

DA Form 1 – Development application details

Approved form (version 1.4 effective 15 December 2023) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details

Applicant name(s) (individual or company full name)	Gino Avolio C/- Northern Building Approvals
Contact name (only applicable for companies)	Kenton Byrne
Postal address (P.O. Box or street address)	3b Margherita Close
Suburb	Mareeba
State	QLD
Postcode	4880
Country	Australia
Contact number	0447 865 265
Email address (non-mandatory)	kentonstella@bigpond.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	DA/24/0034

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application
 No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		34	Strattmann Street	Mareeba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4880	36	M35630	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

In or adjacent to a water body or watercourse or in or above an aquifer
 Name of water body, watercourse or aquifer:

On strategic port land under the *Transport Infrastructure Act 1994*
 Lot on plan description of strategic port land:
 Name of port authority for the lot:

In a tidal area
 Name of local government for the tidal area (if applicable):
 Name of port authority for tidal area (if applicable):

On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*
 Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?
Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Proposed Duplex – Side Boundary Siting Dispensation
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.2) Provide details about the second development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.3) Additional aspects of development
<input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
<input type="checkbox"/> Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>
Proposed Duplex	Dual Occupancy– Two Dwelling Units	2	243.4m ²

8.2) Does the proposed use involve the use of existing buildings on the premises?	
<input checked="" type="checkbox"/> Yes	
<input type="checkbox"/> No	

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	

9.2) What is the nature of the lot reconfiguration? <i>(tick all applicable boxes)</i>	
<input type="checkbox"/> Subdivision <i>(complete 10)</i>	<input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>
<input type="checkbox"/> Boundary realignment <i>(complete 12)</i>	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i>

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$	

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity
- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the local government: <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA has been devolved to local government)</i> <input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity: <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994: <input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i> <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator, if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane’s port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
Note: <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i> <ul style="list-style-type: none"> • <i>that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</i> • <i>Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</i> <i>Further advice about information requests is contained in the DA Forms Guide.</i>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input type="checkbox"/> No

23) Further legislative requirements			
Environmentally relevant activities			
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i> ?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No <i>Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.</i>			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
Hazardous chemical facilities			
23.2) Is this development application for a hazardous chemical facility ?			
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No <i>Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.</i>			

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- Yes – the relevant template is completed and attached to this development application
- No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
 No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title
- No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
 No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
 No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
 No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable

25) Applicant declaration

By making this development application, I declare that all information in this development application is true and correct

Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Planning Report for 34 Strattmann Street Mareeba

Material Change of Use for Siting of a Proposed Duplex

Prepared for: Gino Avolio

Site Description

34 Strattmann Street is located to the western side of the Central Business District of Mareeba of the township. The property is described as Lot 36 on Plan M 35630. The subject lots is 1012m² in size. The land is currently zoned Medium Density Residential Zone under the current Mareeba Shire Planning Scheme. The exist dwelling has been demolish and is now vacant. Below is an image showing the subject land.



Development Proposal

This application is for Building Works assessable against the Mareeba Shire Planning Scheme:

- Level of Assessment -- Code Assessment

- Assessment Criteria:
 - a. Medium Density Residential zone code

Attachment 1 is the Proposed Duplex Plans.

Referrals

No referrals are required.

Planning Assessment Summary

This development is for proposed duplex at 34 Strattmann Street Mareeba. The proposed development is within the Medium Density Residential Zone of the Mareeba as identified on the Zone Map. The proposed development requires a code assessment due to the proposed building not aliening with the 2.0m side boundary setback.

The proposed Duplex development has a non-compliant 1.5m side boundary setback to the OMP. Nevertheless, this setback will be >1.5m to the existing neighbouring dwellings and therefore will not affect the daylight and ventilation to habitable rooms of these buildings. Additionally, the development will not affect the outlook and view of these properties due to proposed landscaping and 1.8 high solid screen fence to the side and rear boundaries. The proposed development can comply with all other acceptable outcomes of the applicable assessment codes and the design illustrates an appropriate balance with performance outcomes. Additionally, the proposed development does not cause amenity impacts beyond the reasonable expectation for Medium Density Residential Zone as the proposed Duplex has a compliant road boundary setback.

Therefore, the development is consistent with applicable assessment codes. The fact is that the development is appropriate for this lot and generally complies with all relevant aspects of the planning scheme. Your swift action to approve this development is appreciated.

Mandatory Supporting Information

Assessment of application against relevant Development Codes

The following Development Codes are considered to be applicable to the assessment of the application:

6.2.7 Medium Density Residential zone code

6.2.7 Medium density residential zone code

6.2.7.1 Application

- (1) This code applies to assessing development where:
 - (a) located in the Medium density residential zone; and
 - (b) it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

6.2.7.2 Purpose

- (1) The purpose of the medium density residential zone code is to provide for medium density multiple dwellings supported by community uses and small-scale services and facilities that cater for local residents.
- (2) Mareeba Shire Council's purpose of the Medium density residential zone code is to facilitate medium residential densities and a diversity of housing which caters for a range of households in locations which are proximate to town centres, community facilities and open space.

Small lot housing is facilitated and medium density development may include Dual occupancy and Multiple dwelling development in the form of town houses, apartments and units.

- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development provides a range of residential dwelling choices including Multiple dwellings in locations clustered around or near activity centres and transport networks;
 - (b) Development encourages and facilitates urban consolidation and the efficient use of physical and social infrastructure;
 - (c) Development is supported by employment nodes, community facilities and services, transport and commercial hubs where appropriate; Development provides and maintains a high level of amenity in the zone and is reflective of the desired character of the area;
 - (d) The scale and density of development facilitates an efficient land use pattern that supports safe and walkable neighbourhoods that are well connected to employment nodes, centres, open space and recreational areas, community services and educational opportunities;
 - (e) Other small-scale development that integrates personal employment and residential activities is encouraged, provided it complements local residential amenity;
 - (f) Development maintains a high level of residential amenity avoiding uses that introduce impacts associated with noise, hours of operation, traffic, advertising devices, visual amenity, privacy, lighting, odour and emissions;
 - (g) Non-residential development may be supported where such uses directly support the day to day needs of the immediate residential community; and
 - (h) Development responds to land constraints and mitigates any adverse impacts on adjacent land uses and the environment.

6.2.7.3 Criteria for assessment

Table 6.2.7.3A—Medium density residential zone code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
Height			
<p>PO1 Building height takes into consideration and respects the following:</p> <ul style="list-style-type: none"> (a) the height of existing buildings on adjoining premises; (b) the development potential, with respect to height, on adjoining premises; (c) the height of buildings in the vicinity of the site; (d) access to sunlight and daylight for the site and adjoining sites; (e) privacy and overlooking; and (f) site area and street frontage length. 	<p>AO1 Development has a maximum building height of:</p> <ul style="list-style-type: none"> (a) 8.5 metres; and (b) 2 storeys above ground level. 	✓	<p>The proposed Duplex development is 5.5m high which is <8.5m high and single storey.</p>
Outbuildings and residential scale			
<p>PO2 Domestic outbuildings:</p> <ul style="list-style-type: none"> (a) do not dominate the lot on which they are located; and (b) are consistent with the scale and character of development in the Medium density residential zone. 	<p>AO2 Domestic outbuildings do not exceed:</p> <ul style="list-style-type: none"> (a) 100m² in gross floor area; and (b) 5.5 metres in height above natural ground level. 	N / A	<p>No outbuildings proposed in this application.</p>
Siting			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO3 Development is sited in a manner that considers and respects:</p> <ul style="list-style-type: none"> (a) the siting and use of adjoining premises; (b) access to sunlight and daylight for the site and adjoining sites; (c) privacy and overlooking; (d) opportunities for casual surveillance of adjoining public spaces; (e) air circulation and access to natural breezes; (f) appearance of building bulk; and (g) relationship with road corridors. 	<p>AO3.1 Buildings and structures include a minimum setback of:</p> <ul style="list-style-type: none"> (a) 6 metres from the primary road frontage; and (b) 3 metres from any secondary road frontage. 	✓	The proposed Duplex development has a 6.0m road boundary setback to the OMP
	<p>AO3.2 Buildings and structures include a minimum setback of 2 metres from side and rear boundaries.</p>	X	The proposed Duplex development has a 1.5m side boundary setback to the OMP. Nevertheless, this setback will be >1.5m to the existing neighbouring dwellings and therefore will not affect the daylight and ventilation to habitable rooms of these buildings. Additionally, the development will not affect the outlook and view of these properties due to proposed landscaping and 1.8 high solid screen fence to the side and rear boundaries.
Accommodation density			
<p>PO4 The density of Accommodation activities:</p> <ul style="list-style-type: none"> (a) contributes to housing choice and affordability; 	<p>AO4 Development provides a maximum density for Accommodation activities in compliance with Table 6.2.7.3B.</p>	✓	The proposed Duplex development has

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>(b) respects the nature and density of surrounding land use;</p> <p>(c) does not cause amenity impacts beyond the reasonable expectation of accommodation density for the zone; and</p> <p>(d) is commensurate to the scale and frontage of the site.</p>			a density of 506m ² per Unit.
Gross floor area			
<p>PO5 Buildings and structures occupy the site in a manner that:</p> <p>(a) makes efficient use of land;</p> <p>(b) is consistent with the bulk and scale of surrounding buildings; and</p> <p>(c) appropriately balances built and natural features.</p>	<p>AO5 Gross floor area does not exceed 600m².</p>	✓	The proposed Duplex development has a gross floor area of 243.4m ² which does not exceed 600 m ² .
For assessable development			
Building design			
<p>PO6 Building facades are appropriately designed to:</p> <p>(a) include visual interest and architectural variation;</p> <p>(b) maintain and enhance the character of the surrounds;</p> <p>(c) provide opportunities for casual surveillance;</p> <p>(d) include a human scale; and</p>	<p>AO6 Buildings include habitable space, pedestrian entrances and recreation space facing the primary road frontage.</p>	✓	The proposed Duplex is consistent with surrounding developments and therefore the development will have limited effect on the established built character of the street scape.

Performance outcomes	Acceptable outcomes	Complies	Comments
(e) encourage occupation of outdoor space.			
PO7 Development complements and integrates with the established built character of the Medium density residential zone, having regard to: (a) roof form and pitch; (b) eaves and awnings; (c) building materials, colours and textures; and (d) window and door size and location.	A07 No acceptable outcome is provided.	✓	The proposed Duplex is consistent with surrounding developments and therefore the development will have limited effect on the established built character of the street scape.
Non-residential development			
PO8 Non-residential development: (a) is consistent with the scale of existing development; (b) does not detract from the amenity of nearby residential uses; (c) directly supports the day to day needs of the immediate residential community; and (d) does not impact on the orderly provision of non-residential development in other locations in the shire.	A08 No acceptable outcome is provided.	N / A	No non-residential buildings proposed in this application.
Amenity			
PO9 Development must not detract from the amenity of the local area, having regard to: (a) noise; (b) hours of operation;	A09 No acceptable outcome is provided.	✓	The proposed Duplex is consistent with surrounding developments and therefore the development will have limited

Performance outcomes	Acceptable outcomes	Complies	Comments
(c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions.			effect on the established built character of the street scape.
PO10 Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to: (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions.	AO10 No acceptable outcome is provided.	✓	The proposed Duplex is consistent with surrounding developments and therefore the development will have limited effect on the established built character of the street scape.

Table 6.2.7.3B—Maximum densities for Accommodation activities

Use	Maximum density
Dual occupancy	1 dwelling per 300m ² of site area
Multiple dwelling	(a) 1 dwelling per 150m ² of site area; and (b) 1 bedroom per 75m ² of site area.
Residential care facility	1 dwelling or accommodation unit per 100m ² of site area.
Retirement facility	1 dwelling or accommodation unit per 150m ² of site area

DESIGN WIND CLASSIFICATION C2

SITE NOTES

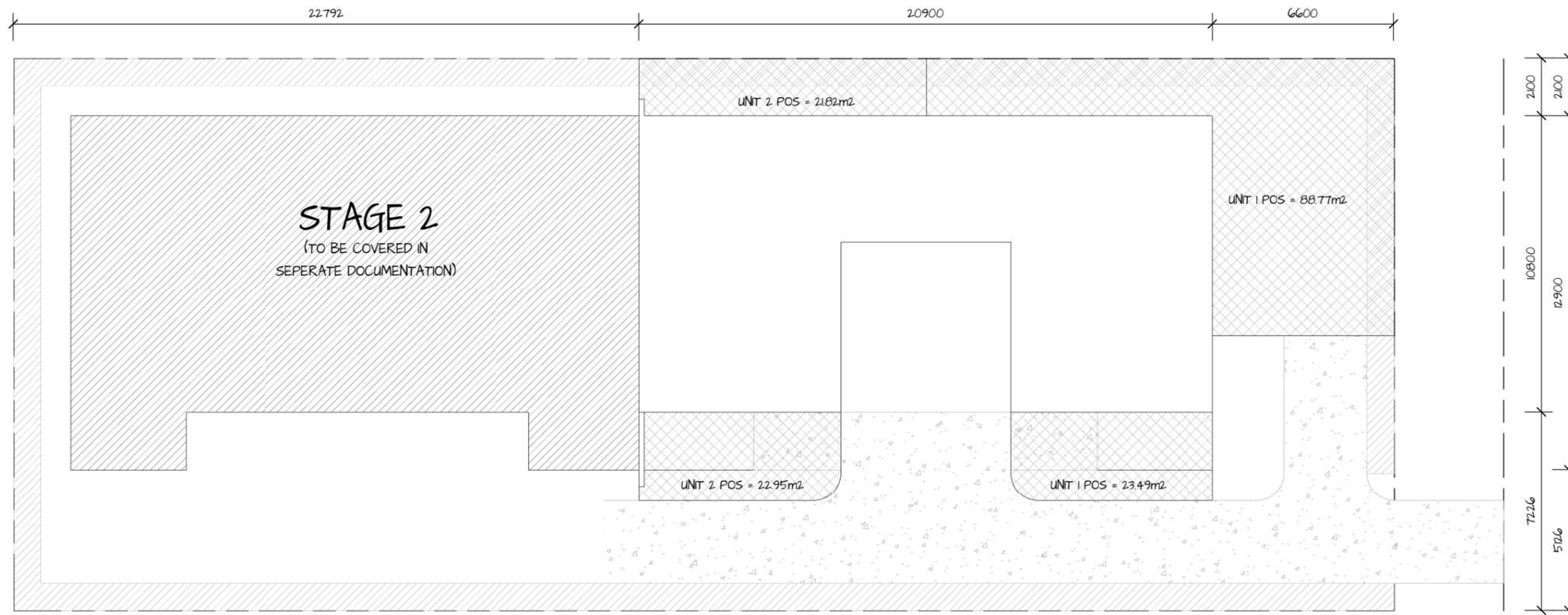
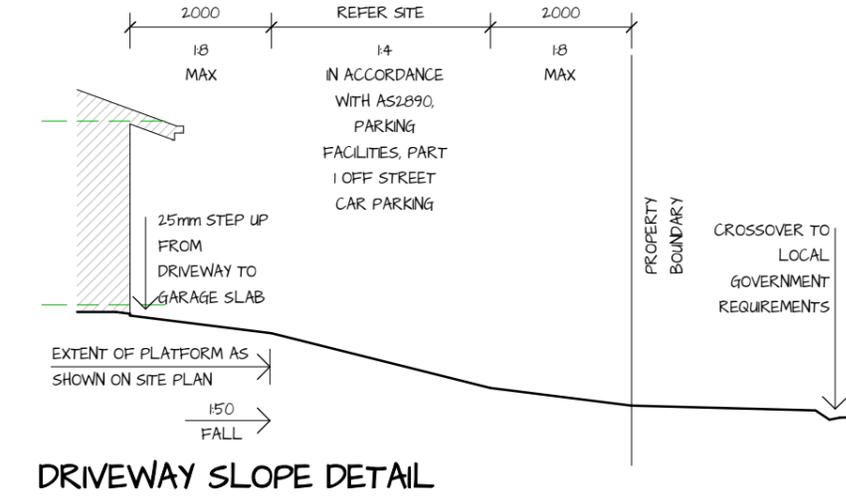
THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING, 1000mm WIDE, IS TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1 IN 20 MINIMUM TO AN EARTH DRAIN AS INDICATED ON THE SITE PLAN.

SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES;

ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER; CUT AND FILL BATTERS NOT TO EXCEED A MAXIMUM SLOPE AS PER BCA TABLE 3.11.1 FOR THE SITE SPECIFIC SOIL TYPE. REFER ALSO TO BCA CLAUSE 3.2.2.4 FOR SLAB EDGE SUPPORT ON SLOPING SITES;

RETAINING WALLS WITH 1000 AG PIPE BEHIND (TO DISCHARGE TO STORMWATER LINE) AND GRANULAR BACKFILL BEHIND, TO BE WHOLLY CONTAINED WITHIN THE SITE ONLY IF INDICATED ON THE PLANS;

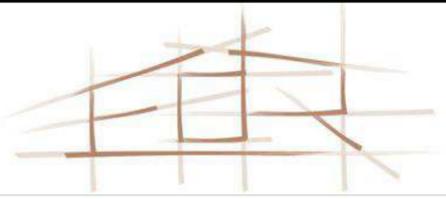
THE HEIGHT OF FENCES, INCLUDING THE HEIGHT OF RETAINING WALLS ARE NOT TO EXCEED 2.0m ABOVE FINISHED GROUND LEVEL, ONLY IF INDICATED ON THE PLANS AND TO LOCAL AUTHORITY APPROVAL.



CONSTRUCTION ISSUE



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-Drawing Title:	SITE SETOUT PLAN	-Project Number:	24021
-Project Type:	Proposed Units	-Drawn By:	Author
-Client Name:	Tropic Coast Homes	-Scale:	A3
-Project Address:	Lot 34 Strattmann St Mareeba	-Sheet Number:	A-09

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GENERAL NOTES

- REFER SITE PLANS FOR LOCATION, SETOUT AND ACTUAL LEVELS OF BUILDINGS. CONFIRM PRIOR TO EXCAVATION.
- CONTRACTOR TO CHECK ON SITE ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND FABRICATION.
- ALL DIMENSIONS ARE TO GRID LINES, FACE OF BLOCKWORK/BRICKWORK, FACE OF STUD OR CENTRELINE OF COLUMNS, UNO.
- CONTRACTOR TO CO-ORDINATE ALL SERVICES, PENETRATIONS AND STRUCTURE PRIOR TO CONSTRUCTION AND INFORM THE CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION/FABRICATION RAMP, STAIRS, AND PATHWAYS/APRONS TO COMPLY WITH AS4281 (2009).
- WHERE A TRADE NAMED PRODUCT IS SPECIFIED IN THESE DOCUMENTS, IT IS TO BE CONSIDERED AS, OR EQUIVALENT TO APPROVAL OF CONTRACT ADMINISTRATOR.

NOTE

NO SEWER PLAN AVAILABLE AT TIME OF DRAWING. VERIFY ON SITE PRIOR TO CONSTRUCTION.
MAX 500kPa WATER PRESSURE OR INSTALL PRESSURE LIMITING DEVICE

SITE NOTES

LICENSED PLUMBER TO CONFIRM FINAL ALIGNMENT OF HOUSE SEWER & STORMWATER. CONFIRM ALL FALLS PRIOR TO CONSTRUCTION. CLIENT TO PROVIDE SKETCH PLAN SHOWING ANY FUTURE ALTERATIONS, EXTENSIONS, SWIMMING POOLS ETC. SO HOUSE SEWER & STORMWATER CAN BE ALIGNED TO ACCOMMODATE REQUIREMENTS.
ALL PLUMBING & DRAINAGE WORK SHALL BE IN ACCORDANCE WITH SEWERAGE AND WATER SUPPLY ACT 1949-1982, ASSOCIATED AMENDMENTS & RELEVANT AUSTRALIAN STANDARDS.
ALL WATER TO BE DRAINED AWAY FROM BUILDING DURING & AFTER CONSTRUCTION & TO COMPLY WITH AS 2870 RESIDENTIAL SLABS & FOOTINGS.
FINISHED SLAB LEVEL TO BE MINIMUM 250mm ABOVE FINISHED GROUND LEVEL.
ALL EARTHWORKS TO COMPLY WITH AS 3798-1996 'GUIDELINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENTS'.

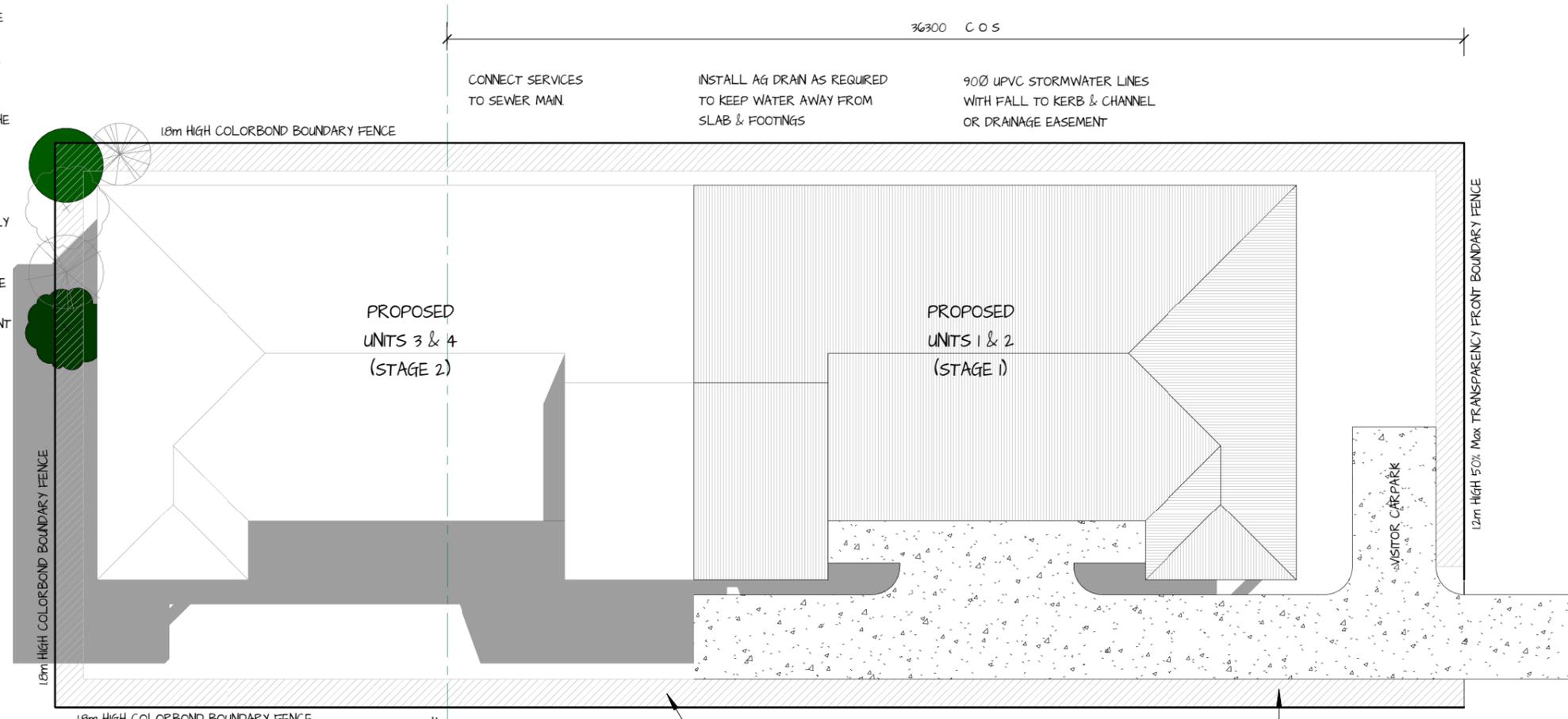
ALL EXISTING VEGETATION ON THE PROPERTY WITHIN THE FOOTPRINT OF THE PROPOSED RESIDENCE AND/OR WITHIN A RECOMMENDED SAFE DISTANCE FROM THE PROPOSED RESIDENCE'S FOOTINGS ARE TO BE REMOVED WELL PRIOR TO CONSTRUCTION TO ALLOW THE SOILS MOISTURE CONDITIONS TO RETURN TO A STATE OF EQUILIBRIUM.

DEPRESSIONS FORMED BY THE REMOVAL OF VEGETATION & ALL DISTURBED WEAKEND SOIL SHOULD BE CLEANED OUT & BACKFILLED WITH COMPACTED SELECT FILL.

