

DELEGATED REPORT

TO: COORDINATOR PLANNING SERVICES

FROM: Senior Planner **FILE:** OPW/24/0001 – Jumrum Rainforest Subdivision Stage 2 (30 Lots)

DATE: 25 March 2024

APPLICATION DETAILS

APPLICATION		PREMISES	
FILE NO:	OPW/24/0001 - Jumrum Rainforest Subdivision Stage 2 (30 Lots)	ADDRESS:	Fallon Road, Kuranda
APPLICANT:	Jumrum Rainforest Pty Ltd	RPD:	Lot 72 on RP903071
LODGED BY:	ARO Industries Pty Ltd	AREA:	45.73 ha
DATE LODGED:	22 January 2024	OWNER:	Jumrum Rainforest Pty Ltd
TYPE OF APPROVAL:	Development Permit		
PROPOSED DEVELOPMENT:	Operational Works (Roadworks, Stormwater, & Water Supply Infrastructure, Drainage and Earthworks) for Development Permit DA/12/0035 – Jumrum Rainforest Subdivision Stage 2 (30 Lots)		
PLANNING SCHEME:	Mareeba Shire Council Planning Scheme 2016		
ZONE:	Rural residential zone		
LEVEL OF ASSESSMENT:	Code Assessment		

PREVIOUS APPLICATIONS & APPROVALS

REC/06/0093 (lapsed), REC/08/0064 (lapsed), DA/12/0035 (current) & OW/16/0006 (Stage 1 – 11 Lots – construction completed)

DESCRIPTION OF PROPOSED DEVELOPMENT

The development application seeks a Development Permit for Operational Works (Roadworks, Stormwater & Water Supply Infrastructure, Drainage and Earthworks) for Development Permit DA/12/0035 – **Jumrum Rainforest Subdivision Stage 2 (30 Lots)**

ASSESSMENT

State Planning Policy

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

Relevant Development Codes

The following Development Codes are considered to be applicable to the assessment of the application:

- 6.2.10 Rural residential zone code
- 9.4.4 Reconfiguring a lot code
- 9.4.5 Works, services and infrastructure code

The application did not include a planning report and assessment against the planning scheme. An officer assessment has found that the application satisfies the relevant acceptable solutions (or probable solutions/performance criteria where no acceptable solution applies) of the relevant codes set out below.

Relevant Codes	Comments
Rural residential zone code	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.
Reconfiguring a lot code	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.
Works, services and infrastructure code	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.

Compliance with conditions of earlier related approval

DA/12/0035

(A) ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)

- (a) Development assessable against the Planning Scheme
 1. Development must be carried out substantially in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, subject to any alterations:
 - found necessary by Council's delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
 - to ensure compliance with the following conditions of approval.
 2. Timing of Effect
 - 2.1 The conditions of the development permit must be complied with to the satisfaction of Council's delegated officer prior to the endorsement of the plan of survey, except where specified otherwise in these conditions of approval.
 3. General
 - 3.1 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.

- 3.2 All payments or bonds required to be made to the Council pursuant to any condition of this approval or the Adopted Infrastructure Charges Notice must be made prior to the endorsement of the plan of survey and at the rate applicable at the time of payment.
- 3.3 The developer must relocate (in accordance with FNQROC Development Manual standards) any services such as water, sewer, drainage, telecommunications and electricity that are not wholly located within the lots that are being created/serviced where required by the relevant authority, unless approved by Council's delegated officer.
- 3.4 Where utilities (such as sewers on non-standard alignments) traverse lots to service another lot, easements must be created in favour of Council for access and maintenance purposes. The developer is to pay all costs (including Council's legal expenses) to prepare and register the easement documents.
- 3.5 Where approved existing buildings and structures are to be retained, setbacks to any new property boundaries are to be in accordance with Planning Scheme requirements for the relevant structure and/or Queensland Development Code. A plan demonstrating compliance must be submitted prior to endorsement of the plan of survey.
- 3.6 Prior to the endorsement of the plan of survey the applicant must provide a letter from any Concurrence Agencies confirming that their conditions have been complied with and/or that they have no objection to Council's endorsement of the plan of survey.
- 3.7 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.

3.8 Flood Immunity

The applicant/developer must provide a plan showing the extent of a 100 ARI year flood event, certified by a RPEQ (Registered Professional Engineer of Queensland). Where a proposed lot is impacted by the 100 ARI year flow, a building envelope of at least 1000m² (minimum dimensions of 20m x 15m) must be provided at least **300mm** above 100 ARI year flood levels.

- 3.9 No filling is to occur below the 100 ARI flood level unless approved as part of a subsequent development permit for operational works.

3.10 Environmental Covenant

The applicant shall be responsible for the preparation and registration of a statutory covenant with Council pursuant to S97A of the Land Title Act for the purposes of preserving native animals, plants and their habitat.

The covenant area shall comprise all parts of each lot excluding the building envelopes identified on Drawing Number 1180 SK14-34 Amdt B and the areas required for approved operational works infrastructure, to the satisfaction of Council's delegated officer.

The covenant must stipulate that the covenant area must be protected, preserved and conserved, including by strictly adhering to the following non-exhaustive conditions (which may be varied by written agreement between the parties):-

- (a) no existing living vegetation or hereafter existing in the covenant area, may be cut down, damaged or destroyed;
- (b) no buildings or fences may be erected in the covenant area;
- (c) no native animals within the covenant area shall be killed or interfered with;
- (d) no other acts may be carried out on or in respect of the covenant area which, in the opinion of the Council, acting reasonably may have a detrimental impact on the covenant area;

Notwithstanding clause (a) to (d), if any living or dead vegetation on the covenant area poses a risk to human safety:-

- (e) The vegetation may be cut down or trimmed with the prior written consent of the Council, not to be unreasonably withheld, so as to remove the risk;

Notwithstanding clause (a) to (e), if any native or indigenous animal on the covenant area poses a risk to human safety the native or indigenous animal may be removed with the prior written consent of the Council and any other approvals which might be required by law.

The covenant agreement shall be signed by the registered owner prior to endorsement of the survey plan by Council and the signed covenant shall be jointly lodged for registration with the survey plan, in the Department of Natural Resources & Mines.

The covenant document shall be to the satisfaction of Council's delegated officer, and the applicant shall be responsible for the cost of preparation and registration of the covenant.

3.11 Bushfire Management

Buildings and Structures

- are sited in locations of lowest hazard within the lot;
- achieve setbacks from hazardous vegetation of 1.5 times the predominant mature canopy tree height or 10 metres, whichever is the greater;
- are 10 metres from any retained vegetation strips or small areas of vegetation;
- are sited so that elements of the development least susceptible to fire are sited closest to the bushfire hazard; and
- are connected to a reticulated water supply with a minimum flow and pressure of 10 litres a second and 200kPa.

Bushfire Management Plan

A Bushfire Management Plan will be prepared in accordance with Appendix 8 of State Planning Policy 1/03 - Mitigating the Adverse Impacts of Flood, Bushfire and Landslide to the satisfaction of Council's delegated officer.

The approved use will comply with the requirements of the Management Plan at all times.

3.12 Landslide

For each building envelope containing a slope of 15% or greater, the developer must provide site-specific geo-technical report prepared by a suitably qualified Registered Professional Engineer of Queensland (RPEQ) that certifies:

- The long term stability of the building envelope; and
- The building envelope will not be adversely affected by landslide activity originating on sloping land above the development site.

3.13 Charges

All outstanding rates, charges and expenses pertaining to the land are to be paid in full.

4. Infrastructure Services and Standards

4.1 Access

Access must be provided/constructed to each allotment in accordance with the FNQROC Development Manual, to the satisfaction of Council's delegated officer.

A bitumen sealed or concrete driveway shall be provided within each battleaxe lot access handle to the satisfaction of Council's delegated officer. Each driveway will:

- have a minimum formation width of 3 metres
- be constructed for the full length of the access handle
- be formed with one-way crossfall to cater for stormwater drainage such that any stormwater runoff is contained within the access strip
- service and utility conduits are to be provided for the full length of the concrete or sealed driveway constructed within the access handle of the battle axe allotment(s).

4.2 Easements

An easement must be provided over the access handle for Lot 63 in favour of Lots 61 and 62 for the purposes of access/drainage/maintenance.

A bitumen sealed or concrete driveway shall be provided within the access easement to the satisfaction of Council's delegated officer. The driveway will:

- have a minimum formation width of 3 metres
- be constructed for the full length of the access handle
- be formed with one-way crossfall to cater for stormwater drainage such that any stormwater runoff is contained within the access strip

- service and utility conduits are to be provided for the full length of the concrete or sealed driveway constructed within the access handle of the battle axe allotment(s).

