

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Clare Eldred c/- Scope Town Planning
Contact name (only applicable for companies)	Johnathan Burns
Postal address (P.O. Box or street address)	183 Summerfields Drive
Suburb	Caboolture
State	Qld.
Postcode	4510
Country	Australia
Contact number	0450 781 841
Email address (non-mandatory)	jburns@scopetownplanning.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	25016

1.1) Home-based business

☒ Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- ☒ Yes – the written consent of the owner(s) is attached to this development application
☐ No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		27	Mason Street	Mareeba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4880	26	M35630	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

8 Unit Multiple Dwelling

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
8 Unit Multiple Dwelling	Multiple Dwelling	8	480

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☒ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10)	<input type="checkbox"/> Dividing land into parts by agreement (complete 11)
<input type="checkbox"/> Boundary realignment (complete 12)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
<input type="checkbox"/> Yes – provide additional details below <input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?		
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage	<input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)		
<input type="checkbox"/> Yes – specify number of new lots:		
<input type="checkbox"/> No		
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)		
\$		

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity
- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity

- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the local government:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the Brisbane City Council:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the relevant port operator, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the Chief Executive of the relevant port authority:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the Gold Coast Waterways Authority:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the Queensland Fire and Emergency Service:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below

☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:

Proposed ERA threshold:

Proposed ERA name:

☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application

☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17	<input checked="" type="checkbox"/> Yes
Note: See the Planning Regulation 2017 for referral requirements	
If building work is associated with the proposed development, Parts 4 to 6 of DA Form 2 – Building work details have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application	<input checked="" type="checkbox"/> Yes
Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template .	
Relevant plans of the development are attached to this development application	<input checked="" type="checkbox"/> Yes
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Individual owner's consent for making a development application under the *Planning Act 2016*

I, Claire Elizabeth Eldred

as owner of the premises identified as follows:

Lot 26 on M35630
27 Mason Street, Mareeba Qld. 4880

consent to the making of a development application under the *Planning Act 2016* by:

Scope Town Planning

on the premises described above for:

Material Change of Use – Multiple Dwelling


[signature of owner and date signed]

Appendix 1: Planning Code Assessment

Material Change of Use Multiple Dwelling

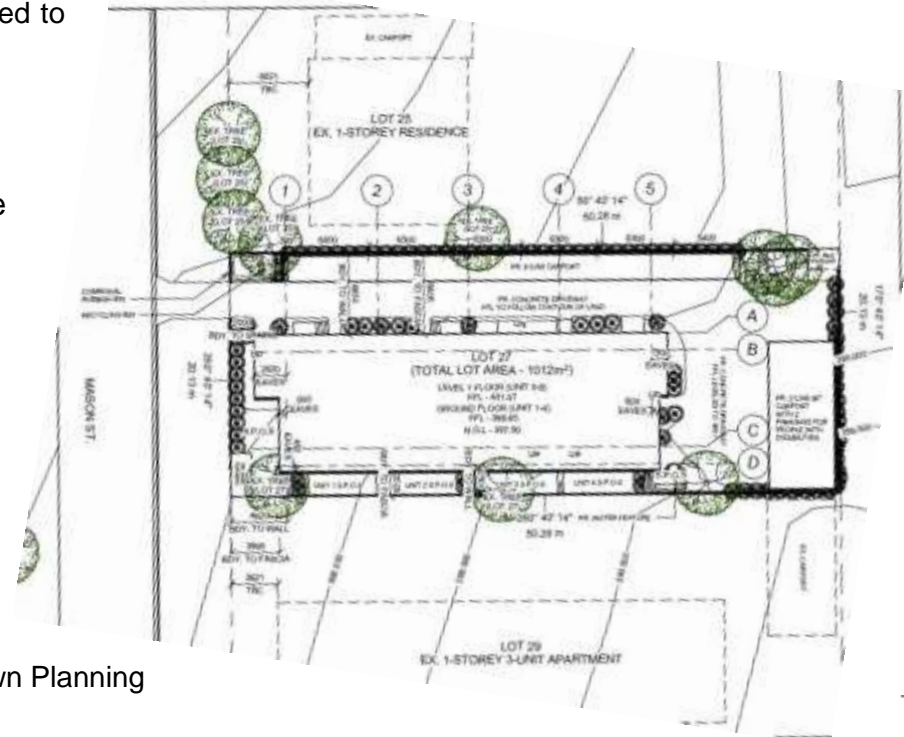
27 Mason Street, Mareeba Qld. 4880
Lot 26 on M35630

Appendix 1: Assessment against the Mareeba Shire Planning Codes

APPLICATION		PREMISES	
FILE NO:	25016	ADDRESS:	27 Mason Street, Mareeba Qld. 4880
APPLICANT:	Mr Jan Eldred c/- STP	RPD:	Lot 26 on M35630
LODGED BY:	Scope Town Planning	AREA:	1012m ²
DATE LODGED:	November 2025	OWNER :	Mr Jan Eldred
TYPE OF APPROVAL:	Material Change of Use		
PROPOSED DEVELOPMENT:	Multiple Dwelling		
PLANNING SCHEME:	Mareeba Shire Council Planning Scheme (2016)		
ZONE:	Medium Density Residential		
LEVEL OF ASSESSMENT:	Code		
SUBMISSIONS:	N/A		

As identified in Part 5 of the Planning Scheme, this development is required to satisfy the Performance Outcomes of the following Codes:

- 6.2.7 Medium Density Residential Zone Code
- 8.2.4 Environmental Significance Overlay Code
- 8.2.10 Residential Dwelling House and Outbuilding Overlay Code
- 9.3.1 Accommodation Activities Code
- 9.4.2 Landscaping Code
- 9.4.3 Parking and Access Code
- 9.4.5 Works, services and infrastructure Code



Prepared by Scope Town Planning

6.2.7 Medium Density Residential Zone Code

The development site is located within the Medium Density Residential Zone of the Mareeba Shire Planning Scheme (2016).



6.2.7.3 Criteria for assessment

Table 6.2.7.3A—Medium density residential zone code - For accepted development subject to requirements and assessable development.

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
Height			
PO1 Building height takes into consideration and respects the following: (a) the height of existing buildings on adjoining premises; (b) the development potential, with respect to height, on adjoining premises; (c) the height of buildings in the vicinity of the site; (d) access to sunlight and daylight for the site and adjoining sites; (e) privacy and overlooking; and (f) site area and street frontage length.	AO1 Development has a maximum building height of: (a) 8.5 metres; and (b) 2 storeys above ground level.	✓	Complies The proposed development has a maximum building height of 7.013m.
Outbuildings and residential scale			
PO2 Domestic outbuildings: (a) do not dominate the lot on which they are located; and (b) are consistent with the scale and character of development in the Low-density residential zone.	AO2 Domestic outbuildings do not exceed: (a) 100m ² in gross floor area; and (b) 5.5 metres in height above natural ground level.	n/a	Not Applicable No domestic outbuildings are proposed.

Siting			
PO3 Development is sited in a manner that considers and respects: (a) the siting and use of adjoining premises; (b) access to sunlight and daylight for the site and adjoining sites; (c) privacy and overlooking; (d) opportunities for casual surveillance of adjoining public spaces; (e) air circulation and access to natural breezes; and (f) appearance of building bulk; and (g) relationship with road corridors.	AO3.1 Buildings and structures include a minimum setback of: (a) 6 metres from the primary road frontage; and (b) 3 metres from any secondary road frontage.	✓	Complies with PO Building front wall setback to frontage boundary is 4.62m. Front stairwell to frontage boundary is 2.0m. The setback to the main building wall is only 1.38m shy of the allowable 6m setback and is considered a minor shortfall. The front stairwell setback is a necessary design element and does not concern a habitable room. Neither setback issue adversely impacts on adjoining properties including matters of siting, sunlight access, privacy, security, air circulation, aesthetics or access.
	AO3.2 Buildings and structures include a minimum setback of 2 metres from side and rear boundaries.	✓	Complies The proposed building has a southern fascia to boundary setback of 2m and northern fascia to boundary setback of 6.803m.

Accommodation density			
PO4 The density of Accommodation activities: (a) contributes to housing choice and affordability; (b) respects the nature and density of surrounding land use; (c) does not cause amenity impacts beyond the reasonable expectation of accommodation density for the zone; and (d) is commensurate to the scale and frontage of the site.	AO4 Development provides a maximum density for Accommodation activities in compliance with Table 6.2.7.3B .	✓	Complies with PO The maximum site accommodation activity density at 1012m ² site area is 6.75 dwellings. Proposed density at 8 dwellings is 1 dwelling per 126.5m ² . Maximum site bedroom count at 1012m ² is 13.5 bedrooms. Proposed bedroom count at 2 bedrooms per dwelling is 16 bedrooms. The proposed density contributes to housing choice and affordability, makes for efficient use of the site and is appropriate for the zone and location of the site.
Gross floor area			
PO5 Buildings and structures occupy the site in a manner that: (a) makes efficient use of land; (b) is consistent with the bulk and scale of surrounding buildings; and (c) appropriately balances built and natural features.	AO5 Gross floor area does not exceed 600m ² .	✓	Complies The proposed GFA of all units, excluding stairwells, patios and private open space is 480m ² .

For assessable development			
Building design			
PO6 Building facades are appropriately designed to: (a) include visual interest and architectural variation; (b) maintain and enhance the character of the surrounds; (c) provide opportunities for casual surveillance; (d) include a human scale; and (e) encourage occupation of outdoor space.	AO6 Buildings include habitable space, pedestrian entrances and recreation space facing the primary road frontage.	✓	Complies with PO The proposed building design incorporates visual interest and architectural variation, maintains and enhances the character of the surrounds, provides opportunities for casual surveillance and encourages the occupation of outdoor space and the use of local recreation facilities.
PO7 Development complements and integrates with the established built character of the Medium density residential zone, having regard to: (a) roof form and pitch; (b) eaves and awnings; (c) building materials, colours and textures; and (d) window and door size and location.	AO7 No acceptable outcome is provided.	✓	Complies with PO The proposed building design incorporates roof, eaves, awnings, building materials, colours, textures, window / door size and locations which meet the expectations for the zone and are appropriate for the location and environmental conditions.
Non-residential development			
PO8 Non-residential development: (a) is consistent with the scale of existing development; (b) does not detract from the amenity of nearby residential uses; (c) directly supports the day to day needs of the immediate residential community; and (d) does not impact on the orderly provision of non-residential development in other locations in the shire.	AO8 No acceptable outcome is provided.	n/a	Not Applicable The proposed development does not involve non-residential uses.

Amenity			
PO9 Development must not detract from the amenity of the local area, having regard to: (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions.	AO9 No acceptable outcome is provided.	✓	Complies with PO The proposed development is a low impact residential use and will not detract from the amenity of the local area.
PO10 Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to: (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions.	AO10 No acceptable outcome is provided.	✓	Complies with PO There are no known existing negative environmental impacts.

Table 6.2.7.3B—Maximum densities for Accommodation activities

Use	Maximum density
Dual occupancy	1 dwelling per 300m ² of site area
Multiple dwelling	(a) 1 dwelling per 150m ² of site area; and (b) 1 bedroom per 75m ² of site area.
Residential care facility	1 dwelling or accommodation unit per 100m ² of site area.
Retirement facility	1 dwelling or accommodation unit per 150m ² of site area

8.2.4 Environmental Significance Overlay Code

The proposed development is assessable against the provisions of the Environmental Significance Overlay area of the Mareeba Shire Planning Scheme (100m buffer).



8.2.4.3 Criteria for assessment

Table 8.2.4.3A - Environmental significance overlay code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Regulated vegetation		
<p>PO1 Vegetation clearing in areas mapped as 'Regulated vegetation' identified on the Environmental Significance Overlay Maps (OM-004a-o) is avoided unless:</p> <ul style="list-style-type: none"> (a) it is demonstrated that the area does not support regulated vegetation as mapped; (b) the loss or reduction in regulated vegetation is for community infrastructure and associated access facilities that cannot be avoided; (c) wildlife interconnectivity is maintained or enhanced at a local and regional scale; and (d) the loss or reduction in regulated vegetation is minimised and any residual impacts are offset. <p>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</p>	<p>AO1 No clearing of native vegetation is undertaken within areas of 'Regulated vegetation' identified on the Environmental Significance Overlay Maps (OM-004a-o).</p>	<p>Complies No clearing of native vegetation is proposed.</p>

<p>PO2 Development on sites adjacent to areas of 'Regulated vegetation' identified on the Environmental Significance Overlay Maps (OM-004a-o) protects the environmental significance of regulated vegetation and:</p> <ul style="list-style-type: none"> (a) does not interrupt, interfere, alter or otherwise impact on underlying natural ecosystem processes such as water quality, hydrology, geomorphology and biophysical processes; (b) does not negatively impact the movement of wildlife at a local or regional scale; and (c) avoids noise, light, vibration or other edge affects, including weed and pest incursion on identified environmental values. <p>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</p>	<p>AO2 Development (excluding roads, earthworks, drainage infrastructure and underground infrastructure) is not located within 20 metres of 'Regulated vegetation' areas identified on the Environmental Significance Overlay Maps (OM-004a-o).</p>	<p>Complies The proposed development is not located within 20 metres of any 'Regulated vegetation' mapped areas.</p>
<p>Regulated vegetation intersecting a watercourse</p>		
<p>PO3 Vegetation clearing in areas mapped as 'Regulated vegetation intersecting a watercourse', identified as 'Waterway' and 'Waterway buffer' on the Environmental Significance - Waterway Overlay Maps (OM-004p-z) is avoided unless wildlife interconnectivity between habitats is maintained or enhanced at a local and regional scale, to the extent that migration or normal movement of significant species between habitats or normal gene flow between populations is not inhibited.</p> <p>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</p>	<p>Where within a 'Waterway buffer' on Environmental Significance - Waterway Overlay Maps (OM-004p-z)</p> <p>AO3.1 A minimum setback in accordance with Table 8.2.4.3B is provided between development and the top of the high bank of a 'Waterway' identified on the Environmental Significance - Waterway Overlay Maps (OM-004p-z).</p>	<p>Complies No clearing of native vegetation is proposed.</p> <p>The development area is located in excess of 50m of the top of the high bank of the waterway.</p>

	<p>Where within a 'Waterway buffer' on Environmental Significance - Waterway Overlay Maps (OM-004p-z)</p> <p>AO3.2 No clearing of native vegetation is undertaken within the minimum setback identified at AO3.1.</p>	<p>Complies No clearing of native vegetation is proposed.</p>
Waterways and wetlands		
<p>PO4 'High ecological significance wetlands' identified on the Environmental Significance Overlay Maps (OM-004a-o) and 'Waterways' on Environmental Significance - Waterway Overlay Maps (OM-004p-z) and are protected by:</p> <ul style="list-style-type: none"> (a) maintaining adequate separation distances between waterways/wetlands and development; (b) maintaining and enhancing aquatic and terrestrial habitat including vegetated corridors to allow for native fauna (terrestrial and aquatic) movement; (c) maintaining waterway bank stability by minimising bank erosion and slumping; (d) maintaining water quality by providing buffers to allow filtering of sediments, nutrients and other pollutants; and (e) retaining and improving existing riparian vegetation and existing vegetation associated with a wetland. <p>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</p>	<p>Where within a 'Waterway buffer' on Environmental Significance - Waterway Overlay Maps (OM-004p-z)</p> <p>AO4.1 A minimum setback in accordance with Table 8.2.4.3B is provided between development and the top of the high bank of a 'Waterway' identified on the Environmental Significance - Waterway Overlay Maps (OM-004p-z).</p>	<p>Complies No clearing of native vegetation is proposed.</p> <p>The development area is located in excess of 50m of the top of the high bank of the waterway.</p>

	<p>Where within a 'High ecological significance wetland buffer' on Environmental Significance Overlay Maps (OM-004a-o)</p> <p>AO4.2 A minimum buffer of 200 metres is provided between development and the edge of a 'High ecological significance wetland' identified on the Environmental Significance Overlay Maps (OM-004a-o).</p>	<p>Not Applicable The building site is not located within a 'High ecological significance wetland buffer'.</p>
	<p>Where within a 'Waterway buffer' on Environmental Significance - Waterway Overlay Maps (OM-004p-z) or 'High ecological significance wetland buffer' on Environmental Significance Overlay Maps (OM-004a-o)</p> <p>AO4.3 No stormwater is discharged to a 'Waterway' on Environmental Significance - Waterway Overlay Maps (OM-004p-z) or 'High ecological significance wetland' identified on the Environmental Significance Overlay Maps (OM-004a-o).</p> <p><small>Note— An alternative outcome is required to demonstrate that the ecological impacts of stormwater discharge to a 'Waterway' or 'High ecological significance wetland' are mitigated in accordance with PO3 through appropriate stormwater management / treatment (where possible).</small></p>	<p>Complies No clearing of native vegetation is proposed.</p> <p>The development area is located in excess of 50m of the top of the high bank of the waterway.</p> <p>No stormwater will be discharged to a waterway.</p>
	<p>Where within a 'Waterway buffer' on Environmental Significance - Waterway Overlay Maps (OM-004p-z) or 'High ecological significance wetland buffer' on Environmental Significance Overlay Maps (OM-004a-o)</p> <p>AO4.4 No wastewater is discharged to a 'Waterway' on Environmental Significance - Waterway Overlay Maps (OM-004p-z) or 'High ecological significance wetland' identified on the Environmental Significance Overlay Map (OM-004a-z).</p> <p><small>Note— A alternative outcome is required to demonstrate that the ecological impacts of wastewater discharge to a 'Waterway' or 'High ecological significance wetland' are mitigated in accordance with PO3 through appropriate wastewater management / treatment (where possible).</small></p>	<p>Complies No clearing of native vegetation is proposed.</p> <p>The development area is located in excess of 50m of the top of the high bank of the waterway.</p> <p>No wastewater will be discharged to a waterway.</p>

For assessable development		
Wildlife Habitat		
<p>PO5 Development within a 'Wildlife habitat' area identified on the Environmental Significance Overlay Maps (OM-004a-o):</p> <ul style="list-style-type: none"> (a) protects and enhances the habitat of Endangered, Vulnerable and Near Threatened (EVNT) species and local species of significance; (b) incorporates siting and design measures to protect and retain identified ecological values and underlying ecosystem processes within or adjacent to the development site; (c) maintains or enhances wildlife interconnectivity at a local and regional scale; and (d) mitigates the impact of other forms of potential disturbance (such as presence of vehicles, pedestrian use, increased exposure to domestic animals, noise and lighting impacts) to protect critical life stage ecological processes (such as feeding, breeding or roosting). <p><small>Note—Development applications must identify any EVNT species or their habitats that may be affected by the proposal. In particular, applications are to identify and describe how the development avoids adverse impacts on ecological processes within or adjacent to the development area. Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</small></p>	<p>AO5 No acceptable outcome is provided.</p>	<p>Not Applicable The building site is not located within a 'Wildlife habitat' area.</p>
Legally secured offset areas		
<p>PO6 Development within a 'Legally secured offset area' identified on the Environmental Significance Overlay Maps (OM-004a-o) or other known Legally Secured Offset Area is consistent with the binding requirements of the offset and does not prejudice, undermine, or negatively impact the inherent ecological values, including all naturally occurring native flora, fauna and their habitat within the Legally Secured Offset Area.</p> <p><small>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</small></p>	<p>AO6 No acceptable outcome is provided.</p>	<p>Not Applicable The development site does not contain any 'Legally secured offset' mapped areas.</p>

Protected areas		
<p>PO7 Development within a 'Protected area' identified on the Environmental Significance Overlay Maps (OM-004a-o) is consistent with the values of the Protected Area and:</p> <ul style="list-style-type: none"> (a) supports the inherent ecological and community values of the Protected Area asset; (b) maintains or enhances wildlife interconnectivity at a local and regional scale; and (c) does not prejudice, undermine, or negatively impact the inherent ecological values, including all naturally occurring native flora, fauna and their habitat within the Protected Area. <p><small>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</small></p>	<p>AO7 No acceptable outcome is provided.</p>	<p>Not Applicable The development site does not contain any mapped 'Protected areas'.</p>
Ecological corridors and Habitat linkages		
<p>PO8 Development located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Emerging community zone, Recreation and open space zone, Rural zone or Rural residential zone; and (b) within an 'Ecological corridor' or a 'Habitat linkage' identified on the Environmental Significance Overlay Maps (OM-004a-o) 	<p>AO8 No acceptable outcome is provided.</p>	<p>Not Applicable The development site is not located within any 'Ecological corridor' or 'Habitat linkage' areas.</p>

<p>does not compromise the provision of habitat connectivity of the corridor/linkage, having regard to:</p> <ul style="list-style-type: none"> (a) the environmental values of the area of the site identified in the 'Ecological corridor' or 'Habitat linkage'; (b) the environmental values of adjoining and nearby land within the 'Ecological corridor' or 'Habitat linkage'; (c) the extent of any modification proposed to the natural environment including (but not limited to) vegetation and topography; (d) the location and design of proposed improvements that may impact on the functions of the 'Ecological corridor' or 'Habitat linkage' including (but not limited to) buildings, structures, fences, lighting, vehicle movement areas and infrastructure services; and (e) the ability for the 'Ecological corridor' or 'Habitat linkage' to be enhanced to improve ecological connectivity. <p>Note—A supporting Ecological Assessment Report prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports may be appropriate to demonstrate compliance with PO8.</p>		
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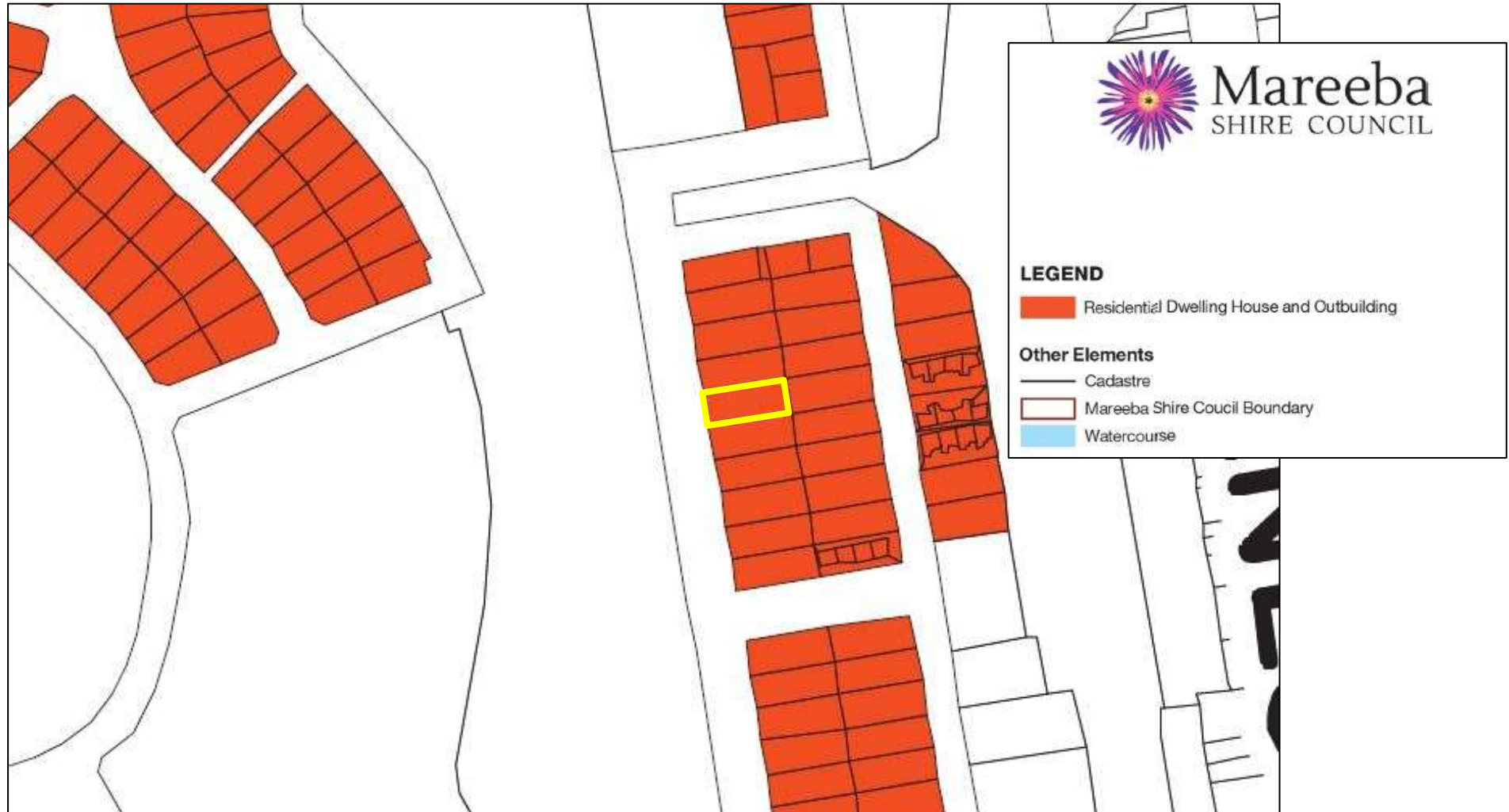
Table 8.2.4.3B - Setback and buffer distances from waterways

Stream order	Setback and buffer from waterways
1	10 metres from top of high bank
2-4	25 metres from top of high bank
5 or more	50 metres from top of high bank

Note—The stream order of a 'waterway' is to be determined on a case by case basis.

