

DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Jan and Claire Eldred c/- Scope Town Planning
Contact name (only applicable for companies)	Johnathan Burns
Postal address (P.O. Box or street address)	38 Kowa St
Suburb	Mareeba
State	Qld.
Postcode	4880
Country	Aust.
Contact number	0450 781 841
Email address (non-mandatory)	jburns@scopetownplanning.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	23007

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		397	Speewah Road	Speewah
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4881	2	RP718600	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☒ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Animal Keeping (Equine training facility)

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☐ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Equine Training Facility	Animal Keeping		
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input checked="" type="checkbox"/> No			

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$	

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Mareeba Shire Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016**:

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council:
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority:
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
Note: By not agreeing to accept an information request I, the applicant, acknowledge:
<ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.
Further advice about information requests is contained in the DA Forms Guide .

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☐ Yes – provide details below or include details in a schedule to this development application
☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 69: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

DEVELOPMENT APPLICATION

DEVELOPMENT PERMIT:

Material Change of Use Animal Keeping

397 Speewah Road, Speewah Qld. 4881
Lot 2 on RP718600

Prepared by: Scope Town Planning
April 2023



PLANNING FOR LOCALS

CONTENTS

	APPLICATION SUMMARY	3
1	PROPOSAL	4
1.1	Introduction	4
1.2	Proposed Development	4
	Figure 1: Proposed Development	4
	Figure 2: Site Plan	5
	Figure 3: Site Plan/Vegetation mapping overlay	5
1.3	Site and Locality	6
	Figure 4: Development site road view	6
	Figure 5: Development Site aerial image	7
	Figure 6: Development Building Site image	7
	Figure 7: Development Site location	8
	Figure 8: Development Site Zoning	9
2	PLANNING CONSIDERATIONS	10
2.1	Compliance with Planning Scheme	10
2.2	State Agency Referral Items	10
2.3	Watercourse Truthing	10
3	PLANNING SUMMARY	11
4	RECOMMENDATION	11
	APPENDIX 1: Assessment Against the Planning Codes	(attached)
	APPENDIX 2: Proposed Plan	(attached)
	APPENDIX 3: Contour Survey Plan	(attached)
	APPENDIX 4: Watercourse truthing (Northern Ecology)	(attached)

APPLICATION SUMMARY	
DEVELOPMENT APPLICATION	Material Change of Use
PROPOSAL	Animal Keeping
ASSESSMENT LEVEL	Code
STREET ADDRESS	397 Speewah Road, Speewah Qld. 4881
REAL PROPERTY ADDRESS	Lot 2 on RP718600
LAND AREA	500,380m²
APPLICANT	Scope Town Planning c/- Land Owner
LAND OWNER	Jan and Claire Eldred
LOCAL GOVERNMENT AREA	Mareeba Shire Council
PLANNING SCHEME	Mareeba Shire Planning Scheme (2017)
ZONE	Rural Zone
PRECINCT	n/a
LOCAL PLAN	n/a
EASEMENTS	nil
IMPROVEMENTS	Dwelling Houses, Outbuildings
APPLICABLE PLANNING CODES	Rural Zone Code
	Rural Activities Code
	Bushfire Hazard Overlay Code
	Environmental Significance Overlay Code
	Landscaping Code
	Parking and Access Code
	Works, Services and Infrastructure Code
APPLICABLE REFERRALS	n/a

1 Proposal

1.1 Introduction

This application seeks a Development Permit for a Material Change of Use for Animal Keeping over land at 397 Speewah Road, Speewah Qld. 4881 formally known as Lot 2 on RP718600 being located within the Rural Zone of the Mareeba Shire LGA.

As specified in Table 5.10.1 of the Mareeba Shire Planning Scheme, the application is classified as Code Assessable Development subject to compliance with the requirements of the relevant codes for a Material Change of Use located within the Bushfire Hazard Overlay and Environmental Significance Overlay.

1.2 Proposed Development

The proposed development is the construction of a new Equine Stables and Training Facility which included 6 stables, operational facilities and 1536m² training arena. The structure will be located within the Category X vegetation classified area of the site (Figure 3) and will be sited outside of the Hill and Slope affected areas. The structure will be located within the Environmental Significance area and Bushfire Hazard area mapped over the site. Refer to Figure 2 and Appendix 2 for siting details.

As illustrated in Figure 1 below, the proposed horse training facility includes covered stables and operational facilities as well as an all-weather training arena with a maximum roof height of 9.3m. A horse wash down facility is located alongside the stables.

The proposed facility will be used for the training of high-level dressage horses kept on-site by the land owner and will not be used to accommodate equine events.

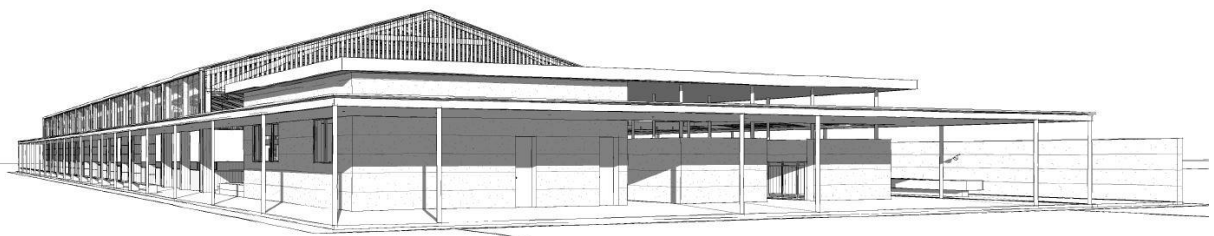


Figure 1: Proposed equine stables and training facility. (Studio 111)

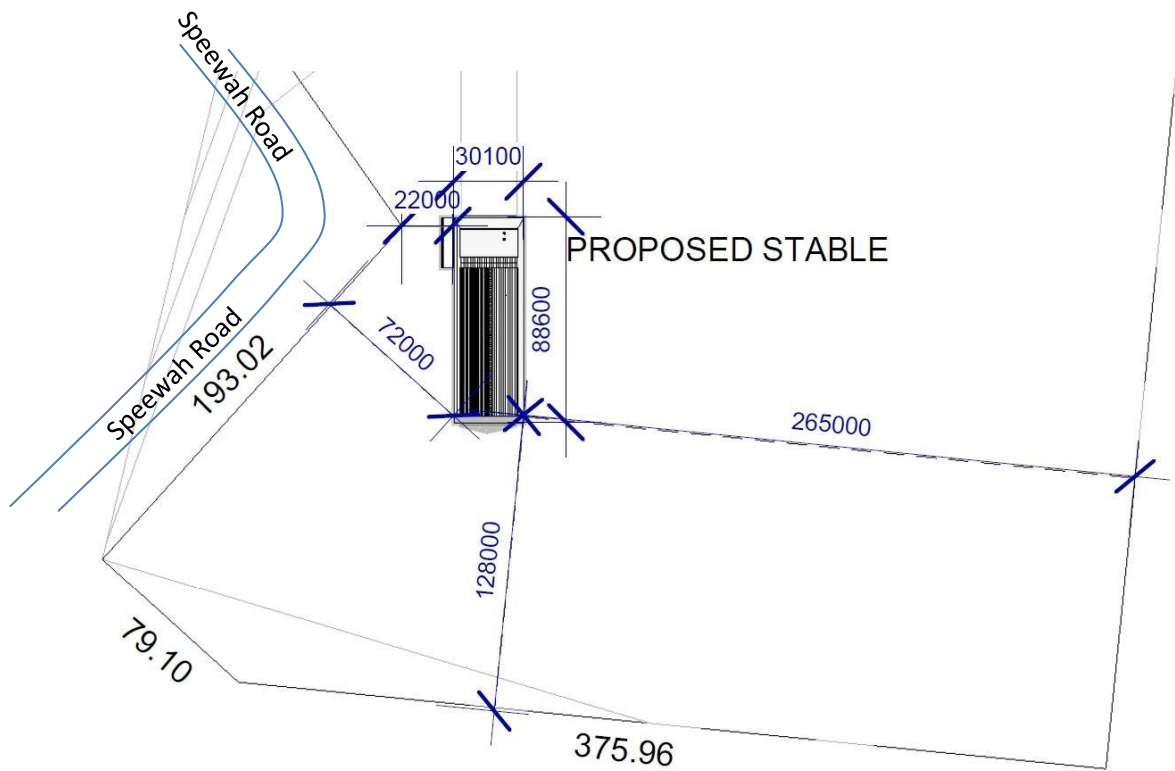


Figure 2: Proposed equine facility site plan. (Studio 111)

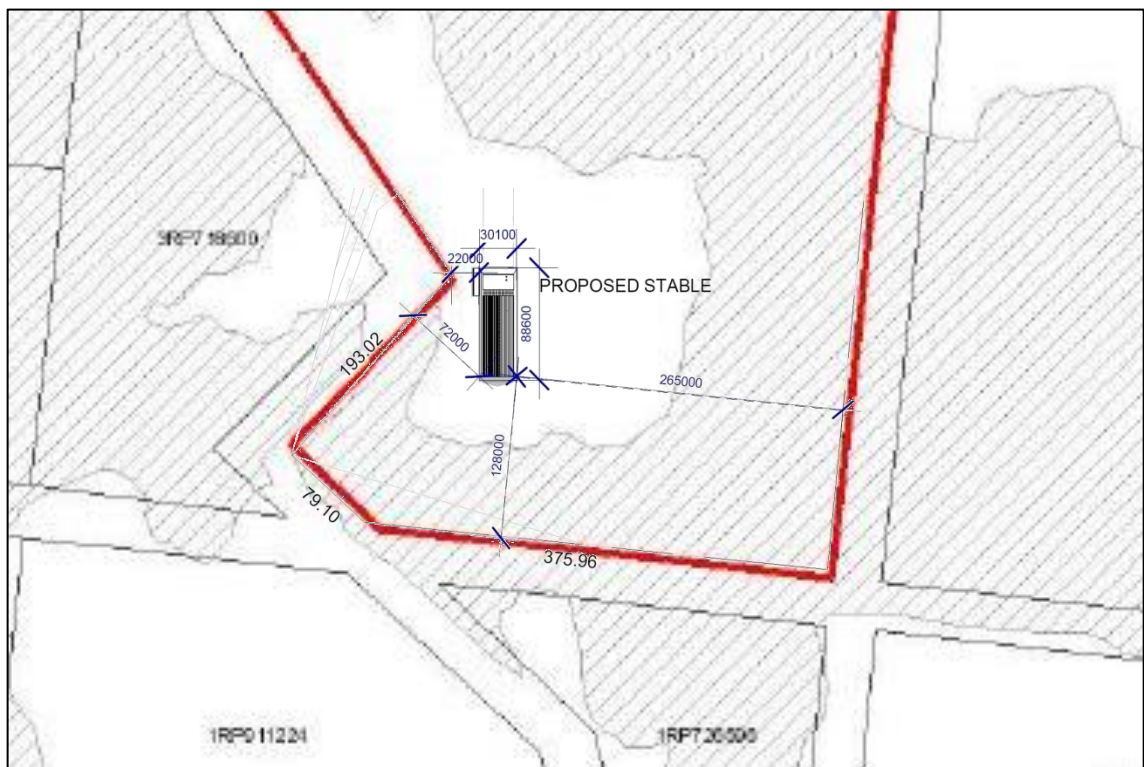


Figure 3: Proposed facility siting on vegetation mapping. (Studio 111/DAMS)

1.3 Site and Locality

The proposal site is situated on Speewah Road which gains direct access to the Kennedy Highway and is located amongst a mix of Rural and Rural Residential allotments which are densely vegetated or partially cleared lots containing grazing land and/or improved with Dwellings and associated Outbuildings. The site is mostly vegetated by native vegetation being partially cleared for agricultural use.

The site is zoned Rural and is currently utilized for agricultural purposes, being improved with a Dwelling House and associated Outbuildings. The site has frontage to Speewah Road (west) and Stoney Creek Road (north) and is bound by gazetted Road parcels (unimproved) to the south and east, Rural allotments to the west, east and south and Rural Residential allotments to the north.

The site is affected by the Bushfire Hazard Overlay, Environmental Significance Overlay and Hill and Slope Overlay (not affecting the proposed works). The site is not located within a Local Plan or Precinct.



Figure 4: Aerial view of 397 Speewah Road (Qld. Globe).



Figure 5: Development site frontage street view toward building site. (Google maps)



Figure 6: Development site building area view southward.

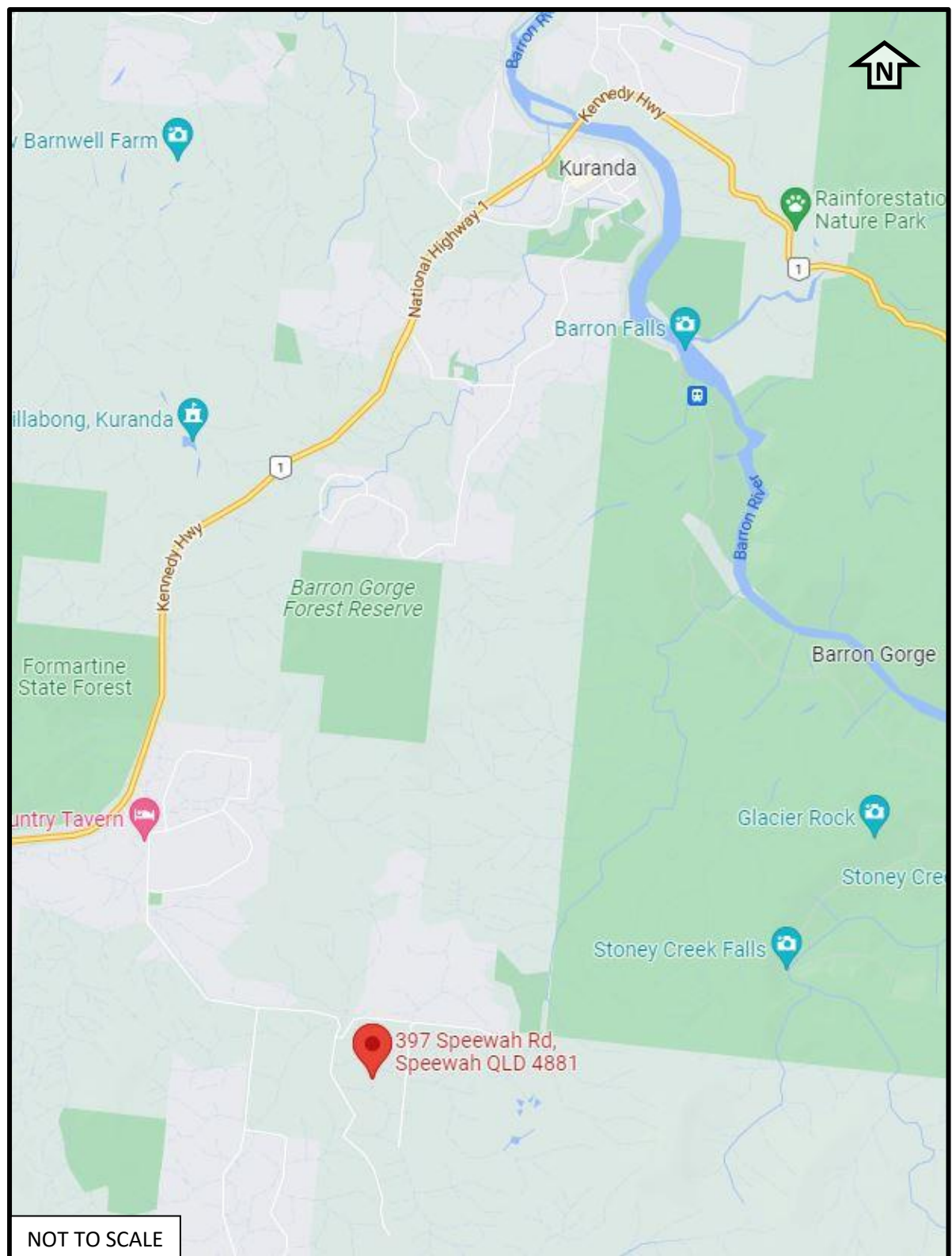


Figure 7: Development Site location map (Google Maps).