Where Council is party to a proposed easement and/or if the proposed easement is in favour of Council the applicant/developer is to pay all costs (including Council's legal expenses) to prepare and register the easement documents, using Council's standard form of easement. The approved easement documents must be submitted at the same time the applicant/developer seeks endorsement of the plan of survey and must be lodged and registered in the Department of Natural Resources & Mines in conjunction with the plan of survey.

4.3 Stormwater Drainage/Water Quality

- (a) As part of any subsequent application for Operational Works, the applicant must submit a Stormwater Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual to the satisfaction of Council's delegated officer.
- (b) That Stormwater Management Plan will deal with the entire site, and will also generally be in accordance with the plan prepared by Jim Papas Drafting Pty Ltd on 16 April 2013, and must ensure a non-worsening effect on surrounding land as a consequence of the development, and must take all reasonable and practicable measures to ensure discharge occurs in compliance with the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual.
- (c) As part of any subsequent application for operational works the applicant must also provide:
 - A Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline to the satisfaction of Council's delegated officer;
 - The Stormwater Quality Management Plan must include an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia) to the satisfaction of Council's delegated officer; and
 - A demonstration of compliance against the Filling and Excavation Code.
- (d) All stormwater channels through private property must be registered, with the easement for drainage purposes in favour of Council. All documentation leading to the registration of the easement must be completed at no cost to Council.

- (e) Construction of drainage must be to FNQROC standards (section D4), including the provision for an ARI 100 year overland flow through open space areas, or, easements within the balance area.
- (f) All stormwater drainage must be collected from site and discharged to an approved legal point of discharge, being the proposed retention basins in this instance.
- (g) The applicant must video (at their cost) all stormwater lines and submit the video for inspection by Council's delegated officer prior to the development being taken "off maintenance" to ensure that no defects have occurred during the 12 month maintenance period.
- (h) Detention basins that are constructed within existing creeks and gullies and that are within the Environmental Covenant areas (Condition 3.10) shall be left in the natural condition as much as practicable. Any detention basins that are not within the Environmental Covenant areas shall be constructed such that they are capable of being mowed where necessary, landscaped and maintained. Batter slopes within areas intended for park will be a maximum of 1 in 6 for park road frontages, and 1 in 4 in all other cases.
- (i) Any necessary temporary drains and associated drainage easements within the balance area will be provided as part of the relevant stage works and survey plans.

4.4 Earthworks

As part of a subsequent application for Operational Works, an earthworks plan is to be submitted, prepared by a suitably qualified RPEQ demonstrating compliance with the Filling and Excavation Code including the following detail:

- Maintenance of access roads to and from the site such that they remain free of all fill material and are cleaned as necessary
- Preservation of all drainage structures from the effects of structural loading generated by the earthworks;
- Protection of adjoining properties and roads from ponding or nuisance from stormwater.

All site earthworks, drainage and pavement construction are to be designed and supervised by a RPEQ. Testing is to be carried out by NATA Registered Laboratories and results submitted as part of the As Constructed information. The Supervising Engineer must submit a certificate demonstrating that all work has been satisfactorily completed to the quality control criteria for the site and in accordance with AS3798 (as amended).

4.5 Roadworks – External Construction

The developer is required to construct the following works, designed in accordance with FNQROC Development Manual standards to the satisfaction of Council's delegated officer.

- (i) In Stage 1, the construction of frontage works on Fallon Road generally in accordance with Jim Papas Drafting Pty Ltd Drawing number 1180 C04 Amdt B.
- (ii) In Stage 2A, the reconstruction of the 90 degree corner on Fallon Road (adjacent to Lot 3 on RP857692) with improved vertical alignment, and improved horizontal alignment to the extent achievable within the existing road reserve.
- (iii) In Stage 2A, the construction of kerbing on the southern side of Fallon Road from the end of the kerb constructed under 4.5(i), up to about Chainage 25 on Fallon Road as shown on Jim Papas Drafting Pty Ltd Drawing number 1180 C04 Amdt B.
- (iv) The value (as agreed by Council's delegated officer) of the external works required under Condition 4.5 (ii) and (iii), shall be credited towards any contribution required under Mareeba Shire Planning Scheme Policy No. 6: Augmentation of the Road Network Contribution.

Prior to works commencing, plans for the works described above must be approved as part of an Operational Works application.

4.6 Roadworks – Internal

Internal Road A must be constructed to Minor Collector Road standard in accordance with FNQROC Development Manual standards to the satisfaction of Council's delegated officer.

All other internal roads must be constructed to Access Street standard in accordance with FNQROC Development Manual standards to the satisfaction of Council's delegated officer.

A temporary turnaround area, with gravel surface, must be provided at the end of the new road construction adjacent to the balance area of the overall subdivision to allow traffic manoeuvring.

4.7 Water Supply

- (a) Where the existing reticulated water supply does not currently service the site or is not at an adequate capacity, the developer is required to extend or upgrade the reticulated water supply infrastructure to connect the site to Council's existing infrastructure at a point that has sufficient capacity to service the development in accordance with FNQROC Development Manual standards (as amended). The water reticulation shall be constructed generally in accordance with the Jim Papas Drafting Pty Ltd Drawing Number 1180 SK14-70(A).
- (b) Specific water supply infrastructure requirements:
 - (i) Stage 1, 2A and 2B, up to a maximum of 33 lots, is to be supplied by a minimum of 150 mm nominal bore water main connected to Council's existing water infrastructure within Fallon Road;

- (ii) Before or during the development of a 34th lot, a second water main of an appropriate size agreed to by Council's delegated officer is to be constructed from Masons Road to the development, extending to and connecting with the main constructed under (b)(i).
 - (iii) Council suggests that the applicant seek an easement through a neighbouring allotment such as Lot 0 on SP111147 to facilitate the second connection required under (b)(ii). Any easement must be created in favour of Council for water supply purposes.
 - (iv) The value (as agreed by Council's delegated officer) of the works associated with the second water main described in (b)(ii) including acquiring, surveying and registering the easement, design, construction and connection of the water main, shall be credited towards any contribution under Mareeba Shire Planning Scheme Policy 2 - Headworks Charges for Water Supply and Sewerage.
- (c) A water service connection must be provided to each proposed lot in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.

4.8 On-Site Wastewater Management

At the time of building construction an on-site effluent disposal system must be constructed on each lot generally in accordance with the report prepared by Golder Associates and received at Council on 12 April 2013 in compliance with the latest version On-Site Domestic Wastewater Management Standard (ASNZ1547) to the satisfaction of the Council's delegated officer.

4.9 Electricity provision/supply

The applicant/developer must ensure that an appropriate level of electricity supply is provided to each allotment in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.

Written advice from an Electricity Service Provider is to be provided to Council indicating that an agreement has been made for the provision of **underground** power reticulation.

4.10 Telecommunications

The applicant/developer must enter into an agreement with a telecommunication carrier to provide telecommunication services to each allotment and arrange provision of necessary conduits and enveloping pipes.

4.11 Pathway linking Road D to Road C - Stage 3E

- (a) A 2m wide pedestrian/cycle concrete path will be provided generally in accordance with the requirements of the FNQROC Development Manual, and to the satisfaction of Council's delegated officer.
- (b) A plan of the pedestrian/cycle path will be submitted prior to lodgement of an application for Operational Works for Stage 3E.

4.12 Lighting

Street lighting must be provided to all roads in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.

4.13 Street Tree Planting

Street tree planting must be provided in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer. The plan depicting species must be submitted to Council's delegated officer for approval. The street trees must be planted in accordance with the approved plan.

4.14 Building Envelope

- (a) All buildings and associated firebreak and effluent disposal areas for each allotment must be located within the approved Building Envelope for the respective allotment as identified on Drawing Number 1180 SK14-34 Amdt B - Plan of Building Envelopes dated August 2012.
- (b) No vegetation is to be removed for the purposes of a dwelling and development ancillary to a dwelling, including for on-site effluent disposal, from outside the designated building envelope.
- (c) The two (2) isolated areas of building envelope on proposed Lots 10 and 11 within the Q100 inundation area as identified on Drawing 1180 SK14-34 Amdt B must be restricted to non-habitable uses that are without walls, such as barbeque shelters and pavilions.

4.15 Landscaping / Site Maintenance

Landscaping / site maintenance carried out as per this approval, and in accordance with the FNQROC Manual, shall be maintained for all areas, including parks, covenants, easements, noise mounds, traffic islands, medians, roundabouts and road verges as follows:

- replacement of trees / shrubs / plantings as required
- landscaping / site maintenance shall include mowing / slashing of all areas outlined above
- landscaping / site maintenance is to be continued throughout the Defects Liability Period until date of Final Acceptance

Contrary to Section D9.23 Paragraph 7 of the FNQROC Manual, the maintenance period for irrigation works and landscaping shall be a minimum of twelve months.

