830 M 0439 831 830 Email info@macconstructions.com.au	Proprietor: <b>SCHILLING GROUP PTY LTD</b>  Site Address: <b>LOT 46 ANDRE STREET MAREEBA 4880</b>	Date 24/02/2025 Printed 19/01/2026 8:00:26 AM Soil Class M Wind Category C2	Scale 1 : 100 @ A2 Drawn JES Checked JLS	Drawing Title <b>FLOOR PLAN</b>  Issue Stamp <b>Preliminary</b> Drawing Number 2509 - W02 Rev. 1
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No. Amendments		Date	NOTE: Unless noted otherwise, all work shall be strictly in accordance with The Building Code of Australia & the Queensland Building Act 1975 both as amended. The Queensland Home Building Code, The Australian Domestic Construction Manual, the relevant adopted Australian Standards, Local Authorities By-Laws & Reg's, Accredited Building Products Register & Manufacturers current written recommendations & instructions. Confirm all fittings & fixtures & finishes prior to commencing any work. Construction must not vary from this documentation w/out prior written approval.		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. Dimensions shown may vary to suit actual site conditions. Dimensions shown are nominal. Allowance to be made for finished sizes. Verify all dimensions and site conditions prior to commencing work. This document is and shall remain the property of The Schilling Properties Trust. Unauthorised use of this document in any way is prohibited.		<div><div>MACCONSTRUCTIONS</div><div>Schilling Group Pty Ltd</div><div>QBSA Licence No. 15108932 3 Scott Street, Parramatta Park, Qld. 4868 Ph 0439 831 830 M 0439 831 830 Email info@macconstructions.com.au</div></div>		Proprietor: SCHILLING GROUP PTY LTD  Site Address: LOT 46 ANDRE STREET MAREEBA 4880		Date 24/02/2025	Scale 1 : 100 @ A2	Drawing Title ELEVATIONS	
1 For Planning		15/01/26									Printed 19/01/2026 8:00:28 AM	Drawn JES	Issue Stamp Preliminary	
												Checked JLS	Drawing Number 2509 - W06	
											Soil Class M	Wind Category C2	Rev. 1	

# DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Schilling Group Pty Ltd
Contact name (only applicable for companies)	Jonathan Schilling
Postal address (P.O. Box or street address)	3 Scott Street
Suburb	Parramatta Park
State	Queensland
Postcode	4870
Country	Australia
Contact number	0439 831 830
Email address (non-mandatory)	<a href="mailto:jonno@macconstructions.com.au">jonno@macconstructions.com.au</a>
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	
1.1) Home-based business	
<input type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		19	Andre Street	Mareeba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4880	46	SP321490	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
☒ Not required

### 4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

#### 5) Are there any existing easements over the premises?

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

#### 6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment    ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Duplex

e) Relevant plans

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

#### 6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment    ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application

**6.3) Additional aspects of development**

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

**6.4) Is the application for State facilitated development?**

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

**Section 2 – Further development details****7) Does the proposed development application involve any of the following?**

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

**Division 1 – Material change of use**

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

**8.1) Describe the proposed material change of use**

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Duplex	Duplex	2	343

**8.2) Does the proposed use involve the use of existing buildings on the premises?**

- ☐ Yes
- ☒ No

**8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?**

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

**Division 2 – Reconfiguring a lot**

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

**9.1) What is the total number of existing lots making up the premises?**

--

**9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)**

<input type="checkbox"/> Subdivision (complete 10)	<input type="checkbox"/> Dividing land into parts by agreement (complete 11)
<input type="checkbox"/> Boundary realignment (complete 12)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)



10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
<input type="checkbox"/> Yes – provide additional details below <input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

### Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?		
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage	<input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)		
<input type="checkbox"/> Yes – specify number of new lots:		
<input type="checkbox"/> No		

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

## PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity

- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the Transport Infrastructure Act 1994**:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

**18) Has any referral agency provided a referral response for this development application?**

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

## PART 6 – INFORMATION REQUEST

### 19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No



## 23) Further legislative requirements

### Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

### Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

**Note:** Contact the Department of Environment, Science and Innovation at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

**Note:** See guidance materials at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - ☐ A certificate of title

☒ No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

### **Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation**

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

**Note:** See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for further information.

## **PART 8 – CHECKLIST AND APPLICANT DECLARATION**

### **24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

**Note:** See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☒ Yes

☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable



**Queensland  
Government**

## 25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference number(s):

### Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

### QLeave notification and payment

**Note:** For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	



# BAKER BUILDING CERTIFICATION

Private Building Certifiers

mob: 0448 377 172 phone: 07 4091 3267 web: [www.bakerbuildingcert.com.au](http://www.bakerbuildingcert.com.au)  
address: 5/154 Robert Street, Atherton postal: PO Box 1083, Tolga 4882

