



25 March 2024

Planning Officer: Carl Ewin
Direct Phone: 07 4086 4656
Our Reference: OPW/24/0001
Your Reference: ARO0336

Jumrum Rainforest Pty Ltd
C/- ARO Industries Pty Ltd
51 Sheridan Street
CAIRNS QLD 4870

Dear Applicants,

Decision Notice

Planning Act 2016

I refer to your application and advise that on 25 March 2024 under delegated authority, Council decided to approve the application in full subject to conditions.

Details of the decision are as follows:

APPLICATION DETAILS

Application No:	OPW/24/0001
Street Address:	Fallon Road, Kuranda
Real Property Description:	Lot 72 on RP903071
Planning Scheme:	Mareeba Shire Council Planning Scheme 2016

DECISION DETAILS

Type of Decision:	Approval
Type of Approval:	Development Permit for Operational Works (Roadworks, Stormwater, & Water Supply Infrastructure, Drainage and Earthworks) for Development Permit DA/12/0035 – Jumrum Rainforest Subdivision Stage 2 (30 Lots)
Date of Decision:	25 March 2024

CURRENCY PERIOD OF APPROVAL

The currency period for this development approval is Two (2) years starting the day that this development approval takes effect. (Refer to Section 85 "Lapsing of approval at end of currency period" of the *Planning Act 2016*.)

INFRASTRUCTURE

Where conditions relate to the provision of infrastructure, these are non-trunk infrastructure conditions unless specifically nominated as a "*necessary infrastructure condition*" for the provision of trunk infrastructure as defined under Chapter 4 of the *Planning Act 2016*.

ASSESSMENT MANAGER CONDITIONS**(C) ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)****(a) General**

- (i) "For Construction" issue engineered drawings must be certified as approved by a suitably qualified Registered Professional Engineer of Queensland (RPEQ) and submitted to Council for review prior to the Pre-Start Meeting. The plans must be amended to include any changes required by these conditions of approval.
- (ii) All operational works must be designed and constructed in accordance with the procedures as set out in the FNQROC Development Manual.
- (iii) Development, including must be carried out substantially in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, and subject to any alterations:
 - found necessary by the Council's Delegated Officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements;
 - to ensure the works comply in all respects with the requirements and procedures of the FNQROC Development Manual, Queensland Urban Drainage Manual and good engineering practice; and
 - to ensure compliance with the following conditions of approval.
- (iv) Council's examination of the documents should not be taken to mean that the documents have been checked in detail and Council takes no responsibility for their accuracy. If during construction, inadequacies of the design are discovered, it is the responsibility of the Principal Consulting Engineer to resubmit amended plans to Council for approval and rectify works accordingly.
- (v) At the applicant/developer's discretion, single shared driveways may be installed within the access handles of Lots 75/78 and Lots 80/81. Each shared

driveway must have a minimum width of 4 metres and reciprocal access and services easements established over the full length of the shared driveway/s in order to provide lawful access to each benefitted lot.

- (vi) The stormwater network must be constructed using reinforced concrete piping only, no PVC or polypropylene piping is permitted.
- (vii) The construction finish including surface treatment of all drainage easements is to be confirmed on-site by Council's delegated officer.
- (viii) All water supply network road crossings are to be constructed using DICL.

(b) Pre-start Meeting

- (i) In addition to the requirements of Clause CP1.07 and CP1.08 of the FNQROC Development Manual; after documentation has been approved by Council, a pre-start meeting is to be held on site prior to the commencement of work. Part 1 of the **attached** pre-start meeting pro-forma is to be completed and returned prior to the meeting including clause 1.u 'Request for Meeting' together with the prescribed Construction Monitoring Fee as set out in Council's Schedule of Fees.

(c) Inspections

- (i) Inspections are to be carried out as detailed in the FNQROC Manual unless advised otherwise at the pre-start meeting.

(d) Construction Security Bond and Defects Liability Bond

- (i) In addition to Clauses CP1.06 and CP1.20 of the FNQROC Development Manual; the Construction Security Bond and Defects Liability Bond shall each be a minimum of \$1000 and Bank Guarantees shall have no termination date.
- (ii) During the Defects Liability period, it is the responsibility of the developer to rectify any works found to be defective due to design faults and or found to exhibit faults attributed to the performance of the construction activities in terms of quality and conformance with design and specifications. The bond will be returned on satisfactory correction of any defective work and after expiration of the maintenance period. Failure to comply with a Council issued instruction to correct defective work may result in the call up of the bond to have the work completed.

(e) Hours of Work

- (i) Work involving the operation of construction plant and equipment of any description, shall only be carried out on site during the following times:
- 7.00am to 6.00pm, Monday to Friday;
 - 7.00am to 1.00pm Saturdays;
 - No work is permitted on Sundays or Public Holidays.
- (ii) No variation to the above working hours is allowed unless otherwise agreed in writing by Council.

(f) Transportation of Soil

- (i) All soil transported to or from the site must be covered to prevent dust or spillage during transport. If soil is tracked or spilt onto the road pavement from works on the subject land, it must be removed no later than at the end of each working day. Sediment must not enter Council's stormwater drainage network.

REFERRAL AGENCIES

Not Applicable.

APPROVED PLANS

The following plans are Approved plans for the development:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
ARO0336-C00	Cover Sheet, Locality and Drawing Schedule	ARO Industries	22/12/2023
ARO0336-C01	General Arrangement Plan	ARO Industries	28/02/2024
ARO0336-C02	Roadworks and Stormwater Drainage Plan – Sheet 1 of 2	ARO Industries	22/12/2023
ARO0336-C03	Roadworks and Stormwater Drainage Plan – Sheet 2 of 2	ARO Industries	22/12/2023
ARO0336-C04	Type Cross Section and Miscellaneous Details	ARO Industries	22/12/2023
ARO0336-C05	Road A Longitudinal Section	ARO Industries	22/12/2023
ARO0336-C06	Roads B, C and D Longitudinal Sections	ARO Industries	22/12/2023
ARO0336-C07	Road A Annotated Cross Sections – Sheet 1 of 3	ARO Industries	22/12/2023
ARO0336-C08	Road A Annotated Cross Sections – Sheet 2 of 3	ARO Industries	22/12/2023

ARO0336-C09	Road A Annotated Cross Sections – Sheet 3 of 3	ARO Industries	22/12/2023
ARO0336-C10	Roads B and D Annotated Cross Sections	ARO Industries	22/12/2023
ARO0336-C11	Road C Annotated Cross Sections	ARO Industries	22/12/2023
ARO0336-C12	Intersection Setout and Details – Sheet 1 of 2	ARO Industries	22/12/2023
ARO0336-C13	Intersection Setout and Details – Sheet 2 of 2	ARO Industries	22/12/2023
ARO0336-C14	Driveway Setout and Details – Sheet 1 of 2	ARO Industries	22/12/2023
ARO0336-C15	Driveway Setout and Details – Sheet 2 of 2	ARO Industries	22/12/2023
ARO0336-C16	Stormwater Drainage Longitudinal Sections – Sheet 1 of 3	ARO Industries	22/12/2023
ARO0336-C17	Stormwater Drainage Longitudinal Sections – Sheet 2 of 3	ARO Industries	22/12/2023
ARO0336-C18	Stormwater Drainage Longitudinal Sections – Sheet 3 of 3	ARO Industries	22/12/2023
ARO0336-C19	Culvert Plan, Section and Elevation	ARO Industries	22/12/2023
ARO0336-C20	Water Reticulation Plan – Sheet 1 of 2	ARO Industries	22/12/2023
ARO0336-C21	Water Reticulation Plan – Sheet 2 of 2	ARO Industries	22/12/2023
ARO0336-C22	Erosion and Sediment Control Plan – Sheet 1 of 2	ARO Industries	22/12/2023
ARO0336-C23	Erosion and Sediment Control Plan – Sheet 2 of 2	ARO Industries	22/12/2023
363-L00	Cover Page, Specification Notes & Plant List	LA3 Pty Ltd	1/11/2023
363-L01	Landscape Plan	LA3 Pty Ltd	1/11/2023

ADVISORY NOTES

The following notes are included for guidance and information purposes only and do not form part of the assessment manager conditions:

(B) ASSESSMENT MANAGER'S ADVICE

- (a) An Adopted Infrastructure Charges Notice has been issued with respect to the approved development. The Adopted Infrastructure Charges Notice details the type of infrastructure charge/s, the amount of the charge/s and when the charge/s are payable.

- (b) The Adopted Infrastructure Charges Notice does not include all charges or payments that are payable with respect to the approved development. A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.

- (c) Easement Documents

The Mareeba Shire Council has developed standard easement documentation to assist in the drafting of formal easement documents for Council easements. Please contact the Regional Land Use Planning Group for more information regarding the drafting of easement documents for Council easements.

- (d) Endorsement Fees

Please be advised that Council charges a fee for the endorsement of a Survey Plan, Community Management Statements, easement documents, and covenants. The fee is set out in Council's Fees & Charges Schedule applicable for each respective financial year.

- (e) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

- (f) Notation on Rates Record

A notation will be placed on Council's Rate record with respect to each lot regarding the following conditions:

- a registered covenant
- an approved building envelope plan
- conditions regarding bushfire management
- an approved bushfire management plan
- a registered easement over the subject site
- flood immunity
- An on-site effluent disposal system must be constructed in accordance with the approved site and soil evaluation report
- Department of Transport and Main Road conditions and Department of Natural Resources and Mines conditions.

(g) Transportation of Soil

All soil transport to or from the site must be covered to prevent dust or spillage during transport. If soil is tracked or spilt onto the road pavements as a result of works on the subject site, it must be removed prior to the end of the working day and within four (4) hours of a request from a Council Officer.

(h) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.environment.gov.au.

(i) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the "cultural heritage duty of care"). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.datsima.qld.gov.au.

PROPERTY NOTES

A notation will be placed on Council's Rate record with respect to each lot regarding the following conditions:

- a registered covenant
- an approved building envelope plan
- conditions regarding bushfire management
- an approved bushfire management plan
- a registered easement over the subject site
- flood immunity
- An on-site effluent disposal system must be constructed in accordance with the approved site and soil evaluation report
- Department of Transport and Main Road conditions and Department of Natural Resources and Mines conditions.

FURTHER DEVELOPMENT PERMITS REQUIRED

Not Applicable.

SUBMISSIONS

Not Applicable.

RIGHTS OF APPEAL

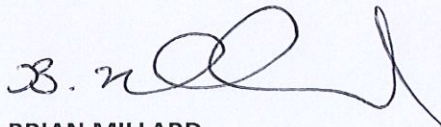
You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* is attached.

During the appeal period, you as the applicant may suspend your appeal period and make written representations to council about the conditions contained within the development approval. If council agrees or agrees in part with the representations, a "negotiated decision notice" will be issued. Only one "negotiated decision notice" may be given. Taking this step will defer your appeal period, which will commence again from the start the day after you receive a "negotiated decision notice".

OTHER DETAILS

If you wish to obtain more information about Council's decision, electronic copies are available on line at www.msc.qld.gov.au, or at Council Offices.

