

DELEGATED REPORT**TO:** COORDINATOR PLANNING SERVICES**FROM:** Senior Planner**FILE:** OPW/21/0006**DATE:** 25 July 2024

APPLICATION DETAILS

APPLICATION		PREMISES	
FILE NO:	OPW/21/0006	ADDRESS:	2-4 Quill Street, Mareeba
APPLICANT:	Conmat No1 Pty Ltd	RPD:	Lot 22 on SP217220
LODGED BY:	ERSCON Consulting Engineers	AREA:	8,401m ²
DATE LODGED:	17 April 2024	OWNER:	Conmat No1 Pty Ltd
TYPE OF APPROVAL:	Development Permit		
PROPOSED DEVELOPMENT:	Operational Works (Bulk Earthworks, Drainage Works and Access & Services Infrastructure)		
PLANNING SCHEME:	Mareeba Shire Council Planning Scheme 2016		
ZONE:	Low Density Residential zone		
LEVEL OF ASSESSMENT:	Code Assessment		

PREVIOUS APPLICATIONS & APPROVALS

N/A

DESCRIPTION OF PROPOSED DEVELOPMENT

The development application seeks a Development Permit for Operational Works (Bulk Earthworks, Drainage and Access Works)

ASSESSMENT**State Planning Policy**

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

Relevant Development Codes

The following Development Codes are considered to be applicable to the assessment of the application:

- 6.2.10 Low density residential zone code
- 8.2.6 Flood hazard overlay code

9.4.5 Works, services and infrastructure code

The application did not include a planning report and assessment against the planning scheme. An officer assessment has found that the application satisfies the relevant acceptable solutions (or probable solutions/performance criteria where no acceptable solution applies) of the relevant codes set out below.

Relevant Codes	Comments
Low density residential zone code	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.
Flood hazard overlay code	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.
Works, services and infrastructure code	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.

Compliance with conditions of earlier related approval

N/A

FNQROC Regional Development Manual

Section	Assessment
DP1 - Development Principles	Complies
AP1 - Application Procedures	Complies
D1 - Road Geometry	Complies
D2 - Site Regrading	Complies
D3 - Road Pavements	Complies
D4 - Stormwater Drainage	Complies
D5 - Stormwater Quality Management	Complies
D6 - Water Reticulation	Complies
D7 - Sewerage System	Complies
D8 - Utilities	Complies
D9 - Landscaping	Not applicable

REFERRALS

Nil

Internal/External Consultation

Technical Services & Trinity Engineering Consultancy (design review)

OFFICER'S RECOMMENDATION

- That in relation to this operational works development application:

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and in accordance with the Planning Act 2016, as amended, the applicant be notified that the application for operational works:

Is approved subject to the following assessment manager conditions:

(A) **APPROVED DEVELOPMENT:** Development Permit for Operational Works (Bulk Earthworks, Drainage Works and Access & Services Infrastructure)

(B) **APPROVED PLANS:**

Plan/Document Number	Plan/Document Title	Prepared by	Dated
160-001-C00 Rev A	Project Drawing List	ERSCON Consulting Engineers	15/04/2024
160-001-C101 Rev A	General Notes	ERSCON Consulting Engineers	15/04/2024
160-001-C102 Rev B	Clearing Plan	ERSCON Consulting Engineers	15/04/2024
160-001-C103 Rev B	General Layout Plan	ERSCON Consulting Engineers	15/04/2024
160-001-C104 Rev B	Grading Plan	ERSCON Consulting Engineers	15/04/2024
160-001-C105 Rev A	Driveway Plan	ERSCON Consulting Engineers	15/04/2024
160-001-C106 Rev B	Driveway Longitudinal Section and Detail	ERSCON Consulting Engineers	15/04/2024
160-001-C107 Rev B	Rock Lined Drain Longitudinal Section and Detail (Sheet 1 of 2)	ERSCON Consulting Engineers	15/04/2024
160-001-C108 Rev B	Catch Drain Longitudinal Section and Detail (Sheet 2 of 2)	ERSCON Consulting Engineers	15/04/2024
160-001-C109 Rev B	Sewer Reticulation Plan	ERSCON Consulting Engineers	15/04/2024
160-001-C110 Rev A	Erosion and Sediment Control Plan	ERSCON Consulting Engineers	15/04/2024
160-001-C111 Rev A	Erosion and Sediment Control Details	ERSCON Consulting Engineers	15/04/2024
160-001-SK011	Sewer Depth Longitudinal Section	ERSCON Consulting Engineers	28/05/2024

(C) **ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)**

1. General

- 1.1 All operational works must be designed and constructed in accordance with the procedures as set out in the FNQROC Development Manual.
- 1.2 Development must be carried out substantially in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, and subject to any alterations:
 - found necessary by the Council's Delegated Officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements.
 - to ensure the works comply in all respects with the requirements and procedures of the FNQROC Development Manual, Queensland Urban Drainage Manual and good engineering practice; and
 - to ensure compliance with the following conditions of approval.
- 1.3 Council's examination of the documents should not be taken to mean that the documents have been checked in detail and Council takes no responsibility for their accuracy. If during construction, inadequacies of the design are discovered, it is the

responsibility of the Principal Consulting Engineer to resubmit amended plans to Council for approval and rectify works accordingly.

1.4 Geotechnical

Prior to excavating the northern and western batters for proposed Building Pad 1, the applicant must provide a geotechnical report to determine batter profile and stability.

The site-specific Geotechnical Assessment must be prepared by a suitably qualified Geotechnical Engineer (RPEQ). The report must assess the risk of the land and proposed batter profiles for this development in accordance with the AGS Guidelines 2007.

The Report must demonstrate that the site is suitable for development and achieves a low or very low risk for landslide from hazards both internal to the site and from sloping land around the site.