LOT NUMBER: **34**
RP NUMBER: **M35630**
PARISH: ??
COUNTY: ??
SITE AREA: **1012 m²**

LEGEND

G1	GATE (900 WIDE)
G2	GATE (3000 WIDE)
— — — — —	FENCING AS SELECTED
MH	MAN HOLE
WM	WATER METRE
—S—S—S—	EXIST. SEWER
—SW—SW—SW—	EXIST. STORMWATER
—PL—PL—PL—	EXIST. POWER LINES
—W—W—W—	EXIST. WATER
—E—E—E—	EXIST. ELECTRICAL LINE



CONNECT SERVICES TO SEWER MAIN

INSTALL AG DRAIN AS REQUIRED TO KEEP WATER AWAY FROM SLAB & FOOTINGS

90° UPVC STORMWATER LINES WITH FALL TO KERB & CHANNEL OR DRAINAGE EASEMENT

PROPOSED UNITS 3 & 4 (STAGE 2)

PROPOSED UNITS 1 & 2 (STAGE 1)

VISITOR CARPARK

STRATTMANN STREET

18m HIGH COLORBOND BOUNDARY FENCE

18m HIGH COLORBOND BOUNDARY FENCE

12m HIGH 50% Max TRANSPARENCY FRONT BOUNDARY FENCE

APPROX LOCATION OF EXISTING SEWER LINE

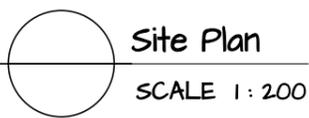
HATCHING DENOTES 1m WIDE LANDSCAPING STRIP

CONCRETE DRIVEWAY & PATH ARE DIAGRAMMATIC ONLY. EXACT LAYOUT WILL BE CONFIRMED ON SITE. DRIVEWAY TO BE IN ACCORDANCE WITH AS2890, PARKING FACILITIES, PART 1: OFF STREET CARPARKING & FNGROC STANDARD

TOWN PLANNING NOTES

Zone - Medium Density Residential
Size of Lot - 1012 m²
Densities - One Dwelling per 300m² of Site area - Two Units / 506m² per Unit
Height - < 8.5m Max building Height
Landscaping - > 10% of the Site
Required - 1m (min) Landscaping around Boundaries Provided
Provided - 132.83m² Total (See Plan)
Screen Fencing - 1.8m Height Side and Rear Colorbond Boundary Fences, 12m Height 50% Max Transparency Front Boundary Fence
Open Space - 40m² per Unit Required - > 40m² to Front and Rear of the Building (See Plan)
Carparking - One Under Cover Space per Unit - One per Unit Provided
Visitor Carparking - 0.25 Space per Unit - One Provided

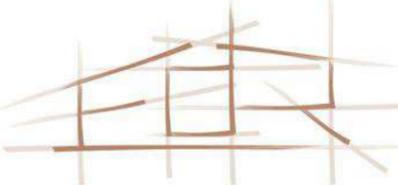
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Australian Institute of Architects
2016



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Drawing Title: **SITE PLAN**
Project Type: **Proposed Units** Project Number: **24021**
Client Name: **Tropic Coast Homes** Drawn By: **Edr**
Project Address: **Lot 34 Stratmann St Mareeba** Scale: **AT A3**
Sheet Number: **A-08**

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SITE NOTES

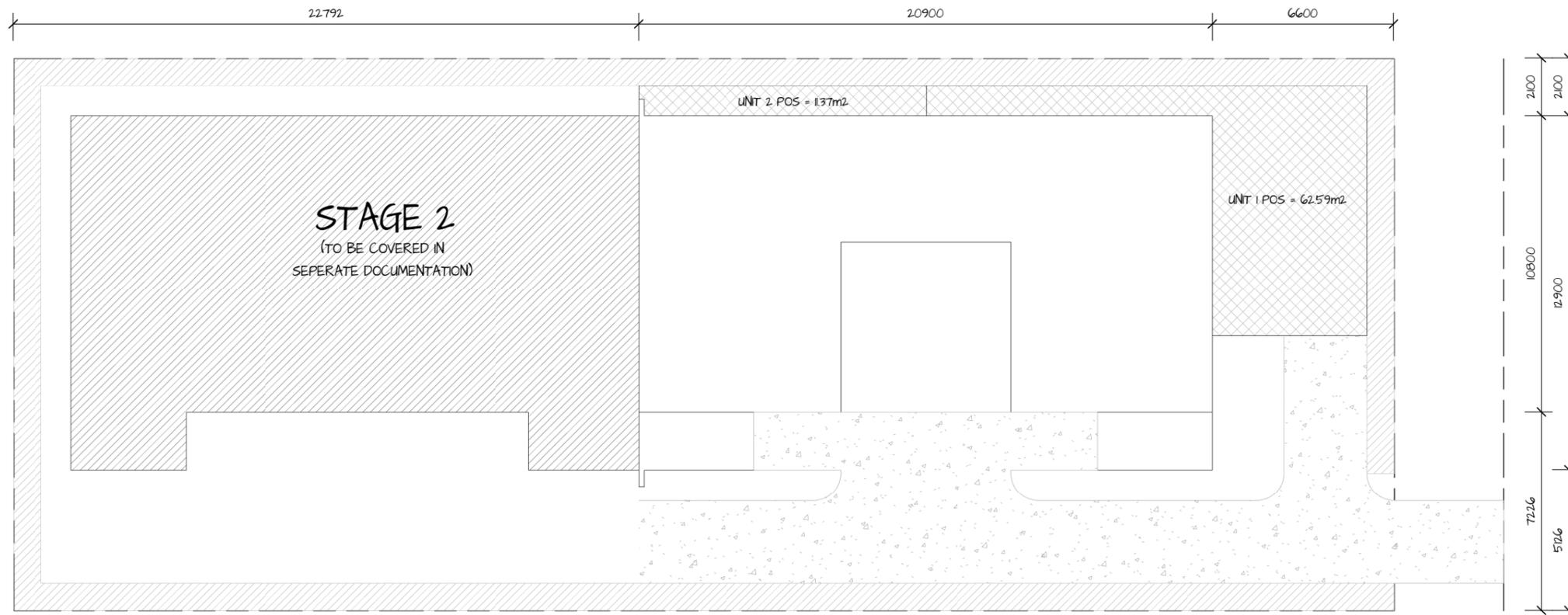
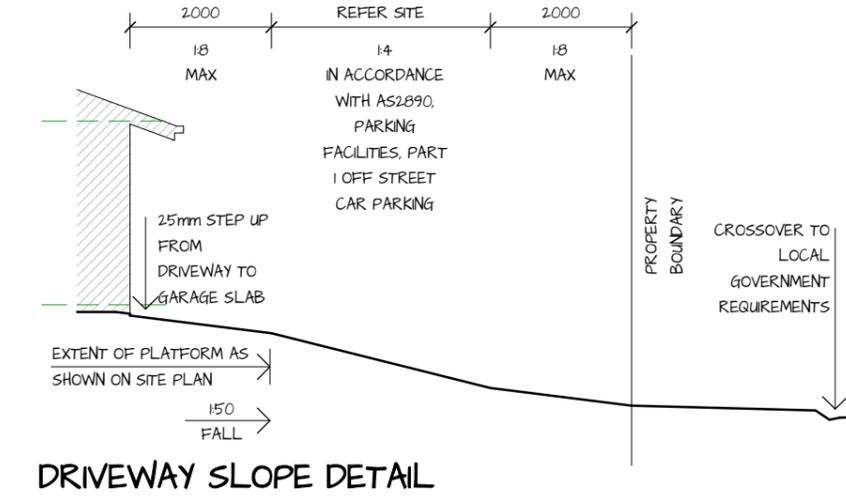
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CONSTRUCTION ISSUE

Site Setout Plan
SCALE 1 : 200

ISSUES/REVISIONS	

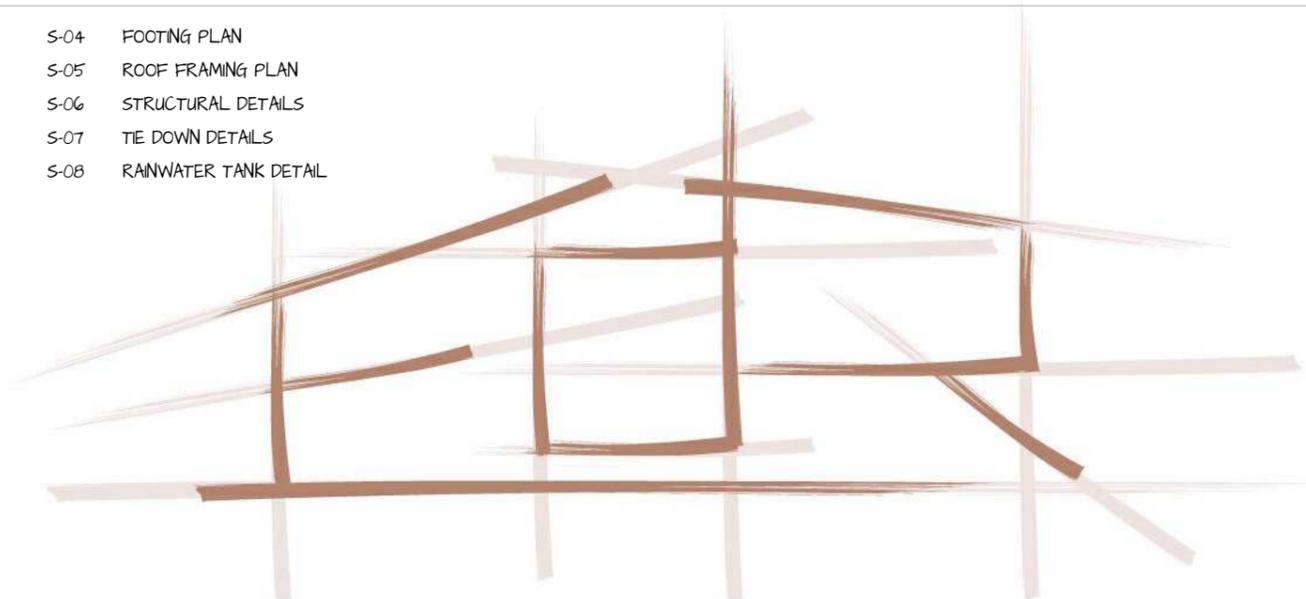


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-Drawing Title: **SITE SETOUT PLAN**
 -Project Type: **Proposed Units** -Project Number: **24021**
 -Client Name: **Tropic Coast Homes** -Drawn By: **Author**
 -Project Address: **Lot 34 Strattmann St Mareeba** -Scale: **A3**
 -Sheet Number: **A-09**

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00	COVER SHEET	A-12	ELEVATIONS	S-04	FOOTING PLAN
A-01	PERSPECTIVE VIEWS	A-13	ELEVATIONS	S-05	ROOF FRAMING PLAN
A-02	WHS NOTES	A-14	ROOF PLAN	S-06	STRUCTURAL DETAILS
A-03	SUSTAINABLE HOUSING	A-15	DETAILS	S-07	TIE DOWN DETAILS
A-04	LIVEABLE HOUSING	A-16	SECTIONS	S-08	RAINWATER TANK DETAIL
A-05	LIVEABLE HOUSING	A-17	SECTIONS		
A-06	DISABLED DESIGN	E-01	ELECTRICAL PLAN		
A-07	DISABLED DESIGN	H-01	DRAINAGE PLAN		
A-08	SITE PLAN	S-01	CONSTRUCTION NOTES		
A-09	SITE SETOUT PLAN	S-02	STARTER BAR PLAN		
A-10	FLOOR PLAN	S-03	SLAB SETOUT PLAN		
A-11	DIMENSION PLAN				



EDR BUILDING DESIGNS

PO BOX 1330 ATHERTON QLD 4883

P: 0412 695 003

E: ernest@edrconcepts.com.au

Proposed units

FOR

Tropic Coast Homes

AT

Lot 34 Strattmann St
Mareeaba

SUPPORTING DOCUMENTS

- DETAILED SURVEY PLAN - (where applicable)
- SOIL TEST INVESTIGATION REPORT - (where applicable)
- STRUCTURAL ENGINEERS FORM 15 CERTIFICATION
- ENERGY EFFICIENCY REPORT
- ENERGY EFFICIENCY FORM 15 CERTIFICATION

CONSULTANTS

CMG CONSULTING ENGINEERS PTY LTD
208 BUCHAN ST, CAIRNS, 4870
P. 07 4031 2775

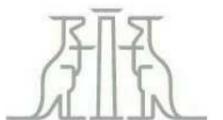
**CUSTOMER APPROVED PLANS
PROCEED TO ENGINEERING**

I/we have checked the
SITE PLAN
FLOOR PLAN
ELEVATIONS PLAN
thoroughly and confirm that they are drawn true and correct, accurately representing all our specified amendments and we would like to proceed to engineering. Should I/we make a variation that requires the plans be amended, I/we agree to **Clause 5.00** of the Contract of Engagement I/we signed whereby an hourly will be charged for all additional work performed. I/we understand that the re-draw will be completed as soon as practical however may take 2-4 working days turnaround for my/our approval. Furthermore changes that require the engineering to be revised will add 2 days to the re-draw turnaround time.

Client/s

Witness

Date ___/___/___

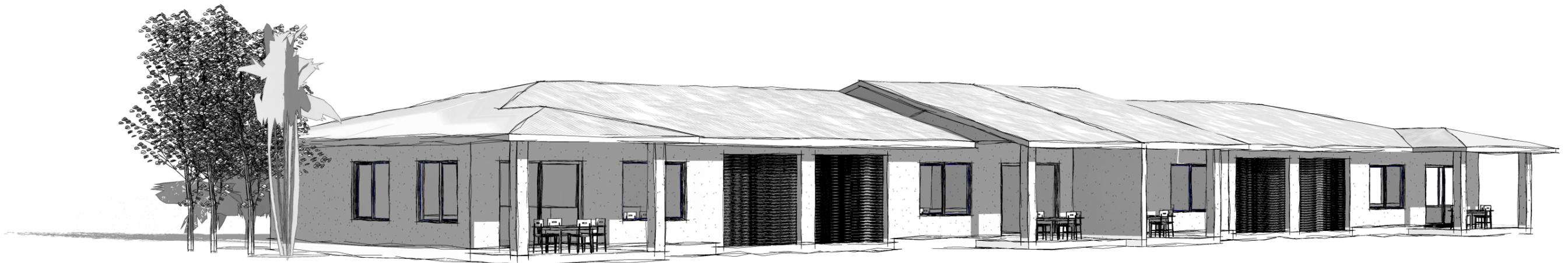


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2016

JOB No. - 24021



Perspective 1

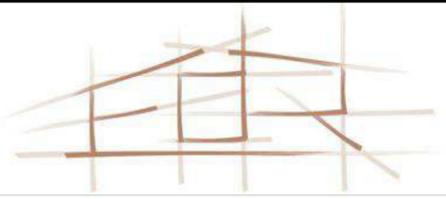


Perspective 2

CONSTRUCTION ISSUE

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 -Project Type: **Proposed Units** -Project Number: **24021**
 -Client Name: **Tropic Coast Homes** -Drawn By: **Edr**
 -Project Address: **Lot 34 Stratmann St Mareeba** -Scale: **AT A3**
 -Sheet Number: **A-01**

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment should be used in accordance with relevant codes of practice, regulations or legislation.

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES FLOOR FINISHES

Specified finishes have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

The owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Underground power lines are located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Overhead power lines are near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical, adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

This building was constructed prior to 1990 and therefore may contain asbestos either in cladding material or in fire retardant insulation material. The builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

This building was constructed prior to 1986 and therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. The builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building includes provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rock-wool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building contains timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

CONSTRUCTION ISSUE

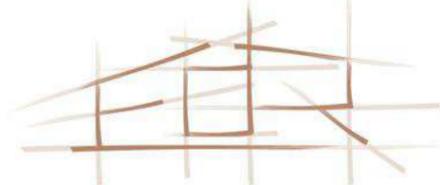
EDR BUILDING DESIGNS PO BOX 1330 ATHERTON QLD 4883 ABN: 75 121 588 052 QBSA: 104 2586 ernest@edrconcepts.com.au

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ISSUES/REVISIONS		



Affiliate Level 2
Australian Institute of Architects
2016



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-Drawing Title:	WHS NOTES	
-Project Type:	Proposed Units	-Project Number: 24021
-Client Name:	Tropic Coast Homes	-Drawn By: Author
-Project Address:	Lot 34 Strattmann St Mareeba	-Scale: A3
		-Sheet Number: A-02

WATER SAVING TARGETS

GDC MP 4.2 - WATER SAVINGS TARGETS

THIS PART APPLIES TO A NEW CLASS 1 BUILDING IN A NON-EXEMPT LOCAL GOVERNMENT AREA. THIS DOES NOT APPLY TO ALTERATIONS AND ADDITIONS TO AN EXISTING CLASS 1 BUILDING.

NEW CLASS 1 BUILDINGS SUPPLIED DIRECTLY WITH WATER FROM THE RETICULATED TOWN WATER SUPPLY MUST ACHIEVE THE TARGETS NOTED IN APPENDIX A OF GDC PART MP 4.2 - WATER SAVINGS TARGETS, THROUGH THE USE OF :

- (a) A RAINWATER TANK
- (b) A GREYWATER TREATMENT PLANT,
- (c) AN ALTERNATIVE WATER SUBSTITUTION MEASURE OR
- (d) A COMBINATION OF (a) AND/OR (b) AND /OR (c).

NON-WATER SERVICED SITES SHOULD ALSO ADOPT WATER SAVING METHODS.

RAINWATER TANKS

A MINIMUM 5000 LITRE RAINWATER TANK FOR A DETACHED CLASS 1 BUILDING OR A MINIMUM 3000 LITRE RAINWATER TANK FOR A CLASS 1 BUILDING OTHER THAN A DETACHED CLASS 1 BUILDING OR AS SPECIFIED BY THE LOCAL GOVERNMENT.

THE MINIMUM ROOF CATCHMENT AREA MUST BE AT LEAST 50% OF THE TOTAL ROOF AREA OR 100 SQUARE METRES, WHICHEVER IS THE LESSER OR AS SPECIFIED BY THE LOCAL GOVERNMENT.

THE RAINWATER TANK IS CONNECTED TO TOILET CISTERNS AND WASHING MACHINE COLD WATER TAPS (OTHER THAN THOSE CONNECTED TO A GREYWATER TREATMENT PLANT OR ALTERNATIVE WATER SUBSTITUTION MEASURE) AND AN EXTERNAL USE.

THE RAINWATER TANK HAS A SCREENED DOWNPIPE RAINHEAD WITH SCREEN MESH 4-6mm, DESIGNED TO PREVENT LEAVES FROM ENTERING THE DOWNPIPE.

A MINIMUM OF 20 LITRES OF THE FIRST FLUSH ROOF CATCHMENT RAINWATER MUST BE DIVERTED/DISCARDED TO AN APPROVED POINT AWAY FROM BUILDING FOUNDATIONS BEFORE ENTERING THE RAINWATER TANK WHERE

- (a) CONNECTED TO SHOWERS, WASH BASINS, KITCHENS OR HOT WATER SERVICES OR
- (b) REQUIRED BY THE LOCAL GOVERNMENT.

THE RAINWATER TANK MUST BE PROVIDED WITH

- (a) MOSQUITO-PROOF SCREENS WITH NOT GREATER THAN 1mm MESH APERTURE OR FLAP VALVES AT EVERY OPENING AND
- (b) A VERMIN TRAP OR
- (c) MOSQUITO-PROOFING IN ACCORDANCE WITH HB230 WHERE A WET SYSTEM IS USED TO HARVEST RAINWATER &
- (d) A CHILD-PROOF ACCESS HOLE.

THE RAINWATER TANK MUST BE PROVIDED WITH

- (a) AN AUTOMATIC SWITCHING DEVICE OR
- (b) A TRICKLE TOP-UP SYSTEM

PROVIDING SUPPLEMENTARY WATER FROM THE RETICULATED TOWN WATER SUPPLY AND A BACKFLOW PREVENTION DEVICE.

THE RAINWATER TANK MUST BE PROVIDED WITH THE REQUIRED SIGNAGE ON THE FRONT OF THE TANK, ON THE COVER AND AT ALL OUTLET POINTS. THE WORDING ON THE SIGNAGE MUST COMPLY WITH MP 4.2, A8 AND TO AS390 AND AS345. INTERNAL RAINWATER TAPS TO HAVE GREEN 'RW' INDICATORS OR TAP BUTTONS.

A GATE VALVE MUST BE INSTALLED IN THE OUTLET PIPE TO SHUT OFF IN CASE OF EMERGENCY.

THE RAINWATER TANK MUST BE SUPPORTED ON AN APPROVED STRUCTURE OR STAND.

THE OVERFLOW MUST BE CONNECTED TO THE EXISTING STORMWATER DRAINAGE SYSTEM WITH A PHYSICAL AIR-BLOCK OR NON-RETURN VALVE.

SUSTAINABLE HOUSING REQUIREMENTS

QUEENSLAND DEVELOPMENT CODE (GDC) MP 41 - SUSTAINABLE BUILDINGS

MEASURE	CLASS 1	CLASS 2	CLASS 1 RENO	CLASS 2 RENO	OTHER CLASS 1 RENO
P1 5-STAR ENERGY RATING	YES	NO	YES	NO	YES
P2 INTERNAL RATING	YES	YES	YES	YES	YES
P3 AIR-CONDITIONING	YES	YES	YES	YES	YES
P4 3-STAR (WELS) SHOWER	YES	YES	NO	NO	NO
P5 DUAL FLUSH 4-STAR (WELS) TOILET	YES	YES	NO	NO	NO
P6 3-STAR (WELS) TAPWARE	YES	YES	NO	NO	NO

REQUIREMENTS FOR SUSTAINABLE BUILDINGS

ASSESSABLE BUILDING WORK OR SELF-ASSESSABLE BUILDING WORK IN A NEW CLASS 1 BUILDING OR A SOLE-OCCUPANCY UNIT IN A CLASS 2 BUILDING AND RENOVATIONS TO AN EXISTING CLASS 1 BUILDING AND RENOVATIONS TO A SOLE-OCCUPANCY UNIT OF A CLASS 2 BUILDING.

ACCEPTABLE SOLUTIONS: P1 - 5-STAR ENERGY RATING

CLASS 1 BUILDINGS AND ATTACHED ENCLOSED CLASS 10a BUILDINGS WILL REQUIRE A 5-STAR ENERGY RATING. ACHIEVING 5 STARS WILL BE BY COMPLIANCE WITH THE PROVISIONS OF PART 312 OF THE BUILDING CODE OF AUSTRALIA.

CONCESSIONS APPLY TO BUILDINGS WHICH HAVE AN OUTDOOR LIVING SPACE WHICH IS DIRECTLY ACCESSIBLE FROM A LIVING AREA SUCH AS A LOUNGE, KITCHEN, DINING OR FAMILY ROOM. THE OUTDOOR LIVING SPACE MUST HAVE A MINIMUM AREA OF 12 SQUARE METRES AND A MINIMUM DIMENSION OF 2.5 METRES.

IN CLIMATE ZONES 1 & 2, BUILDINGS WITH A CONFORMING OUTDOOR LIVING SPACE WILL BE REQUIRED TO BE NOT LESS THAN 4.5-STARS. WHERE THE ROOF OF THE OUTDOOR LIVING SPACE ACHIEVES A TOTAL R-VALUE OF 15 DOWNWARDS THE BUILDING WILL REQUIRE A MINIMUM 4.25-STARS AND WHERE THE OUTDOOR LIVING SPACE IS FITTED WITH A 900mm DIAMETER MINIMUM CEILING FAN AND THE ROOF ACHIEVES A TOTAL R-VALUE OF 15 DOWNWARDS, 4-STARS.

P2 - INTERNAL LIGHTING

A MINIMUM OF 80% OF ALL INTERNAL FIXED LIGHTING MUST BE ENERGY EFFICIENT LIGHTING.

P3 - AIR-CONDITIONING

ALL HARD-WIRED NEW AND REPLACEMENT AIR-CONDITIONERS TO HAVE AN ENERGY EFFICIENCY RATIO (EER) OF AT LEAST 2.9.

P4 - 3-STAR (WELS) SHOWER

IN AREAS SERVICED BY A WATER SERVICE PROVIDER, ALL SHOWER ROSES HAVE A MINIMUM 3-STAR WATER EFFICIENCY LABELLING AND STANDARDS (WELS) RATING.

P5 - DUAL FLUSH 4-STAR (WELS) TOILET

IN AREAS SERVICED BY A WATER SERVICE PROVIDER, ALL TOILET CISTERNS MUST BE DUAL FLUSH 4-STAR (WELS) RATED AND MUST BE COMPATIBLE WITH THE SIZE OF THE TOILET BOWL.

P6 - 3-STAR (WELS) TAPWARE

IN AREAS SERVICED BY A WATER SERVICE PROVIDER, ALL TAPWARE SERVING LAUNDRY TROUGH, KITCHEN SINKS AND BASINS MUST HAVE A MINIMUM 3-STAR (WELS) RATING.

SUSTAINABLE HOUSING REQUIREMENTS

QUEENSLAND PLUMBING AND WASTEWATER CODE

MEASURE	CLASS 1	CLASS 2	CLASS 1 RENO	CLASS 2 RENO	OTHER CLASS 1 RENO
P7 HOT WATER SYSTEMS	YES	NO	NO	NO	YES
P8 IRRIGATION SYSTEMS	YES	YES	YES	YES	YES

P7 - HOT WATER SYSTEMS

HOT WATER MUST BE SUPPLIED BY EITHER:

- (a) SOLAR HOT WATER SYSTEM OR
- (b) HEAT PUMP HOT WATER SYSTEM
 - (i) ELIGIBLE TO RECEIVE AT LEAST 22 RENEWABLE ENERGY CERTIFICATES FOR 3 BEDROOMS OR MORE;
 - (ii) ELIGIBLE TO RECEIVE AT LEAST 14 RENEWABLE ENERGY CERTIFICATES FOR LESS THAN 3 BEDROOMS OR
- (c) GAS HOT WATER SYSTEM (5-STAR ENERGY RATED). HOT WATER SYSTEMS MUST BE INSTALLED AS CLOSE AS PRACTICABLE TO THE COMMON BATHROOM.

P8 - IRRIGATION SYSTEMS

IN AREAS SERVICED BY A WATER SERVICE PROVIDER, AND WHERE RAINWATER TANKS HAVE A CONTINUITY OF SUPPLY THROUGH EITHER A TRICKLE TOP-UP SYSTEM OR AN AUTOMATIC SWITCHING DEVICE, ALL OUTDOOR IRRIGATION SYSTEMS MUST COMPLY WITH QUEENSLAND WATER COMMISSION GUIDELINES EFFICIENT IRRIGATION FOR WATER CONSERVATION.

AN EFFICIENT IRRIGATION SYSTEM CONSISTS OF A NETWORK OF PERMANENT PIPING CONNECTED TO EMITTERS WHICH HAVE BEEN DESIGNED TO WATER A SPECIFIC LANDSCAPED AREA AND:

- (a) THE MAXIMUM OUTPUT CAPACITY OF EACH EMITTER MUST NOT EXCEED 9 l/m AND
- (b) THE IRRIGATION SYSTEM IS FITTED WITH EITHER:
 - (i) A MANUAL TIMER WITH A MAXIMUM RANGE OF 2 HOURS OR
 - (ii) AN AUTOMATIC TIMER USED IN CONJUNCTION WITH A SOIL MONITOR SENSOR OR RAIN SENSOR TO TURN THE SYSTEM OFF DURING PERIODS OF ADEQUATE SOIL MOISTURE OR RAIN, AND
 - (iii) WHERE DRIP LINE IS USED, IT MUST BE PRESSURE COMPENSATED AND CONSIST OF RIGID PLASTIC TUBING WITH IN-LINE OR INTERNAL EMITTERS SPACED AT REGULAR INTERVALS OF AT LEAST 300mm.
 - (iv) THE USE OF AN EFFICIENT IRRIGATION SYSTEM MUST BE IN ACCORDANCE WITH THE OPERATING REQUIREMENTS AND WATERING TIMES DETERMINED BY THE QWC.

GREYWATER TREATMENT PLANT

GREYWATER (definition) - DOMESTIC WASTEWATER FROM A BATH, BASIN, KITCHEN, LAUNDRY OR SHOWER, WHETHER OR NOT THE WASTEWATER IS CONTAMINATED WITH HUMAN WASTE.

THE GREYWATER TREATMENT PLANT MUST HAVE A STORAGE CAPACITY NOT MORE THAN 2000 LITRES AND BE CONNECTED TO RECEIVE GREYWATER FROM ALL BATHROOM SANITARY OUTLETS (EXCLUDING WATER CLOSETS) IN THE BUILDING.

THE GREYWATER TREATMENT SYSTEM MUST HAVE A MINIMUM PROCESSING CAPACITY TO TREAT THE TOTAL GREYWATER INPUT VESSEL VOLUME IN 24 HOURS. THE GREYWATER TREATMENT PLANT IS CONNECTED TO SUPPLY TREATED WATER TO:

- (a) ALL TOILET CISTERNS,
- (b) WASHING MACHINE COLD WATER TAPS,
- (c) AN EXTERNAL USE AND
- (d) OTHER FIXTURES SPECIFIED BY THE LOCAL GOVERNMENT,
- (e) SUPPLIES TREATED WATER SEPARATE TO THE RETICULATED TOWN WATER SUPPLY AND
- (f) HAS A BACKFLOW PREVENTION DEVICE INSTALLED TO PROTECT THE RETICULATED TOWN WATER SUPPLY,
- (g) HAS AN AUTOMATIC SWITCHING DEVICE PROVIDING SUPPLEMENTARY WATER FROM THE RETICULATED TOWN WATER SUPPLY,
- (h) DISPOSES OF UNTREATED GREYWATER TO THE SEWER,
- (i) MUST NOT BE SUPPLIED FOR DRINKING OR POTABLE USE AND
- (j) COMPLIES WITH TABLE 1A OF THE QUEENSLAND PLUMBING AND WASTEWATER CODE FOR THE EFFLUENT COMPLIANCE VALUE FOR END USES WITH A HIGH LEVEL OF HUMAN CONTACT.