Yours faithfully

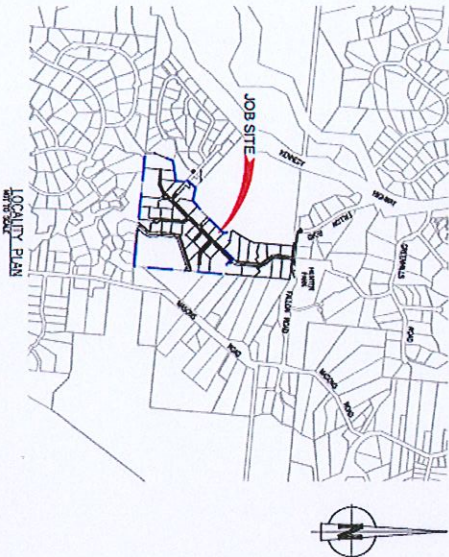


BRIAN MILLARD
COORDINATOR PLANNING SERVICES

Enc: Approved Plans/Documents
Appeal Rights

Approved Plans/Documents

ECO @ JUMRUM STAGE 2 AT FALLON ROAD, KURANDA



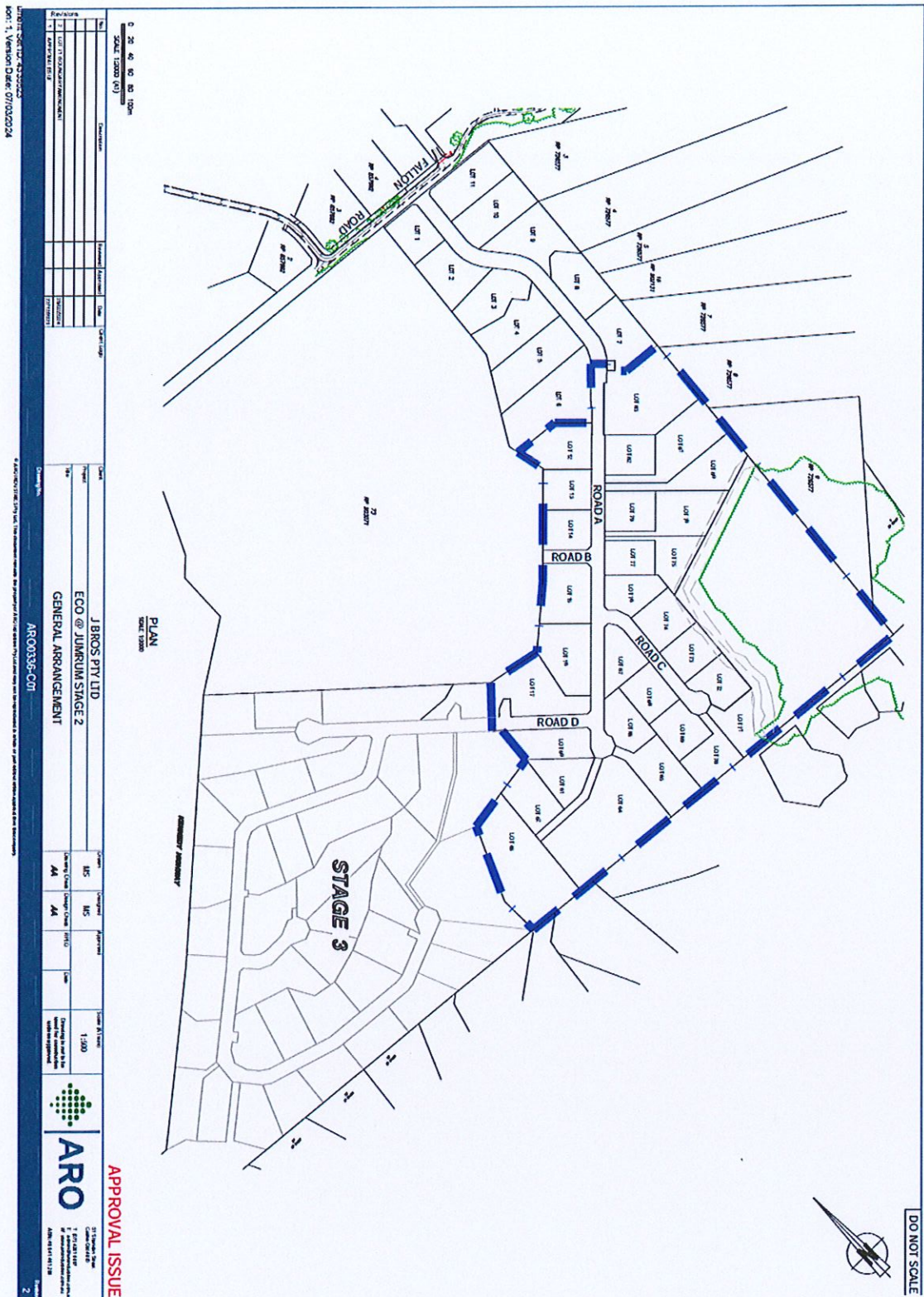
DRAWING SCHEDULE

AR00336-C00	COVER SHEET, LOCALITY PLAN AND DRAWING SCHEDULE
AR00336-C01	GENERAL ARRANGEMENT PLAN
AR00336-C02	ROADWORKS AND STORMWATER DRAINAGE PLAN - SHEET 1 OF 2
AR00336-C03	ROADWORKS AND STORMWATER DRAINAGE PLAN - SHEET 2 OF 2
AR00336-C04	TYPE CROSS SECTION AND MISCELLANEOUS DETAILS
AR00336-C05	ROAD A LONGITUDINAL SECTION
AR00336-C06	ROAD B, C AND D LONGITUDINAL SECTIONS
AR00336-C07	ROAD A ANNOTATED CROSS SECTIONS - SHEET 1 OF 3
AR00336-C08	ROAD A ANNOTATED CROSS SECTIONS - SHEET 2 OF 3
AR00336-C09	ROAD A ANNOTATED CROSS SECTIONS - SHEET 3 OF 3
AR00336-C10	ROADS B AND D ANNOTATED CROSS SECTIONS
AR00336-C11	ROAD C ANNOTATED CROSS SECTIONS
AR00336-C12	INTERSECTION SETOUT AND DETAILS - SHEET 1 OF 2
AR00336-C13	INTERSECTION SETOUT AND DETAILS - SHEET 2 OF 2
AR00336-C14	DRAINWAY SETOUT AND DETAILS - SHEET 1 OF 2
AR00336-C15	DRAINWAY SETOUT AND DETAILS - SHEET 2 OF 2
AR00336-C16	STORMWATER DRAINAGE LONGITUDINAL SECTIONS - SHEET 1 OF 3
AR00336-C17	STORMWATER DRAINAGE LONGITUDINAL SECTIONS - SHEET 2 OF 3
AR00336-C18	STORMWATER DRAINAGE LONGITUDINAL SECTIONS - SHEET 3 OF 3
AR00336-C19	CULVERT PLAN, SECTION AND ELEVATION
AR00336-C20	WATER RETICULATION PLAN - SHEET 1 OF 2
AR00336-C21	WATER RETICULATION PLAN - SHEET 2 OF 2
AR00336-C22	EROSION AND SEDIMENT CONTROL PLAN - SHEET 1 OF 2
AR00336-C23	EROSION AND SEDIMENT CONTROL PLAN - SHEET 2 OF 2

APPROVAL ISSUE

Document: S2123-240001
Version: 1, Version Date: 17/01/2024

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Revisors	Revisions
1. J.BROS	1. J.BROS
2. J.BROS	2. J.BROS
3. J.BROS	3. J.BROS
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5. J.BROS	5. J.BROS
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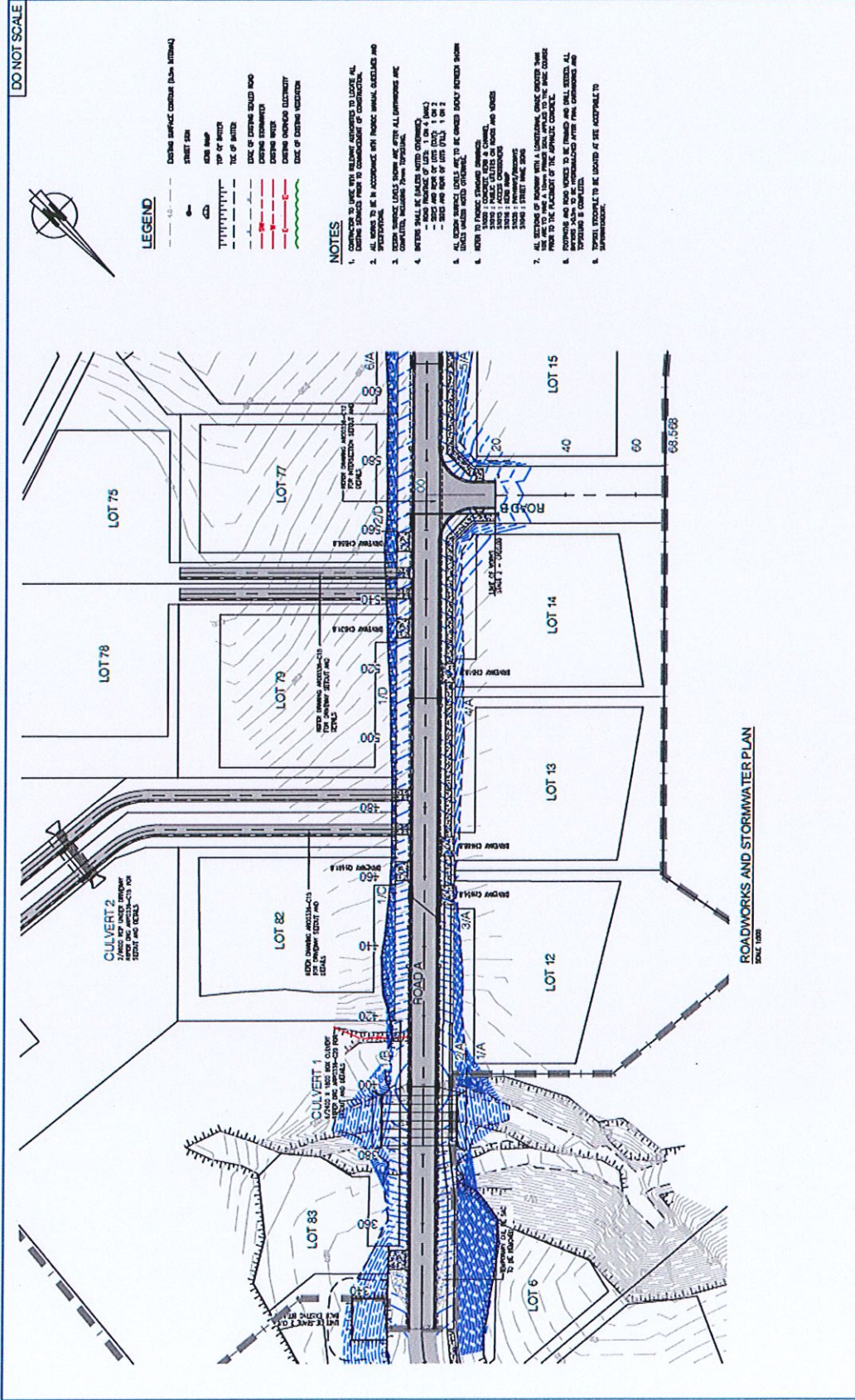
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Client: J.BROS PTY LTD
Project: ECO @ JUMRUM STAGE 2
General Arrangement

ARO

2

25/3/2024
 8.m.c.



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NO.	Description	Proposed	Accepted	CR	CR	CR

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 Date: **17/01/2024**
 Scale: **1:500**
 Drawing ID: **ARO0336-C02**

Drawn by: **J BROS PTY LTD**
 Checked by: **J BROS PTY LTD**
 Approved by: **J BROS PTY LTD**
 Date: **17/01/2024**

Contractor: **J BROS PTY LTD**
 Approved: **AS SHOWN**
 Drawing ID: **ARO0336-C02**
 Scale: **1:500**
 Date: **17/01/2024**

APPROVAL ISSUE

ARO0336-C02

Approval Issue

17/01/2024

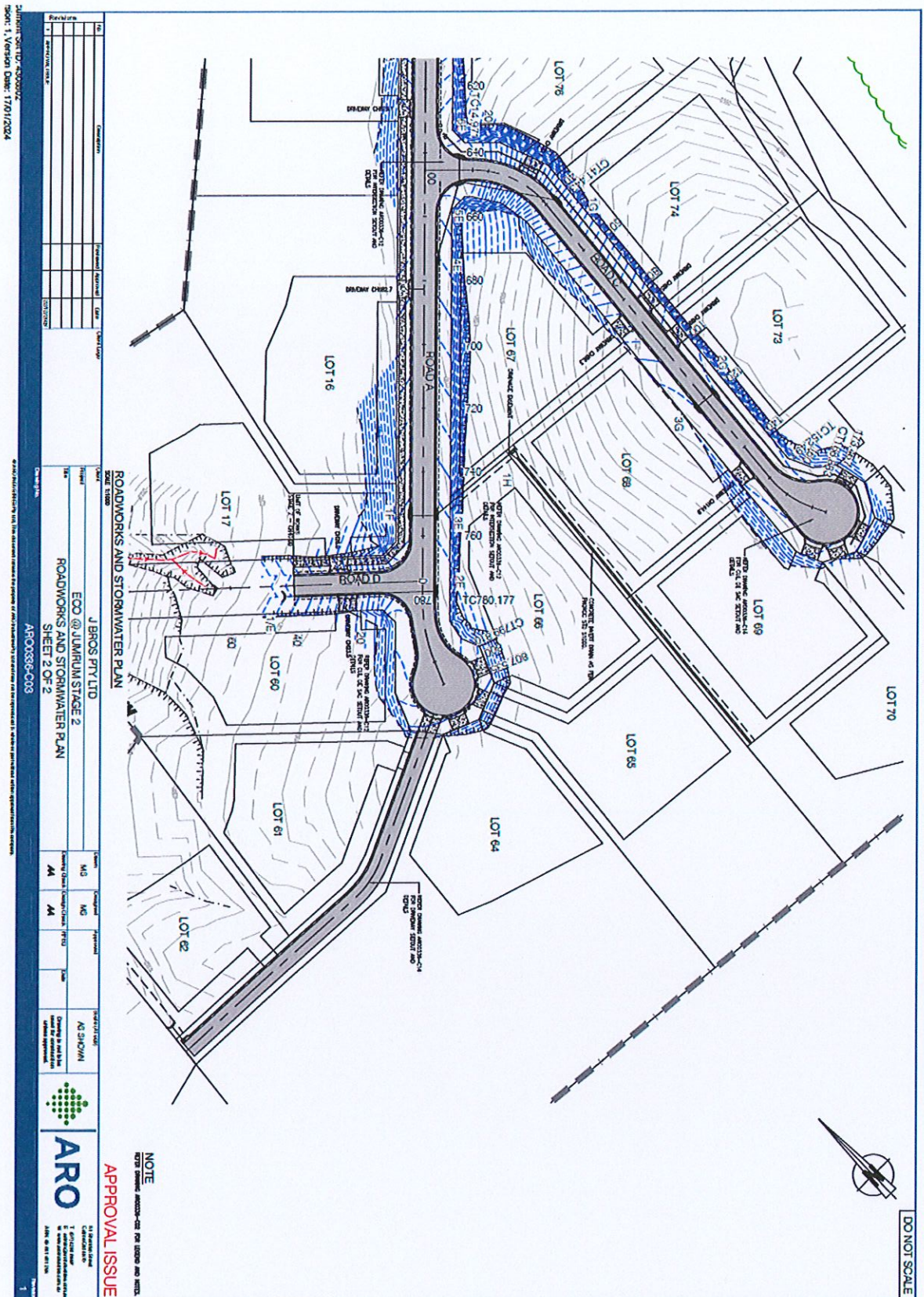
LEGEND

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- SOLID LINE: STREET END
- LINE WITH HATCH: ROAD BOUNDARY
- LINE WITH HATCH: TYPE OF BATTERY
- LINE WITH HATCH: DATE OF EXISTING ROAD
- LINE WITH HATCH: DATE OF EXISTING BATTERY
- LINE WITH HATCH: DATE OF EXISTING DRAINAGE
- LINE WITH HATCH: DATE OF EXISTING VESTIBULE
- LINE WITH HATCH: DATE OF EXISTING VESTIBULE