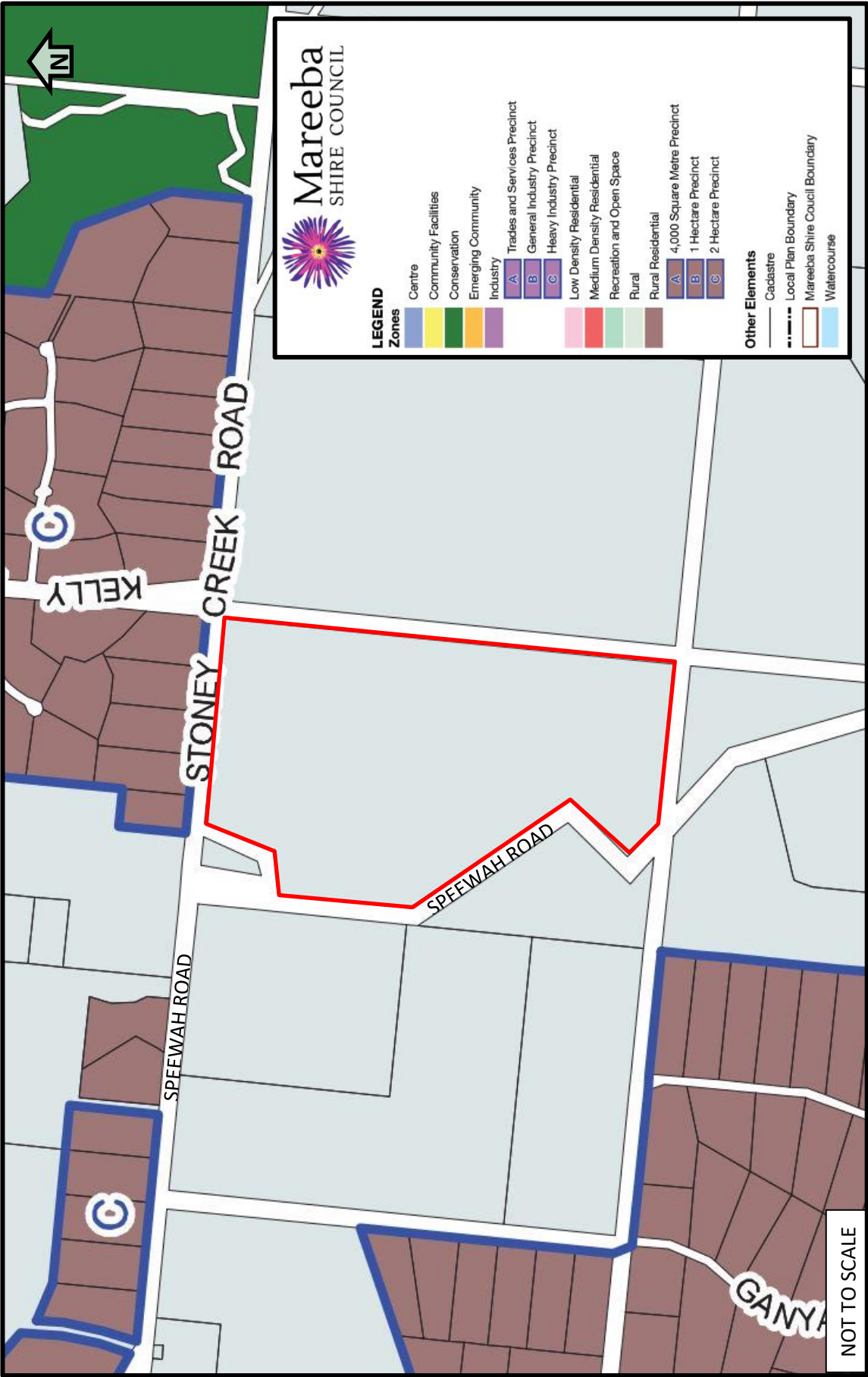


Figure 8: Development Site located in the Rural Zone.

2 Planning Considerations

2.1 Compliance with Planning Scheme

This site is located within the Rural Zone and affected by several Overlays. The proposed development for a Material Change of Use is Code Assessable Development being assessable against provisions of the following Codes of the Mareeba Shire Planning Scheme (2017);

- 6.2.9 Rural Zone Code
- 8.2.3 Bushfire Hazard Overlay Code
- 8.2.4 Environmental Significance Overlay Code
- 9.3.6 Rural Activities Code
- 9.4.2 Landscaping Code
- 9.4.3 Parking and Access Code
- 9.4.5 Works, Services and Infrastructure Code

An assessment of the development proposal against the applicable Codes is provided in Appendix 1 – Code Assessment.

The site is not subject to a Local Plan and all relevant Policies are considered to be appropriately addressed in Mareeba Shire Planning Scheme.

2.2 Watercourse Truthing

The proposed development sites the building within the MSES Watercourse (and buffer) mapping of the Environmental Significance Overlay of the Mareeba Shire Planning Scheme (Figure 8) however other watercourse mapping and site evidence, including photographs and the statement from a suitably qualified Environmental Scientist (Appendix 4) provide watercourse truthing which locates the watercourse within the vegetated area close to the southern boundary, well clear of the proposed structure.

2.3 State agency referral items

The proposed development application does not trigger referral to SARA or any other third party for assessment.

3 Planning Summary

This application seeks a Development Permit for a Material Change of Use for Animal Keeping over land at 397 Speewah Road, Speewah Qld. 4881 formally known as Lot 2 on RP718600 being located within the Rural Zone of the Mareeba Shire LGA.

The application is classified as Code Assessable Development subject to compliance with the requirements of the relevant codes of the Mareeba Shire Planning Scheme. The proposed development application does not trigger referral to SARA or any other third party for assessment.

An assessment of the development proposal against the applicable Codes is provided in Appendix 1 – Code Assessment and the relevant Plans are provided as Appendix 2 – Development Plans.

4 Recommendation

It is the professional opinion of Scope Town Planning that the proposed Material Change of Use for Animal Keeping at 397 Speewah Road, Speewah satisfies the desired outcomes and requirements of the Mareeba Shire Planning Scheme and that this application should be fairly assessed and approved by Mareeba Shire Council with reasonable conditions.



Johnathan Burns

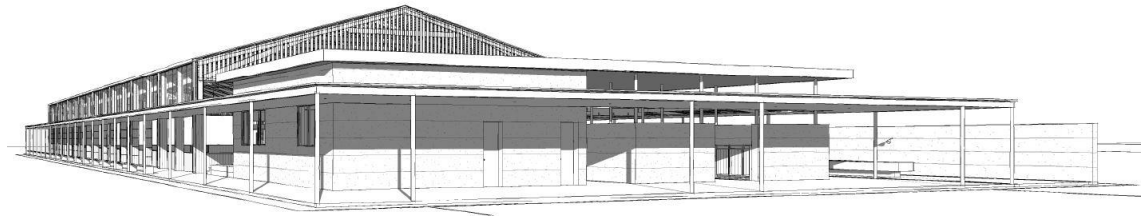
Senior Town Planner | **Scope** Town Planning

Appendix 1: Assessment against the provisions of the Mareeba Shire Planning Scheme Codes

APPLICATION		PREMISES	
FILE NO:	23007	ADDRESS:	397 Speewah Road, Speewah Qld. 4881
APPLICANT:	Land Owners	RPD:	Lot 2 on RP718600
LODGED BY:	Scope Town Planning	AREA:	500,380m ²
DATE LODGED:	April 2023	OWNER :	Jan and Claire Eldred
TYPE OF APPROVAL:	Development Permit		
PROPOSED DEVELOPMENT:	Material Change of Use (Animal Keeping)		
PLANNING SCHEME:	Mareeba Shire Council Planning Scheme		
ZONE:	Rural Zone		
LEVEL OF ASSESSMENT:	Code		
SUBMISSIONS:	n/a		

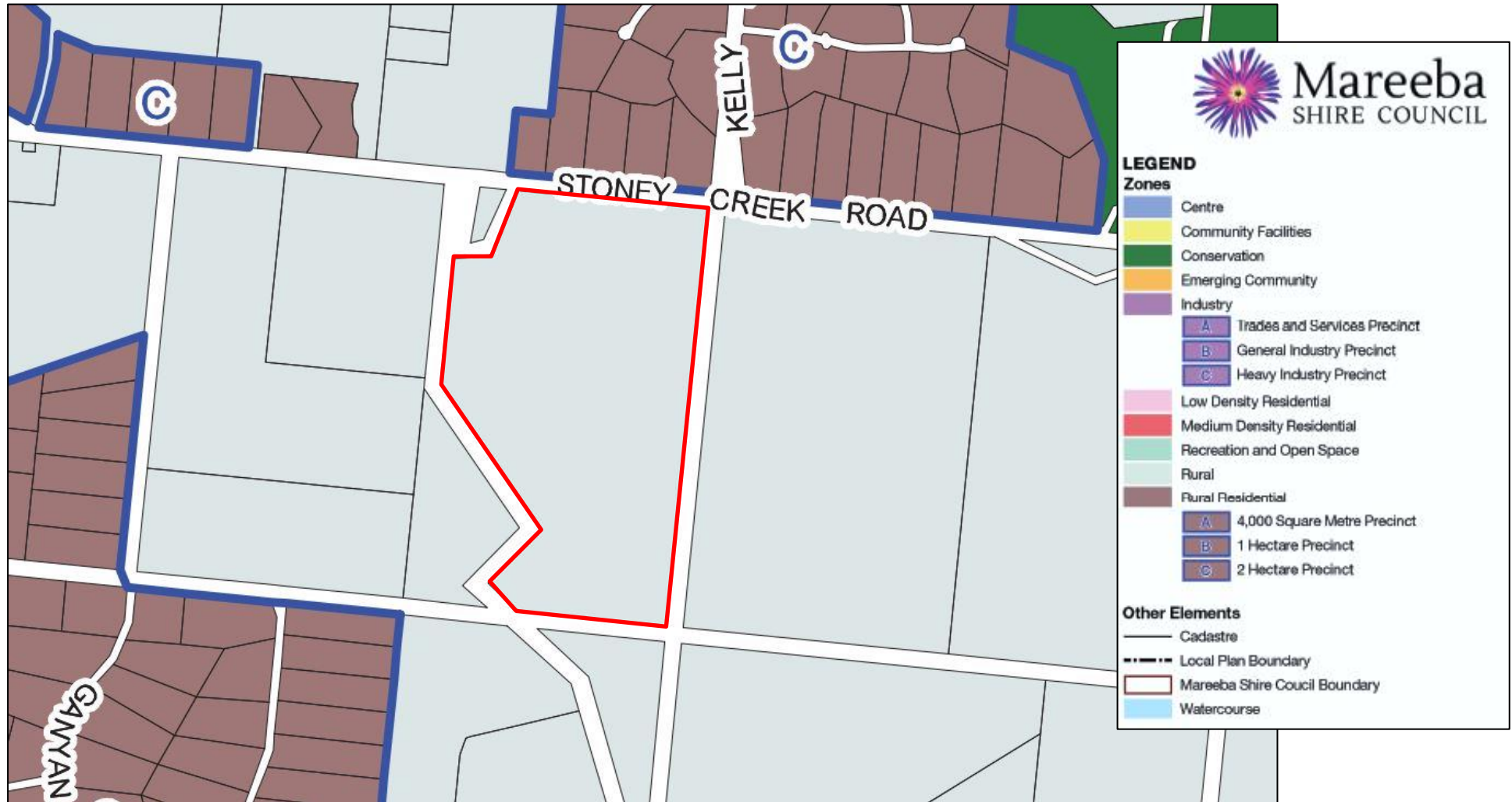
As identified in Part 5 of the Planning Scheme, this development is required to satisfy the Performance Criteria of the following Codes:

- 6.2.9 Rural Zone Code
- 8.2.3 Bushfire Hazard Overlay Code
- 8.2.4 Environmental Significance Overlay Code
- 9.3.6 Rural Activities Code
- 9.4.2 Landscaping Code
- 9.4.3 Parking and Access Code
- 9.4.5 Works, Services and Infrastructure Code



6.2.9 Rural Zone Code

The proposed development is assessable against the provisions of the Rural Residential Zone of the Mareeba Shire Planning Scheme.



6.2.9.3 Criteria for assessment**Table 6.2.9.3A— Rural zone code - For accepted development subject to requirements and assessable development**

