

m: 0448 377 172 a: Po Box 1083, Tolga 4882

16<sup>th</sup> January 2025Mareeba Shire Council  
65 Rankin St,  
Mareeba, QLD, 4880

Attention: Planning Section

Dear Sir/Madam,

**Re: Proposed dual occupancy at Lot 20 / RP 749168 - 2 Kylie Street MAREEBA**

Baker Building Certification has been engaged to assess an application for the construction of a new dual occupancy on the abovementioned allotment. The decision on a preliminary approval for the above request under the performance criteria may be given, considering that parts of the dual occupancy does not meet the deemed to satisfy provisions of the Mareeba Planning Scheme 2016.

**Applicant:** Mac Constructions, c/ Baker Building Certification.

Table 5.5.6—Low density residential zone requirements

Dual occupancy	<b>Accepted development if:</b> (a) complying with the relevant acceptable outcomes of the requirements; and (b) established on a lot greater than or equal to 1,000m <sup>2</sup> in area.	<b>Proposed</b> The trigger for MCU approval is the lot is less than 1,000m <sup>2</sup> in area. The dwellings are proposed on an allotment of 915m <sup>2</sup> , this will not affect the surrounding area given the dwelling setbacks comply with the setbacks of the low dense res code and are clearly separated with enough recreation spaces to appear as singular allotments. The corner road reserve has reduced the overall allotment size and triggered the need for referral due to the reduced allotment size. Other dual occupancies in the area are on allotments less than 1000m <sup>2</sup> and additional dwellings in the area and other structure are encroaching into the boundary setbacks, in effect the proposed can be considered in keeping with the surrounding area.
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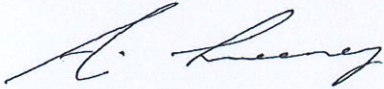
**Recommendation**

The proposed generally appears to satisfy the performance criteria stated in the dual occupancy code. It is therefore recommended that the Local Government consider the proposal as it is suitably designed to complement the area and satisfy the performance outcomes of the code.

Should you have any further queries please do not hesitate to contact the Officer involved Aaron Sweeney on 0437127724 or aaron@bakerbuildingcert.com.au

Yours faithfully.

Prepared by *Aaron Sweeney* A1215391



Baker Building Certification.

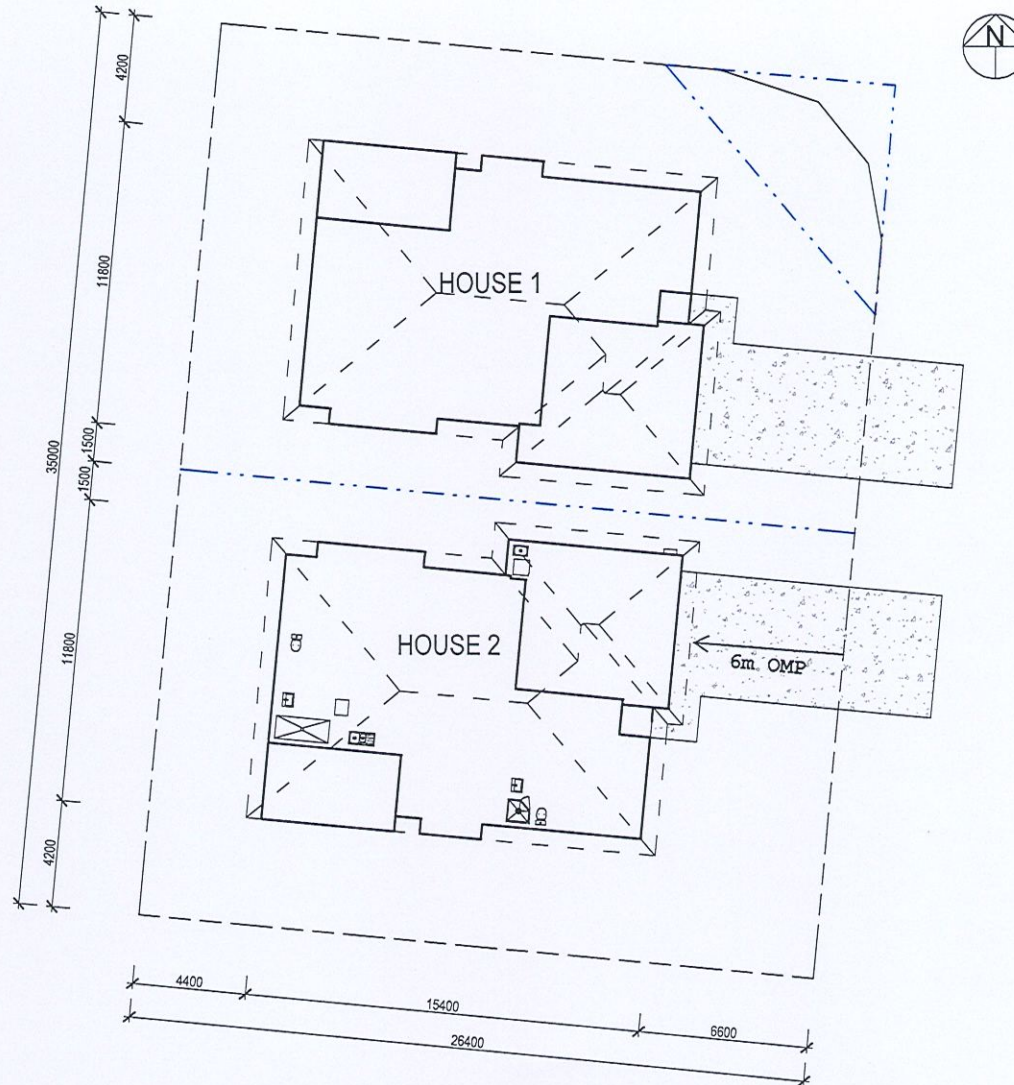


R.P.D.  
 LOT: 81  
 SP: SP999999  
 SITE AREA: 454 m<sup>2</sup>  
**PROPOSED DEVELOPMENT**  
 BUILDING AREA: 200.00 m<sup>2</sup>  
 SITE COVERAGE: 20%

**SITE LEVELS**  
 CONFIRM ALL SITE SPOT LEVELS AND APPROVE THE SLAB TOP LEVEL ON SITE BEFORE COMMENCEMENT OF WORKS. SITE SHALL BE GRADED TO ENSURE CROSS FALL AND SURFACE WATER DRAINAGE AWAY FROM THE BUILDING

**PLUMBING**  
 CONNECT SEWERAGE TO JUMP-UP WITH 100 PVC-U PIPING. THE LAYOUT SHOWN ON THIS DRAWING IS DIAGRAMMATIC ONLY. LICENCED PLUMBING CONTRACTOR SHALL DETERMINE ALL PLUMBING AND VENTING ON SITE.

STORMWATER DRAINAGE TO STREET KERB DISCHARGE OR STORMWATER MAIN WITH 90 PVC-U PIPING, 300x300 STORMWATER PITS TO BE INSTALLED WHERE NOTED. THE LAYOUT SHOWN IS ON THIS DRAWING IS DIAGRAMMATIC ONLY.