NOTES

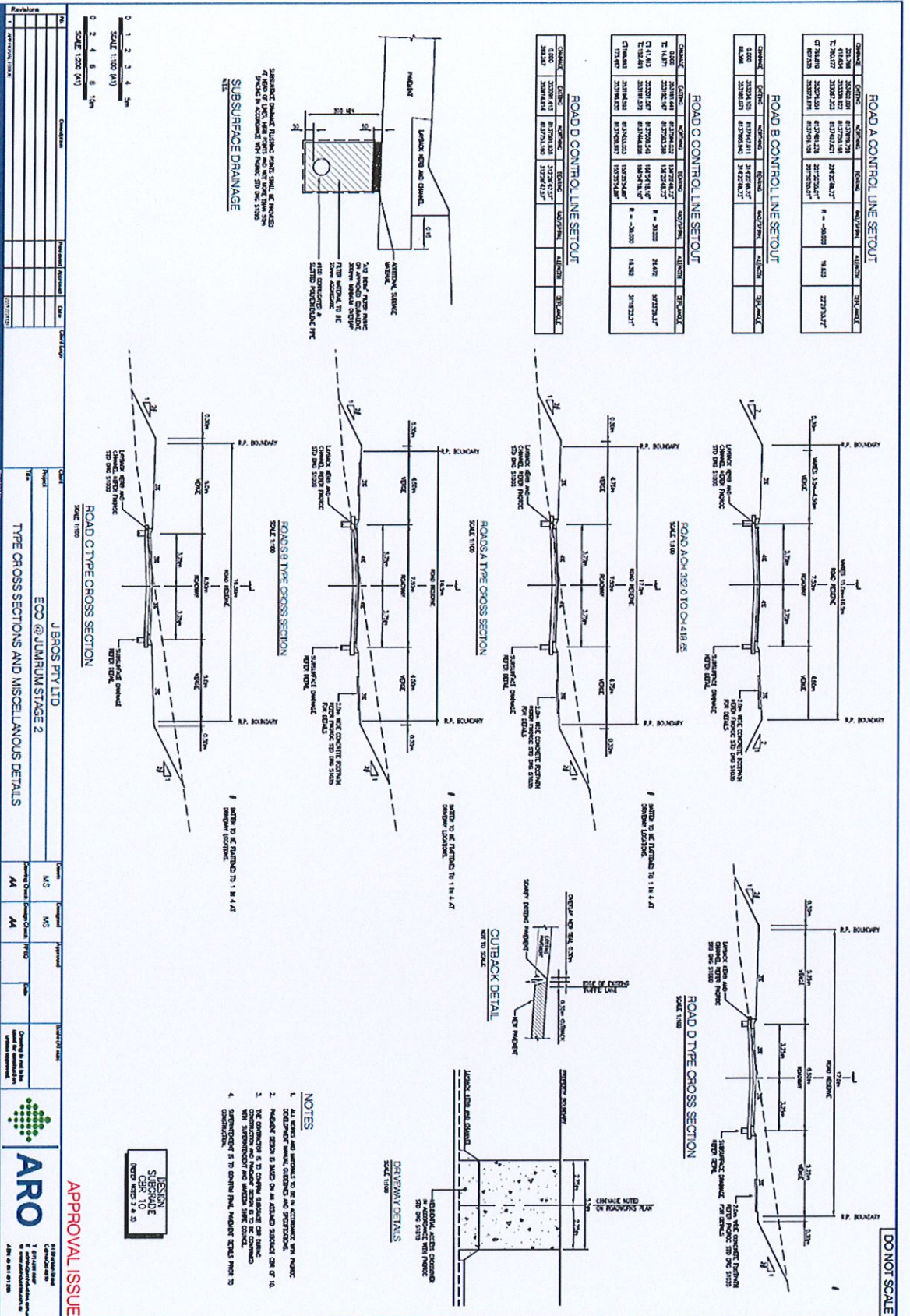
- CONTRACTOR TO CHECK WITH RELEVANT AGENCIES TO LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL WORKS TO BE IN ACCORDANCE WITH PUBLIC HEALTH, SANITATION AND PREVENTION ACT 1998.
- ALL WORKS TO BE IN ACCORDANCE WITH PUBLIC HEALTH, SANITATION AND PREVENTION ACT 1998.
- ALL EXISTING SERVICES TO BE MAINTAINED OR REPLACED AS NECESSARY.
- ALL EXISTING SERVICES TO BE MAINTAINED OR REPLACED AS NECESSARY.
- ALL EXISTING SERVICES TO BE MAINTAINED OR REPLACED AS NECESSARY.

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 Version: 1, Version Date: 17/01/2024



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Document ID: OPW-00000001
Version: 1 | Version Date: 17/01/2024

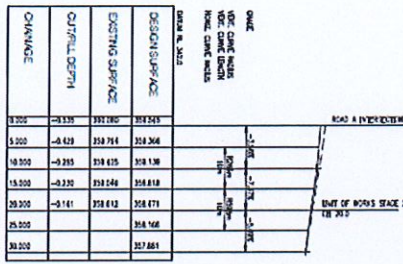


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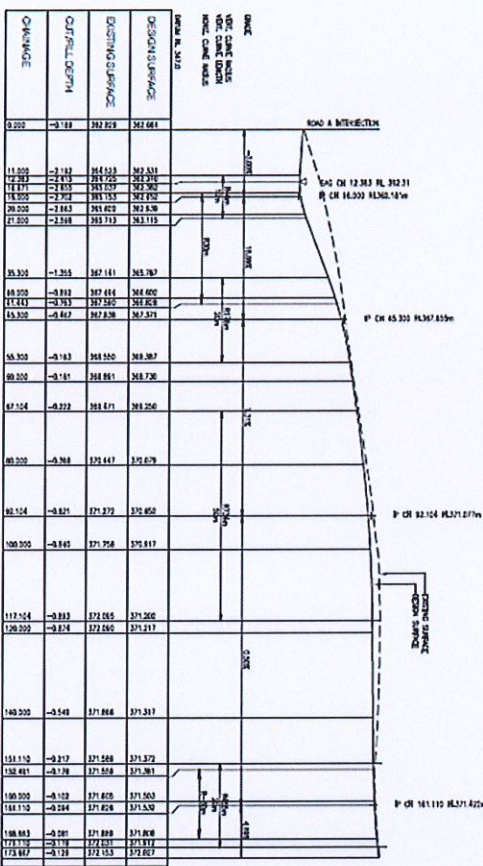
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<p>Client: M/S</p>	<p>Contractor: M/S</p>
<p>Design: M</p>	<p>Approval: M</p>
<p>AS 3700</p>	
<p>ARO</p>	
<p>APPROVAL ISSUE</p>	

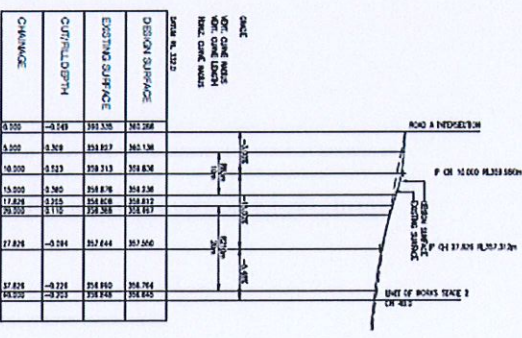
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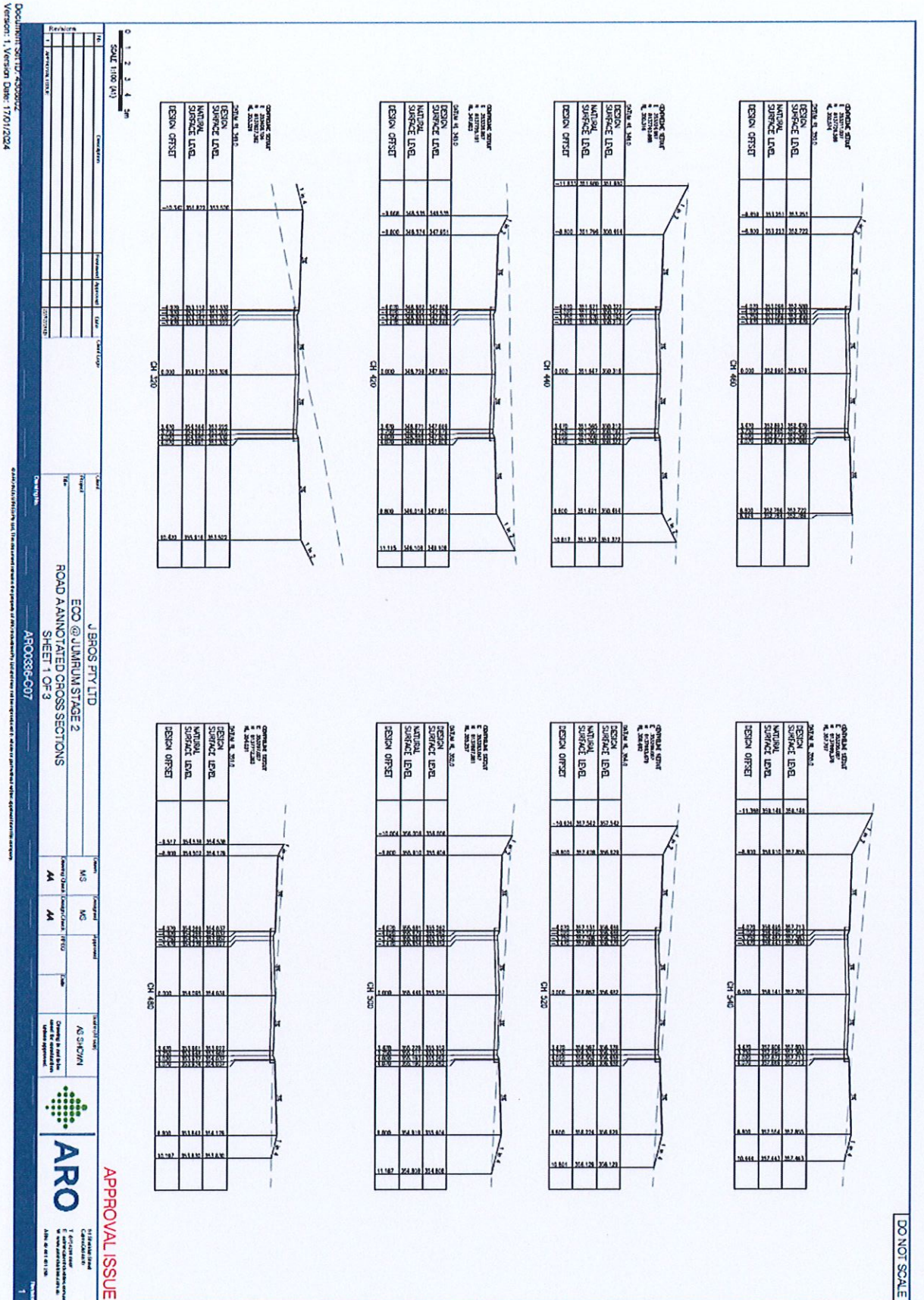


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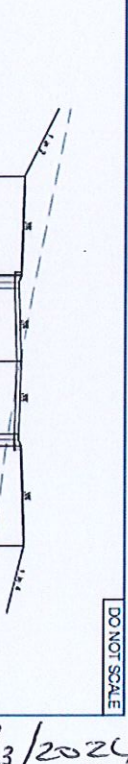
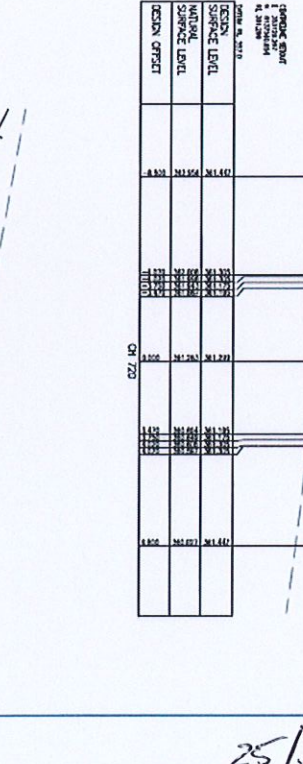
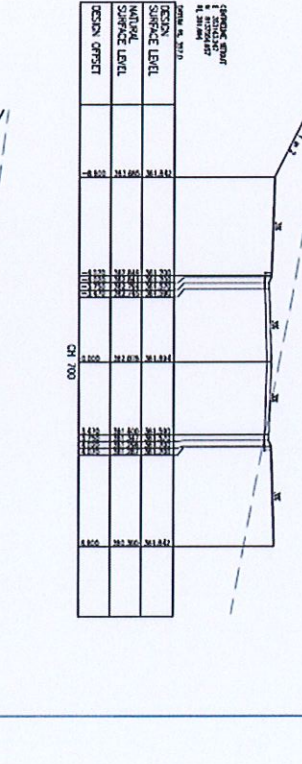
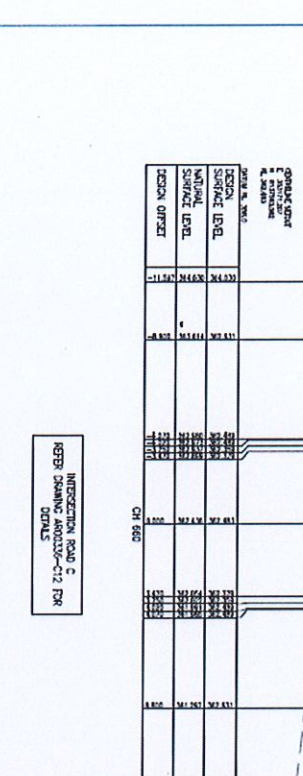
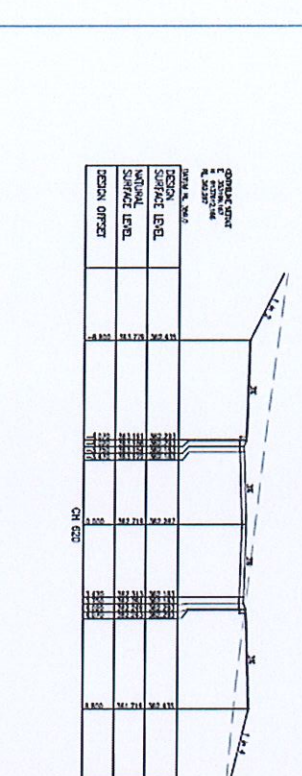
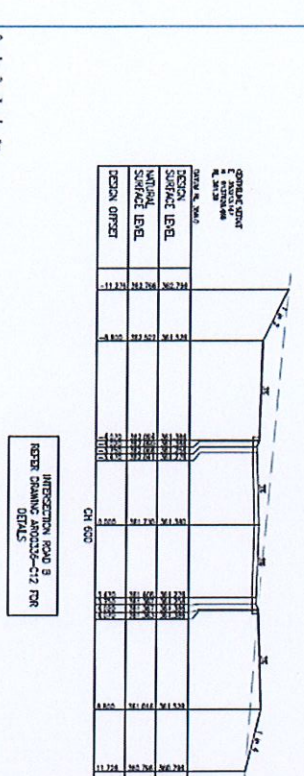