ROOFWATER DRAINAGE

ALL ROOFWATER DRAINAGE SYSTEMS MUST BE CONNECTED TO A STORMWATER DRAINAGE SYSTEM COMPLYING WITH RELEVANT CODES & STANDARDS,

THE ROOF DRAINAGE SYSTEM MUST BE PROVIDED WITH AN OVERFLOW TO PREVENT THE BACKFLOW OF WATER INTO THE BUILDING,

THE AREA SPECIFIC RAINFALL INTENSITY MUST BE SELECTED FROM THE RELEVANT CODES & STANDARDS,

GUTTERS & DOWNPIPES MUST BE SELECTED FROM RELEVANT CODES & STANDARDS,

EAVES GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 500 WITH SUPPORT BRACKETS AT 12m MAXIMUM CENTRES,

BOX GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 100, IN ACCORDANCE WITH RELEVANT CODES & STANDARDS,

THE WIDTH OF VALLEY GUTTERS SHALL BE IN ACCORDANCE WITH RELEVANT CODES & STANDARDS. REFER TO ROOF SHEETING MANUFACTURERS SPECIFICATIONS FOR LIMITATIONS ON SHEET OVERHANGS INTO VALLEY GUTTERS. VALLEY GUTTERS ON ROOF PITCHED LESS THAN 12.5° MUST BE DESIGNED AS BOX GUTTERS,

RAINWATER DRAINAGE
RAINFALL INTENSITY OF 280mm/hr
WITH ARI OF 20 YEARS(CAIRNS)

THE ROOF AREA PER DOWNPIPE IS CALCULATED USING THE STRAMIT QLD GUIDE IN CONJUNCTION WITH AS2179 & AS3500.3. UNO ON ROOF PLAN #50 QUAD EAVES GUTTER WITH A EFFECTIVE CROSS-SECTIONAL AREA OF 8600 SQMM INSTALLED AT 1500 MM, ACHIEVING A MAXIMUM ROOF AREA OF 34sqm PER DOWNPIPE USING UNO 100mm ø DOWNPIPE

SPACINGS BETWEEN DOWNPIPES NOT TO EXCEED 12m. PROVISIONS FOR OVERFLOWS MUST BE MADE FOR DOWNPIPES FURTHER THAN 12m FROM VALLEY GUTTERS
MIN FALL FOR EAVES GUTTERS = 1500
MIN FALL FOR BOX GUTTERS = 1100
MAX 500kPa WATER PRESSURE. IF GREATER, INSTALL PRESSURE LIMITING DEVICE TO MANUFACTURERS SPECS SIZE & LOCATION OF PVC STOMWATER PITS WITH REMOVABLE GREAT LID VERIFIED BY PLUMBER ON SITE

SLAB HEIGHT

MINIMUM FINISHED SLAB HEIGHT MUST BE DETERMINED FOR EACH INDIVIDUAL PROJECT AND IS DEPENDENT UPON DESIGN FACTORS SUCH AS -

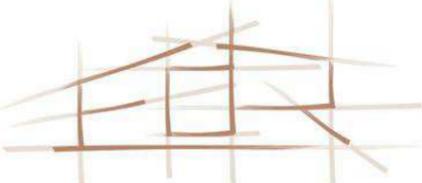
- (1) UNO ON PLAN MIN FINISHED SLAB HEIGHTS TO BE 150mm ABOVE ADJACENT FINISHED GROUND LEVEL or 100mm ABOVE SANDY, WELL-DRAINED AREAS or 50mm ABOVE PAVED OR CONCRETED AREAS WHICH FALL AWAY FROM THE DWELLING FOR 50mm OVER THE FIRST 1m (CHECK STATE AND TERRITORY VARIATIONS)
- (2) MASONRY VENEER CONSTRUCTION WHERE DPC'S MUST BE 150mm MINIMUM ABOVE ADJACENT GROUND LEVEL AND REQUIRE A SLAB EDGE RECESS AS PER BCA part 3.3.4.5 - 170mm ABOVE ADJACENT FINISHED GROUND LEVEL or 95mm ABOVE ADJACENT PAVED OR CONCRETED AREAS WHICH FALL AWAY FROM THE WALL AND ARE PROTECTED FROM THE WEATHER BY A CARPORT, VERANDAH OR THE LIKE. THESE DIMENSIONS ASSUME A 20mm SLAB EDGE RECESS. (CHECK STATE AND TERRITORY VARIATIONS)
- (3) LEVEL RELATIVE TO DRAINAGE ORG AS PER AS3500, PLUMBING AND DRAINAGE CODE - 150mm MINIMUM ABOVE TOP OF ORG TO LOWEST FIXTURE POINT ie. FLOOR WASTE OR SHOWER DRAIN. LEVEL OF ORG MUST BE 75mm MIN. ABOVE FINISHED GROUND LEVEL.
- (4) STANDARD BUILDING REGULATIONS REQUIRE THE LEVEL OF ALL HABITABLE ROOMS BE 300mm MINIMUM ABOVE THE 1000 FLOOD LEVEL OR AS DETERMINED BY THE LOCAL AUTHORITY.
- (5) LOCAL TOWN PLANNING SCHEMES MAY SPECIFY FLOOR LEVELS RELATIVE TO FINISHED SURFACES IN RURAL AREAS.

CONSTRUCTION ISSUE

ISSUES/REVISIONS		



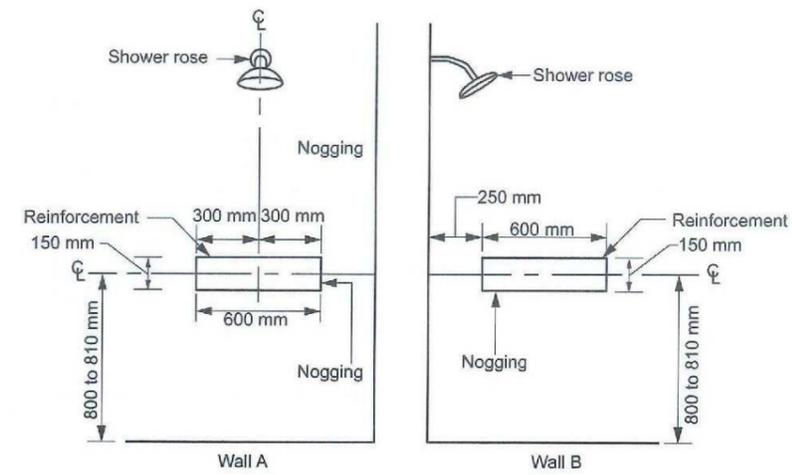
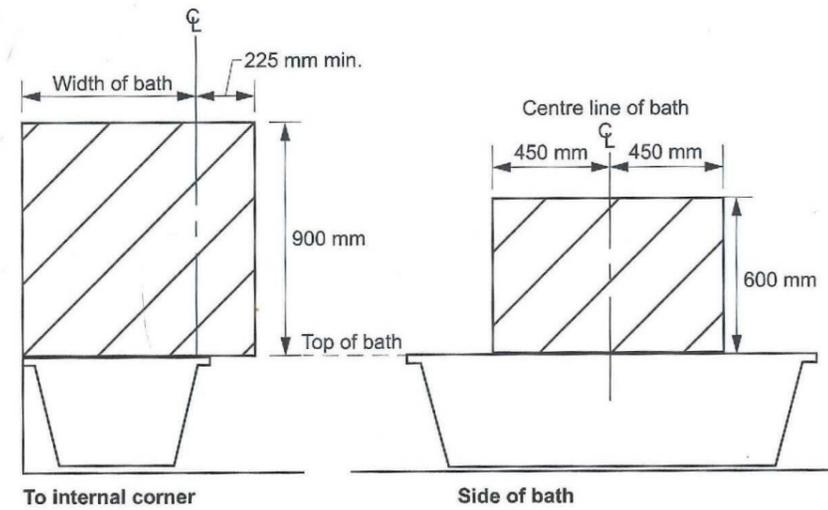
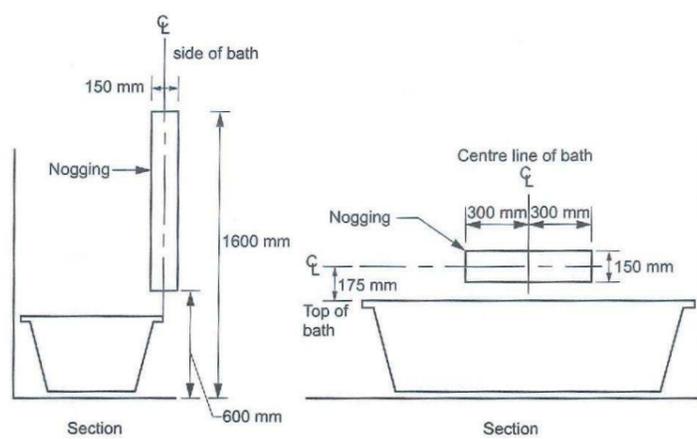
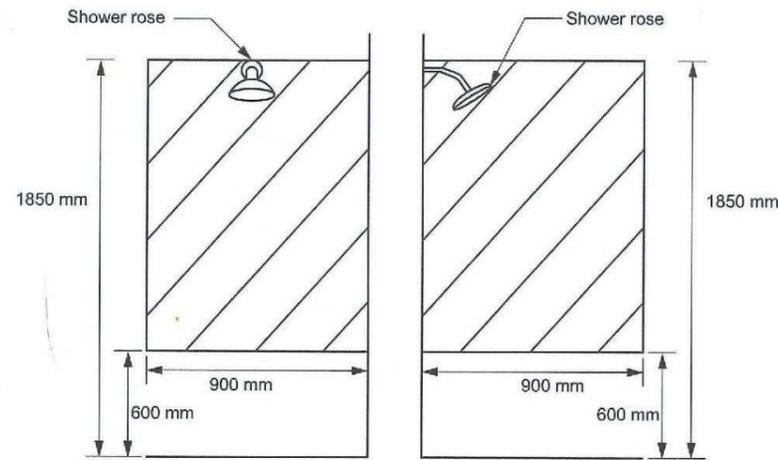
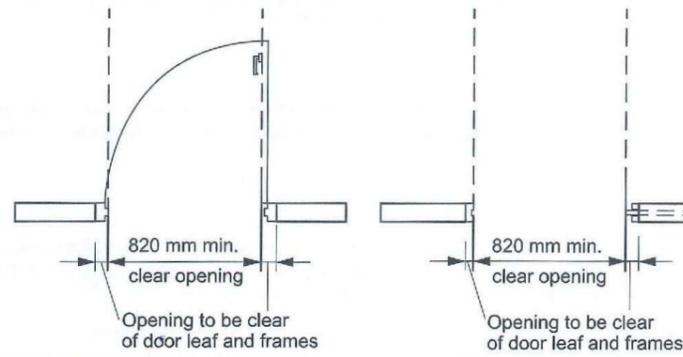
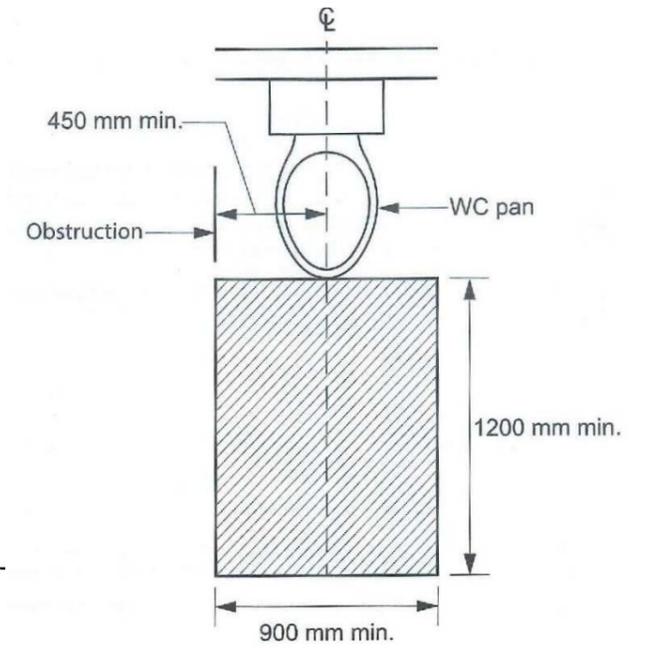
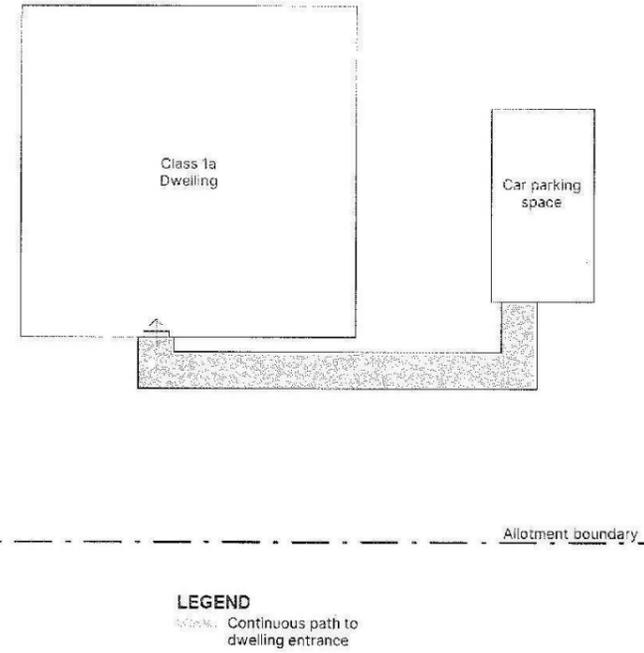
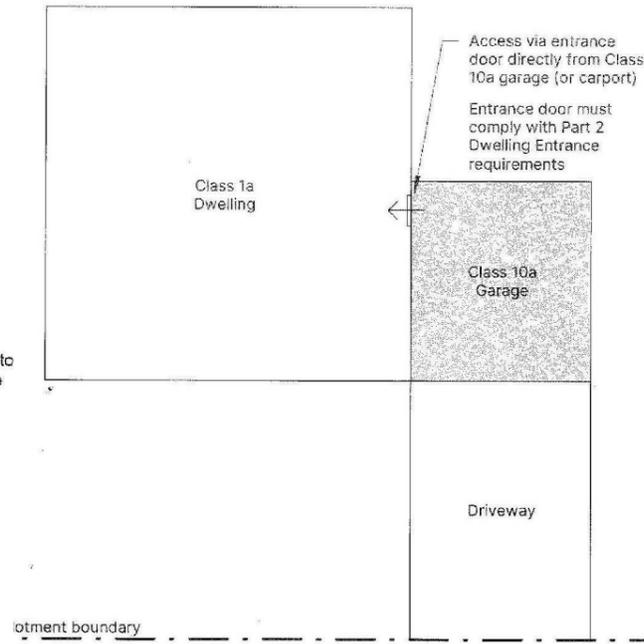
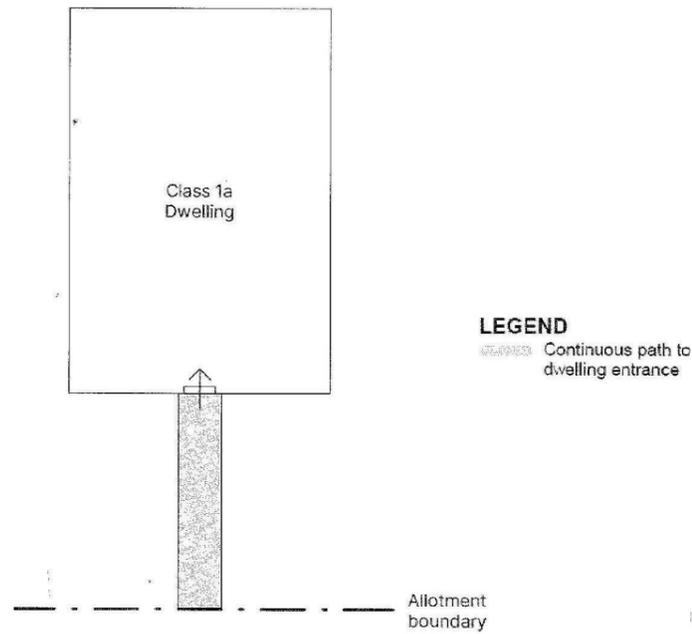
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-Project Type: **Proposed Units** -Project Number: **24021**
-Client Name: **Tropic Coast Homes** -Drawn By: **Edr**
-Project Address: **Lot 34 Strattmann St Mareeba** -Scale: **AT A3**
-Sheet Number: **A-03**

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CONSTRUCTION ISSUE

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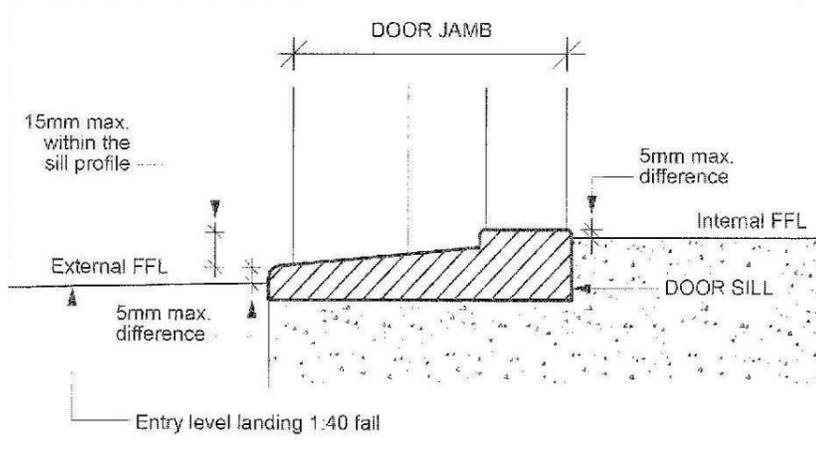
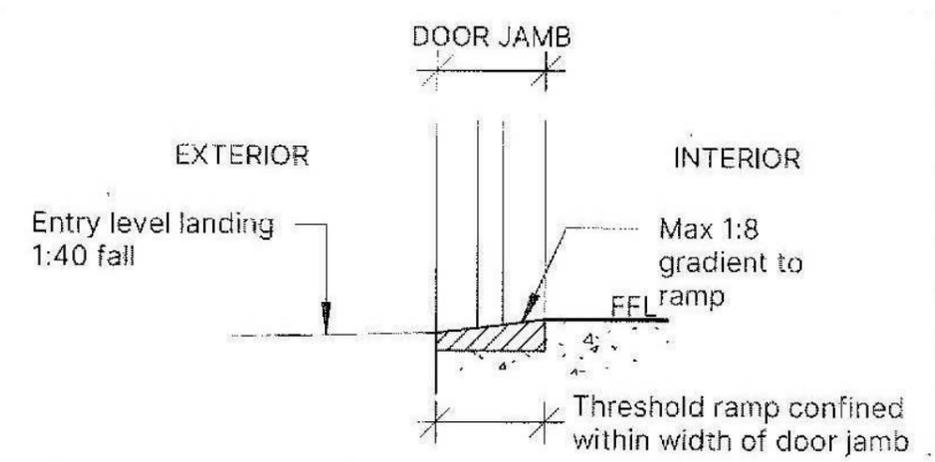
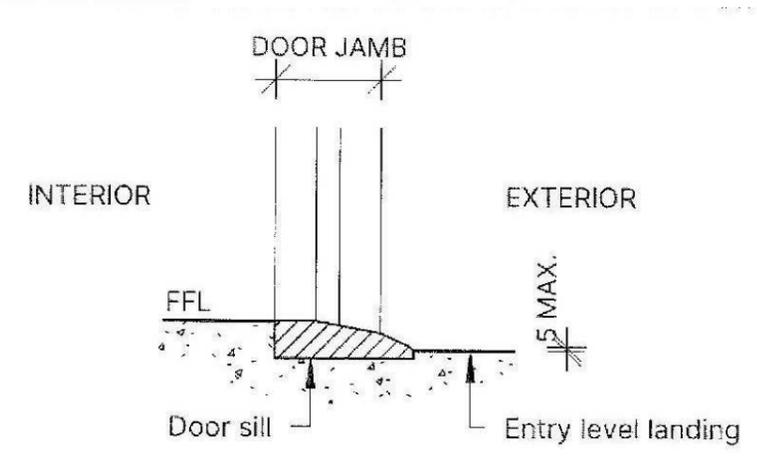
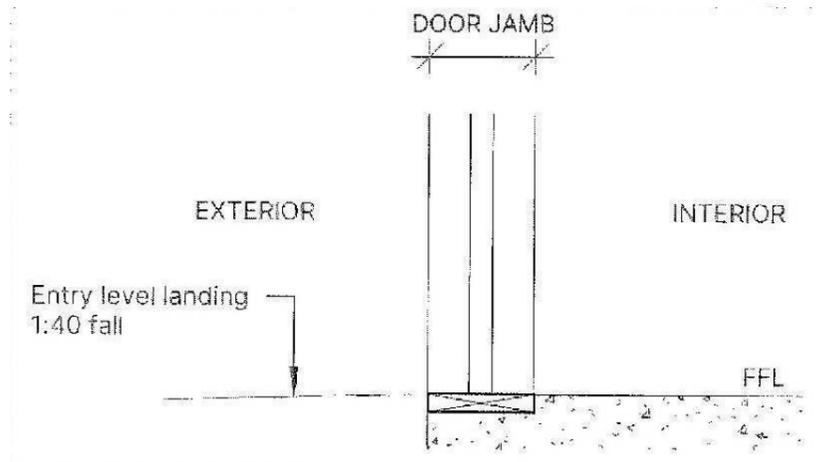
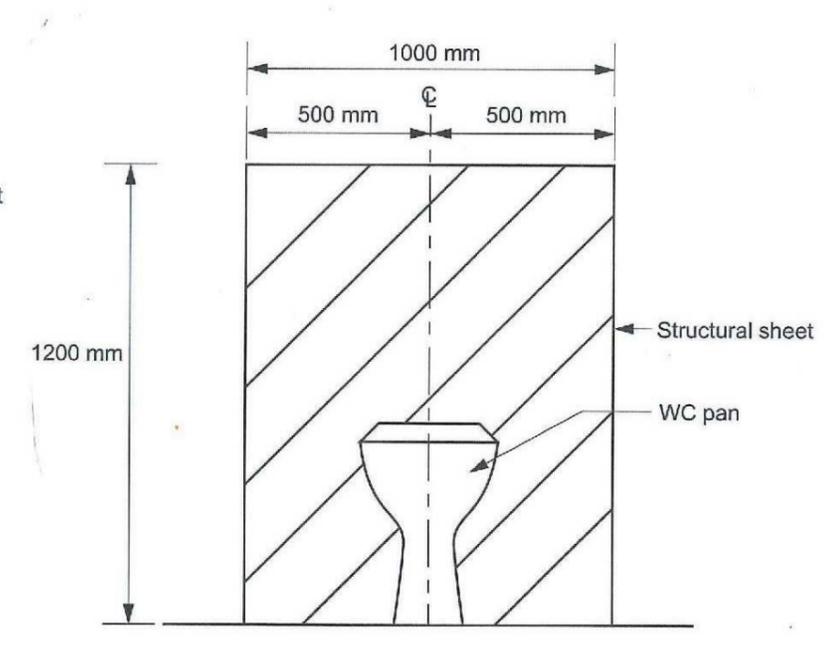
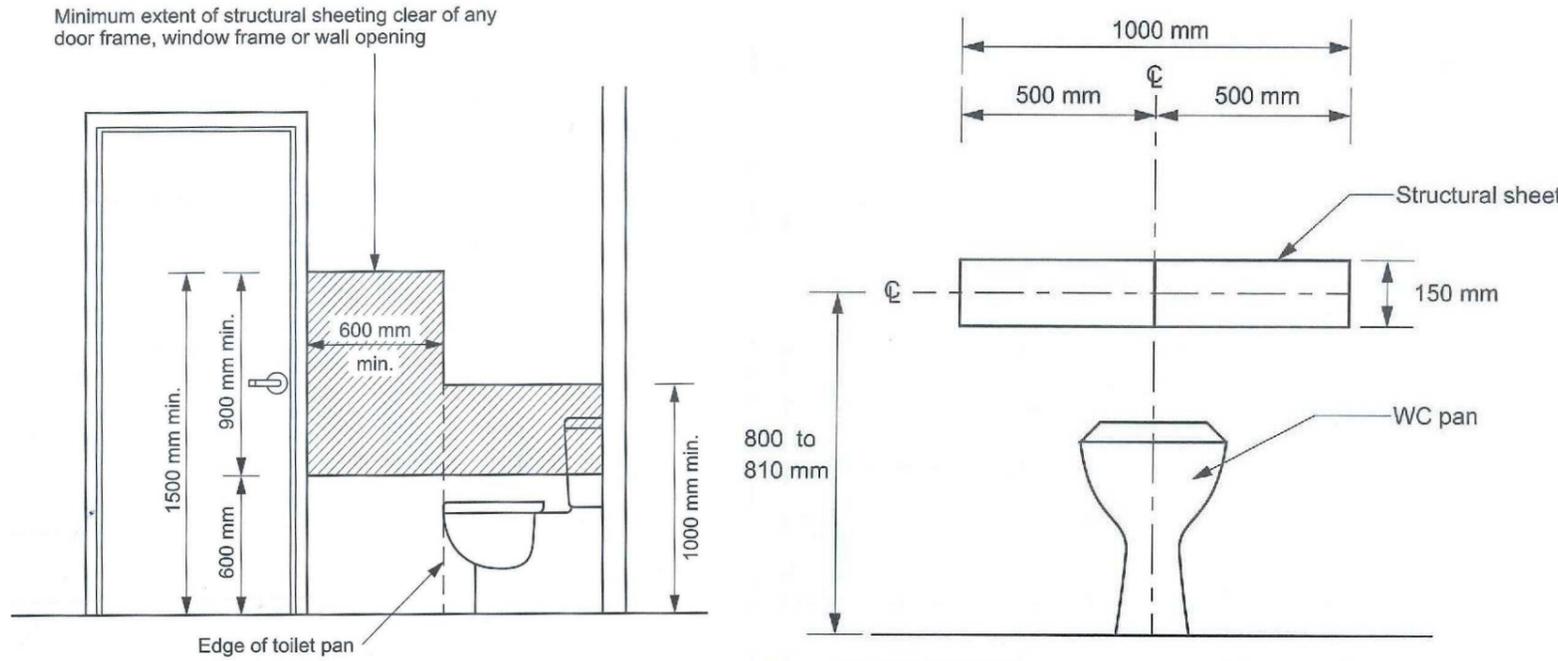
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Project Type: **Proposed Units**
Client Name: **Tropic Coast Homes**
Project Address: **Lot 34 Strattmann St Mareeba**
Project Number: **24021**
Drawn By: **Author**
Scale: **A3**
Sheet Number: **A-04**

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Minimum extent of structural sheeting clear of any door frame, window frame or wall opening

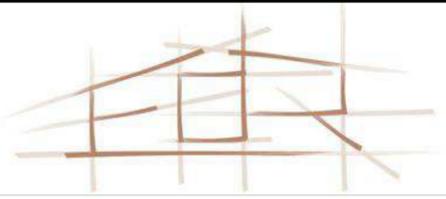


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-Drawing Title:	LIVEABLE HOUSING	-Project Number:	24021
-Project Type:	Proposed Units	-Drawn By:	Author
-Client Name:	Tropic Coast Homes	-Scale:	AT A3
-Project Address:	Lot 34 Strattmann St Mareeba	-Sheet Number:	A-05

WALKWAYS, RAMPS & LANDINGS

WALKWAYS, RAMPS AND LANDINGS THAT ARE PROVIDED ON A CONTINUOUS ACCESSIBLE PATH OF TRAVEL SHALL BE AS FOLLOWS:

- (a) SHARP TRANSITIONS SHALL BE PROVIDED BETWEEN THE PLANES OF LANDINGS & RAMPS.
- (b) LANDINGS SHALL BE PROVIDED AT ALL CHANGES IN DIRECTION WHERE THE CHANGE IS NOT EXCEEDED BY THE LANDINGS SHALL BE NOT LESS THAN 1500mm. THE INTERNAL CORNER SHALL BE TRUNCATED BY A MINIMUM OF 500mm IN BOTH DIRECTIONS. FOR A 180° TURN THE LANDINGS SHALL BE MINIMUM 1500 CLEAR IN LENGTH AS DETAILED.
- (c) LANDING OR CIRCULATION SPACE SHALL BE PROVIDED AT EVERY DOORWAY, GATE, OR SIMILAR OPENING.
- (d) FOR WALKWAYS AND LANDINGS HAVING GRADIENTS IN THE DIRECTION OF TRAVEL SHALL LOWER THAN 1 IN 33 A CAMBER OR CROSSFALL SHALL BE PROVIDED FOR SEEDING OF WATER AND SHALL BE NO STEEPER THAN 1 IN 40, EXCEPT THAT BITUMEN SURFACES SHALL HAVE A CAMBER OR CROSSFALL NOT STEEPER THAN 1 IN 33.

