

DELEGATED REPORT

SUBJECT: C ELDRED – MATERIAL CHANGE OF USE – MULTIPLE DWELLING (8 UNITS) – LOT 26 ON M35630 – 27 MASON STREET, MAREEBA – MCU/25/0019

DATE: 27 January 2026

REPORT OFFICER'S TITLE: Supervisor Planning & Building

DEPARTMENT: Corporate and Community Services

APPLICATION DETAILS

APPLICATION		PREMISES	
APPLICANT	C Eldred	ADDRESS	27 Mason Street, Mareeba
DATE LODGED	4 December 2025	RPD	Lot 26 on M35630
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Material Change of Use – Multiple Dwelling (8 units)		

FILE NO	MCU/25/0019	AREA	1,012m2
LODGED BY	Scope Town Planning	OWNER	C Eldred
PLANNING SCHEME	Mareeba Shire Council Planning Scheme 2016		
ZONE	Medium Density Residential zone		
LEVEL OF ASSESSMENT	Code Assessment		
SUBMISSIONS	n/a		

ATTACHMENTS: 1. Proposal Plan/s

EXECUTIVE SUMMARY

Council is in receipt of a development application described in the above application details.

The application is code assessable and was not required to undergo public notification.

The application and supporting material has been assessed against the Mareeba Shire Council Planning Scheme 2016 and does not conflict with any relevant planning instrument.

Draft conditions were provided to the Applicant/ care of their consultant and have been agreed.

It is recommended that the application be approved in full with conditions.

OFFICER'S RECOMMENDATION

1. That in relation to the following development application:

APPLICATION		PREMISES	
APPLICANT	C Eldred	ADDRESS	27 Mason Street, Mareeba
DATE LODGED	4 December 2025	RPD	Lot 26 on M35630
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Material Change of Use – Multiple Dwelling (8 units)		

and in accordance with the Planning Act 2016, the applicant be notified that the application for a development permit for the development specified in (A) is:

Approved by Council in accordance with the approved plans/documents listed in (B), subject to assessment manager conditions in (C), assessment manager's advice in (D), relevant period in (E), further permits in (F), and further approvals from Council listed in (G);

And

The assessment manager does not consider that the assessment manager's decision conflicts with a relevant instrument.

(A) APPROVED DEVELOPMENT: Development Permit for Material Change of Use – Multiple Dwelling (8 units)

(B) APPROVED PLANS:

Plan/Document Number	Plan/Document Title	Prepared by			Dated
GGF-115 A000	Cover Sheet	Speedy Design	Gomez	Building	11/11/25
GGF-115 A001	Proposed 3D (9am)	Speedy Design	Gomez	Building	11/11/25
GGF-115 A002	Proposed 3D (1pm)	Speedy Design	Gomez	Building	11/11/25
GGF-115 A003	Proposed 3D (3pm)	Speedy Design	Gomez	Building	11/11/25
GGF-115 A004	Site Plan	Speedy Design	Gomez	Building	11/11/25
GGF-115 A005	Site Drainage	Speedy Design	Gomez	Building	11/11/25
GGF-115 A006	Pr. Grnd Flr.	Speedy Design	Gomez	Building	11/11/25
GGF-115 A007	Proposed Level 1	Speedy Design	Gomez	Building	11/11/25
GGF-115 A008	Elevations - 1	Speedy Design	Gomez	Building	11/11/25
GGF-115 A009	Elevations - 2	Speedy Design	Gomez	Building	11/11/25
GGF-115 A010	Internal Elevations	Speedy Design	Gomez	Building	11/11/25

GGF-115 A011	Swept Path - 1	Speedy Design	Gomez	Building	11/11/25
GGF-115 A012	Swept Path - 2	Speedy Design	Gomez	Building	11/11/25
GGF-115 A013	Landscaping Plan	Speedy Design	Gomez	Building	11/11/25

(C) ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)

(a) Development assessable against the Planning Scheme

1. Development must be carried out generally in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, subject to any alterations:
 - found necessary by Council's delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
 - to ensure compliance with the following conditions of approval.
2. Timing of Effect
 - 2.1 The conditions of the development permit must be complied with to the satisfaction of Council's delegated officer prior to the commencement of the use except where specified otherwise in these conditions of approval.
 - 2.2 Prior to the commencement of use, the applicant must notify Council that all the conditions of the development permit have been complied with, except where specified otherwise in these conditions of approval.
3. General
 - 3.1 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.
 - 3.2 All payments or bonds required to be made to the Council pursuant to any condition of this approval must be made prior to commencement of the use and at the rate applicable at the time of payment.
 - 3.3 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.
 - 3.4 Noise Nuisance

Refrigeration equipment, pumps, compressors and mechanical ventilation systems must be located, designed, installed and maintained to achieve a maximum noise level of 3dB(A) above background levels as measured from noise sensitive locations.

The applicant is required to install and maintain suitable screening to all air conditioning, lift motor rooms, plant and service facilities located at the top of or on the external face of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the facade of the building. There are to be no individual external unscreened air conditioning units attached to the exterior building facade.
 - 3.5 Letterbox

Each unit is to be provided with an individual letter box.

3.6 Clothes Drying Facilities

Individual clothes drying facilities must be provided to each unit in accordance with the approved plans.

3.7 Waste Management

On site refuse storage area must be provided and be screened from view from adjoining properties and road reserve by 1-metre-wide landscaped screening buffer, 1.8m high solid fence or building.

4. Infrastructure Services and Standards

4.1 Access

An access crossover, with minimum width of 5 metres must be constructed (from the property boundary of the subject site to the edge of the existing sealed formation of Mason Street) in accordance with the FNQROC Development Manual.

4.2 Stormwater Drainage

- (a) The applicant/developer must take all necessary steps to ensure a non-worsening effect on surrounding land as a consequence of the development.
- (b) Prior to building works commencing the applicant must, as part of a subsequent application for operational works, submit a Stormwater Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual to the satisfaction of Council's delegated officer. At minimum, the stormwater management plan must address/include the following:
 - (i) Where possible, stormwater collected from the site, particular from the shared driveway and crossover must be directed to the roadside drain.
 - (ii) Water currently discharged onto the site from upstream properties. Where stormwater pits or underground/aboveground drains are required easements must be established in favour of upstream properties (Council is not to be listed as party on any drainage easements).
 - (iii) Strategies to ensure stormwater is discharged to the frontage of the site only and not into adjoining properties.
- (c) The applicant/developer must construct the stormwater drainage infrastructure in accordance with the approved Stormwater Management Plan and Report.
- (d) Temporary drainage is to be provided and maintained during the construction phase of the development, discharged to a lawful point and not onto the construction site.
- (e) All stormwater channels through private property must be registered, with the easement for drainage purposes in favour of upstream contributing properties. All documentation leading to the registration of the easement must be submitted to Council for review and approval.

- (f) All stormwater drainage collected from the site must be discharged to an approved legal point of discharge.
- (g) All aboveground drainage easements must be constructed to prevent erosion. Construction may be in the form of a concrete invert, with outlet protection.

4.3 Car Parking/Internal Driveways

The applicant/developer must ensure that the development is provided with 1 undercover parking space per unit and 1 visitor parking space (not required to be covered). All car parking spaces, and internal driveways must be made from reinforced concrete.

Detailed designs of the shared driveway, including any retaining walls/bulk earthworks required onsite, particularly along the southern boundary of the site, and any stormwater drainage included in the driveway design must be submitted to Council as part of a subsequent application for operational works.

All car parking spaces and internal driveways must be constructed in compliance with the following standards, to the satisfaction of Council's delegated officer:

- Australian Standard AS2890:1 Off Street Parking – Car Parking Facilities;
- Australian Standard AS1428:2001 – Design for Access and Mobility.

4.4 Landscaping & Fencing

- (a) Prior to the commencement of the use, landscaping and fencing of the site must be carried out in accordance with the endorsed landscape plan, and mulched and irrigated to the satisfaction of Council's delegated officer.
- (b) All fencing is to be solid (no gaps), at least 1.8 metres in height, constructed of timber or colorbond and be of neutral colour.
- (c) All landscaping and fencing is to be maintained in good order for the life of the development, to the satisfaction of Council's delegated officer.

4.5 Lighting

Where outdoor lighting is required the applicant/developer shall locate, design and install lighting to operate from dusk to dawn within all areas where the public will be given access, which prevents the potential for light spillage to cause nuisance to neighbours and must be provided in accordance with Australian Standard 1158.1 – Lighting for Roads and Public Spaces.

Illumination resulting from direct, reflected or other incidental light emanating from the subject land does not exceed 8 lux when measured at any point 1.5m outside the property boundary of the subject site. The lighting fixtures installed on site must meet appropriate lux levels as documented within Australian Standard 4282 – Control of the Obtrusive Effects of Outdoor Lighting.

4.6 Water Supply

Where the existing reticulated water supply does not currently service the site or is not at an adequate capacity, the applicant/developer is required to extend or upgrade the reticulated water supply infrastructure to connect the site to Council's existing infrastructure at a point that has sufficient capacity to service

the development in accordance with FNQROC Development Manual standards (as amended).