Any changes required to batter profiles to achieve this outcome must be included in the report and documented on amended drawings submitted to Council for approval.

Excavation for test pits and to expose sections of the batter to confirm soil materials properties are permitted to enable assessments and preparation of the geotechnical report.

Any additional surface treatments or lining of the batters to address long-term stability must be completed in accordance with the Geotechnical Report prior to Works Acceptance and/or use of the land.

Advice Note: *The proposed site earthworks may create an altered risk of stability to land adjoining the development. The assessment of the site stability and confirmation that the site geotechnical risk remains in the low to very low risk category is required prior to the works proceeding on site.*

1.5 Stormwater Drainage

The final location of the catch drains on the northern and western sides of Building Pad 1, will be subject to confirmation of the batter profile by the site-specific geotechnical report.

The applicant must not construct the drains prior to Council's written confirmation that the Geotechnical Report has been accepted.

Concrete lining of the catch drain must be provided in accordance with the detail on ERSCON Consulting Engineers drawing number 160-001-C108 Revision B for the full extent of the catch drains on the northern and western sides of Building Pad 1.

The Construction Issue Drawings must be amended to reflect the drain lining requirement and provided prior to the Pre-start Meeting.

1.6 Driveway to Building Pad 1

This Decision Notice approves construction of the driveway to Building Pad 1 in accordance with ERSCON Consulting Engineers Drawings 160-001-C105 and C106 Revision B.

Advice Note: *The driveway approval is for the use of the site as a single lot only, and may not be supported for more intense use of the site where greater immunity for the driveway would be required.*

The proposed driveway to Building Pad 1 does not achieve immunity or trafficability for the 1%AEP Flood Event for the Barron River, being inundated by approximately 1.8m. The driveway is considered suitable for single lot access only (noting Building Pad 2 accessibility during Barron River flooding). Any further development on the land must consider this flood immunity limitation of the driveway.

In proceeding with the current design, the applicant is advised that more intense development uses in future may require removal and reconstruction of the driveway to provide appropriate immunity for access for those uses.

Council officers advise that granting approval to construct the proposed driveway must not be taken as support for future development or use rights over Building Pad 1.

1.7 Quill Street Drainage

The proposed driveway access at Quill Street must ensure stormwater runoff in the Quill Street kerb line is not directed down the driveway to the drainage easement. The driveway crossover is to be regraded to have positive fall back to the kerb line and ensure runoff is directed to the existing kerb break west from the driveway.

The current driveway grading away from the kerb invert appears to accept runoff from the eastern kerb of Quill Street down the driveway.

If this is the design intent, the applicant must provide kerb and channel on the driveway from the Quill Street kerb line to the new rock lined drain in the existing drainage easement.

The driveway must also be included in a new easement for stormwater purposes reflecting its function to convey stormwater runoff from the road reserve to the existing drainage reserve.

1.8 Verge - Quill Street

The proposed driveway and driveway grades within Quill Street appear to grade from the kerb invert down into the site.

The applicant is advised that any intensification of the uses for this site may require the verge to be reconstructed to achieve a compliant verge grade for pedestrians, services, bin storage and car parking to service the additional demand from a new use.

The driveway may need to be considered to avoid the requirement for rework in the future.. Any changes proposed to the current driveway design must be provided prior to the Pre-start Meeting.

1.9 Sewer

The proposed sewer lot connection must be completed under Council supervision. Unless otherwise approved by Council, the E2 type sewer connection must be a stainless-steel sewer offtake clamp.

Advice note: *The sewer connection point is below the 1%AEP flood level and the stainless-steel sewer offtake clamp is nominated to reduce risk of infiltration at the connection cut in point.*

Future connection to service either building pad must be completed under a plumbing application and will be required to achieve minimum cover to the drain lining.

If the applicant proposes to construct the sewer connection to Building Pad 1 under the current work scope (prior to drain lining), amended plans must be provided and approved prior to construction of the works.

1.10 Demolition of existing fence(s)

The Applicant must provide a minimum of two (2) weeks' notice to the property owner and tenant (if applicable) prior to the removal of any fences.

Temporary exclusion fencing is to be provided to ensure no unauthorised access to the worksite.

The standard of the replacement fence must be agreed between the parties. The agreement between the parties is to be forwarded to Council prior to the works commencing.

1.11 Existing drainage Easement

The drawings must be amended to show the location and extents of the existing drainage easement through the property overlaid on the General Layout Plan and site Grading Plan.

Prior to any filling works for Building Pad 1, the easement boundary and Building Pad boundaries are to be pegged on site and inspected with Council Officers.

No work is to occur within the existing easement without further approval from Council.

Advice Note: *Council is prepared to consider the earthworks for Building Pad 1 as currently designed provided the easement is amended to include a commensurate footprint increase on the eastern side.*

1.12 Amendments to Drainage Easement

Prepare for lodgement for registration at the Department of Resources (Titles Registry) and in accordance with Council's standard terms where relevant, drainage easements in favour of upstream properties for the formalised drainage paths proposed on the northern and western boundaries adjacent Building Pad 1. The width must contain the 1% AEP storm flow from the upstream catchment or be three (3) metre wide, whichever is greater.

Any changes to the existing drainage easement to reflect the footprint for Building Pad 1 must be shown on the site general arrangement plan and submitted for approval by Council.

The supporting information must show how practical access along the easement length can be achieved.

Advice Note: *All private infrastructure in the drainage easement (driveways/culverts/drain lining) will be the responsibility of the landowner.*

2. Pre-start Meeting

- 2.1 In addition to the requirements of Clause CP1.07 and CP1.08 of the FNQROC Development Manual; after documentation has been approved by Council, a pre-start meeting is to be held on site prior to the commencement of work. Part 1 of the **attached** pre-start meeting pro-forma is to be completed and returned prior to the meeting including clause 1.u 'Request for Meeting' together with the prescribed Construction Monitoring Fee as set out in Council's Schedule of Fees.