WALKWAYS SHALL COMPLY WITH THE FOLLOWING:

- (a) THE FLOOR OR GROUND SURFACE ADJACENT TO THE SIDES OF THE WALKWAY SHALL PROVE A FIRM LEVEL SURFACE OF A DIFFERENT MATERIAL TO THAT OF THE WALKWAY AT THE SAME LEVEL OF THE WALKWAY. FOLLOW THE GRADE OF THE WALKWAY AND EXTEND HORIZONTALLY FOR A MINIMUM OF 900mm UNLESS ONE OF THE FOLLOWING IS PROVIDED:
 - (i) KERB AS DETAILED
 - (ii) KERB RAIL AND HANDRAIL AS DETAILED
 - (iii) A WALL NOT LESS THAN 450mm IN HEIGHT.

WALKWAYS SHALL BE PROVIDED WITH LANDINGS AS DETAILED, AT INTERVALS NOT EXCEEDING THE FOLLOWING:

- (a) FOR WALKWAY GRADIENTS OF 1 IN 33, NO LANDINGS ARE REQUIRED.
- (b) FOR WALKWAY GRADIENTS OF 1 IN 20, AT INTERVALS NOT GREATER THAN 15 METRES.
- (c) FOR WALKWAY GRADIENTS BETWEEN 1 IN 20 TO 1 IN 33, AT INTERVALS THAT SHALL BE OBTAINED BY LINEAR INTERPOLATION.

FOR WALKWAYS SHALLower THAN 1 IN 33, NO LANDINGS ARE REQUIRED.

THE INTERVALS SPECIFIED ABOVE MAY BE INCREASED BY 30% WHERE AT LEAST ONE SIDE OF A WALKWAY IS BOUNDED BY:

- (a) A KERB OR KERB RAIL AS DETAILED AND A HANDRAIL AS DETAILED.
- (b) A WALL AND A HANDRAIL AS DETAILED.

RAMPS SHALL COMPLY WITH THE FOLLOWING:

- (a) THE MAXIMUM GRADIENT OF A RAMP EXCEEDING 900mm IN LENGTH SHALL BE 1 IN 4.
- (b) THE GRADIENT OF A RAMP SHALL BE CONSTANT THROUGHOUT ITS LENGTH WITH A MAXIMUM ALLOWABLE TOLERANCE OF 3% PROVIDED NO SECTION OF THE RAMP IS STEEPER THAN 1 IN 4.
- (c) RAMPS SHALL BE PROVIDED WITH LANDINGS AS SPECIFIED, AT THE BOTTOM AND AT THE TOP OF THE RAMP AND AT INTERVALS NOT EXCEEDING THE FOLLOWING:
 - (i) FOR RAMP GRADIENTS OF 1 IN 4, AT INTERVALS NOT GREATER THAN 9 METRES.
 - (ii) FOR RAMP GRADIENTS STEEPER THAN 1 IN 20, AT INTERVALS NOT GREATER THAN 15 METRES.
 - (iii) FOR RAMP GRADIENTS BETWEEN 1 IN 4 TO 1 IN 20, AT INTERVALS THAT SHALL BE OBTAINED BY LINEAR INTERPOLATION.
- (d) WHERE RAMPS ARE CONSTRUCTED WITH A CHANGE IN DIRECTION, THE ANGLE OF APPROACH SHALL CREATE A 90° ANGLE TO THE LINE OF TRANSITION BETWEEN THE RAMP SURFACE AND THE LANDING SURFACE.

RAMPS SHALL HAVE A HANDRAIL AS DETAILED ON EACH SIDE OF THE RAMP.

- (a) WHERE THE INTERSECTION IS AT THE PROPERTY BOUNDARY, THE RAMP SHALL BE SET BACK BY A MINIMUM OF 900mm SO THAT THE HANDRAIL AND TOSSES DO NOT PROTRUDE INTO THE TRANSVERSE PATH OF TRAVEL.
- (b) TOSSES SHALL BE INSTALLED AS SPECIFIED.
- (c) WHERE THE INTERSECTION IS AT AN INTERNAL CORRIDOR, THE RAMP SHALL BE SET BACK BY A MINIMUM OF 400mm SO THAT THE HANDRAIL DOES NOT PROTRUDE INTO THE TRANSVERSE PATH OF TRAVEL.

THE HANDRAIL SHALL EXTEND A MINIMUM OF 900mm HORIZONTALLY PAST THE TRANSITION POINT AT THE TOP AND BOTTOM OF THE RAMP EXCEPT WHERE THE RAMP HANDRAIL IS CONTINUOUS AT AN INTERMEDIATE LANDING.

RAMPS AND INTERMEDIATE LANDINGS SHALL HAVE KERBS OR KERB RAILS ON BOTH SIDES THAT COMPLY WITH THE FOLLOWING:

- (a) THE MINIMUM HEIGHT ABOVE THE FINISHED FLOOR SHALL BE 85mm.
- (b) THE HEIGHT OF THE TOP OF THE KERB RAIL SHALL NOT BE WITHIN THE RANGE 75mm TO 150mm ABOVE THE FINISHED FLOOR.
- (c) THERE SHALL BE NO LONGITUDINAL GAP OR SLOT GREATER THAN 20mm IN THE KERB OR KERB RAIL WITHIN THE RANGE 75mm TO 150mm ABOVE THE FINISHED FLOOR.
- (d) KERB OR KERB RAILS SHALL:
 - (i) BE LOCATED SO THAT THE RAMP-SIDE FACE IS EITHER FLUSH WITH THE RAMP-SIDE FACE OF THE HANDRAIL, OR NO GREATER THAN 100mm AWAY FROM THE RAMP-SIDE FACE OF THE HANDRAIL.
 - (ii) WHERE THE HANDRAIL IS SUPPORTED ON A VERTICAL POST, THE HEIGHT OF THE TOP OF THE KERB OR KERB RAIL SHALL BE NOT LESS THAN 150mm ABOVE THE FINISHED FLOOR AND
 - (iii) WHERE THE KERB IS AT A HEIGHT OF 85mm TO 75mm, THE SUPPORT POSTS SHALL BE SET BACK A MINIMUM OF 200mm FROM THE FACE OF THE KERB OR KERB RAIL.

STEP RAMPS SHALL HAVE -

- (a) A MAXIMUM RISE OF 900mm
- (b) A LENGTH NOT GREATER THAN 1000mm AND
- (c) A GRADIENT NOT STEEPER THAN 1 IN 10.

THE EDGES OF STEP RAMPS SHALL HAVE A 45° SLOPE WHERE THERE IS A PEDESTRIAN CROSS-TRAFFIC. OTHERWISE, IT SHALL BE PROTECTED BY A SUITABLE BARRIER.

- (a) A WALL OR SUITABLE BARRIER WITH A MINIMUM HEIGHT OF 450mm, OR
- (b) WHERE AN OPEN BALUSTRADE IS PROVIDED A KERB OR KERB RAIL SHALL BE PROVIDED.

INTERNATIONAL SYMBOL OF ACCESS

THE FORM OF THE INTERNATIONAL SYMBOL OF ACCESS SHALL BE AS FOLLOWS:

- (a) THE SYMBOL OF ACCESS SHALL CONSIST OF TWO ELEMENTS: A STYLIZED FIGURE IN A WHEELCHAIR POINTING TO THE RIGHT ON A PLAIN SQUARE BACKGROUND.
- (b) THE PROPORTIONAL LAYOUT OF THE SYMBOL OF ACCESS SHALL BE IN ACCORDANCE WITH FIGURE 10.
- (c) THE COLOUR OF THE FIGURE SHALL BE WHITE ON A BLUE BACKGROUND IN ACCORDANCE WITH FIGURE 11. THE BLUE SHALL BE 22.5% TRANSPARENT OF BS 2700, OR 36% A3.
- (d) THE SIGNS INDICATING THE DIRECTION TO A FACILITY, AN ARROW SHALL BE USED IN COMBINATION WITH THE INTERNATIONAL SYMBOL OF ACCESS.

NOTE: SIGNS IDENTIFYING A FACILITY MAY BE USED EITHER WITH OR WITHOUT DIRECTIONAL ARROWS.

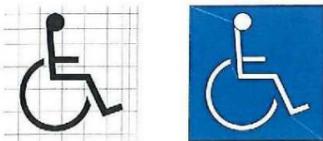


FIGURE 10 NOTE: The grid is for positional purposes only



FIGURE 11

6.6 VISUAL INDICATORS ON GLAZING

WHERE THERE IS NO CHAIR RAIL, HANDRAIL OR TRANSOM, ALL FRAMELESS OR FULLY GLAZED DOORS, Sidelights, INCLUDING ANY GLAZING CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, SHALL BE CLEARLY MARKED FOR THEIR FULL WIDTH WITH A SOLID CONTRASTING LINE. THE CONTRASTING LINE SHALL BE NOT LESS THAN 75 MM WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL. THE LOWER EDGE OF THE CONTRASTING LINE SHALL BE LOCATED BETWEEN 900mm AND 1000mm ABOVE THE PLANE OF THE FINISHED FLOOR LEVEL. ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MINIMUM OF 30% LUMINANCE CONTRAST WHEN VIEWED AGAINST THE FLOOR SURFACE OR SURFACES WITHIN 2 M OF THE GLAZING ON THE OPPOSITE SIDE.

FLOOR AND GROUND SURFACES:

A CONTINUOUS ACCESSIBLE PATH OF TRAVEL AND ANY CIRCULATION SPACES SHALL HAVE A SLIP-RESISTANT SURFACE. THE TEXTURE OF THE SURFACE SHALL BE TAKEN INTO ACCOUNT BY PEOPLE WHO USE A WHEELCHAIR AND THOSE WITH AN AMBLANT OR SENSORY DISABILITY.

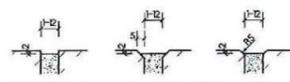
- (a) THE RILE HEIGHT SHALL NOT EXCEED 8MM AND THE BASE HEIGHT SHALL NOT EXCEED 4MM.
- (b) EXPOSED EDGES OF FLOOR COVERINGS SHALL BE FASTENED TO THE FLOOR SURFACE AND SHALL HAVE A TRIM ALONG THE ENTIRE LENGTH OF ANY EXPOSED EDGE.
- (c) AT THE LEADING EDGES, CURB TRIMS AND ANY SOFT FLEXIBLE MATERIALS SHALL HAVE A VERTICAL FACE NO HIGHER THAN 3MM OR A ROUNDED BEVELLED EDGE NO HIGHER THAN 3MM OR ABOVE THAT HEIGHT A GRADIENT OF 1 IN 8 UP TO A MAXIMUM HEIGHT OF 10MM.

RECESSED HANtering WITHIN A CONTINUOUS ACCESSIBLE PATH OF TRAVEL:

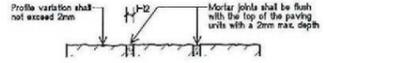
- (a) WHERE OF METAL AND BRISTLE TYPE CONSTRUCTION OR SIMILAR ITS SURFACE SHALL BE NO MORE THAN 3MM F VERTICAL OR 3MM F ROUNDED OR BEVELLED, ABOVE OR BELOW THE SURROUNDING SURFACE AND
- (b) WHERE OF MAT OR CARPET TYPE MATERIAL SHALL HAVE A FULLY COMPRESSED SURFACE LEVEL WITH OR ABOVE THE SURROUNDING SURFACE WITH A LEVEL DIFFERENCE NO GREATER THAN 3MM F VERTICAL OR 3MM F ROUNDED OR BEVELLED.

GRATES SHALL COMPLY WITH:

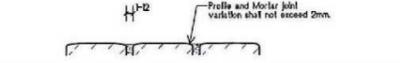
- (a) CIRCULAR OPENINGS SHALL BE NOT GREATER THAN 15MM IN DIAMETER.
- (b) SLOTTED OPENINGS SHALL BE NOT GREATER THAN 15MM WIDE AND BE ORIENTED SO THAT THE LONG DIMENSION IS TRANSVERSE TO THE DIRECTION OF TRAVEL. NOTE: Where slotted openings are less than 20mm, the length of the slots may continue across the width of path of travel.



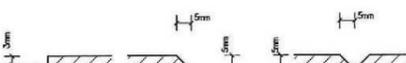
CONTINUOUS PAVING UNITS WITH LEVEL SURFACES



CONTINUOUS PAVING UNITS WITH IRREGULAR SURFACES



CONTINUOUS PAVING UNITS WITH DOMED SURFACES



ACCEPTABLE CONSTRUCTION TOLERANCES FOR ABUTMENT OF SURFACES.

LOCATION OF BRAILLE AND TACTILE SIGNS

SIGNS INCLUDING SYMBOLS, NUMBERS AND LETTERING MUST BE DESIGNED AND INSTALLED AS FOLLOWS:

- (a) BRAILLE AND TACTILE COMPONENTS OF A SIGN MUST BE LOCATED NOT LESS THAN 200mm AND NOT HIGHER THAN 1000mm ABOVE THE FLOOR OR GROUND SURFACE.
- (b) SIGNS WITH SINGLE LINES OF CHARACTERS MUST HAVE THE LINE OF TACTILE CHARACTERS NOT LESS THAN 250mm AND NOT HIGHER THAN 1050mm ABOVE THE FLOOR OR GROUND SURFACE.
- (c) SIGNS IDENTIFYING ROOMS CONTAINING FEATURES OF FACILITIES LISTED IN D38 MUST BE LOCATED -
 - (i) ON THE WALL ON THE LATCH SIDE OF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50mm AND 300mm FROM THE ARCHITRAVE; AND
 - (ii) WHERE IT IS NOT POSSIBLE, THE SIGN MAY BE PLACED ON THE DOOR ITSELF.
- (d) SIGNS IDENTIFYING A DOOR REQUIRED BY E4.5 TO BE PROVIDED WITH AN EXIT SIGN MUST BE LOCATED -
 - (i) ON THE SIDE THAT FACES A PERSON SEEKING EGRESS; AND
 - (ii) ON THE WALL ON THE LATCH SIDE OF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50mm AND 300mm FROM THE ARCHITRAVE; AND
 - (iii) WHERE IT IS NOT POSSIBLE, THE SIGN MAY BE PLACED ON THE DOOR ITSELF.

6.6 VISUAL INDICATORS ON GLAZING

WHERE THERE IS NO CHAIR RAIL, HANDRAIL OR TRANSOM, ALL FRAMELESS OR FULLY GLAZED DOORS, Sidelights, INCLUDING ANY GLAZING CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, SHALL BE CLEARLY MARKED FOR THEIR FULL WIDTH WITH A SOLID CONTRASTING LINE. THE CONTRASTING LINE SHALL BE NOT LESS THAN 75 MM WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL. THE LOWER EDGE OF THE CONTRASTING LINE SHALL BE LOCATED BETWEEN 900mm AND 1000mm ABOVE THE PLANE OF THE FINISHED FLOOR LEVEL. ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MINIMUM OF 30% LUMINANCE CONTRAST WHEN VIEWED AGAINST THE FLOOR SURFACE OR SURFACES WITHIN 2 M OF THE GLAZING ON THE OPPOSITE SIDE.

GENERAL

CIRCULATION SPACES SHALL BE PROVIDED AT EVERY DOORWAY, GATE, OR SIMILAR ENTRY WAY, ON A CONTINUOUS ACCESSIBLE PATH OF TRAVEL.

CIRCULATION SPACES AT DOORWAYS SHALL HAVE A GRADIENT AND CROSSFALL NOT STEEPER THAN 1 IN 40.

DOORWAY CIRCULATION SPACES SHALL BE USED IN COMBINATION TO ALLOW ACCESS THROUGH DOORWAYS IN BOTH DIRECTIONS.

THE DIMENSIONS SHALL ALSO APPLY IN MIRROR IMAGE CONFIGURATIONS. WHERE CLEAR DOORWAY OPENINGS ARE INTERMEDIATE, THE REQUIRED CIRCULATION SPACES SHALL BE INTERPOLATED.

SWINGING DOORS

THE CLEAR CIRCULATION SPACE AT DOORWAYS WITH SWINGING DOORS IS BASED ON THE CLEAR OPENING WIDTH OF THE DOORWAY. THE CLEAR CIRCULATION SPACE SHALL BE NOT LESS THAN THE DIMENSIONS SPECIFIED IN DIAGRAMS FOR THE APPROPRIATE CLEAR OPENING WIDTH.

SLIDING DOORS

THE CLEAR CIRCULATION SPACE AT DOORWAYS WITH SLIDING DOORS IS BASED ON THE CLEAR OPENING WIDTH OF THE DOORWAY. THE CLEAR CIRCULATION SPACE SHALL BE NOT LESS THAN THE DIMENSIONS SPECIFIED IN DIAGRAMS FOR THE APPROPRIATE CLEAR OPENING WIDTH.

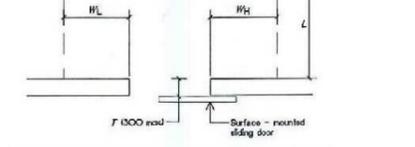
CAVITY SLIDING DOORS

WHERE A SLIDING DOOR IS WITHIN THE WALL CAVITY, THE CIRCULATION SPACE AT THE DOORWAY SHALL BE NOT LESS THAN THAT SPECIFIED IN DIAGRAMS FOR THE APPROPRIATE CLEAR OPENING WIDTH.

SURFACE MOUNTED DOORS

WHERE A SLIDING DOOR IS SURFACE MOUNTED, THE CIRCULATION SPACE AT THE DOORWAY SHALL BE AS FOLLOWS:

- (a) THE CIRCULATION SPACE AT THE FACE SHALL BE NOT LESS THAN THAT SPECIFIED IN DIAGRAMS.
- (b) THE CIRCULATION SPACE OPPOSITE THE DOOR FACE SHALL BE INCREASED FROM THAT SPECIFIED IN THE TABLE BELOW, WHEN A SURFACE-MOUNTED SLIDING DOOR IS AUTOMATIC. THESE INCREASES DO NOT APPLY.



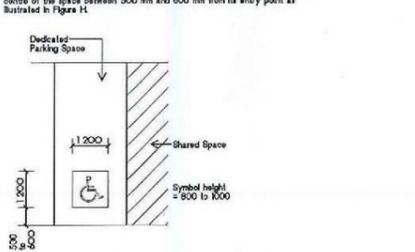
Door approach	Increase from Figure S2
Figure S2(a)	Add dimension T to dimensions WL and WH
Figure S2(a), S2(b), S2(c)	Add dimension T to dimensions L, WL and WH

T = wall thickness to the face of the door

SPACE IDENTIFICATION AND DELINEATION

Space Identification And Delineation to comply with AS/NZS 2890:2009

SPACE IDENTIFICATION
Each dedicated space shall be identified by means of a white symbol of access in accordance with AS 14281 between 500 mm and 1000 mm high placed on a blue rectangle with no side more than 500 mm placed as a pavement marking in the centre of the space between 500 mm and 800 mm from its entry point as illustrated in Figure H.



USE OF SYMBOL OF ACCESS TO IDENTIFY SPACES

The requirement for a symbol of access to be placed on the pavement that not apply to any privately owned parking space for people with disabilities associated with a single residence and intended primarily for use by the occupants of that residence.

SPACE DELINEATION
Pavement markings specified in items (a) and (b) of this Clause shall be yellow and shall have a slip-resistant surface. Painted pavement markers shall not be used for space delineation.

Pavement markings shall be provided as follows:

- (a) Dedicated parking spaces shall be outlined with broken lines 80 to 100 mm wide on all sides excepting any side delineated by a kerb, barrier or wall.
- (b) Shared areas shall be marked as follows:
 - (i) at least 1500 mm wide by 7800 mm long.
 - (ii) Walkways wholly or partly within a shared area shall be marked with broken longitudinal lines on both sides of the walkway excepting any side delineated by a kerb, barrier or wall.
 - (iii) Other vacant non-travelled areas, which may be intentionally or unintentionally obstructed (eg by unattended parking), shall be outlined with broken lines 80 to 100 mm wide on all sides excepting any side delineated by a kerb, barrier or wall, and marked with diagonal stripes 150 to 200 mm wide with spaces 200 mm to 300 mm between stripes. The stripes shall be at an angle of 45° to 90° to the side of the space.
 - (iv) No shared area markings shall be placed in trafficked areas.

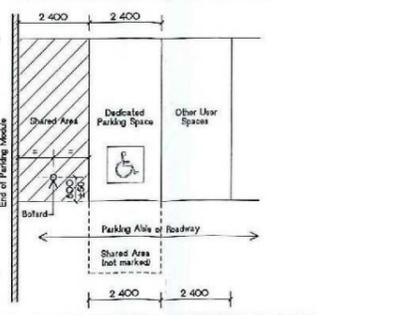


FIGURE B EXAMPLE OF AN ANGLE PARKING SPACE WITH SHARED AREA ON ONE SIDE ONLY.

PARKING SPACE LAYOUT AND ACCESS

Parking space layout and access to comply with AS/NZS 2890:2009

PARKING SPACES - DIMENSIONS IN METRES

ANGLE PARKING SPACES
An angle parking space shall comprise a combination of areas as illustrated in Figure A as follows:

- (a) A dedicated non-shared space: 2400 mm wide by 5400 mm long
- (b) A shared area on one side of the dedicated space: 2400 mm wide by 5400 mm long
- (c) A shared area 2400 mm long by 2400 mm wide at one end of the dedicated space. It may be centrally at the front or centrally at the rear of the dedicated space.
- (d) The dedicated space and the shared area shall be at the same level.
- (e) Bollards shall be provided in the position shown in Figures B and C.
- (f) The angle parking angle shall be between 45 degrees and 90 degrees. It is not required that all spaces within a car park be at the same parking angle.

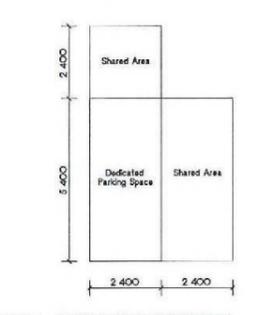


FIGURE A DIMENSIONS OF ANGLE PARKING SPACES

PAVEMENT SLOPE AND SURFACE

Each parking space for people with disabilities and related walking and wheelchair parking areas shall comprise a firm plane surface with a fall not exceeding 1:50 in any direction (1:33) to the surface to a drainage gully and the parking space is out of door. These areas shall have a slip-resistant surface.

HEADROOM

The path of vehicular travel from the car park entrance to all parking spaces for people with disabilities and from these spaces to the car park exit shall have a minimum headroom of 2200 mm.

The headroom above each dedicated space and adjacent shared area, measured from the level of the dedicated space shall be a minimum of 2500mm. For an angle parking space the headroom of the front of the space and its adjacent shared area may be reduced to be within the profile shown in Figure G.

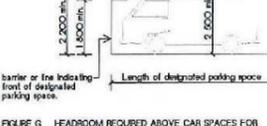


FIGURE G HEADROOM REQUIRED ABOVE CAR SPACES FOR PEOPLE WITH DISABILITIES

KERB RAMPS

Where kerb ramps are to be provided they shall be placed at a front or rear corner of the parking space.

LIGHTING SPECIFICATIONS

Lighting of the face and body shall be required to enable lipreading and sign language communication in the following settings:

- Reception, sales counters, auditoriums or classrooms and the like.
- Sign interpreter locations.
- Building foyers, theatre lobbies, public spaces, outdoor public transport terminals etc.

Lighting systems should provide a safe and comfortable visual environment to facilitate communication and activity. The following is required:

- Even lighting levels to avoid glare, shadows and reflections.
- Minimization of glare and unwanted reflections.

ILLUMINATION

- Signage shall be illuminated to a minimum illumination of 240 lx.
- Minimum Illumination to comply with AS/NZS 16901 and AS/NZS 3827.2.
- Minimum Illumination of 100 lx to be provided where no higher illumination has been specified by AS/NZS 16901 and AS/NZS 3827.

GLARE

Glare shall be prevented as specified in AS/NZS 18801.

Reduction to prevent glare:

- Curtains or blinds, tinted low transmission glazing or adjustable opaque louvers.
- Appropriate choice of materials, light diffusers, positioning laminae away from the viewer's line of sight, and use of low reflectance surfaces.

LUMINANCE CONTRAST AT DOORWAYS

Glare shall be prevented as specified in AS/NZS 18801.

All doorways shall have a minimum luminance contrast of 30% provided between:

- (a) door leaf and door jamb;
- (b) door leaf and adjacent wall;
- (c) architrave and wall;
- (d) door leaf and architrave;
- (e) door jamb and adjacent wall.

The minimum width of the area of luminance contrast shall be 50mm.