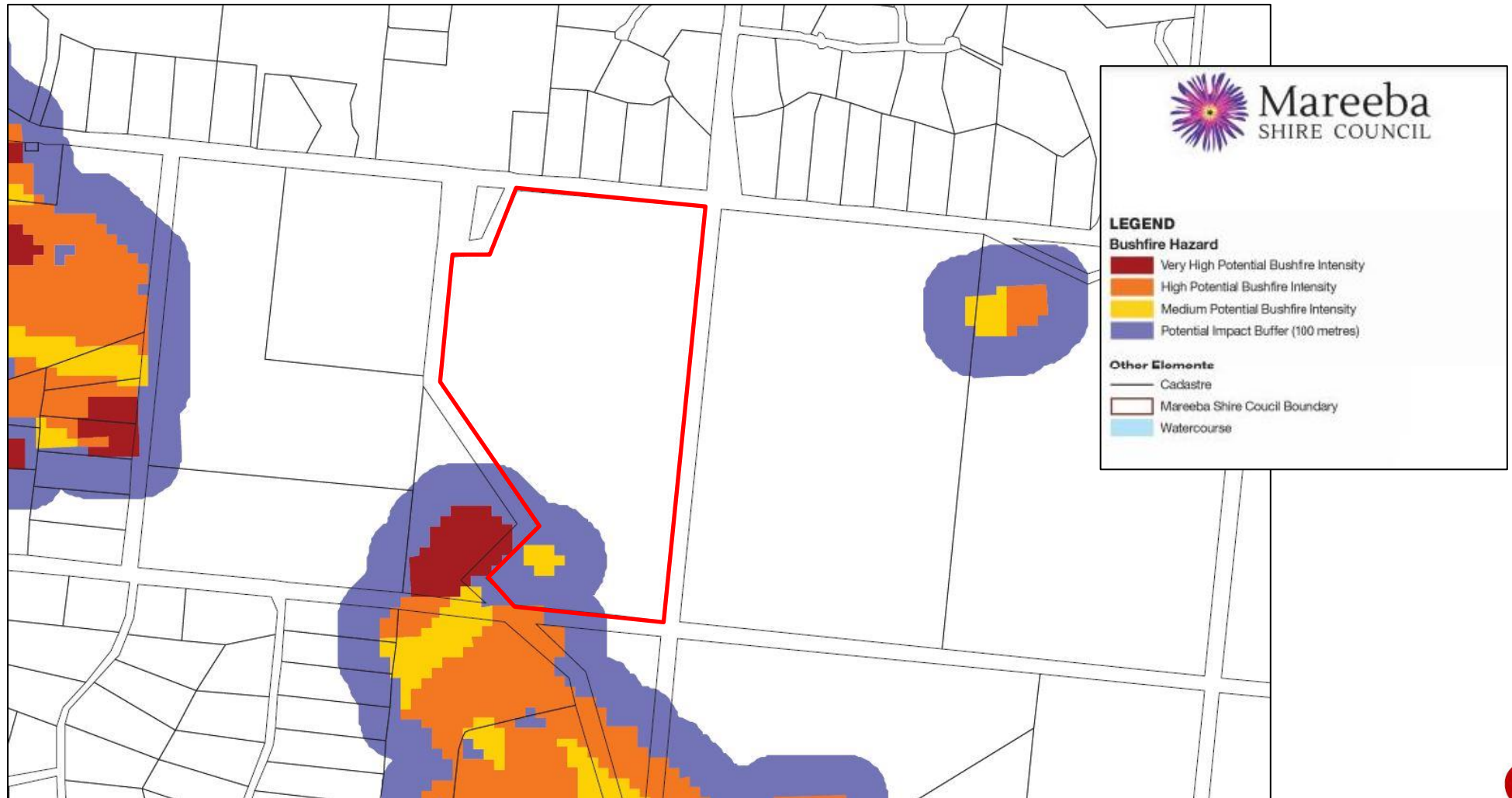
Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Height		
PO1 Building height takes into consideration and respects the following: <ul style="list-style-type: none"> (a) the height of existing buildings on adjoining premises; (b) the development potential, with respect to height, on adjoining premises; (c) the height of buildings in the vicinity of the site; (d) access to sunlight and daylight for the site and adjoining sites; (e) privacy and overlooking; and (f) site area and street frontage length. 	AO1.1 Development, other than buildings used for rural activities, has a maximum building height of: <ul style="list-style-type: none"> (a) 8.5 metres; and (b) 2 storeys above ground level. 	n/a The proposed structure is for Rural Activity use.
	AO1.2 Buildings and structures associated with a rural activity including machinery, equipment, packing or storage buildings do not exceed 10 metres in height.	Complies The proposed structure has a maximum roof height of 9m. The building will be screened from adjoining properties by dense vegetation and will not overlook any other buildings. The building is sited in a lower portion of the lot resulting in a lowset appearance.
Siting, where not involving a Dwelling house Note—Where for Dwelling house, the setbacks of the Queensland Development Code apply.		
PO2 Development is sited in a manner that considers and respects: <ul style="list-style-type: none"> (a) the siting and use of adjoining premises; (b) access to sunlight and daylight for the site and adjoining sites; (c) privacy and overlooking; (d) air circulation and access to natural breezes; (e) appearance of building bulk; and (f) relationship with road corridors. 	AO2.1 Buildings and structures include a minimum setback of: <ul style="list-style-type: none"> (a) 40 metres from a frontage to a State-controlled road; and (b) 10 metres from a boundary to an adjoining lot. 	Complies The proposed building setbacks exceed 10m from all adjoining lot boundaries.
	AO2.2 Buildings and structures, where for a Roadside stall, include a minimum setback of 0 metres from a frontage to a road that is not a State-controlled road.	n/a Development is not for a roadside stall.

	AO2.3 Buildings and structures, except where a Roadside stall, include a minimum setback of: <ul style="list-style-type: none"> (a) 10 metres from a frontage to a sealed road that is not a State-controlled road; and (b) 100 metres from a frontage to any other road that is not a State-controlled road; 	Complies with PO2 The proposed building is setback 22m from Speewah Road. The building will be screened from adjoining properties by dense vegetation and will not overlook any other buildings. The building is sited in a lower portion of the lot resulting in a lowset appearance and the bulk of the building will not be visible from the road.
Accommodation density		
PO3 The density of Accommodation activities: <ul style="list-style-type: none"> (a) respects the nature and density of surrounding land use; (b) is complementary and subordinate to the rural and natural landscape values of the area; and (c) is commensurate to the scale and frontage of the site. 	AO3.1 Residential density does not exceed one dwelling house per lot.	n/a Development is not for an Accommodation Activity.
	AO3.2 Residential density does not exceed two dwellings per lot and development is for: <ul style="list-style-type: none"> (a) a secondary dwelling; or (b) Caretaker's accommodation and includes building work or minor building work with a maximum gross floor area of 100m²; or (c) Rural worker's accommodation. 	n/a Development is not for an Accommodation Activity.
For assessable development		
Site cover		
PO4 Buildings and structures occupy the site in a manner that: <ul style="list-style-type: none"> (a) makes efficient use of land; (b) is consistent with the bulk and scale of buildings in the surrounding area; and (c) appropriately balances built and natural features. 	AO4 No acceptable outcome is provided.	Complies The proposed building is suitably sited and makes efficient use of the land. The structure does not require any vegetation clearing and will not have a bulky appearance from the street.

<p>PO5 Development complements and integrates with the established built character of the Rural zone, having regard to:</p> <ul style="list-style-type: none"> (a) roof form and pitch; (b) eaves and awnings; (c) building materials, colours and textures; and (d) window and door size and location. 	<p>AO5 No acceptable outcome is provided.</p>	<p>Complies The proposed structure is suitably designed for the use and compatible with the built character of the local area.</p>
<p>Amenity</p>		
<p>PO6 Development must not detract from the amenity of the local area, having regard to:</p> <ul style="list-style-type: none"> (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions. 	<p>AO6 No acceptable outcome is provided.</p>	<p>Complies The proposed use is to be managed and operated by the on-site residents and will serve to train on-site animals only. No off-site clients will attend the site and no public events will be held on-site.</p> <p>The proposed Rural Activity will be responsibly managed to avoid adverse impacts on the amenity of the local area.</p>
<p>PO7 Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to:</p> <ul style="list-style-type: none"> (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions. 	<p>AO7 No acceptable outcome is provided.</p>	<p>Complies The proposed use is to be managed and operated by the on-site residents and will serve to train on-site animals only. No off-site clients will attend the site and no public events will be held on-site.</p> <p>The proposed Rural Activity will be responsibly managed to ameliorate any existing negative environmental impacts.</p>

8.2.3 Bushfire Hazard Overlay Code

The proposed development is assessable against the provisions of the Bushfire Hazard Overlay area of the Mareeba Shire Planning Scheme.



8.2.3.3 Criteria for assessment

Table 8.2.3.3—Bushfire hazard overlay code — For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Water supply for fire-fighting purposes		
PO1 Development where within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) maintains the safety of people and property by providing an adequate, accessible and reliable water supply for fire-fighting purposes which is safely located and has sufficient flow and pressure characteristics. Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.	Where within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) AO1.1 Where in a reticulated water service area, the on-site water supply has flow and pressure characteristics of 10 litres a second at 200 kPa. OR	n/a The site is not serviced by the reticulated water network.
	AO1.2 Where access to the reticulated water network is not available, a minimum on site water storage of 5,000 litres is provided that must comprise: (a) a separate tank; or (b) a reserve section in the bottom part of the main water supply tank; or (c) a dam; or (d) a swimming pool. Note—Where a water tank is provided for fire-fighting purposes it is fitted with standard rural fire brigade fittings and the tank is provided with a hardstand area for heavy vehicles.	Complies The proposed building will direct all rainwater to a 10,000L rainwater tank for storage and use with a reserve section for use by fire fighting appliances. The site will also supplied by a water bore.

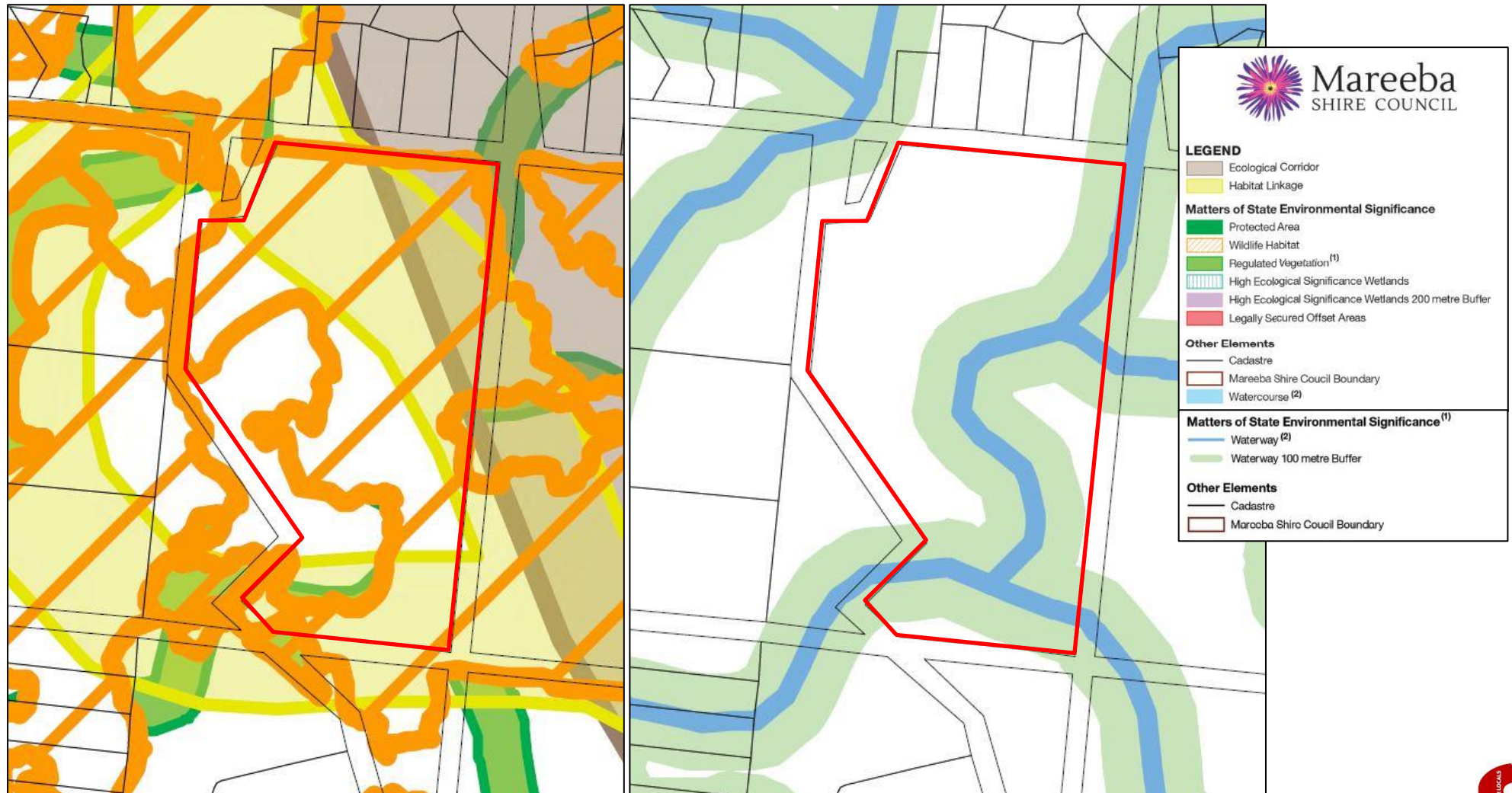
For assessable development		
Land use		
<p>PO2 Development within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) is appropriate to the bushfire hazard risk having regard to the:</p> <ul style="list-style-type: none"> (a) the bushfire risk compatibility of development; (b) the vulnerability of and safety risk to persons associated with the use; and (c) consequences of bushfire in regard to impacts on essential infrastructure, buildings and structures. <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>AO2 All buildings, structures, infrastructure and facilities associated with the following uses are located outside any area of the site located within a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o):</p> <ul style="list-style-type: none"> (a) child care centre; or (b) community care centre; or (c) correctional facility; or (d) educational establishment; or (e) emergency services; or (f) hospital; or (g) residential care facility; or (h) retirement facility; or (i) rooming accommodation; or (j) shopping centre; or (k) tourist park; or (l) tourist attraction. 	<p>n/a No buildings associated with the uses listed in AO2 are proposed in this application.</p>
Lot design		
<p>PO3 Reconfiguring a lot within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) minimises the potential adverse impacts of bushfire on the safety of people, property and the environment through lot design that:</p> <ul style="list-style-type: none"> (a) is responsive to the nature and extent of bushfire risk; and (b) allows efficient emergency access to buildings for fire-fighting appliances. <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>Where within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o)</p> <p>AO3.1 No new lots are created.</p> <p>OR</p> <p>AO3.2 All lots include a building envelope that achieves a radiant heat flux level of 29kW/m^2 at the perimeter of the building envelope.</p> <p>Note—Where a radiant heat flux of 29kW/m^2 is achieved and this relies on cleared or maintained land external to the land the subject of the development application it must be demonstrated that land external to the site will be maintained to a standard that does not exceed the level of bushfire hazard identified in a Bushfire hazard management plan.</p>	<p>n/a Development is not a ROL.</p>

Firebreaks and access		
<p>PO4 In a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o), vehicular access is designed to mitigate against bushfire hazard by:</p> <ul style="list-style-type: none"> (a) ensuring adequate access for fire-fighting and other emergency vehicles; (b) ensuring adequate access for the evacuation of residents and emergency personnel in an emergency situation, including alternative safe access routes should access in one direction be blocked in the event of a fire; and (c) providing for the separation of developed areas and adjacent bushland. <p>Note—Where it is not practicable to provide firebreaks in accordance with A04.2 Fire Maintenance Trails are provided in accordance with the following:</p> <ul style="list-style-type: none"> i. located as close as possible to the boundaries of the lot and the adjoining hazardous vegetation; ii. the minimum cleared width not less than 6 metres; iii. the formed width is not less than 2.5 metres; iv. the formed gradient is not greater than 15%; v. vehicular access is provided at both ends; vi. passing bays and turning areas are provided for fire-fighting appliances located on public land. <p>Note—A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>AO4.1 In a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o), roads are designed and constructed:</p> <ul style="list-style-type: none"> (a) with a maximum gradient of 12.5%; (b) to not use cul-de-sacs; and (c) a constructed road width and weather standard complying with Planning Scheme Policy 4 - FNQROC Regional Development Manual. 	<p>Complies Existing site access is sufficient and will be retained. No additional site access points are proposed.</p>
	<p>AO4.2 In a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o), firebreaks are provided:</p> <ul style="list-style-type: none"> (a) consisting of a perimeter road that separates lots from areas of bushfire hazard; (b) a minimum cleared width of 20 metre; (c) a maximum gradient of 12.5%; and (d) a constructed road width and weather standard complying with Planning Scheme Policy 4 - FNQROC Regional Development Manual. 	<p>Complies No new firebreaks are proposed in this application as the existing firebreaks are sufficiently located around the building site.</p>
Hazardous materials		
<p>PO5 Public safety and the environment are not adversely affected by the detrimental impacts of bushfire of hazardous materials manufactured or stored in bulk.</p> <p>Note—A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>AO5 The processing or storage of dangerous goods or hazardous materials is not undertaken in a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o).</p>	<p>n/a No processing or storage of dangerous goods or hazardous materials is proposed.</p>

Landscaping		
<p>PO6 Landscaping within a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) does not result in a material increase in the extent, duration or severity of bushfire hazard having regard to:</p> <ul style="list-style-type: none"> (a) fire ecology; (b) slope of site; and (c) height and mix of plant species. <p>Note—Frost hollows and the associated grass kill facilitates a rapid curing of fuel and exacerbates bushfire hazard.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>AO6 No acceptable outcome is provided.</p>	<p>n/a No additional landscaping is proposed.</p>
Infrastructure		
<p>PO7 Infrastructure services located in a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) are protected from damage or destruction in the event of a bushfire.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>AO7 The following infrastructure services are located below ground:</p> <ul style="list-style-type: none"> (a) water supply; (b) sewer; (c) electricity; (d) gas; and (e) telecommunications 	<p>Complies The site is traversed by electrical infrastructure which may be utilised to service the building. No additional infrastructure is proposed.</p>
Private driveways		
<p>PO8 All premises located in a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) are provided with vehicular access that enables safe evacuation for occupants and easy access by fire-fighting appliances.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>AO8 Private driveways:</p> <ul style="list-style-type: none"> (a) do not exceed a length of 60 metres from the street frontage; (b) do not exceed a gradient of 12.5%; (c) have a minimum width of 3.5 metres; (d) have a minimum vertical clearance of 4.8 metres; (e) accommodate turning areas for fire-fighting appliances in accordance with the Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and (f) serve no more than three dwellings or buildings. 	<p>Complies Existing site access is sufficient and will be retained. No additional site access points are proposed.</p>

8.2.4 Environmental Significance Overlay Code

The proposed development is assessable against the provisions of the Environmental Significance Overlay area of the Mareeba Shire Planning Scheme.