(B) ASSESSMENT MANAGER'S ADVICE

- (a) An Adopted Infrastructure Charges Notice has been issued with respect to the approved development. The Adopted Infrastructure Charges Notice details the type of infrastructure charge/s, the amount of the charge/s and when the charge/s are payable.

- (b) The Adopted Infrastructure Charges Notice does not include all charges or payments that are payable with respect to the approved development. A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.

(c) Easement Documents

The Mareeba Shire Council has developed standard easement documentation to assist in the drafting of formal easement documents for Council easements. Please contact the Regional Land Use Planning Group for more information regarding the drafting of easement documents for Council easements.

(d) Endorsement Fees

Please be advised that Council charges a fee for the endorsement of a Survey Plan, Community Management Statements, easement documents, and covenants. The fee is set out in Council's Fees & Charges Schedule applicable for each respective financial year.

(e) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

(f) Notation on Rates Record

A notation will be placed on Council's Rate record with respect to each lot regarding the following conditions:

- a registered covenant
- an approved building envelope plan
- conditions regarding bushfire management
- an approved bushfire management plan
- a registered easement over the subject site
- flood immunity
- An on-site effluent disposal system must be constructed in accordance with the approved site and soil evaluation report
- Department of Transport and Main Road conditions and Department of Natural Resources and Mines conditions.

(g) Transportation of Soil

All soil transport to or from the site must be covered to prevent dust or spillage during transport. If soil is tracked or spilt onto the road pavements as a result of works on the subject site, it must be removed prior to the end of the working day and within four (4) hours of a request from a Council Officer.

(h) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.environment.gov.au.

(i) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the “cultural heritage duty of care”). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.datsima.qld.gov.au.

FNQROC Regional Development Manual

Section	Assessment
DP1 - Development Principles	Complies
AP1 - Application Procedures	Complies
D1 - Road Geometry	Will be conditioned to comply
D2 - Site Regrading	Will be conditioned to comply
D3 - Road Pavements	Will be conditioned to comply
D4 - Stormwater Drainage	Complies
D5 - Stormwater Quality Management	Complies
D6 - Water Reticulation	Will be conditioned to comply
D7 - Sewerage System	Complies
D8 - Utilities	Will be conditioned to comply
D9 - Landscaping	Will be conditioned to comply

REFERRALS

Nil

Internal Consultation

Technical Services

OFFICER'S RECOMMENDATION

1. That in relation to this operational works development application:

APPLICATION		PREMISES	
APPLICANT:	Jumrum Rainforest Pty Ltd	ADDRESS:	Fallon Road, Kuranda
DATE LODGED	22 January 2024	RPD:	Lot 72 on RP903071
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Operational Works (Roadworks, Stormwater, & Water Supply Infrastructure, Drainage and Earthworks) for Development Permit DA/12/0035 – Jumrum Rainforest Subdivision Stage 2 (30 Lots)		

and in accordance with the Planning Act 2016, as amended, the applicant be notified that the application for operational works:

Approved subject to the following assessment manager conditions:

(A) APPROVED DEVELOPMENT: Operational Works (Roadworks, Stormwater, & Water Supply Infrastructure, Drainage and Earthworks) for Development Permit DA/12/0035 – Jumrum Rainforest Subdivision Stage 2 (30 Lots)

(B) APPROVED PLANS:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
ARO0336-C00	Cover Sheet, Locality and Drawing Schedule	ARO Industries	22/12/2023
ARO0336-C01	General Arrangement Plan	ARO Industries	28/02/2024
ARO0336-C02	Roadworks and Stormwater Drainage Plan – Sheet 1 of 2	ARO Industries	22/12/2023
ARO0336-C03	Roadworks and Stormwater Drainage Plan – Sheet 2 of 2	ARO Industries	22/12/2023
ARO0336-C04	Type Cross Section and Miscellaneous Details	ARO Industries	22/12/2023
ARO0336-C05	Road A Longitudinal Section	ARO Industries	22/12/2023
ARO0336-C06	Roads B, C and D Longitudinal Sections	ARO Industries	22/12/2023
ARO0336-C07	Road A Annotated Cross Sections – Sheet 1 of 3	ARO Industries	22/12/2023
ARO0336-C08	Road A Annotated Cross Sections – Sheet 2 of 3	ARO Industries	22/12/2023
ARO0336-C09	Road A Annotated Cross Sections – Sheet 3 of 3	ARO Industries	22/12/2023
ARO0336-C10	Roads B and D Annotated Cross Sections	ARO Industries	22/12/2023
ARO0336-C11	Road C Annotated Cross Sections	ARO Industries	22/12/2023
ARO0336-C12	Intersection Setout and Details – Sheet 1 of 2	ARO Industries	22/12/2023
ARO0336-C13	Intersection Setout and Details – Sheet 2 of 2	ARO Industries	22/12/2023
ARO0336-C14	Driveway Setout and Details – Sheet 1 of 2	ARO Industries	22/12/2023
ARO0336-C15	Driveway Setout and Details – Sheet 2 of 2	ARO Industries	22/12/2023

ARO0336-C16	Stormwater Drainage Longitudinal Sections – Sheet 1 of 3	ARO Industries	22/12/2023
ARO0336-C17	Stormwater Drainage Longitudinal Sections – Sheet 2 of 3	ARO Industries	22/12/2023
ARO0336-C18	Stormwater Drainage Longitudinal Sections – Sheet 3 of 3	ARO Industries	22/12/2023
ARO0336-C19	Culvert Plan, Section and Elevation	ARO Industries	22/12/2023
ARO0336-C20	Water Reticulation Plan – Sheet 1 of 2	ARO Industries	22/12/2023
ARO0336-C21	Water Reticulation Plan – Sheet 2 of 2	ARO Industries	22/12/2023
ARO0336-C22	Erosion and Sediment Control Plan – Sheet 1 of 2	ARO Industries	22/12/2023
ARO0336-C23	Erosion and Sediment Control Plan – Sheet 2 of 2	ARO Industries	22/12/2023
363-L00	Cover Page, Specification Notes & Plant List	LA3 Pty Ltd	1/11/2023
363-L01	Landscape Plan	LA3 Pty Ltd	1/11/2023

(C) ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)

(a) **General**

- (i) "For Construction" issue engineered drawings must be certified as approved by a suitably qualified Registered Professional Engineer of Queensland (RPEQ) and submitted to Council for review prior to the Pre-Start Meeting. The plans must be amended to include any changes required by these conditions of approval.
- (ii) All operational works must be designed and constructed in accordance with the procedures as set out in the FNQROC Development Manual.
- (iii) Development, including must be carried out substantially in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, and subject to any alterations:
 - found necessary by the Council's Delegated Officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements;
 - to ensure the works comply in all respects with the requirements and procedures of the FNQROC Development Manual, Queensland Urban Drainage Manual and good engineering practice; and
 - to ensure compliance with the following conditions of approval.
- (iv) Council's examination of the documents should not be taken to mean that the documents have been checked in detail and Council takes no responsibility for their accuracy. If during construction, inadequacies of the design are discovered, it is the responsibility of the Principal Consulting Engineer to resubmit amended plans to Council for approval and rectify works accordingly.
- (v) At the applicant/developer's discretion, single shared driveways may be installed within the access handles of Lots 75/78 and Lots 80/81. Each shared driveway must have a minimum width of 4 metres and reciprocal access and

services easements established over the full length of the shared driveway/s in order to provide lawful access to each benefitted lot.

- (vi) The stormwater network must be constructed using reinforced concrete piping only, no PVC or polypropylene piping is permitted.
- (vii) The construction finish including surface treatment of all drainage easements is to be confirmed on-site by Council's delegated officer.
- (viii) All water supply network road crossings are to be constructed using DICL.

(b) Pre-start Meeting

- (i) In addition to the requirements of Clause CP1.07 and CP1.08 of the FNQROC Development Manual; after documentation has been approved by Council, a pre-start meeting is to be held on site prior to the commencement of work. Part 1 of the **attached** pre-start meeting pro-forma is to be completed and returned prior to the meeting including clause 1.u 'Request for Meeting' together with the prescribed Construction Monitoring Fee as set out in Council's Schedule of Fees.

(c) Inspections

- (i) Inspections are to be carried out as detailed in the FNQROC Manual unless advised otherwise at the pre-start meeting.

(d) Construction Security Bond and Defects Liability Bond

- (i) In addition to Clauses CP1.06 and CP1.20 of the FNQROC Development Manual; the Construction Security Bond and Defects Liability Bond shall each be a minimum of \$1000 and Bank Guarantees shall have no termination date.
- (ii) During the Defects Liability period, it is the responsibility of the developer to rectify any works found to be defective due to design faults and or found to exhibit faults attributed to the performance of the construction activities in terms of quality and conformance with design and specifications. The bond will be returned on satisfactory correction of any defective work and after expiration of the maintenance period. Failure to comply with a Council issued instruction to correct defective work may result in the call up of the bond to have the work completed.