If a new or upgraded/relocated water service connection is required to service the development, it must be provided in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.

Each dwelling unit is required to be **separately metered**.

4.7 Sewerage Connection

The applicant/developer must connect the proposed development to Council's reticulated sewerage system in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.

Where sewerage connections are not available to the site, or where existing connections are not satisfactory for the proposed development, the applicant/developer is required to extend or upgrade the reticulated sewerage infrastructure to connect the site to Council's existing infrastructure at a point that has sufficient capacity to service the development in accordance with FNQROC Development Manual standards (as amended).

Plans for the development works required under Conditions 4.1 – 4.3 and 4.6 and 4.7 must be submitted to Council for approval as part of a subsequent application for operational works.

(D) ASSESSMENT MANAGER'S ADVICE

- (a) An Adopted Infrastructure Charges Notice has been issued with respect to the approved development. The Adopted Infrastructure Charges Notice details the type of infrastructure charge/s, the amount of the charge/s and when the charge/s are payable.
- (b) The Adopted Infrastructure Charges Notice does not include all charges or payments that are payable with respect to the approved development. A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.
- (c) Water Meters/Water Service Connection

Prior to the water service connection works commencing and the installation of the meters by Council, an application for a Plumbing Compliance Permit is required to be submitted with detailed hydraulic drawings. The cost of the required water connection and meter (capping of any existing meter may be required) will be determined based upon the approved hydraulic drawings at the time of lodgement of a Water Quotation Request.

- (d) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

- (e) Compliance with Acts and Regulations

The erection and use of the building must comply with the Building Act and all other relevant Acts, Regulations and Laws, and these approval conditions.

(f) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.dcceew.gov.au.

(g) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the “cultural heritage duty of care”). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.dsdsatsip.qld.gov.au.

(h) Electric Ants

Electric ants are designated as restricted biosecurity matter under the *Biosecurity Act 2014*.

Certain restrictions and obligations are placed on persons dealing with electric ant carriers within the electric ant restricted zone. Movement restrictions apply in accordance with Sections 74–77 of the *Biosecurity Regulation 2016*. Penalties may be imposed on movement of electric ant carriers and electric ants in contravention of the legislated restrictions. It is the responsibility of the applicant to check if the nominated property lies within a restricted zone.

All persons within and outside the electric ant biosecurity zone have an obligation (a *general biosecurity obligation*) to manage biosecurity risks and threats that are under their control, they know about, or they are expected to know about. Penalties may apply for failure to comply with a general biosecurity obligation.

For more information please visit the electric ant website at [Electric ants in Queensland | Business Queensland](#) or contact Biosecurity Queensland 13 25 23.

(F) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Material Change of Use – six (6) years (starting the day the approval takes effect);

(G) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

- Development Permit for Building Work
- Development Permit for Operational Works

(H) OTHER APPROVALS REQUIRED FROM COUNCIL

- Compliance Permit for Plumbing and Drainage Work

2. That an Adopted Infrastructure Charges Notice be issued for the following infrastructure charge/s for:

Development Type	Rate	Measure	Charge	Credit/discount Detail	Balance
	\$ <i>per dwelling</i>			<i>2 Bed Dwellings</i>	
Multiple Dwelling (2 bed)	\$16,045.00	8	\$128,360.00	6.75 x 2 Bed Dwellings \$108,303.75	\$20,056.25
TOTAL CURRENT AMOUNT OF CHARGE					\$20,056.25

THE SITE

The subject site is situated at 27 Mason Street, Mareeba, and is described as Lot 26 on M35630. The site is regular in shape with an area of 1,012m² and is zoned Medium Density Residential under the Mareeba Shire Council Planning Scheme 2016.

The site contains 20 metres of frontage to Mason Street, which is constructed to a bitumen sealed standard, with kerbing on the development side only.

The site is vacant with the previous long standing dwelling house having been demolished in 2025. All urban services continue to be available to the side.

All adjoining properties are zoned Medium Density Residential, with 29 Mason Street containing units and the others containing a single dwelling house.

The Bicentennial Lakes parkland is situated directly to the west of the site.



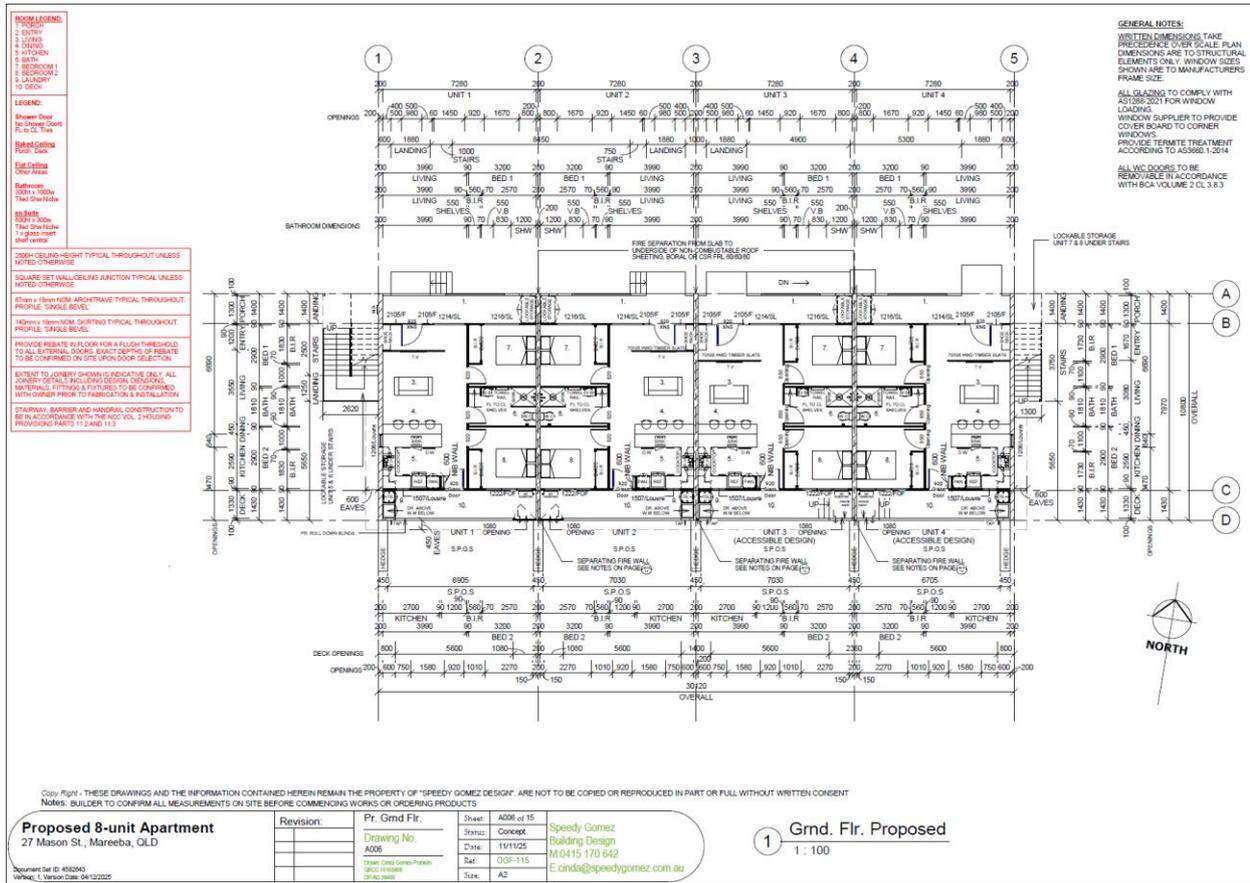
Map Disclaimer:

Based on or contains data provided by the State of Queensland (Department of Environment and Resource Management) (2009). In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.