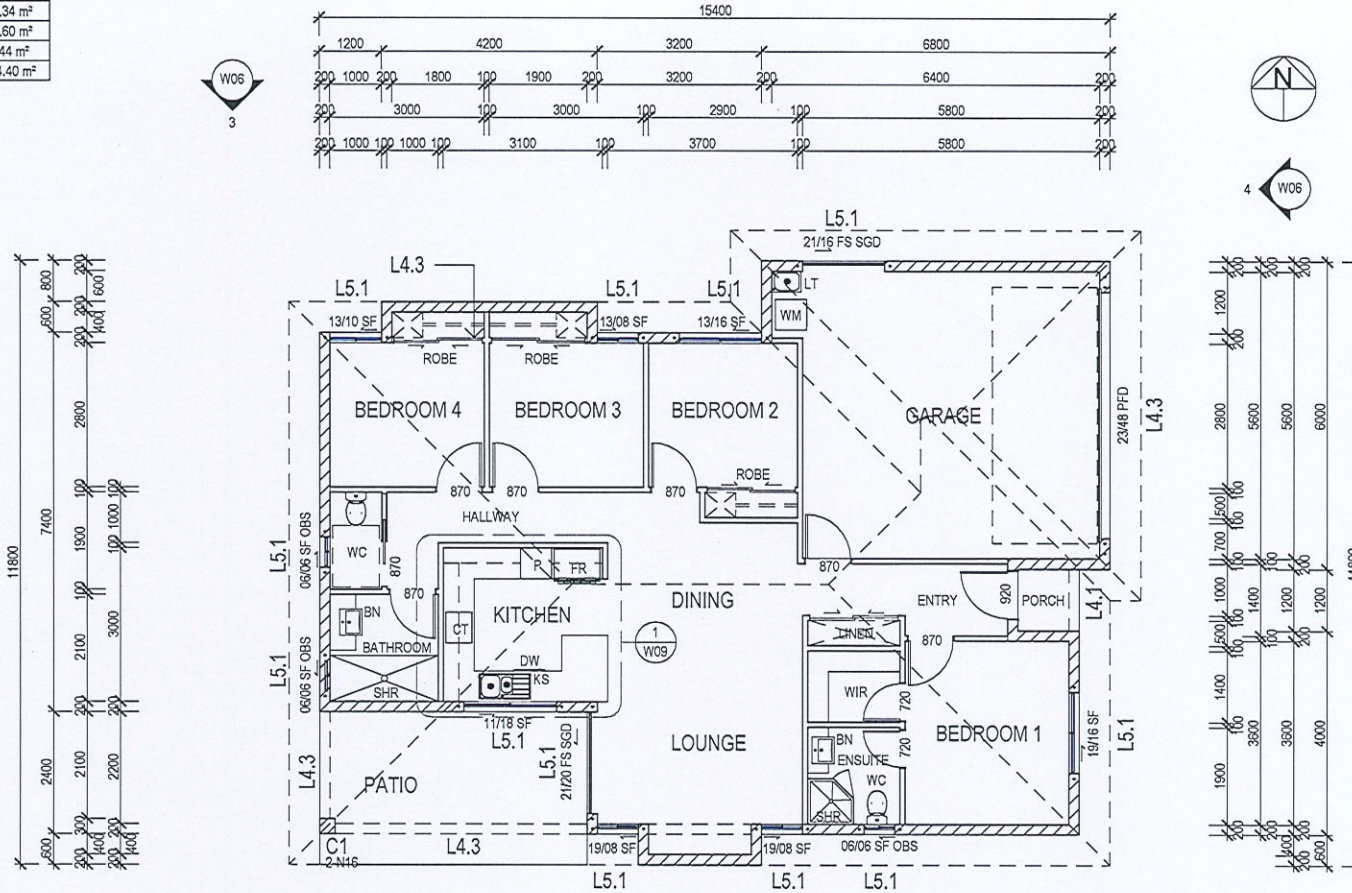


1 SITE PLAN  
 1:200

No.	Amendments	Date	NOTE: Unless noted otherwise, all work shall be strictly in accordance with The Building Code of Australia & the Queensland Building Act 1975 both as amended. The Queensland Home Building Code, The Australian Domestic Construction Manual, the relevant adopted Australian Standards, Local Authorities By-Laws & Reg's, Accredited Building Products Register & Manufacturers current written recommendations & instructions. Confirm all fittings & fixtures & finishes prior to commencing any work. Construction must not vary from this documentation w/out prior written approval.	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. Dimensions shown may vary to suit actual site conditions. Dimensions shown are nominal. Allowance to be made for finished sizes. Verify all dimensions and site conditions prior to commencing work. This document is and shall remain the property of The Schilling Properties Trust. Unauthorised use of this document in any way is prohibited.	<b>MAC</b> CONSTRUCTIONS Schilling Homes Pty Ltd ATF The Schilling Properties Trust T/A Mac Construction (NQ) QBSA Licence No. 1186169 6 Quail Close, Woree, Qld. 4868 Ph 0439 831 830 M 0439 831 830 Email info@macconstructions.com.au	Proprietor: PETER & TANIAM FARR  Site Address: 2 KYLIE CLOSE MAREEBA 4880	Date 24/09/2024 Printed 24/09/2024 10:10:24 AM	Scale 1:200 @ A3 Drawn JES Checked JLS	Drawing Title SITE PLAN  Issue Stamp Preliminary Drawing Number 2439 - V01 Rev. 1
1	For Tender	24/09/2024							

NETT ROOM AREA	
NAME	AREA
GARAGE	33.26 m <sup>2</sup>
PATIO	15.51 m <sup>2</sup>
LOUNGE	13.46 m <sup>2</sup>
DINING	11.65 m <sup>2</sup>
BEDROOM 1	11.52 m <sup>2</sup>
BEDROOM 3	9.54 m <sup>2</sup>
KITCHEN	9.54 m <sup>2</sup>
BEDROOM 4	9.48 m <sup>2</sup>
BEDROOM 2	9.09 m <sup>2</sup>
HALLWAY	5.20 m <sup>2</sup>
ENTRY	4.80 m <sup>2</sup>
BATHROOM	4.41 m <sup>2</sup>
ENSUITE	3.42 m <sup>2</sup>
WIR	2.52 m <sup>2</sup>
WC	1.90 m <sup>2</sup>
PORCH	1.44 m <sup>2</sup>
LINEN	0.90 m <sup>2</sup>
147.53 m <sup>2</sup>	

GROSS AREA	
NAME	AREA
LIVING AREA	111.02 m <sup>2</sup>
GARAGE	36.34 m <sup>2</sup>
PATIO	15.60 m <sup>2</sup>
PORCH	1.44 m <sup>2</sup>
164.40 m <sup>2</sup>	



**NOTES**

CEILING HEIGHT:

**STRUCTURAL NOTES**

STARTER BARS (N12) FOR CONCRETE MASONRY WALLS SHOWN INDICATIVE FOR CATEGORY C1  
 MAX. SPACING: 1600  
 COLUMN BARS (2-N16)

**STRUCTURAL LEGEND**

L5.1 DENOTES CM BLOCK LINTEL AS DETAILED  
 G DENOTES PLASTERBOARD BRACING WALL FIXED TO MANUFACTURE'S SPECIFICATION

REFER TO DRAWING:

No.	Amendments	Date
1	For Tender	24/09/2024

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**MAC CONSTRUCTIONS**  
 Schilling Homes Pty Ltd ATF The Schilling Properties Trust T/A Mac Construction (ND)  
 QBSA Licence No. 1186169  
 6 Quail Close, Woree, Qld. 4868  
 Ph 0439 831 830 M 0439 831 830  
 Email info@macconstructions.com.au

Proprietor:  
**PETER & TANIAM FARR**  
 Site Address:  
**2 KYLIE CLOSE  
 MAREEBA 4880**