(e) Hours of Work

- (i) Work involving the operation of construction plant and equipment of any description, shall only be carried out on site during the following times:
 - 7.00am to 6.00pm, Monday to Friday;
 - 7.00am to 1.00pm Saturdays;
 - No work is permitted on Sundays or Public Holidays.
- (ii) No variation to the above working hours is allowed unless otherwise agreed in writing by Council.

(f) Transportation of Soil

- (i) All soil transported to or from the site must be covered to prevent dust or spillage during transport. If soil is tracked or spilt onto the road pavement from works on the subject land, it must be removed no later than at the end of each working day. Sediment must not enter Council's stormwater drainage network.

(D) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Two (2) years (starting the day the approval takes effect).

(E) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

- Nil

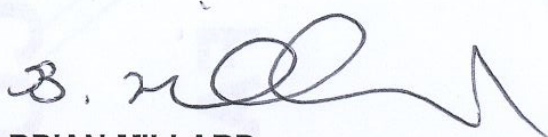
Date Prepared – 22 March 2024

DECISION BY DELEGATE

DECISION

Having considered the Senior Planners report detailed above, I approve, as delegate of Council, the application subject to the conditions listed in the report.

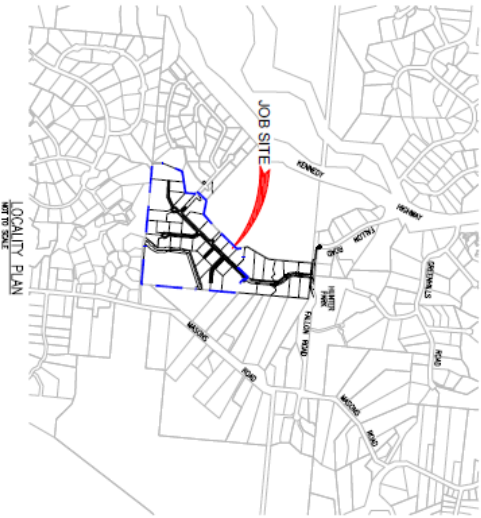
Dated the 25TH day of MARCH 2024



BRIAN MILLARD
COORDINATOR PLANNING SERVICES

MAREEBA SHIRE
AS DELEGATE OF THE COUNCIL

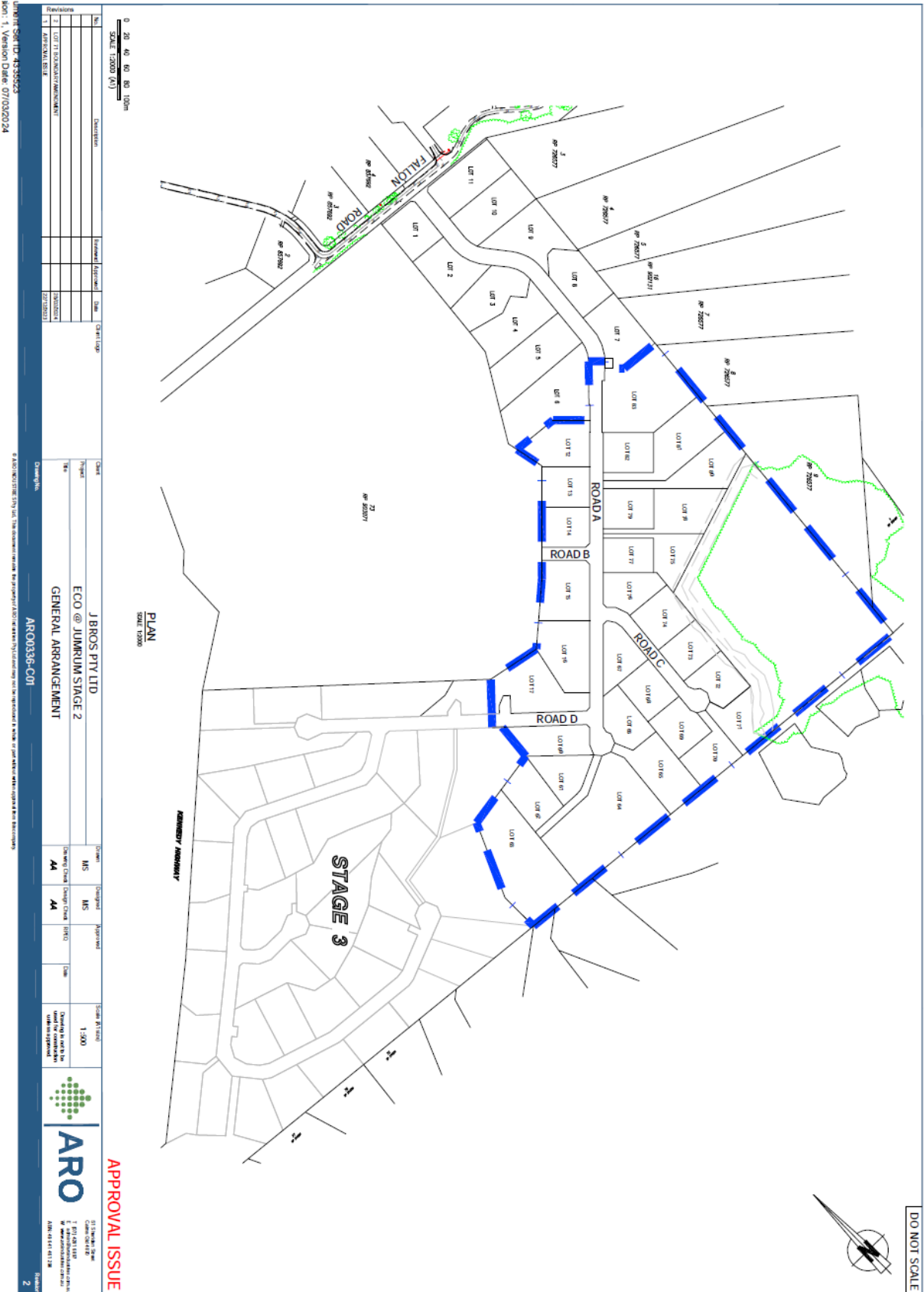
ECO @ JUMRUM STAGE 2 AT FALLON ROAD, KURANDA



DRAWING SCHEDULE

AR00336-C00	COVER SHEET, LOCALITY PLAN AND DRAWING SCHEDULE
AR00336-C01	GENERAL ARRANGEMENT PLAN
AR00336-C02	ROADWORKS AND STORMWATER DRAINAGE PLAN – SHEET 1 OF 2
AR00336-C03	ROADWORKS AND STORMWATER DRAINAGE PLAN – SHEET 2 OF 2
AR00336-C04	TYPE CROSS SECTION AND MISCELLANEOUS DETAILS
AR00336-C05	ROAD A LONGITUDINAL SECTION
AR00336-C06	ROAD B, C AND D LONGITUDINAL SECTIONS
AR00336-C07	ROAD A ANNOTATED CROSS SECTIONS – SHEET 1 OF 3
AR00336-C08	ROAD A ANNOTATED CROSS SECTIONS – SHEET 2 OF 3
AR00336-C09	ROAD A ANNOTATED CROSS SECTIONS – SHEET 3 OF 3
AR00336-C10	ROADS B AND D ANNOTATED CROSS SECTIONS
AR00336-C11	ROAD C ANNOTATED CROSS SECTIONS
AR00336-C12	INTERSECTION SETOUT AND DETAILS – SHEET 1 OF 2
AR00336-C13	INTERSECTION SETOUT AND DETAILS – SHEET 2 OF 2
AR00336-C14	DRIVEWAY SETOUT AND DETAILS – SHEET 1 OF 2
AR00336-C15	DRIVEWAY SETOUT AND DETAILS – SHEET 2 OF 2
AR00336-C16	STORMWATER DRAINAGE LONGITUDINAL SECTIONS – SHEET 1 OF 3
AR00336-C17	STORMWATER DRAINAGE LONGITUDINAL SECTIONS – SHEET 2 OF 3
AR00336-C18	STORMWATER DRAINAGE LONGITUDINAL SECTIONS – SHEET 3 OF 3
AR00336-C19	CULVERT PLAN, SECTION AND ELEVATION
AR00336-C20	WATER RECIRCULATION PLAN – SHEET 1 OF 2
AR00336-C21	WATER RECIRCULATION PLAN – SHEET 2 OF 2
AR00336-C22	EROSION AND SEDIMENT CONTROL PLAN – SHEET 1 OF 2
AR00336-C23	EROSION AND SEDIMENT CONTROL PLAN – SHEET 2 OF 2