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PROJECT: ROAD ANNOTATED CROSS SECTIONS
 SHEET 2 OF 3
 DATE: 17/01/2024

<p>ROAD ANNOTATED CROSS SECTIONS</p> <p>PROJECT: ROAD ANNOTATED CROSS SECTIONS</p> <p>SHEET 2 OF 3</p>		<p>CLIENT: J BHOS PTY LTD</p> <p>PROJECT: ROAD ANNOTATED CROSS SECTIONS</p> <p>SHEET 2 OF 3</p>	
<p>DATE: 17/01/2024</p> <p>PROJECT: ROAD ANNOTATED CROSS SECTIONS</p> <p>SHEET 2 OF 3</p>	<p>DATE: 17/01/2024</p> <p>PROJECT: ROAD ANNOTATED CROSS SECTIONS</p> <p>SHEET 2 OF 3</p>	<p>DATE: 17/01/2024</p> <p>PROJECT: ROAD ANNOTATED CROSS SECTIONS</p> <p>SHEET 2 OF 3</p>	<p>DATE: 17/01/2024</p> <p>PROJECT: ROAD ANNOTATED CROSS SECTIONS</p> <p>SHEET 2 OF 3</p>

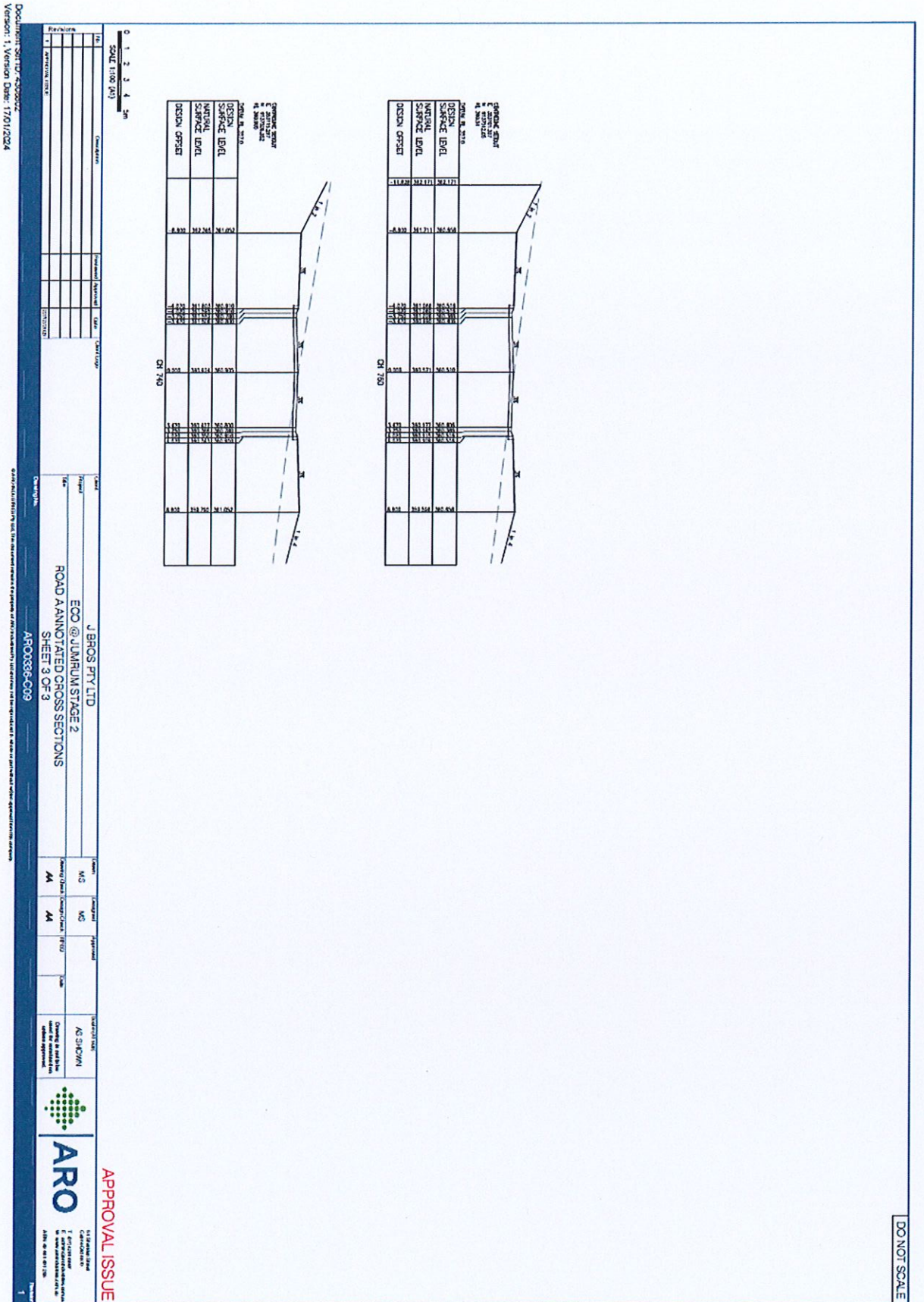
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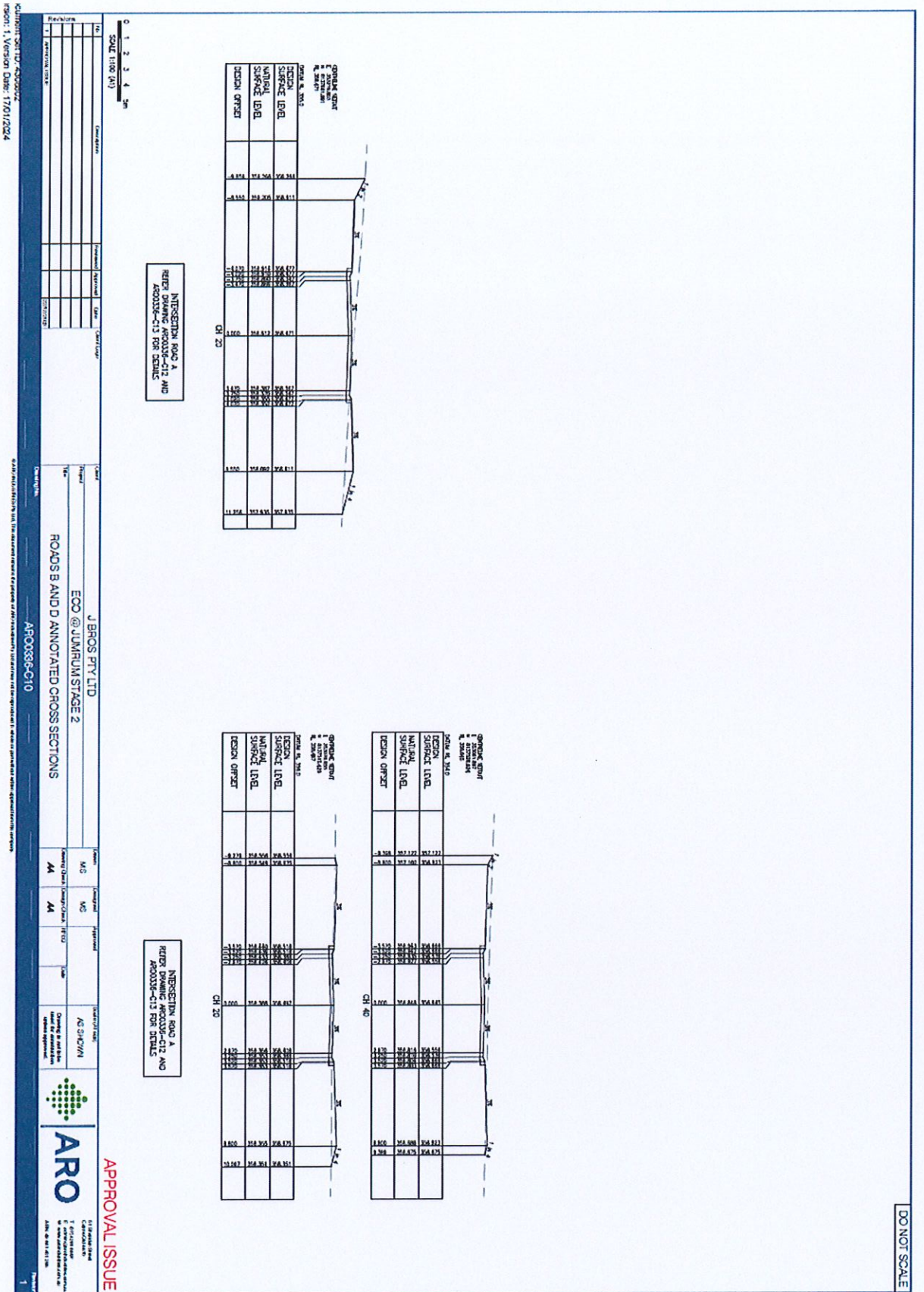
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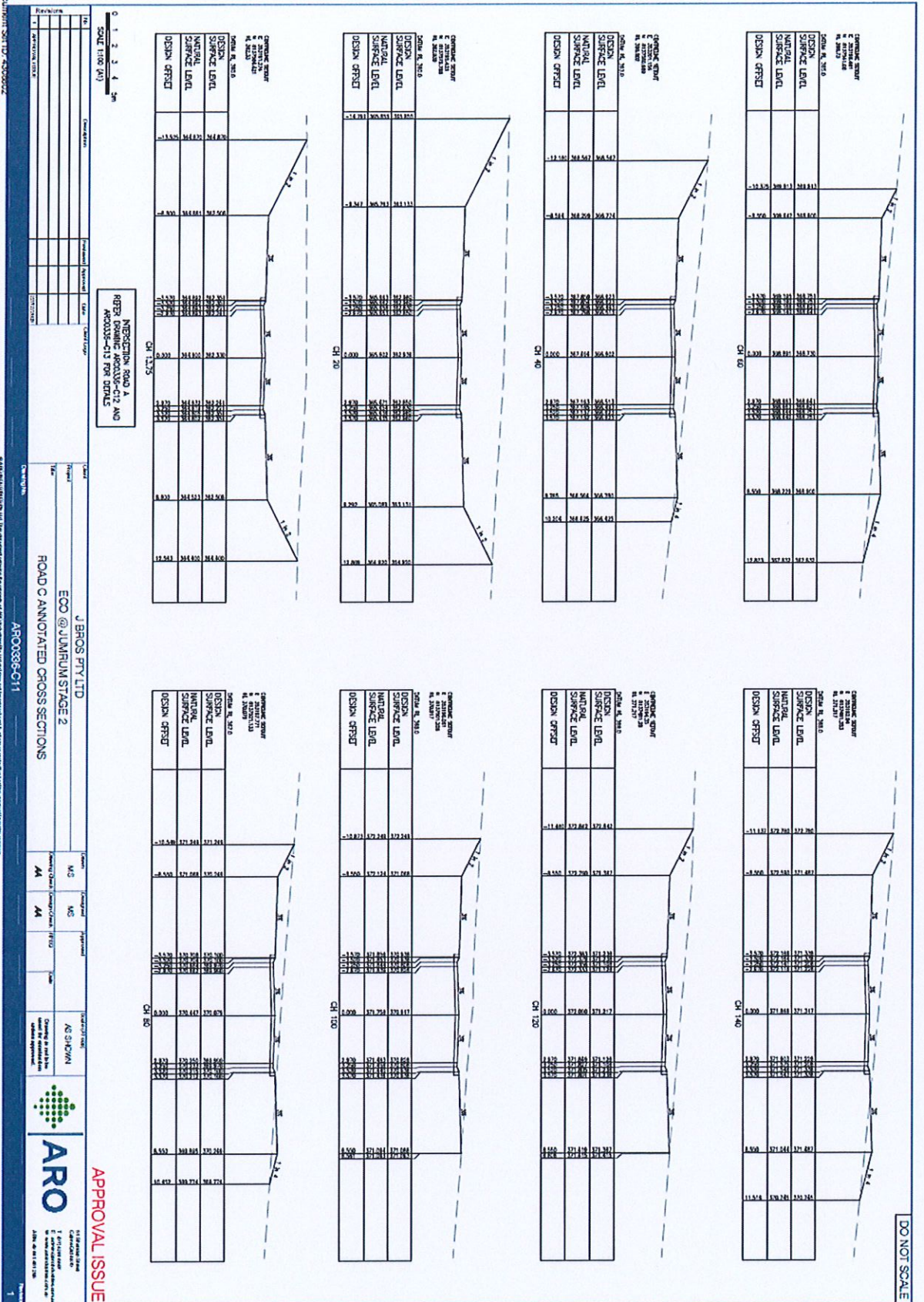


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Document: SLD-2400002
Version: 1, Version Date: 17/01/2024