Date	24/09/2024
Printed	24/09/2024 10:10:25 AM

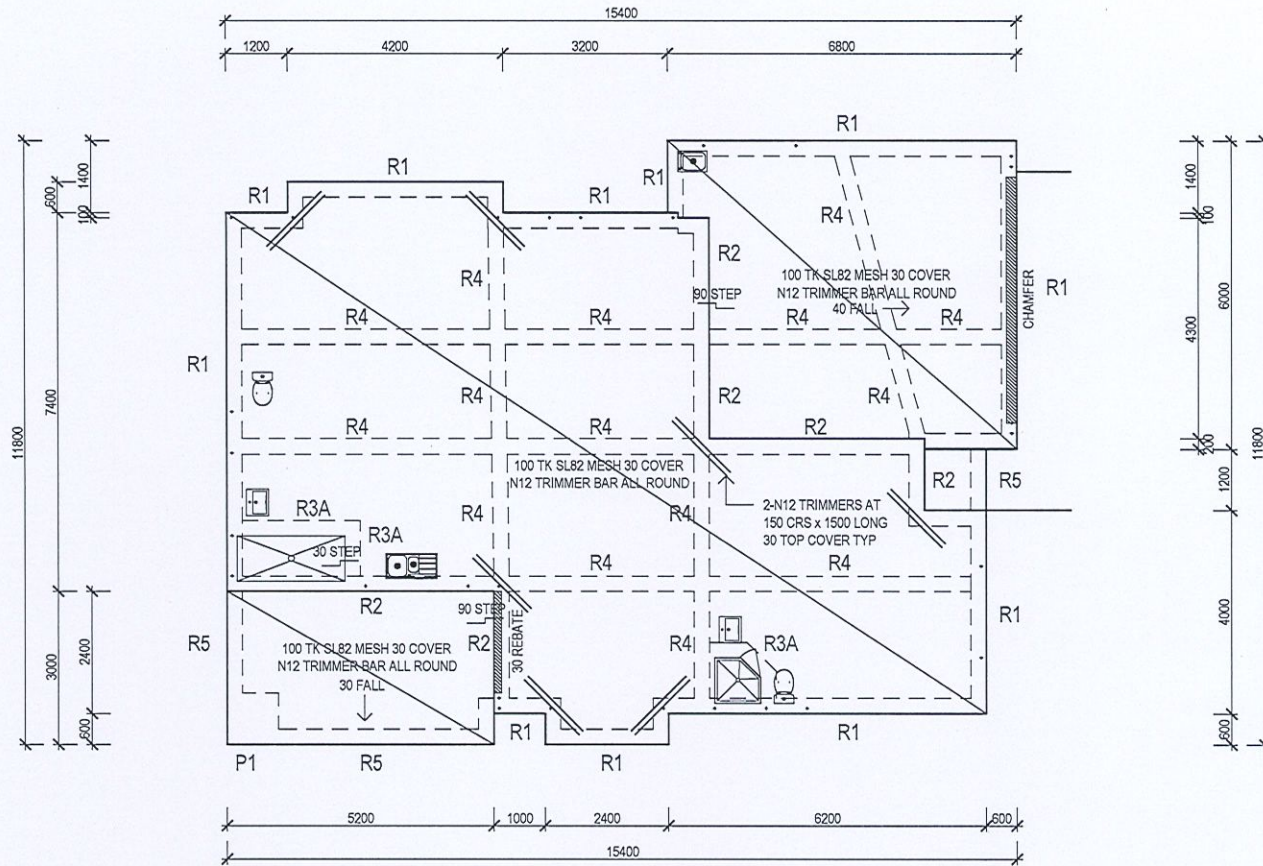
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Drawn	JES
Checked	JLS
Soil Class	M
Wind Category	C1

Drawing Title	FLOOR PLAN
Issue Stamp	Preliminary
Drawing Number	2439 - W02
Rev.	1

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION

**C.M.G. CONSULTING ENGINEERS PTY. LTD.**  
 A.C.N. 011 065 375  
 208 BUCHAN ST. CAIRNS QLD. 4870  
 PH. 07 4031 2775  
 FAX. 07 4051 9013

**1 FLOOR PLAN**  
 1:100



1 SLAB PLAN  
1:100

**STRUCTURAL NOTES**

STARTER BARS (N12) FOR CONCRETE MASONRY WALLS  
SHOWN INDICATIVE FOR CATEGORY Q1  
MAX. SPACING: 1600  
COLUMN BARS (2-N16)

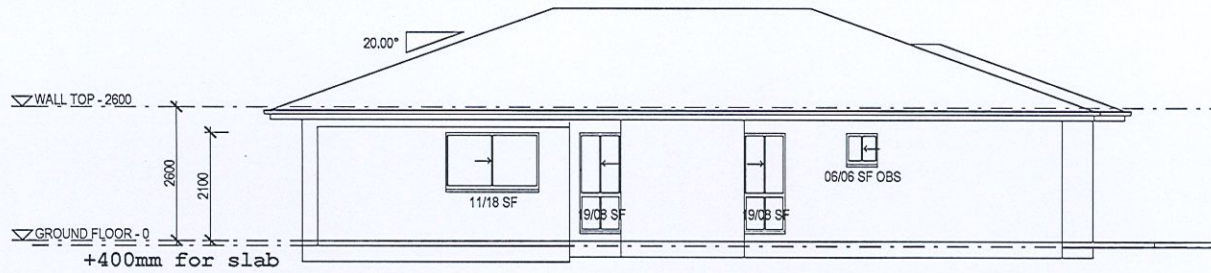
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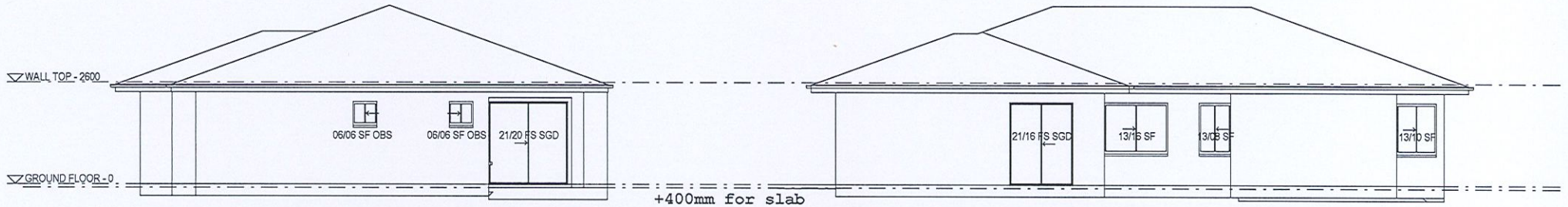
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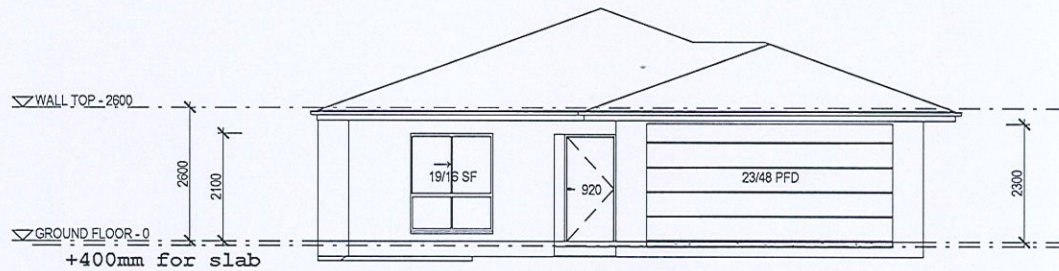


1 ELEVATION 1  
W02 1:100



2 ELEVATION 2  
W02 1:100

3 ELEVATION 3  
W02 1:100



4 ELEVATION 4  
W02 1:100

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1 For Tender	24/09/2024				Site Address: 2 KYLIE CLOSE MAREEBA 4880	Printed 24/09/2024 10:10:26 AM	Drawn JES	Checked JLS
						Seal Class M	Wind Category C1	Drawing Number 2439 - W06

## GENERAL NOTES

### DESIGN & CONSTRUCTION STANDARDS

#### COMPLY WITH INDUSTRY STANDARDS INCLUDING:

- QUEENSLAND BUILDING ACT - 1975 INCLUDING AMENDMENTS
- QUEENSLAND DEVELOPMENT CODE - APPLICABLE STANDARDS
- NATIONAL CONSTRUCTION CODE OF AUSTRALIA - 2022 OR CURRENT EDITION, INCLUDING ALL REFERENCED AUSTRALIAN STANDARDS
- TRADAC TIMBER FRAMING MANUAL TO SUIT THE SPECIFIED DESIGN LOADS
- CAIRNS REGIONAL COUNCIL - LOCAL PLAN POLICY CURRENT ISSUE
- THE APPLICABLE MANUFACTURERS PRINTED INSTRUCTIONS FOR THE INSTALLATION OF ALL PROPRIETARY PRODUCTS AND FINISHES

#### CONNECTION TO SERVICES:

APPLY TO THE RELEVANT SUPPLY AUTHORITIES FOR THE CONNECTION AND APPROVAL OF WATER, SANITARY, ELECTRICAL CONNECTIONS AND OTHER SERVICES AS REQUIRED.