D3.6 SIGNAGE

WHERE REQUIRED BY THE NCC, RAISED TACTILE AND OR BRAILLE SIGNAGE SHALL BE PROVIDED AS FOLLOWS:

- (a) BRAILLE AND TACTILE SIGNAGE COMPLYING WITH SPECIFICATION D3.6 MUST:
 - (i) INCORPORATE THE INTERNATIONAL SYMBOL OF ACCESS OR DEAFNESS, AS APPROPRIATE, IN ACCORDANCE WITH AS 14281 AND IDENTIFY EACH;
 - (ii) SANITARY FACILITY, EXCEPT A SANITARY FACILITY WITH A SOLE-OCCUPANCY SOLE-OCCUPANCY UNIT IN A CLASS B OR CLASS 3 BUILDING; AND
 - (iii) SPACE WITH A HEARING AUGMENTATION SYSTEM AND
 - (iv) IDENTIFY EACH DOOR REQUIRED BY E4.5 TO BE PROVIDED WITH AN EXIT SIGN & STATE:
 - (A) 'EXIT'; AND
 - (B) 'LEVEL' FOLLOWED BY THE FLOOR LEVEL NUMBER AND
 - (v) SIGNAGE INCLUDING THE INTERNATIONAL SYMBOL FOR DEAFNESS IN ACCORDANCE WITH AS 14281 MUST BE PROVIDED WITHIN A ROOM CONTAINING A HEARING AUGMENTATION SYSTEM IDENTIFYING:
 - (i) THE TYPE OF HEARING AUGMENTATION; AND
 - (ii) THE AREA COVERED WITHIN THE ROOM AND
 - (iii) IF RECEIVERS ARE BEING USED AND WHERE THE RECEIVERS CAN BE OBTAINED; AND
 - (vi) SIGNAGE IN ACCORDANCE WITH AS 14281 MUST BE PROVIDED FOR ACCESSIBLE UNisex SANITARY FACILITIES TO IDENTIFY IF THE FACILITY IS SUITABLE FOR LEFT OR RIGHT HANDED USE. THE MINIMUM SIZE OF FONT SHALL BE 30mm HIGH AND
 - (vii) SIGNAGE TO IDENTIFY AN AMBLANT ACCESSIBLE SANITARY FACILITY IN ACCORDANCE WITH AS 14281 MUST BE LOCATED ON THE DOOR OF THE FACILITY; AND
 - (viii) WHERE A BANK OF SANITARY FACILITIES IS NOT PROVIDED WITH AN ACCESSIBLE UNisex SANITARY FACILITY, DIRECTIONAL SIGNAGE INCORPORATING THE INTERNATIONAL SYMBOL OF ACCESS IN ACCORDANCE WITH AS 14281 MUST BE PROVIDED TO DIRECT A PERSON TO THE LOCATION OF THE NEAREST ACCESSIBLE PEDESTRIAN ENTRANCE AND PEDESTRIAN ENTRANCE; AND
 - (ix) WHERE A BANK OF SANITARY FACILITIES IS NOT PROVIDED WITH AN ACCESSIBLE UNisex SANITARY FACILITY, DIRECTIONAL SIGNAGE INCORPORATING THE INTERNATIONAL SYMBOL OF ACCESS IN ACCORDANCE WITH AS 14281 MUST BE PROVIDED TO DIRECT A PERSON TO THE LOCATION OF THE NEAREST ACCESSIBLE UNisex SANITARY FACILITY.
- (b) ENTRY DOORS TO UNLOCKS SERVING AREAS CONTAINING SANITARY FACILITIES SHALL BE IDENTIFIED WITH A SYMBOL IDENTIFYING EACH SANITARY FACILITY WITHIN.
- (c) ELEMENTS OF A SIGN SHALL BE SET OUT SEPARATELY, OR IN A MODULAR FORM, EXCEPT THAT WHERE WORDS ARE USED, THEY SHALL BE DISPLAYED HORIZONTALLY.
- (d) ELEMENTS OF A SIGN SHALL BE ARRANGED HORIZONTALLY OR VERTICALLY, EXCEPT THAT WHERE WORDS ARE USED, THEY SHALL BE DISPLAYED HORIZONTALLY.
- (e) FACILITIES SHALL BE IDENTIFIED BY THE USE OF ENGLISH WORDS BETWEEN 1200 MM AND 1600 MM ABOVE FINISHED FLOOR LEVELS.
- (f) TEXT, NUMERALS AND SYMBOLS ON SIGNS TO COMPLY WITH ASH285 - 200 SIGNS SHALL BE IN A SAN-SERIF FONT SUCH AS HELVETICA, MEDIUM OR ARAL.
- (g) BE SENTENCE CASE (i.e. UPPER CASE FOR THE FIRST LETTER OF THE SENTENCE AND PROPER NOUNS AND LOWER CASE FOR ALL OTHER LETTERS).
- (h) HAVE A MINIMUM LUMINANCE CONTRAST OF 30% COMPARED TO THE BACKGROUND, AND BE GLARE FREE WHEN MOUNTED.
- (i) NUMERALS SHALL BE ARABIC NUMERALS.

E4.5 EXIT SIGNS

AN EXIT SIGN MUST BE CLEARLY VISIBLE TO PERSONS APPROACHING THE EXIT, AND MUST BE INSTALLED ON, ABOVE OR ADJACENT TO EACH-

- (a) DOOR PROVIDING DIRECT EGRESS FROM A STOREY TO-
- (i) AN ENCLOSED STARWAY, PASSAGEWAY OR RAMP SERVING AS A REQUIRED EXIT; AND
- (ii) AN EXTERNAL STARWAY, PASSAGEWAY OR RAMP SERVING AS A REQUIRED EXIT; AND
- (iii) AN EXTERNAL ACCESS BALCONY LEADING TO A REQUIRED EXIT; AND
- (b) DOOR FROM AN ENCLOSED STARWAY, PASSAGEWAY OR RAMP AT EVERY LEVEL OF DISCHARGE TO A ROAD OR OPEN SPACE; AND
- (c) HORIZONTAL EXIT; AND
- (d) DOOR SERVING AS, OR FORMING PART OF, A REQUIRED EXIT IN A STOREY REQUIRED TO BE PROVIDED WITH EMERGENCY LIGHTING IN ACCORDANCE WITH E4.5.

COMPLYING WITH THE ABOVE REQUIREMENTS, DOES NOT MEAN THAT YOUR SIGNAGE COMPLIES WITH THE BUILDING CODE OF AUSTRALIA NATIONAL CONSTRUCTION CODE. THERE ARE FURTHER SPECIFICATIONS TO THE ABOVE SECTIONS THAT SPECIFY THE CORRECT DIMENSIONS AND OTHER SPECIFIC INFORMATION.

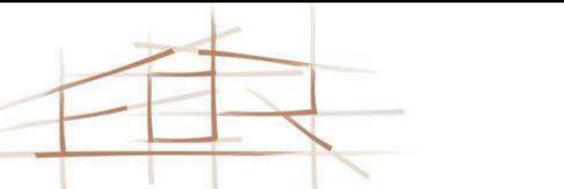
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ISSUES/REVISIONS

No.	Description	Date

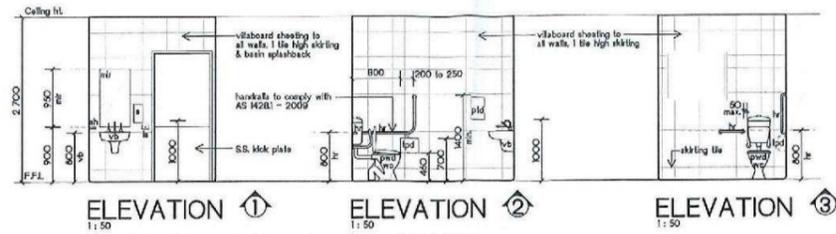
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Drawing Title: **DISABLED DESIGN**
Project Type: **Proposed Units**
Client Name: **Tropic Coast Homes**
Project Address: **Lot 34 Strattmann St Mareeba**

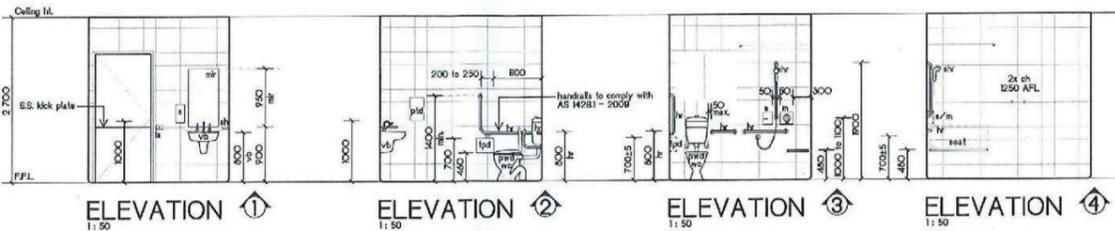
Project Number: **24021**
Drawn By: **Author**
Scale: **AT A3**
Sheet Number: **A-06**



ELEVATION ①
1:50
ELEVATION ②
1:50
ELEVATION ③
1:50

NOTE: Hand towel dispensers, hand dryers and soap dispensers shall be installed so that the operative component is at a height of not less than 900mm and not more than 1000mm above the finished floor level.
Cross fall gradients to finished toilet floors to be between 1:80 and 1:100.
The finished floor gradient to the shower recess to be between 1:80 and 1:100.

INTERNAL ROOM ELEVATIONS. A1.08



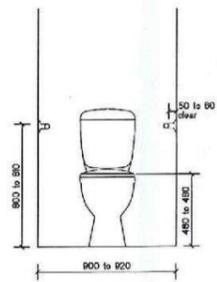
ELEVATION ①
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ELEVATION ④
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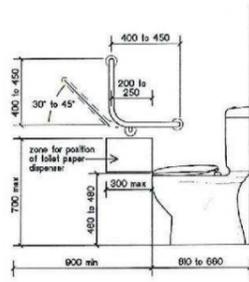
INTERNAL ROOM ELEVATIONS. A1.20

CIRCULATION SPACE

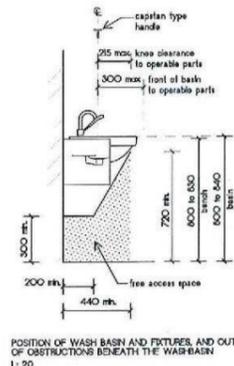
- GENERAL
- For each WC, the unobstructed circulation space from the finished floor to a height of not less than 2000 mm, except for the following which are allowed to intrude into the circulation space:
- (a) The toilet paper dispenser less Clause 15.2.6.
 - (b) Grabrails less Clause 15.2.7.
 - (c) Washbasin hinged to 100 mm intrusion.
 - (d) Hand dryers and towel dispensers.
 - (e) Soap dispensers less Clause 15.4.3.
 - (f) Shelves less Clause 15.4.2.
 - (g) Wall cabinets, where provided, which shall not protrude more than 150 mm into the circulation space. The mounting of wall cabinets shall be at least 900 mm above floor level and the top shelf shall be a maximum of 1500 mm above floor level.
 - (h) Clothes hanging devices less Clause 15.4.4.
 - (i) Portable sanitary disposal unit as shown in Figure 43, AS 14281 (2009).
 - (j) Other wall mounted fixtures, such as dispensing units and sharps disposal units, which shall have 800 mm minimum height clearance from the finished floor level and a maximum projection of 50 mm from finished wall surface.
- The overlapping of circulation spaces shall be in accordance with Clause 15.6.
- WC DOORS
- WC doors may be either hinged or sliding. WC doors shall comply with the following:
- (a) Outward-opening doors shall have a mechanism that holds the door in a closed position without the use of a latch.
 - (b) Doors shall be provided with an in-use indicator and a bolt or catch, where a knob catch is used, the knob handle shall have a minimum length of 45 mm from the centre of the spindle. In an emergency, the latch mechanism shall be operable from the outside.
 - (c) The force required to operate the door shall be in accordance with Clause 15.5.2(a).
 - (d) Door handles and hardware shall be in accordance with Clause 15.5.



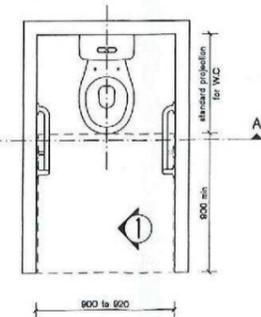
SECTION A
1:20



ELEVATION ①
1:20



POSITION OF WASH BASIN AND FIXTURES, AND OUTER LIMIT OF OBSTRUCTIONS BENEATH THE WASH-BASIN
1:20



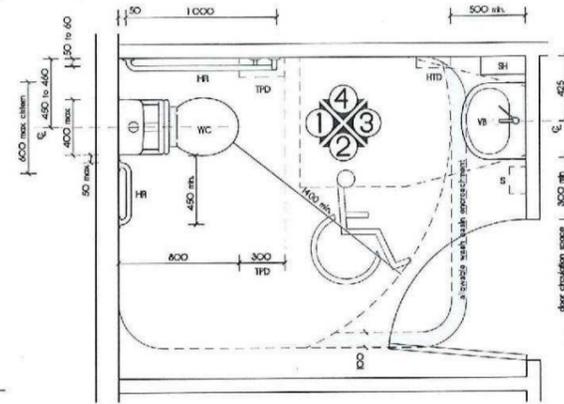
AMBULANT TOILET PLAN
1:20

Note:
AMBULANT SANITARY FACILITIES TO COMPLY WITH AS 14281 - 2009

GRABRAILS

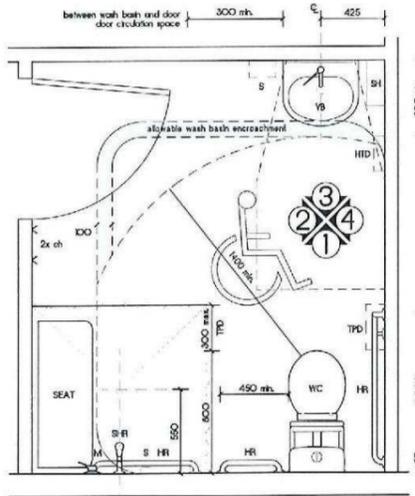
- Grabrails shall comply with the following:
- (a) Grabrails shall be not less than 30 mm and not more than 40 mm outside diameter; or they shall have a spherical shape with the ferris of 30 mm to 40 mm diameter.
 - (b) Exposed edges and corners of grabrails shall have a radius of not less than 5 mm.
 - (c) The fastenings and the materials and construction of grabrails shall be able to withstand a force of 800 N applied at any position and in any direction without deformation or loosening or rotation of the fastenings or fittings.
 - (d) The clearance between a grabrail and the adjacent wall surface or other obstruction shall be not less than 50 mm and not more than 60 mm. The clearance above a horizontal grabrail shall extend above the top of the grabrail by not less than 600 mm. The clearance below a horizontal or angled rail shall be a minimum of 50 mm except at fixing points.
 - (e) Grabrails shall be fixed so that there is no obstruction to the passage of the hand along the top 2/3 of horizontal and angled grabrails. There shall be no obstruction to the passage of the hand for the full length of vertical grabrails.

- Unisex Toilet RH
- Unisex Toilet LH + Shower
- Ambulant Unisex Toilet
- Tea Room



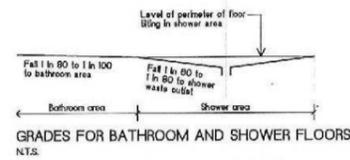
ACCESSIBLE TOILET PLAN
ROOM A1.08
1:20

Note:
ACCESSIBLE SANITARY FACILITIES TO COMPLY WITH AS 14281 - 2009



ACCESSIBLE TOILET & SHOWER PLAN
ROOM A1.20
1:20

Note:
ACCESSIBLE SANITARY FACILITIES TO COMPLY WITH AS 14281 - 2009



GRADES FOR BATHROOM AND SHOWER FLOORS
N.T.S.

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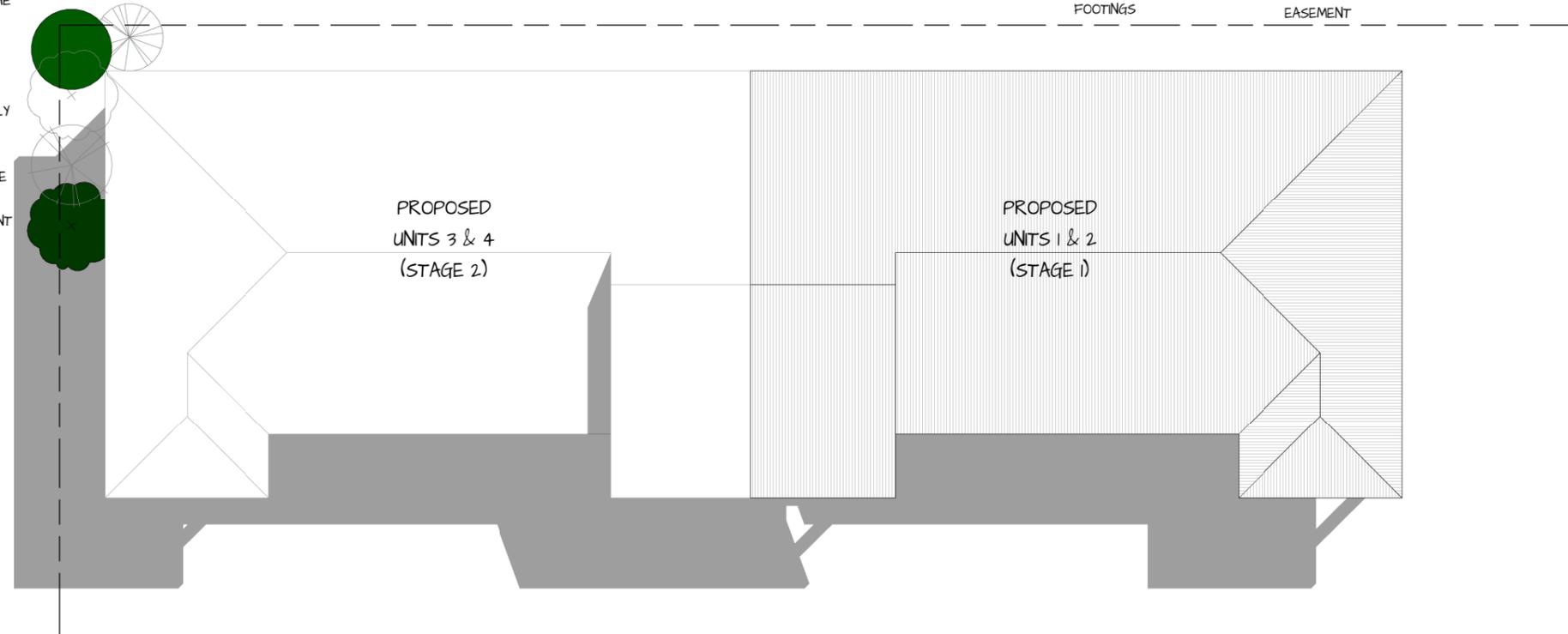
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-Drawing Title:	DISABLED DESIGN	-Project Number:	24021
-Project Type:	Proposed Units	-Drawn By:	Author
-Client Name:	Tropic Coast Homes	-Scale:	AT A3
-Project Address:	Lot 34 Strattmann St Mareeba	-Sheet Number:	A-07

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GENERAL NOTES

- REFER SITE PLANS FOR LOCATION, SETOUT AND ACTUAL LEVELS OF BUILDINGS. CONFIRM PRIOR TO EXCAVATION.
- CONTRACTOR TO CHECK ON SITE ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND FABRICATION.
- ALL DIMENSIONS ARE TO GRID LINES, FACE OF BLOCKWORK/BRICKWORK, FACE OF STUD OR CENTRELINE OF COLUMNS, UNO.
- CONTRACTOR TO CO-ORDINATE ALL SERVICES, PENETRATIONS AND STRUCTURE PRIOR TO CONSTRUCTION AND INFORM THE CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION/FABRICATION RAMP, STAIRS, AND PATHWAYS/APRONS TO COMPLY WITH AS4281 (2009).
- WHERE A TRADE NAMED PRODUCT IS SPECIFIED IN THESE DOCUMENTS, IT IS TO BE CONSIDERED AS, OR EQUIVALENT TO APPROVAL OF CONTRACT ADMINISTRATOR.



STRATTMANN STREET

NOTE

NO SEWER PLAN AVAILABLE AT TIME OF DRAWING. VERIFY ON SITE PRIOR TO CONSTRUCTION
 MAX 500kPa WATER PRESSURE OR INSTALL PRESSURE LIMITING DEVICE

SITE NOTES

LICENSED PLUMBER TO CONFIRM FINAL ALIGNMENT OF HOUSE SEWER & STORMWATER. CONFIRM ALL FALLS PRIOR TO CONSTRUCTION. CLIENT TO PROVIDE SKETCH PLAN SHOWING ANY FUTURE ALTERATIONS, EXTENSIONS, SWIMMING POOLS ETC. SO HOUSE SEWER & STORMWATER CAN BE ALIGNED TO ACCOMMODATE REQUIREMENTS.
 ALL PLUMBING & DRAINAGE WORK SHALL BE IN ACCORDANCE WITH SEWERAGE AND WATER SUPPLY ACT 1949-1982, ASSOCIATED AMENDMENTS & RELEVANT AUSTRALIAN STANDARDS.
 ALL WATER TO BE DRAINED AWAY FROM BUILDING DURING & AFTER CONSTRUCTION & TO COMPLY WITH AS 2870 RESIDENTIAL SLABS & FOOTINGS.
 FINISHED SLAB LEVEL TO BE MINIMUM 250mm ABOVE FINISHED GROUND LEVEL.
 ALL EARTHWORKS TO COMPLY WITH AS 3798-1996 'GUIDELINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENTS'.

ALL EXISTING VEGETATION ON THE PROPERTY WITHIN THE FOOTPRINT OF THE PROPOSED RESIDENCE AND/OR WITHIN A RECOMMENDED SAFE DISTANCE FROM THE PROPOSED RESIDENCE'S FOOTINGS ARE TO BE REMOVED WELL PRIOR TO CONSTRUCTION TO ALLOW THE SOILS MOISTURE CONDITIONS TO RETURN TO A STATE OF EQUILIBRIUM

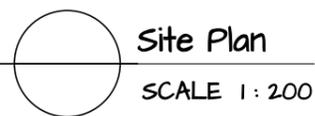
DEPRESSIONS FORMED BY THE REMOVAL OF VEGETATION & ALL DISTURBED WEAKEND SOIL SHOULD BE CLEANED OUT & BACKFILLED WITH COMPACTED SELECT FILL.

LOT NUMBER: 34
 RP NUMBER: M35630
 PARISH: ??
 COUNTY: ??
 SITE AREA: 1012 m²

LEGEND

G1	GATE (900 WIDE)
G2	GATE (3000 WIDE)
— — — —	FENCING AS SELECTED
MH	MAN HOLE
WM	WATER METRE
—S—S—S—	EXIST. SEWER
—SW—SW—SW—	EXIST. STORMWATER
—PL—PL—PL—	EXIST. POWER LINES
—W—W—W—	EXIST. WATER
—E—E—E—	EXIST. ELECTRICAL LINE

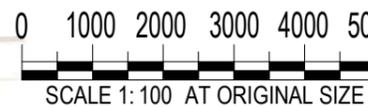
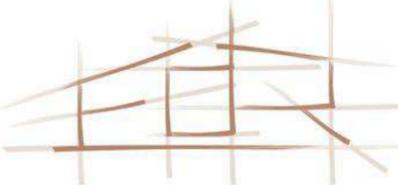
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Drawing Title: **SITE PLAN**
 Project Type: **Proposed Units** Project Number: **24021**
 Client Name: **Tropic Coast Homes** Drawn By: **Edr**
 Project Address: **Lot 34 Stratmann St Mareeba** Scale: **AT A3**
 Sheet Number: **A-08**

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DESIGN WIND CLASSIFICATION C2

SITE NOTES

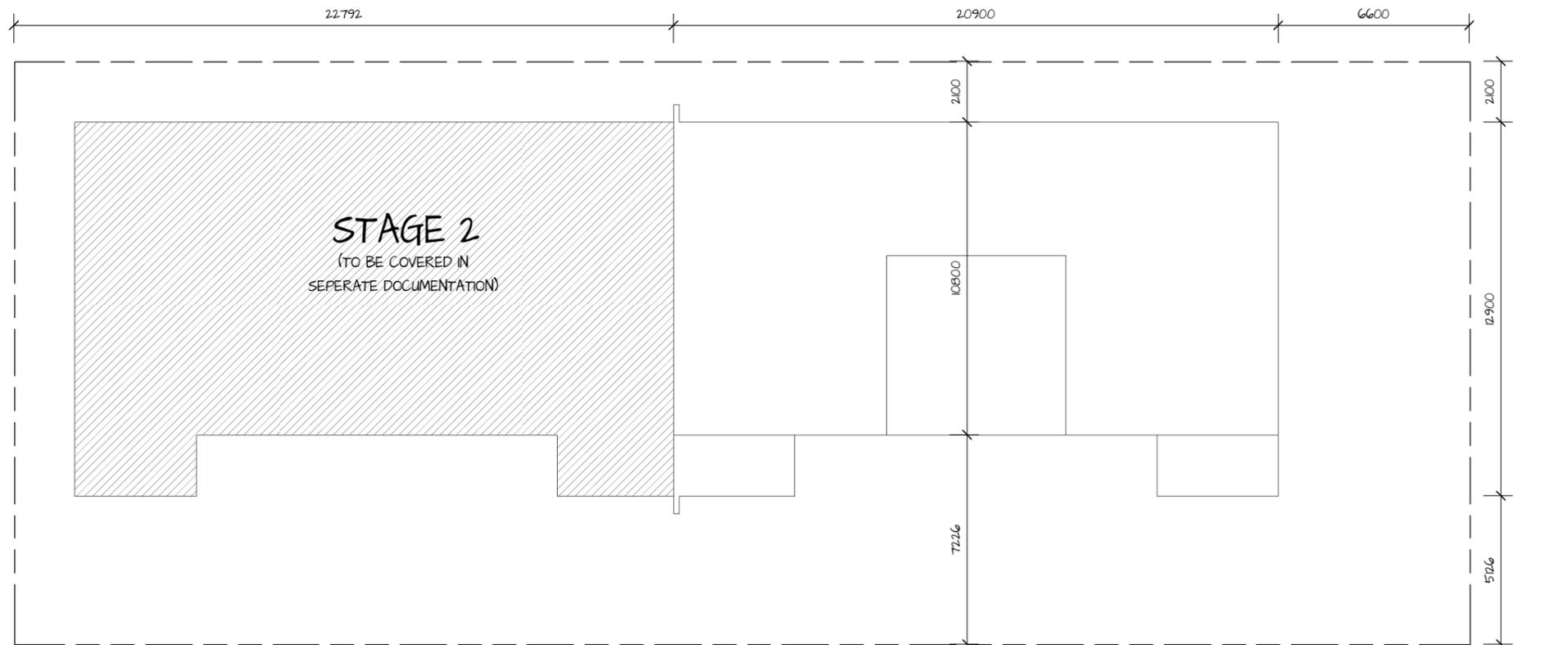
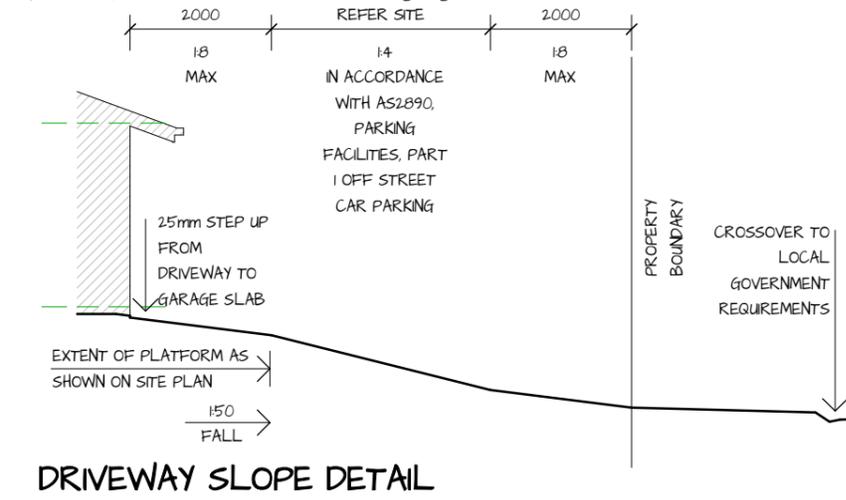
THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING, 1000mm WIDE, IS TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1 IN 20 MINIMUM TO AN EARTH DRAIN AS INDICATED ON THE SITE PLAN.

SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES;

ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER; CUT AND FILL BATTERS NOT TO EXCEED A MAXIMUM SLOPE AS PER BCA TABLE 3.11.1 FOR THE SITE SPECIFIC SOIL TYPE. REFER ALSO TO BCA CLAUSE 3.2.2.4 FOR SLAB EDGE SUPPORT ON SLOPING SITES;

RETAINING WALLS WITH 100Ø AG PIPE BEHIND (TO DISCHARGE TO STORMWATER LINE) AND GRANULAR BACKFILL BEHIND, TO BE WHOLLY CONTAINED WITHIN THE SITE ONLY IF INDICATED ON THE PLANS;

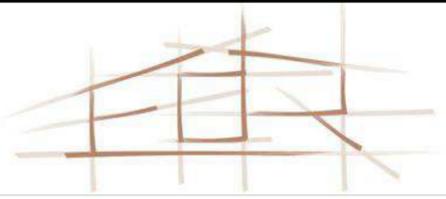
THE HEIGHT OF FENCES, INCLUDING THE HEIGHT OF RETAINING WALLS ARE NOT TO EXCEED 2.0m ABOVE FINISHED GROUND LEVEL, ONLY IF INDICATED ON THE PLANS AND TO LOCAL AUTHORITY APPROVAL.



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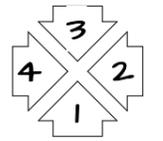
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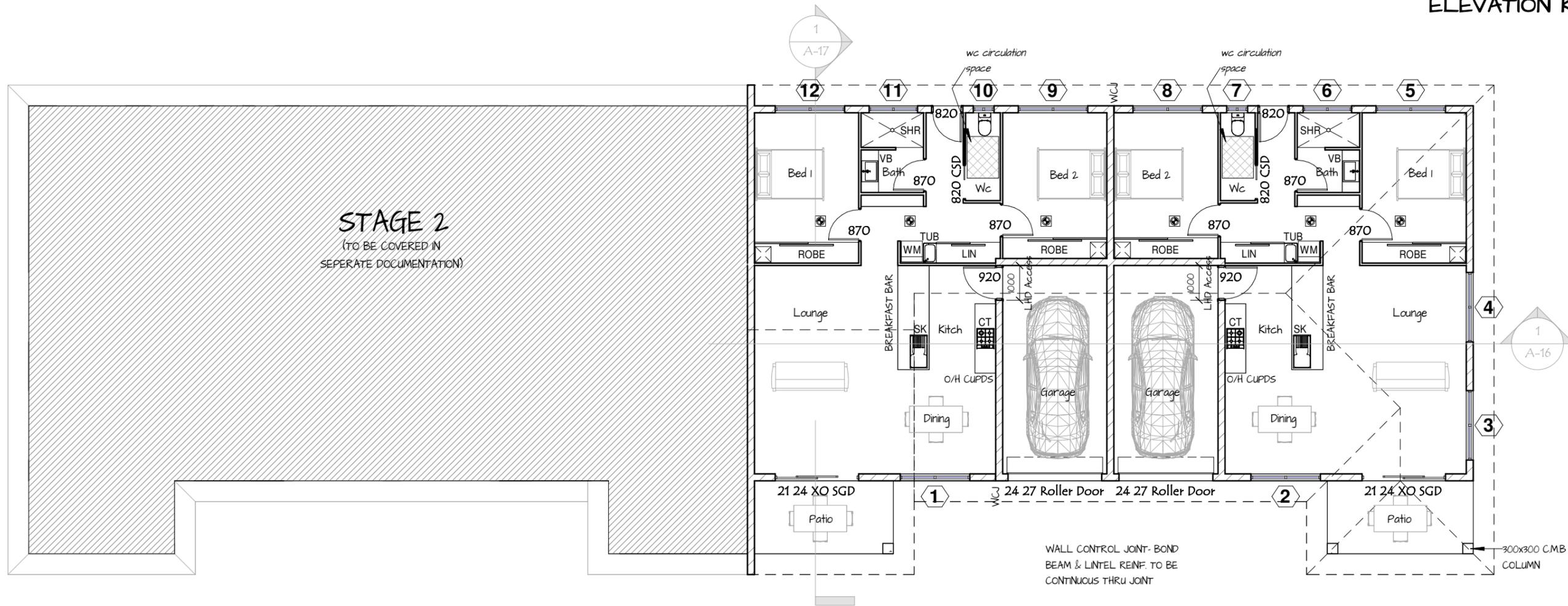
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-Drawing Title:	SITE SETOUT PLAN	-Project Number:	24021
-Project Type:	Proposed Units	-Drawn By:	Author
-Client Name:	Tropic Coast Homes	-Scale:	AT A3
-Project Address:	Lot 34 Strattmann St Mareeba	-Sheet Number:	A-09

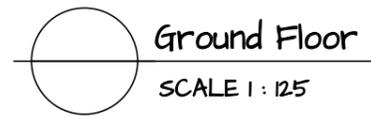
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ELEVATION KEY



CONSTRUCTION ISSUE



Keynote Legend

Key Value	Keynote Text
CT	COOKTOP
LN	LINEN
ROBE	ROBE
SHR	SHOWER
SK	SINK
TUB	LAUNDRY TUB
VB	VANITY BASIN
WM	WASHING MACHINE SPACE

Floor Area

Unit 2 Living	93.6 m ²
Unit 1 Living	93.5 m ²
Unit 1 Garage	19.3 m ²
Unit 2 Garage	19.2 m ²
Unit 2 Patio	8.9 m ²
Unit 1 Patio	8.8 m ²
Total	243.4 m²

GENERAL JOINERY NOTES & STANDARDS

CHECK ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE COMMENCEMENT OF ANY BUILDING WORKS AND/OR COMMENCEMENT OF JOINERY SHOP DRAWINGS

CONTRACTOR TO REPORT ANY DISCREPANCIES (ON DRAWING OR ON SITE) BEFORE COMMENCING OF ANY BUILDING WORKS AND/OR COMMENCEMENT OF JOINERY SHOP DRAWINGS

SPECIFIED PROPRIETARY ITEMS DOES NOT IMPLY PREFERENCE FOR THE ITEM INDICATED, BUT IDENTIFIES THE MINIMUM PROPERTIES REQUIRED FOR SUCH ITEMS. ANY SUBSTITUTIONS ARE BY APPROVAL ONLY

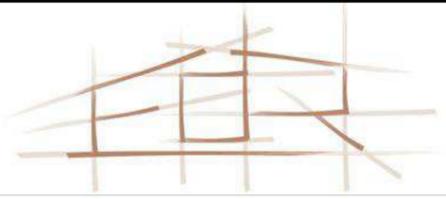
CONFIRM NOMINATED APPLIANCES' MANUFACTURER'S RECOMMENDATIONS, SPECIFICATION, REQUIRED SPATIAL REQUIREMENTS AND INSTALLATION REQUIREMENTS WHERE SPECIFIED AS PART OF JOINERY UNIT AND / OR LOCATED ADJACENT TO - REFER JOINERY DRAWINGS AND FLOOR PLAN

JOINER TO ENSURE ALL APPLIANCES AND EQUIPMENT FITS IN ALLOCATED SPACINGS, AND TO ADVISE AND ACCOUNT FOR ADJUSTMENTS FOR APPROVED SUBSTITUTIONS

JOINER TO ENSURE ALL APPLIANCES AND EQUIPMENT THAT REQUIRE POWER, WATER AND/OR WASTE ARE CORRECTLY PROVISIONED

ISSUES/REVISIONS

No.	Description	Date



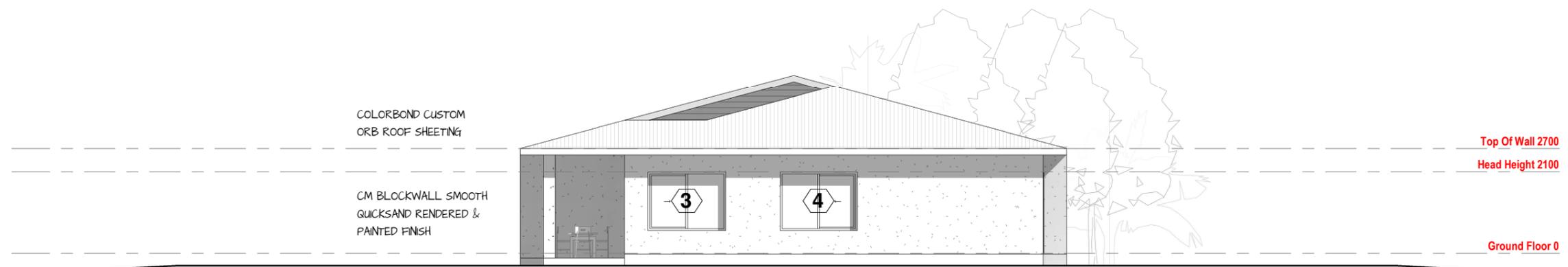
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Drawing Title:	FLOOR PLAN	Project Number:	24021
Project Type:	Proposed Units	Drawn By:	Edr
Client Name:	Tropic Coast Homes	Scale:	AT A3
Project Address:	Lot 34 Strattmann St Mareeba	Sheet Number:	A-10

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Elevation 1



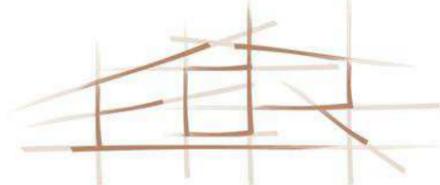
Elevation 2

CONSTRUCTION ISSUE

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-Drawing Title: **ELEVATIONS**
 -Project Type: **Proposed Units** -Project Number: **24021**
 -Client Name: **Tropic Coast Homes** -Drawn By: **Edr**
 -Project Address: **Lot 34 Strattmann St Mareeba** -Scale: **AT A3**
 -Sheet Number: **A-12**

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CM BLOCKWALL SMOOTH GUICKSAND
RENDERED & PAINTED FINISH

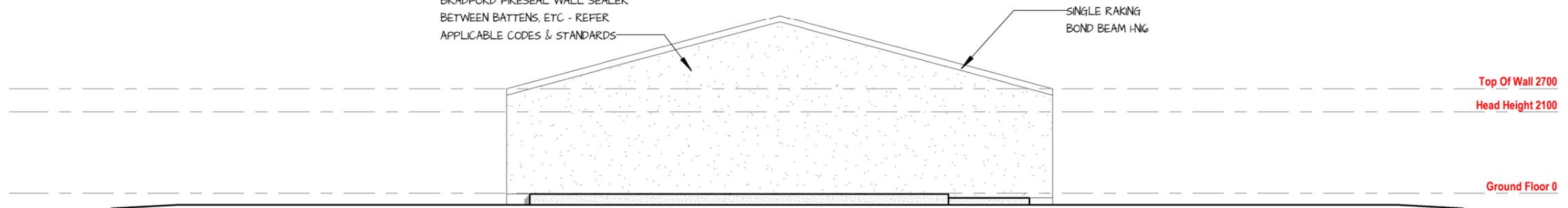


POWDER COATED
ALUMINIUM SLIDING
GLASS WINDOWS

Elevation 3

CORE FILLED CONC MASONRY
BLOCKWORK FIRE SEPERATION PARTY
WALL TO BE CONSTRUCTED TO
UNDERSIDE OF ROOF SHEETING WITH
BRADFORD FIRESEAL WALL SEALER
BETWEEN BATTENS, ETC - REFER
APPLICABLE CODES & STANDARDS

SINGLE RAKING
BOND BEAM HING



Elevation 4

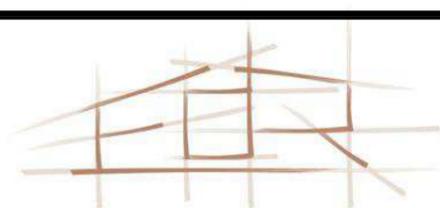
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ISSUES/REVISIONS

NO.	DESCRIPTION	DATE



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-Drawing Title: **ELEVATIONS**
-Project Type: **Proposed Units**
-Client Name: **Tropic Coast Homes**
-Project Address: **Lot 34 Strattmann St Mareeba**
-Project Number: **24021**
-Drawn By: **Author**
-Scale: **A3**
-Sheet Number: **A-13**

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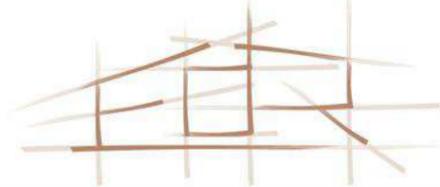


Roof Plan
SCALE 1 : 125

ISSUES/REVISIONS



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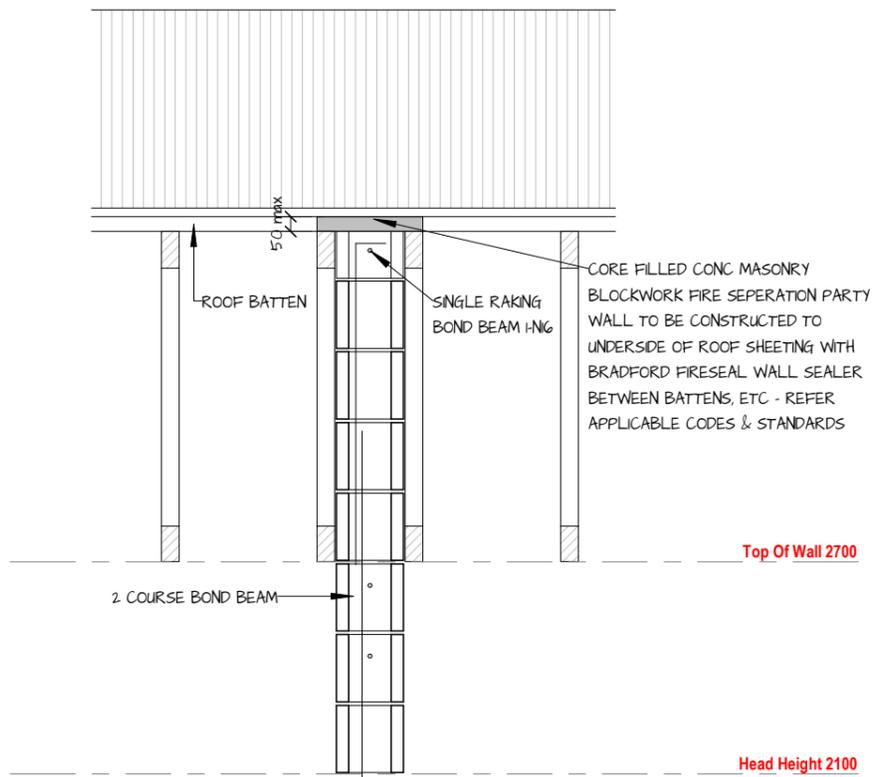
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-Drawing Title: **ROOF PLAN**
-Project Type: **Proposed Units**
-Client Name: **Tropic Coast Homes**
-Project Address: **Lot 34 Stratmann St Mareeba**
-Project Number: **24021**
-Drawn By: **Author**
-Scale: **A3**
-Sheet Number: **A-14**

Window Schedule

No.	Ht	Wd	Description
1	1500	2000	XO SLIDING GLASS WINDOW
2	1500	2000	XO SLIDING GLASS WINDOW
3	1500	2000	XO SLIDING GLASS WINDOW
4	1500	2000	XO SLIDING GLASS WINDOW
5	1500	2000	XO SLIDING GLASS WINDOW
6	600	1400	XO SLIDING GLASS WINDOW LAM OBS
7	600	600	XO SLIDING GLASS WINDOW OBS
8	1500	2000	XO SLIDING GLASS WINDOW
9	1500	2000	XO SLIDING GLASS WINDOW
10	600	600	XO SLIDING GLASS WINDOW OBS
11	600	1400	XO SLIDING GLASS WINDOW LAM OBS
12	1500	2000	XO SLIDING GLASS WINDOW

CONSTRUCTION ISSUE



Fire Wall Detail
SCALE 1 : 20

DOOR NOTES

- REFER TO FLOOR PLANS FOR LOCATION.
- CONFIRM ALL SIZES PRIOR TO ORDERING.
- SWING DOOR SIZES INDICATED ARE LEAF SIZES.
- PROVIDE 3 No. HINGES TO ALL SWING DOORS.
- ALL SWING DOORS MUST HAVE STANDARD DOOR STOPS
- PROVIDE PERSPEX HARDWARE COVER TO ALL SECURITY SCREEN DOORS.

WINDOW NOTES

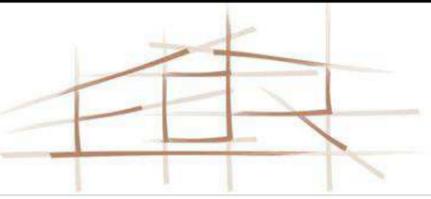
- REFER TO FLOOR PLANS FOR LOCATION.
- CONFIRM ALL SIZES PRIOR TO ORDERING.
- ALL GLAZING TO BE IN ACCORDANCE WITH AS 1288.
- GLASS COLOURING TO BE CONFIRMED PRIOR TO ORDERING.

WINDOW ASSEMBLES:
ALL GLAZING TO COMPLY WITH AS 1288 - GLASS IN BUILDINGS - SELECTION AND INSTALLATION
WINDOW / DOOR ASSEMBLIES TO COMPLY WITH AS 2047 - WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION

LOUVRE WINDOWS FIRST FLOOR:
102mm WIDE BLADE WITH STRONGHOLD SYSTEM, TOUGHENED GLASS BLADES A MAX. OF 707mm LONG.

ISSUES/REVISIONS

No.	Description

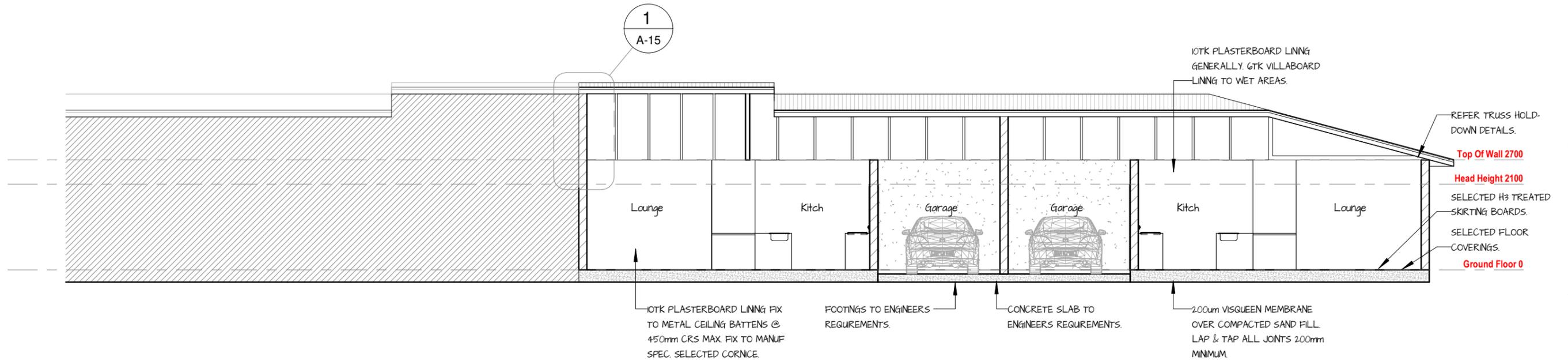


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-Drawing Title: **DETAILS**
 -Project Type: **Proposed Units** -Project Number: **24021**
 -Client Name: **Tropic Coast Homes** -Drawn By: **AUTHOR**
 -Project Address: **Lot 34 Strattmann St Mareeba** -Scale: **AT A3**
 -Sheet Number: **A-15**

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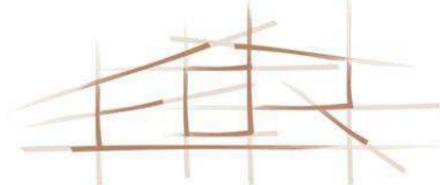


Section 2
SCALE 1 : 100

ISSUES/REVISIONS



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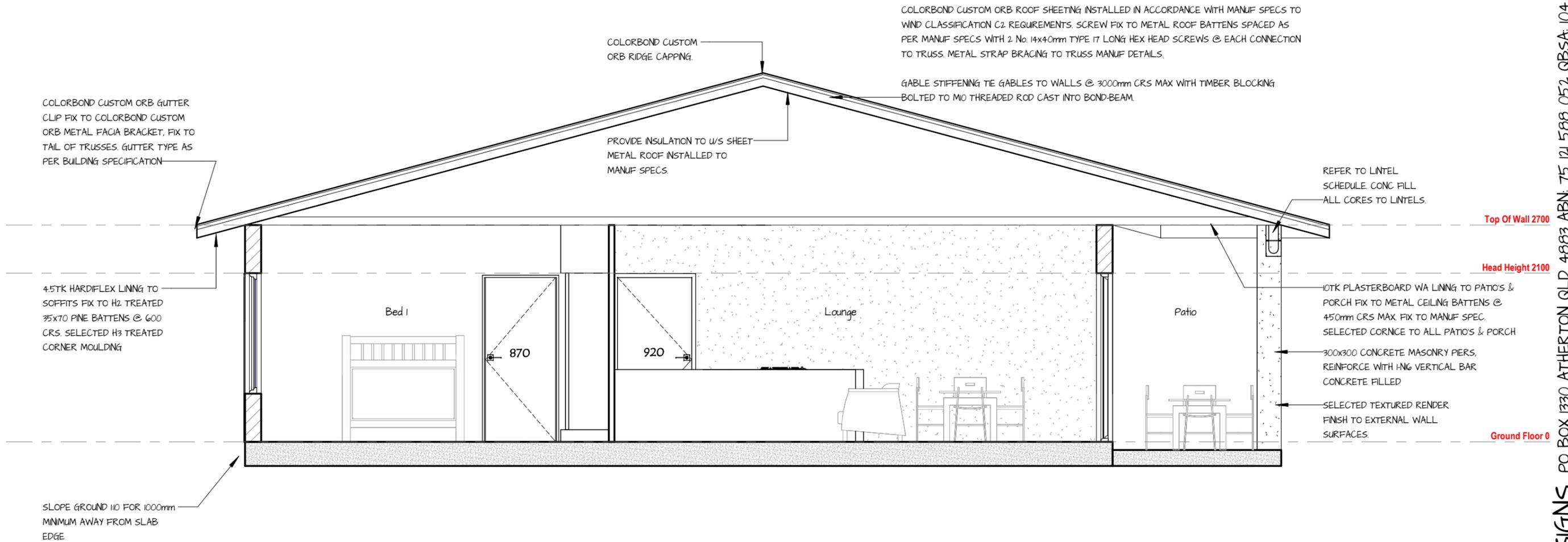
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-Drawing Title: **SECTIONS**
 -Project Type: **Proposed Units** -Project Number: **24021**
 -Client Name: **Tropic Coast Homes** -Drawn By: **Edr**
 -Project Address: **Lot 34 Strattmann St Mareeba** -Scale: **AT A3**
 -Sheet Number: **A-16**

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CONSTRUCTION ISSUE

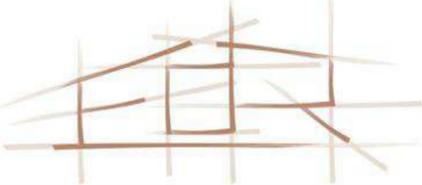


Section 1
SCALE 1:50

ISSUES/REVISIONS



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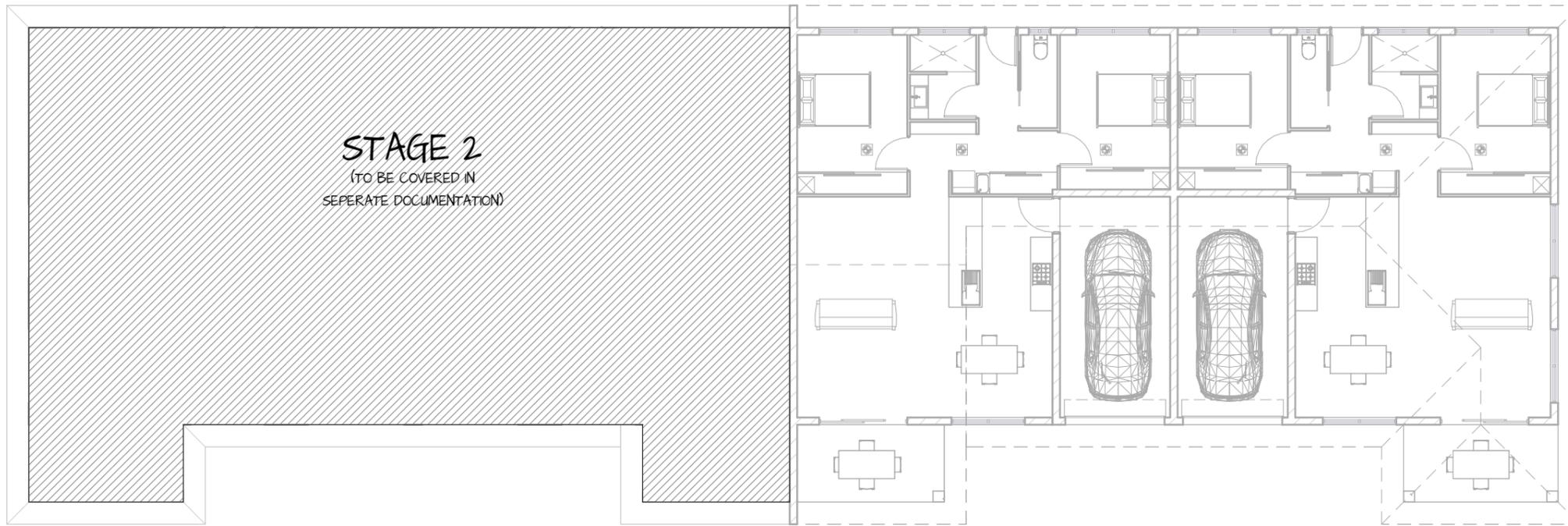
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-Drawing Title: **SECTIONS**
 -Project Type: **Proposed Units** -Project Number: **24021**
 -Client Name: **Tropic Coast Homes** -Drawn By: **Author**
 -Project Address: **Lot 34 Strattmann St Mareeba** -Scale: **A3**
 -Sheet Number: **A-17**