8.2.10 Residential Dwelling House and Outbuilding Overlay Code

The development site is located within the Residential Dwelling House and Outbuilding Overlay area of the Mareeba Shire Planning Scheme.



8.2.10.3 Criteria for assessment

Table 8.2.10.3A – Residential dwelling house and outbuilding overlay code - For accepted development subject to requirements and assessable development.

Performance outcomes	Acceptable outcomes	Complies	Comments
PO1 Building height takes into consideration and respects the following: (a) the height of existing buildings on adjoining premises; (b) the development potential, with respect to height, on adjoining premises; (c) the height of buildings in the vicinity of the site; (d) access to sunlight and daylight for the site and adjoining sites; (e) privacy and overlooking; and (f) site area and street frontage length.	AO1 Development has a maximum building height of: (a) 8.5 metres; and (b) 2 storeys above ground level.	✓	Complies The proposed 2 storey building has a maximum height of 7.013m above natural ground level.
Outbuildings and residential scale			
PO2 Domestic outbuildings: (a) do not dominate the lot on which they are located; and (b) are consistent with the scale and character of development in the zone in which the land is located.	AO2.1 Where located in the Low density residential zone or the Medium density residential zone, domestic outbuildings do not exceed: (a) 100m ² in gross floor area; and (b) 5.5 metres in height above natural ground level.	n/a	Not Applicable The proposed development does not involve any domestic outbuildings.
	AO2.2 Where located in the Rural residential zone and on lots equal to or less than 2 hectares, domestic outbuildings do not exceed: (a) 150m ² in gross floor area; and (b) 5.5 metres above natural ground level.	n/a	Not Applicable The proposed development is not located in the Rural Residential Zone.
	AO2.3 Where located in the Rural residential zone and located on lots greater than 2 hectares, domestic outbuildings do not exceed: (a) 200m ² in gross floor area; and (b) 8.5 metres above natural ground level.	n/a	Not Applicable The proposed development is not located in the Rural Residential Zone.

Gross floor area			
PO3 Buildings and structures occupy the site in a manner that: (a) makes efficient use of land; (b) is consistent with the bulk and scale of surrounding buildings; and (c) appropriately balances built and natural features.	AO3 Gross floor area does not exceed 600m ² .	✓	Complies The proposed GFA of all units, excluding stairwells, patios and private open space is 480m ² .
Secondary dwellings			
PO4 Where a Dwelling house involves a secondary dwelling, it is designed and located to: (a) not dominate the site; (b) remain subservient to the primary dwelling; and (c) be consistent with the character of the surrounding area;	AO4.1 The secondary dwelling is located within: (a) 10 metres of the primary dwelling where on a lot that has an area of 2 hectares or less; or (b) 20 metres of the primary dwelling where on a lot that has an area of greater than 2 hectares.	n/a	Not Applicable No secondary dwellings are proposed.
	AO4.2 A secondary dwelling has a maximum gross floor area of 100m ² .	n/a	Not Applicable No secondary dwellings are proposed.
Car parking			
PO5 Development provides sufficient car parking to accommodate the demand likely to be generated by the use, having regard to the: (a) nature of the use; (b) location of the site; (c) proximity of the use to public transport services; (d) availability of active transport infrastructure; and (e) accessibility of the use to all members of the community.	AO5 Car parking spaces are provided in accordance with the following minimum rates: (a) one covered space per dwelling house; and (b) one space per secondary dwelling	✓	Complies The proposed Multiple Dwelling has a total of 8 dwelling units and is provided with a total of 10 car parking spaces which includes 1 space per dwelling unit, 2 of which are accessible parking spaces, plus 2 visitor spaces.

Vehicle crossovers			
PO6 Vehicle crossovers are provided to: (a) ensure safe and efficient access between the road and premises; (b) minimize interference with the function and operation of roads; and (c) minimise pedestrian to vehicle conflict.	AO6.1 Vehicular access to/from Council roads is designed and constructed in accordance with the Standard drawings in Planning Scheme Policy 4 - FNQROC Regional Development Manual.	✓	Complies A new crossover will be constructed to the required standard.
	AO6.2 Development on a site with two or more road frontages provides vehicular access from the lowest order road.	n/a	Not Applicable The development site has only 1 road frontage.
	AO6.3 A secondary dwelling shares a vehicle crossover with the primary dwelling.	n/a	Not Applicable No secondary dwellings are proposed.
PO7 Access, maneuvering and car parking areas include appropriate pavement treatments having regard to: (a) the intensity of anticipated vehicle movements; (b) the nature of the use that they service; and (c) the character of the surrounding locality.	AO7 Access, maneuvering and car parking areas include pavements that are constructed in accordance with Table 8.2.10.3B .	✓	Complies All access, maneuvering, car parking areas and pavements will be constructed in accordance with the applicable standards.

Water supply			
PO8 Each lot has an adequate volume and supply of water that: (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment.	AO8.1 Development is connected to a reticulated water supply system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located in the Rural residential zone and outside a reticulated water supply service area.	✓	Complies The development site is serviced by the reticulated water supply network.
	AO8.2 Development, where located outside a reticulated water supply service area and in the Rural residential zone is provided with: (a) a bore or bores are provided in accordance with the Design Guidelines set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; or (b) on-site water storage tank/s: (i) with a minimum capacity of 90,000L; (ii) fitted with a 50mm ball valve with a camlock fitting; and (iii) which are installed and connected prior to the occupation or use of the development.	n/a	Not Applicable The development site is serviced by the reticulated water supply network.
Wastewater disposal			
PO9 Each lot provides for the treatment and disposal of effluent and other waste water that: (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment.	AO9.1 Development is connected to a reticulated sewerage system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located in the Rural residential zone and outside a reticulated sewerage service area.	✓	Complies The site is serviced by the reticulated sewerage network system.
	AO9.2 An effluent disposal system is provided in accordance with ASNZ 1547 On-Site Domestic Wastewater Management (as amended) where development is located in the Rural residential zone and outside a reticulated sewerage service area.	n/a	Not Applicable The site is serviced by the reticulated sewerage network system.

Stormwater infrastructure			
PO10 Stormwater infrastructure is designed and constructed to collect and convey the design storm event to a lawful point of discharge in a manner that mitigates impacts on life and property.	AO10.1 Where located within a Priority infrastructure area or where stormwater infrastructure is available, development is connected to Council's stormwater network in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	✓	Complies The existing stormwater drainage system is sufficient for the proposed use. No additional infrastructure is required.
	AO10.2 On-site drainage systems are constructed: (a) to convey stormwater from the premises to a lawful point of discharge; and (b) in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	✓	Complies All on-site stormwater will be directed to a lawful point of discharge in accordance with all applicable design and construction standards.
Electricity supply			
PO11 Each lot is provided with an adequate supply of electricity	AO11 The premises: (a) is connected to the electricity supply network; or (b) has arranged a connection to the transmission grid; or (c) where not connected to the network, an independent energy system with sufficient capacity to service the development (at near average energy demands associated with the use) may be provided as an alternative to reticulated electricity where: (i) it is approved by the relevant regulatory authority; and (ii) it can be demonstrated that no air or noise emissions; and (iii) it can be demonstrated that no adverse impact on visual amenity will occur.	✓	Complies The site is serviced by the reticulated electricity supply network.

Telecommunications infrastructure			
PO12 Each lot is provided with an adequate supply of telecommunication infrastructure.	AO12 Development is provided with a connection to the national broadband network or telecommunication services.	✓	Complies The site is serviced by the reticulated telecommunication and NBN networks.
Existing public utility services			
PO13 Development and associated works do not affect the efficient functioning of public utility mains, services or installations.	AO13 Public utility mains, services are relocated, altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	✓	Complies The development and associated works will not affect the efficient functioning of public utility mains, services or installations.
Excavation and filling			
PO14 Excavation or filling must not have an adverse impact on the: (a) streetscape; (b) scenic amenity; (c) environmental values; (d) slope stability; (e) accessibility; or (f) privacy of adjoining premises.	AO14.1 Excavation or filling does not occur within 1.5 metres of any site boundary.	✓	Complies Excavation or filling will not occur within 1.5 metres of any site boundary.
	AO14.2 Excavation or filling at any point on a lot is to be no greater than 1.5 metres above or below natural ground level.	✓	Complies Excavation or filling at any point on a lot will be no greater than 1.5 metres above or below natural ground level.
	AO14.3 Earthworks batters: (a) are no greater than 1.5 metres in height; (b) are stepped with a minimum width 2 metre berm; (c) do not exceed a maximum of two batters and two berms (not greater than 3.6 metres in total height) on any one lot; (d) have a slope no greater than 1 in 4; and (e) are retained.	✓	Complies Any earthworks batters will be constructed in accordance with the applicable Design Guidelines and Specifications.
	AO14.4 Soil used for filling or spoil from excavation is not stockpiled in locations that can be viewed from: (a) adjoining premises; or (b) a road frontage, for a period exceeding 1 month from the commencement of the filling or excavation.	✓	Complies Soil used for filling or spoil from excavation will not be stockpiled in locations that can be viewed from adjoining premises or the road frontage for a period exceeding 1 month from the commencement of the filling or excavation.

	AO14.5 All batters and berms to be constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	✓	Complies Any earthworks batters or berms will be constructed in accordance with the applicable Design Guidelines and Specifications.
	AO14.6 Retaining walls have a maximum height of 1.5 metres and are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	✓	Complies Any retaining walls constructed will have a maximum height of 1.5 metres and will be designed and constructed in accordance with the applicable standards.
	AO14.7 Excavation or filling at any point on a lot is to include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	✓	Complies All excavation or filling at any point on a lot will include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the applicable Design Guidelines and Specifications.

9.3.1 Accommodation Activities Code

The proposed development is assessable against the provisions of the Accommodation Activities Code of the Mareeba Shire Planning Scheme.

9.3.1.3 Criteria for assessment

Table 9.3.1.3A—Accommodation activities code – For accepted development subject to requirements and assessable development.

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
All Accommodation activities, apart from Dwelling house		
PO1 Accommodation activities are located on a site that includes sufficient area: <ul style="list-style-type: none"> (a) to accommodate all buildings, structures, open space and infrastructure associated with the use; and (b) to avoid adverse impacts on the amenity or privacy of nearby land uses. 	AO1 Development is located on a site which provides the applicable minimum site area and minimum road frontage specified in Table 9.3.1.3B .	Complies The proposed development is located on a site which provides the applicable minimum site area (800m ²) and road frontage (20m). Site area is 1012m ² . Site frontage is 20.1m.
All Accommodation activities, apart from Tourist park and Dwelling house		
PO2 Accommodation activities are provided with on-site refuse storage areas that are: <ul style="list-style-type: none"> (a) sufficient to meet the anticipated demand for refuse storage; and (b) appropriately located on the site having regard to potential odour and noise impacts on uses on the site and adjoining sites. 	AO2 A refuse area is provided that: <ul style="list-style-type: none"> (a) includes a water connection; (b) is of a size and configuration to accommodate 2x240 litre bins per dwelling or accommodation unit where involving a use other than a residential care facility or retirement facility; and (c) is of a size and configuration to accommodate a minimum of two bulk refuse bins where involving a residential care facility or retirement facility. 	Complies with PO The proposed development includes a refuse waste storage area which will house a bulk waste bin and 3 communal recycling bins to be regularly serviced by a waste removal company and the Council waste collection service. The refuse area is appropriately located, screened and managed. The proposed refuse area includes an appropriate wash down facility.

All Accommodation activities, except for Dwelling house		
<p>PO3 Accommodation activities are designed to avoid overlooking or loss of privacy for adjoining uses.</p> <p>Note—These provisions apply to any adjoining use, both on an adjoining site and on the same site.</p>	<p>AO3 The windows of habitable rooms:</p> <ul style="list-style-type: none"> (a) do not overlook the windows of a habitable room in an adjoining dwelling or accommodation unit; or (b) are separated from the windows of a habitable room in an adjoining dwelling or accommodation unit by a distance greater than: <ul style="list-style-type: none"> (i) 2 metres at ground level; and (ii) 8 metres above ground level; or (c) are treated with: <ul style="list-style-type: none"> (i) a minimum sill height of 1.5 metres above floor level; or (ii) fixed opaque glassed installed below 1.5 metres; or (iii) fixed external screens; or (iv) a 1.5 metre high screen fence along the common boundary. 	<p>Complies The proposed Multiple Dwelling building includes habitable room windows at <u>ground floor level</u> are separated from adjoining site habitable rooms by ~10m on the northern boundary and ~12.2m on the southern boundary.</p> <p>Habitable room windows at <u>first floor level</u> are separated from adjoining site habitable rooms by ~10m on the northern boundary and ~12.2m on the southern boundary.</p>
<p>PO4 Accommodation activities are provided with sufficient private and communal open space areas which:</p> <ul style="list-style-type: none"> (a) accommodate a range of landscape treatments, including soft and hard landscaping; (b) provide a range of opportunities for passive and active recreation; (c) provide a positive outlook and high quality of amenity to residents; (d) is conveniently located and easily accessible to all residents; and (e) contribute to an active and attractive streetscape. 	<p>AO4.1 Development, except for Caretaker's accommodation, Dwelling house, Dual occupancy or Home based business, includes communal open space which meets or exceeds the minimum area, dimension and design parameters specified in Table 9.3.1.3C.</p>	<p>Complies Communal Open includes a total area of 110.1m².</p> <p>Private and Communal Open Spaces are designed to accommodate a range of landscape treatments, including soft and hard landscaping, provide a range of opportunities for passive and active recreation, provide a positive outlook and high quality of amenity to residents, are conveniently located and easily accessible to all residents and contributes to an active and attractive streetscape with direct access to the local park directly across from the site.</p>

	<p>AO4.2 Development includes private open space for each dwelling or accommodation unit which meets or exceeds the minimum area, dimension and design parameters specified in Table 9.3.1.3D.</p>	<p>Complies with PO The proposed development will include private open space for each dwelling unit with a variation to the specific minimum dimensions.</p> <p><u>Ground Level</u> Secluded Private Open Space (SPOS) ranges from 37.82m² - 38.22m² including porch, deck and outdoor space.</p> <p>Minimum dimensions: front porch, 1.3m, rear deck, 1.33m and outdoor space, 2m. Shaded portion: 52%.</p> <p><u>Above Ground Level</u> Secluded Private Open Space (SPOS) ranges from 21.2m² - 21.4m² including porch and deck.</p> <p>Minimum dimensions: front porch, 1.3m and rear deck, 1.33m.</p>
	<p>AO4.3 Clothes drying areas are provided at the side or rear of the site so that they are not visible from the street.</p>	<p>Complies Clothes drying facilities are located within the rear deck P.O.S. area of each Dwelling and are not visible from the street.</p>
	<p>AO4.4 If for Dual occupancy, Multiple dwelling, Residential care facility or Retirement facility, development provides a secure storage area for each dwelling or accommodation unit which:</p> <ul style="list-style-type: none"> (a) is located to facilitate loading and unloading from a motor vehicle; (b) is separate to, and does not obstruct, on-site vehicle parking or manoeuvring areas; (c) has a minimum space of 2.4m² per dwelling or accommodation unit; (d) has a minimum height of 2.1 metres; (e) has minimum dimensions to enable secure bicycle storage; (f) is weather proof; and (g) is lockable. 	<p>Complies The proposed Multiple Dwelling provides a secure storage area for each dwelling unit which are located on the front porch (Units 1-4) and under the stair wells (Units 5-8) to facilitate loading and unloading from vehicles. The storage lockers are separate to, and do not obstruct, on-site vehicle parking or manoeuvring areas.</p> <p>Each locker has a minimum space of 2.4m² per dwelling unit, has a minimum height of 2.1m.</p> <p>Bicycle storage is provided in the southwest and northeast corners of the site and are weather proof and lockable.</p>

If for Caretaker's Accommodation		
PO5 Caretaker's accommodation is of a scale and intensity which is consistent with that of the surrounding area. Note—Where Caretaker's Accommodation is assessable development additional assessment benchmarks are provided under "for assessable development".	AO5.1 Only one caretaker's accommodation is established on the title of the non-residential use.	Not Applicable The proposed development is not for Caretakers Accommodation.
	AO5.2 In the Rural zone, Caretaker's accommodation has a maximum gross floor area of 200m ² .	Not Applicable The proposed development is not for Caretakers Accommodation.
If for Dwelling house		
PO6 Where a Dwelling house involves a secondary dwelling, it is designed and located to: (d) not dominate the site; (e) remain subservient to the primary dwelling; and (f) be consistent with the character of the surrounding area;	AO6.1 The secondary dwelling is located within: (c) 10 metres of the primary dwelling where on a lot that has an area of 2 hectares or less; or (d) 20 metres of the primary dwelling where on a lot that has an area of greater than 2 Ha.	Not Applicable The proposed development is not for a Secondary Dwelling.
	AO6.2 A secondary dwelling has a maximum gross floor area of 100m ² .	Not Applicable The proposed development is not for a Secondary Dwelling.
If for Dual Occupancy		
PO7 Where establishing a Dual occupancy on a corner lot, the building is designed to: (a) maximise opportunities for causal surveillance; (b) provide for separation between the two dwellings; and (c) provide activity and visual interest on both frontages.	AO7.1 Where located on a corner allotment, each dwelling is accessed from a different road frontage.	Not Applicable The proposed development is not for a Dual Occupancy.
	AO7.2 The maximum width of garage or carport openings that face a public street is 6 metres or 50% of the building width, whichever is the lesser.	Not Applicable The proposed development is not for a Dual Occupancy.
If for Multiple dwelling, Residential care facility or Retirement facility		
PO8 Development is appropriately located within the Shire to: (a) maximise the efficient utilisation of existing infrastructure, services and facilities; and (b) minimise amenity impacts through the collocation of compatible uses. Note—Where Residential care facility or Retirement facility is assessable development additional assessment benchmarks are provided under "for assessable development".	AO8 Multiple dwelling, Residential care facility or Retirement facility uses are located on land within 800 metres of the boundary of land within the Centre zone.	Complies The development site is located within 225m of the boundary of land within the Centre zone.

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<p>PO9 Buildings are designed to:</p> <ul style="list-style-type: none"> (a) reduce the appearance of building bulk; (b) provide visual interest through articulation and variation; (c) be compatible with the embedded, historical character for the locality; and (d) be compatible with the scale of surrounding buildings <p>Note—Where Residential care facility or Retirement facility is assessable development additional assessment benchmarks are provided under “for assessable development”.</p>	<p>AO9.1 External walls do not exceed 10 metres in continuous length unless including a minimum of three of the following building design features and architectural elements:</p> <ul style="list-style-type: none"> (a) a change in roof profile; or (b) a change in parapet coping; or (c) a change in awning design; or (d) a horizontal or vertical change in the wall plane; or (e) a change in the exterior finishes and exterior colours of the development. 	<p>Complies External walls of the proposed Multiple Dwelling exceeding 10m in continuous length include a variety of finishes and exterior colours including vertical Colourbond sheeting and rendered finishes in greys and whites.</p>
	<p>AO9.2 For a Multiple dwelling, Residential care facility or Retirement facility, the maximum width of a garage or carport opening that faces a road is 6m.</p>	<p>Not Applicable None of the car parking spaces face the road.</p>
	<p>AO9.3 For a Multiple dwelling, Residential care facility or Retirement facility, the building(s) include awnings with a minimum overhang of 600mm.</p>	<p>Complies All window shading is provided via minimum 1.4m deep patios or decks for north and south facing windows.</p>
	<p>AO9.4 For a Multiple dwelling, Residential care facility or Retirement facility, roof forms include one or more of the following types:</p> <ul style="list-style-type: none"> (a) pyramidal; (b) hip or hipped; (c) gable; (d) skillion. 	<p>Not Applicable The proposed building has a skillion style roof.</p>
If for Residential care facility or Retirement facility		
<p>PO10 The layout and design of the site:</p> <ul style="list-style-type: none"> (a) promotes safe and easy pedestrian, cycle and mobility device movement; (b) defines areas of pedestrian movement; and (c) assists in navigation and way finding. <p>Note—Where Residential care facility or Retirement facility is assessable development additional assessment benchmarks are provided under “for assessable development”.</p>	<p>AO10.1 The development incorporates covered walkways and ramps on site for weather protection between all buildings.</p>	<p>Not Applicable The proposed development does not involve Residential care or Retirement facilities.</p>

	AO10.2 Pedestrian paths include navigational signage at intersections.	Not Applicable The proposed development does not involve Residential care or Retirement facilities.
	AO10.3 Buildings, dwellings and accommodation units include identification signage at entrances.	Not Applicable The proposed development does not involve Residential care or Retirement facilities.
	AO10.4 An illuminated sign and site map is provided at the main site entry.	Not Applicable The proposed development does not involve Residential care or Retirement facilities.
	AO10.5 Buildings, structures and pathways associated with a Residential care facility or Retirement facility are not located on land with a gradient greater than 8%.	Not Applicable The proposed development does not involve Residential care or Retirement facilities.
If for Home based business		
PO11 Home based businesses are compatible with the built form, character and amenity of the surrounding area, having regard to: (a) size and scale; (b) intensity and nature of use; (c) number of employees; and (d) hours of operation.	AO11.1 The Home based business is located within a dwelling house or outbuilding associated with a dwelling house.	Not Applicable The proposed development does not involve a Home based business.
	AO11.2 The Home based business does not occupy a gross floor area of more than 50m ² .	Not Applicable The proposed development does not involve a Home based business.
	AO11.3 No more than 1 person (other than the residents of the site) is employed by the Home based business at any one time.	Not Applicable The proposed development does not involve a Home based business.
	AO11.4 The Home based business, unless a home office, bed and breakfast or farm stay, does not operate outside the hours of 7.00 am and 6.00 pm.	Not Applicable The proposed development does not involve a Home based business.
	AO11.5 The Home based business does not involve the public display of goods external to the building.	Not Applicable The proposed development does not involve a Home based business.
	AO11.6 The Home based business does not involve the repair, cleaning or servicing of any motors, vehicles or other machinery.	Not Applicable The proposed development does not involve a Home based business.

	AO11.7 Any equipment or materials associated with the Home based business are screened from public view and adjacent properties by fencing or landscaping.	Not Applicable The proposed development does not involve a Home based business.
	AO11.8 The business does not involve the use of power tools or similar noise generating devices.	Not Applicable The proposed development does not involve a Home based business.
PO12 Home based businesses involving accommodation activities are appropriately scaled and designed to avoid detrimental impacts on the amenity and privacy of surrounding residences.	AO12.1 Home based businesses involving accommodation activities are limited to the scale specified in Table 9.3.1.3E .	Not Applicable The proposed development does not involve a Home based business.
	AO12.2 A farm stay dwelling or accommodation unit is located within 20 metres of the primary dwelling house.	Not Applicable The proposed development does not involve a Home based business.
	AO12.3 A farm stay is setback 100 metres from any property boundary.	Not Applicable The proposed development does not involve a Home based business.
	AO12.4 Entertainment and dining facilities associated with an accommodation activity are: (a) located at least 5 metres from the bedrooms of adjoining residences; and (b) located or screened so that they do not directly overlook private open space areas of adjoining properties.	Not Applicable The proposed development does not involve a Home based business.