NOTE THAT THESE DRAWINGS ARE APPLICABLE ONLY TO THE SITE IDENTIFIED ON THE DRAWINGS, AND ARE NOT APPLICABLE TO SITES WITH DIFFERING STRUCTURAL, CLIMATIC, OR CORROSSIVITY CRITERIA.

## DESIGN LOADS

1. THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING LOADING CODES: AS 1170.1 - DEAD & LIVE LOADS & LOAD COMBINATIONS. AS 4055 - WIND LOADING FOR HOUSING - WIND CLASSIFICATION C1

## SITE PREPERATION

1. SITE PREPERATION SHALL GENERALLY CONSIST OF CLEARANCE OF VEGETATION FOLLOWED BY EXCAVATION OF TOPSOILS AND MATERIAL TO SUIT FINAL DESIGN LEVELS.
2. IN THE PROPOSED ON GROUND FLOOR SLAB SUPPORT AND PAVEMENT AREAS, THE EXPOSED SUBGRADE SHALL BE UNIFORMLY COMPACTED TO ACHIEVE A DRY DENSITY RATIO OF NOT LESS THAN 98% OF THE MAXIMUM SATURATED VIBRATED DENSITY (AS 1289 TESTS 5.3.1 & 5.5.1). SUBGRADE COMPACTION SHALL BE ACCOMPANIED BY GENERAL INSPECTION TO ALLOW DETECTION AND RECTIFICATION OF ANY LOCALISED COMPRESSIBLE ZONES WHICH MAY EXIST.
3. ALL EARTHWORKS SHALL COMPLY WITH AS 3798 - GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS AS AMENDED.

## TERMITE RISK MANAGEMENT

1. ALL IN ACCORDANCE WITH AS 3660.1-2000 "TERMITE MANAGEMENT PART 1: NEW BUILDING WORK"
2. ALL PRIMARY BUILDING ELEMENTS SHALL BE CONSTRUCTED OF MATERIALS WHICH ARE NOT SUBJECT TO ATTACK BY SUBTERRANEAN TERMITES IN ACCORDANCE WITH BCA 2010 PART 3.1.3 TERMITE RISK MANAGEMENT
3. ALL PRIMARY BUILDING ELEMENT TIMBERS SHALL BE NATURALLY TERMITE RESISTANT IN ACCORDANCE WITH APPENDIX C OF AS 3660.1 OR SHALL BE OF PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH APPENDIX D OF AS 3660.1

IN ACCORDANCE WITH BCA 2010 3.1.3.2:

AT LEAST TWO DURABLE NOTICES MUST BE PERMANENTLY FIXED TO THE BUILDING IN PROMINENT LOCATIONS, SUCH AS IN A METER BOX AND A KITCHEN CUPBOARD OR THE LIKE, INDICATING:-

- (I) THE METHOD OF TERMITE RISK MANAGEMENT; AND
- (II) THE DATE OF INSTALLATION OF THE TERMITE MANAGEMENT MEASURE; AND
- (III) WHERE A CHEMICAL BARRIER IS USED, ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL REGISTRATION AUTHORITY LABEL; AND
- (IV) THE INSTALLERS' OR MANUFACTURERS' RECOMMENDATIONS FOR THE SCOPE AND FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE ACTIVITY.

- THE RECOMMENDED FREQUENCY OF INSPECTIONS SHALL BE EVERY 6 MONTHS MINIMUM.
- THE RECOMMENDED SCOPE IS: INSPECTIONS OF THE PERIMETER OF THE BUILDING AT GROUND LEVEL; INSPECTIONS OF ALL AREAS OF THE BUILDING AND IMMEDIATE AREA OF THE BUILDING WHICH CAN BE EASILY ACCESSED INCLUDING THE ROOF SPACE.

## EXTERNAL AND INTERNAL LOAD BEARING WALLS

1. 90x35 MGP12 STUDS @ 450 CRS MAX. FOT HT ≤ 3000 UNO
2. 90x35 MGP12 STUDS @ 300 CRS MAX. FOT 3000 < HT ≤ 3300 UNO
3. 90x35 MGP12 BOTTOM PLATES UNO
4. 2 / 90x35 MGP12 TOP PLATES UNO
5. 90x35 MGP12 NOGGINGS @ 1350 CRS MAX. UNO
6. PROVIDE M12 GALVANISED CYCLONE RODS AT ENDS, CORNERS, EACH SIDE OF OPENINGS AND 1200 CRS MAX BETWEEN
7. PROVIDE 2-M12 CYCLONE AT GIRDER TRUSS
8. STUDS EACH SIDE OF OPENINGS

OPENING WIDTH	No. STUDS EACH SIDE OF OPENING
900	1
1200 - 2100	2
2400 - 3000	3
3300 - 4000	4
4300 - 4800	5

### 9. LINTEL SIZES UNO

SPAN	MEMBER LVL 15	MEMBER LVL	MEMBER HWD (F14)
900	95x58	95x63	75x75
1200	2/95x42	2/95x45	100x75
1500	2/130x42	2/130x45	125x75
1800	2/150x42	2/150x45	150x75
2100	170x42	170x45	175x75
2400	200x42	200x45	200x75
2700	240x42	240x63	225x75
3000	240x58	240x63	250x75
3300	240x58	240x63	250x75
3600	240x58	240x63	275x75
4000	300x58	300x63	300x75

### 10. BRACING REQUIREMENTS UNO

- PLY - DENOTES STRUCTURAL PLYWOOD BRACING WALLS. THICKNESS AND FIXINGS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION AND AS1684.3 FOR 6.4kN/m RACKING RESISTANCE.
- UNO PROVIDE N12 CYCLONE RODS AT EACH END OF BRACING WALL AND AT 1800 CRS MAX BETWEEN.
- PROVIDE ANTI-RACKING CLEATS TO TOP OF BRACING WALLS IN ACCORDANCE WITH AS1684.3 RESIDENTIAL TIER-FRAMED CONSTRUCTIONS - CYCLONIC.

ALL WORK SHALL BE IN ACCORDANCE WITH AS 1684.3 "RESIDENTIAL TIMBER-FRAMED CONSTRUCTION. CYCLONIC AREAS" AND WITH THE BUILDING ACT 1975

## INTERNAL STUD WALLS

- 70X35 MGP10 STUDS @ 600 CRS MAX. U.N.O.
- 70X35 MGP10 STUDS @ 400 CRS MAX. ON WET AREA WALLS U.N.O.
- 70X35 MGP10 TOP & BOTTOM PLATES U.N.O.
- 70X35 MGP10 NOGGINGS @ 1350 CRS MAX. U.N.O.