ROAD C ANNOTATED CROSS SECTIONS

APPROVAL ISSUE



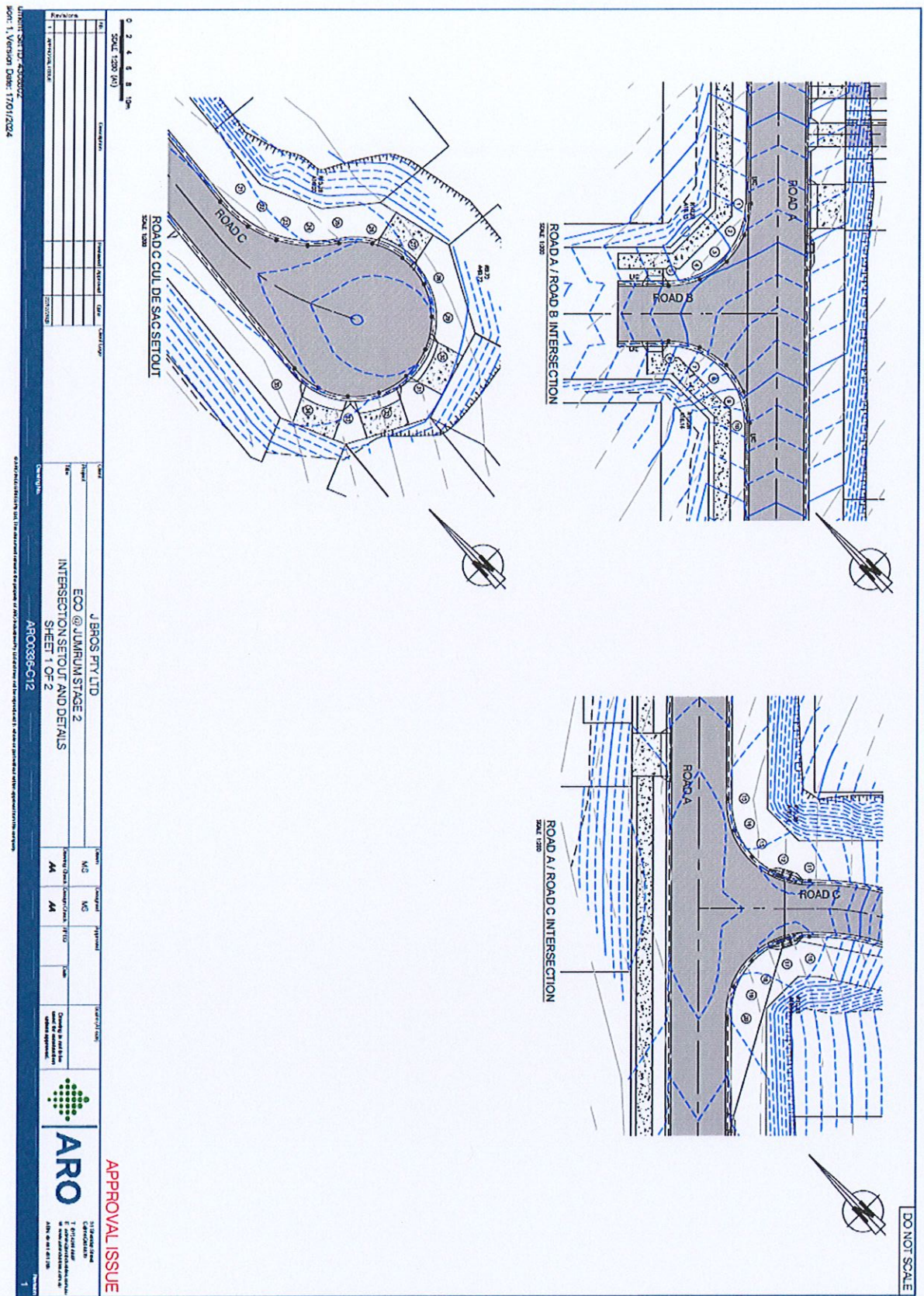
J BROS PTY LTD
ECO @ JUMRUM STAGE 2

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17/01/2024

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Document control reference:
Version: 1, Version Date: 17/01/2024

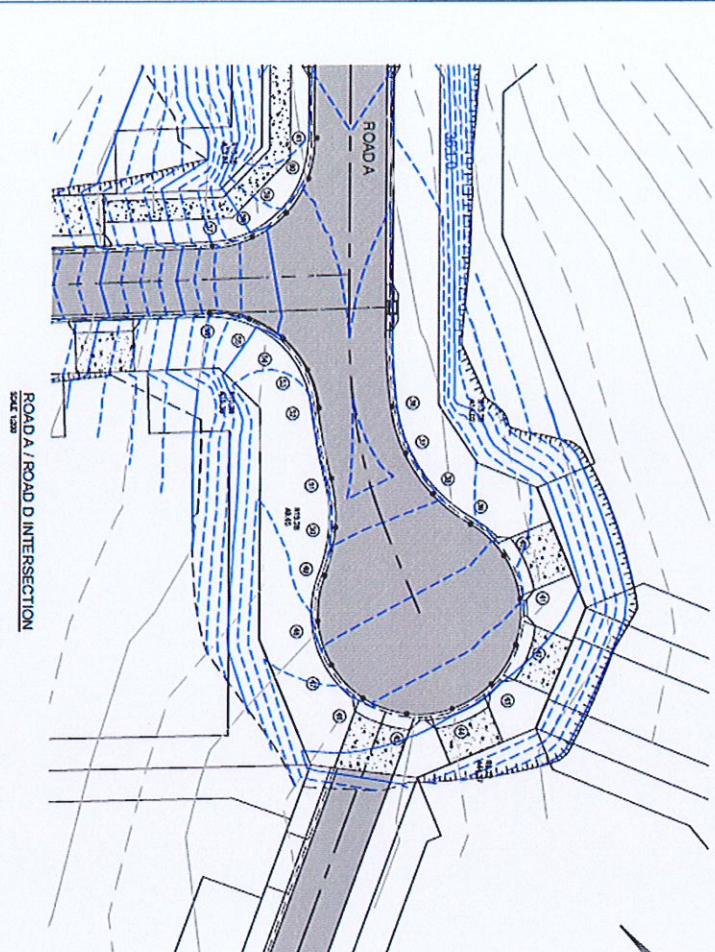
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J BROS PTY LTD
ECO @ JUMRUM STAGE 2
INTERSECTION SETOUT AND DETAILS
SHEET 2 OF 2

ARO03836-C13

Check	Approved	Date	Comments
MS	MS		
AA	AA		

ARO
11 BUNDLES ROAD
MAREEBA QLD 4870
PH: 07 4011 9170

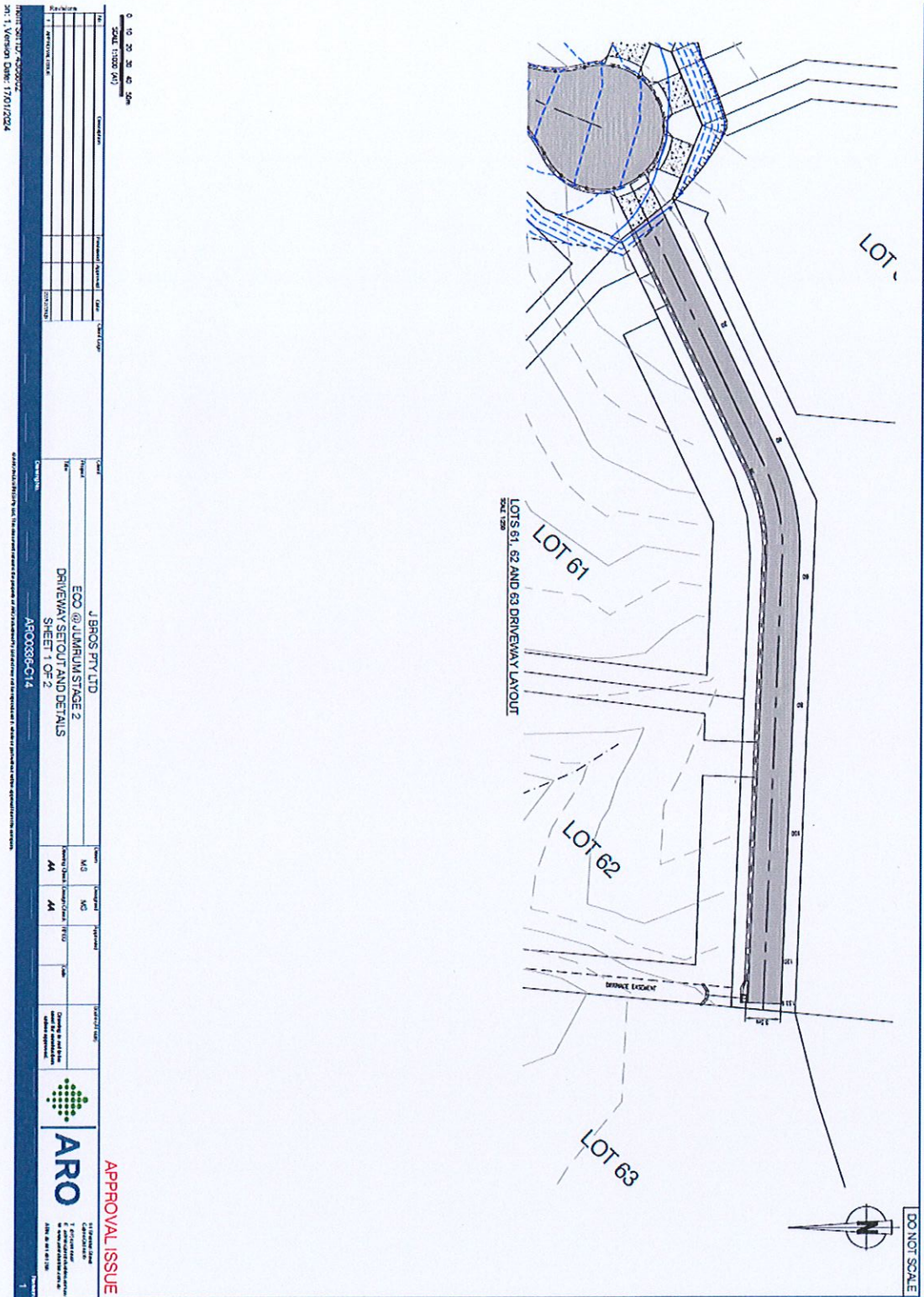


ROAD A / ROAD D INTERSECTION
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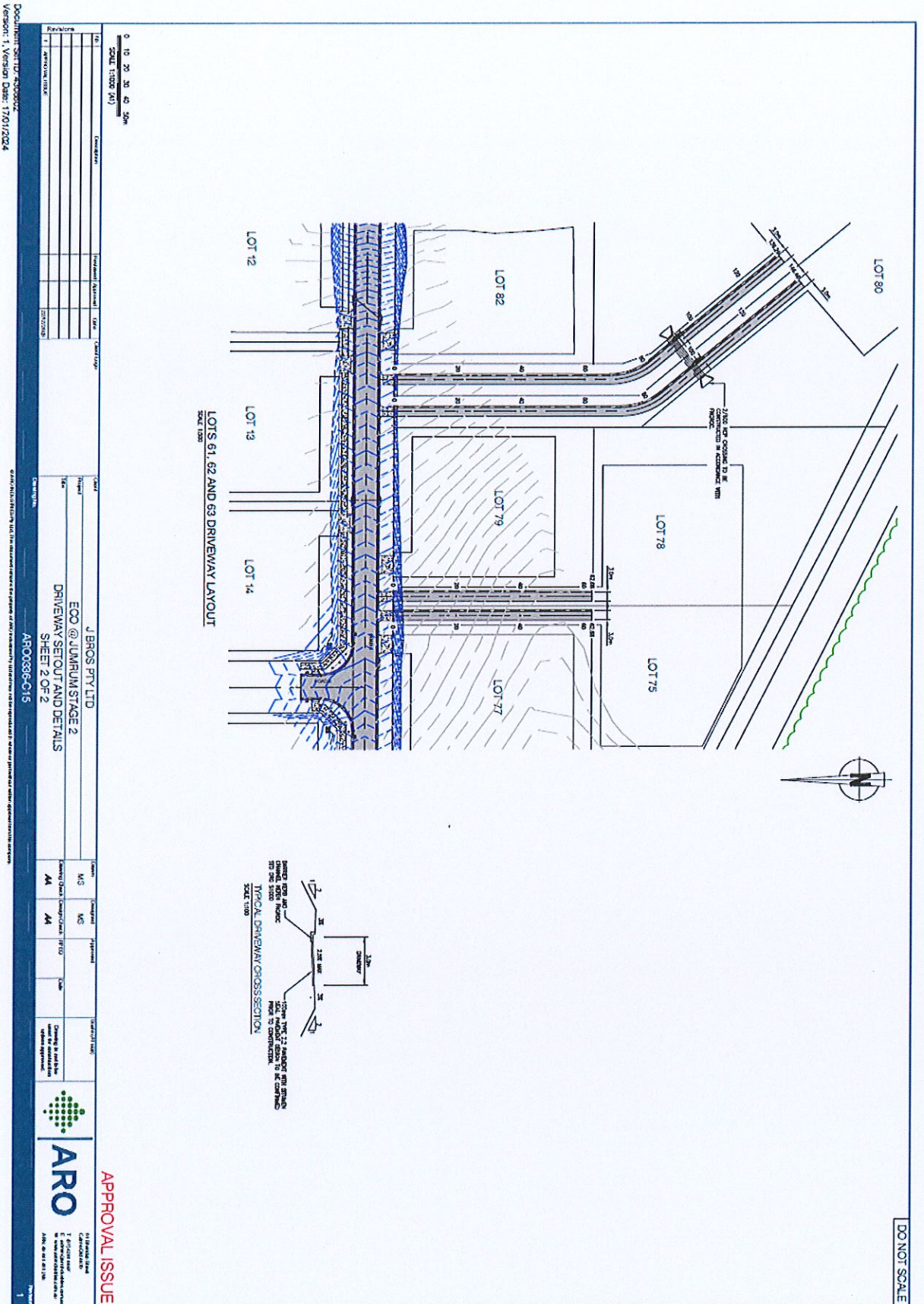


- LEGEND**
- UNPAVED ASPHALT DRIVE AND CHANNEL
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- NOTES**
- ALL WORKS AND MATERIALS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 - FINISHES AND COLORS ARE TO BE AS SHOWN ON THE PLAN UNLESS OTHERWISE SPECIFIED.
 - ALL UTILITIES ARE TO BE DEPTH CHECKED BEFORE CONSTRUCTION.
 - ALL WORK IS TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 - APPROPRIATE CONCRETE PROTECTORS OR ALL RIVERS TO BE PROVIDED TO PROTECT ALL INTERSECTIONS.