APPROVAL ISSUE



No.	Description	Revised Approval No.	Date	Drawn By
1	LOT 17 DEVELOPMENT AMENDMENT			TRACYNDA
2	APPROVALS			TRACYNDA

Revisions	Drawn By	Checked By	Date
1	TRACYNDA		27/03/2024

Client	Project	Drawn	Checked	Approved	Scale
J BROS PTY LTD	ECO @ JIMIRIUM STAGE 2	MS	MS		1:3000
AR00336-001	GENERAL ARRANGEMENT	AA	AA		

Drawn	Checked	Approved	Scale
MS	MS		1:3000
AA	AA		

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 01 2646 1100

 1 DUNDAS STREET

 SYDNEY NSW 2008

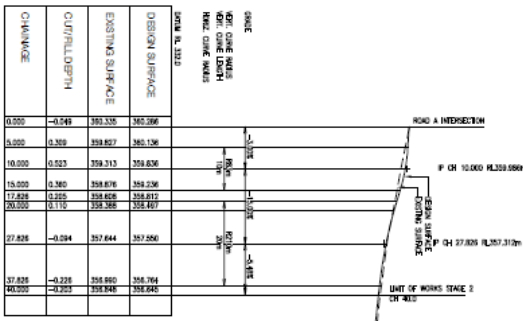
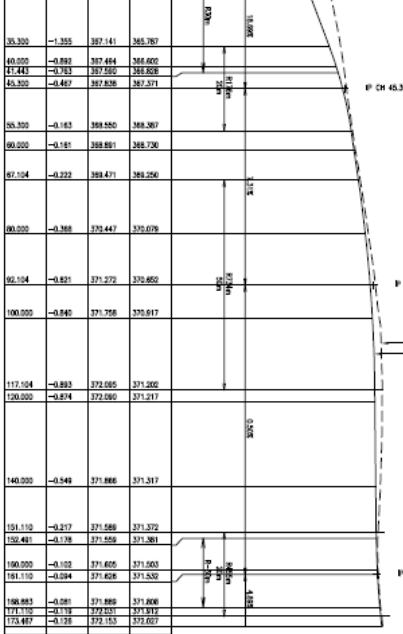
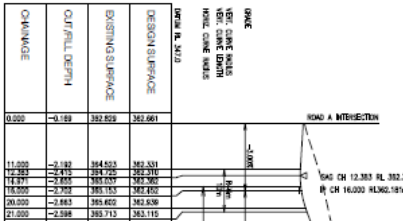
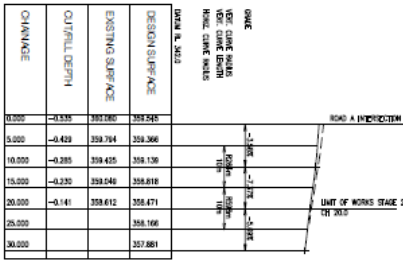
 AUSTRALIA

APPROVAL ISSUE

Plan Set ID: 4340695
 Kon: 1, Version Date: 07/03/2024

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DO NOT SCALE



ROAD B LONGITUDINAL SECTION
SCALE: HORIZ. 1:200 VERT. 1:20

ROAD C LONGITUDINAL SECTION
SCALE: HORIZ. 1:200 VERT. 1:20

ROAD D LONGITUDINAL SECTION
SCALE: HORIZ. 1:200 VERT. 1:20

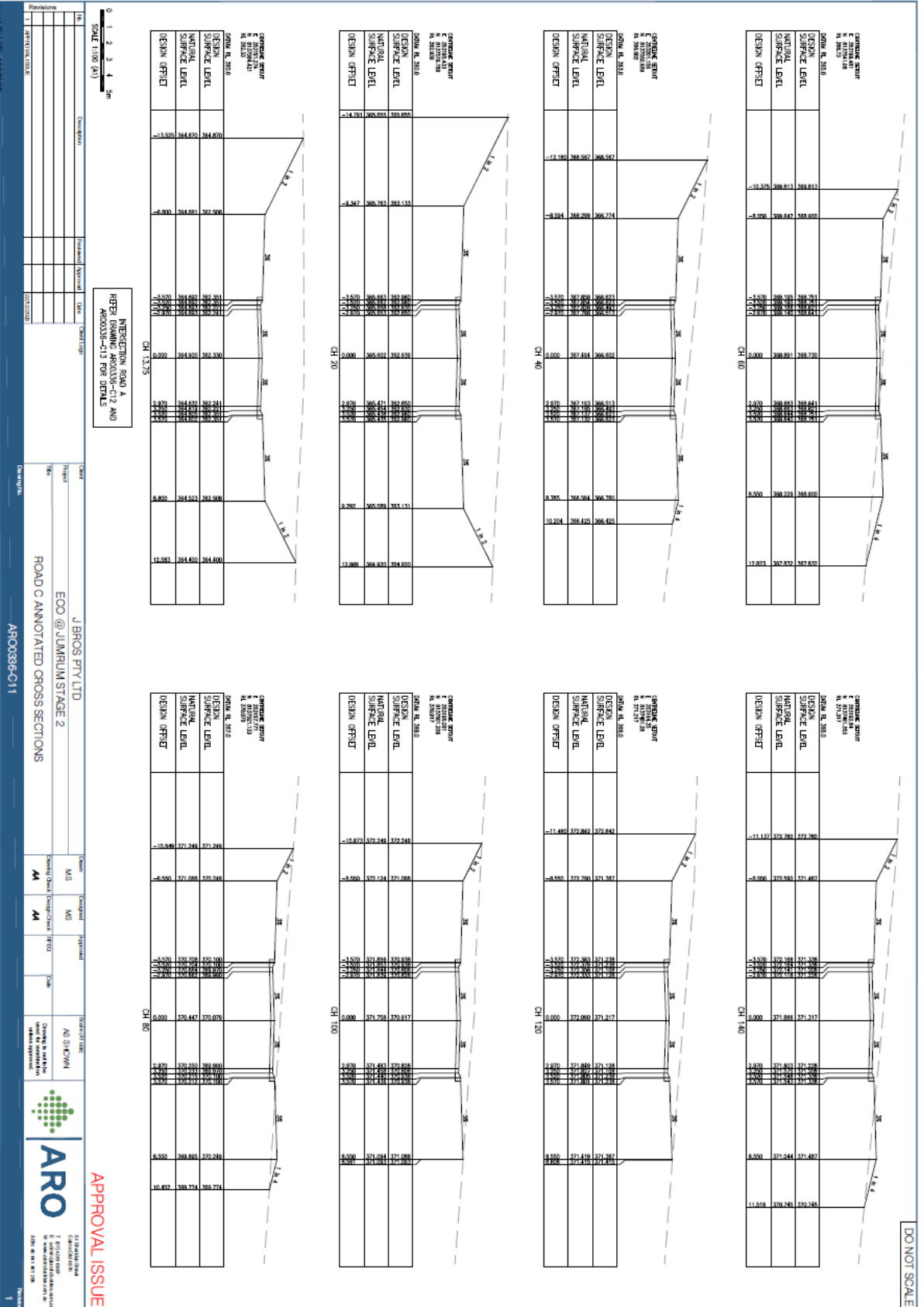
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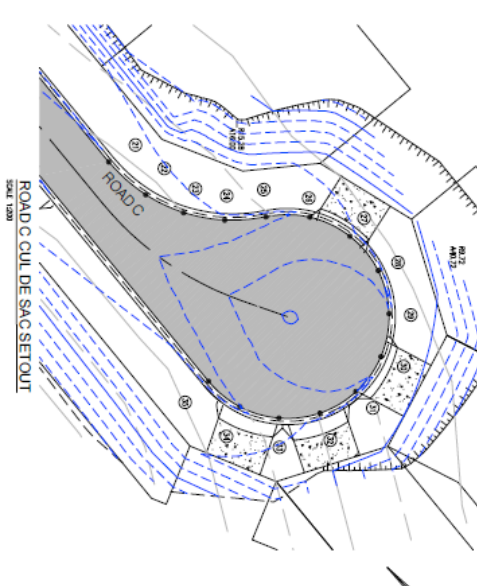
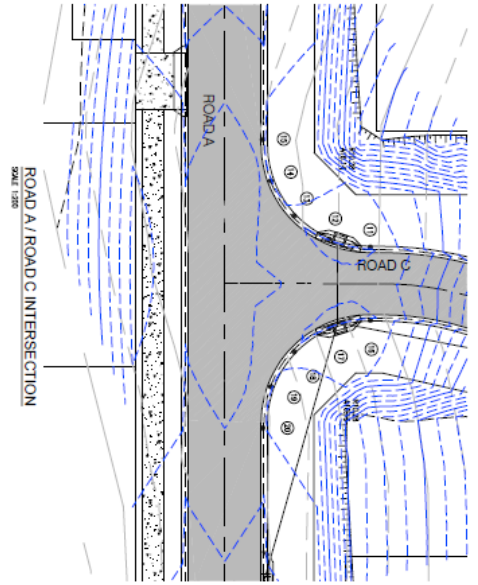
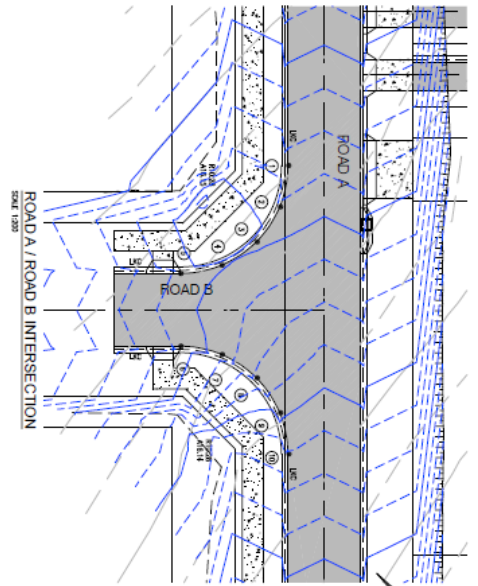
Client: J BROS PTY LTD
 Project: ECO @ JUMRUM STAGE 2
 Drawn: ARO
 Checked: ARO
 Approved: ARO
 Date: 26/03/2024