ALL WORK SHALL BE IN ACCORDANCE WITH AS 1684.3 "RESIDENTIAL TIMBER-FRAMED CONSTRUCTION. CYCLONIC AREAS" AND WITH THE BUILDING ACT 1975

OR METAL FRAMED SYSTEM TO THE EQUIVALENT ABOVE

## INTERNAL STUD WALL NOGGINGS

- RANGEHOOD NOGGINGS TO BE 1500 HIGH WITH 6 ROWS ABOVE WHERE NOTED ON PLAN U.N.O.
- TOWEL RAIL NOGGINGS TO BE 1000 HIGH WHERE NOTED ON PLAN U.N.O.
- TOILET ROLL HOLDERS TO BE 700 HIGH WHERE NOTED ON FLOOR PLAN
- GARAGE DOOR NOGGINGS TO BE LOCATED TO MANUFACTURERS SPECIFICATION OR AS DETAILED

NOGGINGS TO BE FLUSH WITH STUDS OR CEILING BATTENS

## WALL FINISHES GENERALLY

- EXTERNAL BLOCK WALLS:  
RENDER FINISH AS SELECTED TO EXTERNAL FACE, AND 10mm GYPSUM PLASTERBOARD TO INTERNAL FACE GENERALLY OR 6mm FIBRE CEMENT SHEETING TO WET AREAS. POINTED JOINTS TO INTERNAL FACE OF GARAGE.
- INTERNAL STUD WALL:  
10mm GYPSUM PLASTERBOARD GENERALLY OR 6mm FIBRE CEMENT SHEETING TO WET AREAS.
- CEILING:  
10mm GYPSUM PLASTERBOARD GENERALLY WITH 90mm COVE CORNICE

## COMPLIANCE NOTES

- AAA RATED SHOWER ROSES SHALL BE PROVIDED.
- WATER PRESSURE NOT TO EXCEED 500KPA OR A PRESSURE LIMITING DEVICE SHALL BE FITTED.
- DUAL FLUSH CISTERNS SHALL HAVE FULL FLUSH CAPACITY OF 4.5 LTRS & HALF FLUSH OF 3 LTRS.
- 5 STAR GAS OR SOLAR HOT WATER SYSTEM SHALL BE SUPPLIED & INSTALLED.
- 80% OF THE TOTAL LIGHT FITTINGS SHALL BE FITTED WITH FLUORESCENT LIGHTING.

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**MAC CONSTRUCTIONS**  
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3 Scott Street, Parramatta Park, Qld. 4868  
Ph 0439 831 830 M 0439 831 830  
Email info@macconstructions.com.au

Proprietor:  
**PETER & TANIAM FARR**  
  
Site Address:  
**2 KYLIE CLOSE  
MAREEBA 4880**

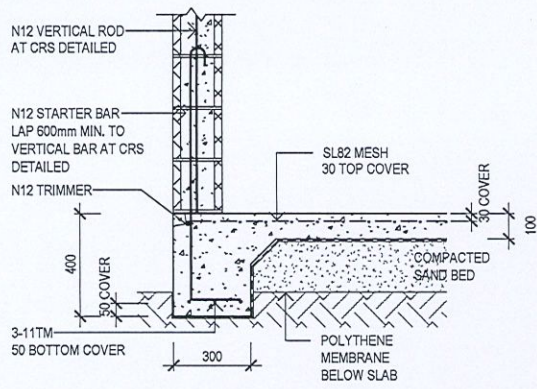
Date	24/09/2024	Scale	@ A3	Drawing Title
Printed	24/09/2024 10:10:27 AM	Drawn	JES	<b>GENERAL DETAILS &amp; NOTES</b>
Checked		CMG		Issue Stamp Preliminary
Soil Class	Wind Category			Drawing Number 2439 - W20
M	C1			Rev. 1

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION

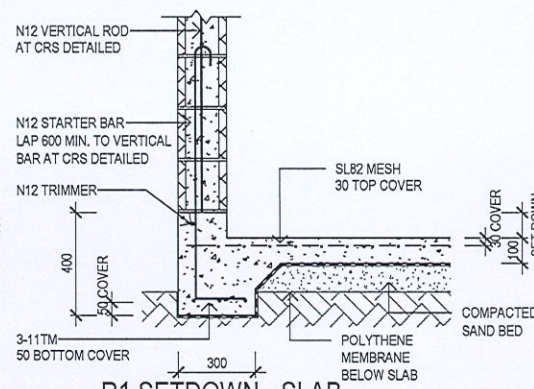
**C.M.G. CONSULTING ENGINEERS** PTY. LTD.  
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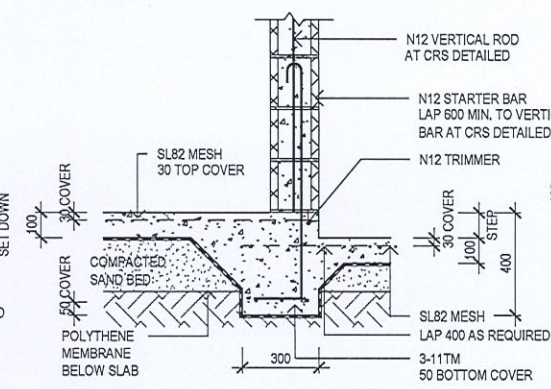




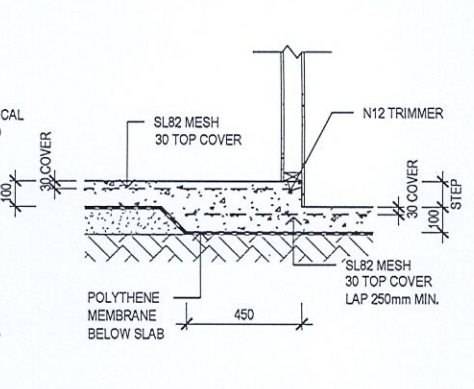
1 R1 - SLAB DETAIL  
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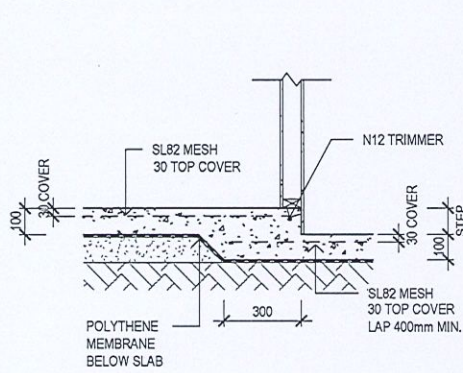
2 R1 SETDOWN - SLAB DETAIL  
1:20



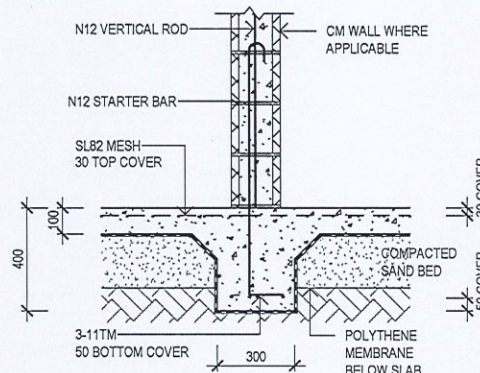
3 R2 - SLAB DETAIL  
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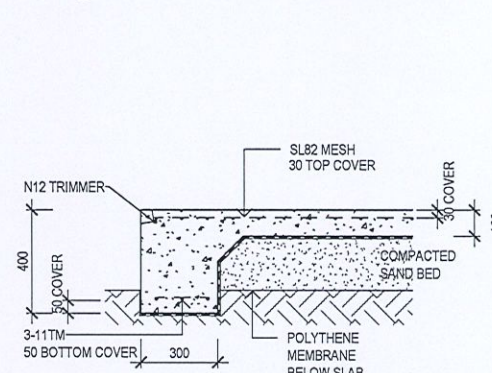
5 R3 - SLAB DETAIL  
1:20