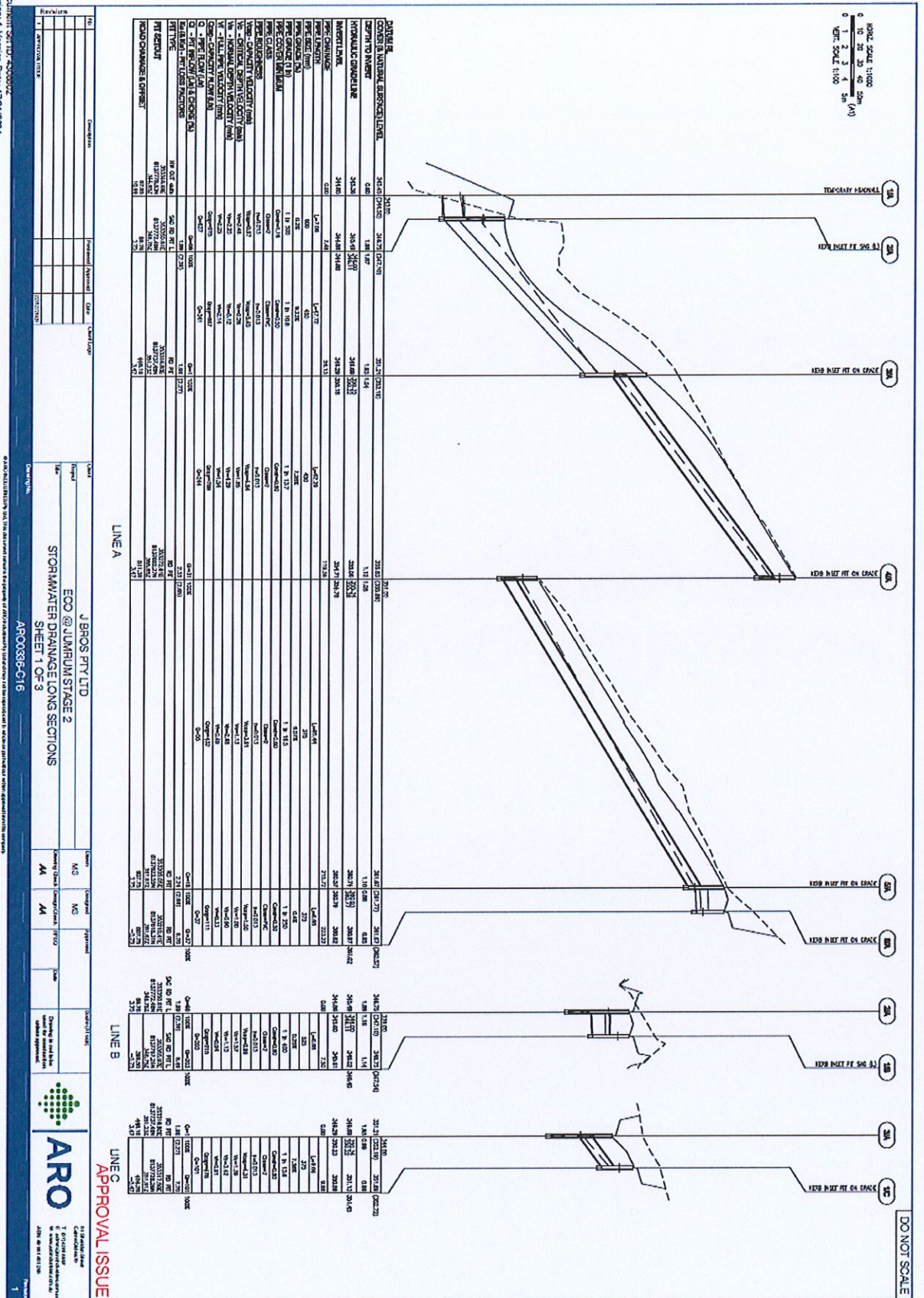
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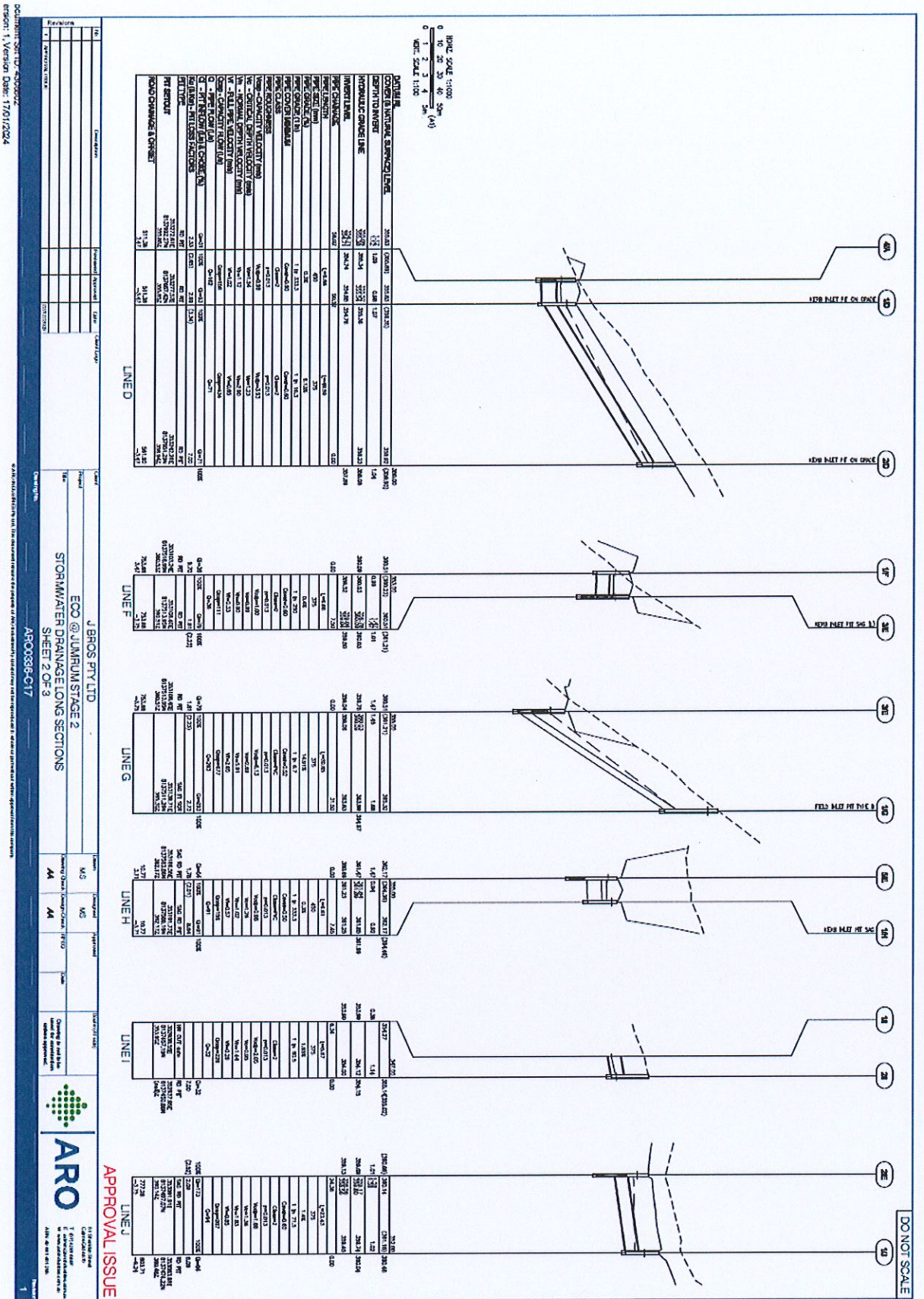
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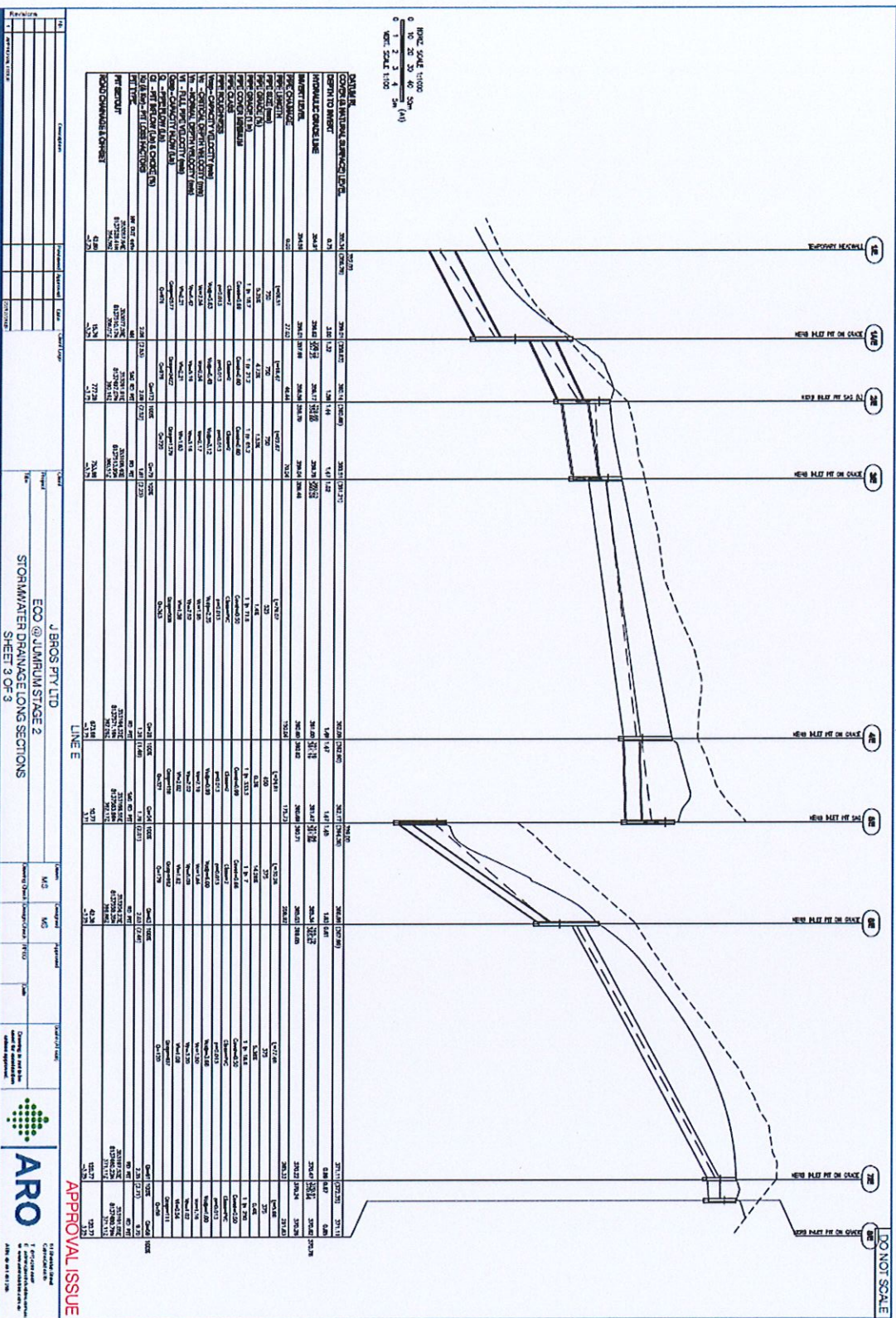
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STORMWATER DRAINAGE LONG SECTIONS
SHEET 2 OF 3
AFO0386-C17