8.2.4.3 Criteria for assessment

Table 8.2.4.3A - Environmental significance overlay code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Regulated vegetation		
<p>PO1 Vegetation clearing in areas mapped as 'Regulated vegetation' identified on the Environmental Significance Overlay Maps (OM-004a-o) is avoided unless:</p> <ul style="list-style-type: none"> (a) it is demonstrated that the area does not support regulated vegetation as mapped; (b) the loss or reduction in regulated vegetation is for community infrastructure and associated access facilities that cannot be avoided; (c) wildlife interconnectivity is maintained or enhanced at a local and regional scale; and (d) the loss or reduction in regulated vegetation is minimised and any residual impacts are offset. <p>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</p>	<p>AO1 No clearing of native vegetation is undertaken within areas of 'Regulated vegetation' identified on the Environmental Significance Overlay Maps (OM-004a-o).</p>	<p>Complies No clearing of native vegetation is proposed.</p>

<p>PO2 Development on sites adjacent to areas of 'Regulated vegetation' identified on the Environmental Significance Overlay Maps (OM-004a-o) protects the environmental significance of regulated vegetation and:</p> <ul style="list-style-type: none"> (a) does not interrupt, interfere, alter or otherwise impact on underlying natural ecosystem processes such as water quality, hydrology, geomorphology and biophysical processes; (b) does not negatively impact the movement of wildlife at a local or regional scale; and (c) avoids noise, light, vibration or other edge affects, including weed and pest incursion on identified environmental values. <p>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</p>	<p>AO2 Development (excluding roads, earthworks, drainage infrastructure and underground infrastructure) is not located within 20 metres of 'Regulated vegetation' areas identified on the Environmental Significance Overlay Maps (OM-004a-o).</p>	<p>Complies The proposed development is not located within 20 metres of any 'Regulated vegetation' mapped areas.</p>
<p>Regulated vegetation intersecting a watercourse</p>		
<p>PO3 Vegetation clearing in areas mapped as 'Regulated vegetation intersecting a watercourse', identified as 'Waterway' and 'Waterway buffer' on the Environmental Significance - Waterway Overlay Maps (OM-004p-z) is avoided unless wildlife interconnectivity between habitats is maintained or enhanced at a local and regional scale, to the extent that migration or normal movement of significant species between habitats or normal gene flow between populations is not inhibited.</p> <p>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</p>	<p>Where within a 'Waterway buffer' on Environmental Significance - Waterway Overlay Maps (OM-004p-z)</p> <p>AO3.1 A minimum setback in accordance with Table 8.2.4.3B is provided between development and the top of the high bank of a 'Waterway' identified on the Environmental Significance - Waterway Overlay Maps (OM-004p-z).</p>	<p>Complies No clearing of native vegetation is proposed.</p> <p>The mapped watercourse has been ground truthed to demonstrate its true location. The proposed building will have a setback from the true high bank of the watercourse of ~85m.</p>

	<p>Where within a 'Waterway buffer' on Environmental Significance - Waterway Overlay Maps (OM-004p-z)</p> <p>AO3.2 No clearing of native vegetation is undertaken within the minimum setback identified at AO3.1.</p>	<p>Complies No clearing of native vegetation is proposed.</p>
Waterways and wetlands		
<p>PO4 'High ecological significance wetlands' identified on the Environmental Significance Overlay Maps (OM-004a-o) and 'Waterways' on Environmental Significance - Waterway Overlay Maps (OM-004p-z) and are protected by:</p> <ul style="list-style-type: none"> (a) maintaining adequate separation distances between waterways/wetlands and development; (b) maintaining and enhancing aquatic and terrestrial habitat including vegetated corridors to allow for native fauna (terrestrial and aquatic) movement; (c) maintaining waterway bank stability by minimising bank erosion and slumping; (d) maintaining water quality by providing buffers to allow filtering of sediments, nutrients and other pollutants; and (e) retaining and improving existing riparian vegetation and existing vegetation associated with a wetland. <p>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</p>	<p>Where within a 'Waterway buffer' on Environmental Significance - Waterway Overlay Maps (OM-004p-z)</p> <p>AO4.1 A minimum setback in accordance with Table 8.2.4.3B is provided between development and the top of the high bank of a 'Waterway' identified on the Environmental Significance - Waterway Overlay Maps (OM-004p-z).</p>	<p>Complies The mapped watercourse has been ground truthed to demonstrate its true location. The proposed building will have a setback from the true high bank of the watercourse of ~85m.</p>

	<p>Where within a 'High ecological significance wetland buffer' on Environmental Significance Overlay Maps (OM-004a-o)</p> <p>AO4.2 A minimum buffer of 200 metres is provided between development and the edge of a 'High ecological significance wetland' identified on the Environmental Significance Overlay Maps (OM-004a-o).</p>	<p>n/a The building site is not located within a 'High ecological significance wetland buffer'.</p>
	<p>Where within a 'Waterway buffer' on Environmental Significance - Waterway Overlay Maps (OM-004p-z) or 'High ecological significance wetland buffer' on Environmental Significance Overlay Maps (OM-004a-o)</p> <p>AO4.3 No stormwater is discharged to a 'Waterway' on Environmental Significance - Waterway Overlay Maps (OM-004p-z) or 'High ecological significance wetland' identified on the Environmental Significance Overlay Maps (OM-004a-o).</p> <p><small>Note— An alternative outcome is required to demonstrate that the ecological impacts of stormwater discharge to a 'Waterway' or 'High ecological significance wetland' are mitigated in accordance with PO3 through appropriate stormwater management / treatment (where possible).</small></p>	<p>Complies The mapped watercourse has been ground truthed to demonstrate its true location. The proposed building will have a setback from the true high bank of the watercourse of ~85m.</p> <p>No stormwater will be discharged to a waterway.</p>
	<p>Where within a 'Waterway buffer' on Environmental Significance - Waterway Overlay Maps (OM-004p-z) or 'High ecological significance wetland buffer' on Environmental Significance Overlay Maps (OM-004a-o)</p> <p>AO4.4 No wastewater is discharged to a 'Waterway' on Environmental Significance - Waterway Overlay Maps (OM-004p-z) or 'High ecological significance wetland' identified on the Environmental Significance Overlay Map (OM-004a-z).</p> <p><small>Note— A alternative outcome is required to demonstrate that the ecological impacts of wastewater discharge to a 'Waterway' or 'High ecological significance wetland' are mitigated in accordance with PO3 through appropriate wastewater management / treatment (where possible).</small></p>	<p>Complies The mapped watercourse has been ground truthed to demonstrate its true location. The proposed building will have a setback from the true high bank of the watercourse of ~85m.</p> <p>No wastewater will be discharged to a waterway.</p>

For assessable development		
Wildlife Habitat		
<p>PO5 Development within a 'Wildlife habitat' area identified on the Environmental Significance Overlay Maps (OM-004a-o):</p> <ul style="list-style-type: none"> (a) protects and enhances the habitat of Endangered, Vulnerable and Near Threatened (EVNT) species and local species of significance; (b) incorporates siting and design measures to protect and retain identified ecological values and underlying ecosystem processes within or adjacent to the development site; (c) maintains or enhances wildlife interconnectivity at a local and regional scale; and (d) mitigates the impact of other forms of potential disturbance (such as presence of vehicles, pedestrian use, increased exposure to domestic animals, noise and lighting impacts) to protect critical life stage ecological processes (such as feeding, breeding or roosting). <p><small>Note—Development applications must identify any EVNT species or their habitats that may be affected by the proposal. In particular, applications are to identify and describe how the development avoids adverse impacts on ecological processes within or adjacent to the development area. Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</small></p>	<p>AO5 No acceptable outcome is provided.</p>	<p>n/a The building site is not located within a 'Wildlife habitat' area.</p>
Legally secured offset areas		
<p>PO6 Development within a 'Legally secured offset area' identified on the Environmental Significance Overlay Maps (OM-004a-o) or other known Legally Secured Offset Area is consistent with the binding requirements of the offset and does not prejudice, undermine, or negatively impact the inherent ecological values, including all naturally occurring native flora, fauna and their habitat within the Legally Secured Offset Area.</p> <p><small>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</small></p>	<p>AO6 No acceptable outcome is provided.</p>	<p>n/a The development site does not contain any 'Legally secured offset' mapped areas.</p>

Protected areas		
<p>PO7 Development within a 'Protected area' identified on the Environmental Significance Overlay Maps (OM-004a-o) is consistent with the values of the Protected Area and:</p> <ul style="list-style-type: none"> (a) supports the inherent ecological and community values of the Protected Area asset; (b) maintains or enhances wildlife interconnectivity at a local and regional scale; and (c) does not prejudice, undermine, or negatively impact the inherent ecological values, including all naturally occurring native flora, fauna and their habitat within the Protected Area. <p><small>Note—A supporting Ecological Assessment Report is prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports.</small></p>	<p>AO7 No acceptable outcome is provided.</p>	<p>n/a The development site does not contain any mapped 'Protected areas'.</p>
Ecological corridors and Habitat linkages		
<p>PO8 Development located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Emerging community zone, Recreation and open space zone, Rural zone or Rural residential zone; and (b) within an 'Ecological corridor' or a 'Habitat linkage' identified on the Environmental Significance Overlay Maps (OM-004a-o) 	<p>AO8 No acceptable outcome is provided.</p>	<p>n/a The development site is located within the Rural Zone.</p> <p>The building site is not located within any 'Ecological corridor' or 'Habitat linkage' areas.</p>

<p>does not compromise the provision of habitat connectivity of the corridor/linkage, having regard to:</p> <ul style="list-style-type: none"> (a) the environmental values of the area of the site identified in the 'Ecological corridor' or 'Habitat linkage'; (b) the environmental values of adjoining and nearby land within the 'Ecological corridor' or 'Habitat linkage'; (c) the extent of any modification proposed to the natural environment including (but not limited to) vegetation and topography; (d) the location and design of proposed improvements that may impact on the functions of the 'Ecological corridor' or 'Habitat linkage' including (but not limited to) buildings, structures, fences, lighting, vehicle movement areas and infrastructure services; and (e) the ability for the 'Ecological corridor' or 'Habitat linkage' to be enhanced to improve ecological connectivity. <p>Note—A supporting Ecological Assessment Report prepared in accordance with Planning Scheme Policy 2 – Ecological Assessment Reports may be appropriate to demonstrate compliance with PO8.</p>		
--	--	--

Table 8.2.4.3B - Setback and buffer distances from waterways

Stream order	Setback and buffer from waterways
1	10 metres from top of high bank
2-4	25 metres from top of high bank
5 or more	50 metres from top of high bank

Note—The stream order of a 'waterway' is to be determined on a case by case basis.

9.3.6 Rural Activities Code

The proposed development is assessable against the provisions of the Rural Activities Code of the Mareeba Shire Planning Scheme.

9.3.6.3 Criteria for assessment

Table 9.3.6.3A—Rural activities code — For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
If for Aquaculture		
PO1 Aquaculture is of an appropriate scale and does not adversely impact on surrounding land uses, having regard to: <ul style="list-style-type: none"> (a) the nature of surrounding land use; (b) the proximity of surrounding land use; (c) hours of operation; and (d) emissions of: <ul style="list-style-type: none"> (i) odour; (ii) noise; and (iii) light. 	AO1.1 If located in the Rural zone, Aquaculture: <ul style="list-style-type: none"> (a) is located in an existing dam; or (b) does not involve any filling or excavation greater than 1,000m³. 	n/a The proposed development is not for Aquaculture.
	AO1.2 If located in the Rural residential zone, Aquaculture is located on land greater than 2 hectares and: <ul style="list-style-type: none"> (a) is located in an existing dam; or (b) does not involve any filling or excavation. 	n/a The proposed development is not for Aquaculture.
	AO1.3 If located in a zone other than the Rural zone or the Rural residential zone, Aquaculture: <ul style="list-style-type: none"> (a) is enclosed within a building; or (b) does not involve any filling or excavation. 	n/a The proposed development is not for Aquaculture.
PO2 Aquaculture: <ul style="list-style-type: none"> (a) does not result in contamination or the reduction in quality of ground or surface waters; or (b) adversely impact upon surrounding ecological systems, including existing native vegetation. 	AO2.1 All wastewater from the facility (including wash-down water) is discharged directly into the sewer or in accordance with a trade waste permit.	n/a The proposed development is not for Aquaculture.
	AO2.2 A bund is provided to contain a minimum of 110% of the total capacity of the tanks within the facility.	n/a The proposed development is not for Aquaculture.

	AO2.3 Site design includes physical measures for interrupting and treating surface water drainage prior to release from the site.	n/a The proposed development is not for Aquaculture.
	AO2.4 Bunding is provided to protect areas where waste water storage or treatment occurs.	n/a The proposed development is not for Aquaculture.
	AO2.5 The establishment of the Aquaculture use does not involve clearing of native vegetation.	n/a The proposed development is not for Aquaculture.
PO3 Aquaculture is located on sites which have sufficient area to: (a) accommodate all buildings, structures and infrastructure associated with the use; and (b) provide sufficient separation between the use and adjoining premises and uses.	AO3 Aquaculture is established on a site with a minimum site area of 1 hectare.	n/a The proposed development is not for Aquaculture.
If for Intensive animal industries		
PO4 Buildings, structures, equipment and machinery associated with the use are located so that they do not have a detrimental impact on sensitive land uses, having regard to offsite emissions of: (a) fume (b) particle (c) smoke (d) odour; (e) light; and (f) noise. Note—The use of the S factor methodology and odour dispersion modelling (in accordance with the methodology identified in PAE Holmes report 'Best Practice Guidance for the Queensland Poultry Industry – Plume Dispersion Modelling and Meteorological Processing') may be appropriate in demonstrating the compliance of an alternative to Acceptable Outcome AO4 with Performance Outcome PO4.	AO4 Intensive animal industries are separated by a minimum distance of 2 kilometres from: (a) land included in the Low density residential zone, Medium density residential zone, Emerging community zone or Rural residential zone; (b) any existing dwellings or accommodation units; and (c) any community facility where people gather.	n/a The proposed development is not for Intensive Animal Industries.