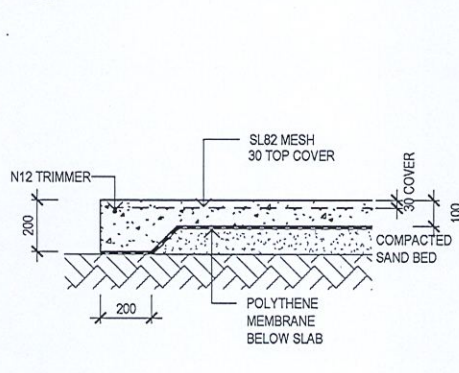
6 R3A - SLAB DETAIL  
1:20



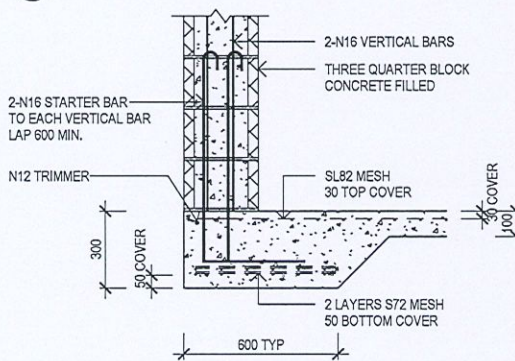
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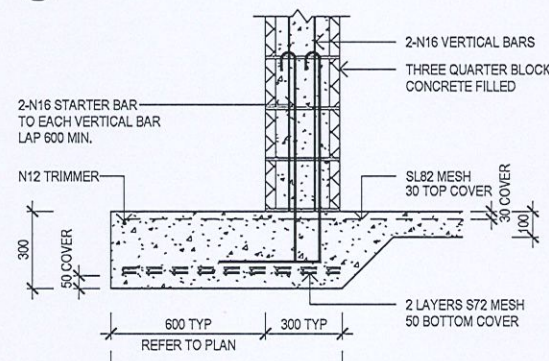
8 R5 - SLAB DETAIL  
1:20



9 R6 - SLAB DETAIL  
1:20



10 P1 - SLAB DETAIL  
1:20



11 P1A - SLAB DETAIL  
1:20

**CONCRETE SLAB AND FOOTINGS**

1. MAIN FLOOR SLAB TOP SHALL BE A MINIMUM OF 225mm ABOVE FINISHED GROUND LEVEL
2. CONCRETE TO SLAB AND FOOTINGS SHALL BE N25 GRADE 20MM AGGREGATE 80mm SLUMP IN ACCORDANCE WITH AS3600-2001 'CONCRETE STRUCTURES'

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION

**C.M.G. CONSULTING ENGINEERS** PTY. LTD.  
A.C.N. 011 065 376  
208 BUCHAN ST. CAIRNS QLD. 4870  
PH. 07 4031 2775 FAX. 07 4051 9013

No.	Amendments	Date
1	For Tender	24/09/2024

NOTE: Unless noted otherwise, all work shall be strictly in accordance with The Building Code of Australia & the Queensland Building Act 1975 both as amended, The Queensland Home Building Code, The Australian Domestic Construction Manual, the relevant adopted Australian Standards, Local Authorities By-Laws & Reg's, Accredited Building Products Register & Manufacturers current written recommendations & instructions. Confirm all fittings & fixtures & finishes prior to commencing any work. Construction must not vary from this documentation w/out prior written approval.

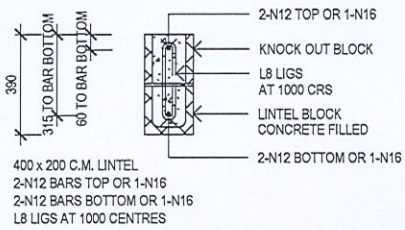
DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. Dimensions shown may vary to suit actual site conditions. Dimensions shown are nominal. Allowance to be made for finished sizes. Verify all dimensions and site conditions prior to commencing work. This document is and shall remain the property of The Schilling Properties Trust. Unauthorised use of this document in any way is prohibited.

**M&C CONSTRUCTIONS**  
Schilling Group Pty Ltd  
QBSA Licence No. 15108932  
3 Scott Street, Parramatta Park, Qld. 4868  
Ph 0439 831 830 M 0439 831 830  
Email info@macconstructions.com.au

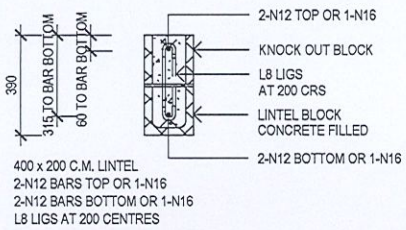
Proprietor:  
**PETER & TANIAM FARR**  
  
Site Address:  
**2 KYLIE CLOSE  
MAREEBA 4880**

Date	Scale
24/09/2024	1:20 @ A3
Printed	Drawn
24/09/2024 10:10:28 AM	JES
Checked	Issue Stamp
CMG	Preliminary
Soil Class	Wind Category
M	C1

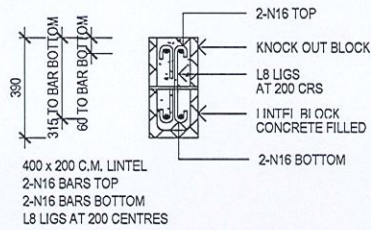
Drawing Title	Issue Stamp	Drawing Number	Rev.
CONCRETE SLAB DETAILS	Preliminary	2439 - W21	1



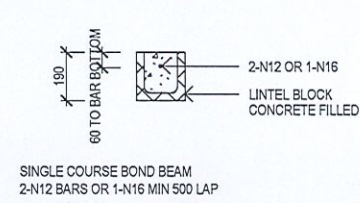
**1 L4.1 - LINTEL**  
1:20



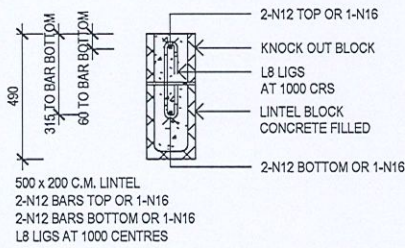
**2 L4.2 - LINTEL**  
1:20



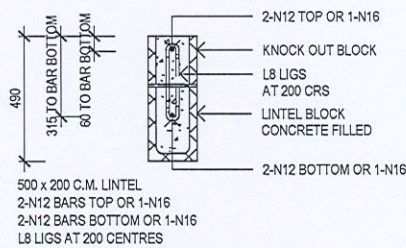
**3 L4.3 - LINTEL**  
1:20



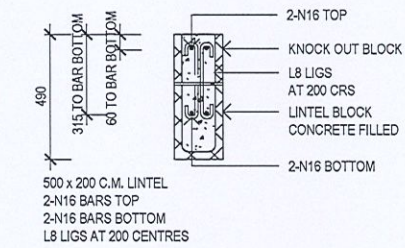
**8 BOND BEAM**  
1:20



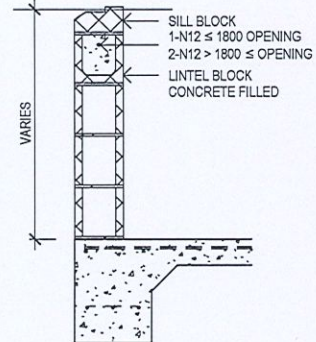
**5 L5.1 - LINTEL**  
1:20



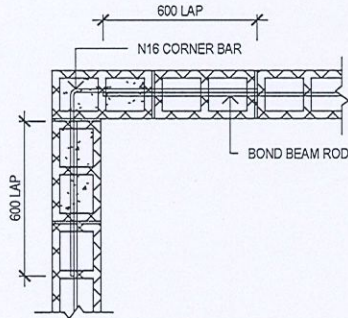
**7 L5.2 - LINTEL**  
1:20



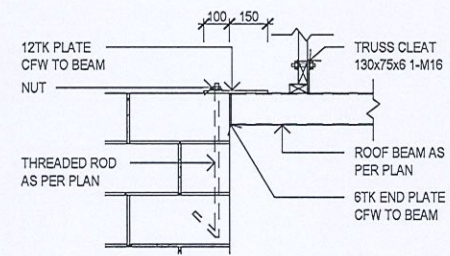
**6 L5.3 - LINTEL**  
1:20



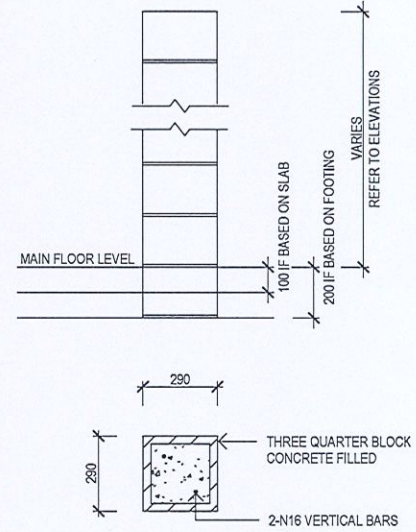
**13 CM SILL DETAIL**  
1:20



**14 CM CORNER DETAIL**  
1:20



**4 STEEL BEAM CONNECTION**



**12 C1 - COLUMN**  
1:20

**LINTEL CODING**

STANDARD LINTELS SHALL BE 200 SERIES BLOCKWORK. LINTELS CODES HAVE THE FORMAT OF: Ld.n WHERE:

- L LINTEL
- d DEPTH
- 4 400
- 5 500
- 6 600
- .n SPAN / LOAD RATING

REFER TO LINTELS MARKED ON PLANS AND ENG DETAILS.