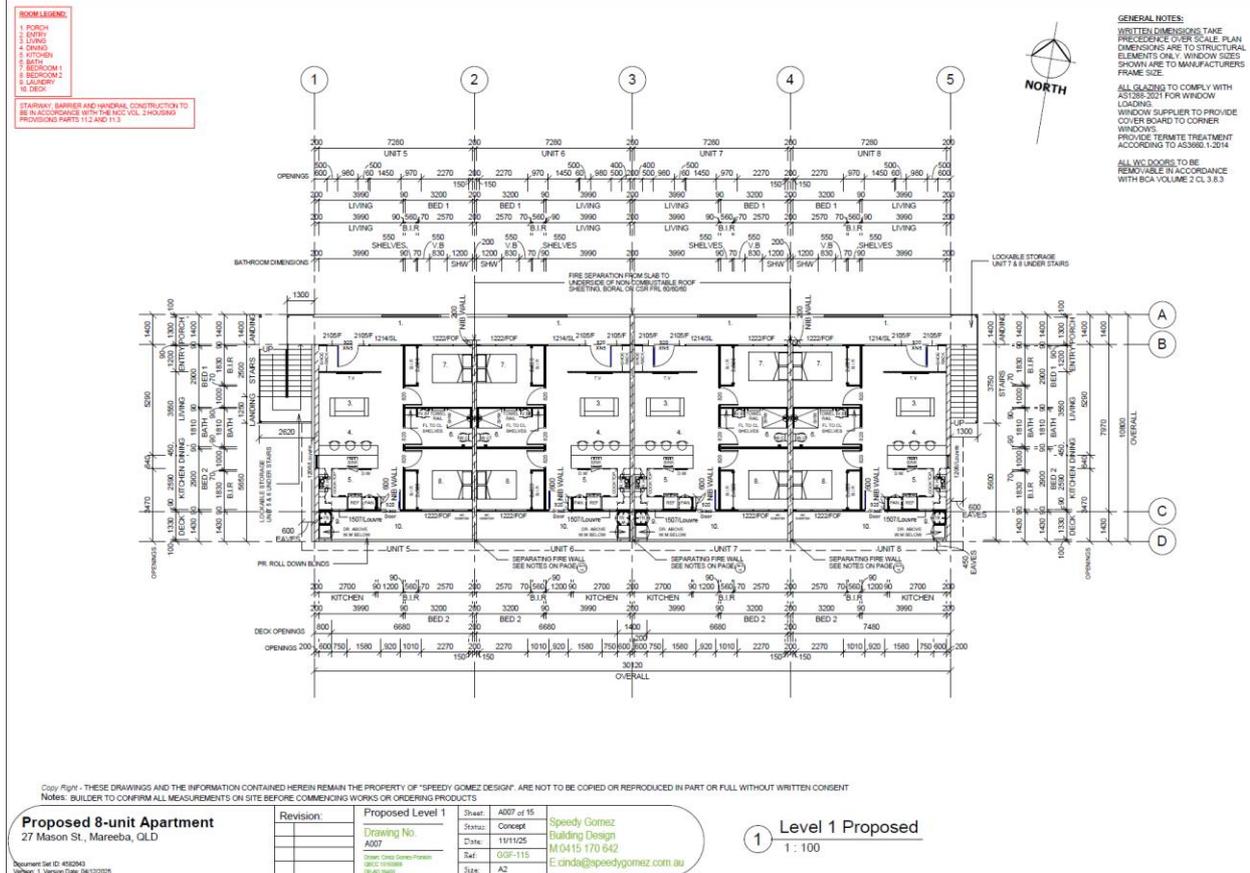


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Groud Floor Plan



Level 1 Floor Plan

REGIONAL PLAN DESIGNATION

The subject site is included within the Urban Footprint land use category in the Far North Queensland Regional Plan 2009-2031. Mareeba is identified as a Major Regional Activity Centre in the Regional Plan. The Regional Plan Map 3- 'Areas of Ecological Significance' does not identify the site as being of any significance.

PLANNING SCHEME DESIGNATIONS

Strategic Framework:	Land Use Categories • <i>Residential Area</i>
Zone:	Medium Density Residential Zone
Overlays:	Airport Environs Overlay Transport Infrastructure Overlay

Planning Scheme Definitions

The proposed use is defined as:-

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
<i>Multiple dwelling</i>	<i>Premises containing three or more dwellings for separate households.</i>	<i>Apartments, flats, units, townhouses, row housing, triplex</i>	<i>Rooming accommodation, dual occupancy, duplex, granny flat, residential care facility, retirement facility</i>

RELEVANT PLANNING INSTRUMENTS

Assessment of the proposed development against the relevant planning instruments is summarised as follows:

(a) Far North Queensland Regional Plan 2009-2031

Separate assessment against the Regional Plan is not required because the Mareeba Shire Council Planning Scheme appropriately advances the Far North Queensland Regional Plan 2009-2031, as it applies to the planning scheme area.

(b) State Planning Policy

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

(c) Mareeba Shire Council Planning Scheme 2016

Relevant Development Codes

The following Development Codes are considered to be applicable to the assessment of the application:

- 6.2.7 Medium density residential zone code
- 7.2.2 Mareeba local plan code
- 8.2.2 Airport environs overlay code
- 9.3.1 Accommodation activities code
- 9.4.2 Landscaping code
- 9.4.3 Parking and access code
- 9.4.5 Works, services and infrastructure code

The application included a planning report and assessment against the planning scheme. An officer assessment has found that the application satisfies the relevant acceptable outcomes (or performance outcome where no acceptable outcome applies) of the relevant codes set out below, provided reasonable and relevant conditions are attached to any approval.

Relevant Codes	Comments
Medium density residential zone code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Mareeba local plan code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Airport environs overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Accommodation activities code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Landscaping code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Parking and access code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Works, services and infrastructure code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.

(e) Planning Scheme Policies/Infrastructure Charges Plan

The following planning scheme policies are relevant to the application:

Planning Scheme Policy 4 - FNQROC Regional Development Manual

A condition will be attached to any approval requiring all development works be designed and constructed in accordance with FNQROC Development Manual standards.

(f) Adopted Infrastructure Charges Notice

Under the Medium Density Residential zone code, the accepted maximum density for multiple dwelling is one (1) dwelling per 150m² of site area, or one (1) bedroom per 75m² of site area.

The proposed development will result in eight (8) units on a 1,012m² site or one (1) unit per 126.5m² of site area.

As the accommodation density proposed by this application is greater than the planning scheme's acceptable outcome, infrastructure charges are payable for the excess density.

Based on the site area of 1,012m², a credit would apply for 6.75 units.

Infrastructure charges are payable for 1.25 two (2) bedroom units at a rate of \$16,045.00 per unit.

- $1.25 \times \$16,045.00 = \$20,056.25$

The applicable infrastructure charge is **\$20,056.25**.

REFERRAL AGENCY

This application did not trigger referral to a Referral Agency.

Internal Consultation

Not applicable.

PLANNING DISCUSSION

Nil

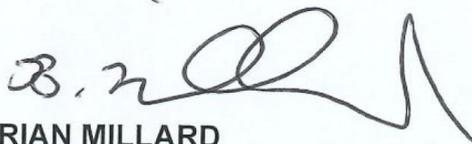
Date Prepared: 27 January 2026

DECISION BY DELEGATE

DECISION

Having considered the Supervisor Planning & Building's report detailed above, I approve, as a delegate of Council, the application subject to the conditions listed in the report.