If for Animal keeping or Intensive animal industries		
PO5 Animal keeping or Intensive animal industries are located on land which has an area, dimensions and topography which allow the use to function appropriately and be sufficiently separated from adjoining properties and uses.	AO5.1 Development is located on a site which has an area of 60 hectares or greater.	Complies with PO5 The development site has an area less than 60ha. The proposed Animal Keeping activity is sited appropriately on the site and use and is separated from adjoining sites and uses by dense vegetation
	AO5.2 Development is located on land which has a gradient which is not greater than 10%.	Complies The building site has a gradient of less than 10%.
If for Forestry for wood production or Permanent plantation		
PO6 The impacts of the use on soil structure, fertility and stability are minimised through appropriate design of the site and operation of the use.	AO6 The establishment and maintenance (including associated tracks and roads) of the use utilises the following methods: (a) mechanical strip cultivation on the contour, spot cultivation or manual cultivation for slopes greater than 10 per cent and less than 25 per cent; (b) spot cultivation or manual cultivation for slopes equal to or greater than 25 per cent; and (c) tracks and roads are located to avoid natural drainage features and areas that are subject to erosion and landslips to the greatest possible extent. Where it is necessary for tracks to cross these areas the crossing is designed and constructed to maximise surface stability.	n/a The proposed development is not for Forestry for wood production or a Permanent plantation.
PO7 The Forestry for wood production or Permanent plantation use is designed to: (a) reduce the potential bushfire hazard of the use; and (b) prevent the spread of bushfire between the use and adjoining premises.	AO7.1 Firebreaks with a minimum width of 10 metres are established and maintained between the use and adjoining uses.	n/a The proposed development is not for Forestry for wood production or a Permanent plantation.
	AO7.2 The outer rows of forestry for wood production trees within 10 metres of the cleared firebreak are pruned up to a minimum height of 2 metres, commencing once trees are greater than 4 metres in height.	n/a The proposed development is not for Forestry for wood production or a Permanent plantation.

	AO7.3 Planting in hollows, gullies or drainage features preserves cold air drainage flow paths to prevent creation of frost hollows. Note—Frost hollows and the associated grass kill facilitates a rapid curing of fuel and exacerbates bushfire hazard.	n/a The proposed development is not for Forestry for wood production or a Permanent plantation.
If for Roadside stall		
PO8 The Roadside stall is consistent with the scale, intensity and character of land use within the immediate surrounds, having regard to matters of: (a) size of buildings; (b) building materials and design; (c) relationship with other on-site uses; and (d) balance between built and natural elements	AO8.1 The Roadside stall is for the sale of produce grown on the same rural site or on rural properties in the immediate locality.	n/a The proposed development is not for a Roadside Stall.
	AO8.2 Buildings and structures comprising the roadside stall do not exceed 20m ² gross floor area.	n/a The proposed development is not for a Roadside Stall.
	AO8.3 Buildings and structures are constructed of materials such as timber, tin and shade cloth.	n/a The proposed development is not for a Roadside Stall.
	AO8.4 Buildings and structures are temporary in nature unless the Roadside stall forms part of an existing farm building.	n/a The proposed development is not for a Roadside Stall.
	AO8.5 The Roadside stall is a maximum of 5 metres in height.	n/a The proposed development is not for a Roadside Stall.
If for Rural industry		
PO9 Rural industry is located on sites which have sufficient area to: (a) accommodate all buildings, structures and infrastructure associated with the use; and (b) provide sufficient separation between the use and adjoining premises and uses.	AO9 Development is located on a lot with a minimum area of 10 hectares.	n/a The proposed development is not for Rural Industry.

For assessable development		
All Rural activities, other than Aquaculture, Forestry for wood production, Permanent plantation, Roadside stall or Rural industry		
PO10 A site specific Environmental Management Plan is provided addressing (as appropriate): <ul style="list-style-type: none"> (a) farming / nursery operations; (b) erosion and sediment control; (c) surface water and storm water management; (d) groundwater protection; (e) nutrient management for substrate utilisation or spray irrigation program; (f) use and storage of chemicals and pesticides; (g) integrated pest management; (h) operations and maintenance requirements; (i) composting; (j) air quality management; (k) odour reduction and management; (l) emergency preparedness plan; (m) wastewater management; (n) spent substrate management; (o) waste management and disposal; (p) separation distances between farm uses and surrounding properties; and (q) other matters appropriate to the use, as determined by Government regulations, guidelines, licence requirements and industry best practice. 	AO10 No acceptable outcome is provided.	Will Comply The proposed Animal Keeping Activity is scaled proportionate to the land size and is not a significantly large operation. The operator of the proposed use will provide any appropriate EMP as required by the Conditions of Approval.
If for Forestry for wood production		
PO11 Forestry for wood production is located to minimise impacts on nearby land uses and infrastructure, including: <ul style="list-style-type: none"> (a) damage as a result of fallen trees; (b) reduced access due to fallen trees; (c) spreading of plant matter and seedlings; and (d) shadowing. 	AO11.1 Forestry for wood production is separated a distance of 1.5 times the maximum anticipated height of the tree at harvest from: <ul style="list-style-type: none"> (a) dwellings and accommodation units; (b) machinery sheds; and (c) above-ground pipelines not subject to an easement (excluding infrastructure servicing only the farm). 	n/a The proposed development is not for Forestry for wood production.

	<p>AO11.2 Within a setback or separation area:</p> <ul style="list-style-type: none"> (a) cultivation and planning for wood production does not occur; (b) self-propagated seedlings (wildlings) generated from forestry for wood production are eradicated; and (c) road and track establishment may occur. <p>Note—AO2.2 is not limited to a separation distance provided in accordance with AO2.1 and applies to all setbacks and separation distances applicable to Forestry for wood production, including those provided by a zone code or overlay code.</p>	<p>n/a The proposed development is not for Forestry for wood production.</p>
If for Animal keeping or Intensive animal industries		
<p>PO12 The operation of the development must implement and maintain biosecurity measures that:</p> <ul style="list-style-type: none"> (a) prevent the introduction of infectious disease agents to the development; (b) prevent the spread of disease agents from an infected area to an uninfected area; and (c) minimise the incidence and spread of microorganisms of public health significance. 	<p>AO12 No acceptable outcome is provided.</p>	<p>Will Comply The proposed Animal Keeping Activity will be managed with all required biosecurity measures as to protect the environment and animal population from biosecurity risks.</p>
<p>PO13 Poultry farms, intensive animal feedlots and pig keeping uses are sited and operated in accordance with best practice industry standards, having regard to:</p> <ul style="list-style-type: none"> (a) the nature of surrounding land use; (b) separation from other land uses; (c) the size and nature of the use; and (d) potential for odour dispersion. <p>Note—The use of the S factor methodology and odour dispersion modelling (in accordance with the methodology identified in PAE Holmes report 'Best Practice Guidance for the Queensland Poultry Industry – Plume Dispersion Modelling and Meteorological Processing') may be appropriate in demonstrating compliance with Performance Outcome PO13.</p>	<p>AO13 No acceptable outcome is provided.</p>	<p>n/a The proposed development is not for a poultry farm, intensive animal feedlot or pig keeping.</p>

PO14 All buildings used as part of a poultry farm complex must be appropriately separated from adjoining land, existing infrastructure and areas of environmental interest. Note—Where a poultry farm involves 1,000 birds or less, no Acceptable Outcome is provided.	AO14.1 All buildings used as part of a poultry farm complex which involves more than 1,000 birds are setback from property boundaries in accordance with Table 9.3.6.3B.	n/a The proposed development is not for a poultry farm.
	AO14.2 All buildings used as part of a poultry farm complex which involves more than 1,000 birds are separated by a distance which is no less than that specified in Table 9.3.6.3B from the following: (a) surface water, wells and bores; (b) declared fish habitat areas; and (c) high ecological value waters.	n/a The proposed development is not for a poultry farm.
PO15 Development avoids and, where unavoidable, mitigates impacts on ground water, particularly where ground water is heavily drawn upon for irrigation or domestic purposes.	AO15 No acceptable outcome is provided.	Will Comply All ground water sources will be appropriately protected from any potential adverse impacts of the use.
If for Aquaculture		
PO16 Water used as part of an Aquaculture operation is appropriately managed to ensure that it does not impact on environmental values.	AO16 Water used as part of an Aquaculture operation does not reach a waterway, wetland or other waterbody via overland or stormwater flows.	n/a The proposed development is not for aquaculture.
PO17 Development is located and designed to avoid or minimise impacts on areas host to fisheries resources.	AO17.1 All elements of the Aquaculture operation are separated from fish habitats by a minimum distance of: (a) 50 metres from bankfull width outside an urban area; or (b) 25 metres from bankfull width within an urban area.	n/a The proposed development is not for aquaculture.
	AO17.2 There is an overriding functional requirement for the development component or infrastructure to be located on areas host to fisheries resources.	n/a The proposed development is not for aquaculture.
PO18 A pond, tank or any other similar containment structure used for Aquaculture is appropriately designed to prevent leakage.	AO18 No acceptable outcome is provided.	n/a The proposed development is not for aquaculture.

9.4.2 Landscaping Code

The proposed development is assessable against the provisions of the Landscaping Code of the Mareeba Shire Planning Scheme.

9.4.2.3 Criteria for assessment

Table 9.4.2.3A—Landscaping code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
PO1 Development, other than in the Rural zone, includes landscaping that: <ul style="list-style-type: none"> (a) contributes to the landscape character of the Shire; (b) compliments the character of the immediate surrounds; (c) provides an appropriate balance between built and natural elements; and (d) provides a source of visual interest. 	AO1 Development, other than in the Rural zone, provides: <ul style="list-style-type: none"> (a) a minimum of 10% of the site as landscaping; (b) planting in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species; (c) for the integration of retained significant vegetation into landscaping areas; (d) on-street landscaping works in accordance with the Design Guidelines set out in Section D9 Landscaping, of the Planning Scheme Policy 4 - FNQROC Regional Development Manual. <p>Note—Where development exceeds a site cover of 90%, areas of landscaping may be provided above ground level to achieve a total supply of landscaping equivalent to 10% of the site area.</p>	n/a The development site is located in the Rural Zone.

<p>PO2 Development, other than in the Rural zone, includes landscaping along site frontages that:</p> <ul style="list-style-type: none"> (a) creates an attractive streetscape; (b) compliments the character of the immediate surrounds; (c) assists to break up and soften elements of built form; (d) screen areas of limited visual interest or servicing; (e) provide shade for pedestrians; and (f) includes a range and variety of planting. 	<p>AO2 Development, other than in the Rural zone, includes a landscape strip along any site frontage:</p> <ul style="list-style-type: none"> (a) with a minimum width of 2 metres where adjoining a car parking area; (b) with a minimum width of 1.5 metres in all other locations; and (c) in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species. <p>Note—Where development is setback from a frontage less than 1.5 metres, the setback area is provided as a landscape strip.</p>	<p>n/a The development site is located in the Rural Zone.</p>
<p>PO3 Development includes landscaping and fencing along side and rear boundaries that:</p> <ul style="list-style-type: none"> (a) screens and buffer land uses; (b) assists to break up and soften elements of built form; (c) screens areas of limited visual interest; (d) preserves the amenity of sensitive land uses; and (e) includes a range and variety of planting. 	<p>AO3.1 Development provides landscape treatments along side and rear boundaries in accordance with Table 9.4.2.3B.</p>	<p>n/a The development site is located in the Rural Zone. No additional landscaping is proposed.</p>
	<p>AO3.2 Shrubs and trees provided in landscape strips along side and rear boundaries:</p> <ul style="list-style-type: none"> (a) are planted at a maximum spacing of 1 metre; (b) will grow to a height of at least 2 metres; (c) will grow to form a screen of no less than 2 metres in height; and (d) are mulched to a minimum depth of 0.1 metres with organic mulch. 	<p>n/a The development site is located in the Rural Zone. No additional landscaping is proposed.</p>
	<p>AO3.3 Any landscape strip provided along a side or rear boundary is designed in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species.</p>	<p>n/a The development site is located in the Rural Zone. No additional landscaping is proposed.</p>

PO4 Car parking areas are improved with a variety of landscaping that: <ul style="list-style-type: none"> (a) provides visual interest; (b) provides a source of shade for pedestrians; (c) assists to break up and soften elements; and (d) improves legibility. 	AO4.1 Landscaping is provided in car parking areas which provides: <ul style="list-style-type: none"> (a) a minimum of 1 shade tree for every 4 parking spaces, or part thereof, where the car parking area includes 12 or more spaces; (b) a minimum of 1 shade tree for every 6 parking spaces, or part thereof, otherwise; and (c) where involving a car parking area in excess of 500m²: <ul style="list-style-type: none"> (i) shade structures are provided for 50% of parking spaces; and (ii) a minimum of 10% of the parking area as landscaping. <p>Note—Where a shade structure is provided over part of a car parking area, shade tree planting is not required in this area of the car parking area.</p>	n/a The development site is located in the Rural Zone. No car parking areas or additional landscaping is proposed.
	AO4.2 Landscaping in car parking areas is designed in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species.	n/a The development site is located in the Rural Zone. No car parking areas or additional landscaping is proposed.
PO5 Landscaping areas include a range and variety of planting that: <ul style="list-style-type: none"> (a) is suitable for the intended purpose and local conditions; (b) contributes to the natural character of the Shire; (c) includes native species; (d) includes locally endemic species, where practical; and (e) does not include invasive plants or weeds. 	AO5.1 Plant species are selected from the Plant Schedule in Planning Scheme Policy 6 - Landscaping and preferred plant species.	n/a The development site is located in the Rural Zone. No additional landscaping is proposed.
	AO5.2 A minimum of 25% of (new and existing) plants is provided as larger, advanced stock with a minimum plant height of 0.7 metres and mulched to a minimum depth of 0.1 metres with organic mulch.	n/a The development site is located in the Rural Zone. No additional landscaping is proposed.
PO6 Landscaping does not impact on the ongoing provision of infrastructure and services to the Shire.	AO6.1 Tree planting is a minimum of <ul style="list-style-type: none"> (a) 2 metres from any underground water, sewer, gas, electricity or telecommunications infrastructure; and (b) 4 metres from any inspection chamber. 	n/a The development site is located in the Rural Zone. No additional landscaping is proposed.

	AO6.2 Vegetation below or within 4 metres of overhead electricity lines and power poles has a maximum height of 3.5 metres at maturity.	n/a The development site is located in the Rural Zone. No additional landscaping is proposed.
	AO6.3 Vegetation adjoining an electricity substation boundary, at maturity, will have: (a) a height of less than 4 metres; and (b) no foliage within 3 metres of the substation boundary, unless the substation has a solid wall along any boundary.	n/a The development site is located in the Rural Zone. No additional landscaping is proposed.
For assessable development		
PO7 Landscaping areas are designed to: (a) be easily maintained throughout the ongoing use of the site; (b) allow sufficient area and access to sunlight and water for plant growth; (c) not cause a nuisance to occupants of the site or members of the public; and (d) maintain or enhance the safety of pedestrians through the use of Crime Prevention Through Environmental Design principles.	AO7 No acceptable outcome is provided.	n/a The development site is located in the Rural Zone. No additional landscaping is proposed.

9.4.3 Parking and Access Code

The proposed development is assessable against the provisions of the Parking and Access Code of the Mareeba Shire Planning Scheme.