**CMB WALL REINFORCEMENT NOTES**

- LOAD BEARING CMB**
- SINGLE COURSE BOND BEAM AT UNDERSIDE OF ROOF REINFORCED WITH 2-N12 BARS OR 1-N16 BAR 500 MIN. LAP EACH COURSE.
  - SINGLE COURSE BOND BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINFORCED WITH 1-N12. EXTEND BOND BEAM 200 PAST EACH SIDE OF OPENING.
  - UNO ALL CMB WALLS SHALL BE REINFORCED WITH N12 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS AND AT EACH SIDE OF OPENINGS AND AT 1600 MAX. CENTRES BETWEEN.
  - PROVIDE ADDITIONAL N12 VERTICAL BARS TO CORES ADJACENT TO OPENINGS GREATER THAN 1800 WIDE.
  - WALL CONTROL JOINTS UNO SHALL BE REINFORCED WITH 1-N12 VERTICAL BAR EACH SIDE OF JOINT. EXTEND BOND BEAM REINFORCEMENT THROUGH JOINT. FILL JOINT WITH COMPRESSIBLE BACKING AND APPROVED SEALANT.

**EXTERNAL BLOCK WALLS CORE FILL**

ALL CORES AND LINTELS CONTAINING REINFORCEMENT SHALL BE CONCRETE GROUT FILLED 20 MPa 10mm MAX. AGGREGATE 230mm SLUMP WITH MINIMUM CEMENT CONTENT OF 300 kg/m<sup>3</sup>.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION

**C.M.G. CONSULTING ENGINEERS PTY. LTD.**  
A.C.N. 011 065 375  
208 BUCHAN ST. CAIRNS QLD. 4870  
PH. 07 4031 2775  
FAX. 07 4051 9013

No.	Amendments	Date
1	For Tender	24/09/2024

NOTE: Unless noted otherwise, all work shall be strictly in accordance with The Building Code of Australia & the Queensland Building Act 1975 both as amended. The Queensland Home Building Code, The Australian Domestic Construction Manual, the relevant adopted Australian Standards, Local Authorities By-Laws & Reg's, Accredited Building Products Register & Manufacturers current written recommendations & instructions. Confirm all fittings & fixtures & finishes prior to commencing any work. Construction must not vary from this documentation without prior written approval.

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Email info@macconstructions.com.au

Proprietor:  
**PETER & TANIAM FARR**  
Site Address:  
**2 KYLIE CLOSE  
MAREEBA 4880**

Date	Scale
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Printed	Drawn
24/09/2024 10:10:28 AM	JES
Checked	Issue Stamp
CMG	Preliminary
Soil Class	Wind Category
M	C1

Drawing Title	Rev.
CONCRETE MASONRY DETAILS	1
Drawing Number: 2439 - W22	



# DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving code assessment or impact assessment, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Schilling Group Pty Ltd
Contact name (only applicable for companies)	Jonno Schilling
Postal address (P.O. Box or street address)	PO Box 208
Suburb	Earlville
State	Qld
Postcode	4870
Country	Australia
Contact number	0439 831 830
Email address (non-mandatory)	<a href="mailto:admin@macconstructions.com.au">admin@macconstructions.com.au</a>
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	
1.1) Home-based business	
<input type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	



Queensland  
Government

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2, and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

- Street address AND lot on plan (all lots must be listed), **OR**  
 Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		2	Kylie Close	Mareeba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4880	20	RP749168	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

#### 3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
 Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	<input type="text"/>
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	<input type="text"/>
Name of port authority for the lot:	<input type="text"/>
<input type="checkbox"/> In a tidal area	
Name of local government for the tidal area (if applicable):	<input type="text"/>
Name of port authority for tidal area (if applicable)	<input type="text"/>

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

**5) Are there any existing easements over the premises?**  
*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

<b>6.1) Provide details about the first development aspect</b>
a) What is the type of development? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Dual occupancy dwelling house
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms guide: Relevant plans</a>.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
<b>6.2) Provide details about the second development aspect</b>
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application



**6.3) Additional aspects of development**

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

**6.4) Is the application for State facilitated development?**

- Yes - Has a notice of declaration been given by the Minister?
- No

**Section 2 – Further development details****7) Does the proposed development application involve any of the following?**

- |                        |   |
|------------------------|---|
| Material change of use | <input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot    | <input type="checkbox"/> Yes – complete division 2  |
| Operational work       | <input type="checkbox"/> Yes – complete division 3  |
| Building work          | <input checked="" type="checkbox"/> Yes – complete DA Form 2 – Building work details                            |

**Division 1 – Material change of use**

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

**8.1) Describe the proposed material change of use**

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Dual occupancy dwelling house	Dual occupancy / duplex	2	328.80

**8.2) Does the proposed use involve the use of existing buildings on the premises?**

- Yes
- No

**8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?**

- Yes – provide details below or include details in a schedule to this development application
- No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

**Division 2 – Reconfiguring a lot**

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

**9.1) What is the total number of existing lots making up the premises?**

--

**9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)**

- |   |  |
|---|--|
| <input type="checkbox"/> Subdivision (complete 10)          | <input type="checkbox"/> Dividing land into parts by agreement (complete 11)   |
| <input type="checkbox"/> Boundary realignment (complete 12) | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13) |



**10) Subdivision**

**10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

**10.2) Will the subdivision be staged?**

- Yes – provide additional details below  
 No

How many stages will the works include?  
 What stage(s) will this development application apply to?

**11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?**

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

**12) Boundary realignment**

**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

**12.2) What is the reason for the boundary realignment?**

**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)**

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

**Division 3 – Operational work**

*Note: This division is only required to be completed if any part of the development application involves operational work.*

**14.1) What is the nature of the operational work?**

- |  |                                     |  |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work                     | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure  |
| <input type="checkbox"/> Drainage work                 | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping                   | <input type="checkbox"/> Signage    | <input type="checkbox"/> Clearing vegetation   |
| <input type="checkbox"/> Other – please specify: _____ |                                     |  |

**14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)**

- Yes – specify number of new lots: \_\_\_\_\_  
 No



14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

## PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

*Note: A development application will require referral if prescribed by the Planning Regulation 2017.*

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the Chief Executive of the *Planning Act 2016*:

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

**Matters requiring referral to the local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- Heritage places – Local heritage places

**Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:**

- Infrastructure-related referrals – Electricity infrastructure

**Matters requiring referral to:**

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

**Matters requiring referral to the Brisbane City Council:**

- Ports – Brisbane core port land

**Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:**

- Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)
- Ports – Strategic port land

**Matters requiring referral to the relevant port operator, if applicant is not port operator:**

- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)

**Matters requiring referral to the Chief Executive of the relevant port authority:**

- Ports – Land within limits of another port (*below high-water mark*)

**Matters requiring referral to the Gold Coast Waterways Authority:**

- Tidal works or work in a coastal management district (*in Gold Coast waters*)

**Matters requiring referral to the Queensland Fire and Emergency Service:**

- Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

**18) Has any referral agency provided a referral response for this development application?**

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

## PART 6 – INFORMATION REQUEST

### 19) Information request under the DA Rules

- I agree to receive an information request if determined necessary for this development application  
 I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the DA Forms Guide.