If for Rural workers' accommodation		
PO13 The Rural workers' accommodation is directly associated with an agricultural based rural activity on the same premises and is commensurate with the scale of agricultural operations.	AO13.1 A Rural workers' accommodation building is limited to the accommodation of: (a) one rural worker for every 50 hectares; and (b) a maximum of ten rural workers in total.	Not Applicable The proposed development does not involve Rural workers' accommodation.
	AO13.2 The agricultural based rural activity is a minimum of 50 hectares in area.	Not Applicable The proposed development does not involve Rural workers' accommodation.

PO14 Rural workers' accommodation is provided with amenities commensurate with the: (a) needs of the employees; and (b) permanent or seasonal nature of the employment.	AO14.1 The Rural workers' accommodation is: (a) for permanent occupation; and (b) fully self-contained. OR	Not Applicable The proposed development does not involve Rural workers' accommodation.
	AO14.2 The Rural workers' accommodation: (a) is for seasonal occupation (up to 3 months); (b) shares facilities with an existing Dwelling house or Caretaker's residence; and (c) is located within 100 metres of the Dwelling house or Caretaker's residence.	Not Applicable The proposed development does not involve Rural workers' accommodation.
For assessable development		
If for Caretaker's Accommodation		
PO15 The inclusion of Caretaker's accommodation on the site is necessary for the operation of the primary use, having regard to: (a) hours of operation; (b) nature of the use; (c) security requirements; (d) site location and access; and (e) proximity to other land uses.	AO15 No acceptable outcome is provided.	Not Applicable The proposed development does not involve Caretaker's accommodation.
If for Residential care facility or Retirement facility		
PO16 Retirement facilities include a range of housing designs and types that: (a) meet the needs of residents; (b) allow for 'ageing in place'; (c) consider differing mobility needs; (d) accommodate differing financial situations; and (e) cater for different household types.	AO16 No acceptable outcome is provided.	Not Applicable The proposed development does not involve Residential care or Retirement facilities.

If for Tourist park		
PO17 The Tourist park is appropriately located to provide park users with convenient access to tourist attractions, community facilities and infrastructure.	AO17 No acceptable outcome is provided.	Not Applicable The proposed development does not involve a Tourist Park.
PO18 The density of accommodation provided within the Tourist park: (a) is commensurate with the size and utility of the site; (b) is consistent with the scale and character of development in the surrounding area; (c) ensures sufficient infrastructure and services can be provided; (d) does not adversely impact on the existing amenity of nearby uses; (e) ensures a high level of amenity is enjoyed by residents of the site; and (f) does not place undue pressure on environmental processes in the surrounding area.	AO18.1 Where park areas are proposed to exclusively accommodate caravans, motor homes, tents or cabins, accommodation site densities do not exceed: (a) 40 caravan or motor home sites per hectare of the nominated area(s); or (b) 60 tent sites per hectare of the nominated area(s); or (c) 10 cabins (maximum 30m ² gross floor area per cabin) per hectare of the nominated area(s).	Not Applicable The proposed development does not involve a Tourist Park.
	AO18.2 Where park areas are proposed to be used for any combination of caravans, motor homes, tents or cabins, then the lowest applicable density identified by AO18.1 shall be applied to the nominated area(s).	Not Applicable The proposed development does not involve a Tourist Park.
PO19 Accommodation sites are designed and located: (a) to provide sufficient land for necessary services and infrastructure; (b) to achieve sufficient separation between land uses; (c) is consistent with the scale and character of development in the surrounding area; and (d) to prevent amenity and privacy impacts on nearby land uses.	AO19.1 A minimum of 50% of provided caravan and motor home accommodation sites have a concrete slab with a minimum length of 6 metres and a minimum width of 2.4 metres.	Not Applicable The proposed development does not involve a Tourist Park.
	AO19.2 Caravan, motor home, tent and cabin accommodation sites are set back a minimum of: (a) 2 metres from an internal road; and (b) 1.5 metres from the side and rear boundaries of the site.	Not Applicable The proposed development does not involve a Tourist Park.

PO20 A Tourist park is provided with sufficient and appropriately located refuse collection areas.	AO20.1 A central refuse collection area is provided to service all accommodation sites.	Not Applicable The proposed development does not involve a Tourist Park.
	AO20.2 The refuse collection area must be kept in a sanitary condition at all times with all refuse stored in weather-proof and securable receptacles to prevent them from attracting vermin and wildlife.	Not Applicable The proposed development does not involve a Tourist Park.
	AO20.3 The refuse collection area is constructed on an impervious surface such as a concrete slab.	Not Applicable The proposed development does not involve a Tourist Park.
	AO20.4 A water connection is provided within the refuse collection area to facilitate cleaning of receptacles and the collection area.	Not Applicable The proposed development does not involve a Tourist Park.
	AO20.5 Refuse collection areas are located a minimum of 10 metres from any recreational areas, communal cooking facilities and accommodation sites.	Not Applicable The proposed development does not involve a Tourist Park.

Table 9.3.1.3C – Communal open space

Multiple dwelling	Minimum area: 50m ² Minimum dimension: 5m Design Elements: <ul style="list-style-type: none"> Provides for clothes drying and recreational facilities; One continuous area; and Separated from any habitable room by a minimum of 3m.
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Table 9.3.1.3D – Private open space

Multiple dwelling	<u>Ground Level</u> Minimum area: 35m ² Minimum dimension: 3m Design Elements: <ul style="list-style-type: none"> 20% shaded; and Directly accessible from the main living area. 	<u>Above Ground Level</u> Minimum area: 15m ² Minimum dimension: 3m Design Elements: <ul style="list-style-type: none"> Directly accessible from the main living area.

9.4.2 Landscaping Code

The proposed development is assessable against the requirements of the Landscaping Code of the Mareeba Shire Planning Scheme (2016).

9.4.2.3 Criteria for assessment

Table 9.4.2.3A—Landscaping code - For accepted development subject to requirements and assessable development.

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
PO1 Development, other than in the Rural zone, includes landscaping that: <ul style="list-style-type: none"> (a) contributes to the landscape character of the Shire; (b) compliments the character of the immediate surrounds; (c) provides an appropriate balance between built and natural elements; and (d) provides a source of visual interest. 	AO1 Development, other than in the Rural zone, provides: <ul style="list-style-type: none"> (a) a minimum of 10% of the site as landscaping; (b) planting in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species; (c) for the integration of retained significant vegetation into landscaping areas; (d) on-street landscaping works in accordance with the Design Guidelines set out in Section D9 Landscaping, of the Planning Scheme Policy 4 - FNQROC Regional Development Manual. <p>Note—Where development exceeds a site cover of 90%, areas of landscaping may be provided above ground level to achieve a total supply of landscaping equivalent to 10% of the site area.</p>	✓	Complies with PO All new landscaping will be appropriately designed with regard to the desired amenity of the area. The proposed design includes approximately 10% landscaping site coverage including Private Open Spaces, Communal Open Spaces, entrances and the north eastern corner. All landscaping and plant varieties to be compliant with the requirements of PSP4.

<p>PO2 Development, other than in the Rural zone, includes landscaping along site frontages that:</p> <ul style="list-style-type: none"> (a) creates an attractive streetscape; (b) compliments the character of the immediate surrounds; (c) assists to break up and soften elements of built form; (d) screen areas of limited visual interest or servicing; (e) provide shade for pedestrians; and (f) includes a range and variety of planting. 	<p>AO2 Development, other than in the Rural zone, includes a landscape strip along any site frontage:</p> <ul style="list-style-type: none"> (a) with a minimum width of 2 metres where adjoining a car parking area; (b) with a minimum width of 1.5 metres in all other locations; and (c) in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species. <p>Note—Where development is setback from a frontage less than 1.5 metres, the setback area is provided as a landscape strip</p>	✓	<p>Complies with PO The proposed development will be provided with a 1m wide landscaping strip along the site frontage.</p> <p>Landscaping will create an attractive streetscape, compliments the character of the immediate surrounds, break up and soften elements of built form and screen areas of limited visual interest or servicing.</p> <p>All landscaping and plant varieties to be compliant with the requirements of PSP4.</p>
<p>PO3 Development includes landscaping and fencing along side and rear boundaries that:</p> <ul style="list-style-type: none"> (a) screens and buffer land uses; (b) assists to break up and soften elements of built form; (c) screens areas of limited visual interest; (d) preserves the amenity of sensitive land uses; and (e) includes a range and variety of planting. 	<p>AO3.1 Development provides landscape treatments along side and rear boundaries in accordance with Table 9.4.2.3B.</p>	✓	<p>Complies with PO Landscaping strips are proposed along the northern and rear boundaries adjoining the car parking facilities.</p> <p>Landscaping is provided along the southern boundary adjoining the adjacent Medium Density Residential Zoned land.</p> <p>Full fencing is provided for the extent of all boundaries.</p>
	<p>AO3.2 Shrubs and trees provided in landscape strips along side and rear boundaries:</p> <ul style="list-style-type: none"> (a) are planted at a maximum spacing of 1 metre; (b) will grow to a height of at least 2 metres; (c) will grow to form a screen of no less than 2 metres in height; and (d) are mulched to a minimum depth of 0.1 metres with organic mulch. 	✓	<p>Complies with PO Any shrubs and trees planted along side and rear boundaries will be planted to the requirements of AO3.2 where applicable.</p>
	<p>AO3.3 Any landscape strip provided along a side or rear boundary is designed in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species.</p>	✓	<p>Complies Any shrubs and trees planted along side and rear boundaries will be planted to the requirements of PSP6.</p>

PO4 Car parking areas are improved with a variety of landscaping that: (a) provides visual interest; (b) provides a source of shade for pedestrians; (c) assists to break up and soften elements; and (d) improves legibility.	AO4.1 Landscaping is provided in car parking areas which provides: (a) a minimum of 1 shade tree for every 4 parking spaces, or part thereof, where the car parking area includes 12 or more spaces; (b) a minimum of 1 shade tree for every 6 parking spaces, or part thereof, otherwise; and (c) where involving a car parking area in excess of 500m ² : (i) shade structures are provided for 50% of parking spaces; and (ii) a minimum of 10% of the parking area as landscaping. Note—Where a shade structure is provided over part of a car parking area, shade tree planting is not required in this area of the car parking area.	✓	Complies with PO A total of 10 car parking spaces are provided requiring a total of 2 shade trees. All car parking spaces are shaded by shade structures. As per AO4.1 Note, no shade trees are required due to the provision of shade structures.
	AO4.2 Landscaping in car parking areas is designed in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species.	✓	Complies All plant species will be selected as per PSP 6 - Landscaping.
PO5 Landscaping areas include a range and variety of planting that: (a) is suitable for the intended purpose and local conditions; (b) contributes to the natural character of the Shire; (c) includes native species; (d) includes locally endemic species, where practical; and (e) does not include invasive plants or weeds.	AO5.1 Plant species are selected from the Plant Schedule in Planning Scheme Policy 6 - Landscaping and preferred plant species.	✓	Complies All plant species will be selected as per PSP 6 - Landscaping.
	AO5.2 A minimum of 25% of (new and existing) plants is provided as larger, advanced stock with a minimum plant height of 0.7 metres and mulched to a minimum depth of 0.1 metres with organic mulch.	✓	Complies All new landscaping will be appropriately designed to include plant species as required by AO5.2.
PO6 Landscaping does not impact on the ongoing provision of infrastructure and services to the Shire.	AO6.1 Tree planting is a minimum of (a) 2 metres from any underground water, sewer, gas, electricity or telecommunications infrastructure; and (b) 4 metres from any inspection chamber.	✓	Complies Landscaping will not impact on the ongoing provision of infrastructure.

	AO6.2 Vegetation below or within 4 metres of overhead electricity lines and power poles has a maximum height of 3.5 metres at maturity.	✓	Complies No new landscaping will be located under overhead electricity infrastructure.
	AO6.3 Vegetation adjoining an electricity substation boundary, at maturity, will have: (a) a height of less than 4 metres; and (b) no foliage within 3 metres of the substation boundary, unless the substation has a solid wall along any boundary.	n/a	Not Applicable The site does not adjoin an electricity substation boundary.
For assessable development			
PO7 Landscaping areas are designed to: (a) be easily maintained throughout the ongoing use of the site; (b) allow sufficient area and access to sunlight and water for plant growth; (c) not cause a nuisance to occupants of the site or members of the public; and (d) maintain or enhance the safety of pedestrians through the use of Crime Prevention Through Environmental Design principles.	AO7 No acceptable outcome is provided.	✓	Complies with PO All landscaping areas will be located in an appropriate and accessible area and will be maintained by the occupant of the site use to the standards of PO7.

Table 9.4.2.3B—Side and rear boundary landscape treatments (multiple dwellings)

Location or use	Landscape Strip Minimum Width	Screen Fencing Minimum Height	Extent of treatment
Where car parking, servicing or manoeuvring areas adjoin a side or rear boundary.	1m	n/a	To the extent these areas adjoin the boundary.
Where involving a use other than a dwelling house on a site with a common boundary with land in the Medium density residential zone.	1.5m	1.8m	Along the common boundary.
Development involving: Multiple dwelling	n/a	1.8m	Along all side and rear boundaries.
For: (a) waste storage; (b) equipment; (c) servicing areas; and (d) private open space	n/a	1.8m	To prevent visibility

9.4.3 Parking and Access Code

The proposed development is assessable against the requirements of the Parking and Access Code of the Mareeba Shire Planning Scheme (2016).

9.4.3.3 Criteria for assessment

Table 9.4.3.3A—Parking and access code – For accepted development subject to requirements and assessable development.

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
Car parking spaces			
PO1 Development provides sufficient car parking to accommodate the demand likely to be generated by the use, having regard to the: (f) nature of the use; (g) location of the site; (h) proximity of the use to public transport services; (i) availability of active transport infrastructure; and (j) accessibility of the use to all members of the community.	AO1 The number of car parking spaces provided for the use is in accordance with Table 9.4.3.3B . Note—Car parking spaces provided for persons with a disability are to be considered in determining compliance with AO1.	✓	Complies A total 10 covered car parking spaces is proposed with a requirement of: <ul style="list-style-type: none"> • 8 spaces for dwellings (1x8) including 2 accessible spaces • 2 spaces for visitors (0.25x8) A vehicle wash-down bay is not included due to site area constraint. A Car Wash facility is located within a short distance from the site.
Vehicle crossovers			
PO2 Vehicle crossovers are provided to: <ul style="list-style-type: none"> (d) ensure safe and efficient access between the road and premises; (e) minimize interference with the function and operation of roads; and (f) minimise pedestrian to vehicle conflict. 	AO2.1 Vehicular access to/from Council roads is designed and constructed in accordance with the Standard drawings in Planning Scheme Policy 4 - FNQROC Regional Development Manual.	✓	Complies The vehicle crossover will be designed and constructed in accordance with the requirements of PSP 4 – FNQROC Regional Development Manual standard drawings.

	AO2.2 Development on a site with two or more road frontages provides vehicular access from: (a) the primary frontage where involving Community activities or Sport and recreation activities, unless the primary road frontage is a State-controlled road; or (b) from the lowest order road in all other instances.	n/a	Not Applicable The site has only one road frontage.
	AO2.3 Vehicular access for particular uses is provided in accordance with Table 9.4.3.3E .	n/a	Not Applicable The proposed development is not a use specified by Table 9.4.3.3E.
PO3 Access, manoeuvring and car parking areas include appropriate pavement treatments having regard to: (a) the intensity of anticipated vehicle movements; (b) the nature of the use that they service; and (c) the character of the surrounding locality.	AO3 Access, manoeuvring and car parking areas include pavements that are constructed in accordance with Table 9.4.3.3C .	✓	Complies Access, manoeuvring and car parking areas must be designed and constructed in accordance with the requirements Table 9.4.3.3C.
For assessable development			
Parking area location and design			
PO4 Car parking areas are located and designed to: (a) ensure safety and efficiency in operation; and (b) be consistent with the character of the surrounding locality.	AO4.1 Car parking spaces, access and circulation areas have dimensions in accordance with AS/NZS 2890.1 Off-street car parking.	n/a	Not Applicable No on-street parking spaces are proposed.
	AO4.2 Disabled access and car parking spaces are located and designed in accordance with AS/NZS 2890.6 Parking facilities - Off-street parking for people with disabilities.	✓	Complies Disabled access and car parking spaces will be located and designed in accordance with AS/NZS 2890.6.
	AO4.3 The car parking area includes designated pedestrian routes that provide connections to building entrances.	✓	Complies Pedestrian access will be provided and clearly identified from the car parking area and building entrances.

	AO4.4 Parking and any set down areas are: (a) wholly contained within the site; (b) visible from the street where involving Commercial activities, Community activities, Industrial activities or a use in the Recreation and open space zone; (c) are set back behind the main building line where involving a Dual occupancy, Multiple dwelling, Residential care facility or Retirement facility; and (d) provided at the side or rear of a building in all other instances.	✓	Complies On-site vehicle parking areas will be wholly contained within the site, mostly set back behind the main building line and provided at the side and rear of the building.
Site access and manoeuvring			
PO5 Access to, and manoeuvring within, the site is designed and located to: (a) ensure the safety and efficiency of the external road network; (b) ensure the safety of pedestrians; (c) provide a functional and convenient layout; and (d) accommodate all vehicles intended to use the site.	AO5.1 Access and manoeuvrability is in accordance with : (a) AS28901 – Car Parking Facilities (Off Street Parking); and (b) AS2890.2 – Parking Facilities (Off-street Parking) Commercial Vehicle Facilities. Note—Proposal plans should include turning circles designed in accordance with AP34/95 (Austroads 1995) Design Vehicles and Turning Path Templates.	✓	Complies Access and manoeuvrability will be designed and constructed in accordance with the requirements of AS28901 – Car Parking Facilities (Off Street Parking).
	AO5.2 Vehicular access has a minimum sight distance in accordance with Part 5 of AUSTROADS.	✓	Complies Vehicular access will have a minimum sight distance in accordance with Part 5 of AUSTROADS.
	AO5.3 Vehicular access is located and designed so that all vehicles enter and exit the site in a forward gear.	✓	Complies Vehicular access is located and designed so that all vehicles enter and exit the site in a forward gear.
	AO5.4 Pedestrian and cyclist access to the site: (a) is clearly defined; (b) easily identifiable; and (c) provides a connection between the site frontage and the entrance to buildings and end of trip facilities (where provided).	✓	Complies Pedestrian and cyclist access to the site will be clearly defined, easily identifiable and will provide a connection between the site frontage and the entrance to buildings and end of trip facilities (where provided).

PO6 Development that involves an internal road network ensures that it's design: (a) ensure safety and efficiency in operation; (b) does not impact on the amenity of residential uses on the site and on adjoining sites, having regard to matters of: (i) hours of operation; (ii) noise (iii) light; and (iv) odour; (c) accommodates the nature and volume of vehicle movements anticipated to be generated by the use; (d) allows for convenient access to key on-site features by pedestrians, cyclists and motor vehicles; and (e) in the Rural zone, avoids environmental degradation.	AO6.1 Internal roads for a Tourist park have a minimum width of: (a) 4 metres if one way; or (b) 6 metres if two way.	n/a	Not Applicable The proposed use is not for a Tourist Park.
	AO6.2 For a Tourist park, internal road design avoids the use of cul-de-sacs in favour of circulating roads, where unavoidable, cul-de-sacs provide a full turning circle for vehicles towing caravans having: (a) a minimum approach and departure curve radius of 12 metres; and (b) a minimum turning circle radius of 8 metres.	n/a	Not Applicable The proposed use is not for a Tourist Park.
	AO6.3 Internal roads are imperviously sealed and drained, apart from those for an Energy and infrastructure activity or Rural activity.	n/a	Not Applicable No internal roads are proposed.
	AO6.4 Speed control devices are installed along all internal roads, apart from those for an Energy and infrastructure activity or Rural activity, in accordance with Complete Streets.	n/a	Not Applicable No speed control devices are proposed.
	AO6.5 Internal roads, apart from those for an Energy and infrastructure activity or Rural activity, are illuminated in accordance with AS 4282 (as amended) - Control of Obtrusive effects of outdoor lighting.	n/a	Not Applicable No internal roads are proposed.
	AO6.6 Where involving an accommodation activity, internal roads facilitate unobstructed access to every dwelling, accommodation unit, accommodation site and building by emergency services vehicles.	n/a	Not Applicable No internal roads are proposed.

	AO6.7 For an Energy and infrastructure activity or Rural activity, internal road gradients: (a) are no steeper than 1:5; or (b) are steeper than 1:5 and are sealed.	n/a	Not Applicable The proposed development does not involve Energy and Infrastructure or Rural Activities.
Servicing			
PO7 Development provides access, maneuvering and servicing areas on site that: (a) accommodate a service vehicle commensurate with the likely demand generated by the use; (b) do not impact on the safety or efficiency of internal car parking or maneuvering areas; (c) do not adversely impact on the safety or efficiency of the road network; (d) provide for all servicing functions associated with the use; and (e) are located and designed to minimise their impacts on adjoining sensitive land uses and streetscape quality.	AO7.1 All unloading, loading, service and waste disposal areas are located: (a) on the site; (b) to the side or rear of the building, behind the main building line; (c) not adjacent to a site boundary where the adjoining property is used for a sensitive use.	✓	Complies with PO The proposed development includes a refuse waste storage area which will house a bulk waste bin and 3 communal recycling bins to be regularly serviced by a waste removal company and the Council waste collection service. The refuse area is appropriately located, screened and managed. The proposed refuse area includes an appropriate wash down facility.
	AO7.2 Unloading, loading, service and waste disposal areas allow service vehicles to enter and exit the site in a forward gear.	✓	Complies with PO Rubbish and waste disposal will be serviced by the Council refuse collection service (kerbside collection) and a waste removal company.
	AO7.3 Development provides a servicing area, site access and maneuvering areas to accommodate the applicable minimum servicing vehicle specified in Table 9.4.3.3B .	✓	Complies The proposed Development provides a servicing area, site access and maneuvering areas to accommodate the applicable minimum servicing vehicle.
Maintenance			
PO8 Parking areas are used and maintained for their intended purpose.	AO8.1 Parking areas are kept and used exclusively for parking and are maintained in a suitable condition for parking and circulation of vehicles.	✓	Will Comply Parking areas will be maintained and used exclusively for vehicle parking.

	AO8.2 All parking areas will be compacted, sealed, drained, line marked and maintained until such time as the development ceases.	✓	Complies Parking spaces will be sealed, drained, line marked and maintained as required.
End of trip facilities			
PO9 Development within the Centre zone; Industry zone or Emerging community zone provides facilities for active transport users that: (a) meet the anticipated demand generated from the use; (b) comprise secure and convenient bicycle parking and storage; and (c) provide end of trip facilities for all active transport users.	AO9.1 The number of bicycle parking spaces provided for the use is in accordance with Table 9.4.3.3D .	✓	Complies The number of bicycle parking spaces provided for the use is in accordance with Table 9.4.3.3D .
	AO9.2 End of trip facilities are provided in accordance with Table 9.4.3.3D .	✓	Complies End of trip facilities are proposed.
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park			
PO10 The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.	AO10 A traffic impact report is prepared by a suitably qualified person that identifies: (a) the expected traffic movements to be generated by the facility; (b) any associated impacts on the road network; and (c) any works that will be required to address the identified impacts.	n/a	Not Applicable The proposal is not for an Educational establishment or Child care centre.
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park			
PO11 The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.	AO11 A traffic impact report is prepared by a suitably qualified person that identifies: (a) the expected traffic movements to be generated by the facility; (b) any associated impacts on the road network; and (c) any works that will be required to address the identified impacts.	n/a	Not Applicable The proposal is not for an Educational establishment or Child care centre.

9.4.5 Works, Services and Infrastructure Code

The proposed development is assessable against the requirements of the Works, Services and Infrastructure Code of the Mareeba Shire Planning Scheme (2016).

9.4.5.3 Criteria for Assessment

Table 9.4.5.3 - Works, services and infrastructure code – For accepted development subject to requirements and assessable development.

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
Water supply			
PO1 Each lot has an adequate volume and supply of water that: (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment.	AO1.1 Development is connected to a reticulated water supply system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located: (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated water supply service area.	✓	Complies The development site is serviced by the reticulated water supply network.