9.4.3.3 Criteria for assessment

Table 9.4.3.3A—Parking and access code – For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Car parking spaces		
PO1 Development provides sufficient car parking to accommodate the demand likely to be generated by the use, having regard to the: <ul style="list-style-type: none"> (a) nature of the use; (b) location of the site; (c) proximity of the use to public transport services; (d) availability of active transport infrastructure; and (e) accessibility of the use to all members of the community. 	AO1 The number of car parking spaces provided for the use is in accordance with Table 9.4.3.3B . Note—Car parking spaces provided for persons with a disability are to be considered in determining compliance with AO1.	n/a The proposed use does not require the provision of car parking facilities.

Vehicle crossovers		
PO2 Vehicle crossovers are provided to: (a) ensure safe and efficient access between the road and premises; (b) minimize interference with the function and operation of roads; and (c) minimise pedestrian to vehicle conflict.	AO2.1 Vehicular access to/from Council roads is designed and constructed in accordance with the Standard drawings in Planning Scheme Policy 4 - FNQROC Regional Development Manual.	n/a The proposed use does not require the provision of any new crossovers.
	AO2.2 Development on a site with two or more road frontages provides vehicular access from: (a) the primary frontage where involving Community activities or Sport and recreation activities, unless the primary road frontage is a State-controlled road; or (b) from the lowest order road in all other instances.	n/a The development site has only 1 access point.
	AO2.3 Vehicular access for particular uses is provided in accordance with Table 9.4.3.3E .	n/a Access requirements of Table 9.4.3.3E are not applicable to this development.
PO3 Access, manoeuvring and car parking areas include appropriate pavement treatments having regard to: (a) the intensity of anticipated vehicle movements; (b) the nature of the use that they service; and (c) the character of the surrounding locality.	AO3 Access, manoeuvring and car parking areas include pavements that are constructed in accordance with Table 9.4.3.3C .	n/a The proposed use does not require the provision of any new access, manoeuvring or car parking areas.

For assessable development		
Parking area location and design		
PO4 Car parking areas are located and designed to: (a) ensure safety and efficiency in operation; and (b) be consistent with the character of the surrounding locality.	AO4.1 Car parking spaces, access and circulation areas have dimensions in accordance with AS/NZS 2890.1 Off-street car parking.	n/a The proposed use does not require the provision of car parking facilities.
	AO4.2 Disabled access and car parking spaces are located and designed in accordance with AS/NZS 2890.6 Parking facilities - Off-street parking for people with disabilities.	n/a The proposed use does not require the provision of car parking facilities.
	AO4.3 The car parking area includes designated pedestrian routes that provide connections to building entrances.	n/a The proposed use does not require the provision of car parking facilities.
	AO4.4 Parking and any set down areas are: (a) wholly contained within the site; (b) visible from the street where involving Commercial activities, Community activities, Industrial activities or a use in the Recreation and open space zone; (c) are set back behind the main building line where involving a Dual occupancy, Multiple dwelling, Residential care facility or Retirement facility; and (d) provided at the side or rear of a building in all other instances.	n/a The proposed use does not require the provision of car parking facilities.

Site access and manoeuvring		
PO5 Access to, and manoeuvring within, the site is designed and located to: <ul style="list-style-type: none"> (a) ensure the safety and efficiency of the external road network; (b) ensure the safety of pedestrians; (c) provide a functional and convenient layout; and (d) accommodate all vehicles intended to use the site. 	AO5.1 Access and manoeuvrability is in accordance with : <ul style="list-style-type: none"> (a) AS28901 – Car Parking Facilities (Off Street Parking); and (b) AS2890.2 – Parking Facilities (Off-street Parking) Commercial Vehicle Facilities. <p>Note—Proposal plans should include turning circles designed in accordance with AP34/95 (Austroads 1995) Design Vehicles and Turning Path Templates.</p>	n/a The proposed use does not require the provision of any new access or manoeuvring areas.
	AO5.2 Vehicular access has a minimum sight distance in accordance with Part 5 of AUSTROADS.	n/a The proposed use does not require the provision of any new access points.
	AO5.3 Vehicular access is located and designed so that all vehicles enter and exit the site in a forward gear.	n/a The proposed use does not require the provision of any new access points.
	AO5.4 Pedestrian and cyclist access to the site: <ul style="list-style-type: none"> (a) is clearly defined; (b) easily identifiable; and (c) provides a connection between the site frontage and the entrance to buildings and end of trip facilities (where provided). 	n/a The proposed use does not require the provision of any pedestrian and cyclist access to the site.
PO6 Development that involves an internal road network ensures that it's design: <ul style="list-style-type: none"> (a) ensure safety and efficiency in operation; (b) does not impact on the amenity of 	AO6.1 Internal roads for a Tourist park have a minimum width of: <ul style="list-style-type: none"> (a) 4 metres if one way; or (b) 6 metres if two way. 	n/a The proposed use does not require the provision of internal roads.

<p>residential uses on the site and on adjoining sites, having regard to matters of:</p> <ul style="list-style-type: none"> (i) hours of operation; (ii) noise (iii) light; and (iv) odour; <p>(c) accommodates the nature and volume of vehicle movements anticipated to be generated by the use;</p> <p>(d) allows for convenient access to key on-site features by pedestrians, cyclists and motor vehicles; and</p> <p>(e) in the Rural zone, avoids environmental degradation.</p>	<p>AO6.2</p> <p>For a Tourist park, internal road design avoids the use of cul-de-sacs in favour of circulating roads, where unavoidable, cul-de-sacs provide a full turning circle for vehicles towing caravans having:</p> <ul style="list-style-type: none"> (a) a minimum approach and departure curve radius of 12 metres; and (b) a minimum turning circle radius of 8 metres. 	<p>n/a</p> <p>The proposed development does not involve a Tourist Park.</p>
	<p>AO6.3</p> <p>Internal roads are imperviously sealed and drained, apart from those for an Energy and infrastructure activity or Rural activity.</p>	<p>n/a</p> <p>The proposed use does not require the provision of internal roads.</p>
	<p>AO6.4</p> <p>Speed control devices are installed along all internal roads, apart from those for an Energy and infrastructure activity or Rural activity, in accordance with Complete Streets.</p>	<p>n/a</p> <p>The proposed use does not require the provision of internal roads.</p>
	<p>AO6.5</p> <p>Internal roads, apart from those for an Energy and infrastructure activity or Rural activity, are illuminated in accordance with AS 4282 (as amended) - Control of Obtrusive effects of outdoor lighting.</p>	<p>n/a</p> <p>The proposed use does not require the provision of internal roads.</p>
	<p>AO6.6</p> <p>Where involving an accommodation activity, internal roads facilitate unobstructed access to every dwelling, accommodation unit, accommodation site and building by emergency services vehicles.</p>	<p>n/a</p> <p>The proposed use does not require the provision of internal roads.</p>
	<p>AO6.7</p> <p>For an Energy and infrastructure activity or Rural activity, internal road gradients:</p> <ul style="list-style-type: none"> (a) are no steeper than 1:5; or (b) are steeper than 1:5 and are sealed. 	<p>n/a</p> <p>The proposed use does not require the provision of internal roads.</p>

Servicing		
PO7 Development provides access, maneuvering and servicing areas on site that: <ul style="list-style-type: none"> (a) accommodate a service vehicle commensurate with the likely demand generated by the use; (b) do not impact on the safety or efficiency of internal car parking or maneuvering areas; (c) do not adversely impact on the safety or efficiency of the road network; (d) provide for all servicing functions associated with the use; and (e) are located and designed to minimise their impacts on adjoining sensitive land uses and streetscape quality. 	AO7.1 All unloading, loading, service and waste disposal areas are located: <ul style="list-style-type: none"> (a) on the site; (b) to the side or rear of the building, behind the main building line; (c) not adjacent to a site boundary where the adjoining property is used for a sensitive use. 	n/a The proposed lots will be serviced by Council's kerbside waste collection service.
	AO7.2 Unloading, loading, service and waste disposal areas allow service vehicles to enter and exit the site in a forward gear.	n/a The proposed lots will be serviced by Council's kerbside waste collection service.
	AO7.3 Development provides a servicing area, site access and maneuvering areas to accommodate the applicable minimum servicing vehicle specified in Table 9.4.3.3B .	n/a The proposed lots will be serviced by Council's kerbside waste collection service.
Maintenance		
PO8 Parking areas are used and maintained for their intended purpose.	AO8.1 Parking areas are kept and used exclusively for parking and are maintained in a suitable condition for parking and circulation of vehicles.	n/a The proposed use does not require the provision of car parking facilities.
	AO8.2 All parking areas will be compacted, sealed, drained, line marked and maintained until such time as the development ceases.	n/a The proposed use does not require the provision of car parking facilities.

End of trip facilities		
PO9 Development within the Centre zone; Industry zone or Emerging community zone provides facilities for active transport users that: <ul style="list-style-type: none"> (a) meet the anticipated demand generated from the use; (b) comprise secure and convenient bicycle parking and storage; and (c) provide end of trip facilities for all active transport users. 	AO9.1 The number of bicycle parking spaces provided for the use is in accordance with Table 9.4.3.3D .	n/a The site is not located in the Centre, Industry or Emerging Community Zones.
	AO9.2 End of trip facilities are provided in accordance with Table 9.4.3.3D .	n/a The site is not located in the Centre, Industry or Emerging Community Zones.
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park		
PO10 The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.	AO10 A traffic impact report is prepared by a suitably qualified person that identifies: <ul style="list-style-type: none"> (a) the expected traffic movements to be generated by the facility; (b) any associated impacts on the road network; and (c) any works that will be required to address the identified impacts. 	n/a The proposal is not for an Educational establishment or Child care centre.
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park		
PO11 The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.	AO11 A traffic impact report is prepared by a suitably qualified person that identifies: <ul style="list-style-type: none"> (a) the expected traffic movements to be generated by the facility; (b) any associated impacts on the road network; and (c) any works that will be required to address the identified impacts. 	n/a The proposal is not for an Educational establishment or Child care centre.

9.4.5 Works, Services and Infrastructure Code

The proposed development is assessable against the provisions of the Works, Services and Infrastructure Code of the Mareeba Shire Planning Scheme.

9.4.5 Criteria for Assessment

Table 9.4.5.3 - Works, services and infrastructure code – For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Water supply		
PO1 Each lot has an adequate volume and supply of water that: (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment.	AO1.1 Development is connected to a reticulated water supply system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located: (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated water supply service area.	n/a The development site is not connected to the reticulated water supply network.

	<p>AO1.2 Development, where located outside a reticulated water supply service area and in the Conservation zone, Rural zone or Rural residential zone is provided with:</p> <ul style="list-style-type: none"> (a) a bore or bores are provided in accordance with the Design Guidelines set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; or (b) on-site water storage tank/s: <ul style="list-style-type: none"> i. with a minimum capacity of 90,000L; ii. fitted with a 50mm ball valve with a camlock fitting; and iii. which are installed and connected prior to the occupation or use of the development. 	<p>Complies The development site is serviced by an on-site water bore and rainwater storage tanks.</p>
Wastewater disposal		
<p>PO2 Each lot provides for the treatment and disposal of effluent and other waste water that:</p> <ul style="list-style-type: none"> (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment. 	<p>AO2.1 Development is connected to a reticulated sewerage system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated sewerage service area. 	<p>n/a The development site is not serviced by the reticulated sewerage network.</p>
	<p>AO2.2 An effluent disposal system is provided in accordance with ASNZ 1547 On-Site Domestic Wastewater Management (as amended) where development is located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated sewerage service area. 	<p>Complies The proposed use will be serviced by an on-site effluent dispersal system provided in accordance with all applicable standards.</p>

Stormwater infrastructure		
PO3 Stormwater infrastructure is designed and constructed to collect and convey the design storm event to a lawful point of discharge in a manner that mitigates impacts on life and property.	AO3.1 Where located within a Priority infrastructure area or where stormwater infrastructure is available, development is connected to Council's stormwater network in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	n/a The development site is not located in a priority infrastructure area or serviced by the stormwater infrastructure network.
	AO3.2 On-site drainage systems are constructed: (a) to convey stormwater from the premises to a lawful point of discharge; and (b) in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Complies The proposed use will store rainwater in a 10,000L water tank and otherwise discharge stormwater to a legal point of discharge.
Electricity supply		
PO4 Each lot is provided with an adequate supply of electricity.	AO4 The premises: (a) is connected to the electricity supply network; or (b) has arranged a connection to the transmission grid; or (c) where not connected to the network, an independent energy system with sufficient capacity to service the development (at near average energy demands associated with the use) may be provided as an alternative to reticulated electricity where: (d) it is approved by the relevant regulatory authority; and (e) it can be demonstrated that no air or noise emissions; and (f) it can be demonstrated that no adverse impact on visual amenity will occur.	Complies The proposed building will be connected to the reticulated electricity supply via the existing electricity service pole located on the property.

Telecommunications infrastructure		
PO5 Each lot is provided with an adequate supply of telecommunication infrastructure	AO5 Development is provided with a connection to the national broadband network or telecommunication services.	Complies The proposed building will utilise the existing on-site telecommunications provisions.
Existing public utility services		
PO6 Development and associated works do not affect the efficient functioning of public utility mains, services or installations.	AO6 Public utility mains, services are relocated, altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Complies No disruptions to any public utility services are expected as a result of this development. Should and disruption occur, the infrastructure will be relocated, altered or repaired in accordance with the requirements of the Planning Scheme Policy 4 – FNQROC Regional Development Manual.
Excavation or filling		
PO7 Excavation or filling must not have an adverse impact on the: <ul style="list-style-type: none"> (a) streetscape; (b) scenic amenity; (c) environmental values; (d) slope stability; (e) accessibility; or (f) privacy of adjoining premises. 	AO7.1 Excavation or filling does not occur within 1.5 metres of any site boundary.	Complies No excavation or filling will occur within 1.5 metres of any site boundary.
	AO7.2 Excavation or filling at any point on a lot is to be no greater than 1.5 metres above or below natural ground level.	Complies No excavation or filling will be greater than 1.5 metres above or below natural ground level.
	AO7.3 Earthworks batters: <ul style="list-style-type: none"> (a) are no greater than 1.5 metres in height; (b) are stepped with a minimum width 2 metre berm; (c) do not exceed a maximum of two batters and two berms (not greater than 3.6 metres in total height) on any one lot; (d) have a slope no greater than 1 in 4; and (e) are retained. 	Complies Any earthworks batters will be constructed in accordance with the Design Guidelines and Specifications.