Dated the 27TH day of JANUARY 2026



BRIAN MILLARD
COORDINATOR PLANNING & BUILDING

MAREEBA SHIRE
AS A DELEGATE OF THE COUNCIL

PROPOSAL PLANS

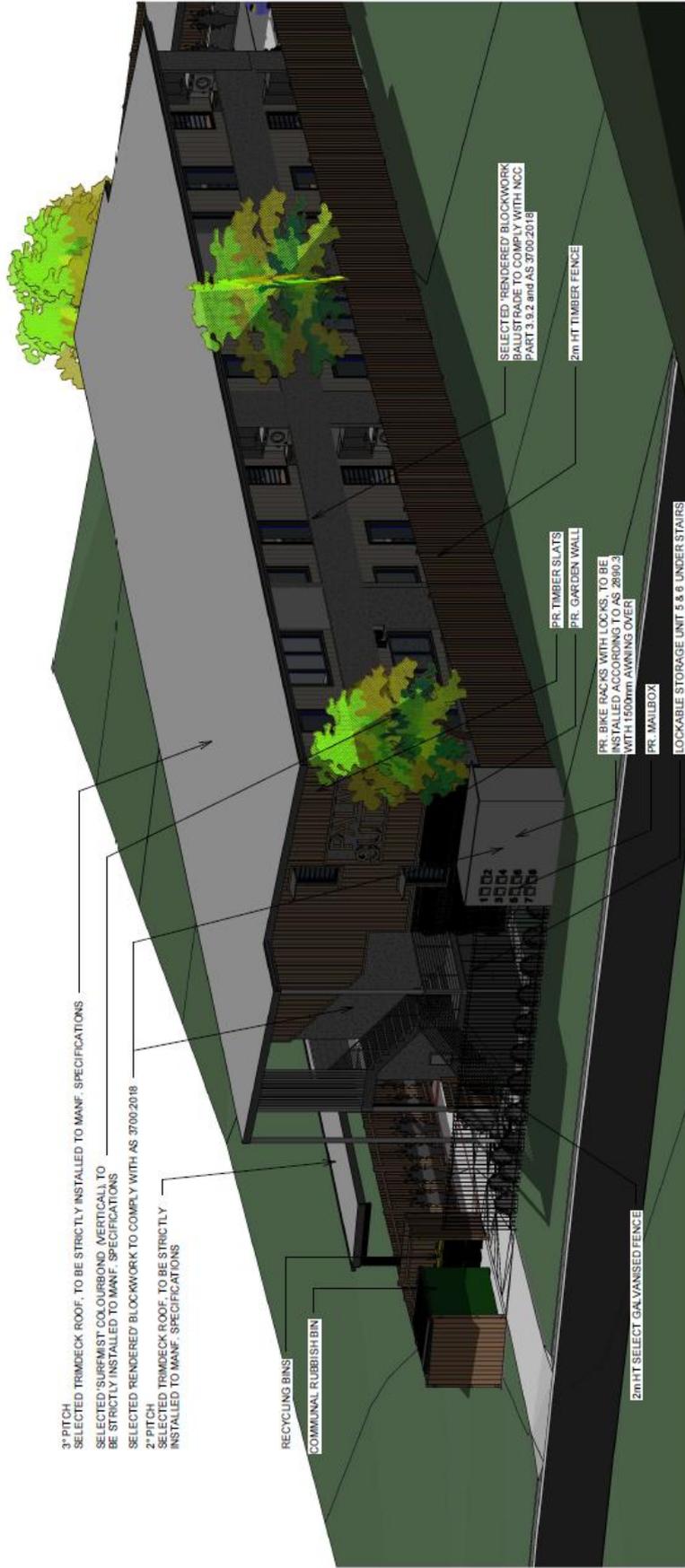
Drawing List		Area Schedule			Area Schedule		
Sheet Number	Sheet Name	Name	Area	Sqrs	Name	Area	Sqrs
A000	Cover Sheet	Communal Open Space (Back)	67.7 m ²	7.3	Unit 4 Deck	10.8 m ²	1.2
A001	Proposed 3D (9am)	Communal Open Space (Front)	42.4 m ²	4.6	Unit 4 Porch	9.5 m ²	1.0
A002	Proposed 3D (10am)	Unit 1 Deck	60.4 m ²	6.5	Unit 4 S.P.O.S	19.0 m ²	2.0
A003	Proposed 3D (3pm)	Unit 1 Porch	10.8 m ²	1.2	Unit 5 Deck	60.4 m ²	6.5
A004	Site Plan	Unit 1 S.P.O.S	9.5 m ²	1.0	Unit 5 Porch	10.8 m ²	1.2
A005	Site Drainage	Unit 2 Deck	19.0 m ²	2.0	Unit 6 Deck	10.8 m ²	1.1
A006	Pr. Gnd Fir.	Unit 2 Porch	59.6 m ²	6.4	Unit 6 Porch	59.6 m ²	6.4
A007	Proposed Level 1	Unit 2 S.P.O.S	10.7 m ²	1.2	Unit 7 Deck	10.7 m ²	1.2
A008	Elevations - 1	Unit 3 Deck	9.4 m ²	1.0	Unit 7 Porch	10.5 m ²	1.1
A009	Internal Elevations	Unit 3 Porch	18.7 m ²	2.0	Unit 8 Deck	59.6 m ²	6.4
A010	Sweep Path - 1	Unit 3 S.P.O.S	10.7 m ²	1.2	Unit 8 Porch	10.7 m ²	1.2
A011	Sweep Path - 2	Unit 4 Deck	9.4 m ²	1.0	Unit 8 Deck	66.4 m ²	6.5
A012	Landscaping Plan	Unit 4 Porch	18.7 m ²	2.0	Unit 8 Porch	16.8 m ²	1.2
A013	Gen. Details Sheet						
A014	General Notes - 1						
A015							89.5



Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS
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Proposed 8-unit Apartment 27 Mason St., Mareeba, QLD		Cover Sheet		Sheet: A000 of 15
Revision:		Drawing No. A000		Status: Concept
		Drawn: Ciria Gomez-Franklin GBC 05 85 359 DP-AD 35400		Date: 11/11/25
				Ref: GGF-115
				Size: A3
		Speedy Gomez Building Design M:04 15 170 642 E:cinda@speedygomez.com.au		

Document Set ID: 4582643
 Verisig 1, Version Date: 04/12/2025



1 Proposed 3D (9am)

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Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

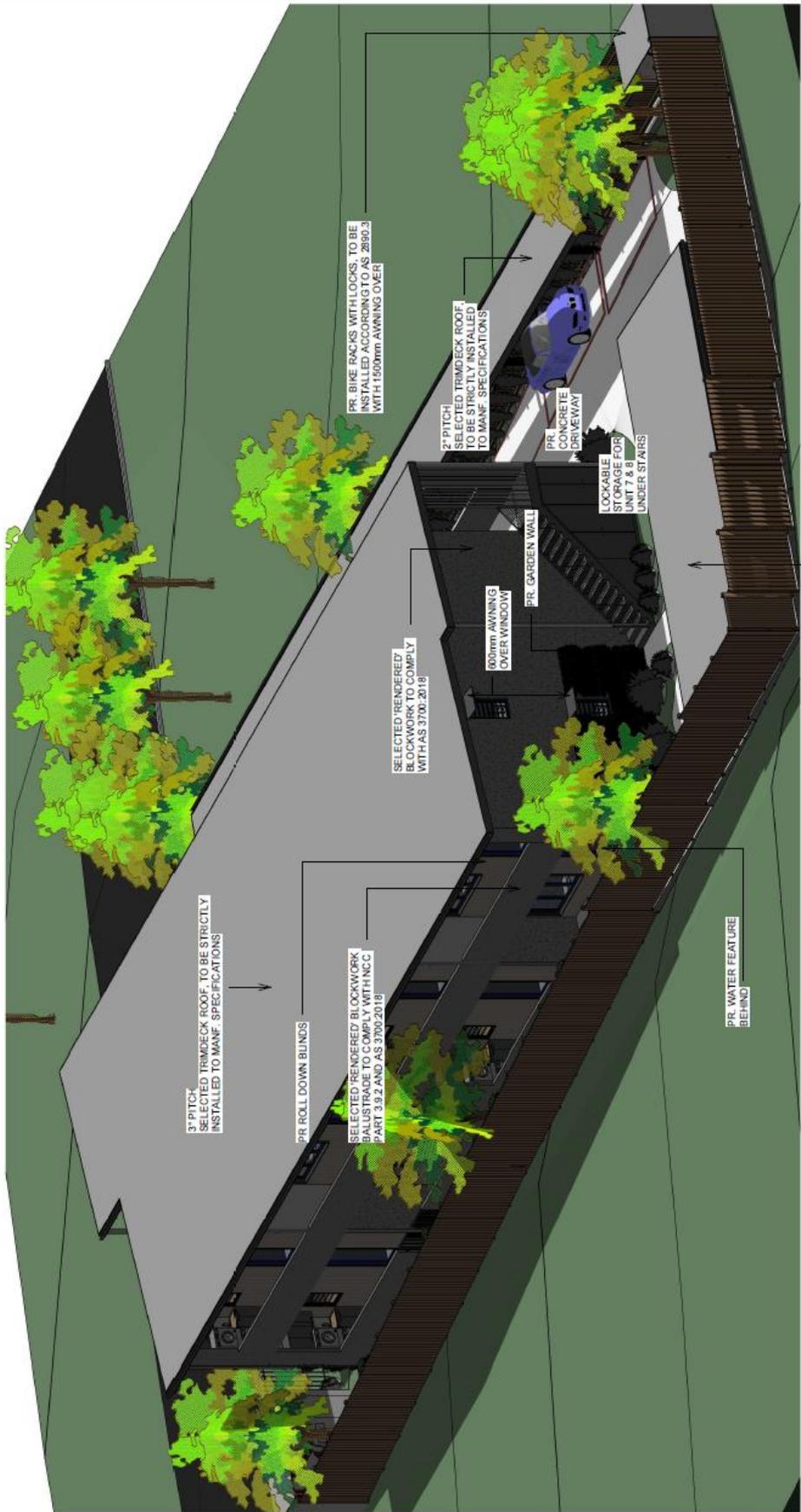
Document Set ID: 4592643
Version: 1, Version Date: 04/12/2025

Proposed 3D (9am)