	A01.2 Development, where located outside a reticulated water supply service area and in the Conservation zone, Rural zone or Rural residential zone is provided with: (a) a bore or bores are provided in accordance with the Design Guidelines set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; or (b) on-site water storage tank/s: (i) with a minimum capacity of 90,000L; (ii) fitted with a 50mm ball valve with a camlock fitting; and (iii) which are installed and connected prior to the occupation or use of the development.	n/a	Not Applicable The development site is serviced by the reticulated water supply network.
Wastewater disposal			
PO2 Each lot provides for the treatment and disposal of effluent and other waste water that: (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment.	A02.1 Development is connected to a reticulated sewerage system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located: (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated sewerage service area.	✓	Complies The site is serviced by the reticulated sewerage network system.
	A02.2 An effluent disposal system is provided in accordance with ASNZ 1547 On-Site Domestic Wastewater Management (as amended) where development is located: (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated sewerage service area.	n/a	Not Applicable The site is serviced by the reticulated sewerage network system.

Stormwater infrastructure			
PO3 Stormwater infrastructure is designed and constructed to collect and convey the design storm event to a lawful point of discharge in a manner that mitigates impacts on life and property.	AO3.1 Where located within a Priority infrastructure area or where stormwater infrastructure is available, development is connected to Council's stormwater network in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	✓	Complies The existing stormwater drainage system is sufficient for the proposed use. No additional infrastructure is required.
	AO3.2 On-site drainage systems are constructed: (a) to convey stormwater from the premises to a lawful point of discharge; and (b) in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	✓	Complies All on-site stormwater will be directed to a lawful point of discharge in accordance with all applicable design and construction standards.

Electricity supply			
PO4 Each lot is provided with an adequate supply of electricity	AO4 The premises: (a) is connected to the electricity supply network; or (b) has arranged a connection to the transmission grid; or (c) where not connected to the network, an independent energy system with sufficient capacity to service the development (at near average energy demands associated with the use) may be provided as an alternative to reticulated electricity where: (i) it is approved by the relevant regulatory authority; and (ii) it can be demonstrated that no air or noise emissions; and (iii) it can be demonstrated that no adverse impact on visual amenity will occur.	✓	Complies The site is serviced by the reticulated electricity supply network.
Telecommunications infrastructure			
PO5 Each lot is provided with an adequate supply of telecommunication infrastructure	AO5 Development is provided with a connection to the national broadband network or telecommunication services.	✓	Complies The site is serviced by the reticulated telecommunication and NBN networks.
Existing public utility services			
PO6 Development and associated works do not affect the efficient functioning of public utility mains, services or installations.	AO6 Public utility mains, services are relocated, altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	✓	Complies The development and associated works will not affect the efficient functioning of public utility mains, services or installations.

Excavation or filling			
PO7 Excavation or filling must not have an adverse impact on the: (a) streetscape; (b) scenic amenity; (c) environmental values; (d) slope stability; (e) accessibility; or (f) privacy of adjoining premises.	A07.1 Excavation or filling does not occur within 1.5 metres of any site boundary.	✓	Complies Excavation or filling will not occur within 1.5 metres of any site boundary.
	A07.2 Excavation or filling at any point on a lot is to be no greater than 1.5 metres above or below natural ground level.	✓	Complies Excavation or filling at any point on a lot will be no greater than 1.5 metres above or below natural ground level.
	A07.3 Earthworks batters: (a) are no greater than 1.5 metres in height; (b) are stepped with a minimum width 2 metre berm; (c) do not exceed a maximum of two batters and two berms (not greater than 3.6 metres in total height) on any one lot; (d) have a slope no greater than 1 in 4; and (e) are retained.	✓	Complies Any earthworks batters will be constructed in accordance with the applicable Design Guidelines and Specifications.
	A07.4 Soil used for filling or spoil from excavation is not stockpiled in locations that can be viewed from: (a) adjoining premises; or (b) a road frontage, for a period exceeding 1 month from the commencement of the filling or excavation.	✓	Complies Soil used for filling or spoil from excavation will not be stockpiled in locations that can be viewed from adjoining premises or the road frontage for a period exceeding 1 month from the commencement of the filling or excavation.
	A07.5 All batters and berms to be constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	✓	Complies Any earthworks batters or berms will be constructed in accordance with the applicable Design Guidelines and Specifications.

	A07.6 Retaining walls have a maximum height of 1.5 metres and are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	✓	Complies Any retaining walls constructed will have a maximum height of 1.5 metres and will be designed and constructed in accordance with the applicable standards.
	A07.7 Excavation or filling at any point on a lot is to include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	✓	Complies All excavation or filling at any point on a lot will include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the applicable Design Guidelines and Specifications.
For assessable development			
Transport network			
PO8 The development has access to a transport network of adequate standard to provide for the safe and efficient movement of vehicles, pedestrians and cyclists.	A08.1 Vehicle access, crossovers, road geometry, pavement, utilities and landscaping to the frontage/s of the site are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	✓	Complies Vehicle access, crossovers, road geometry, pavement, utilities and landscaping to the frontage of the site will be designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.
	A08.2 Development provides footpath pavement treatments in accordance with Planning Scheme Policy 9 – Footpath Paving.	n/a	Not Applicable No footpaths are proposed or required.
Public infrastructure			
PO9 The design, construction and provision of any infrastructure that is to be dedicated to Council is cost effective over its life cycle and incorporates provisions to minimise adverse impacts.	A09 Development is in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	n/a	Not Applicable No infrastructure that is to be dedicated to Council is proposed or required.

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Stormwater quality			
<p>PO10 Development has a non-worsening effect on the site and surrounding land and is designed to:</p> <ul style="list-style-type: none"> (a) optimise the interception, retention and removal of waterborne pollutants, prior to the discharge to receiving waters; (b) protect the environmental values of waterbodies affected by the development, including upstream, on-site and downstream waterbodies; (c) achieve specified water quality objectives; (d) minimise flooding; (e) maximise the use of natural channel design principles; (f) maximise community benefit; and (g) minimise risk to public safety. 	<p>AO10.1 The following reporting is prepared for all Material change of use or Reconfiguring a lot proposals:</p> <ul style="list-style-type: none"> (a) a Stormwater Management Plan and Report that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; and (b) an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia), including: <ul style="list-style-type: none"> (i) drainage control; (ii) erosion control; (iii) sediment control; and (iv) water quality outcomes. 	✓	<p>Will Comply A Stormwater Management Plan and Erosion and Sediment Control Plan will be provided with the Operational Works applications pending approval of the Material Change of Use Permit and in accordance with the Conditions of Approval thereof.</p>

	<p>AO10.2 For development on land greater than 2,500m² or that result in more than 5 lots or more than 5 dwellings or accommodation units, a Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) is prepared that demonstrates that the development:</p> <ul style="list-style-type: none"> (a) meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline; (b) is consistent with any local area stormwater water management planning; (c) accounts for development type, construction phase, local climatic conditions and design objectives; and (d) provides for stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosivity. 	n/a	<p>Not Applicable The proposed development does not involve land greater than 2,500m².</p>
<p>PO11 Storage areas for stormwater detention and retention:</p> <ul style="list-style-type: none"> (a) protect or enhance the environmental values of receiving waters; (b) achieve specified water quality objectives; (c) where possible, provide for recreational use; (d) maximise community benefit; and (e) minimise risk to public safety. 	<p>AO11 No acceptable outcome is provided.</p>	n/a	<p>Not Applicable No stormwater detention or retention infrastructure is required or proposed.</p>

Excavation or filling			
PO12 Traffic generated by filling or excavation does not impact on the amenity of the surrounding area.	AO12.1 Haul routes used for transportation of fill to or from the site only use major roads and avoid residential areas.	✓	Complies Haul routes used for transportation of fill to or from the site will only use major roads and avoid residential areas where possible.
	AO12.2 Transportation of fill to or from the site does not occur: (a) within peak traffic times; and (b) before 7am or after 6pm Monday to Friday; (c) before 7am or after 1pm Saturdays; and (d) on Sundays or Public Holidays.	✓	Complies Transportation of fill to or from the site will not occur within peak traffic times, before 7am or after 6pm Monday to Friday, before 7am or after 1pm Saturdays or on Sundays or Public Holidays.
PO13 Air pollutants, dust and sediment particles from excavation or filling, do not cause significant environmental harm or nuisance impacts.	AO13.1 Dust emissions do not extend beyond the boundary of the site.	✓	Complies All care will be taken so that dust emissions do not extend beyond the boundary of the site.
	AO13.2 No other air pollutants, including odours, are detectable at the boundary of the site.	✓	Complies All care will be taken so that no other air pollutants, including odours, are detectable at the boundary of the site.
	AO13.3 A management plan for control of dust and air pollutants is prepared and implemented.	✓	Complies If required, a management plan for control of dust and air pollutants is prepared and implemented.
PO14 Access to the premises (including driveways and paths) does not have an adverse impact on: (a) safety; (b) drainage; (c) visual amenity; and (d) privacy of adjoining premises.	AO14 Access to the premises (including all works associated with the access): (a) must follow as close as possible to the existing contours; (b) be contained within the premises and not the road reserve, and (c) are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	✓	Complies Access to the premises, including all works associated with the access will be contained within the premises and not the road reserve and will be designed and constructed in accordance with the Design Guidelines and Specifications in PSP4.

Weed and pest management			
PO15 Development prevents the spread of weeds, seeds or other pests into clean areas or away from infested areas.	AO15 No acceptable outcome is provided.	✓	Complies All care will be taken so that proposed development will not increase the risk or spreading weeds or pests.
Contaminated land			
PO16 Development is located and designed to ensure that users and nearby sensitive land uses are not exposed to unacceptable levels of contaminants	AO16 Development is located where: (a) soils are not contaminated by pollutants which represent a health or safety risk to users; or (b) contaminated soils are remediated prior to plan sealing, operational works permit, or issuing of building works permit.	✓	Complies There is no contaminated land on the site.
Fire services in developments accessed by common private title			
PO17 Fire hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.	AO17.1 Fire hydrants are located in accessways or private roads held in common private title at a maximum spacing of: (a) 120 metres for residential development; and (b) 90 metres for any other development.	n/a	Not Applicable The proposed development does not involve access ways or private roads held in common private title.
	AO17.2 Fire hydrants are located at all intersections of accessways or private roads held in common private title.	n/a	Not Applicable The proposed development does not involve access ways or private roads held in common private title.

Drawing List	
Sheet Number	Sheet Name
A000	Cover Sheet
A001	Proposed 3D (9am)
A002	Proposed 3D (1pm)
A003	Proposed 3D (3pm)
A004	Site Plan
A005	Site Drainage
A006	Pr. Grnd Flr.
A007	Proposed Level 1
A008	Elevations - 1
A009	Elevations - 2
A010	Internal Elevations
A011	Swept Path - 1
A012	Swept Path - 2
A013	Lanscaping Plan
A014	Gen. Details Sheet
A015	General Notes - 1

Area Schedule		
Name	Area	Sqrs
Communal Open Space (Back)	67.7 m²	7.3
Communal Open Space (Front)	42.4 m²	4.6
Unit 1	60.4 m²	6.5
Unit 1 Deck	10.8 m²	1.2
Unit 1 Porch	9.5 m²	1.0
Unit 1 S.P.O.S	19.0 m²	2.0
Unit 2	59.6 m²	6.4
Unit 2 Deck	10.7 m²	1.2
Unit 2 Porch	9.4 m²	1.0
Unit 2 S.P.O.S	18.7 m²	2.0
Unit 3	59.6 m²	6.4
Unit 3 Deck	10.7 m²	1.2
Unit 3 Porch	9.4 m²	1.0
Unit 3 S.P.O.S	18.7 m²	2.0
Unit 4	60.4 m²	6.5

Area Schedule		
Name	Area	Sqrs
Unit 4 Deck	10.8 m²	1.2
Unit 4 Porch	9.5 m²	1.0
Unit 4 S.P.O.S	19.0 m²	2.0
Unit 5	60.4 m²	6.5
Unit 5 Deck	10.8 m²	1.2
Unit 5 Porch	10.6 m²	1.1
Unit 6	59.6 m²	6.4
Unit 6 Deck	10.7 m²	1.2
Unit 6 Porch	10.5 m²	1.1
Unit 7	59.6 m²	6.4
Unit 7 Deck	10.7 m²	1.2
Unit 7 Porch	10.5 m²	1.1
Unit 8	60.4 m²	6.5
Unit 8 Deck	10.8 m²	1.2
Unit 8 Porch	10.6 m²	1.1
	831.6 m²	89.5



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Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:		Cover Sheet	Sheet:	A000 of 15	Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au
			Status:	Concept	
			Date:	11/11/25	
			Ref:	GGF-115	
			Size:	A3	
			Drawing No. A000		
		Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400			



1 Proposed 3D (9am)

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Proposed 8-unit Apartment 27 Mason St., Mareeba, QLD

Revision:

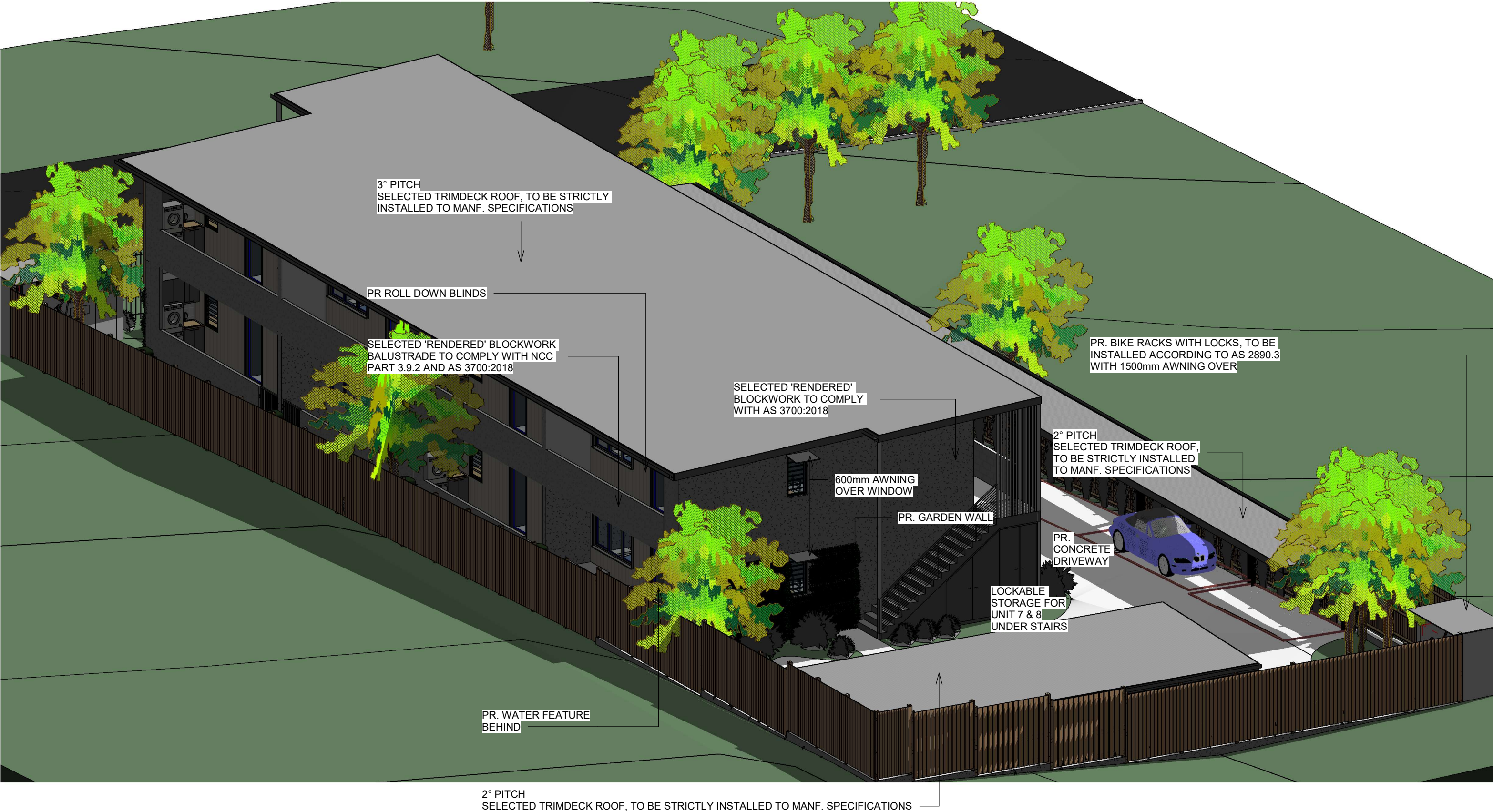
Proposed 3D (9am)

Drawing No.
A001

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Sheet:	A001 of 15
Status:	Concept
Date:	11/11/25
Ref:	GGF-115
Size:	A3

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1

Proposed 3D (1pm)

Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:	Proposed 3D (1pm)	Sheet:	A002 of 15	<div>Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au</div>
	Drawing No.	Status:	Concept	
	A002	Date:	11/11/25	
	Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400	Ref:	GGF-115	
		Size:	A3	



1 Proposed 3D (3pm)

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Proposed 8-unit Apartment

27 Mason St., Mareeba, QLD

Revision:

Proposed 3D (3pm)

Drawing No.
A003

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Sheet:	A003 of 15
Status:	Concept
Date:	11/11/25
Ref:	GGF-115
Size:	A3

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Building Design
M:0415 170 642
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DRAINAGE NOTES:

1.The drainage layout shown is indicative only. all work shall be carried out by a licensed plumber.

2. Plumber to confirm existing plumbing & venting on site.

3. all new work to be constructed in accordance with the current Plumbing and Drainage ACT 2002, Cairns Regional Council regulations and other relevant and current Australian Standards.

4. The contractor shall verify all existing surface and invert levels prior to construction.

5. All Drainage shall be 100mmØ UPVC run at min. Grade of 1:60.

6. Terminate vent pipes if required in accordance with the current AS 3500

Legend :

F.F.L. - Finished Floor Level

E.G.L. - Excavated Ground Level ready for paving

P1 - unipit 200 (225x225x89) grated pit

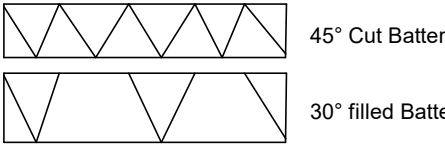
L.P.O.D. - Legal Point Of Discharge

S.W.D. - 100Ømm P.V.C. Storm Water Drain

D.P. - Down Pipe

R.H. - Rain head

B.G. - 300mm wide box gutter

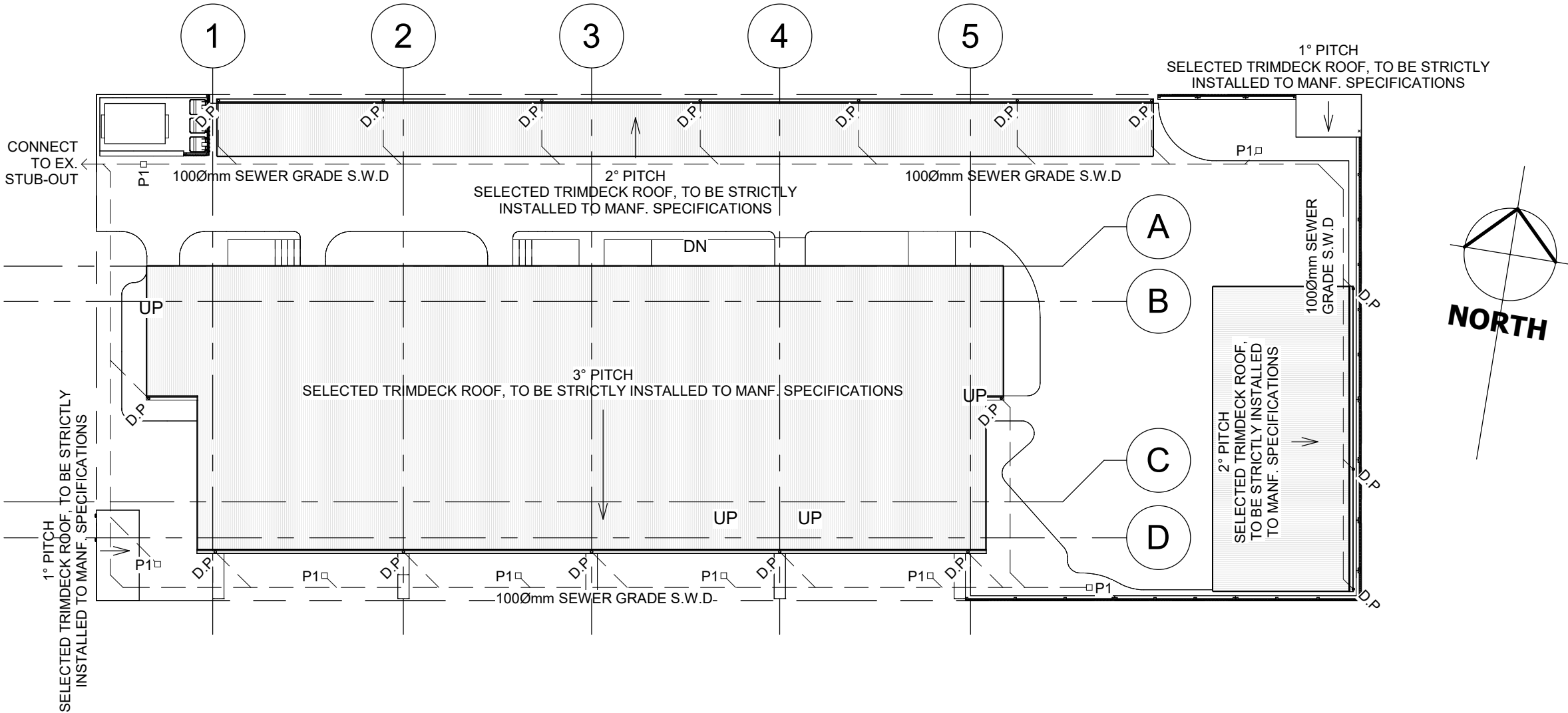


100Ømm Sewer Grade S.W.D. shall be used under all driveways, paths and house and garage slabs.

All levels shall be checked on site before commencement of any works

owners are responsible for removal of any existing fences(if any) and future reinstatement if required where garage walls and dwelling walls are built on side boundaries.

SURFACE WATER DRAINAGE TO NCC HOUSING PROVISIONS PART 3.3



Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

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Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:

Site Drainage

Drawing No.