	<p>A07.4 Soil used for filling or spoil from excavation is not stockpiled in locations that can be viewed from: (a) adjoining premises; or (b) a road frontage, for a period exceeding 1 month from the commencement of the filling or excavation.</p>	<p>Complies Soil used for filling or spoil from excavation will not be stockpiled in locations that can be viewed from adjoining premises or a road frontage for a period exceeding 1 month from the commencement of the filling or excavation.</p>
	<p>A07.5 All batters and berms to be constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.</p>	<p>Complies Any earthworks batters or berms will be constructed in accordance with the Design Guidelines and Specifications.</p>
	<p>A07.6 Retaining walls have a maximum height of 1.5 metres and are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.</p>	<p>Complies No retaining walls proposed as part of this subdivision development.</p>
	<p>A07.7 Excavation or filling at any point on a lot is to include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.</p>	<p>Complies Any excavation or filling at any point on a lot will include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the Design Guidelines and Specifications.</p>

For assessable development		
Transport network		
PO8 The development has access to a transport network of adequate standard to provide for the safe and efficient movement of vehicles, pedestrians and cyclists.	AO8.1 Vehicle access, crossovers, road geometry, pavement, utilities and landscaping to the frontage/s of the site are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Complies The site has adequate access to the transport network via Speewah Road. No alterations are proposed which might have a detrimental effect upon the movement of vehicles, pedestrians or cyclists.
	AO8.2 Development provides footpath pavement treatments in accordance with Planning Scheme Policy 9 – Footpath Paving.	Complies There are no footpaths along the site frontages to connect a footpath to. No new footpaths are proposed as part of this development.
Public infrastructure		
PO9 The design, construction and provision of any infrastructure that is to be dedicated to Council is cost effective over its life cycle and incorporates provisions to minimise adverse impacts.	AO9 Development is in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Complies No infrastructure for Council dedication is required or proposed as part of this development.

Stormwater quality		
<p>PO10 Development has a non-worsening effect on the site and surrounding land and is designed to:</p> <ul style="list-style-type: none"> (a) optimise the interception, retention and removal of waterborne pollutants, prior to the discharge to receiving waters; (b) protect the environmental values of waterbodies affected by the development, including upstream, on-site and downstream waterbodies; (c) achieve specified water quality objectives; (d) minimise flooding; (e) maximise the use of natural channel design principles; (f) maximise community benefit; and (g) minimise risk to public safety. 	<p>AO10.1 The following reporting is prepared for all Material change of use or Reconfiguring a lot proposals:</p> <ul style="list-style-type: none"> (a) a Stormwater Management Plan and Report that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; and (b) an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia), including: <ul style="list-style-type: none"> (i) drainage control; (ii) erosion control; (iii) sediment control; and (iv) water quality outcomes. 	<p>Complies Stormwater quality and control for the proposed development will be addressed as required by a Stormwater Management Plan and Report and an Erosion and Sediment Control Plan if required by Council's conditions of approval.</p>

	<p>AO10.2 For development on land greater than 2,500m² or that result in more than 5 lots or more than 5 dwellings or accommodation units, a Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) is prepared that demonstrates that the development:</p> <ul style="list-style-type: none"> (a) meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline; (b) is consistent with any local area stormwater water management planning; (c) accounts for development type, construction phase, local climatic conditions and design objectives; and (d) provides for stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosivity. 	<p>n/a The proposed development is not an ROL and does not involve accommodation activities.</p>
<p>PO11 Storage areas for stormwater detention and retention:</p> <ul style="list-style-type: none"> (a) protect or enhance the environmental values of receiving waters; (b) achieve specified water quality objectives; (c) where possible, provide for recreational use; (d) maximise community benefit; and (e) minimise risk to public safety. 	<p>AO11 No acceptable outcome is provided.</p>	<p>n/a No stormwater detention / retention areas are proposed as part of this development.</p>
Excavation or filling		
<p>PO12 Traffic generated by filling or excavation does not impact on the amenity of the surrounding area.</p>	<p>AO12.1 Haul routes used for transportation of fill to or from the site only use major roads and avoid residential areas.</p>	<p>Complies Haul routes used for transportation of fill to or from the site will only use major roads and avoid residential areas where possible.</p>

	AO12.2 Transportation of fill to or from the site does not occur: (a) within peak traffic times; and (b) before 7am or after 6pm Monday to Friday; (c) before 7am or after 1pm Saturdays; and (d) on Sundays or Public Holidays.	Complies All mitigation requirements for transportation of fill to or from the site will be adhered to as required.
PO13 Air pollutants, dust and sediment particles from excavation or filling do not cause significant environmental harm or nuisance impacts.	AO13.1 Dust emissions do not extend beyond the boundary of the site.	Complies All mitigation requirements will be employed to avoid dust emissions extending beyond the site boundary.
	AO13.2 No other air pollutants, including odours, are detectable at the boundary of the site.	Complies All mitigation requirements will be employed to avoid air pollutants, including odours, being detectable beyond the site boundary.
	AO13.3 A management plan for control of dust and air pollutants is prepared and implemented.	Complies A management plan for control of dust and air pollutants is prepared and implemented as required.
PO14 Access to the premises (including driveways and paths) does not have an adverse impact on: (a) safety; (b) drainage; (c) visual amenity; and (d) privacy of adjoining premises.	AO14 Access to the premises (including all works associated with the access): (a) must follow as close as possible to the existing contours; (b) be contained within the premises and not the road reserve, and (c) are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	n/a No new access points are proposed.
Weed and pest management		
PO15 Development prevents the spread of weeds, seeds or other pests into clean areas or away from infested areas.	AO15 No acceptable outcome is provided.	Complies Appropriate levels of mitigation will be adhered to against the spread of weeds, seeds or pests.

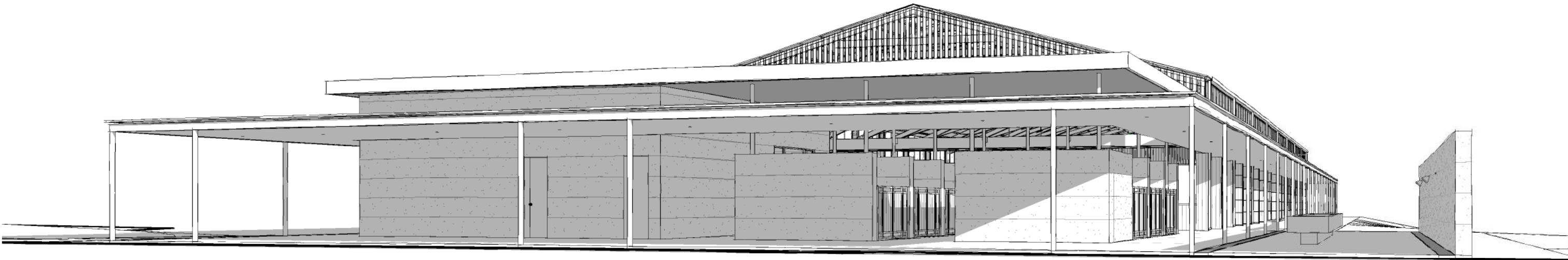
Contaminated land		
PO16 Development is located and designed to ensure that users and nearby sensitive land uses are not exposed to unacceptable levels of contaminants	AO16 Development is located where: (a) soils are not contaminated by pollutants which represent a health or safety risk to users; or (b) contaminated soils are remediated prior to plan sealing, operational works permit, or issuing of building works permit.	Complies The site does not contain any contaminated soil. The proposed development will not expose any sensitive land uses to unacceptable levels of contaminants.
Fire services in developments accessed by common private title		
PO17 Fire hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.	AO17.1 Fire hydrants are located in access ways or private roads held in common private title at a maximum spacing of: (a) 120 metres for residential development; and (b) 90 metres for any other development.	Complies No access ways or private roads will be held in common private title.
	AO17.2 Fire hydrants are located at all intersections of accessways or private roads held in common private title.	Complies No access ways or private roads will be held in common private title.


CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED

397 SPEEWAH RD, SPEEWAH QLD 4881, AUSTRALIA

DRAWING LIST

Sheet Number	Sheet Name
A 000	COVER PAGE
A 001	NOTES + LEGENDS
A 102	SITE PLAN
A 202	FLOOR PLAN
A 204	ROOF PLAN
A 302	ELEVATIONS
A 303	ELEVATIONS
A 401	SECTIONS
A 900	EXTERNAL PERSPECTIVE



PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Speewah RD, Speewah QLD 4881	 STUDIO 1111 CONCEPT PLANS	COVER PAGE	@A3	MD	APR 10	A	A 000

GENERAL NOTES

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL RELEVANT AND CURRENT AUSTRALIAN STANDARD CODE OF PRACTICE, NATIONAL CONSTRUCTION CODE (NCC) AND ALL RELEVANT AUTHORITIES - USE LATEST CODES AND AMENDMENTS

DO NOT SCALE FROM DRAWINGS

ALL NOTES MANDATORY

ALL WORKS TO COMPLY WITH LOCAL COUNCILS PLANNING AND BUILDING LICENCE APPROVAL AND CONDITIONS. THESE PLANS TO BE READ IN CONJUNCTION WITH THE STAMPED PLANNING AND BUILDING LICENCE PLANS AND COUNCIL CONDITIONS.

THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION, MATERIALS SCHEDULE, THERMAL CERTIFICATION, STRUCTURAL PLANS AND OTHER CONSULTANT DRAWINGS

THE CONTRACTOR/BUILDER IS RESPONSIBLE FOR SETTING OUT + CHECKING ALL LEVELS + MEASUREMENTS ON SITE BUILDER TO CONFIRM ALL WRITTEN DIMENSIONS ON SITE PRIOR TO FABRICATION OR START OF ANY WORKS ON SITE. ANY DISCREPANCIES TO BE REFERRED BACK TO THE DESIGNER.

STRUCTURAL ELEMENTS REFERRED TO IN THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DRAWINGS WITH STRUCTURAL ENGINEERS DRAWINGS TAKING PRECEDENCE. ANY CONFLICT IN DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE BUILDING DESIGNER.

ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE RAW DIMENSIONS ONLY WHICH DO NOT INCLUDE PLASTER OR METAL BEADING TO BRICKWORK

ALL SHOP DRAWINGS TO BE SUBMITTED TO DESIGNER FOR APPROVAL PRIOR TO MANUFACTURE

BUILDER TO MAKE ALLOWANCE FOR EXISTING AND PROPOSED BOUNDARY FENCES IN CONSULTATION WITH OWNER AND NEIGHBOUR PRIOR TO ANY WORKS.

MATERIALS, FIXTURES, FITTINGS AND BUILDING COMPONENTS SHALL BE INSTALLED IN ACCORDANCE TO MANUFACTURERS SPECIFICATIONS

PAVING, DECKING AND TILING PATTERNS SHOWN ON THE FLOOR/SITE PLANS ARE DIAGRAMMATIC ONLY. REFER TO WET AREA LAYOUTS, LANDSCAPING PLAN AND OR CONFIRM WITH BUILDER/OWNER ON SITE.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEIGHBOURING STRUCTURES DURING WORKS. BUILDER TO MAKE GOOD ANY RECTIFICATION WORK AS A RESULT OF THE WORK.

BUILDER TO BE RESPONSIBLE FOR INTEGRITY AND CONSTRUCTION OF ALL WATERPROOFING BY SPECIALIST WATERPROOFING CONTRACTOR.

THERMAL SPECIFICATION

REFER TO THERMAL SPECIFICATION FOR FULL REQUIREMENTS:

EXTERNAL WALLS

FRAMED WEATHERBOARD R2.5 BATTS + REFLECTIVE FOIL
FRAMED TIMBER R2.5 BATTS + REFLECTIVE FOIL
CAVITY MASONRY 40mm PIR BOARD

INTERNAL WALLS

FRAMED PLASTERBOARD R2.5 BATTS

ROOF

METAL ROOF R1.5 REFLECTIVE BLANKET
LIGHT COLOUR

CEILING

PLASTERBOARD R4.0 BATTS

GLAZING

DOUBLE GLAZED CLEAR UPVC FRAME

GROUND FLOOR

CONCRETE SLAB ON GROUND NIL INSULATION

ELECTRICAL

SEALED RECESSED LIGHT FITTINGS

MATERIAL FINISHES SCHEDULE

WALL TYPE + FINISHES

RE 01 RAMMED EARTH WALL LIGHT YELLOW / GOLD

ST 01 STEEL STEEL FINISH AS SELECTED

TC 01 TIMBER CLADDING HARDWOOD CLADDING
TBC - WASHED WHITE

INTERNAL WALL FINISHES

PB 01 PLASTERBOARD WALLS FLUSH AND PAINTED WHITE R2.5 BATTS

T 01 TILE AS SELECTED R2.5 BATTS

FLOOR FINISHES

CON 01 FINISHED CONCRETE

T 02 FLOOR TILE AS SELECTED

ROOF FINISHES

R 01 METAL ROOF SHEETING COLORBOND 'CUSTOM ORB' - TO MATCH EXISTING R1.5 REFLECTIVE
BLANKET - LIGHT COLOUR

F 01 FLASHING CUSTOM PRESS FLASHING / CAPPING TO MATCH ROOF COLOUR

PS 01 POLYCARBONATE SHEETING AS SELECTED

CEILING FINISHES

PB 02 PLASTERBOARD FLUSH AND PAINTED TO SELECTION. 10MM NEGATIVE
EDGE DETAIL TYPICAL R4.0 BATTS

SCREEN

TIM 01 TIMBER AS SELECTED

GENERAL SYMBOLS



DOOR TAG - REFER TO DOOR SCHEDULE FOR DETAIL.



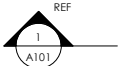
WINDOW TAG - REFER TO WINDOW SCHEDULE FOR DETAIL.



WALL TYPE TAG - REFER TO WALL LEGEND FOR DETAIL.



CENTRELINE



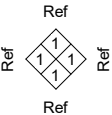
SECTION MARKER



GRID MARKER



SPOT ELEVATION



ELEVATION MARKER

GENERAL LEGEND

ACU	-	AIR CONDITIONING UNIT
CJ	-	CONTROL JOINT
CM	-	COFFEE MACHINE
COL.	-	STRUCTURAL COLUMN
CT	-	COOKTOP
DP	-	DOWNPIPE
DR	-	DRYER
DW	-	DISH WASHER
EXF	-	EXHAUST FAN
FFW	-	FINISHED FLOOR LEVEL
FG	-	FLOOR GRATE
FR	-	FRIDGE / FREEZER
FW	-	FLOOR WASTE
FWU	-	FILTERED WATER UNIT
HC	-	HOSE COCK
HWU	-	HOT WATER UNIT
LM	-	LIFT MOTOR
MWO	-	MICROWAVE OVEN
MB	-	ELEC / GAS METER BOX LOCATION
NIC	-	NOT IN CONTRACT
RH	-	RANGEHOOD
RWH	-	RAIN WATER HEAD
S/B	-	ELECTRICAL SUB BOARD
SH	-	SHELF
TG	-	TRENCH GRATE DRAIN
UFHM	-	UNDER FLOOR HEATING MANIFOLD
WC	-	WATER CLOSET
WM	-	WASHING MACHINE

PROJECT:

CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED

397 Speewah RD, Speewah QLD 4881



STUDIO 1111

ISSUE:

CONCEPT PLANS

DRAWING:

NOTES + LEGENDS

SCALE:

As indicated
@A3

DRAWN:

MD

DATE:

APR 10

REVISION:

A

DRAWING:

A 001

GENERAL SITE NOTES

NOTIFY BUILDER AND DESIGNER IF YOU NOTICE IRREGULARITIES BETWEEN DOCUMENTATION AND SITE CONDITION.

SITE SERVICES

EXISTING PLUMBING AND ELECTRICAL WORKS TO BE SEALED, REMOVED AND MADE GOOD AS NECESSARY.

THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.

DEMOLITION

BUILDER TO CARRY OUT DILAPIDATION REPORT / DOCUMENTATION FOR FUTURE REFERENCE AS REQUIRED, ESPECIALLY WITH WORKS ON BOUNDARY OR WITH BUILDINGS, EXCAVATIONS AND COMPACTION CLOSE TO BOUNDARY.