APPROVAL ISSUE



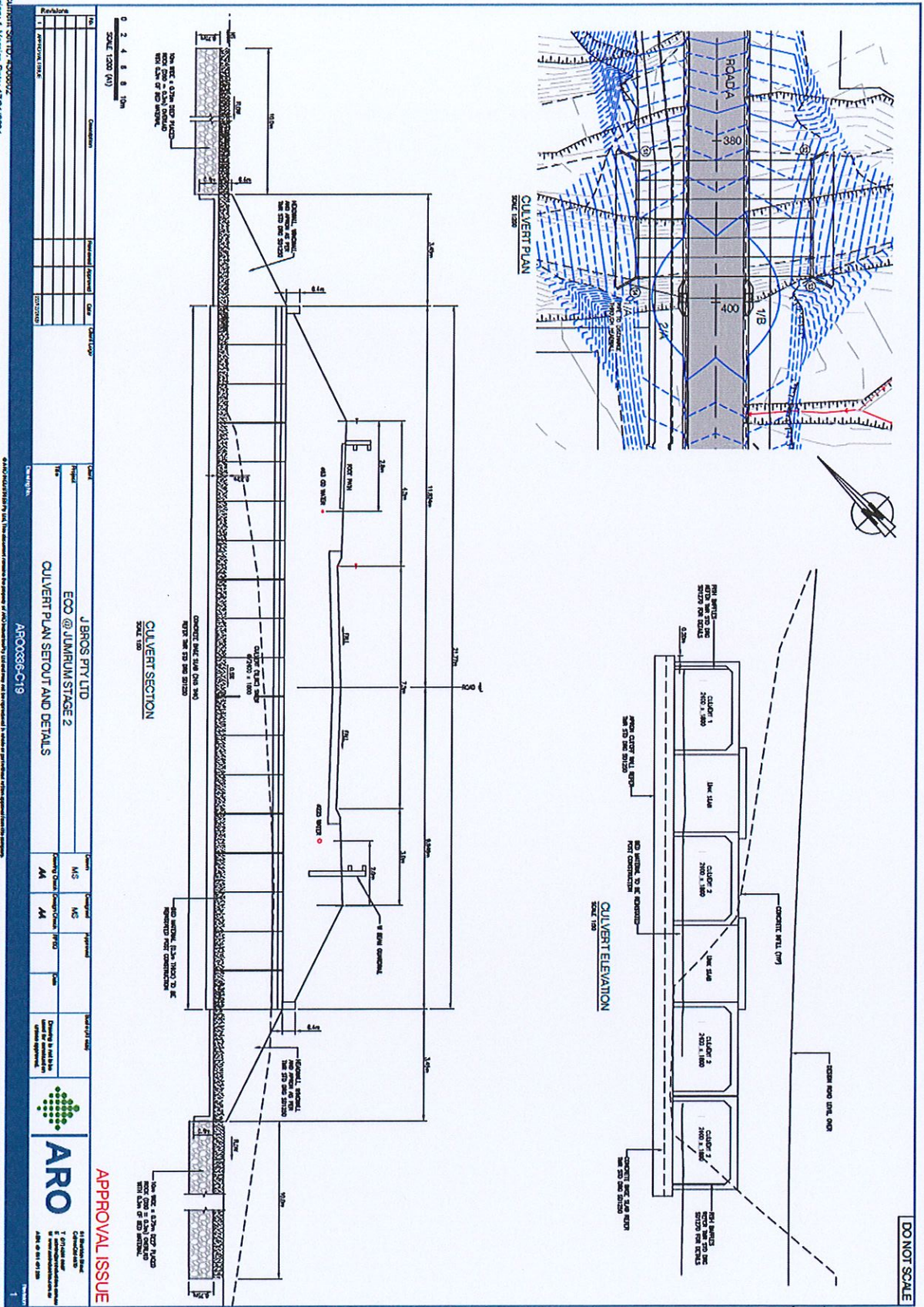
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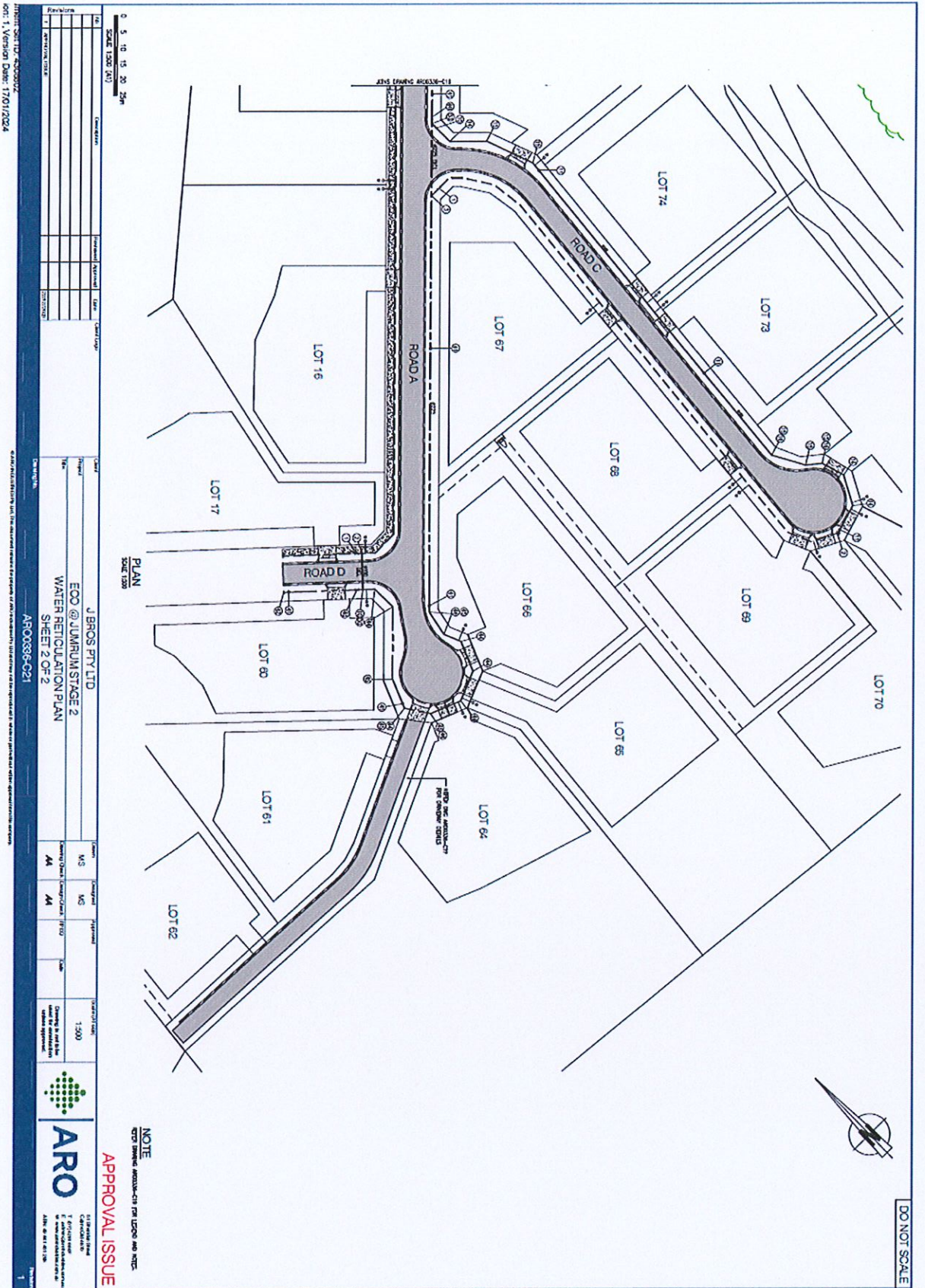


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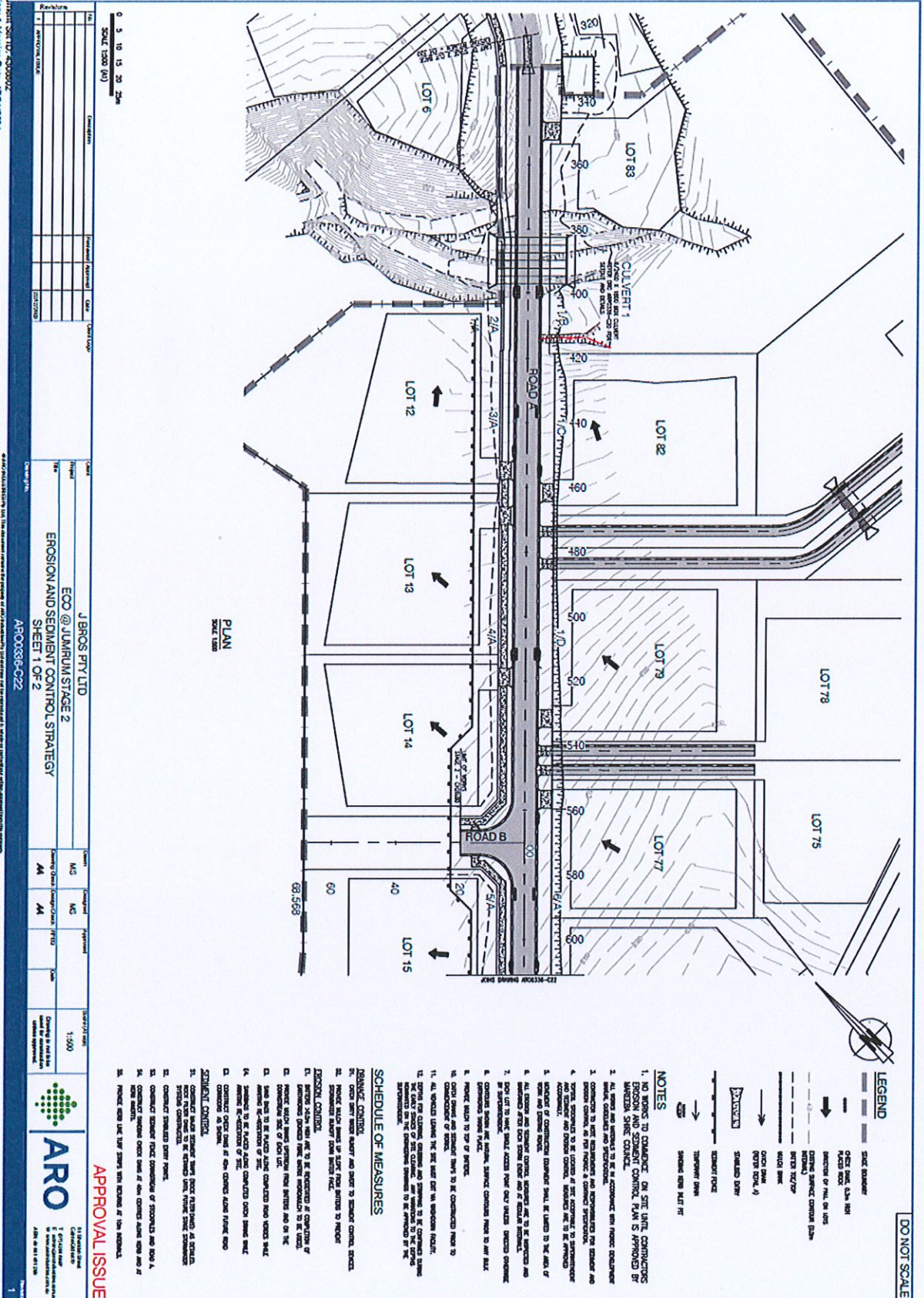


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J BRORS PTY LTD
ERO @ JUNIUM STAGE 2
EROSION AND SEDIMENT CONTROL STRATEGY
SHEET 1 OF 2
ARO338-G22

Scale: 1:500
 Date: 17/01/2024

ARO
 Environmental
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 111 Sturt Street
 Adelaide SA 5000
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 Email: info@aro.com.au

APPROVAL ISSUE

- NOTES**
- NO WORKS TO COMMENCE ON SITE UNTIL CONTRACTORS EROSION AND SEDIMENT CONTROL PLAN IS APPROVED BY MAREEBA SHIRE COUNCIL.
 - ALL WORKS ARE SUBJECT TO BE IN ACCORDANCE WITH MAREEBA DEVELOPMENT BY-LAWS AND PROVISIONS.
 - CONTRACTORS TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL OF ALL AREAS.
 - SPRINKLERS TO BE INSTALLED AT SET BACKS TO SUPPLEMENT EROSION AND SEDIMENT CONTROL MEASURES AND TO BE APPROVED BY MAREEBA SHIRE COUNCIL.
 - CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS FROM MAREEBA SHIRE COUNCIL.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED AT ALL TIMES.
 - CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS FROM MAREEBA SHIRE COUNCIL.
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 - CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS FROM MAREEBA SHIRE COUNCIL.

SCHEDULE OF MEASURES

- EROSION CONTROL**
- CONTRACTORS SHALL MAINTAIN AND SHARE TO EROSION CONTROL MEASURES.
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SEDIMENT CONTROL

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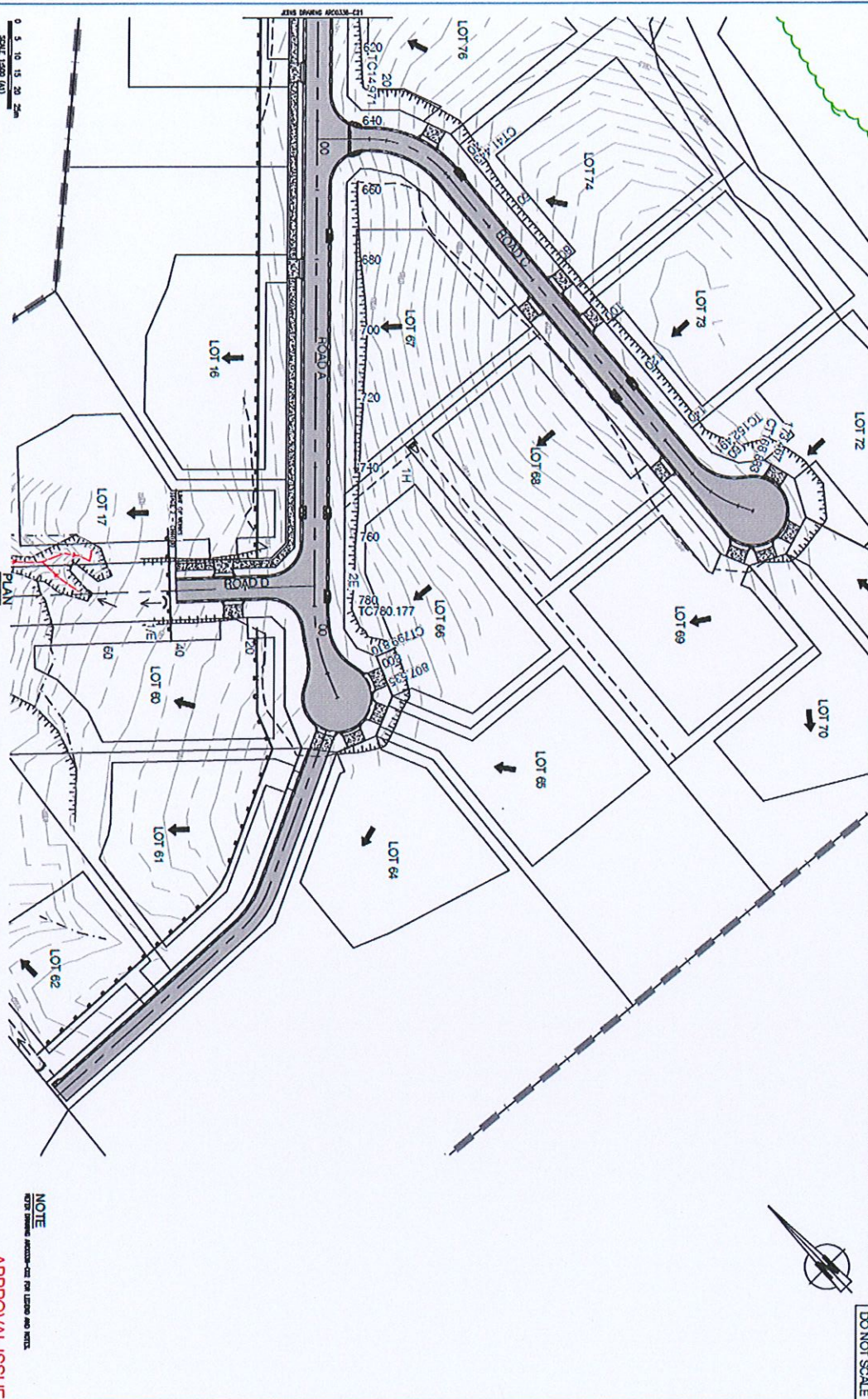
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J BROCS PTY LTD
 ECO @ ALUMINUM STAGE 2
 EROSION AND SEDIMENT CONTROL STRATEGY
 SHEET 2 OF 2
 ARO0306-C23

Author	Checked	Approved	Date of Issue
MJ	MJ		1/2024

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NOTE
 THIS STRATEGY APPROVES THE EROSION AND SEDIMENT CONTROL MEASURES FOR THE PROPOSED DEVELOPMENT.