3. Inspections

- 3.1 Inspections are to be carried out as detailed in the FNQROC Manual unless advised otherwise at the pre-start meeting.

4. Construction Security Bond and Defects Liability Bond

- 4.1 In addition to Clauses CP1.06 and CP1.20 of the FNQROC Development Manual; the Construction Security Bond and Defects Liability Bond shall each be a minimum of \$1000 and Bank Guarantees shall have no termination date.
- 4.2 During the Defects Liability period, it is the responsibility of the developer to rectify any works found to be defective due to design faults and or found to exhibit faults attributed to the performance of the construction activities in terms of quality and conformance with design and specifications. The bond will be returned on satisfactory correction of any defective work and after expiration of the maintenance period. Failure to comply with a Council issued instruction to correct defective work may result in the call up of the bond to have the work completed.

5. Hours of Work

- 5.1 Work involving the operation of construction plant and equipment of any description, shall only be carried out on site during the following times:
- 7.00am to 6.00pm, Monday to Friday;
 - 7.00am to 1.00pm Saturdays;
 - No work is permitted on Sundays or Public Holidays.
- 5.2 No variation to the above working hours is allowed unless otherwise agreed in writing by Council.

6. Transportation of Soil

- 6.1 All soil transported to or from the site must be covered to prevent dust or spillage during transport. If soil is tracked or spilt onto the road pavement from works on the subject land, it must be removed no later than at the end of each working day. Sediment must not enter Council's stormwater drainage network.

(D) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Two (2) years (starting the day the approval takes effect).

(E) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

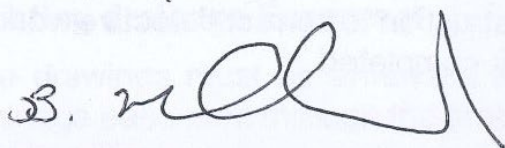
- Nil

DECISION BY DELEGATE

DECISION

Having considered the Senior Planners report detailed above, I approve, as delegate of Council, the application subject to the conditions listed in the report.

Dated the 31st day of July 2024

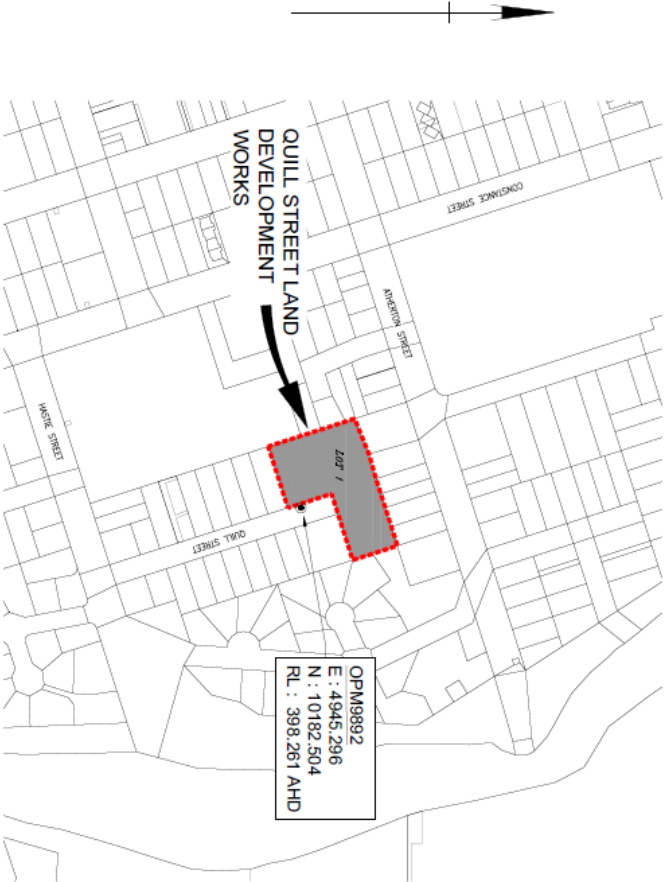
A handwritten signature in black ink, appearing to read 'B. Millard', followed by a long horizontal stroke.

BRIAN MILLARD
COORDINATOR PLANNING SERVICES

MAREEBA SHIRE
AS DELEGATE OF THE COUNCIL

CONMAT PTY LTD

QUILL STREET LAND DEVELOPMENT



PROJECT DRAWINGS LIST	
160-001-C100	COVER SHEET, LOCALITY PLAN AND DRAWINGS LIST
160-001-C101	GENERAL NOTES
160-001-C102	CLEARING PLAN
160-001-C103	GENERAL LAYOUT PLAN
160-001-C104	GRADING PLAN
160-001-C105	DRIVEWAY PLAN
160-001-C106	DRIVEWAY LONGITUDINAL SECTION AND DETAIL
160-001-C107	ROCK LINED DRAIN LONGITUDINAL SECTION AND DETAIL
160-001-C108	REAR CATCH DRAIN LONGITUDINAL SECTION AND DETAIL
160-001-C109	SEWER RETICULATION PLAN
160-001-C110	EROSION AND SEDIMENT CONTROL PLAN
160-001-C111	EROSION AND SEDIMENT CONTROL DETAILS

Client:



Prepared by:



APPROVED FOR
CONSTRUCTION

160-001-C100 REV A

1. LEVEL DATUM : AH

NUMBER	EASTING	NORTHING	RL	LOCATION
03M8992	4945.296	10782.504	396.261	QUAIL STREET, MARYETTA

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1. ALL EARTHWORKS

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1. ALL CONCRETE

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1. **PAYOR TO CONTRIBUTOR**

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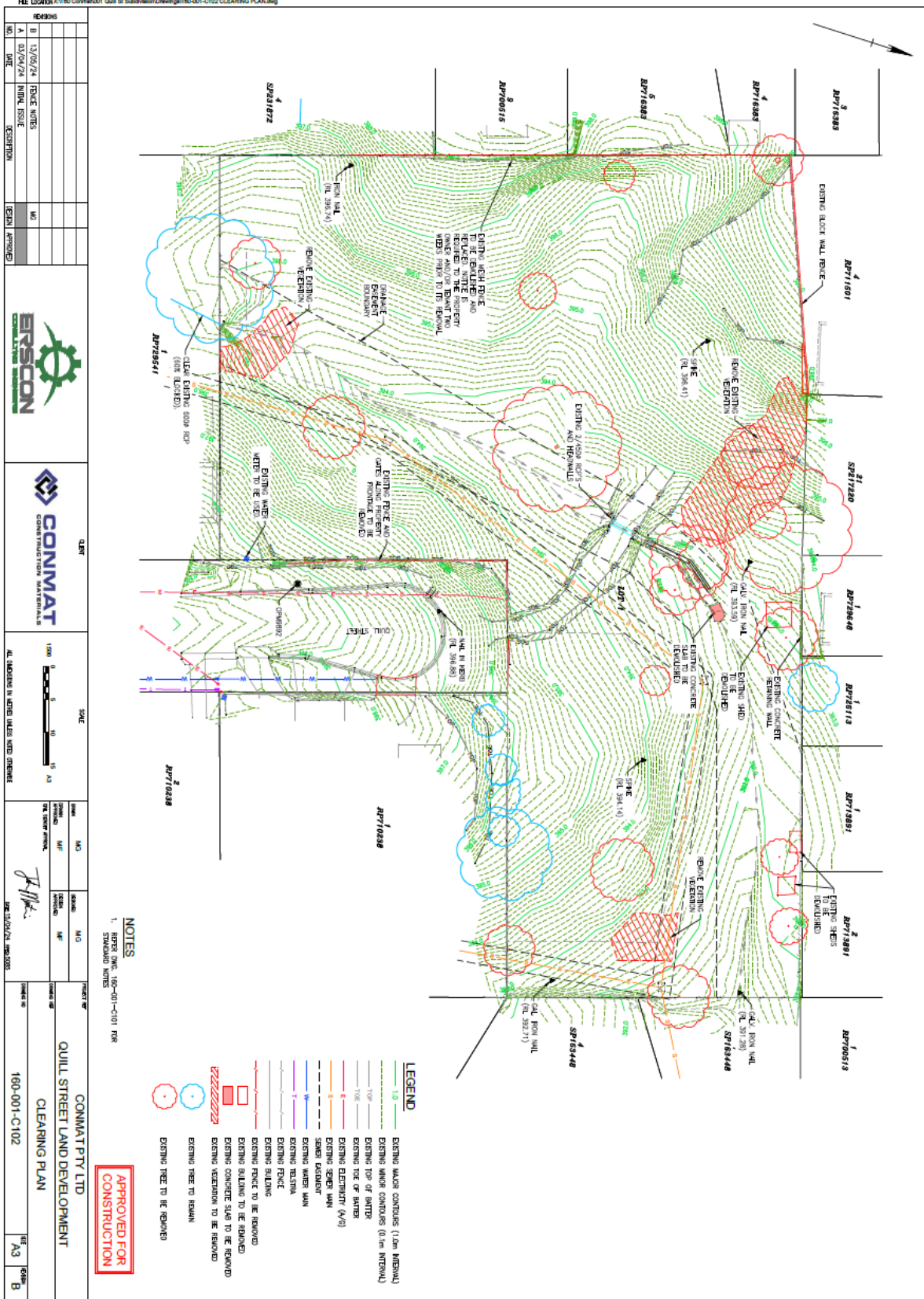