Revision:	
Drawing No.	A001
Drawn: Cinia Gomez-Franklin	QBCC 1516 3659
DA: 73400	

Sheet:	A001 of 15
Status:	Concept
Date:	11/11/25
Ref:	GGF-115
Size:	A3

Speedy Gomez
Building Design
M:0415 170 642
E:cinda@speedygomez.com.au



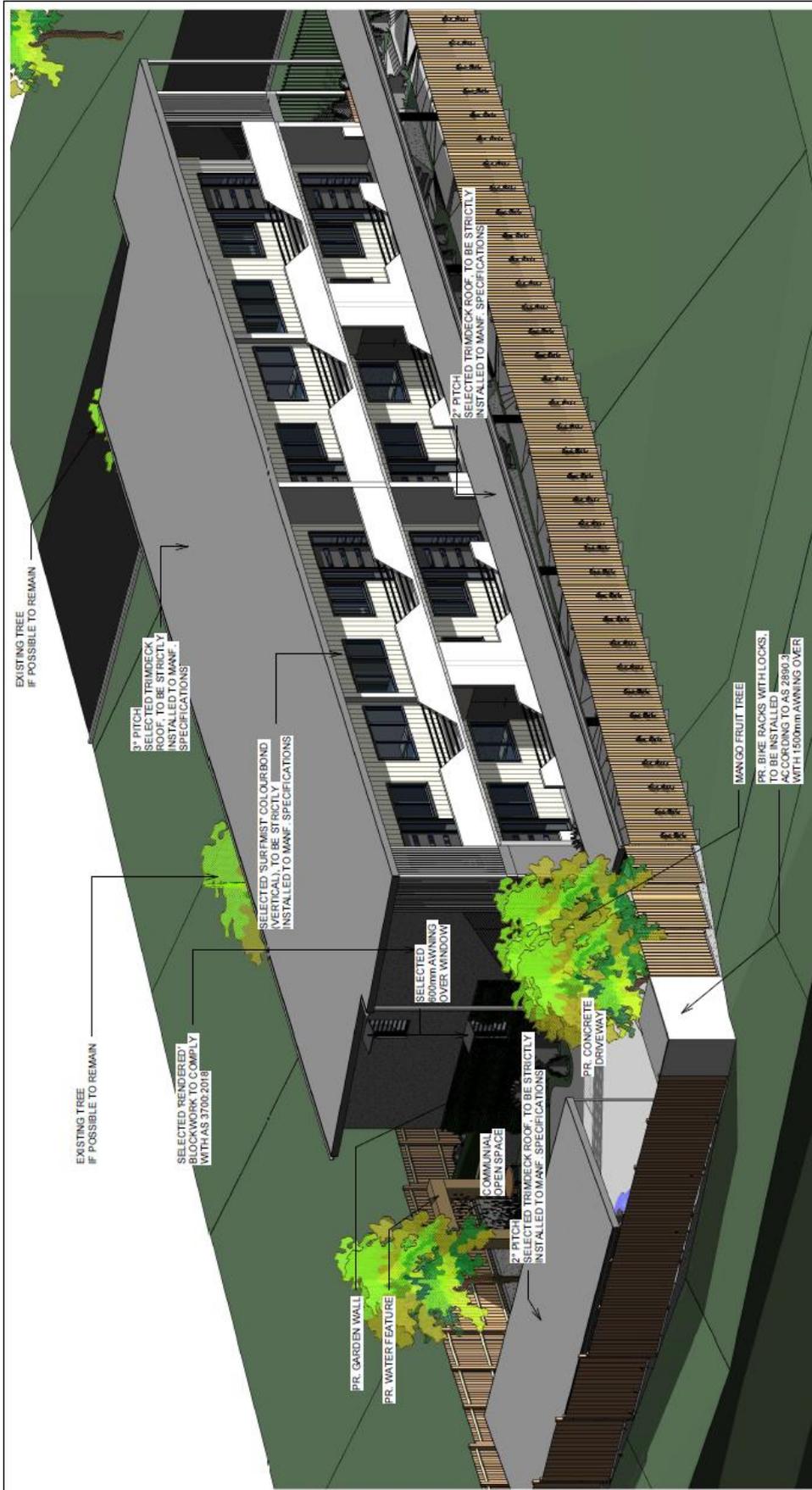
1 Proposed 3D (1pm)

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Proposed 8-unit Apartment 27 Mason St., Mareeba, QLD

Revision:	Proposed 3D (1pm)	Sheet: A002 of 15
	Drawing No. A002	Status: Concept
	Drawn: Cinia Gomez-Franklin QBCC 1515 3659 DP-AD 73400	Date: 11/11/25
		Ref: GGF-115
		Size: A3

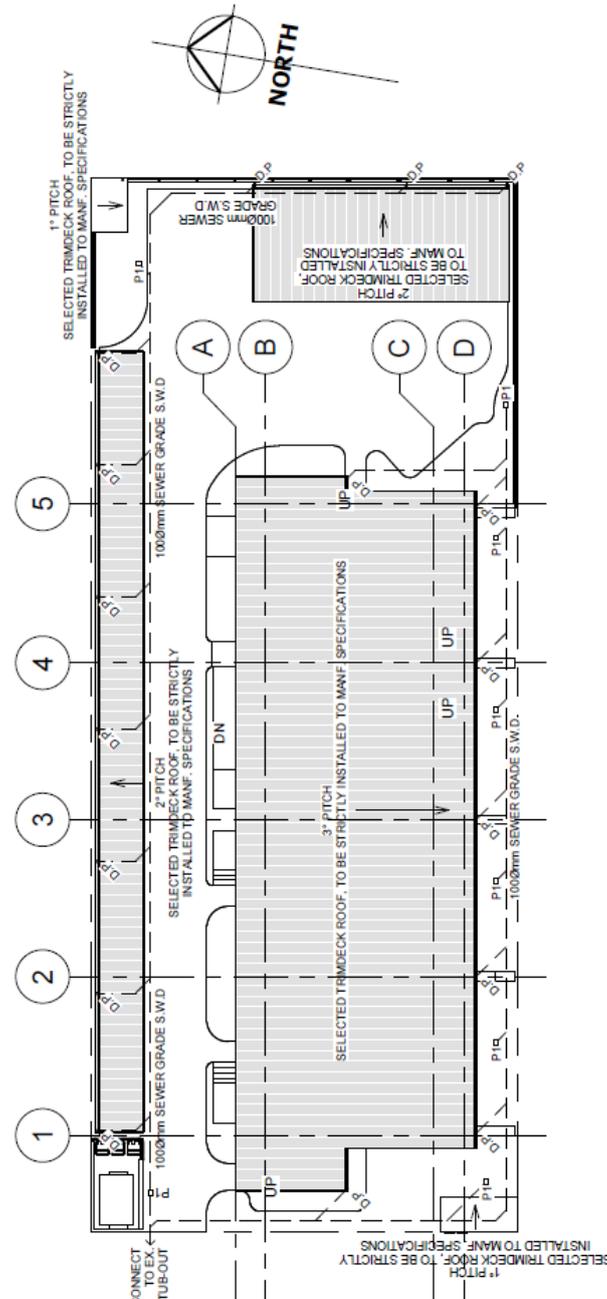
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 E:cinda@speedygomez.com.au



1 Proposed 3D (3pm)

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Proposed 8-unit Apartment 27 Mason St., Mareeba, QLD		Proposed 3D (3pm)		Sheet: A003 of 15
Revision:		Drawing No. A003		Status: Concept
		Drawn: Cinia Gomez-Franklin QBCC 1515 3559 DP-AD 73400		Date: 11/11/25
				Ref: GGF-115
				Size: A3
		Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au		

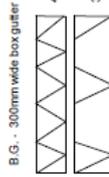


DRAINAGE NOTES:

1. The drainage layout shown is indicative only. All work shall be done under the supervision of a licensed plumber.
2. Plumber to confirm existing plumbing & venting on site.
3. All newwork to be constructed in accordance with the current Plumbing and Drainage ACT 2002, Cairns Regional Council regulations and other relevant and current Australian Standards.
4. The contractor shall verify all existing surface and invert levels prior to construction.
5. All Drainage shall be 100mmØ UPVC run at min. Grade of 1:90.
6. Terminate vent pipes if required in accordance with the current AS 3500.

Legend:

- F.F.L. - Finished Floor Level
- E.G.L. - Excavated Ground Level ready for paving
- P1 - unlight 200 (225x225x89) grated pit
- L.P.O.D. - Legal Point Of Discharge
- S.W.D. - 1000mm P.V.C. Storm Water Drain
- D.P. - Down Pipe
- R.H. - Rain head
- B.G. - 300mm wide box gutter



1000mm Sewer Grade S.W.D. shall be used under all driveways, paths and house and garage slabs.

All levels shall be checked on site before commencement of any works. Owners are responsible for removal of any existing fences (if any) and future reinstatement if required where garage walls and dwelling walls are built on side boundaries.