A005

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Sheet: A005 of 15

Status: Concept

Date: 11/11/25

Ref: GGF-115

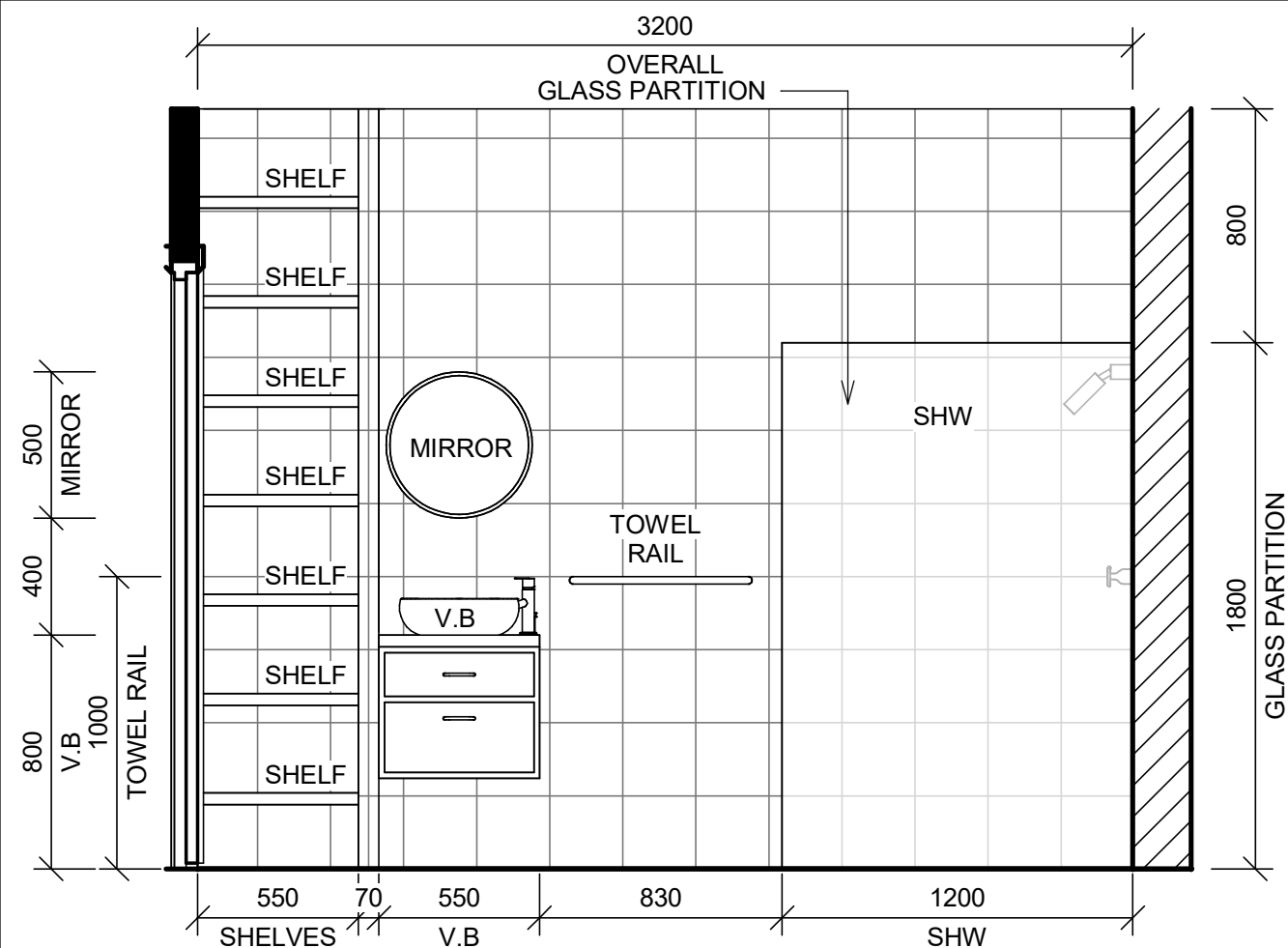
Size: A3

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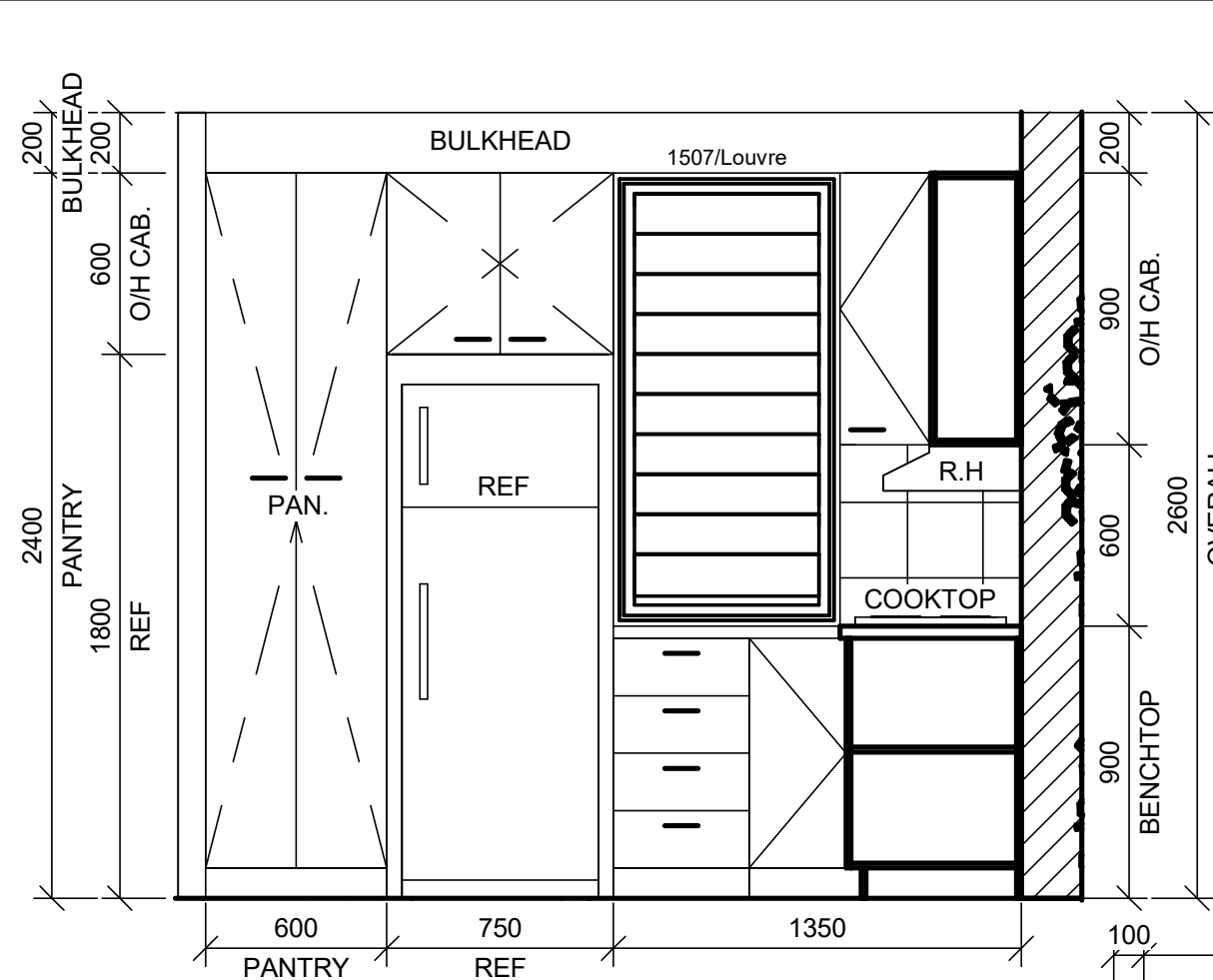
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Site Drainage

1 : 200

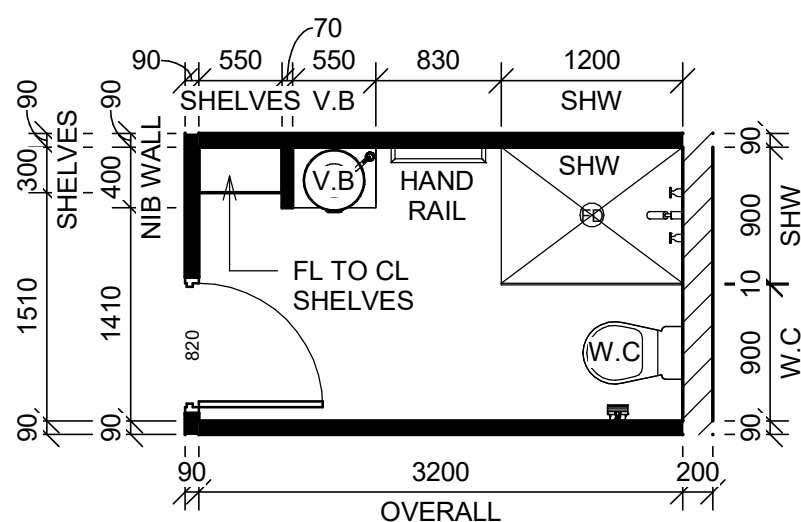


1 Typ. Bathroom
1 : 25

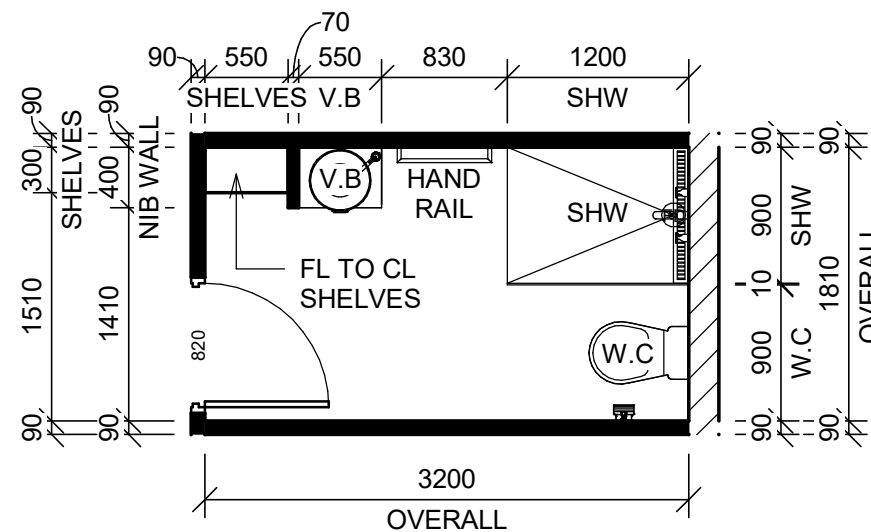


2 Typ. Kitchen
1 : 25

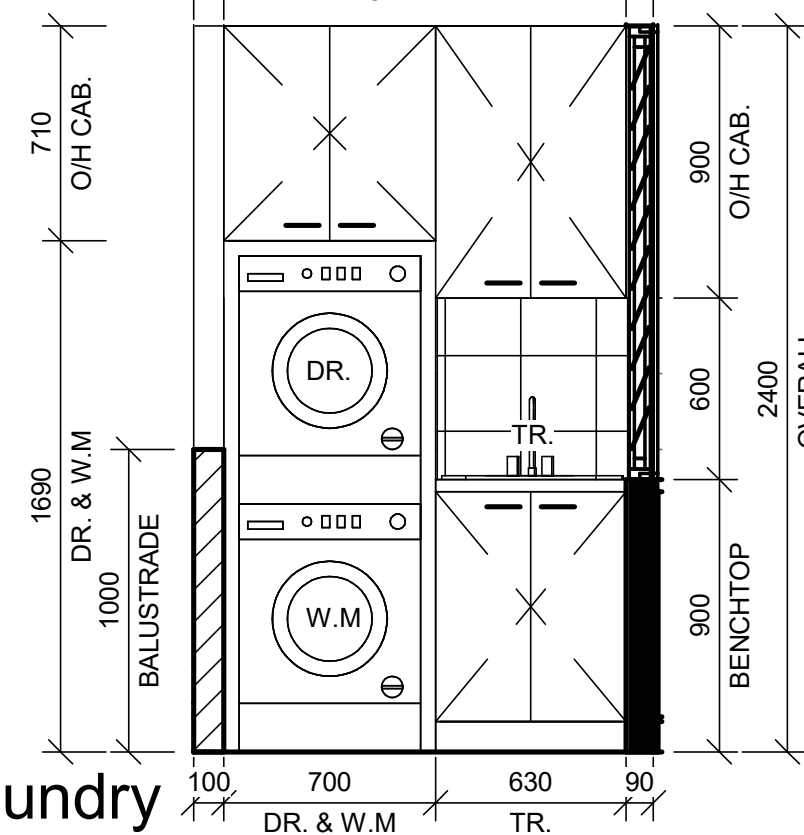
GENERAL NOTES:
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.
ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING.
WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS.
PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1-2014
ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3



3 GF Typ. Bathroom
1 : 50



4 Level 1 Typ. Bathroom
1 : 50



5 Typ. Laundry
1 : 25

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Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:

Internal Elevations

Sheet: A010 of 15
Status: Concept
Date: 11/11/25
Ref: GGF-115
Size: A3

Drawing No.
A010

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

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SITE COVERAGE:
TOTAL PROPERTY AREA - 1,012 m²
PROPOSED 2 STOREY - 356.2 m²

CALCULATION:
% COVER: (356.2 m² / 1,012 m²) x 100 = 35.19%

HARD SURFACE COVERAGE:
PR. DRIVEWAY - 449.09 m²


CALCULATION:
% COVER: (449.09 m² / 1,012 m²) x 100 = 44.38%


SOFT SURFACE COVERAGE:
PR. SOFT SURFACE - 206.7 m²

CALCULATION:
% COVER: (206.7 m² / 1,012 m²) x 100 = 20.42%

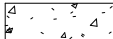
LEGEND

SOFT LANDSCAPING

 TURF

 MULCHED GARDEN BED

HARD LANDSCAPING

 CONCRETE 100mm DEPTH


NATIVE PLANT LEGEND

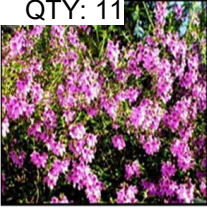
EXISTING

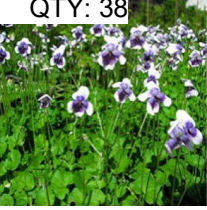
A. PLANTS TO REMAIN
ARE TO BE PRUNED BACK
MAINTAINED TO COUNCILS
SATISFACTION

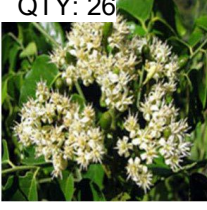
PROPOSED


1. PAVETTA AUSTRALIENSIS (PAVETTA)
QTY: 13

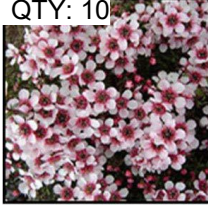

2. PROSTANTHERA PHYLICIFOLIA (SPIKED MINT BUSH)
QTY: 11

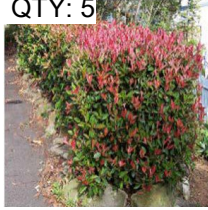

3. VIOLA HEDERACEA (NATIVE VIOLET)
QTY: 38

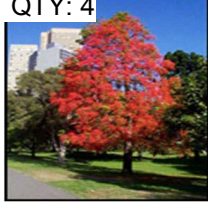

4. MICROMELUM MINUTUM (LIME BERRY)
QTY: 26



5. MACKINLAYA MACROSCIADAEA (BLUE UMBRELLA)
QTY: 6


6. LEPTOSPERUMUM SPECIES (TEA-TREES)
QTY: 10

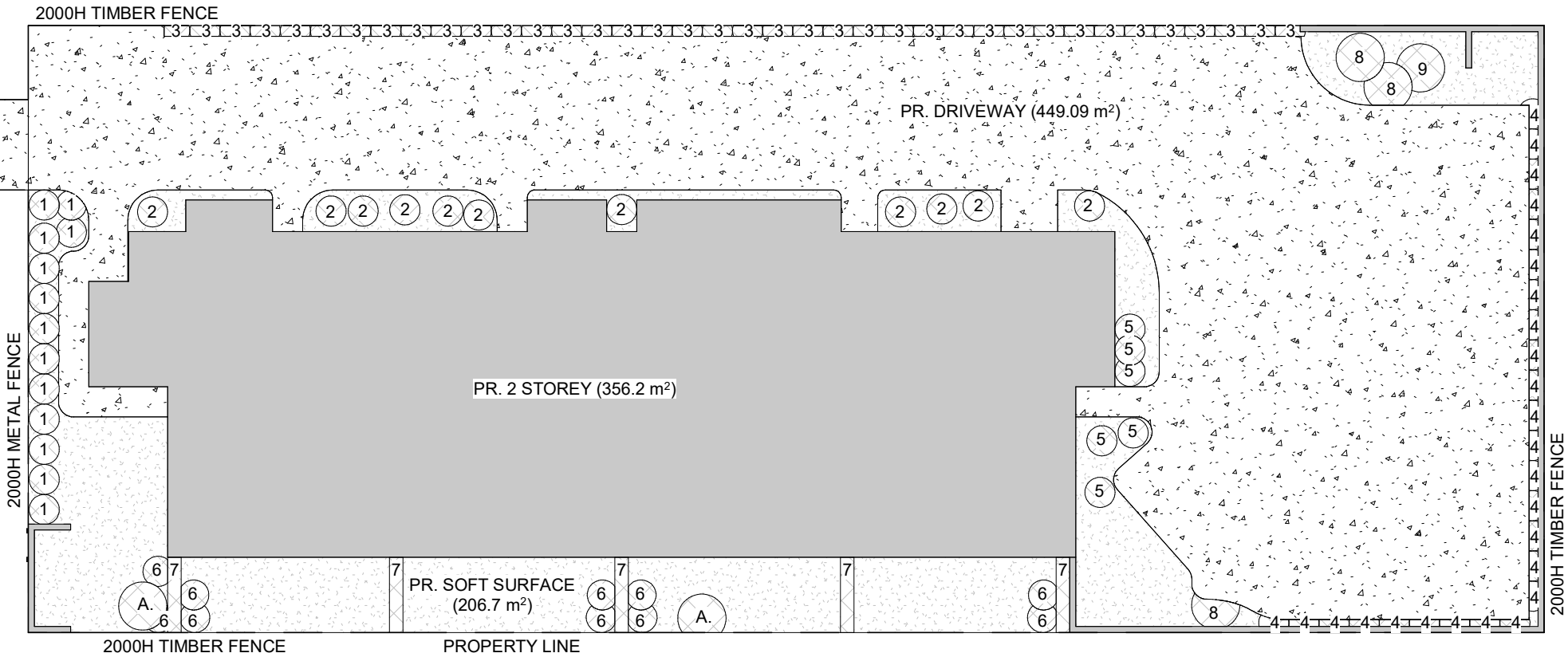

7. SYZYGIIUM SMITHII (Lillypilly)
QTY: 5


8. BRACHYCHITON ACERIFOLIUS (IILLAWARRA FLAME TREE)
QTY: 4


9. MANGIFERA INDICA
QTY: 1



MASON ST.



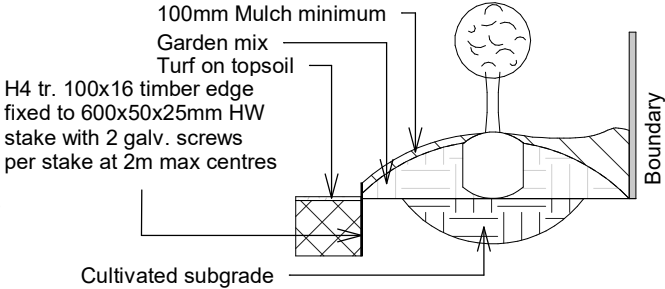
2 Pr. Lanscaping Plan
1 : 200

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Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:	Lanscaping Plan	Sheet:	A013 of 15	Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au
	Drawing No. A013	Status:	Concept	
	Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400	Date:	11/11/25	
		Ref:	GGF-115	
		Size:	A3	

Planting Bed Preparation
1 : 100



LEGEND

-EXISTING CARPORT

-EXISTING RESIDENCE

-PROPOSED EXTENSION

TBC - TO BE CONFIRMED

C.O.S

-CONFIRM ON SITE

EX

-EXISTING

N.G.L.

-NATURAL GROUND LEVEL

E.G.L

-EXISTING GROUND LEVEL

F.F.L.

-FINISHED FLOOR LEVEL

~

-APPROXIMATE

M

-METER/S

SOM/m²

-SQUARE METRES

mm

-MILLIMETRES

MIN.

-MINIMUM

O-H

-OVERHANG

O/H

-OVERHEAD

MAX.

-MAXIMUM

HT.

-HEIGHT

U/S

-UNDERSIDE

SPEC.

-SPECIFICATIONS

MANF.

-MANUFACTURERS

REQ'S

-REQUIRES

B.C.A

-BUILDING CODE OF AUSTRALIA

N.C.C

-NATIONAL CONSTRUCTION CODE

A.S.

- AUSTRALIAN STANDARDS

Q.D.C.

-QUEENSLAND DEVELOPMENT CODE

RP

-REGISTERED PLAN

DN

-DOWN

SHW

-SHOWER

W.C

-WATER CLOSET

V.B

-VANITY BASIN

C.S.D.

-CAVITY SLIDING DOOR

W.I.R

-WALK IN ROBE

WIN

-WINDOW

SL

-SLIDING WINDOW

CAS

-CASEMENT WINDOW

B.F

-BI-FOLD WINDOW

AW

-AWNING WINDOW

DR.

-DOORS

S.D.

-SLIDING DOOR

IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE PROPOSED DEVELOPMENT IS LOCATED IN A POSITION THAT DOES NOT INTERFERE WITH THE INFRASTRUCTURE ON SITE AND COMPLIES WITH THE QDC MP1.4.

BULK BIN STORAGE:

•

HAVE A FLOOR WHICH IS RAISED AND GRADED TO THE CENTRE, IMPERVIOUSLY PAVED, SUITABLY DRAINED TO COUNCIL'S SEWER VIA AN APPROVED BUCKET TRAP WITH DRY BASKET ARRESTER (DBA), AND WITH THE FRONT EDGE RAMPED (AT A MAXIMUM GRADIENT OF 5%) TO ALLOW EASY SERVICING OF THE BULK BIN(S);

•

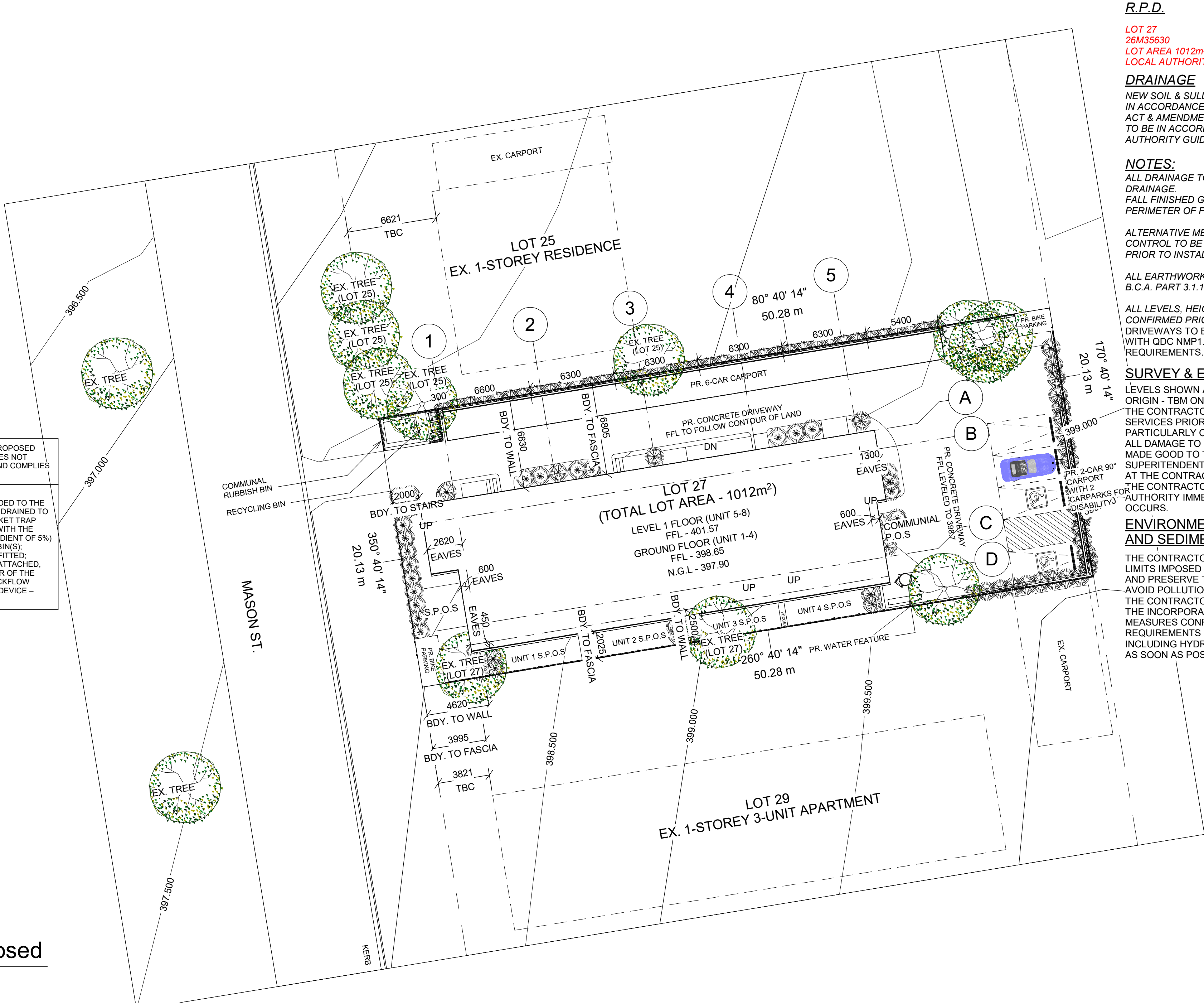
FIRST FLUSH DIVERSION VALVE SHALL BE FITTED;

•

HAVE A SUITABLE HOSECOCK WITH HOSE ATTACHED, LOCATED ON AN EXTERNAL FRONT CORNER OF THE ENCLOSURE WITH DUAL CHECK VALVE BACKFLOW PREVENTION (REDUCED PRESSURE ZONE DEVICE – (RPZD))

NOTE:

DRIVEWAY DESIGNED AS PER AS2890.1:2004



R.P.D.