Scale: HORIZ. 1:200 VERT. 1:20

APPROVAL ISSUE

ARO
 11/11/2018
 11/11/2018
 11/11/2018





0 2 4 6 8 10m
SCALE: (200:1)

NO.	REVISIONS	DATE	BY	CHKD.
1	APPROVAL ISSUE	2023/03/24		

J.BROS PTY LTD
 ECO @ JUMIRUM STAGE 2
 INTERSECTION SETOUT AND DETAILS
 SHEET 1 OF 2
 ARO0386-012

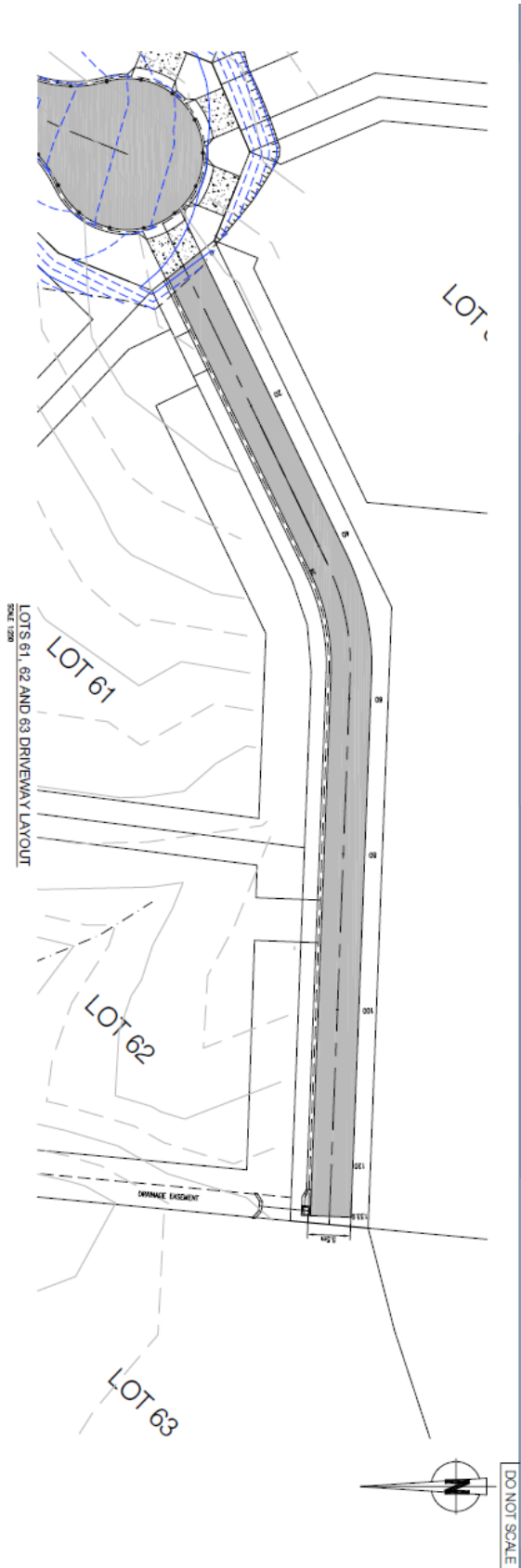
NO.	REVISIONS	DATE	BY	CHKD.
1	APPROVAL ISSUE	2023/03/24		

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1. CONSULTING ENGINEERS
 2. ARCHITECTS
 3. CIVIL ENGINEERS
 4. ELECTRICAL ENGINEERS
 5. MECHANICAL ENGINEERS
 6. PLUMBING ENGINEERS
 7. STRUCTURAL ENGINEERS
 8. SURVEYORS
 9. TRAFFIC ENGINEERS
 10. WATER ENGINEERS

APPROVAL ISSUE

PROJECT: ECO @ JUMIRUM STAGE 2
 SHEET: INTERSECTION SETOUT AND DETAILS
 SHEET 1 OF 2
 DATE: 26/03/2024
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



No.	Description	Prepared	Approved	Date	By
1	APPROVAL ISSUE				

Client	Project	Drawn	Checked	Approved	Issue Date
J BROS PTY LTD	ECO @ JUMRUM STAGE 2	M/S	M/S		
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	SHEET 1 OF 2				