SURFACE WATER DRAINAGE TO NCC HOUSING PROVISIONS PART 3.3

Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

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Proposed 8-unit Apartment
27 Mason St., Mareeba, QLD

Document Set ID: 4592643
Version: 1, Version Date: 04/12/2025

Revision:

Site Drainage

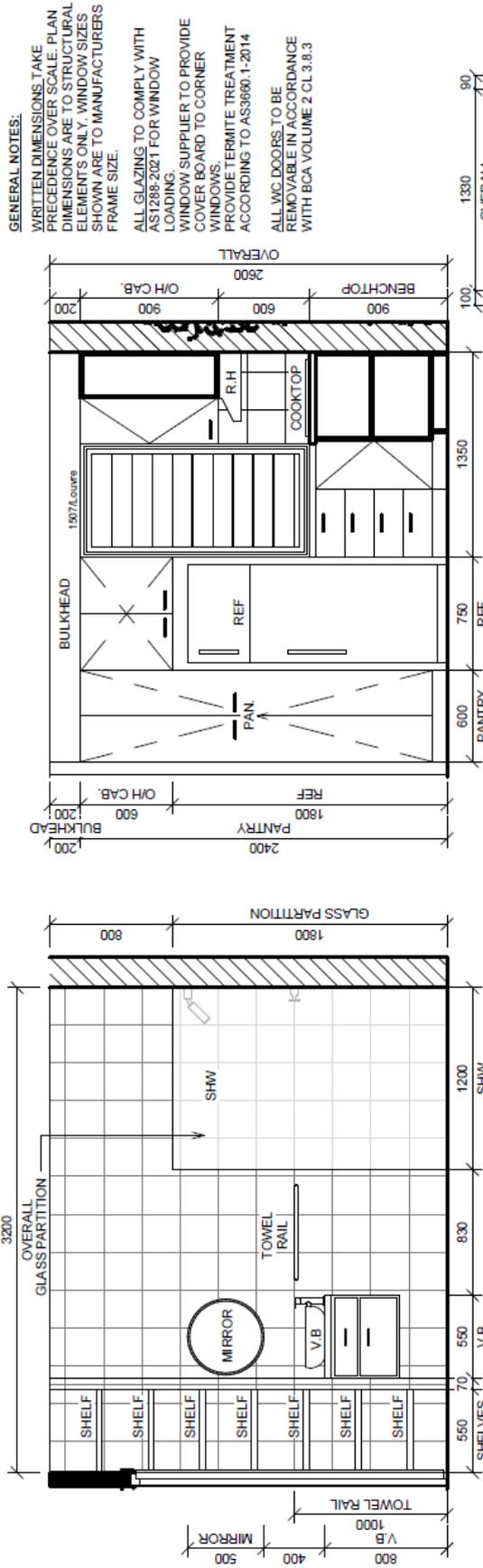
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Drawn: Cinda Gomez-Franklin	QBCC 1515 3659
DP-AD 30400	

Sheet:	A005 of 15
Status:	Concept
Date:	11/11/25
Ref:	GGF-115
Size:	A3

Site Drainage

1 1 : 200

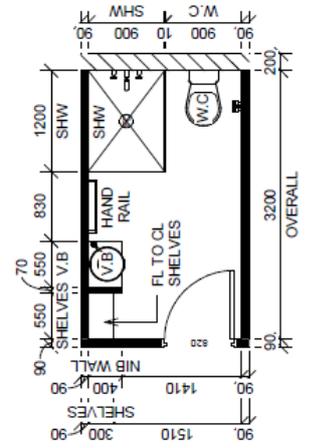
Speedy Gomez
Building Design
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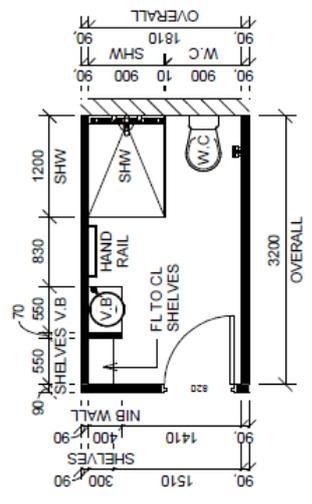
GENERAL NOTES:
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.
 ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING.
 WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS.
 PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1:2014
 ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3

2 Typ. Kitchen
1 : 25

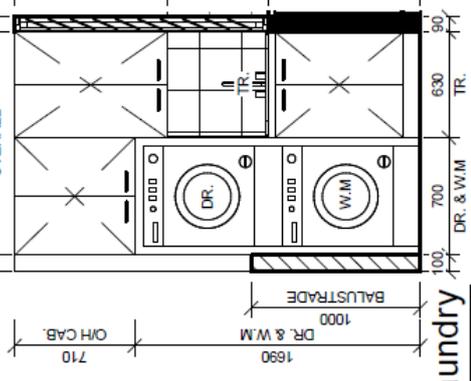
1 Typ. Bathroom
1 : 25



3 GF Typ. Bathroom
1 : 50



4 Level 1 Typ. Bathroom
1 : 50



5 Typ. Laundry
1 : 25

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Proposed 8-unit Apartment
 27 Mason St., Mareeba, QLD

Document Set ID: 4582643
 Version: 1, Version Date: 04/12/2025

Revision:

Sheet:	A010 of 15
Status:	Concept
Date:	11/11/25
Ref:	GGF-115
Size:	A3

Internal Elevations

Drawing No. A010
 Drawn: Chris Gomez-Franklin
 QBCC 1515:359
 DP-AD 33400

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 M:0415 170 642
 E:cinda@speedygomez.com.au

SITE COVERAGE:
 TOTAL PROPERTY AREA - 1,012 m²
 PROPOSED 2 STOREY - 366.2 m²

CALCULATION:
 % COVER: (366.2 m² / 1,012 m²) x 100 = 35.19%

HARD SURFACE COVERAGE:
 PR. DRIVEWAY - 449.09 m²

CALCULATION:
 % COVER: (449.09 m² / 1,012 m²) x 100 = 44.38%

SOFT SURFACE COVERAGE:
 PR. SOFT SURFACE - 206.7 m²

CALCULATION:
 % COVER: (206.7 m² / 1,012 m²) x 100 = 20.42%

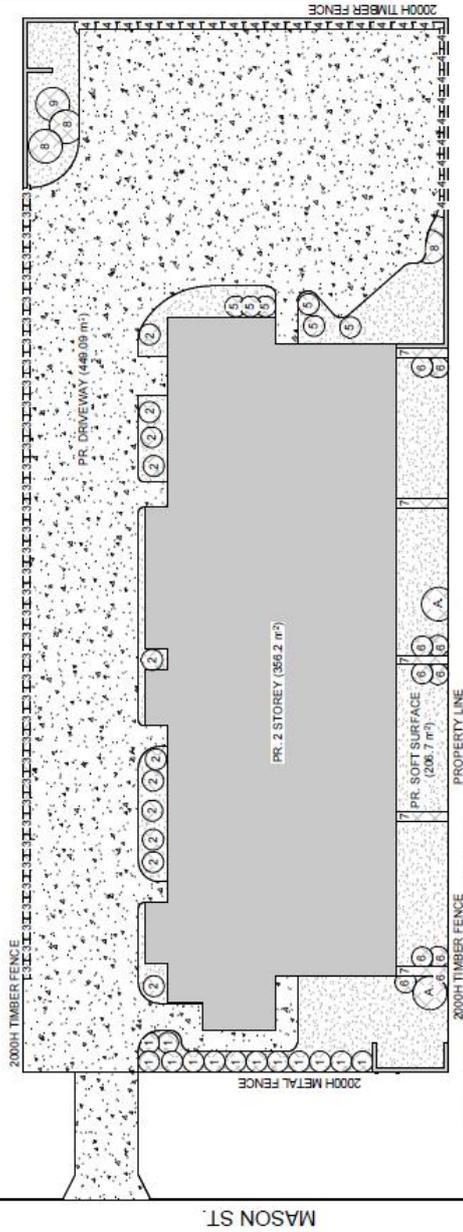
LEGEND

SOFT LANDSCAPING
 TURF
 MULCHED GARDEN BED
 HARD LANDSCAPING
 CONCRETE 100mm DEPTH

NATIVE PLANT LEGEND

EXISTING
 A. PLANTS TO REMAIN ARE TO BE PRUNED BACK MAINTAINED TO COUNCILS SATISFACTION

- PROPOSED**
- | | |
|--|---|
| 1. PAVETTA AUSTRALIENSIS (PAVETTA)
QTY: 13 | 5. MACKINLAYA MACROSCIADEA (BLUE UMBRELLA)
QTY: 6 |
| 2. PROSTANTHERA PHYLICIFOLIA (SPIKED MINT BUSH)
QTY: 11 | 6. LEPTOSPERMUM SPECIES (TEA-TREES)
QTY: 10 |
| 3. VIOLA HEDERACEA (NATIVE VIOLET)
QTY: 38 | 7. SYZYGIUM SMITHII (Lilyilly)
QTY: 5 |
| 4. MICROMELUM MINUTUM (LIME BERRY)
QTY: 26 | 8. BRACHYCHITON ACERIFOLIUS (JILLAWARRA FLAME TREE)
QTY: 4 |
| | 9. MANGIFERA INDICA
QTY: 1 |



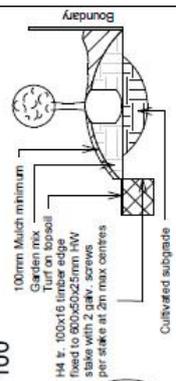
Pr. Lanscaping Plan

2 1 : 200

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Planting Bed Preparation

1 : 100



Proposed 8-unit Apartment
 27 Mason St., Mareeba, QLD

Document Set ID: 4592643
 Ver: 01, 1, Version Date: 04/11/2025

Revision:				
Lanscaping Plan	Sheet:	A013 of 15	Status:	Concept
Drawing No.	Date:	11/11/25	Date:	11/11/25
Draw: Cinda Gomez-Franklin	Ref:	GGF-115	Ref:	M:0415 170 642
QBCC 1516 359	Size:	A3	Size:	A3
DP-AD 73400				