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CONSTRUCTION ISSUE



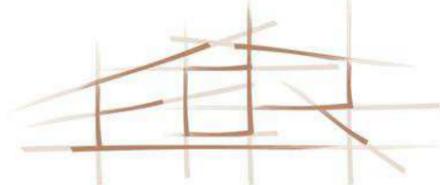
ELECTRICAL LEGEND		
SYMBOL	DESCRIPTION	QTY.
LIGHTING ITEMS		
⊕	LED DOWN LIGHT	-
○	HEAT LIGHT	-
○	WALL LIGHTS	-
—	BATTEN FLUORESCENT	-
○	ROUND FLUORESCENT EXTERNAL	-
⚡	DOUBLE FLOOD LIGHT WITH SENSOR	-
TOTAL LIGHT POINTS		-
POWER ITEMS		
△	SINGLE GPO	-
△	DOUBLE GPO	-
▲	SINGLE GPO (WATERPROOF)	-
▲	DOUBLE GPO (WATERPROOF)	-
TV-□	TELEVISION POINT CONNECT TO ANTENNA	-
▽	TELEPHONE POINT	-
⌚	SINGLE PHASE SWITCH	-
⌚	SINGLE PHASE SWITCH - 2 GANG	-
⌚	SINGLE PHASE SWITHC WITH FAN CONTROLLER	-
MISCELLANEOUS ITEMS		
✦	CEILING FAN 1400mm DIA.	-
(M)	EXHAUST FAN DUCTED TO EXTERNAL WALL OR SOFFIT	-
(S)	SMOKE DETECTOR AND ALARM CONNECT TO 240V. SUPPLY BATTERY BACKUP INTERCONNECT WITH OTHER DETECTORS IN SINGLE DWELLING TO GIVE COMMON ALARM ON ACTIVATION OF ANY DETECTOR. COMPLY WITH AS3786 & NCC	-
AC HEAD	SPLIT AC HEAD UNIT	-
AC	SPLIT AC CONDENSER	-
⏏	METER BOX	-
ABBREVIATION LEGEND		
1000	DENOTES HEIGHT AFFL	
AB	ABOVE BENCH (375 ABOVE KITCHEN BENCH)	
HWS	HOT WATER SYSTEM	
MW	MICROWAVE	
WP	WATER PROOF	
IS	ELECTRICAL APPLIANCE ISOLATIONG SWITCH	
AC	AIR CONDITIONING POWER OUTLET. ALL AIR CONDITIONING POWER OUTLETS TO BE ON DEDICATED CIRCUIT	
NOTE: ELECTRICAL LAYOUT DIAGRAMATIC ONLY. LICENCED ELECTRICAL CONTRACTOR TO CONFIRM LAYOUT WITH BUILDER PRIOR TO COMMENCEMENT OF CONSTRUCTION		

Electrical Plan
SCALE 1 : 150

ISSUES/REVISIONS



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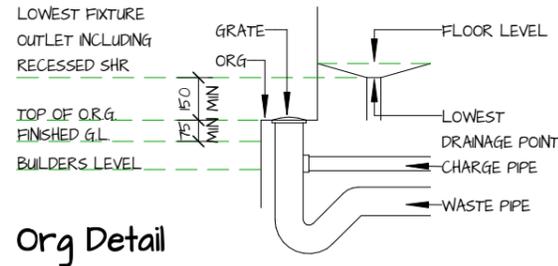


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-Drawing Title: **ELECTRICAL PLAN**
 -Project Type: **Proposed Units** -Project Number: **24021**
 -Client Name: **Tropic Coast Homes** -Drawn By: **Edr**
 -Project Address: **Lot 34 Strattmann St Mareeba** -Scale: **AT A3**
 -Sheet Number: **E-01**

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OVERFLOW RELIEF GULLY POSITIONING



FLOOR WASTE NOTE

FLOOR WASTES ARE NOT REQUIRED IN CLASS 1 AND 10 BUILDINGS BUT CAN BE INCLUDED AS A FIXTURE TRAP FOR OTHER FIXTURES (ie. BASINS, BATH, SHOWER etc),

THE FLOOR IS NOT REQUIRED TO BE GRADED TO A FIXTURE TRAP. IT IS NOT RECOMMENDED TO DRAIN A LAUNDRY TUB TO A FLOOR WASTE OR FIXTURE TRAP DUE TO FOAMING;

FLOOR WASTES ARE REQUIRED IN A CLASS 2, 3 OR 4 PART, IN WET AREAS LOCATED ABOVE A SOLE-OCCUPANCY UNIT OR PUBLIC SPACE WITH THE FLOOR GRADED TO THE FLOOR WASTE.

WATERPROOFING NOTE

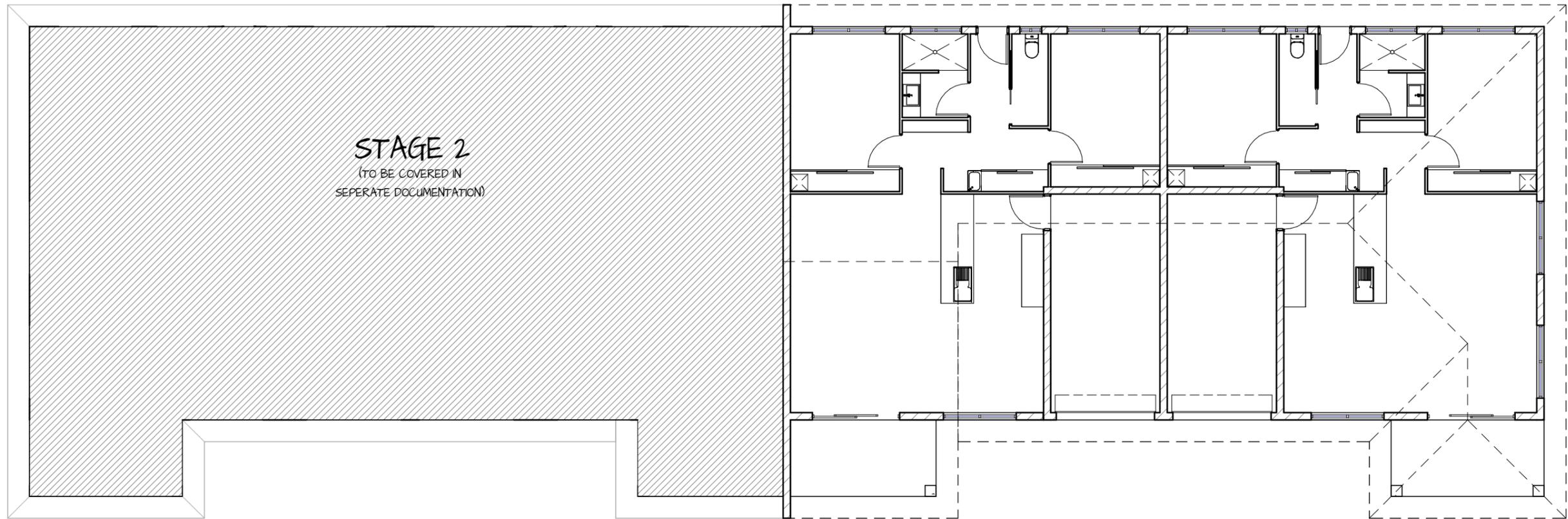
Construction of the wet areas must comply with Part 10.2 of the NCC Housing Provisions -unenclosed showers must include waterproofing and falls to floor waste extend 1500mm from shower rose. A minimum of 180 fall to all floor wastes within the shower area and in bathroom area. The whole of wet areas may need to be set down to achieve falls in bathroom area. Indicate finished flooring in all wet areas. An enclosed shower requires the waterstop to be finished 5mm above the finished floor level. Figure 10.2.17

- 10.2.3 - Floor Areas outside shower areas and adjacent to baths and spas
- concrete, compressed fibre-cement and fibre-cement sheet flooring, must be water resistant.
 - timber floors including particleboard, plywood and the like, must be waterproof.
 - Wall/floor junctions must be waterproof.

10.2.12 Construction of wet area floors - falls

Where a floor waste is installed-

- the minimum continuous fall of a floor plane to the waste must be 180; and
- the maximum continuous fall of a floor plane to the waste must be 150.



CONSTRUCTION ISSUE

Drainage Plan
SCALE 1 : 125

ISSUES/REVISIONS



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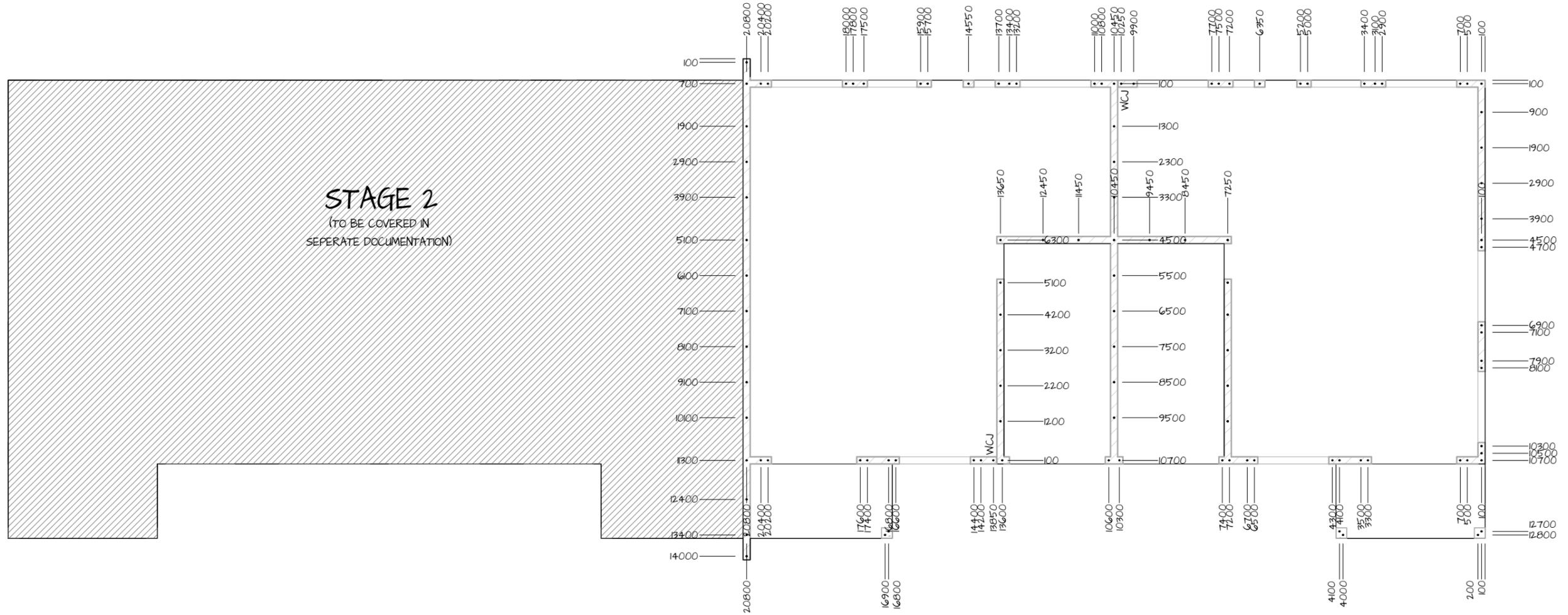


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-Drawing Title: **DRAINAGE PLAN**
-Project Type: **Proposed Units**
-Client Name: **Tropic Coast Homes**
-Project Address: **Lot 34 Strattmann St Mareeba**
-Project Number: **24021**
-Drawn By: **Edr**
-Scale: **A3**
-Sheet Number: **H-01**

113 STARTER BARS REQD.

CONSTRUCTION ISSUE



Starter Bar Plan
SCALE 1 : 125

ISSUES/REVISIONS



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WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

L. Manovich 20-3-24

C.M.G. CONSULTING ENGINEERS PTY. LTD.

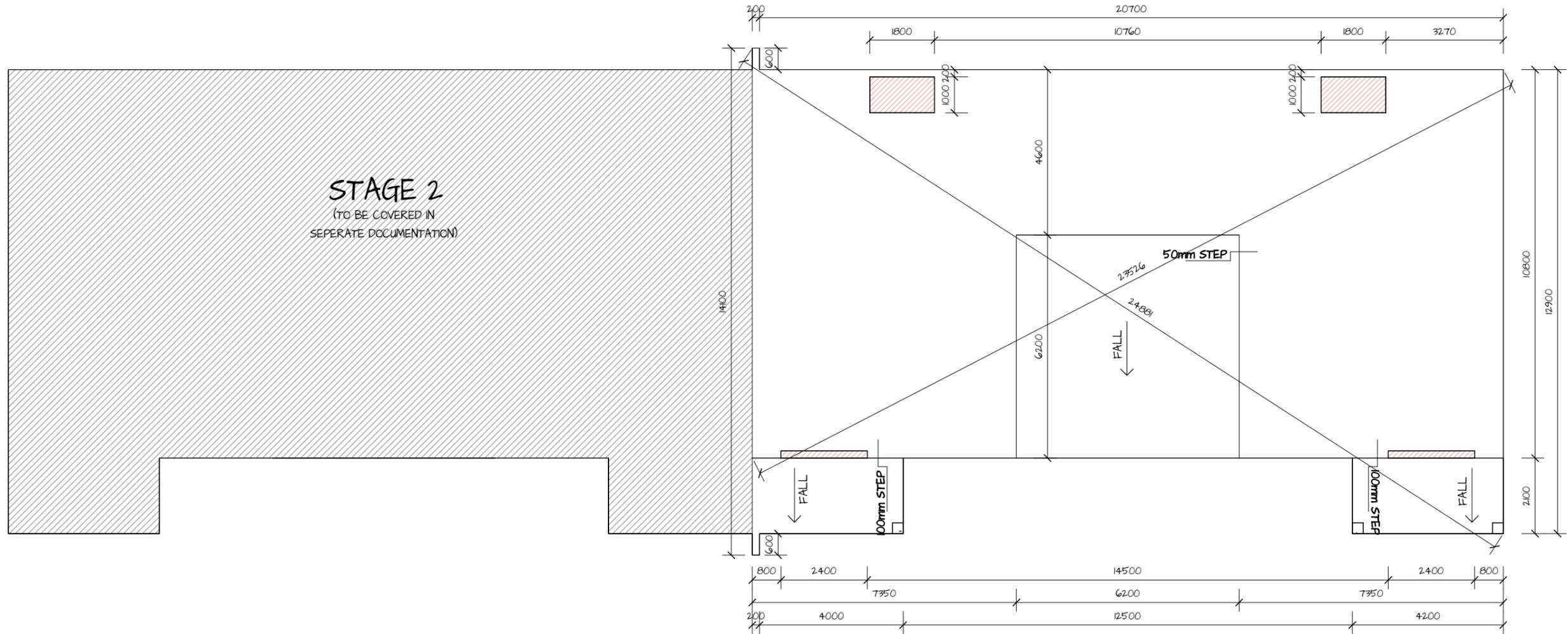
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CARINS, QLD. 4670
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-Drawing Title: **STARTER BAR PLAN**
-Project Type: **Proposed Units** -Project Number: **24021**
-Client Name: **Tropic Coast Homes** -Drawn By: **Edr**
-Project Address: **Lot 34 Strattmann St Mareeba** -Scale: **AT A3**
-Sheet Number: **S-02**

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CONSTRUCTION ISSUE



Slab Setout Plan
SCALE 1 : 125

ISSUES/REVISIONS



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DETAILS AS SHOWN ON THESE DRAWINGS
FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. Menachis 20-3-24

C.M.G. CONSULTING ENGINEERS PTY. LTD.
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CARBON, QLD. 4670
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-Drawing Title: **SLAB SETOUT PLAN**
-Project Type: **Proposed Units** -Project Number: **24021**
-Client Name: **Tropic Coast Homes** -Drawn By: **Edr**
-Project Address: **Lot 34 Stratmann St Mareeba** -Scale: **AT A3**
-Sheet Number: **S-03**

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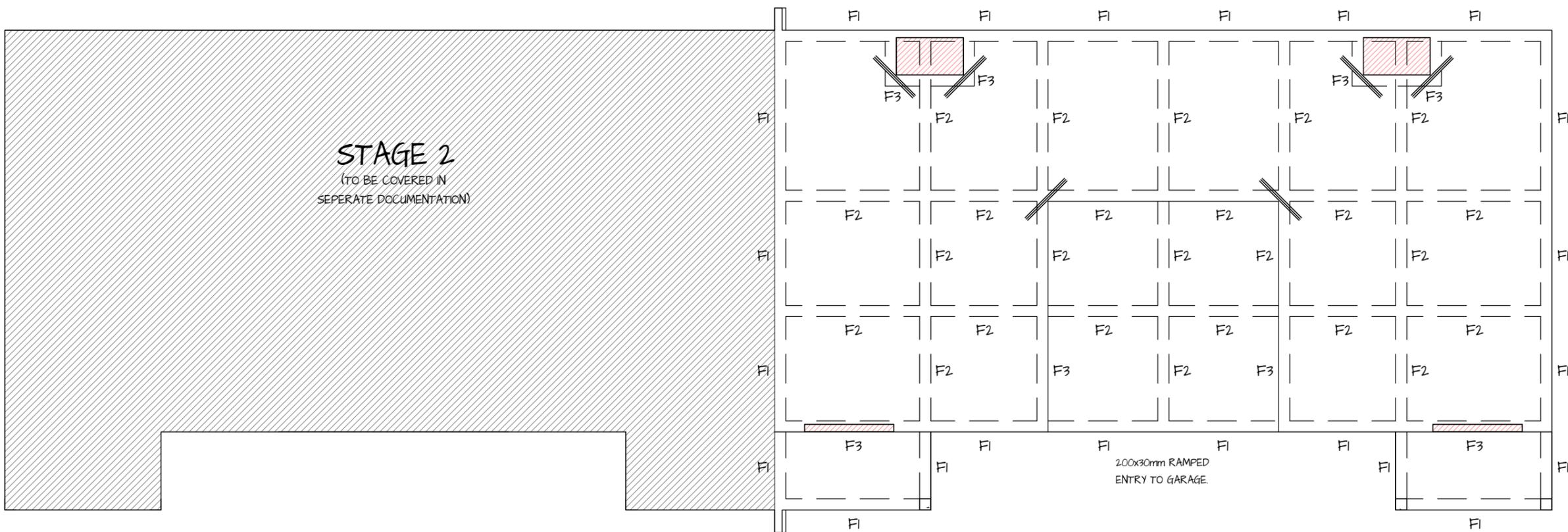
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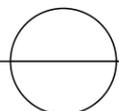
HI CLASS SITE -
BUILDER TO CONFIRM

-  DENOTES 3-N2 TRIMMER BARS x 1200mm @100mm CRS. LONG TIED UNDER MESH (TYP.) 50mm COVER TO CORNER
 -  DENOTES 10x40mm THICK RECESS FOR SLIDING DOORS/BIFOLD DOORS
 -  DENOTES 200x30mm RAMPED ENTRY TO PANEL-LIFT/ROLLER DOORS
- 100mm thk CONC SLAB, N20 GRADE CONC, REINF WITH 1-LAYER SLB2 MESH, 25 TOP COVER (40 COVER TO EXTERNAL AREAS) & N2 TRIMMER ALL ROUND. LAY SLAB ON 200UM WATERPROOF MEMBRANE ON GRANULAR FILL COMPACTED TO 98% SRDD.

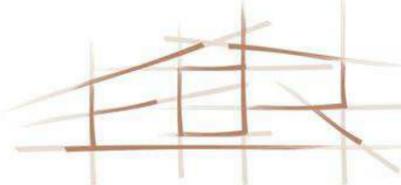
NR:
THIS SLAB HAS NOT BEEN DESIGNED FOR A GROUND/POLISHED CONCRETE FINISH SHOULD THIS FINISH BE SOUGHT - CONSULT ARCHITECT

CONSTRUCTION ISSUE



 Footing Plan
SCALE 1 : 125

ISSUES/REVISIONS



WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

L. Manassis
20-3-24

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-Drawing Title: **FOOTING PLAN**
-Project Type: **Proposed Units**
-Client Name: **Tropic Coast Homes**
-Project Address: **Lot 34 Strattmann St Mareeba**

-Project Number: **24021**
-Drawn By: **Edr**
-Scale: **AT A3**
-Sheet Number: **S-04**

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ROOF FRAMING NOTES

ROOF TRUSSES TO BE DESIGNED AND CERTIFIED BY THE TRUSS MANUFACTURER.

THE DESIGN SHALL INCLUDE -
 TRUSS LAYOUT
 ALL NECESSARY WIND AND BOTTOM CHORD BRACING
 ALL INTERNAL TRUSS CONNECTIONS.

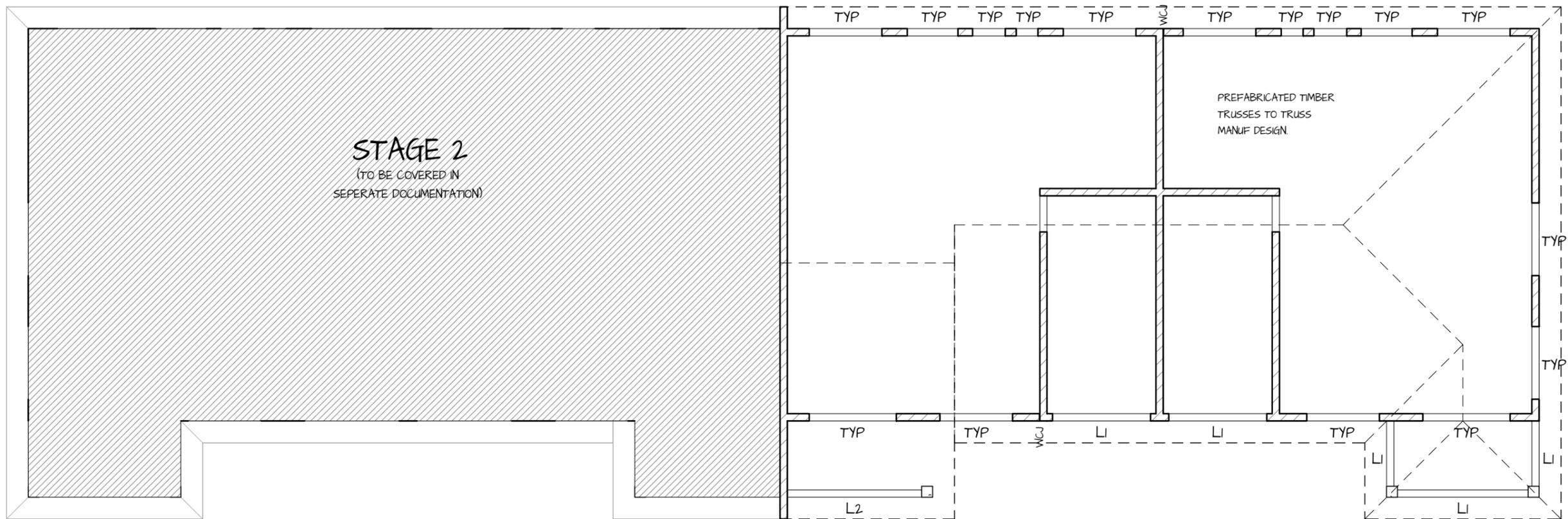
ALL TRUSS HD. PL. CLEATS TO BE HOT DIPPED GALVANISED

UNO. ROOF FIXING GENERALLY - LAPS, FLASHINGS & GENERAL INSTALLATION IN ACCORDANCE WITH MANUF SPECS

BATTENS: 38 x 75 P1 SCREW FIX TO EACH TRUSS WITH 1/90 mm No. 14 TYPE 17 SCREW 600 MAX. SPACING AT RIDGE & EAVES. 900 MAX. INTERNAL SPACING UNO.

METAL ROOF BATTENS: FIX IN ACCORDANCE WITH MANUF. SPECS 600 MAX. SPACING AT RIDGE & EAVES. 900 MAX. INTERNAL SPACING UNO.

CONSTRUCTION ISSUE



Roof Framing Plan
 SCALE 1 : 125

ISSUES/REVISIONS



Affiliate Level 2
 Australian Institute of Architects
 2016



WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**
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-Drawing Title: **ROOF FRAMING PLAN**
 -Project Type: **Proposed Units** -Project Number: **24021**
 -Client Name: **Tropic Coast Homes** -Drawn By: **Edr**
 -Project Address: **Lot 34 Strattmann St Mareeba** -Scale: **AT A3**
 -Sheet Number: **S-05**

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DESIGN WIND CLASSIFICATION C2

WIND PRESSURES:	GENERAL AREAS	a	a/2
SERVICABILITY	0.96 KPa	12.7 KPa	15.9 KPa
ULTIMATE	2.23 KPa	3.06 KPa	3.68 KPa

FOR WIND CLASSIFICATION - C2

4mm STRUCTURAL PLY FIXED WITH 2.8x30mm GAL. FLATHEAD NAILS @ 50 CRS TOP & BTM PL. 150 CRS VERT. EDGES. 300 CRS INTERMEDIATE STUDS. ANCHOR WALL ENDS TOP & BTM.

C2 CMB WALL REIN NOTES

PROVIDE DOUBLE COURSE BOND BEAM UNDER SIDE OF ROOF. REINF. WITH 2-N2 or 1-N1G BAR EACH COURSE 500 MIN LAPS.

PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINF. WITH 1-N2. EXTEND BOND BEAM 200 PAST EACH SIDE OF OPENING.

UNO. ON PLAN ALL LINTELS TO BE REINF. WITH 2-N2 or 1-N1G BAR WITH L8 TIE BARS @ 1000 CRS. MAX

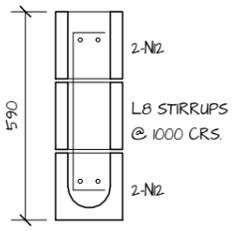
UNO. ON PLAN ALL 200 CMB. WALLS TO BE REINF. WITH N2 VERTICAL BARS @ ENDS, CORNERS, INTERSECTIONS @ EACH SIDE OF OPENINGS & @ 1200 MAX CENTRES BETWEEN

PROVIDE ADDITIONAL N2 VERTICAL BARS TO CORES ADJACENT TO OPENINGS GREATER THAN 1800 WIDE.