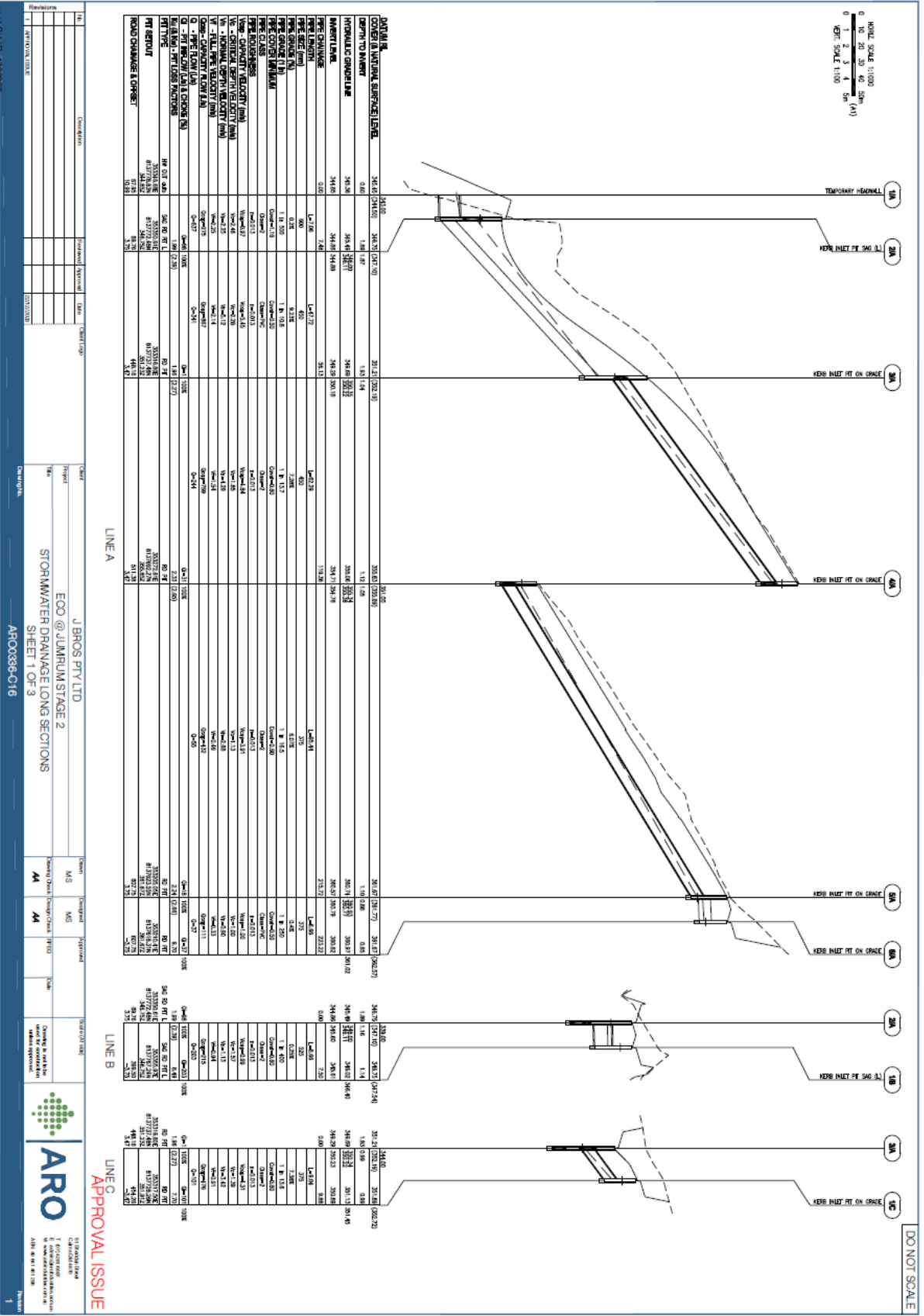
ARO

11 GARDEN ROAD
 11 GARDEN ROAD
 11 GARDEN ROAD
 11 GARDEN ROAD

APPROVAL ISSUE

Project Set ID: 4340695
 Doc 1, Version Date: 17/01/2024

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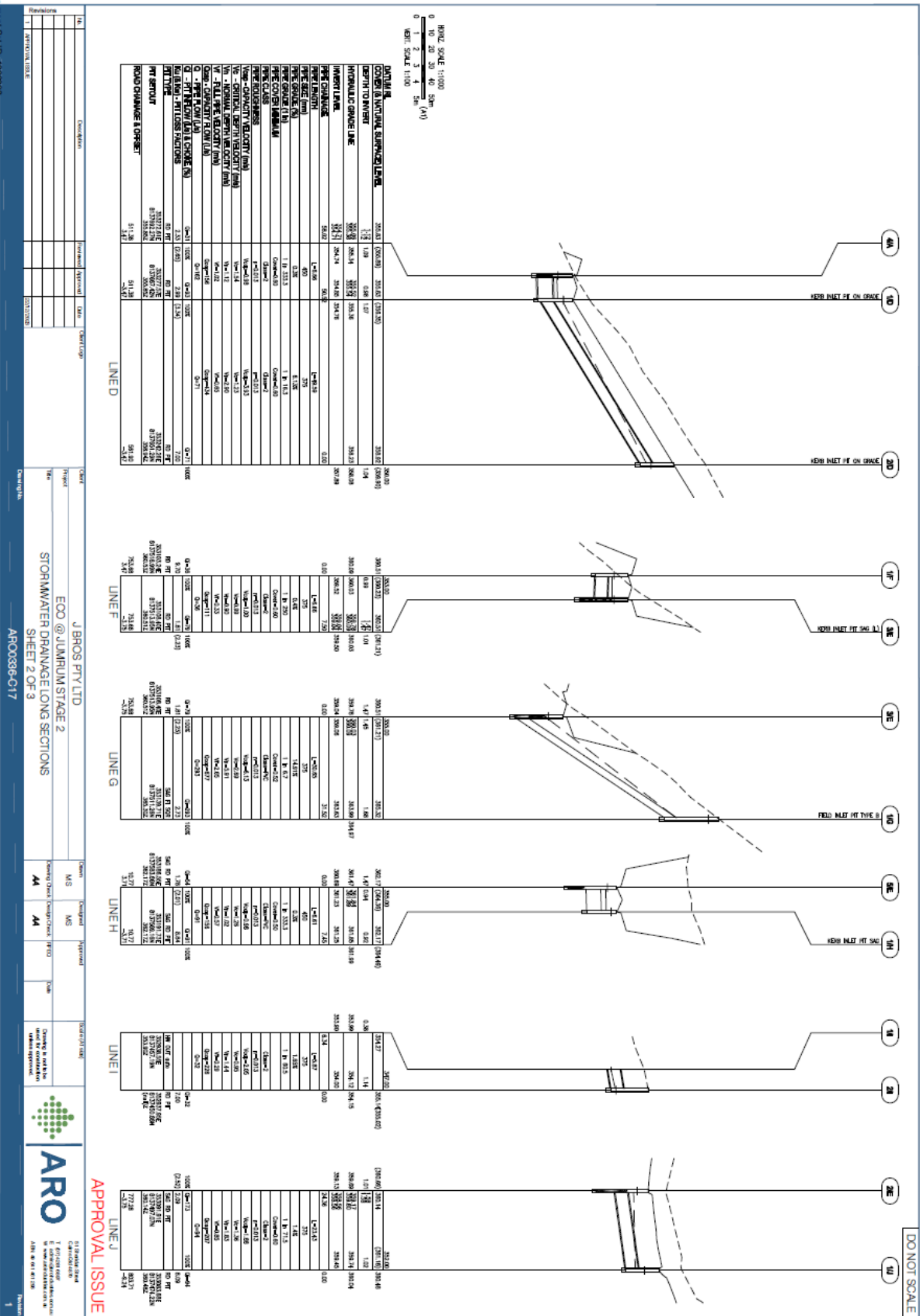
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1	APPROVAL ISSUE			

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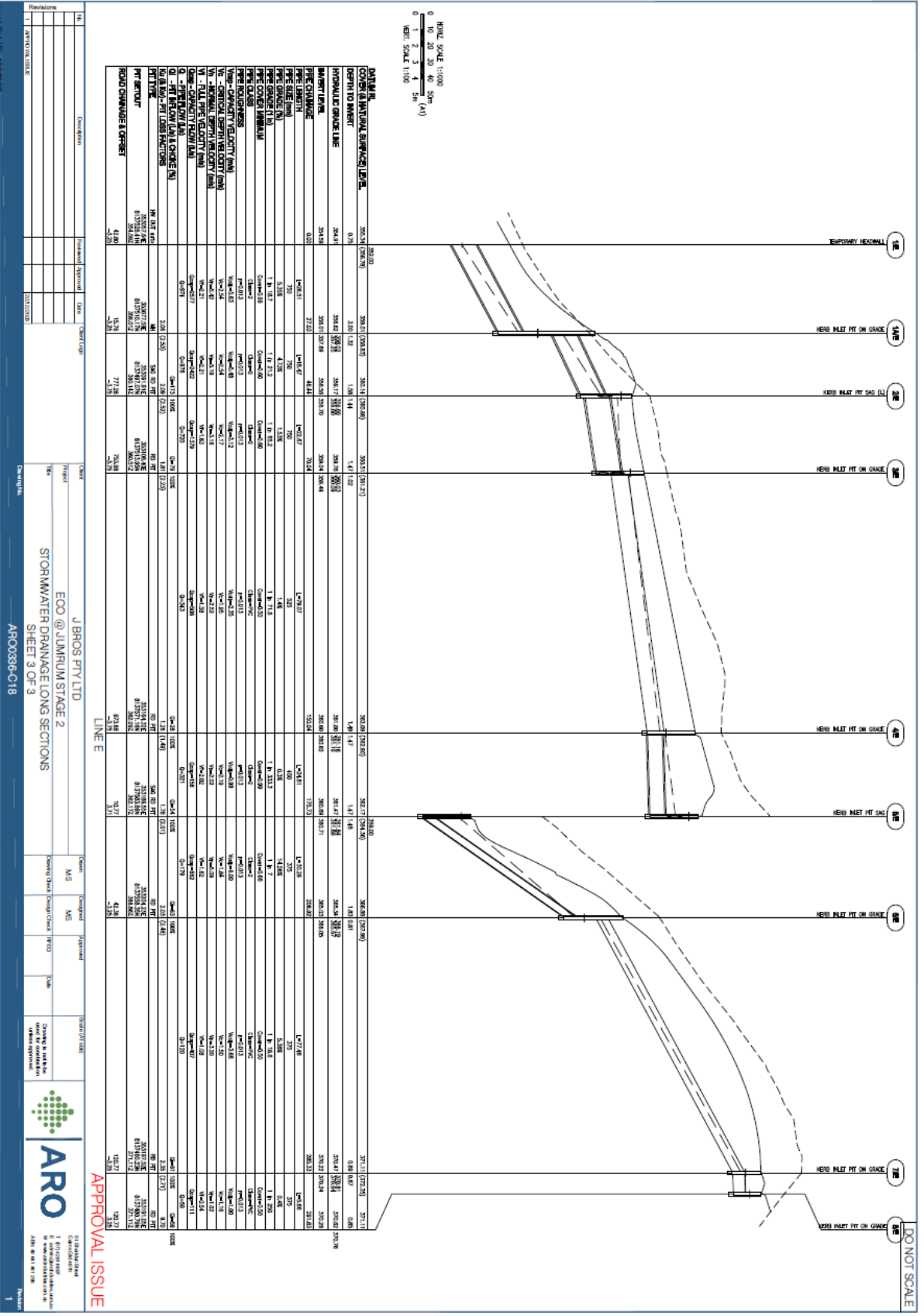
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J BROS PTY LTD
 EOC @ JUMRUM STAGE 2
 STORMWATER DRAINAGE LONG SECTIONS
 SHEET 1 OF 3
 ARO0386-C-16