RESIDENTIAL | COMMERCIAL | INDUSTRIAL | REMOTE

2 February 2026

Mareeba Shire Council  
PO Box 154  
MAREEBA QLD

Dear Sir/Madam,

## Re: Proposed new construction of Dual Occupancy at Lot 46 / SP321490 – 17 Andre Street Mareeba.

Baker Building Certification has been engaged to assess an application for new construction of a dual occupancy development at the above mentioned allotment. The above allotment is located in the Low Density Residential zone. During the assessment of the building application it was noted that there are two non-compliance issues with the accepted development codes. These being the Low Density Residential Code and Accommodation activities code. The proposed work is assessable and considered building work assessable against the planning scheme. A brief assessment of these codes is provided below.

An assessment against the following the **Low-Density residential code** is provided below.

Table 6.2.6.3a—Low density residential code - For accepted development subject to requirements and assessable development

### Assessment Benchmarks

Performance outcomes	Acceptable outcomes	Applicant response
<b>For accepted and assessable development</b>		
PO1 Building height takes into consideration and respects the following: (a) the height of existing buildings on adjoining premises; (b) the development potential, with respect to height, on adjoining premises; (c) the height of buildings in the vicinity of the site; (d) access to sunlight and daylight for the	AO1 Development has a maximum building height of: (a) 8.5 metres; and (b) 2 storeys above ground level.	The proposed dual occupancy development is less than the acceptable height of 8.5 meters and consists of 1 storey.

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Performance outcomes	Acceptable outcomes	Applicant response
site and adjoining sites; (e) privacy and overlooking; and (f) site area and street frontage length.		
PO2 Domestic outbuildings: (a) do not dominate the lot on which they are located; and (b) are consistent with the scale and character of development in the Low density residential zone.	AO2 Domestic outbuildings do not exceed: (a) 100m <sup>2</sup> in gross floor area; and (b) 5.5 metres in height above natural ground level.	N/A
PO3 Development is sited in a manner that considers and respects: (a) the siting and use of adjoining premises; (b) access to sunlight and daylight for the site and adjoining sites; (c) privacy and overlooking; (d) opportunities for casual surveillance of adjoining public spaces; (e) air circulation and access to natural breezes; and (f) appearance of building bulk; and (g) relationship with road corridors.	AO3.1 Buildings and structures include a minimum setback of: (a) 6 metres from the primary road frontage; and (b) 3 metres from any secondary road frontage.  AO3.2 Buildings and structures include a minimum setback of 2 metres from side and rear boundaries.	Setback requires road boundary referral; similar setbacks can be seen in the neighbourhood
PO4 The density of Accommodation activities: (a) contributes to housing choice and affordability; (b) respects the nature and density of surrounding land use; (c) does not cause amenity impacts beyond the reasonable expectation of accommodation density for the zone; and (d) is commensurate to the scale	AO4 Development provides a maximum density for Accommodation activities in compliance with Table 6.2.6.3B.	Development complies with 400m <sup>2</sup> per site area refer to the attached drawings.

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Performance outcomes	Acceptable outcomes	Applicant response
and frontage of the site.		
PO5 Buildings and structures occupy the site in a manner that: (a) makes efficient use of land; (b) is consistent with the bulk and scale of surrounding buildings; and (c) appropriately balances built and natural features.	AO5 Gross floor area does not exceed 600m2.	Gross area of the development is 343.12m2
PO6 Building facades are appropriately designed to: (a) include visual interest and architectural variation; (b) maintain and enhance the character of the surrounds; (c) provide opportunities for casual surveillance; (d) include a human scale; and (e) encourage occupation of outdoor space.	AO6 Buildings include habitable space, pedestrian entrances and recreation space facing the primary road frontage.	Site plan shows compliance with AO6
PO7 Development complements and integrates with the established built character of the Low density residential zone, having regard to: (a) roof form and pitch; (b) eaves and awnings; (c) building materials, colours and textures; and (d) window and door size and location.	AO7 No acceptable outcome is provided.	N/A
PO8	AO8	N/A

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Performance outcomes	Acceptable outcomes	Applicant response
Non-residential development is only located in new residential areas and: (a) is consistent with the scale of existing development; (b) does not detract from the amenity of nearby residential uses; (c) directly supports the day to day needs of the immediate residential community; and (d) does not impact on the orderly provision of non-residential development in other locations in the shire.	No acceptable outcome is provided.	
PO9 Development must not detract from the amenity of the local area, having regard to: (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions.	AO9 No acceptable outcome is provided.	N/A
PO10 Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to: (a) noise; (b) hours of operation; (c) traffic;	AO10 No acceptable outcome is provided.	N/A



Performance outcomes	Acceptable outcomes	Applicant response
(d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions.		