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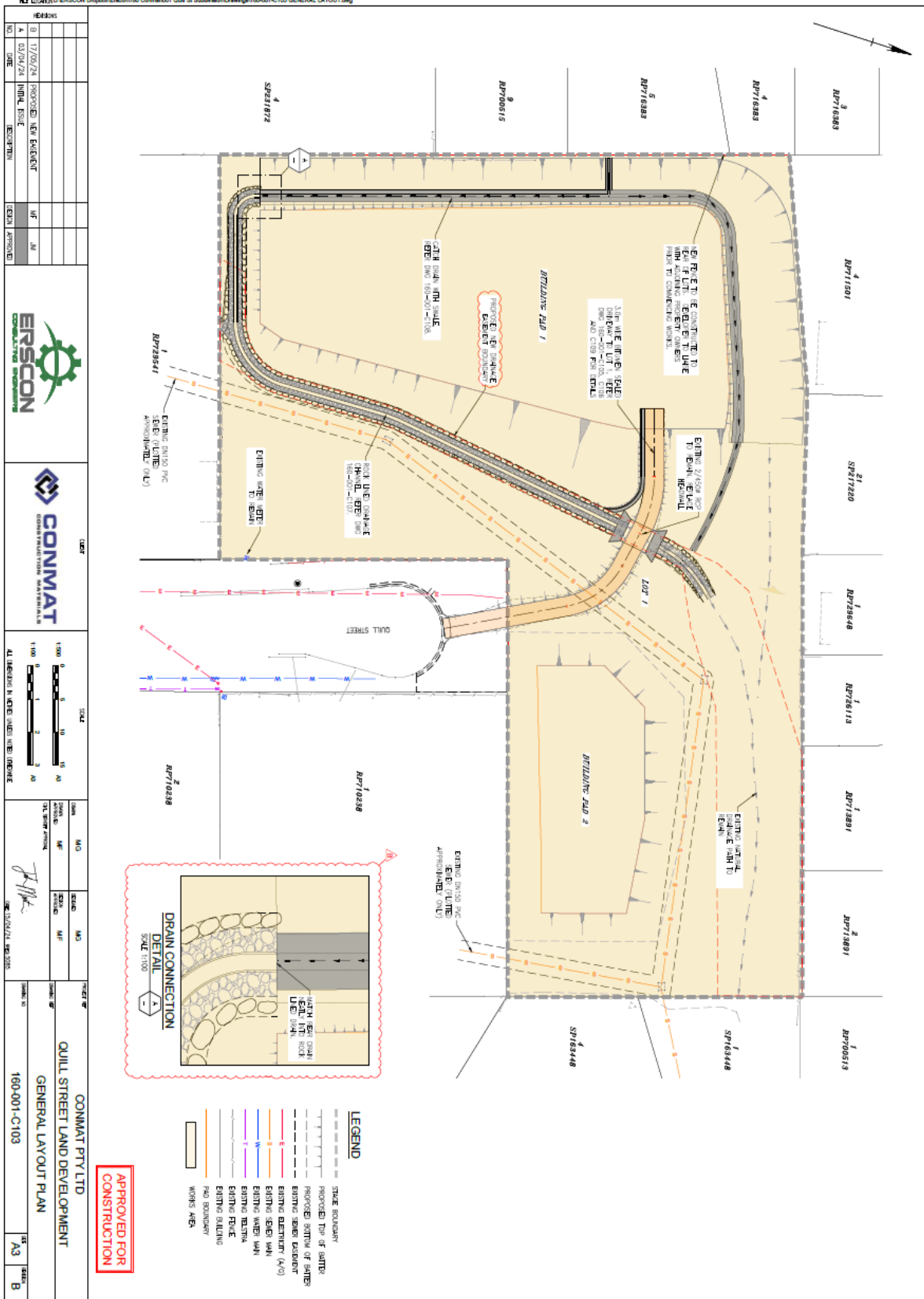
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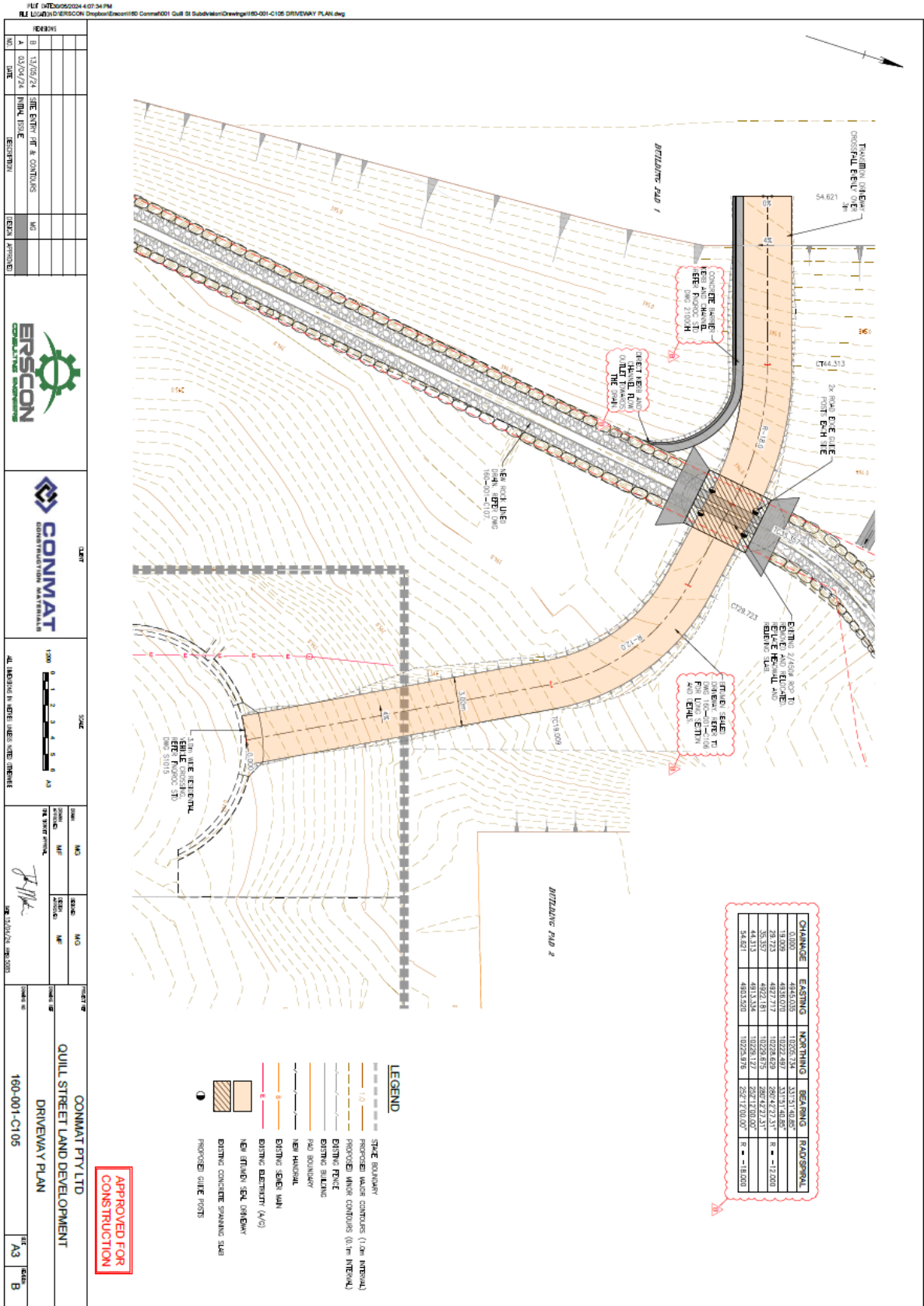
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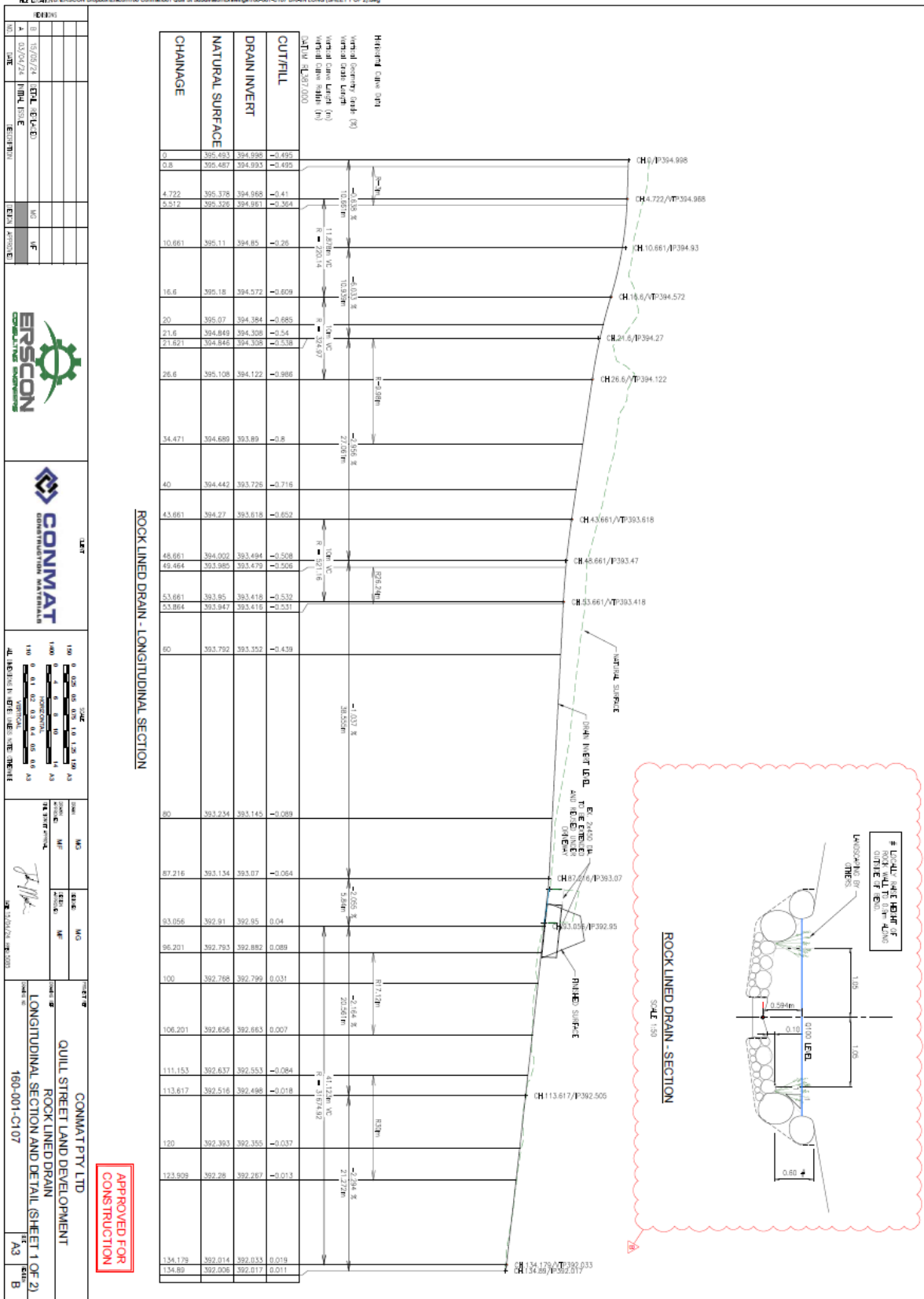