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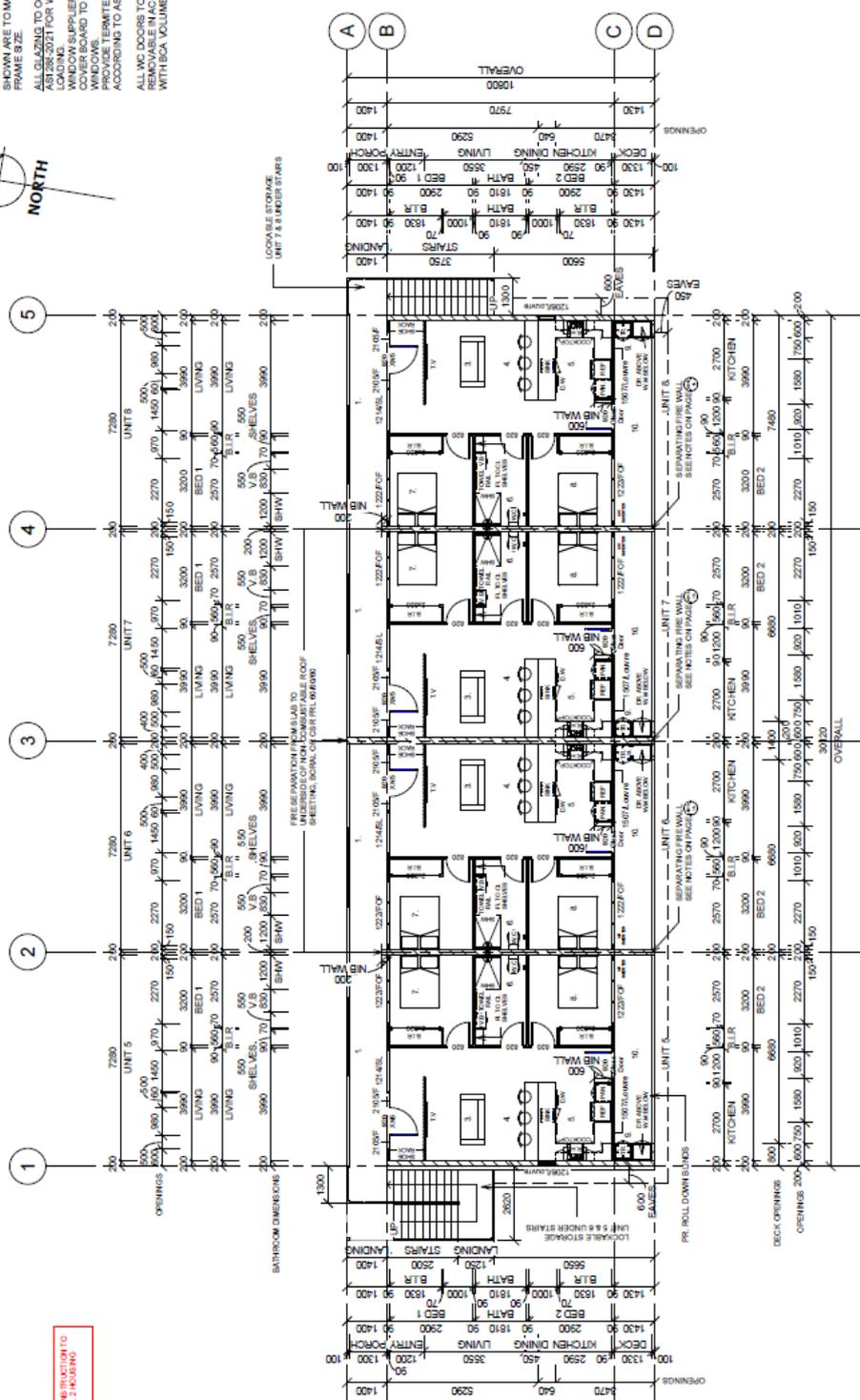
ROOM LEGEND:

- 1. ENTRY
- 2. LIVING
- 3. KITCHEN
- 4. BATH
- 5. BEDROOM 1
- 6. BEDROOM 2
- 7. BEDROOM 3
- 8. DECK
- 9. STAIRS

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED TO BE TO CENTERLINE. SEE THE ACC. VOL. 2 HOUSING PROVISIONS PAGES 11.2 AND 11.3

GENERAL NOTES:

- 1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHICAL DIMENSIONS. GRAPHICAL DIMENSIONS ONLY WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.
- 2. ALL GLAZING TO COMPLY WITH AS1288.2021 FOR WINDOW COVERINGS.
- 3. WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER.
- 4. ALL WINDOWS TO BE TREATED WITH AN ANTI-RADIATION TREATMENT ACCORDING TO AS3960.1:2014.
- 5. ALL DOORS TO BE FINISHED WITH BOCA VOLUME 2 CL 3.8.3



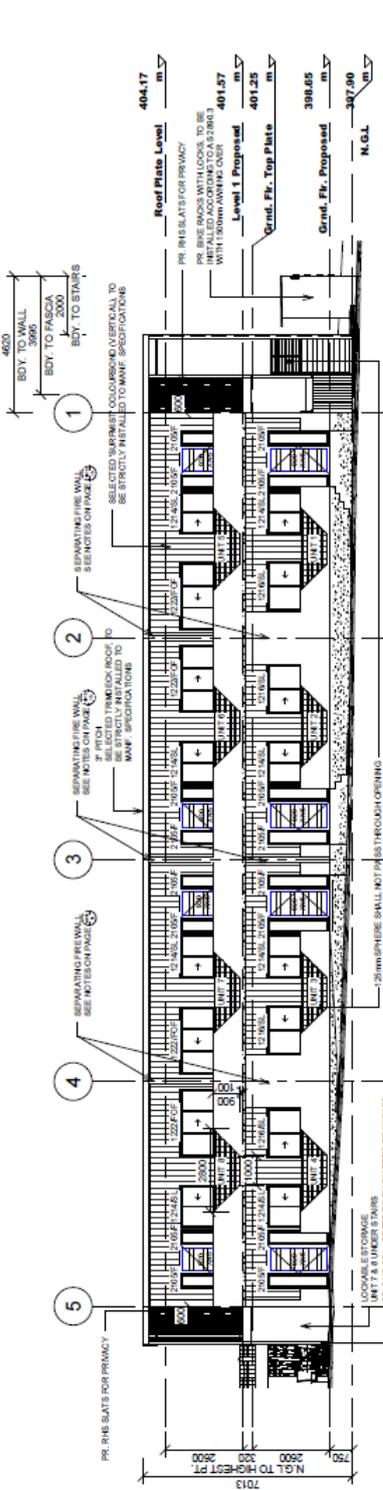
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Proposed 8-unit Apartment		Level 1 Proposed	
27 Mason St, Mareeba, QLD		1 : 100	
Drawing No: A007 Date: 11/11/25 Drawn by: Speedy Gomez Checked by: Speedy Gomez		Sheet: A007 of 15 Status: Concept Date: 11/11/25 Ref: GZP-115 Scale: A4	
Revisions:		Speedy Gomez Building Design M:0415 170 842 E:and@speedygomez.com.au	

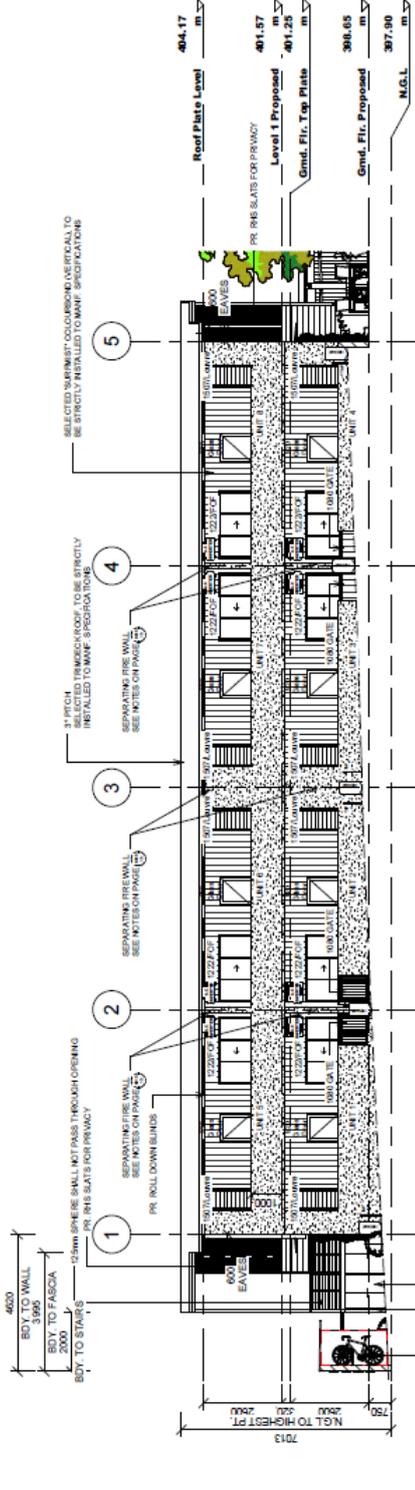
Document Ref: A007A1
 Version: 1.0
 Date: 11/11/2025