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application  
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application  
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached  
 No

### 23) Further legislative requirements

#### Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

*Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.*

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

#### Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

*Note: See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.*

#### Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

*Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.*  
*2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.*

#### Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

*Note: The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.*

#### Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the *Planning Regulation 2017*?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

*Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.*



### Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- No

*Note: Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.*

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- Yes – the relevant template is completed and attached to this development application
- No

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- Yes – an associated *resource* allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- No

*Note: See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.*

### Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- No

*Note: Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.*

### Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- No

*Note: Contact the Department of Environment, Science and Innovation at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.*

### Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- No

*Note: See guidance materials at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.*



### Tidal work or development within a coastal management district

23.12) Does this development application involve tidal work or development in a coastal management district?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - A certificate of title
- No

*Note: See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.*

### Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the Queensland heritage register or on a place entered in a local government's Local Heritage Register?

- Yes – details of the heritage place are provided in the table below
- No

*Note: See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for information requirements regarding development of Queensland heritage places.*

*For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for information regarding assessment of Queensland heritage places.*

Name of the heritage place:

Place ID:

### Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

- Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- No

### Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- No

*Note: See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for further information.*

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

### 24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

*Note: See the Planning Regulation 2017 for referral requirements*

If building work is associated with the proposed development, Parts 4 to 6 of *DA Form 2 – Building work details* have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Yes

*Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see *DA Forms Guide: Planning Report Template*.*

Relevant plans of the development are attached to this development application

Yes

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see *DA Forms Guide: Relevant plans*.*

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



Queensland  
Government

**25) Applicant declaration**

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

*Note: It is unlawful to intentionally provide false or misleading information.*

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

**PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY**

Date received:  Reference number(s):

**Notification of engagement of alternative assessment manager**

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

**QLeave notification and payment**

*Note: For completion by assessment manager if applicable*

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

# DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Schilling Group Pty Ltd
Contact name (only applicable for companies)	Jonno Schilling
Postal address (PO Box or street address)	PO Box 208
Suburb	Earlville
State	Qld
Postcode	4870
Country	Australia
Contact number	0439 831 830
Email address (non-mandatory)	<a href="mailto:admin@macconstructions.com.au">admin@macconstructions.com.au</a>
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

## PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)	
<b>Note:</b> Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a> .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address <b>AND</b> lot on plan (all lots must be listed), <b>OR</b>	
<input type="checkbox"/> Street address <b>AND</b> lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	



Unit No.	Street No.	Street Name and Type	Suburb
	2	Kylie Close	Mareeba
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4880	20	RP749168	Mareeba Shire Council

### 2.2) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- Not required

### 3) Are there any existing easements over the premises?

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)*

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

## PART 3 – FURTHER DETAILS

### 4) Is the application only for building work assessable against the building assessment provisions?

- Yes – proceed to 8)
- No

### 5) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

### 6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

### 7) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this development application
- I do not agree to accept an information request for this development application

*Note: By not agreeing to accept an information request I, the applicant, acknowledge:*

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
  - Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.
- Further advice about information requests is contained in the [DA Forms Guide](#).*

### 8) Are there any associated development applications or current approvals?

- Yes – provide details below or include details in a schedule to this development application
- No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- Yes – a copy of the receipted QLeave form is attached to this development application
- No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
- No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at [www.des.qld.gov.au](http://www.des.qld.gov.au) about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

## PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- Yes – the *Referral checklist for building work* is attached to this development application
- No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

## PART 5 – BUILDING WORK DETAILS

14) Owner's details

- Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	Peter & Taniam Farrugia
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	17 Cassana Street
Suburb	Holloways Beach
State	Queensland

Postcode	4878
Country	Australia
Contact number	0415 099 384
Email address (non-mandatory)	<u>peterfarr@yahoo.com</u>
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

#### 15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) (individual or company full name)	Schilling Group Pty Ltd
Contact name (applicable for companies)	Jonno Schilling
QBCC licence or owner – builder number	15108932
Postal address (P.O. Box or street address)	3 Scott Street
Suburb	Parramatta Park
State	Qld
Postcode	4870
Contact number	0439 831 830
Email address (non-mandatory)	admin@macconstructions.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

#### 16) Provide details about the proposed building work

What type of approval is being sought?

- Development permit  
 Preliminary approval

b) What is the level of assessment?

- Code assessment  
 Impact assessment (requires public notification)

c) Nature of the proposed building work (tick all applicable boxes)

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> New building or structure                        | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification (involving building work) | <input type="checkbox"/> Swimming pool and/or pool fence   |
| <input type="checkbox"/> Demolition  | <input type="checkbox"/> Relocation or removal             |

d) Provide a description of the work below or in an attached schedule.

Dual occupancy dwelling house

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input checked="" type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? (if applicable)

Vacant land

g) New building use/classification? (if applicable)
Dual Occupancy Dwelling House Class 1
h) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application

<b>17) What is the monetary value of the proposed building work?</b>
\$631,800

<b>18) Has Queensland Home Warranty Scheme Insurance been paid?</b>		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

## PART 6 – CHECKLIST AND APPLICANT DECLARATION

<b>19) Development application checklist</b>	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable

<b>20) Applicant declaration</b>
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>
<b>Privacy</b> – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the <i>DA Rules</i> except where: <ul style="list-style-type: none"> <li>• such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or</li> <li>• required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> <li>• otherwise required by law.</li> </ul> This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i> .

**PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY**

Date received:  Reference numbers:

**For completion by the building certifier**

Classification(s) of approved building work

Name	QBCC Certification Licence number	QBCC Insurance receipt number

**Notification of engagement of alternative assessment manager**

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

**Additional information required by the local government**

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

**QLeave notification and payment**

*Note: For completion by assessment manager if applicable*

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

**Additional building details required for the Australian Bureau of Statistics**

Existing building use/classification? <i>(if applicable)</i>			
New building use/classification?			
Site area (m <sup>2</sup> )		Floor area (m <sup>2</sup> )	

Our reference: 00007408  
Your reference: Ref#2439

16 Jan 2025

**Attention:**  
Schilling Group Pty Ltd  
PO Box 208  
EARLVILLE QLD 4870  
admin@macconstructions.com.au

Sir/Madam

## Confirmation notice

(Given under section 2 OR section 3.4 OR section 3.6 OR section 26.2 of the Development Assessment Rules) [note: section 2 where determined to be properly made within 10b.d. of lodgement date OR section 3.4 or 3.6 after an action notice has been issued OR after a change to an application that results in Part 4 being applicable]

The development application described below was properly made to the Mareeba Shire Council on 16 Jan 2025

### Applicant details

Applicant name:	Schilling Group Pty Ltd
Applicant contact details:	admin@macconstructions.com.au, , 0439831830

### Location details

Street address:	2 Kylie Street, MAREEBA 4880
Real property description:	Lot 20 / RP 749168
Local government area:	Mareeba Shire Council

### Application details

Application number:	7408
Approval sought:	Concurrence
Nature of development proposed:	dual occupancy
Description of the development proposed:	New Construction of Dual Occupancy Dwelling

## Public notification details

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Part 4 of the Development Assessment Rules is not applicable to this development application.

OR

Part 4 of the Development Assessment Rules is applicable to this development application. Public notification is to be carried out for this development application in accordance with the requirements set out in Part 4 of the Development Assessment Rules. The public notification period for this development application must be a period of at least 15 business days or 30 business days, in accordance with section 53(4)(b) of the *Planning Act 2016*.

## Referral details

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Part 2 of the Development Assessment Rules is applicable OR is not applicable to the development application.

The development application must be referred to all relevant referral agency(s) within 10 business days starting the day after receiving this notice, or a further period agreed with the assessment manager; otherwise the application will lapse under section 31 of the Development Assessment Rules.

## Other details

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The Mareeba Shire Council does not intend to make an information request and is proceeding with its assessment of the development application.

For further information please contact Aaron Sweeney, , on 07 40913267 or via email [aaron@bakerbuildingcert.com.au](mailto:aaron@bakerbuildingcert.com.au) who will be pleased to assist.

Yours sincerely



Aaron Sweeney