LOT 27
26M35630
LOT AREA 1012m²
LOCAL AUTHORITY- MAREEBA SHIRE COUNCIL

DRAINAGE

NEW SOIL & SULLAGE DRAINAGE TO COUNCIL SEWER IN ACCORDANCE WITH WATER SUPPLY & SEWERAGE ACT & AMENDMENTS. NEW STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH A.S. 3500 & LOCAL AUTHORITY GUIDELINES & B.C.A. SPECIFICATIONS

NOTES:

ALL DRAINAGE TO COMPLY WITH B.C.A PART 3.1.2 DRAINAGE.
FALL FINISHED GROUND @1.20 FOR MIN. IM AROUND PERIMETER OF FOUNDATIONS.

ALTERNATIVE METHODS OF SURFACE WATER CONTROL TO BE APPROVED BY PRIVATE CERTIFIER PRIOR TO INSTALLATION.

ALL EARTHWORKS TO BE IN ACCORDANCE WITH B.C.A. PART 3.1.1 OR ENGINEERS SPECIFICATION.

ALL LEVELS, HEIGHTS AND DIMENSIONS TO BE CONFIRMED PRIOR TO START OF ANY WORKS. DRIVEWAYS TO BE CONSTRUCTED IN ACCORDANCE WITH QDC NMP1.1, A.S. 2890 AND LOCAL AUTHORITY REQUIREMENTS.

SURVEY & EXISTING SERVICES

LEVELS SHOWN ARE TO ASSUME DATUM ORIGIN - TBM ON FOOTPATH RL 50.000
THE CONTRACTOR IS TO LOCATE ALL EXISTING SERVICES PRIOR TO ANY EXCAVATION PARTICULARLY ON THE FOOTHPATH
ALL DAMAGE TO EXISTING SERVICES SHALL BE MADE GOOD TO THE SATISFACTION OF THE SUPERITENDENT AND THE RELEVANT AUTHORITY AT THE CONTRACTORS EXPENSE
THE CONTRACTOR SHALL NOTIFY THE RELEVANT AUTHORITY IMMEDIATELY WHEN ANY DAMAGE OCCURS.

ENVIRONMENTAL PROTECTION AND SEDIMENT EROSION CONTROL

THE CONTRACTOR IS RESPONSIBLE WITHIN THE LIMITS IMPOSED BY THE WORKS, TO PROTECT AND PRESERVE THE NATURAL ENVIRONMENT AND AVOID POLLUTION
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCORPORATION OF APPROPRIATE CONTROL MEASURES CONFORMING WITH THE REQUIREMENTS OF THE CARNS CITY COUNCIL INCLUDING HYDROMULCHING BARE EARTH AREAS AS SOON AS POSSIBLE (IF DIRECTED)

1 Site Proposed
1 : 200

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Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:	Site Plan	Sheet:	A004 of 15
	Drawing No.	Status:	Concept
	A004	Date:	11/11/25
	Drawn: Cinda Gomes-Franklin	Ref:	GGF-115
	QBCC 15153859	Size:	A2
	DP-AD 39400		

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E:cinda@speedygomez.com.au

- ROOM LEGEND:**
1. PORCH
2. ENTRY
3. LIVING
4. DINING
5. KITCHEN
6. BATH
7. BEDROOM 1
8. BEDROOM 2
9. LAUNDRY
10. DECK
- LEGEND:**
Shower Door
No Shower Doors
FL to CL Tiles
Raked Ceiling
Porch, Deck
Fiat Ceiling
Other Areas
Bathroom
300ht x 1000w
Tiled Shw Niche
en Suite
600ht x 300w
Tiled Shw Niche
1 x glass insert
shelf central

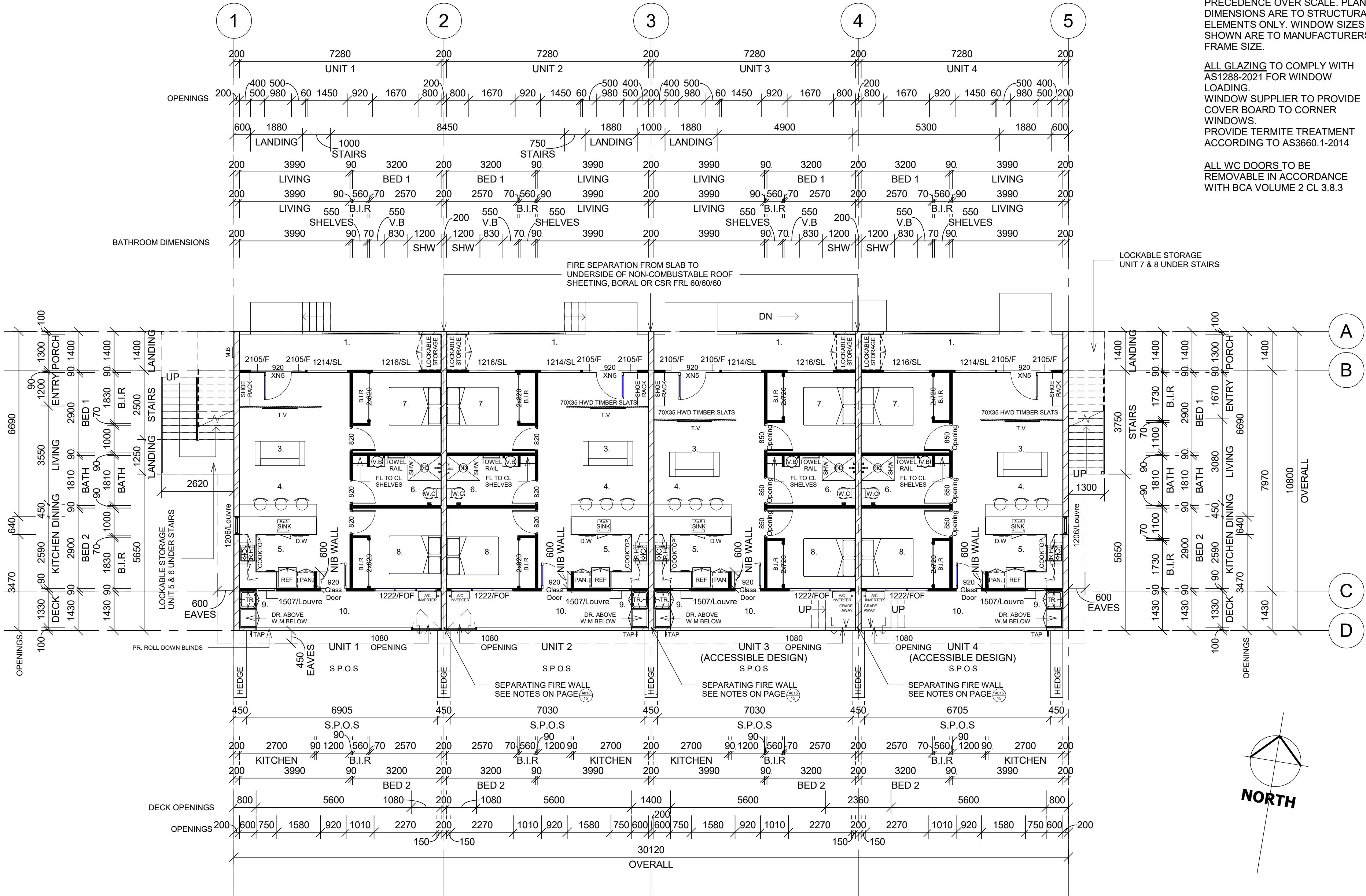
- 2600H CEILING HEIGHT TYPICAL THROUGHOUT UNLESS NOTED OTHERWISE
- SQUARE SET WALL/CEILING JUNCTION TYPICAL UNLESS NOTED OTHERWISE
- 67mm x 18mm NOM. ARCHITRAVE TYPICAL THROUGHOUT. PROFILE: 'SINGLE BEVEL'
- 140mm x 18mm NOM. SKIRTING TYPICAL THROUGHOUT. PROFILE: 'SINGLE BEVEL'
- PROVIDE REBATE IN FLOOR FOR A FLUSH THRESHOLD TO ALL EXTERNAL DOORS. EXACT DEPTHS OF REBATE TO BE CONFIRMED ON SITE UPON DOOR SELECTION
- EXTENT TO JOINERY SHOWN IS INDICATIVE ONLY. ALL JOINERY DETAILS INCLUDING DESIGN, DIENSIONS, MATERIALS, FITTINGS & FIXTURES TO BE CONFIRMED WITH OWNER PRIOR TO FABRICATION & INSTALLATION
- STAIRWAY, BARRIER AND HANDRAIL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC VOL. 2 HOUSING PROVISIONS PARTS 11.2 AND 11.3

GENERAL NOTES:

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.

ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING.
WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS.
PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3



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Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:

Pr. Grnd Flr.

Drawing No.
A006

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Sheet: A006 of 15
Status: Concept
Date: 11/11/25
Ref: GGF-115
Size: A2

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Building Design
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E:cinda@speedygomez.com.au

1

Grnd. Flr. Proposed

1 : 100

ROOM LEGEND:

1. PORCH
2. ENTRY
3. LIVING
4. DINING
5. KITCHEN
6. BATH
7. BEDROOM 1
8. BEDROOM 2
9. LAUNDRY
10. DECK

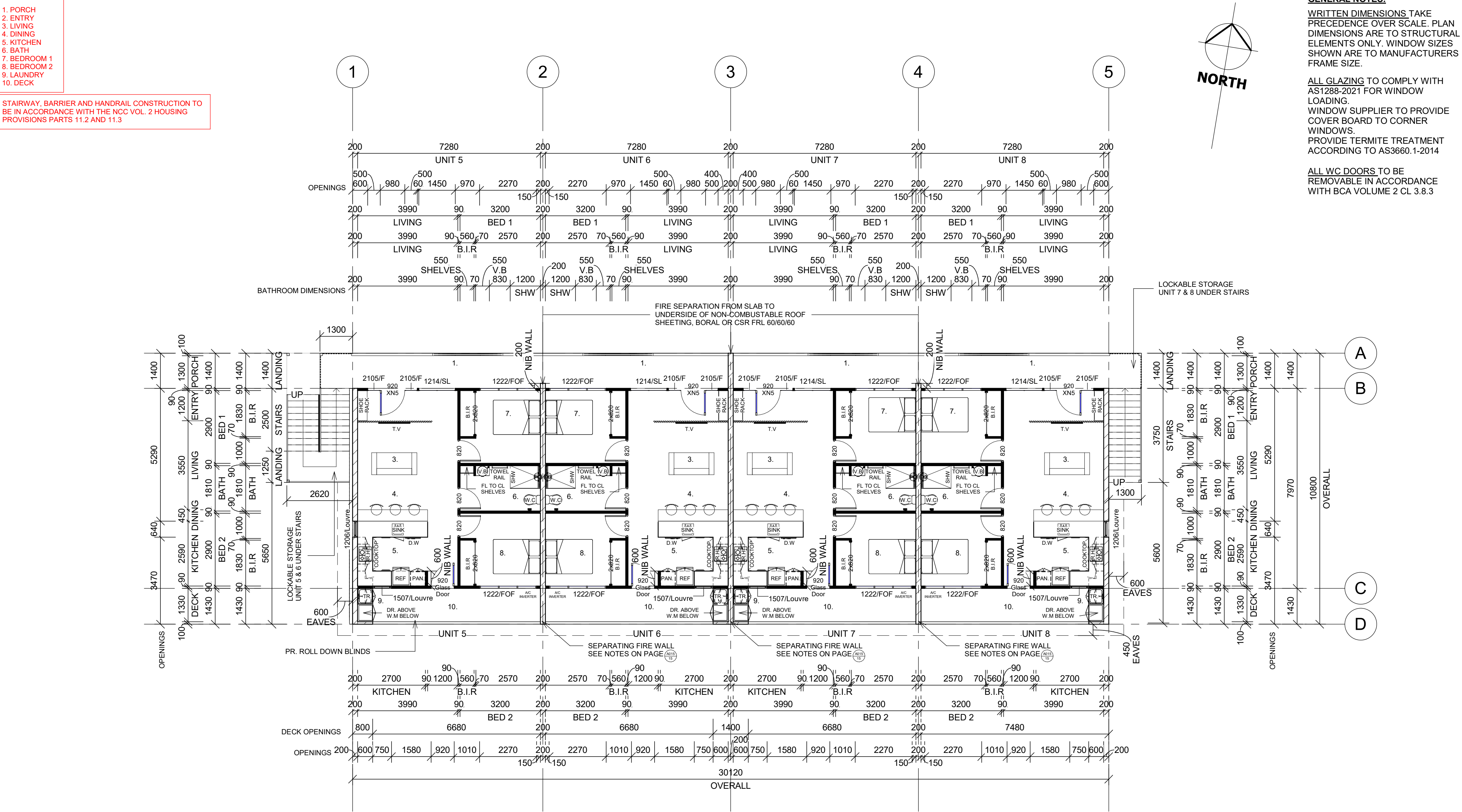
STAIRWAY, BARRIER AND HANDRAIL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC VOL. 2 HOUSING PROVISIONS PARTS 11.2 AND 11.3

GENERAL NOTES:

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Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:

Proposed Level 1

Drawing No.
A007

Drawn: Cinda Gomez-Franklin
QBCC 15153859
DP-AD 39400

Sheet: A007 of 15

Status: Concept

Date: 11/11/25

Ref: GGF-115

Size: A2

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Building Design
M:0415 170 642
E:cinda@speedygomez.com.au

1

Level 1 Proposed

1 : 100

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WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS.
PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3

REQUIREMENTS FOR SUSTAINABLE BUILDINGS

ACCEPTABLE SOLUTIONS:

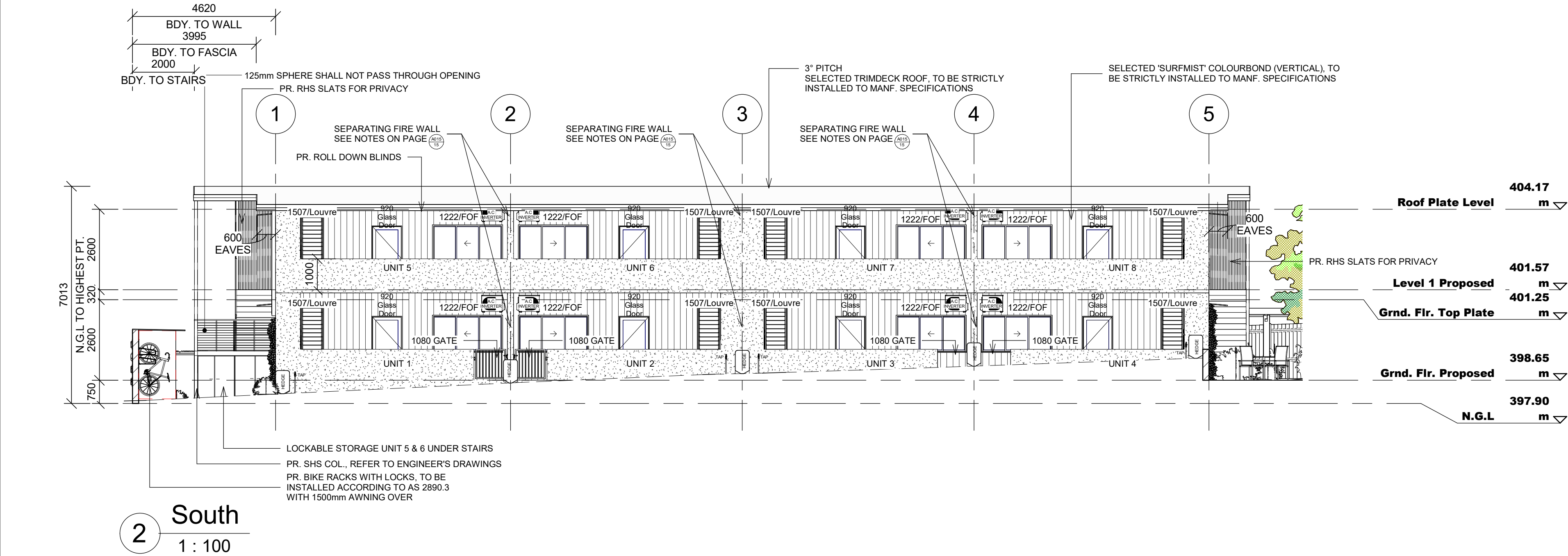
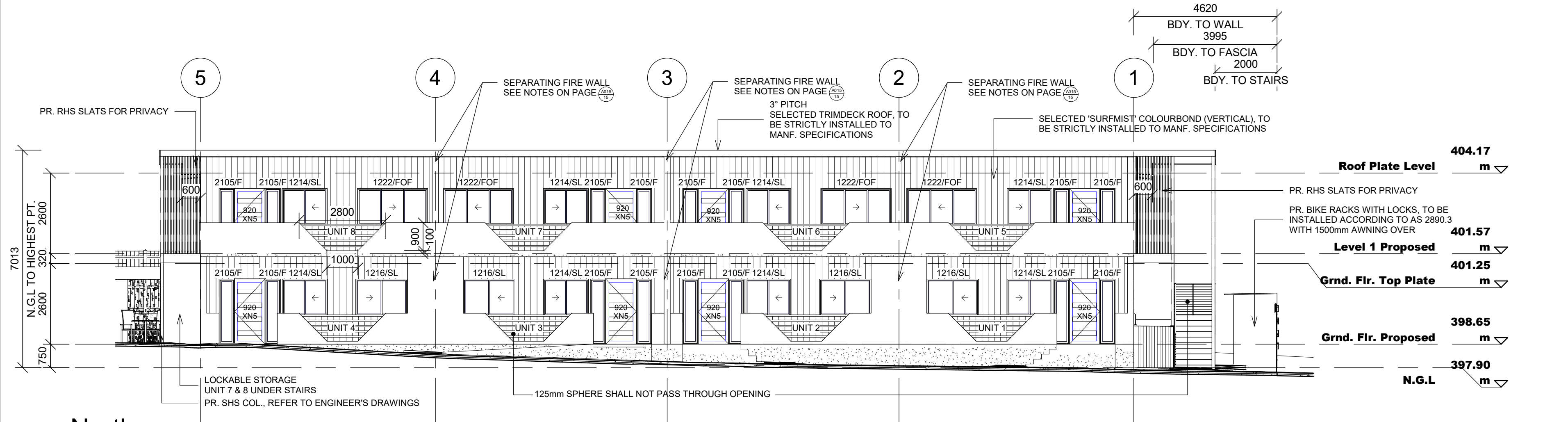
TAPWARE:
SHOWER ROSES TO BE AAA RATING WHEN ASSESSED AGAINST AS/NZ 6400-2016 OR A 3 STAR RATING UNDER THE WATER EFFICIENCY LABELLING AND STANDARDS RATING FOR TAPS SERVING:
LAUNDRY TUBS
KITCHEN SINKS
BASINS

WATER SUPPLY:
IN A SERVICE AREA FOR RETAIL WATER SERVICE UNDER THE WATER ACT 2000, THE WATER SUPPLIED TO ANEW CLASS 1 BUILDING DOES NOT EXCEED PRESSURE LEVELS SE OUT IN AS/NZ3550.1-2003 AND IF THE MAIN WATER PRESSURE EXCEEDS OR COULD EXCEED 500 Kpa, A WATER PRESSURE LIMITING DEVICE IS INSTALLED TO ENSURE THAT THE MAXIMUM OPERATING PRESSURE AT THE OUTLET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500Kpa.

VOLUME OF WATER USED IN TOILET:
TOILET CISTERNS TO HAVE DUAL FLUSH CAPABILITY AND HAVE A MINIMUM 4 STAR WATER LABELLING AND STANDARDS RATING.

ENERGY EFFICIENT LIGHTING:
A MINIMUM OF 80% OF ALL INTERNAL FIXED LIGHTING MUST BE ENERGY EFFICIENT LIGHTING.

STAIRWAY, BARRIER AND HANDRAIL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC VOL. 2 HOUSING PROVISIONS PARTS 11.2 AND 11.3



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Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:

Elevations - 1

Sheet: A008 of 15

Status: Concept

Date: 11/11/25

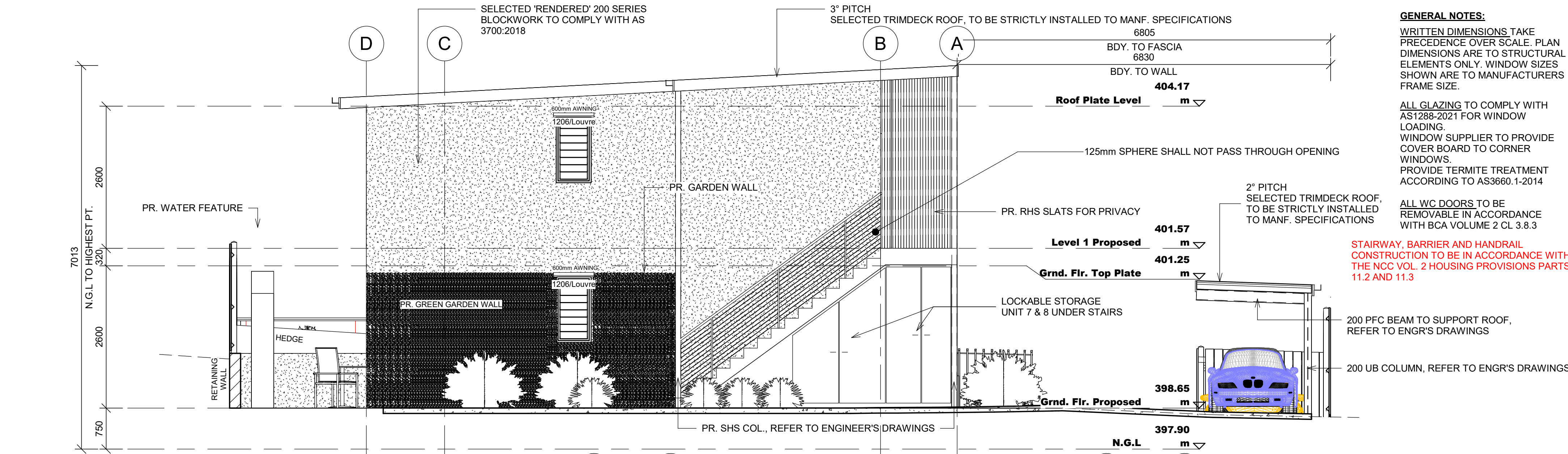
Ref: GGF-115

Size: A2

Drawing No.
A008

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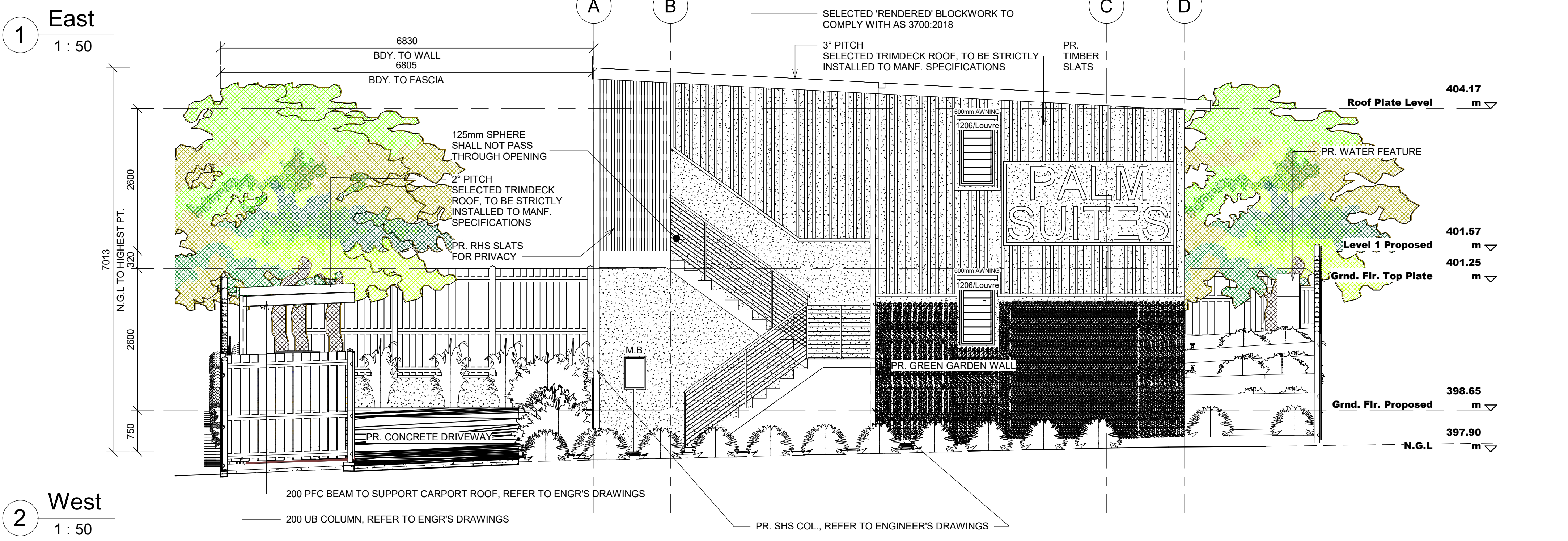


GENERAL NOTES:
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.

ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING. WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS. PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3

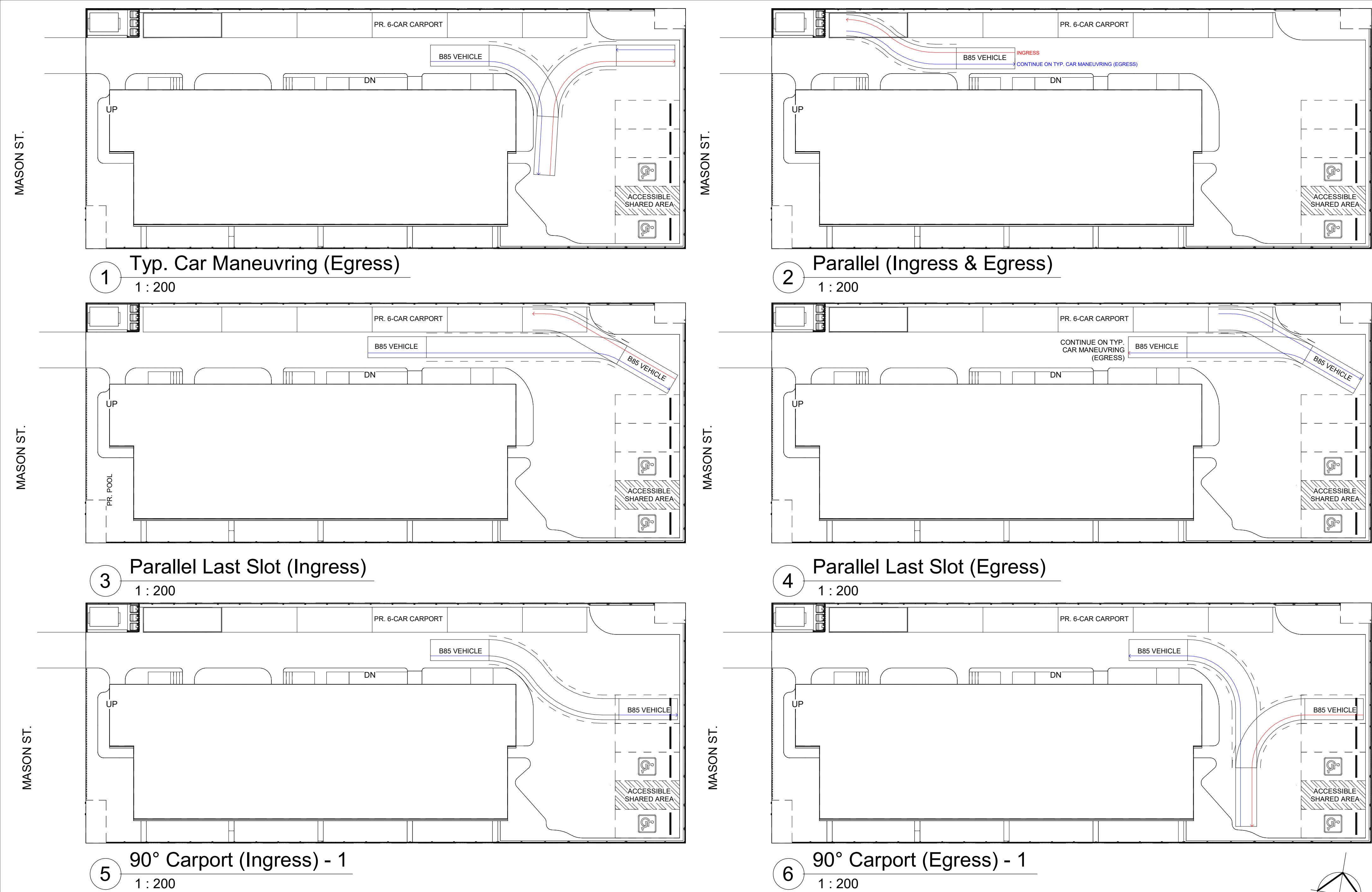
STAIRWAY, BARRIER AND HANDRAIL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC VOL. 2 HOUSING PROVISIONS PARTS 11.2 AND 11.3



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Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:	Elevations - 2	Sheet:	A009 of 15	Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au
	Drawing No. A009	Status:	Concept	
	Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400	Date:	11/11/25	
		Ref:	GGF-115	
		Size:	A2	



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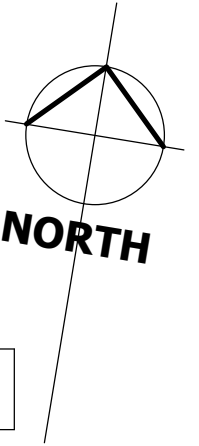
Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:		Swept Path - 1	
		Drawing No.	Sheet: A011 of 15
		A011	Status: Concept
		Drawn: Cinda Gomes-Franklin	Date: 11/11/25
		QBCC 15153859	Ref: GGF-115
		DP-AD 39400	Size: A2

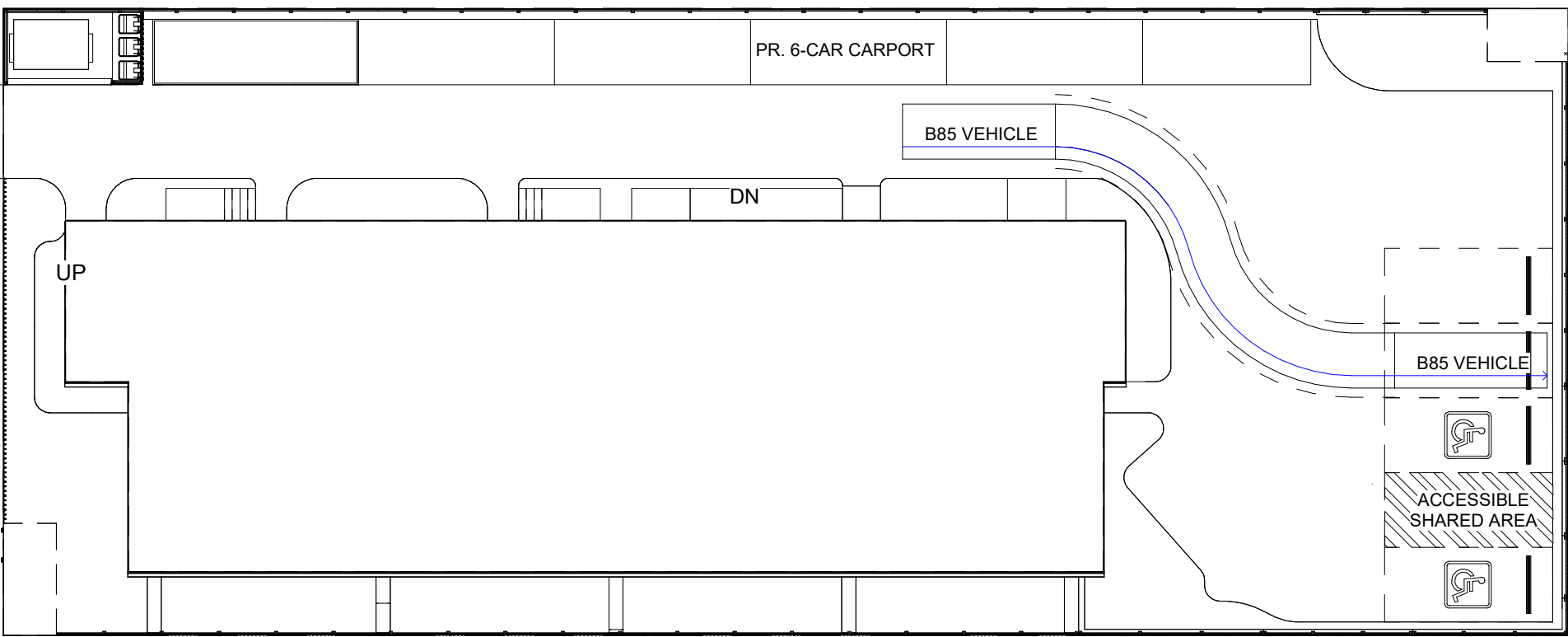
Speedy Gomez
Building Design
M:0415 170 642
E:cinda@speedygomez.com.au

PARKING LEGEND:
BASED FROM AS/NZS 2890.1:2004
B85 DESIGN TEMPLATE - 5.8m RADIUS TURN
- B85 CAR (1770mm WIDE)
- 2 x 300mm MANEUVERING CLEARANCES
CAR MANOEUVRING LEGEND:
- FORWARD DRIVING
- REVERSE DRIVING

NOTE:
DRIVEWAY DESIGNED AS PER AS2890.1:2004

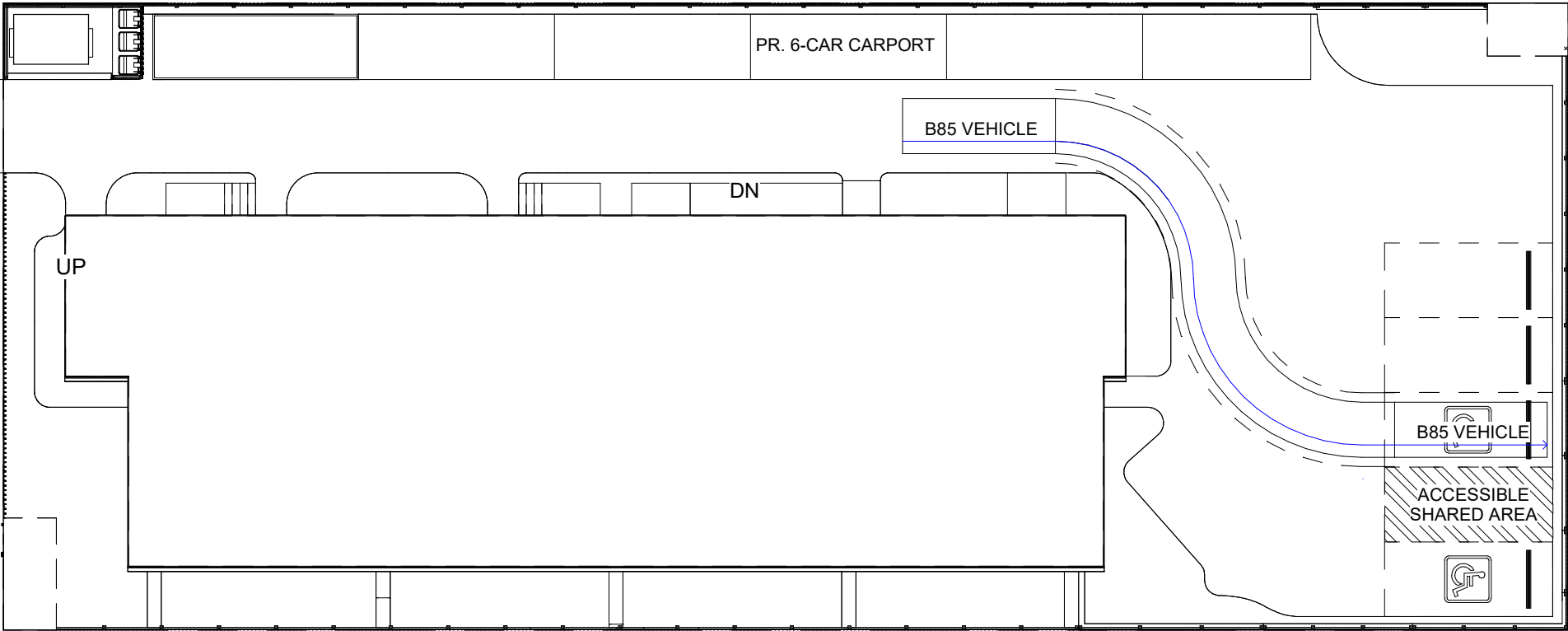


MASON ST.



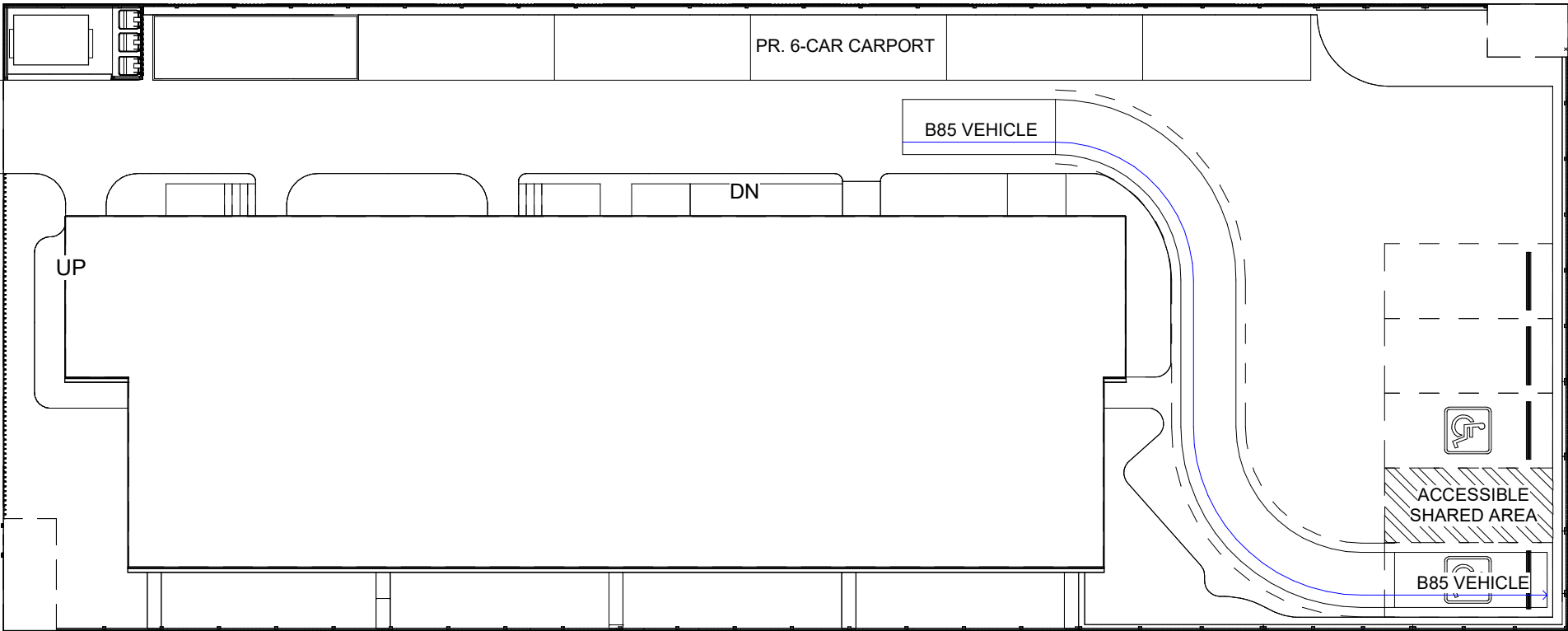
1 90° Carport (Ingress) - 2
1 : 200

MASON ST.



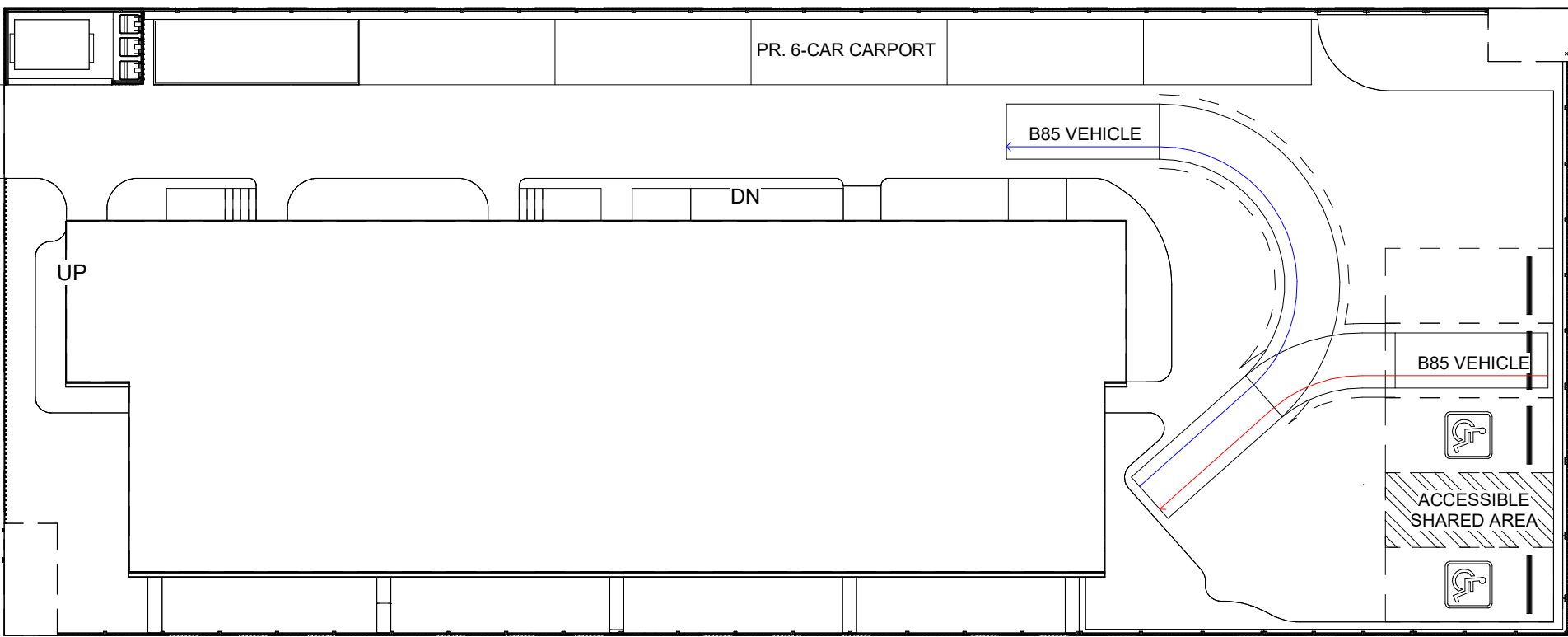
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MASON ST.



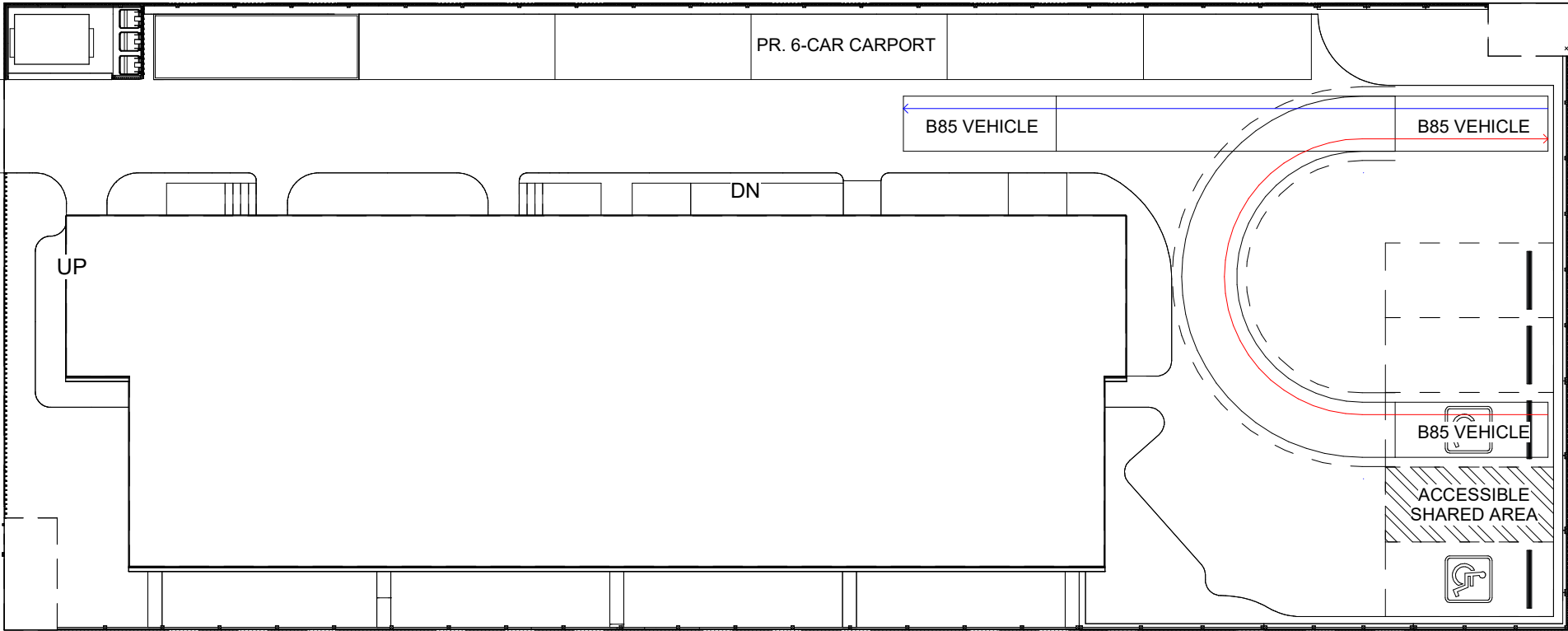
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MASON ST.



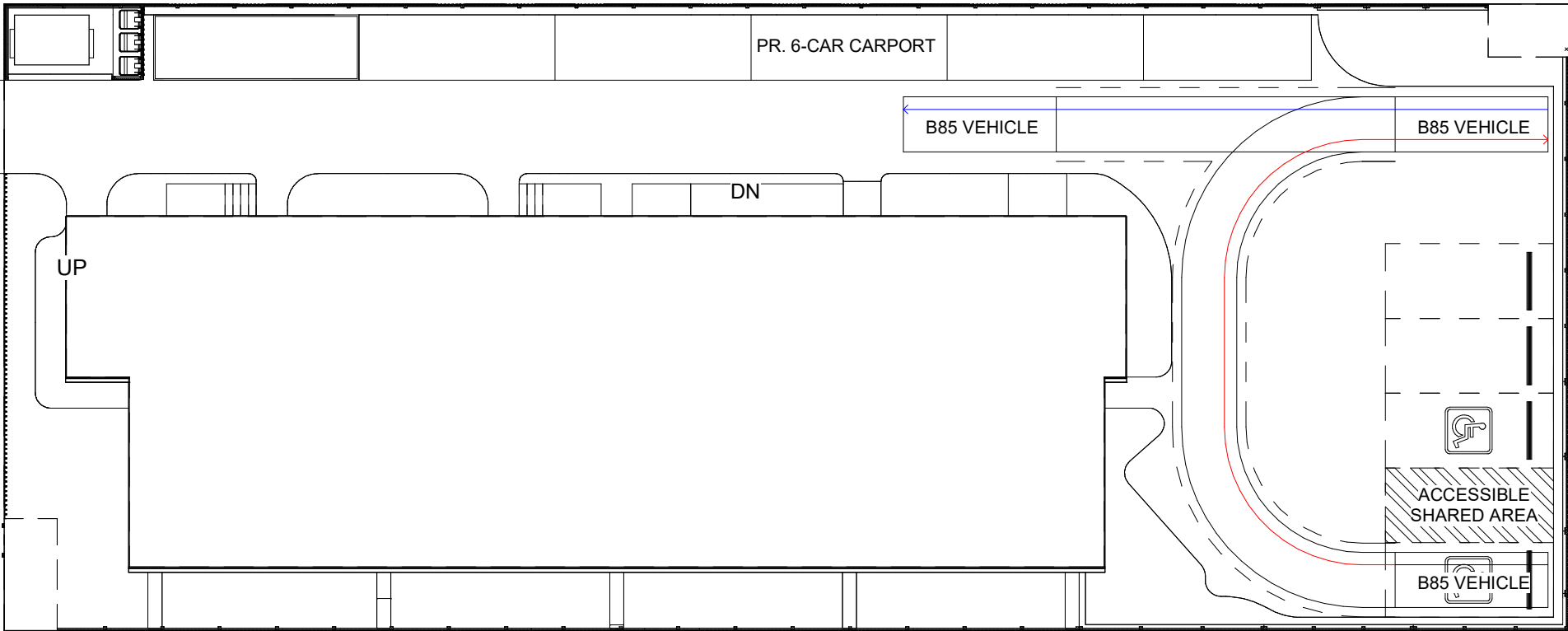
2 90° Carport (Egress) - 2
1 : 200

MASON ST.