Table 9.3.1.3A Accommodation activities code

## Assessment Benchmarks

PO1 Accommodation activities are located on a site that includes sufficient area: (a) to accommodate all buildings, structures, open space and infrastructure associated with the use; and (b) to avoid adverse impacts on the amenity or privacy of nearby land uses.	AO1 Development is located on a site which provides the applicable minimum site area and minimum road frontage specified in Table 9.3.1.3B.	The site does not comply with the minimal site area for dual occupancy use. But complies with the minimum area required per unit under the LDR accepted criteria.
PO2 Accommodation activities are provided with on-site refuse storage areas that are: (a) sufficient to meet the anticipated demand for refuse storage; and (b) appropriately located on the site having regard to potential odour and noise impacts on uses on the site and adjoining sites.	AO2.1 A refuse area is provided that: (a) includes a water connection; (b) is of a size and configuration to accommodate 2x240 litre bins per dwelling or accommodation unit where involving a use other than a residential care facility or retirement facility; and (c) is of a size and configuration to accommodate a minimum of two bulk refuse bins where involving a residential care facility or retirement facility.	Refer to the attached drawings, the project will comply with the acceptable solutions.

<p>PO3 Accommodation activities are designed to avoid overlooking or loss of privacy for adjoining uses.</p> <p>Note—These provisions apply to any adjoining use, both on an adjoining site and on the same site.</p>	<p>AO3 The windows of habitable rooms: (a) do not overlook the windows of a habitable room in an adjoining dwelling or accommodation unit; or (b) are separated from the windows of a habitable room in an adjoining dwelling or accommodation unit by a distance greater than: (i) 2 metres at ground level; and (ii) 8 metres above ground level; or (c) are treated with: (i) a minimum sill height of 1.5 metres above floor level; or (ii) fixed opaque glass installed below 1.5 metres; or (iii) fixed external screens; or (iv) a 1.5 metre high screen fence along the common boundary.</p>	<p>Refer to the attached drawings, the project will comply with the acceptable solutions.</p>
<p>PO4 Accommodation activities are provided with sufficient private and communal open space areas which: (a) accommodate a range of landscape treatments, including soft and hard landscaping; (b) provide a range of opportunities for passive and active recreation; (c) provide a positive outlook and high quality of amenity to residents; (d) is conveniently located and easily accessible to all residents; and (e) contribute to an active and attractive streetscape.</p>	<p>AO4.1 Development, except for Caretaker's accommodation, Dwelling house, Dual occupancy or Home based business, includes communal open space which meets or exceeds the minimum area, dimension and design parameters specified in Table 9.3.1.3C.</p> <p>AO4.2 Development includes private open space for each dwelling or accommodation unit which meets or exceeds the minimum area, dimension and design parameters specified in Table 9.3.1.3D.</p> <p>AO4.3 Clothes drying areas are provided at the side or rear of the site so that they are not visible from the street.</p> <p>AO4.4</p>	<p>Refer to the attached drawings, the project will comply with the acceptable solutions.</p>

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	<p>If for Dual occupancy, Multiple dwelling, Residential care facility or Retirement facility, development provides a secure storage area for each dwelling or accommodation unit which:</p> <p>(a) is located to facilitate loading and unloading from a motor vehicle;</p> <p>(b) is separate to, and does not obstruct, on-site vehicle parking or manoeuvring areas;</p> <p>(c) has a minimum space of 2.4m<sup>2</sup> per dwelling or accommodation unit;</p> <p>(d) has a minimum height of 2.1 metres;</p> <p>(e) has minimum dimensions to enable secure bicycle storage;</p> <p>(f) is weather proof; and</p> <p>(g) is lockable.</p>	
<p>PO7</p> <p>Where establishing a Dual occupancy on a corner lot, the building is designed to:</p> <p>(a) maximise opportunities for causal surveillance;</p> <p>(b) provide for separation between the two dwellings; and</p> <p>(c) provide activity and visual interest on both frontages.</p>	<p>A07.1</p> <p>Where located on a corner allotment, each dwelling is accessed from a different road frontage.</p> <p>A07.2</p> <p>The maximum width of garage or carport openings that face a public street is 6 metres or 50% of the building width, whichever is the lesser.</p>	N/A

Street view of the property

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Satellite imagery of the site





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## Recommendation

The proposal generally appears to satisfy the performance criteria stated in the Codes listed above as the report above indicates. A set of development plans are included with this application and are attached.

## BAKER BUILDING CERTIFICATION

*Private Building Certifiers*

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RESIDENTIAL | COMMERCIAL | INDUSTRIAL | REMOTE

Should you have any further questions please do not hesitate to contact the Clayton Baker on 0448377172 or [clayton@bakerbuildingcert.com.au](mailto:clayton@bakerbuildingcert.com.au).

Yours faithfully.



Clayton Baker - Baker Building Certification.