GENERAL NOTES:

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 ALL GLAZING TO COMPLY WITH AS/NZS2021 FOR WINDOW AND AS/NZS2042 FOR WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER AND WINDOWS.
 WINDOWS TO BE TREATED ACCORDING TO AS3960:1-2014.
 ALL DOORS TO BE INSTALLED WITH A MINIMUM CLEARANCE WITH DOOR VOLUME 2 CL 3.8.3 REQUIREMENTS FOR SUSTAINABLE BUILDINGS.
 ACCEPTABLE SOLUTIONS:
 TAPWARE: TO BE AS A RATING WHEN ASSESSED AGAINST AS/NZS4020 OR A 3 STAR RATING UNDER THE WATER EFFICIENCY LABELLING AND STANDARDS RATING FOR TAPS.
 LAUNDRY TUBS
 KITCHEN SINKS
 BASINS
 WATER SUPPLY: IN A SERVICE AREA FOR RETAIL WATER SERVICE UNDER THE WATER ACT 2000, THE WATER SUPPLY TO THE PROPERTY SHALL NOT EXCEED PRESSURE LEVELS SET OUT IN AS/NZS3550 1:2000 AND IF THE MAIN WATER PRESSURE EXCEEDS OR COULD EXCEED 500 KPA, THE MAIN WATER SUPPLY SHALL BE INSTALLED TO ENSURE THAT THE MAXIMUM OPERATING PRESSURE AT THE OUTLET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500KPA.
 VOLUME OF WATER USED IN TOILET: TOILET CISTERNS TO HAVE DUAL FLUSH TOILET CISTERN WITH WATER LABELLING AND STANDARDS RATING.
 ENERGY EFFICIENT LIGHTING: ALL LIGHTING MUST BE ENERGY EFFICIENT LIGHTING.
 STAIRWAY, BARBERS AND HANDRAIL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC VOL. 2 HOUSING PROVISIONS PARTS 11.2 AND 11.3



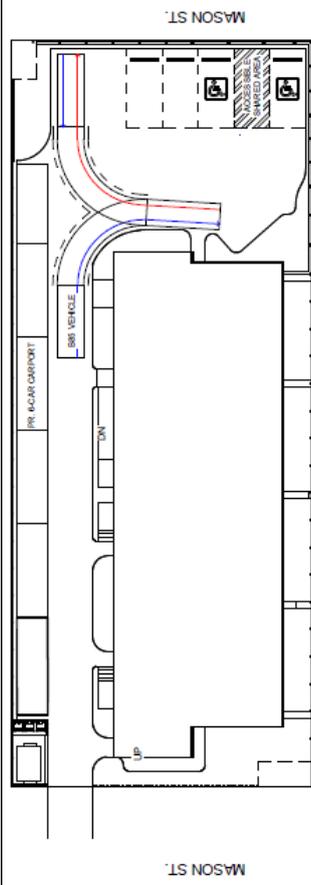
1 North
1 : 100



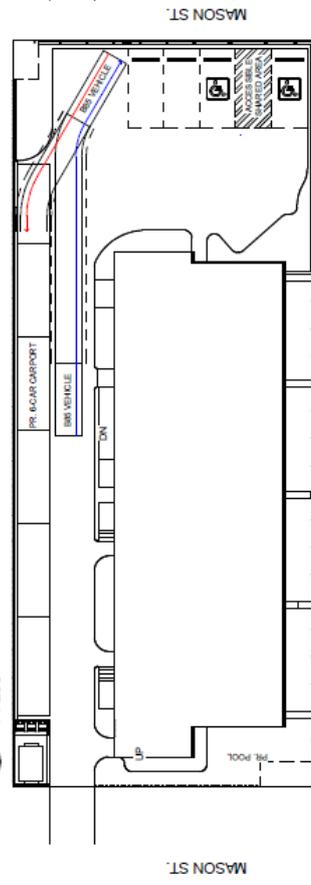
2 South
1 : 100

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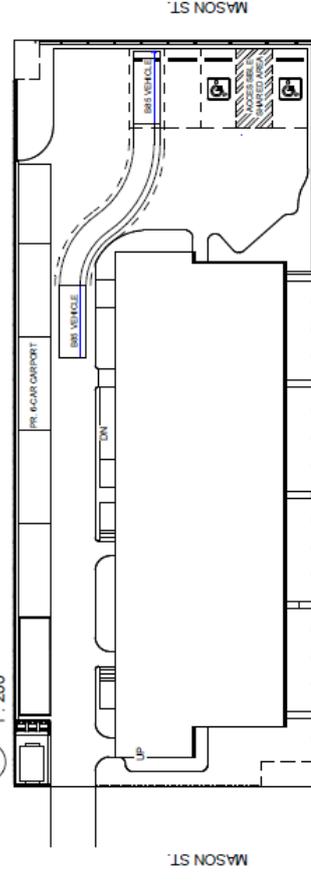
Proposed 8-unit Apartment		Elevations - 1	
27 Mason St., Mareeba, QLD		Sheet: A006 of 15	Scale: A2
Drawing No: A006		Status: Concept	Author: Speedy Gomez
Date: 11/11/25		Date: 11/11/25	Client: M/DH 15 170 642
Project: 27 Mason St., Mareeba, QLD		Ref: GZP-115	Contact: E:and@speedygomez.com.au
Version: 1.0		Scale: A2	



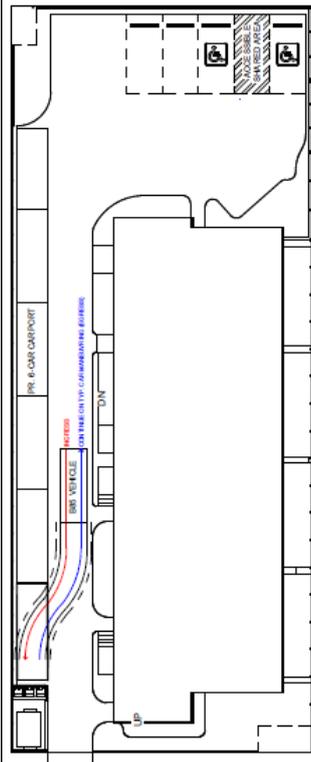
1 Typ. Car Manueuvring (Egress)
1:200



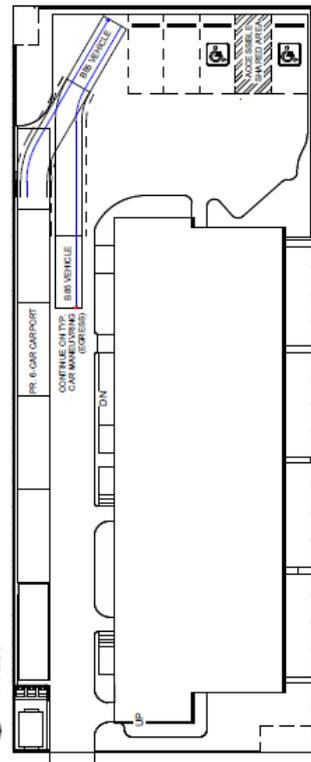
2 Parallel Last Slot (Ingress)
1:200



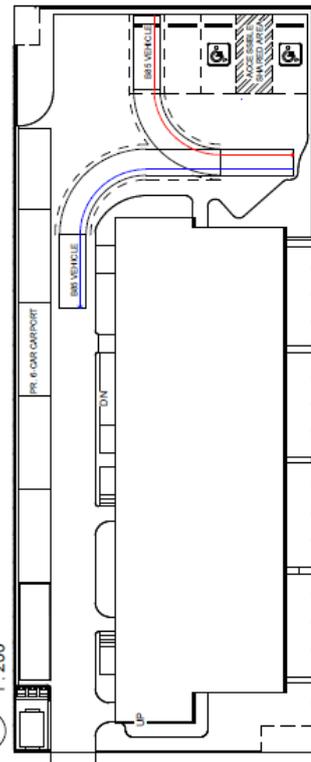
3 90° Carport (Ingress) - 1
1:200



4 Parallel (Ingress & Egress)
1:200



5 Parallel Last Slot (Egress)
1:200



6 90° Carport (Egress) - 1
1:200



PARKING LEGEND:

- BBS VEHICLE
- BBS CAR (1770mm WHEEL)
- 2.13M MINIMUM TURNING CLEARANCES
- CAR MANUEUVRING (EGRESS)
- REVERSED DRIVING

NOTE:
DRIVEWAY DESIGNED AS PER AS/NZS 15044

NOTES: BUILDERS TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS.
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Proposed 8-unit Apartment 27 Mason St., Mareeba, QLD		Sheet: AQ Date: 03/11/25 Scale: A4
Revis/NOI:	Swept Path - 1	Sheet: AQ of 15 Coverage: 100% Date: 11/11/25 Scale: 1:200
Drawing No.: 2011 Date: 11/11/25 AutoCAD: AutoCAD 2024 Project: 27 Mason St., Mareeba, QLD		

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