4 90° Carport (Egress) - 3 (Accessible)
1 : 200

MASON ST.



6 90° Carport (Egress) - 4 (Accessible)
1 : 200

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Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Revision:

Swept Path - 2

Drawing No.
A012

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Sheet: A012 of 15

Status: Concept

Date: 11/11/25

Ref: GGF-115

Size: A2

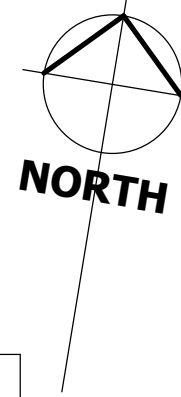
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CAR MANOEUVRING LEGEND:
→ - FORWARD DRIVING
← - REVERSE DRIVING

NOTE:
DRIVEWAY DESIGNED AS PER AS2890.1:2004



DEVELOPMENT APPLICATION:

MATERIAL CHANGE OF USE Multiple Dwelling

27 Mason Street, Mareeba Qld. 4880
Lot 26 on M35630



November 2025



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APPLICATION SUMMARY	
DEVELOPMENT APPLICATION	Material Change of Use
PROPOSED USE	Multiple Dwellings
STREET ADDRESS	27 Mason Street, Mareeba Qld. 4880
REAL PROPERTY ADDRESS	Lot 26 on M35630
LAND AREA	1012m²
PREPARED BY	Scope Town Planning
PREPARED FOR	Mr Jan Eldred
LAND OWNER	Mr Jan Eldred
LOCAL GOVERNMENT AREA	Mareeba Shire Council
PLANNING SCHEME	MSC Planning Scheme 2016 M.Amdt. 1
ZONE	Medium Density Residential Zone
PRECINCT	Nil
EASEMENTS	Nil
IMPROVEMENTS	Dwelling House
APPLICABLE PLANNING CODES	Medium Density Residential Zone Code
	Accommodation Activities Code
	Landscaping Code
	Parking and Access Code
	Works, Services and Infrastructure Code
	Environmental Significance Overlay Code
APPLICABLE REFERRALS	Nil

1 Proposal

1.1 Introduction

This development application seeks a Development Permit for a Material Change of Use for a Multiple Dwelling on Medium Density Residential Zoned land located at 27 Mason Street, Mareeba Qld. 4880, formally known as Lot 26 on M35630.

This application is classified as **Code Assessable Development** subject to the requirements of the relevant codes of the Mareeba Shire Planning Scheme for an Accommodation Activity as prescribed by Table 5.5.7 – Material Change of Use in a Medium Density Residential Zone.

1.2 Proposed Development Summary

The proposed development is the establishment of an 8 unit Multiple Dwelling building on the 1012m² property addressed as 27 Mason Street, Mareeba.



Figure 1: Development site – Lot 26 on M35630 (Qld. Globe).

The proposed 2 storey Multiple Dwelling unit complex will require the demolition or removal of the existing Dwelling House to accommodate the new building and associated amenities and facilities. The proposed design includes covered parking and maneuvering areas, landscaping, private and shared open space and fencing.

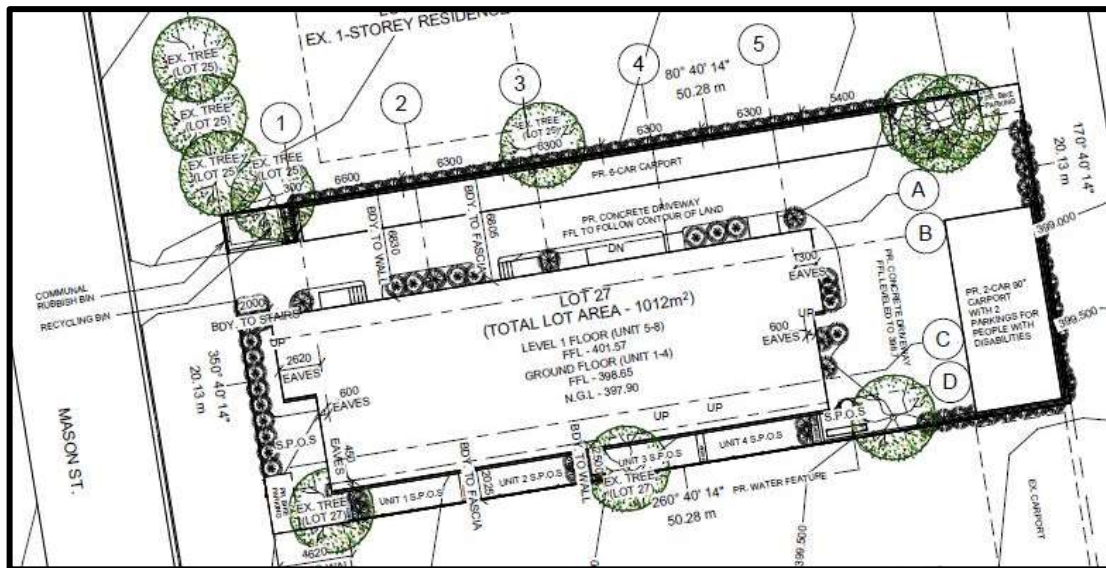


Figure 2: Proposed Multiple Dwelling design (Speedy Gomez Design and Draw).

1.3 Site and Locality

The subject site is addressed 27 Mason Street, Mareeba, formerly lot 26 on M35630. The property is improved by a Dwelling House, falls uniformly toward the road frontage, is mostly cleared of vegetation and is located within the Medium Density Residential Zone of the Mareeba Shire Planning Scheme 2016.

The site has frontage on the eastern side of Mason Street, a formed local road providing direct access to the Mareeba town centre and the surrounding local road network.

The development site is located amongst other Residential lots containing Dwelling Houses and Multiple Dwelling units (#29 and #33 Mason St.). Within the immediate area, several multiple dwelling units have been constructed on the Strattmann Street and Hort Street frontages.

Conveniently located on Mason Street, the Multiple Dwelling development will be within walking distance of the centre of Mareeba, local shops and services, recreational facilities including the Bicentennial Lakes Park, sports grounds, swimming complex and gymnastics facility as well as Mareeba State High School. Refer to Figure 3 below.

The site is mapped with several overlays which are addressed in the Planning Code Assessment attached as **Appendix 1**.

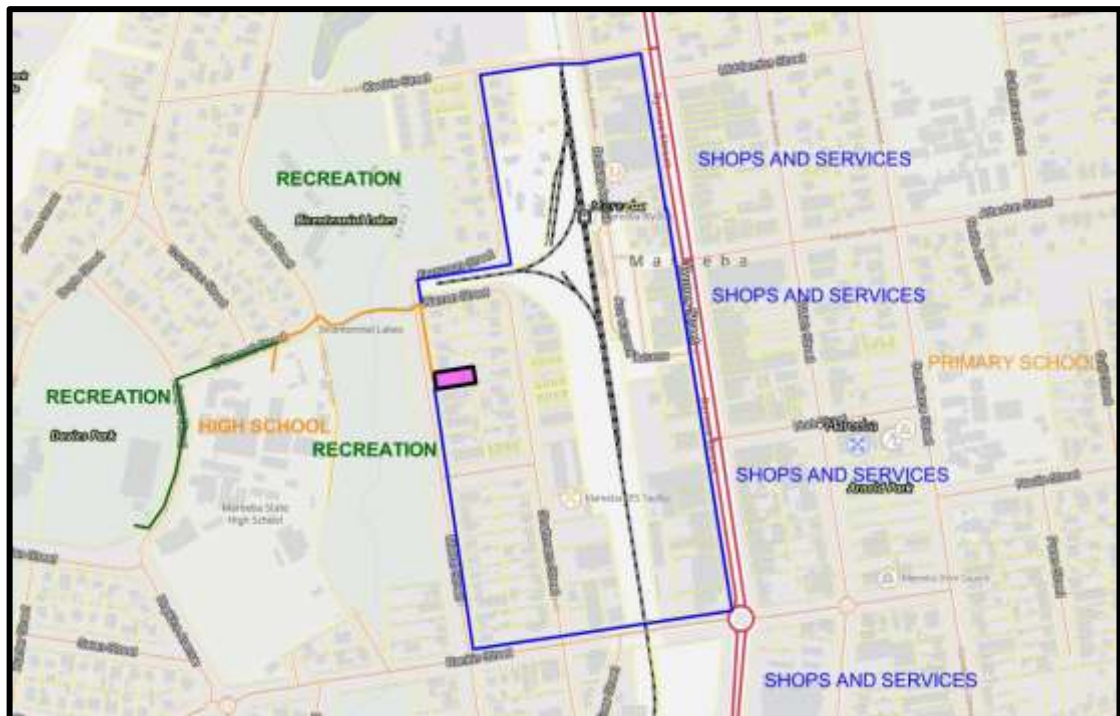


Figure 3: Location convenience to local services (Qld. Globe).



Figure 4: Development site Mason Street frontage (Google Maps).

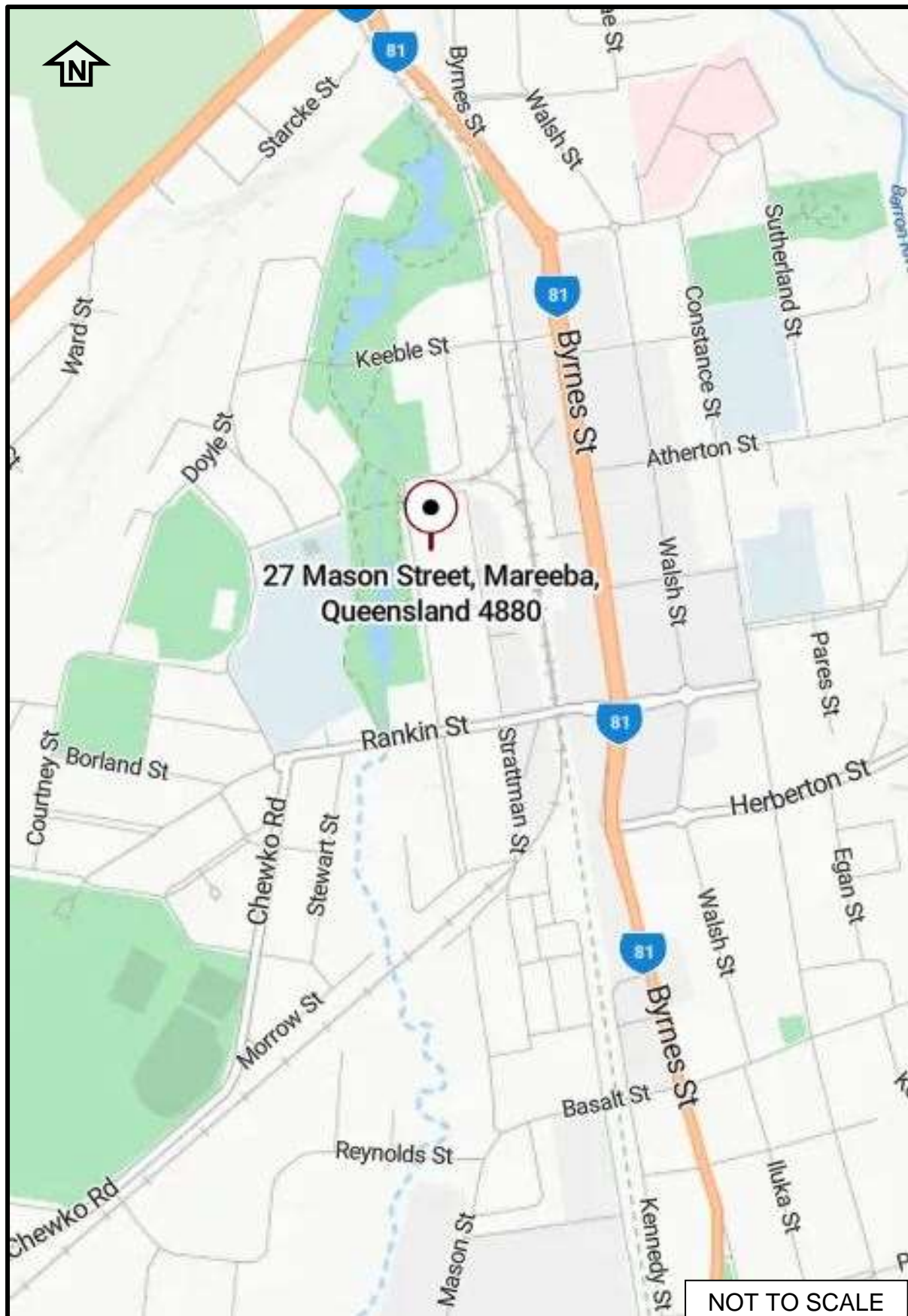


Figure 5: Location of development proposal site. (Bing Maps)

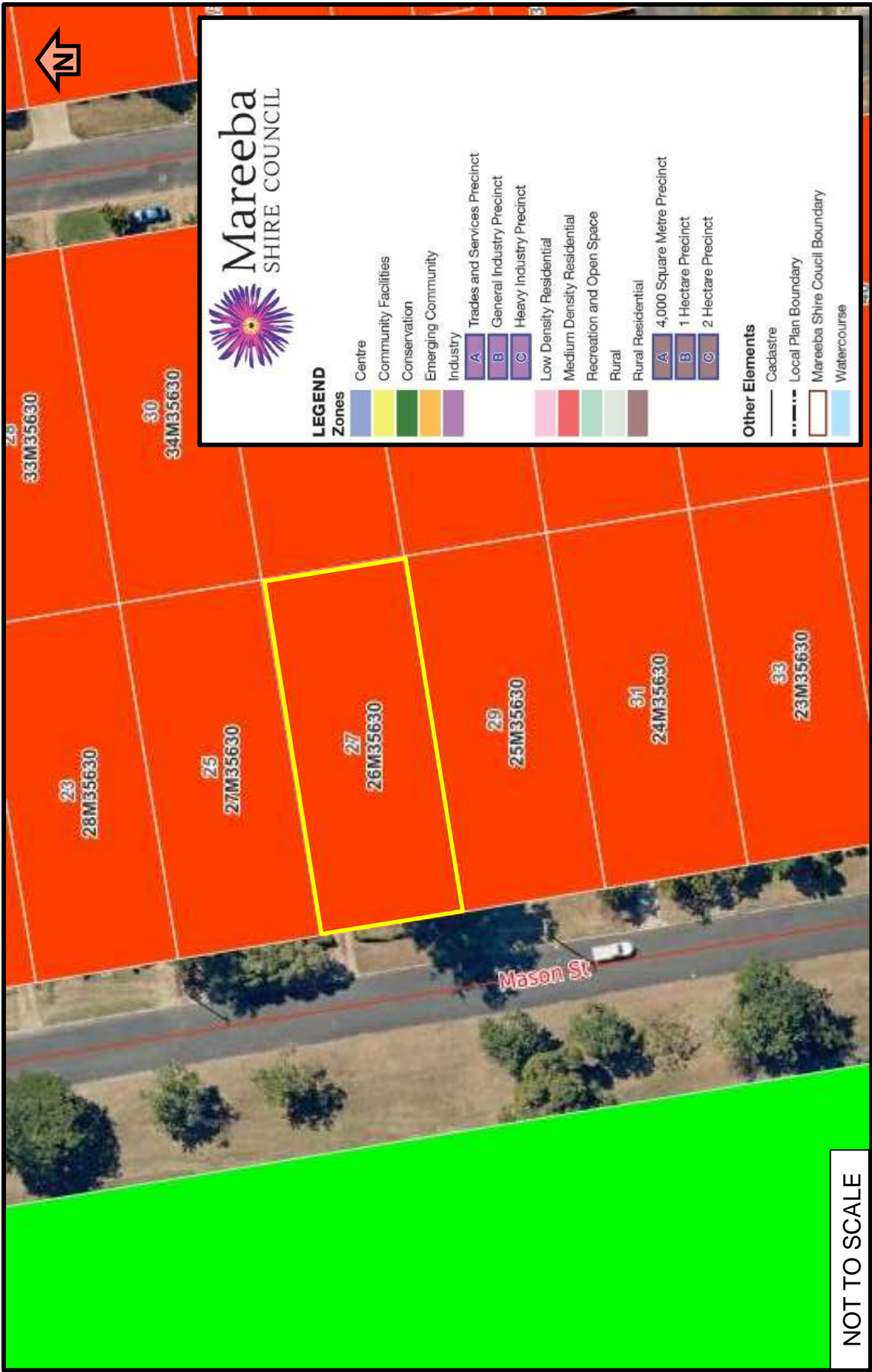


Figure 6: Development Site located in the Medium Density Residential Zone (MSC).

2 Proposed Development Detail

The proposed Multiple Dwelling development at 27 Mason Street will provide a valuable contribution to the growth and livability of Mareeba. The township is expanding as a regional service hub for the Tablelands, with population growth placing ongoing pressure on the local housing market. By offering a more diverse housing choice within the established town area, the development would help meet current and future demand while ensuring residents have options beyond traditional detached housing.

The site's central location, within walking distance of schools, community facilities, and the town centre, makes it particularly well suited to higher density housing. Residents would benefit from convenient access to everyday services without relying heavily on private vehicles, encouraging more sustainable patterns of living. Concentrating additional dwellings in serviced areas also reduces the need for outward urban expansion, supporting more efficient use of existing infrastructure.

Importantly, multiple dwellings cater to a wide range of households, including smaller families, singles, young professionals, and older residents seeking lower-maintenance homes. This contributes to a more inclusive and resilient community by accommodating different lifestyle needs within the local housing mix. The development would not only address an immediate housing need but also strengthen Mareeba's capacity to grow as a vibrant, accessible, and sustainable regional centre.

2.1 Multiple Dwelling Features

The proposed Multiple Dwelling complex includes several features designed to provide a high quality lifestyle environment for future tenants.

Key features of the complex include:

- Close proximity to shops, services, schools and recreation facilities.
- Covered tenant and visitor parking
- Landscaping to the road frontage, private and communal open spaces
- Secure site access and parking
- Privacy fencing and screening
- Private balconies and open space for all units
- Communal open space
- Secure storage per unit
- Pleasant building finishes and design features
- 8 open plan, 2 bedroom units
- 2 ground floor accessible units
- Dual façade openings to allow air flow through units

3 Planning Considerations

3.1 Compliance with Planning Scheme

This development site is located within the Medium Density Residential Zone and subject to several Overlays of the Mareeba Shire Council Planning Scheme 2016.

As identified in Table 5.5.7 of the Scheme, the proposed Multiple Dwelling is classified as Code Assessable Development. Compliance with the relevant Codes is demonstrated in **Table 1** below and addressed in detail in **Appendix 1**.

Table 1: Compliance of this development with relevant codes.

Mareeba Shire Council Planning Scheme		CODE APPLICABILITY	COMPLIANCE
Zone Code	Medium Density Residential	✓	Non-compliant
Local Plan Code	nil	n/a	n/a
Overlay Codes	Agricultural Land	n/a	n/a
	Airport Environs	n/a	n/a
	Bushfire Hazard	n/a	n/a
	Environmental Significance	✓	Compliant
	Extractive Resources	n/a	n/a
	Flood Hazard	n/a	n/a
	Heritage	n/a	n/a
	Hill and Slope	n/a	n/a
	Regional Infrastructure Corridors and Substations	n/a	n/a
	Residential Dwelling House and Outbuilding	✓	Compliant
	Scenic Amenity	n/a	n/a
	Transport Infrastructure	n/a	n/a
Use Code	Accommodation Activities	✓	Compliant
Other Development Codes	Advertising Devices	n/a	n/a
	Landscaping	✓	Compliant
	Parking and Access	✓	Compliant
	Reconfiguring a Lot	n/a	n/a
	Works, Services and Infrastructure	✓	Compliant

3.2 Non-compliance Items

The design of the proposed Multiple Dwelling development has been assessed against the applicable Planning Codes for Acceptable Development subject to requirements. This assessment has identified several non-compliant items with those items now being assessed at the Code Assessable level Performance Outcomes.

The following non-compliant items are assessed in detail against the relevant Performance Outcomes. Compliance with the relevant Codes is addressed in **Appendix 1**.

Table 6.2.7.3A—Medium density residential zone code

Performance Outcomes	Acceptable Outcomes	Compliance
For accepted development subject to requirements and assessable development		
Siting		
PO3 Development is sited in a manner that considers and respects: <ul style="list-style-type: none"> (a) the siting and use of adjoining premises; (b) access to sunlight and daylight for the site and adjoining sites; (c) privacy and overlooking; (d) opportunities for casual surveillance of adjoining public spaces; (e) air circulation and access to natural breezes; (f) appearance of building bulk; and (g) relationship with road corridors. 	AO3.1 Front setback: 6m	Non-Compliant Building front wall setback to frontage boundary is 4.62m. Front stairwell to frontage boundary is 2.0m.
Accommodation density		
PO4 The density of Accommodation activities: <ul style="list-style-type: none"> (a) contributes to housing choice and affordability; (b) respects the nature and density of surrounding land use; (c) does not cause amenity impacts beyond the reasonable expectation of accommodation density for the zone; and (d) is commensurate to the scale and frontage of the site. 	AO4 1 dwelling per 150m ² of site area; and 1 bedroom per 75m ² of site area.	Non-Compliant Maximum site accommodation activity density at 1012m ² site area is 6.75 dwellings. Proposed density at 8 dwellings is 1 dwelling per 126.5m ² . Maximum site bedroom count at 1012m ² is 13.5 bedrooms. Proposed bedroom count at 2 bedrooms per dwelling is 16 bedrooms.

3.3 State Agency Referral

This development does not trigger referral to the State Assessment Referral Agency (SARA) or any other third party as no such interests have been identified.

4 Planning Summary

This development application seeks a Development Permit for a Material Change of Use for a Multiple Dwelling on Medium Density Residential Zoned land located at 27 Mason Street, Mareeba Qld. 4880, formally known as Lot 26 on M35630.

This application is classified as **Code Assessable Development** subject to the requirements of the relevant codes of the Mareeba Shire Planning Scheme (2016) and is considered to be consistent with the desired outcomes of the relevant Codes of the Planning Scheme. The applicable Codes are addressed in **Appendix 1**.

The proposed 8 unit Multiple Dwelling development at 27 Mason Street will provide a valuable contribution to the growth and livability of Mareeba. The site's central location, within walking distance of schools, community facilities, and the town centre, makes it particularly well suited to higher density housing.

The proposed development contributes to a more inclusive and resilient community by accommodating different lifestyle needs within the local housing mix, not only addressing an immediate housing need but also strengthening Mareeba's capacity to grow as a vibrant, accessible, and sustainable regional centre.

5 Recommendation

It is the professional opinion of Scope Town Planning that the proposed Multiple Dwelling development at 27 Mason Street satisfies the desired outcomes and requirements of the Mareeba Shire Planning Scheme (2016) and that this application should be fairly assessed and approved by Mareeba Shire Council with reasonable conditions.



Johnathan Burns

Senior Town Planner | **Scope** Town Planning