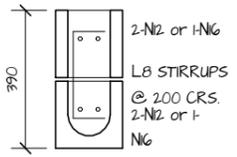
UNO CONCRETE FILL ALL CORES CONTAINING REINFORCEMENT, HOLDING DOWN BOLTS & MASONRY ANCHORS.

100 SERIES BLOCKWORK WALLS TIED TO EXTERNAL WALLS WITH APPROVED MASONRY MESH EVERY 2nd COURSE

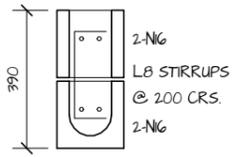
DENOTES WALL CONTROL JOINT UNO. TO BE REINFORCED WITH 1-N2 VERTICAL EACH SIDE OF JOINT. EXTEND BOND BEAM REINFORCEMENT THROUGH JOINT. FILL JOINT WITH COMPRESSIBLE BACKING ROD AND APPROVED SEALANT BOTH SIDES TO ARCHITECTS SPECIFICATION



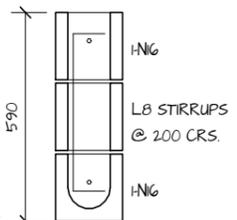
TYP. LINTEL



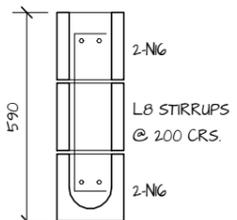
LINTEL 1



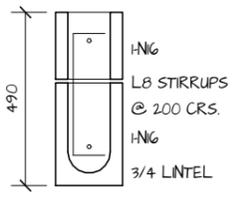
LINTEL 2



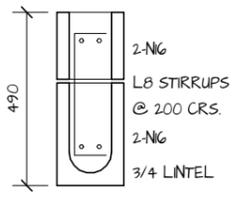
LINTEL 3



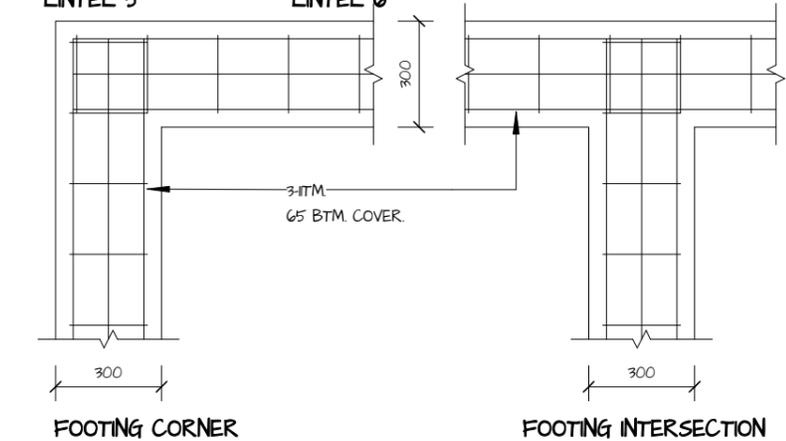
LINTEL 4



LINTEL 5

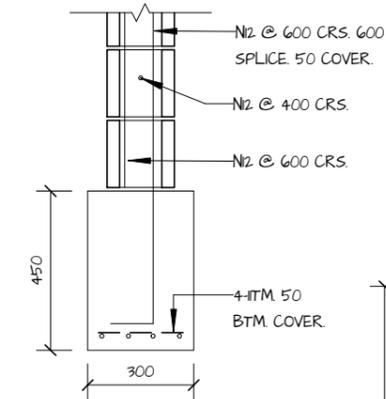


LINTEL 6

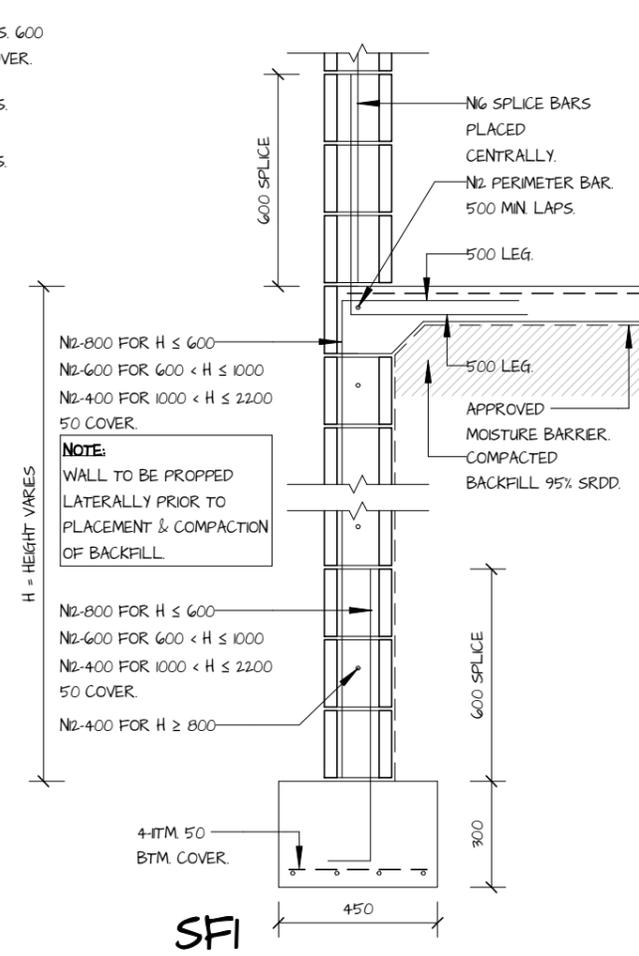


FOOTING CORNER

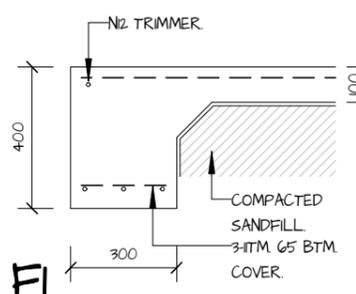
FOOTING INTERSECTION



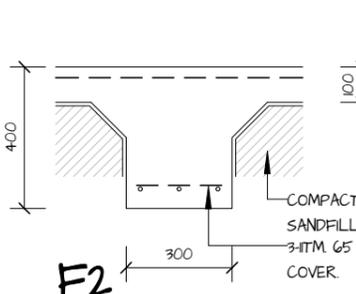
SF2



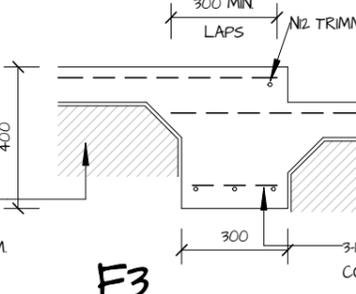
SF1



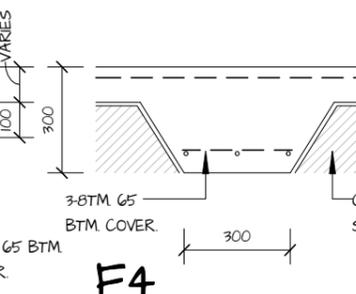
F1



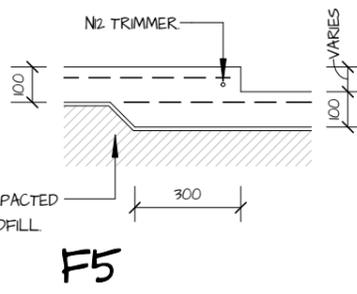
F2



F3



F4



F5

DESIGN LOADS
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING LOADING CODES:
AS1701 - DEAD & LIVE LOADS AND LOAD COMBINATIONS
AS1702 - WIND LOADS (PERMISSIBLE STRESS METHOD)
BASIC WIND SPEED - 57 m/sec
DYNAMIC WIND PRESSURE - 15kPa (UNFACTORED)
DESIGN GUST WIND SPEED - 50 m/sec

TIMBER

ALL WORK SHALL COMPLY WITH THE RELEVANT BUILDING ACT AND ALL CODES REFERRED TO THEREIN.

ALL STRUCTURAL TIMBER SHALL BE GRADE F14 UNSEASONED, UNLESS NOTED OTHERWISE.

THE DESIGN, ERECTION AND BRACING OF PREFABRICATED ROOF TRUSSES SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS. UNLESS NOTED OTHERWISE.

ALL FRAMING AND CONNECTION DETAILS SHALL BE IN ACCORDANCE WITH AS1684.3 RESIDENTIAL TIMBER - FRAMED CONSTRUCTION - CYCLONIC.

POOL

POOL DESIGN AND CONSTRUCTION IN ACCORDANCE WITH POOL CONTRACTORS SPEC.

RETAINING STRUCTURES

DO NOT BACKFILL RETAINING WALLS UNTIL 21 DAYS AFTER CONCRETE HAS BEEN PLACED IN THE WALLS OF THE RETAINING STRUCTURES UNLESS NOTED OTHERWISE.

THE BACKFILL MATERIAL BEHIND THE FULL LENGTH OF THE EARTH RETAINING WALLS SHALL CONSIST OF A COURSE GRAINED SOIL OF HIGH PERMEABILITY (IE. CLEAN COURSE SAND OR GRAVEL) TO A MAX WIDTH OF 300mm FOR THE FULL RETAINING HEIGHT.

CONCRETE

ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF AS360 AND AS1379, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.

CONCRETE QUALITY

ELEMENT	CONC GRADE	SLUMP	MAX AG SIZE	CEMENT TYPE	ADMIXTURE
GROUND SLAB FOUNDATIONS	N25	80	20	GP	-
SUSPENDED SLABS & STAIRS	N32	80	20	GP	-
CORE FILL	S2.0	250	10	GP	-

CONCRETE GRADE TO BE CONCRETE CHARACTERISTIC STRENGTH (F_c) AT 28 DAYS
METHOD OF PLACEMENT - PUMPED
TYPE OF ASSESSMENT - PRODUCTION

ALL CONCRETE TO BE ADEQUATELY VIBRATED.

NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. PIPES OR ELECTRICAL CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER. THE CONCRETE COVER TO EMBEDDED PIPES OR CONDUITS SHALL BE A MIN OF 20mm.

CONSTRUCTION JOINTS SHALL BE MADE ONLY WHERE SHOWN ON THE DRAWINGS OR WHERE APPROVED BY THE ENGINEER.

BEAM DEPTHS ARE DESIGNATED FIRST AND INCLUDE SLAB THICKNESS, IF ANY.

UNDERPINNING WHERE NOT SHOWN ON DRAWINGS MUST BE APPROVED BY THE ENGINEER. FOR UNDERPINNING ONLY, F_c = 155MPa

ALL CONCRETE SURFACES SHALL BE CURED BY AN APPROVED METHOD FOR SEVEN DAYS IMMEDIATELY THE CONCRETE IS SET

ALL FORMWORK AND PROPPING TO SUSPEND SLABS AND BEAMS SHALL REMAIN IN POSITION FOR 14 DAYS AFTER PLACING CONCRETE UNLESS SPECIFIED OTHERWISE. SUCH FLOOR SHALL REMAIN UNLOADED FOR 28 DAYS.

FLOOR SLABS ON GROUND:
ALL TOP SOIL AND UPPER STRATA CONTAINING ORGANIC MATTER IS TO BE REMOVED AND REPLACED BY AN APPROVED FILLING MATERIAL COMPACTED AS FOLLOWS:
COHESIONLESS SOILS - MINIMUM DENSITY INDEX = 85% COHESIVE SOILS - (MAX P1 15%) = 95% STANDARD COMPACTION

BUILDER TO PROVIDE HIGH STRENGTH NON-SHRINK GROUT UNDER STEEL COLUMNS, BASEPLATES AS SPECIFIED

ALL REINFORCEMENT TO COMPLY WITH THE CURRENT EDITIONS OF AS1302, AS1304 AND SHALL BE DESIGNATED THUS:

N	DEFORMED BARS	GRADE 500
Y	HOT ROLLED DEFORMED BARS	GRADE 400Y
R	PLAIN ROUND BARS	GRADE 250R
F	WELDED WIRE FABRIC	GRADE 450F
W	STEEL WIRE, PLAN AND DEFORMED	GRADE 450W

ALL FABRIC SHALL BE SUPPLIED IN FLAT SHEETS.

WELDING OF THE REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE DRAWINGS.

CONSTRUCTION ISSUE

ISSUES/REVISIONS

NO.	DESCRIPTION	DATE

Affiliate Level 2
Australian Institute of Architects
2016

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. Monarchis
20-3-24

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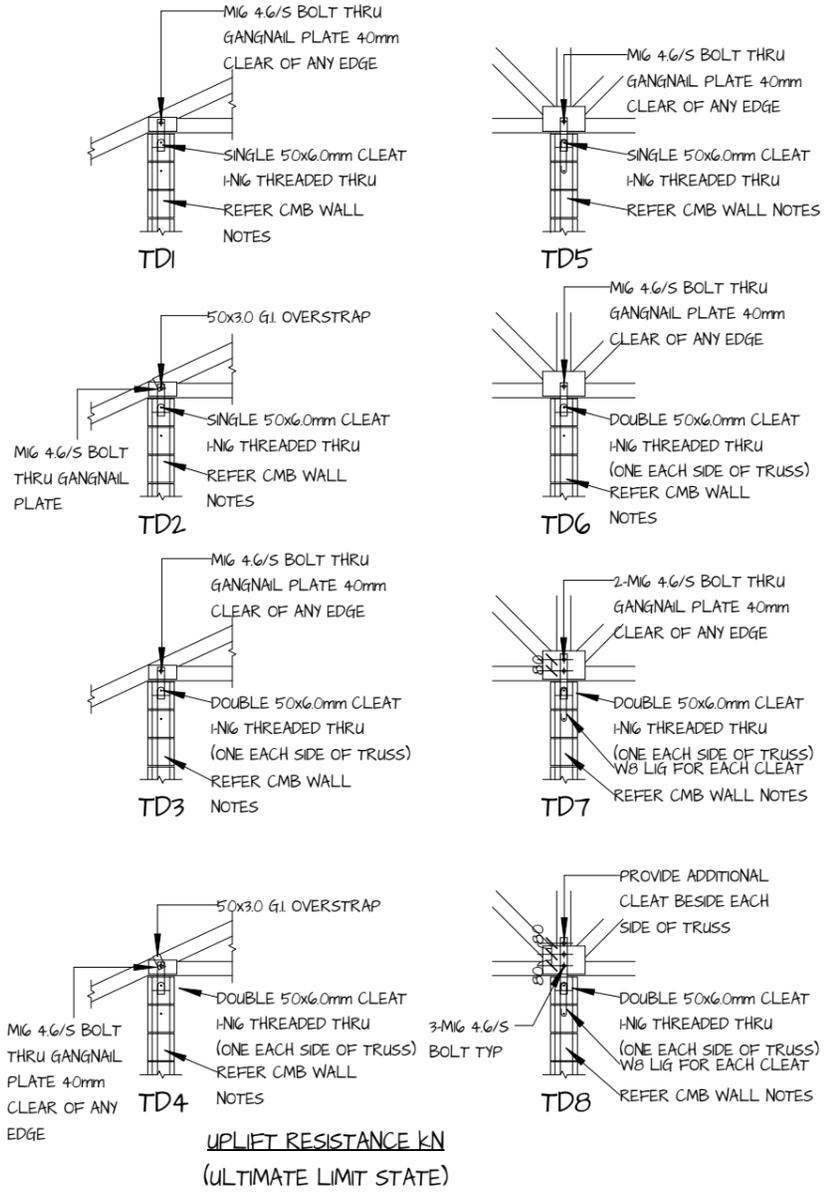
Drawing Title:	STRUCTURAL DETAILS
Project Type:	Proposed Units
Client Name:	Tropic Coast Homes
Project Address:	Lot 34 Strattmann St Mareeba
Project Number:	24021
Drawn By:	Edr
Scale:	AT A3
Sheet Number:	S-06

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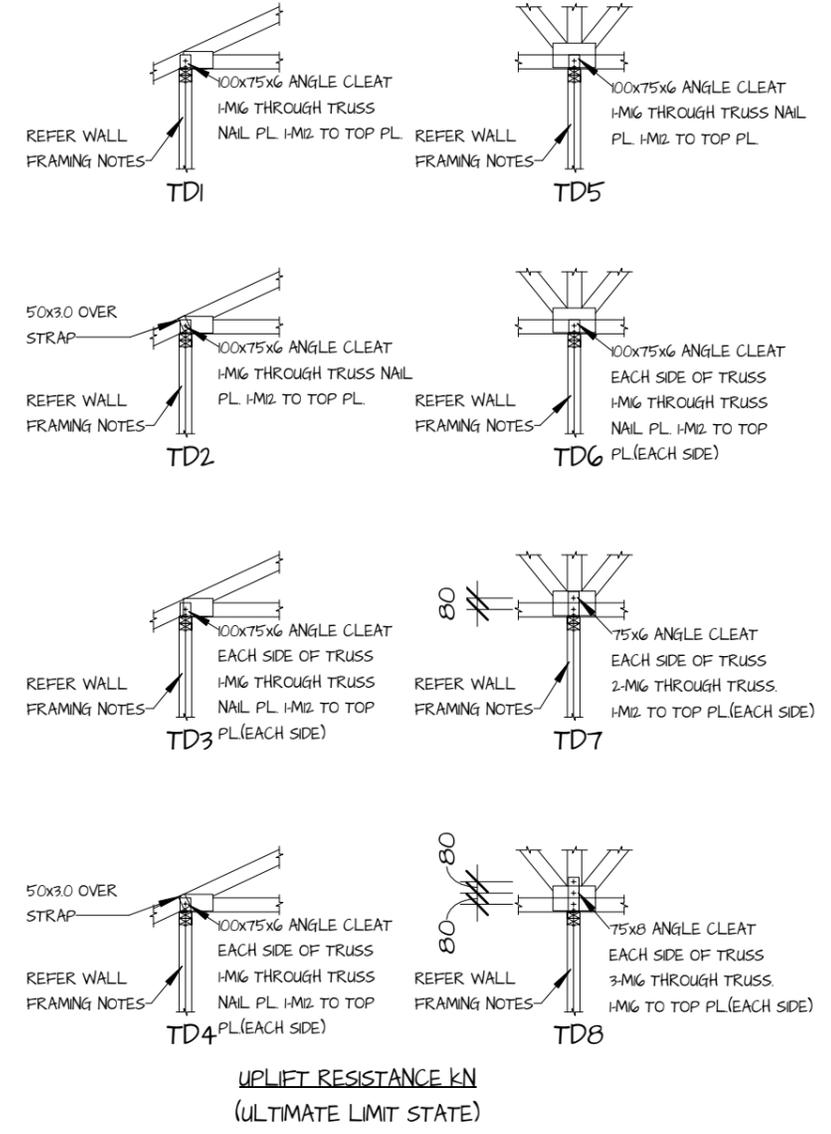
UPLIFT RESISTANCE KN
(ULTIMATE LIMIT STATE)

	TRUSS JOINT GROUP					
TYPE	J2	J3	J4	JD4	JD5	JD6
TD1	20	15	10	16	11	8
TD2	35	25	16	23	18	15
TD3	49	44	28	44	36	28
TD4	76	54	34	54	43	34
TD5	20	15	10	16	11	8
TD6	49	44	28	44	36	28
TD7	93	84	53	84	68	53
TD8	128	115	73	115	94	73

NOTE:
PROVIDE 2-N12 (MIN) VERTICAL REINFORCING BARS ADJACENT TO CLEATS WITH TIE-DOWN LOADS GREATER THAN 80kN

TRUSS TIE DOWN-DETAILS
(REFER TRUSS MANUF. LAYOUT AND UPLIFT LOADING)
(REFER WALL FRAMING PLAN NOTES FOR SIZE AND LOCATION OF CYCLONE RODS)

Tie-Down Details (CMB)



UPLIFT RESISTANCE KN
(ULTIMATE LIMIT STATE)

	TRUSS JOINT GROUP					
TYPE	J2	J3	J4	JD4	JD5	JD6
TD1	20	15	10	16	11	8
TD2	35	25	16	23	18	15
TD3	49	44	28	44	36	28
TD4	76	54	34	54	43	34
TD5	20	15	10	16	11	8
TD6	49	44	28	44	36	28
TD7	93	84	53	84	68	53
TD8	128	115	73	115	94	73

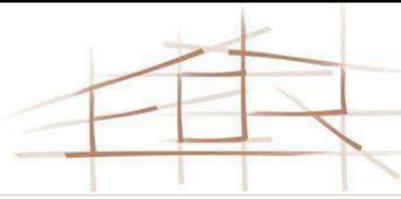
NOTE:
CLEAT SIZES AND CONNECTIONS SIMILAR FOR RHS BEAMS

TRUSS TIE DOWN-DETAILS
(REFER TRUSS MANUF. LAYOUT AND UPLIFT LOADING)
(REFER WALL FRAMING PLAN NOTES FOR SIZE AND LOCATION OF CYCLONE RODS)

Tie-Down Details (lightweight)

ISSUES/REVISIONS

NO.	DESCRIPTION	DATE



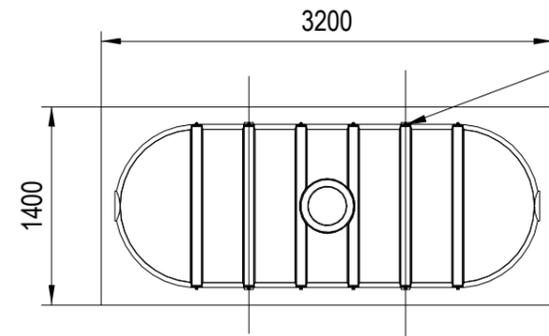
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L. Monarchis 20-3-24

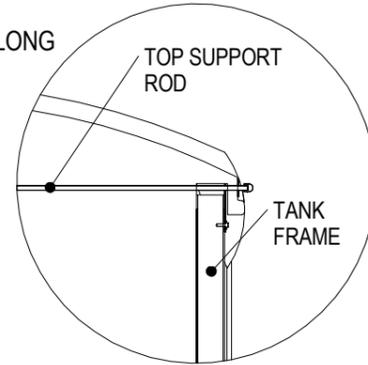
C.M.G. CONSULTING ENGINEERS PTY. LTD.
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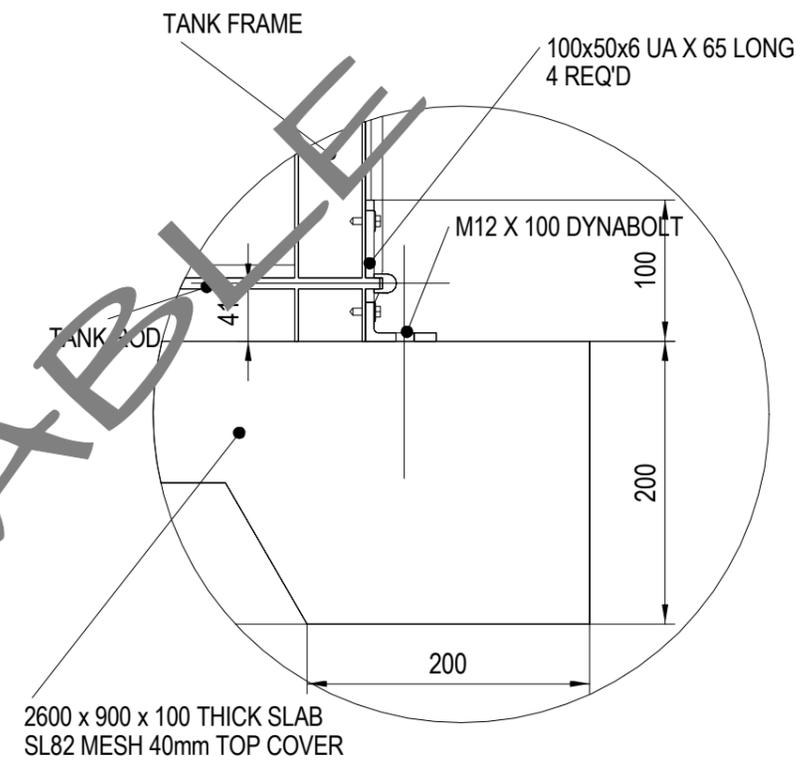
-Drawing Title:	TIE DOWN DETAILS	-Project Number:	24021
-Project Type:	Proposed Units	-Drawn By:	Edr
-Client Name:	Tropic Coast Homes	-Scale:	AT A3
-Project Address:	Lot 34 Strattmann St Mareeba	-Sheet Number:	S-07



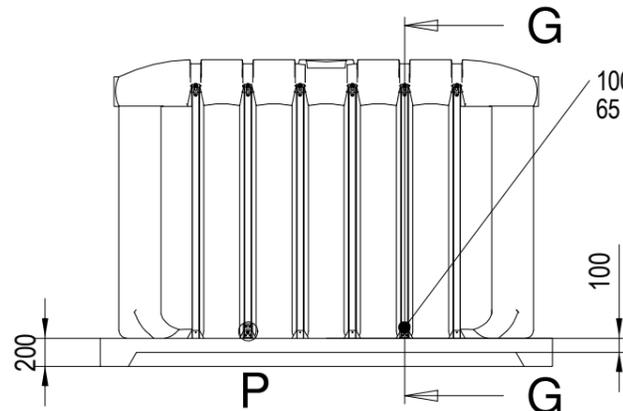
100x50x6 UA X 65 LONG
4 REQ'D



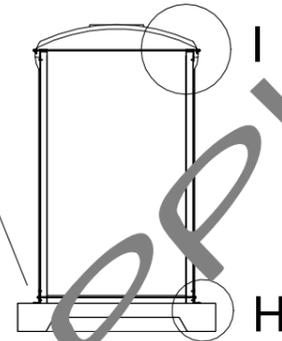
DETAIL I



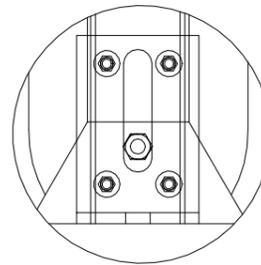
DETAIL H



100x50x6 UA
65 LONG



SECTION G-G



DETAIL P

RAIN WATER TANK TIE DOWN
100 THICK N25 CONC SLAB UNDER WATER TANK REINFORCED WITH LAYER
SL82 MESH TOP AND BOTTOM 40MM COVER 20UM VISQUEEN MEMBER UNDER
SLAB. THICKEN OUTER EDGE OF SLAB TO 200 X 200.

FIX UA BRACKET TO TANK FRAME USING 4 X No 10 TEK SCREWS (DETAIL 'P')
AND ANCHOR TO CONC USING M12 DYNABOLT OR EMBESET TO 100MM
EMBEDMENT DEPTH

CONSTRUCTION ISSUE

APPLICABLE

ISSUES/REVISIONS



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DETAIL AS SHOWN ON THESE DRAWINGS
FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. Manassis 20-3-24

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-Drawing Title: **RAINWATER TANK DETAIL**
-Project Type: **Proposed Units** -Project Number: **24021**
-Client Name: **Tropic Coast Homes** -Drawn By: **Edr**
-Project Address: **Lot 34 Strattmann St Mareeba** -Scale: **AT A3**
-Sheet Number: **S-08**

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