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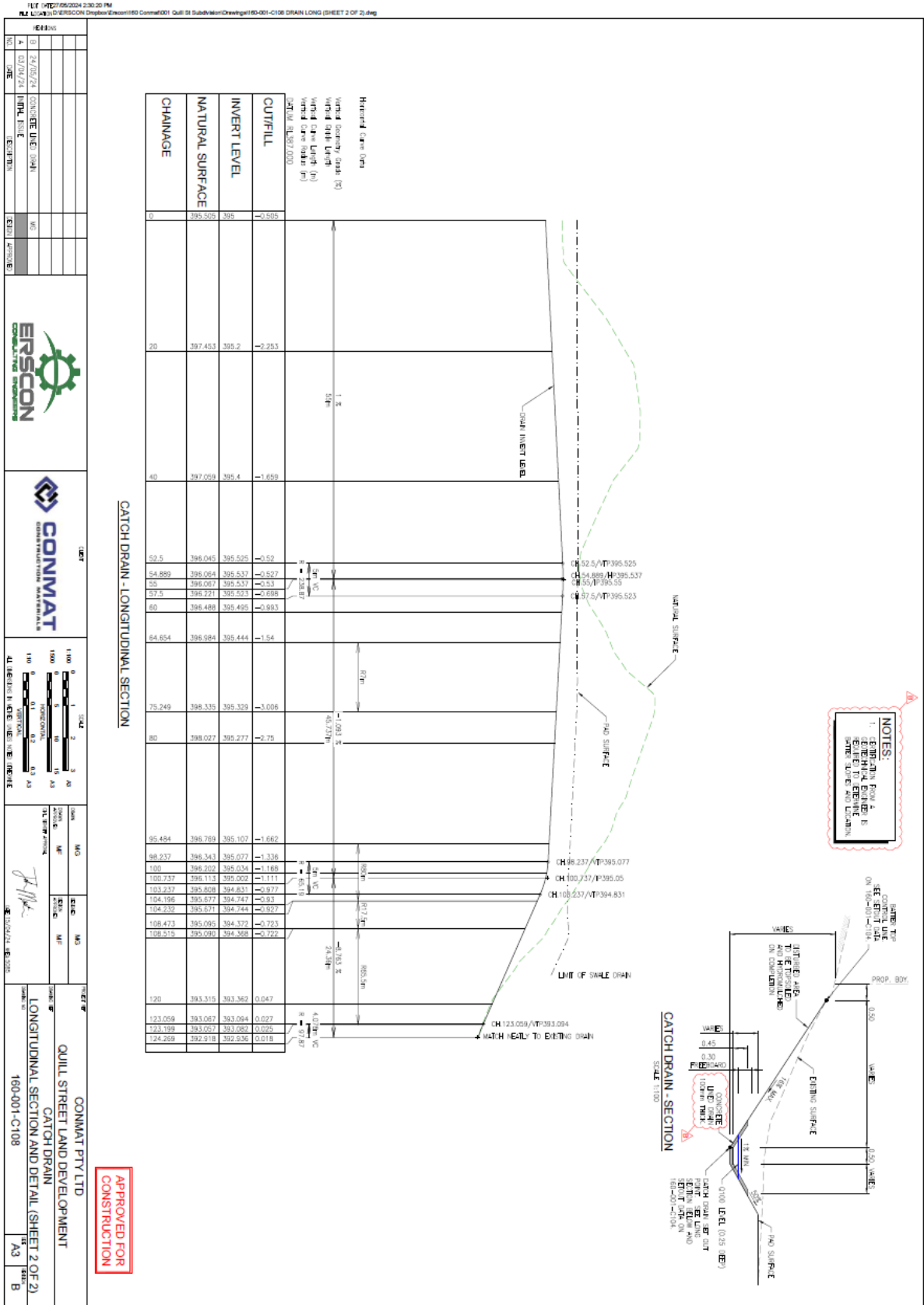
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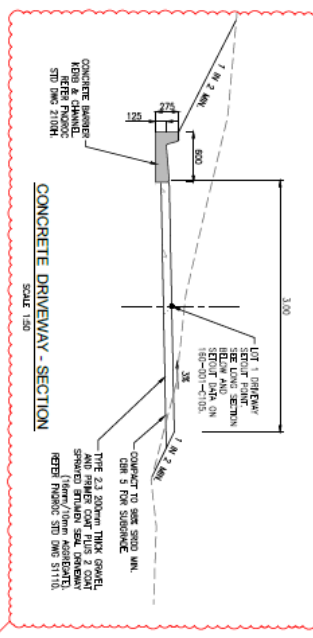
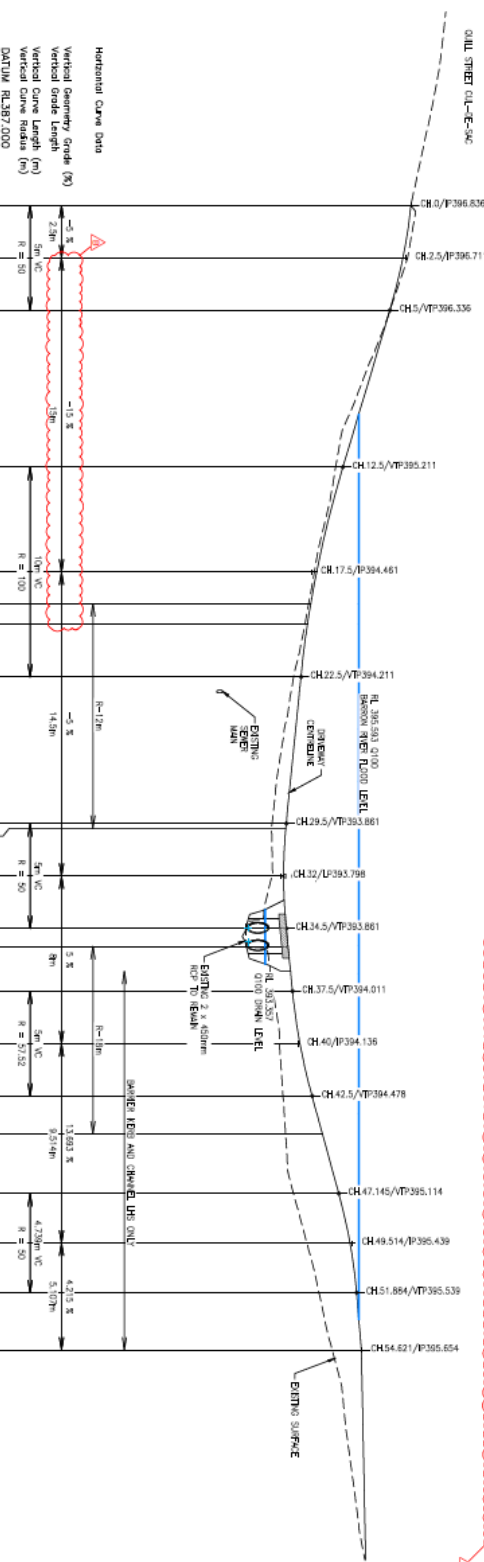