APPROVAL ISSUE

25/3/2024
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LANDSCAPE DESIGN JUMRUM RAINFOREST ESTATE STAGE 1 & 2 KURANDA

DRAWING LIST

DWG NO.	REV	DESCRIPTION	SCALE (AS SHD)
363-L00	A	COVER PAGE & PLANTING SCHEDULE	N/A
363-L01	A	LANDSCAPE PLAN	1:2500

PLANTING SCHEDULE

STREET TREES	CITY CODE	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
19	B/C	Banksia integrifolia	Wax Cud	25 LT	4x5 Spacing
25	M/L	Melicope debilis	Pink Eucaly	25 LT	4x5 Spacing
15	S/T	Sporocarpium divaricatum	Firewheel Tree	25 LT	4x5 Spacing



7. STANDARD NOTES

1. THE CONTRACTOR SHALL SET OUT ALL PATHS, WALLS, WIND SCREENS AND ELEMENTS EITHER ON OR OFF SITE PRIOR TO CONSTRUCTION AND SHALL OBTAIN THE SUPERVISOR'S SET OUT APPROVAL PRIOR TO COMMENCING WORK. ALL DIMENSIONS SHALL BE TO THE INSIDE UNLESS OTHERWISE SPECIFIED. CHECK ALL DIMENSIONS CAREFULLY IN CONSULTATION WITH THE SUPERVISOR. ALL WORKS WITH OTHER TRADES AND HEAD CONTRACTOR THE CONTRACTOR SHALL SET OUT AND COORDINATE ALL EQUIPMENT AND ELEMENTS WITH EXISTING SITE SERVICES AND NOTIFY OF ANY CLASHES OR INTERFERENCES PRIOR TO CONSTRUCTION.

2. SERVICES AND SITE ASSETS
THE CONTRACTOR SHALL INVESTIGATE THE NATURAL AND LOCATION OF ALL EXISTING SERVICES AND RETAINED SITE ASSETS AFFECTED BY THEIR WORKS. FAILURE TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTOR'S LIABILITY.

3. REFERENCES
THE CONTRACTOR SHALL REFER TO ALL CONTRACT DOCUMENTS, SPECIFICATIONS AND DIMENSIONS PRIOR TO AND DURING THE WORKS.

4. DISCREPANCIES
NOTIFY SUPERVISOR OF ANY SUSPECTED OR KNOWN DISCREPANCIES OR ERRORS PRIOR TO THE OPENING OF AFFECTED MATERIALS AND/OR CONSTRUCTION OF AFFECTED WORKS.

5. RELEVANT STANDARDS
THE CONTRACTOR SHALL UNDERTAKE ALL PRICING AND WORKS IN ACCORDANCE WITH CURRENT AUSTRALIAN BEST PRACTICE AND ALL RELEVANT AUSTRALIAN STANDARDS, PRACTICE AND THE WAREBERG SHIRE COUNCIL PLANNING SCHEME.

6. SERVICE LOCATOR
THE CONTRACTOR SHALL UNDERTAKE A DIAL BEFORE YOU DIG PROCESS PRIOR TO COMMENCING WORK ON SITE. THE CONTRACTOR SHALL ENGAGE A SERVICE LOCATOR TO MAP THE SPECIFIC LOCATIONS AND DEPTH OF ALL SERVICES AND ADVISE ALL RELEVANT STAFF AND SUBCONTRACTORS IN WRITING PRIOR TO COMMENCING WORKS ON SITE.

7. IRRIGATION
SERVEY AND INSTALL IRRIGATION SYSTEM TO INDIANIC STANDARDS, CERTIFIED BY AN IALM CERTIFICATION AUSTRALIAN ASSOCIATION CERTIFIED IRRIGATION DESIGNER AND TO CLIENT'S APPROVAL.

8. PLANT ESTABLISHMENT & MAINTENANCE
AREAS OF PLANTING CAN ONLY BE GIVEN FINAL COMPLETION AFTER VARIATION IS WEDNESDAY. ESTABLISHMENT POST PRACTICAL COMPLETION. REPLACE ALL DEAD PLANT STOCK DURING THIS PERIOD AND NEW STOCK ESTABLISHED FOR VARIATION MUST BE FULLY COMPLETED AND ON GOING MAINTENANCE BEGINS.

9. WORK HEALTH & SAFETY (WHS)
THE CONTRACTOR SHALL FOLLOW THE APPROVED & CURRENT PROJECT WORK HEALTH & SAFETY MANUAL.

10. SOFT LANDSCAPE

1. ALL CONTAINER STOCK SHALL BE INSPECTED IN THE NUMBER YARD FOR TRANSPORT TO SITE. ALL CONTAINER STOCK PLANTING SHALL BE INSPECTED ON SITE PRIOR TO PLANTING. ONE (1) MONTH BEFORE PLANTING TO ALLOW FOR PLANTING TO ALLOW LANDSCAPE ARCHITECTS RESPONSIBILITY TO ATTEND ALL PLANTS TO BE TRULY SCHEDULED NURSERY STOCK. THEY ARE TO BE CONTAINER GROWN IN FULLER MATURE WITH A HEALTHY ROOT SYSTEM FULLY ESTABLISHED BUT NOT ROOT BOUND. THE CONTAINER TO BE THE SIZE AND TYPE SET OUT IN PLANT SCHEDULE. ALL POTS SHALL BE FREE OF WEEDS.

2. SUPPORT SOIL
IMPORT AND SPREAD PREMIUM TOPSOIL MIX. SOIL SHALL BE FREE OF WEEDS, STICKS, ROCKS AND OTHER DELETERIOUS MATTER. ALL IMPORTED SOIL BLENDS APPROVED TO AUSTRALIAN STANDARDS. EXCAVATE EXISTING SITE SOIL ON ALL CHANGES TO 300mm DEPTH AND FILL WITH APPROVED IMPORTED SOIL BLENDS.

3. ALL BUILDING RUBBLE AND OTHER UNSUITABLE MATERIAL INCLUDING WEEDS TO BE REMOVED FROM LANDSCAPE AREAS. ENSURE COMPACTED SOIL ON ROAD BASE IS NOT LOCATED DIRECTLY BELOW OPENED BEDS. IF SUCH REMOVED EXCAVATE THE OPENED BEDS FROM EXISTING SOIL PROFILE CAN BEAN TO THE NEXT DEPTH AND FILL WITH APPROVED IMPORTED SOIL BLENDS.

4. PLANTING AREAS
EVALUATE A HOLE FOR EACH PLANT TWICE THE DIAMETER OF THE ROOT BALL AND 100mm DEEPER THAN THE ROOT BALL. ALL TREES AND LARGE SIZE CONTAINER STOCK (100mm PLUS) HOLES SHALL BE 50mm DEEPER THAN THE ROOT BALL AND 100mm DEEPER THAN THE DIAMETER OF THE HOLE. FILL WITH 100mm DEPTH OF 100mm AND LOOSEN THE SIDES OF THE HOLE. REMOVE PLANTS FROM THE CONTAINER WITH PLACE IT IN ITS FINAL POSITION IN THE CENTRE OF THE HOLE AND PLUMB. ENSURE THE PLANT ROOT BALL IS LEVEL WITH THE FINISHED SURFACE OF THE SITE. THE PLANT SHALL BE SECURED LIGHTLY TAMP AND WATER THOROUGHLY TO ELIMINATE AIR POCKETS. ENSURE THAT TOPSOIL IS NOT PLACED OVER THE TOP OF THE ROOT BALL.

5. TREE AREAS
BANK GOOD EXISTING TURF DAMAGED NEW TURF BUNKERS FOR ZONE DEPTH OF 100mm. WELL ROTTED TOPSOIL, TURF TO BE USED SHOULD BE RIPPED 8 GRADE TURF MIX OF SPECIES 50% B/P/H/O GRASS/LANDMOPS COMPRESSIONS 15% COUCH GRASS VARIETIES.

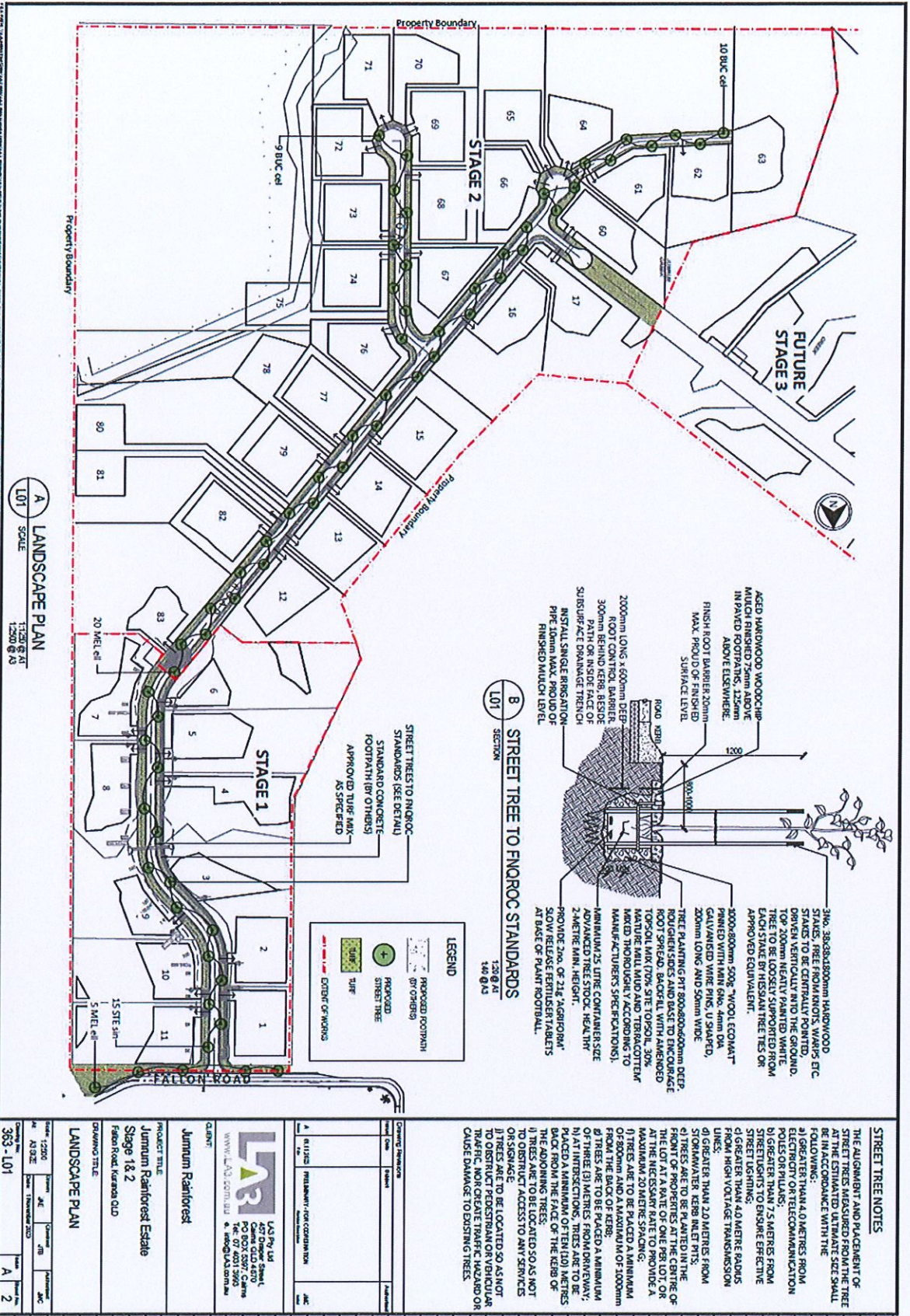
6. MULCH
MULCH SHALL BE RED FOREST AND HARDWOOD MULCH 25 TO 30mm SIZE TOP DRESS FOR A MINIMUM OF 100mm DEPTH. MULCH SHALL BE NON-DECOMPOSABLE AND TOXIC MATERIAL OR NODDLES WEEDS OR HAZARDOUS COMPONENTS. APPROVED EQUIVALENT, INSTALLED TO A DEPTH OF 100mm. MULCH IS NOT TO CONTAIN PLANT SHELLS. MULCH SHALL SPREAD TO FORM A 50% AROUND THE BASE OF ALL PLANTS IN GARDEN AREAS TO REDUCE RISK OF ROTTING OF PLANT GROWTH.

<p>COVER PAGE SPECIFICATION NOTES & PLANT LIST</p> <p>363 - L00</p>		<p>CLIENT Jumrum Rainforest Estate Site 18.2 Eber Road, Kuranda QLD</p>	
<p>PROJECT TITLE Jumrum Rainforest</p>		<p>DATE 11/11/2024</p>	
<p>DRAWING TITLE COVER PAGE SPECIFICATION NOTES & PLANT LIST</p>		<p>SCALE A</p>	
<p>DATE 11/11/2024</p>		<p>VERSION 1</p>	

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Appeal Rights

PLANNING ACT 2016 & THE PLANNING REGULATION 2017

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

(1) Schedule 1 of the *Planning Act 2016* states –

- (a) Matters that may be appealed to –
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
- (b) The person-
 - (i) who may appeal a matter (**the appellant**); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.

(Refer to Schedule 1 of the Planning Act 2016)

(2) An appellant may start an appeal within the appeal period.

(3) The **appeal period** is –

- (a) for an appeal by a building advisory agency – 10 business days after a decision notice for the decision is given to the agency; or
- (b) for an appeal against a deemed refusal – at any time after the deemed refusal happens; or
- (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises – 20 business days after a notice is published under section 269(3)(a) or (4); or
- (d) for an appeal against an infrastructure charges notice – 20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given – 30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for any other appeal – 20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note –

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt. It is declared that an appeal against an infrastructure charges notice must not be about-

- (a) the adopted charge itself; or
- (b) for a decision about an offset or refund-
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that-
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to –
 - (a) the respondent for the appeal ; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, table 1, item 1 – each principal submitter for the development application; and
 - (d) for an appeal about a change application under schedule 1, table 1, item 2 – each principal submitter for the change application; and
 - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
 - (f) for an appeal to the P&E Court – the chief executive; and
 - (g) for an appeal to a tribunal under another Act – any other person who the registrar considers appropriate.
- (4) The *service period* is –
 - (a) if a submitter or advice agency started the appeal in the P&E Court – 2 business days after the appeal has started; or
 - (b) otherwise – 10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section –
 - decision* includes-
 - (a) conduct engaged in for the purpose of making a decision; and

- (b) other conduct that relates to the making of a decision; and
- (c) the making of a decision or failure to make a decision; and
- (d) a purported decision ; and
- (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter-

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the Judicial Review Act 1991 or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with the rules of the P&E Court.