UNEC APPROVAL ISSUE

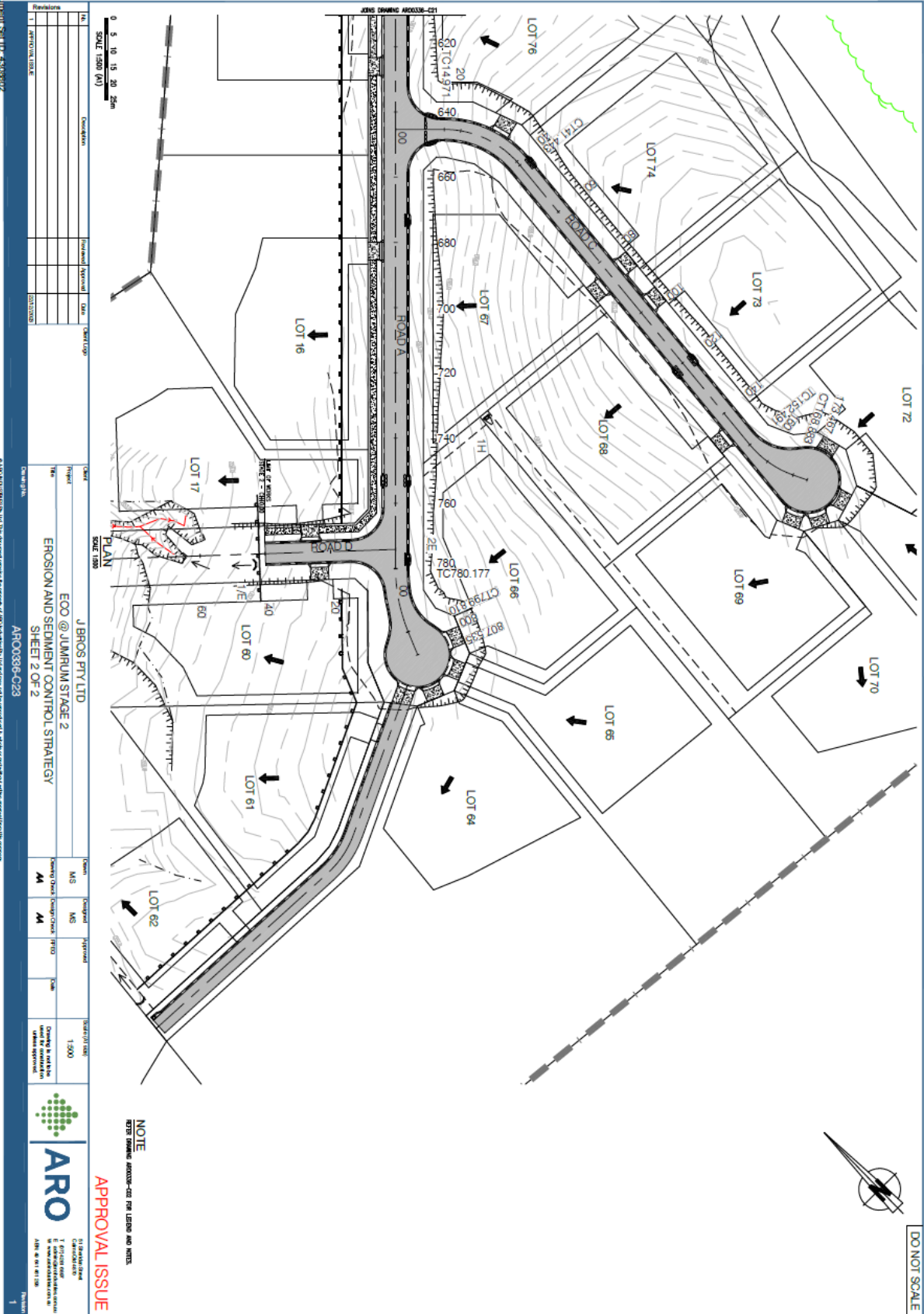


Document Set ID: 4340695
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Document Set ID: 4340695
 Version: 1, Version Date: 17/01/2024

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Revisions

No.	Description	Prepared	Reviewed	Date	Scale
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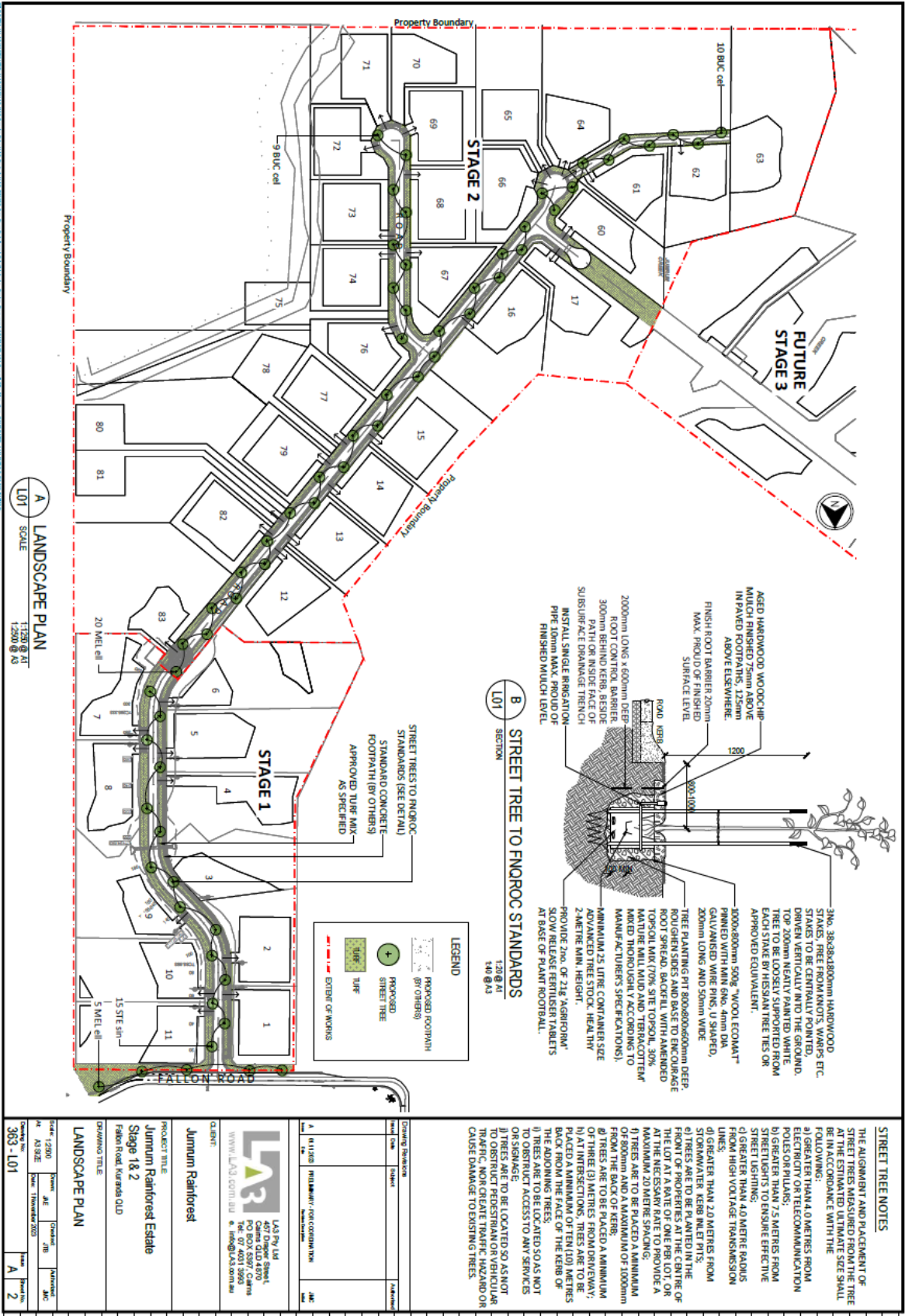
Client: J BROS PTY LTD
 Project: EOC @ JUMHUM STAGE 2
 Drawing Title: EROSION AND SEDIMENT CONTROL STRATEGY
 Drawing No: AFO0386-C23
 Sheet: SHEET 2 OF 2

Drawn	Checked	Approved	Scale
M/S	M/S		1:300
M	M		

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 11 BARNUM ROAD
 11 FORTITUDE AVENUE
 11 BARNUM ROAD
 11 FORTITUDE AVENUE
 11 BARNUM ROAD
 11 FORTITUDE AVENUE

NOTE
 REFER DRAWING APPROX-C21 FOR LINES AND NOTES
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