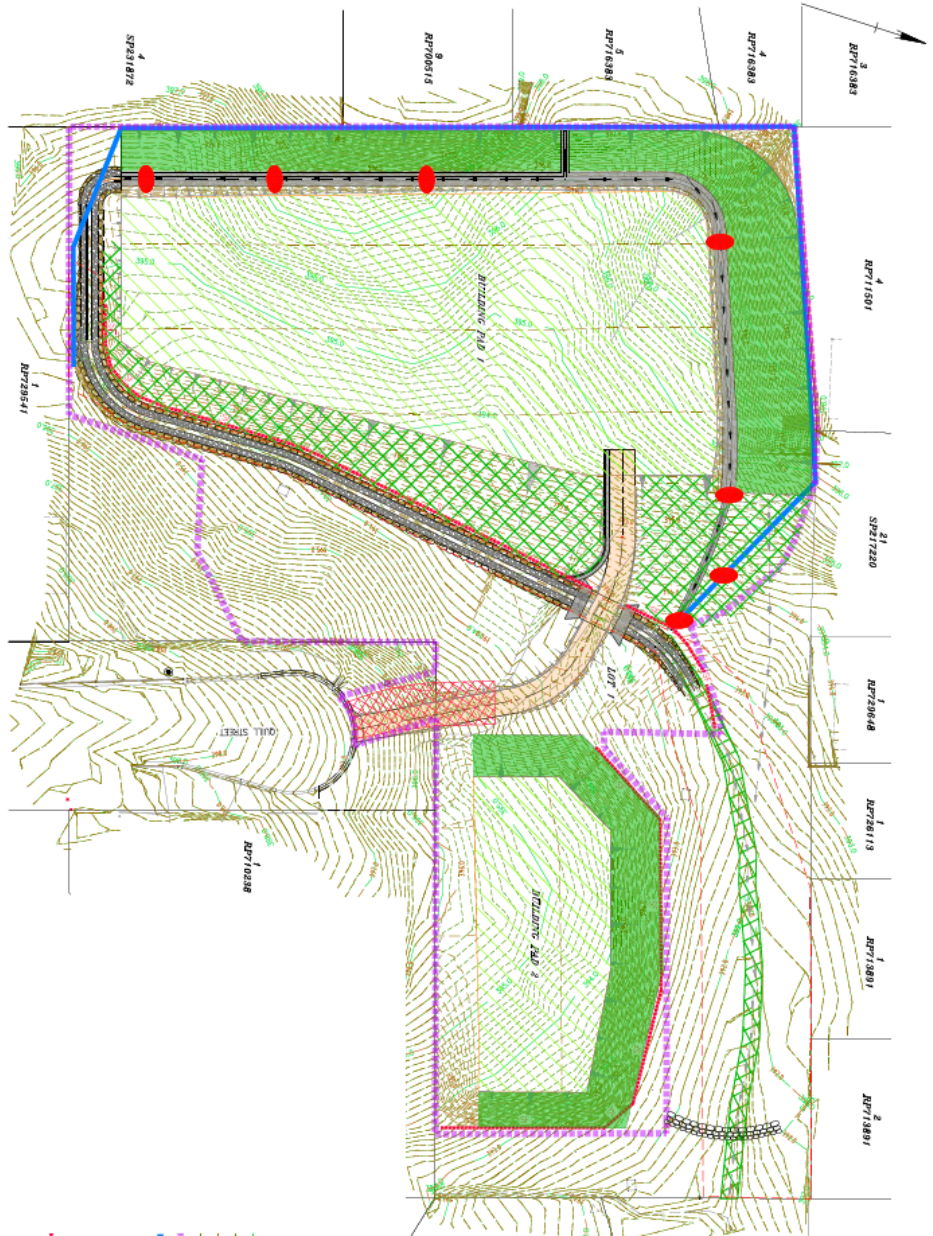
																																																																																																																																																																											
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CUT/FILL INS	DESIGN SURFACE	NATURAL SURFACE	CHANGE
0	396.835	396.836	0.001
2.5	396.758	396.649	-0.11
5	396.338	396.336	-0.002
12.5	395.04	395.211	0.171
17.5	394.53	394.586	0.056
19.009	394.397	394.446	0.049
20	394.307	394.367	0.06
22.5	394.037	394.211	0.174
29.5	393.52	393.861	0.341
29.723	393.514	393.85	0.336
32	393.517	393.788	0.282
34.5	392.9	393.861	0.961
35.357	392.901	393.904	1.003
37.5	393.531	394.011	0.48
40	393.705	394.19	0.485
42.5	393.787	394.478	0.692
44.313	393.847	394.727	0.88
47.145	394.035	395.114	1.08
49.514	394.354	395.383	1.028
51.884	394.643	395.539	0.896
54.621	394.958	395.654	0.696
64.621	395.734		






[illegible]



- LEGEND**
- 1.0' PREPARED WASTE CONTROLS (1.0m INTERVAL)
 - 1.0' PREPARED WASTE CONTROLS (0.1m INTERVAL)
 - 1.0' EXISTING WASTE CONTROLS (1.0m INTERVAL)
 - EXISTING WASTE CONTROLS (0.1m INTERVAL)
 - EXISTING OF DISTURBANCE
 - CLEAN WATER DIVERSION SLAND
 - TEMPORARY CONSTRUCTION ENTRY / EXIT
 - TURF
 - HARDSCAPE
 - DRILL BED / STAKES
 - SEMI-ARTIFICIAL PLANTING
 - ROCK PILED DAM
 - CHEEK DAM

APPROVED FOR
CONSTRUCTION

REVISIONS		DATE		BY		DESCRIPTION	
1	03/09/24	INTEL ISSUE					
2	03/09/24	DESCRIPTION					
3		DESIGN APPROVED					
 							
SCALE				PROJECT BY			
				COMVAT PTY LTD QUILL STREET LAND DEVELOPMENT EROSION AND SEDIMENT CONTROL PLAN			
ALL DIMENSIONS IN METRE UNLESS OTHERWISE INDICATED		DATE: 03/09/24 REF: 2024		SHEET NO		SHEET A	