CARRY OUT DEMOLITION / REMOVAL WORK AS REQUIRED. BUILDER TO OBTAIN RELEVANT DEMOLITION LICENCES AND ADHERE TO CONDITIONS.

CARRY OUT MINOR & INCIDENTAL DEMOLITION / REMOVAL WORK OF ITEMS AS REQUIRED TO CARRY OUT NEW WORK.

MAKE GOOD TO ANY ASPECT OF THE ADJACENT EXISTING STRUCTURE / FEATURES DAMAGED OR AFFECTED BY NEW WORK.

CARRY OUT WORK IN ACCORDANCE WITH RELEVANT REGULATIONS & DISPOSE OF MATERIAL IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

ALL WORK TO BOUNDARY FENCES IS TO HAVE PRE-AUTHORIZATION OF LAND OWNER IN WRITING.

SURVEY

SURVEYOR TO RE - ESTABLISH LOT BOUNDARIES PRIOR TO CONSTRUCTION.

BOUNDARY POSITION AS SHOWN ON SURVEY AND DOCUMENTATION APPROXIMATE ONLY.

SERVICE / SEWER / DRAINAGE MAY VARY, CLEARANCES TO BE CHECKED ON SITE

SERVICES INFORMATION TO BE CONFIRMED WITH RELEVANT AUTHORITIES. FOR UNDERGROUND SERVICES - CONTACT 'DIAL BEFORE YOU DIG'.

NO STRUCTURAL ELEMENTS INCLUDING FOOTINGS SHALL ENCROACH OVER TITLE BOUNDARIES AND EASEMENT LINES.

TERMITE TREATMENT

TERMITE RISK MANAGEMENT TO COMPLY WITH NCC 3.1.4 AND AS 3660.1 - 2014

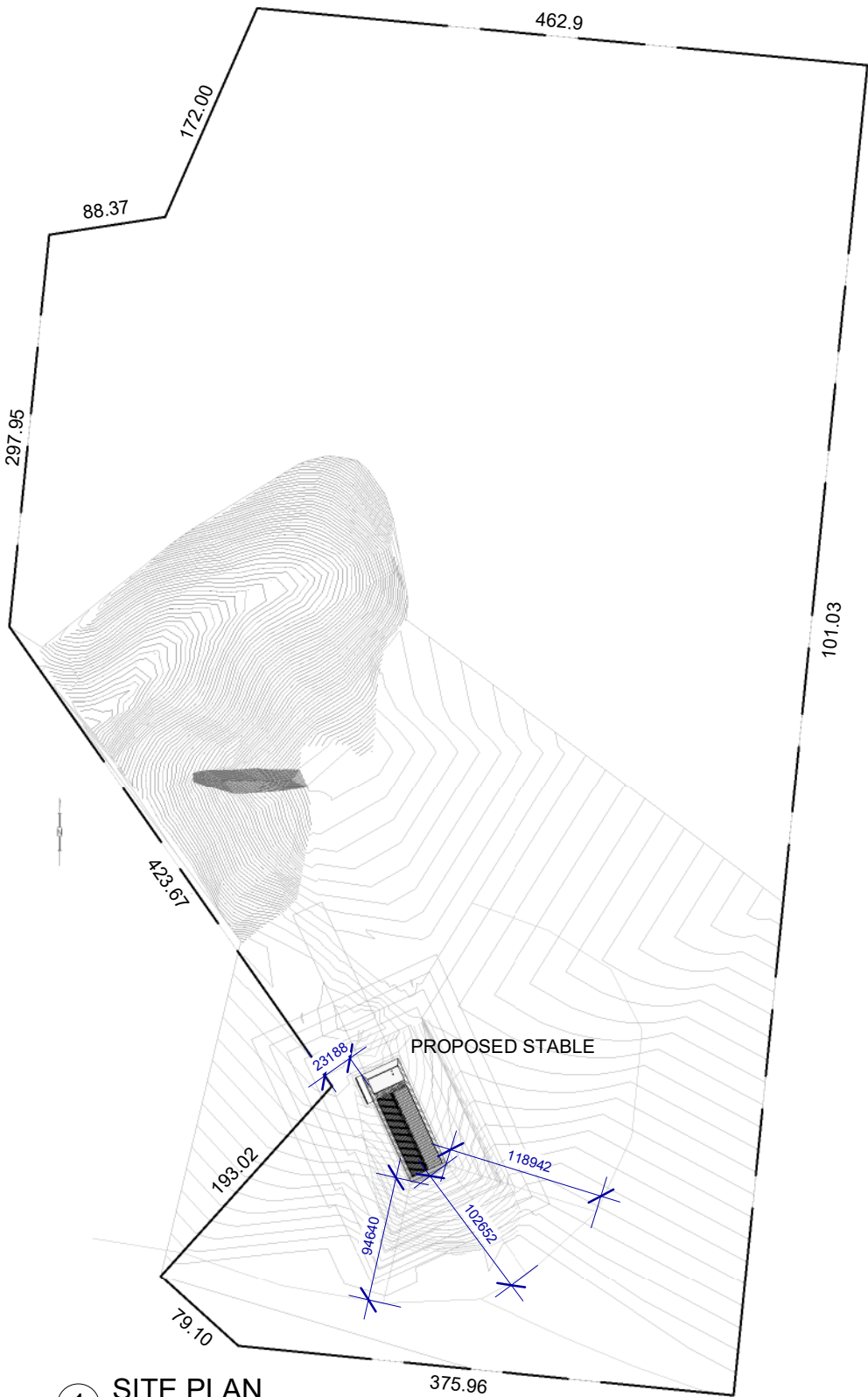
COMPLETE TERMITE TREATMENT SYSTEM BY SPECIALIST CONTRACTOR. SYSTEM TO COMBINE PHYSICAL BARRIERS TO ALL SLAB PENETRATIONS WITH 'BIFLEX' OR SIMILAR CHEMICAL TREATMENT

CONTRACTOR TO PROVIDE ALL RELEVANT DOCUMENTATION, PRODUCT SPECIFICATIONS AND WARRANTIES WITH BUILDER AND OWNER.

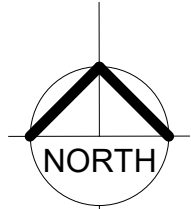
EARTHWORKS

SITE HAS BEEN CLASSIFIED, REFER TO SITE CLASSIFICATION FROM ENGINEER.

EARTHWORKER TO PROVIDE BUILDER AND OWNER COMPACTION CERTIFICATE / DOCUMENTATION OF ACHIEVING MINIMUM COMPACTION TO ENGINEERS REQUIREMENTS.

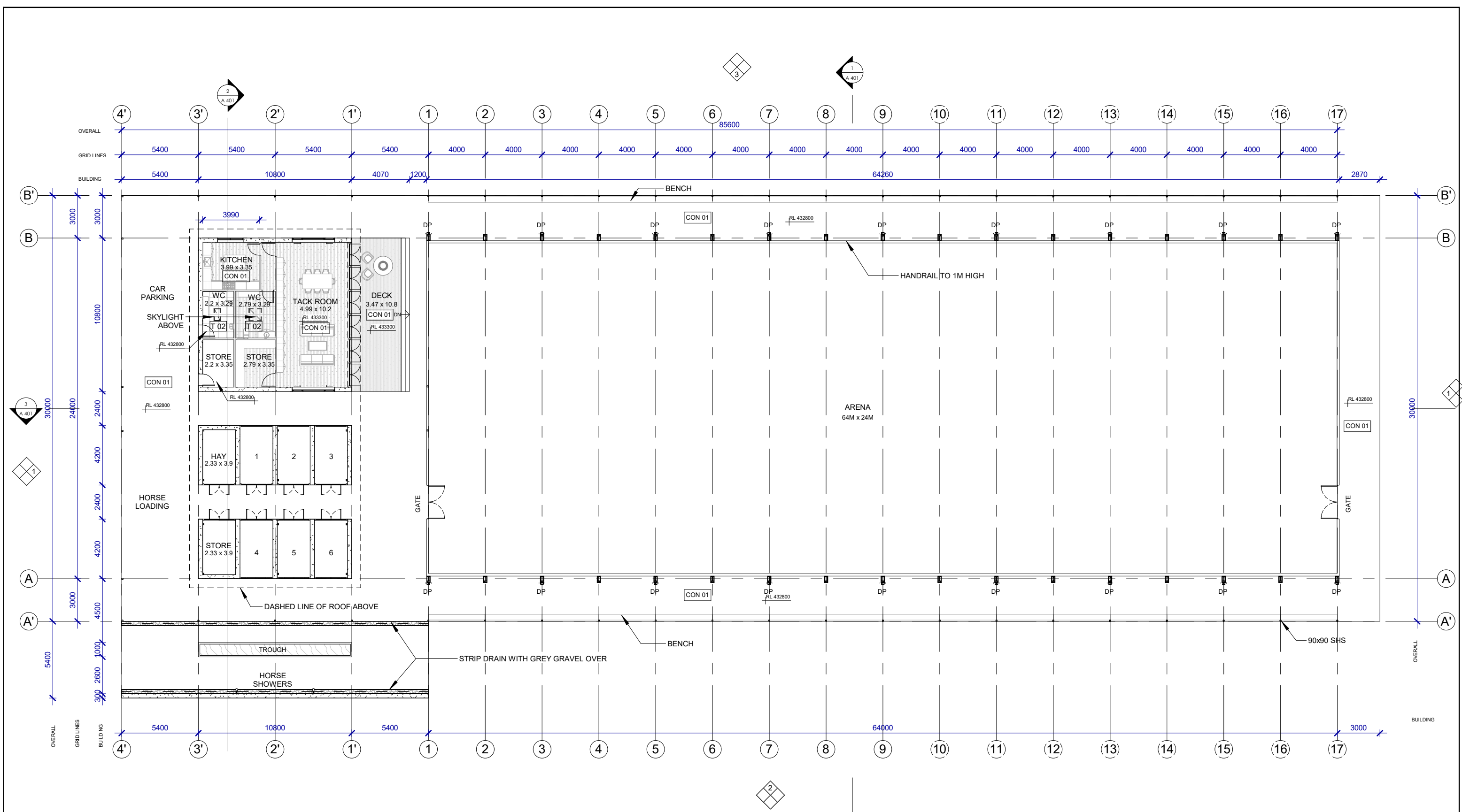


1 SITE PLAN
1 : 5000



PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Speewah RD, Speewah QLD 4881	CONCEPT PLANS	SITE PLAN	As indicated @A3	MD	APR 10	A	A 102

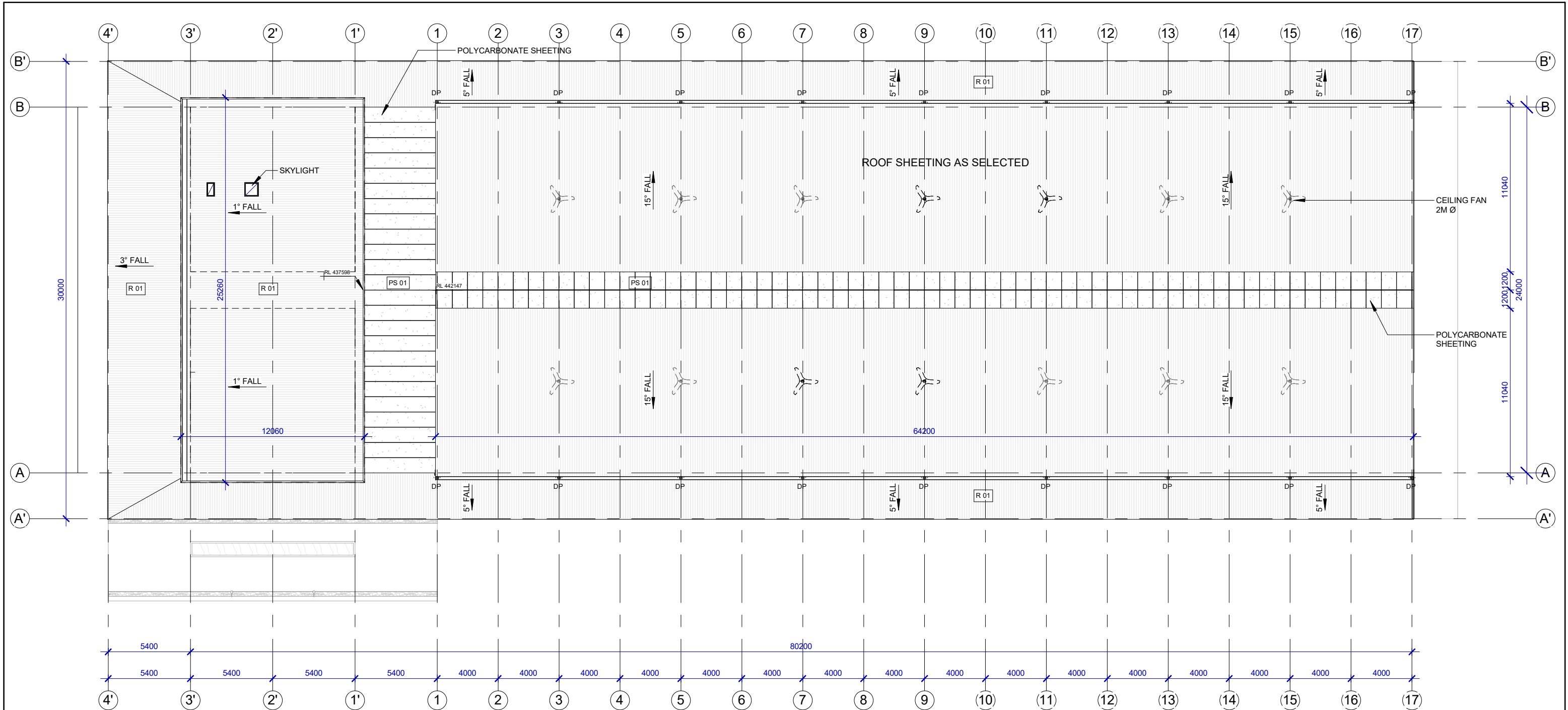




1 FLOOR PLAN
1 : 250

PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Speewah RD, Speewah QLD 4881	CONCEPT PLANS	FLOOR PLAN	1 : 250 @A3	MD	APR 10	A	A 202





1 ROOF PLAN
1 : 250

GENERAL ROOF NOTES

BUILDER AND ROOFER TO NOTE LOW PITCH ROOF SHEETING AND VARYING ROOFING CONNECTIONS AND ANGLES OF SHEETING AND GUTTERS PROPOSED.

ALLOW FOR ADDITIONAL WATERPROOFING MEASURES TO FACILITATE LOW PITCH AND MINIMISE WATER EGRESS, PARTICULARLY WEATHER DRIVEN AGAINST FALL.

APPLY BEST PRACTICE AS REQUIRED INCLUDING: TURN UP ALL HIGH ENDS, TURN DOWN ALL GUTTER ENDS. INSTALL FOAM INFILL STRIPS / JOINT FILLERS. APPROPRIATE SILICONE, EXPANDING FOAM, TAPE, CAPPING, FLASHING, SOLDERING AND SEALING AS REQUIRED.

RIGID - NON COMBUSTABLE LEAF GUARD TYPICAL

PLUMBER TO CO-ORDINATE SUITABILITY OF DOWNPIPE / GUTTER TYPE AND LOCATION WITH DRAINAGE PATHS AND SOAKWELL LOCATION AS SUITABLE AND COMPLIANT WITH LOCAL AND STATE REGULATIONS AND GENERAL BEST PRACTICE.

FALL ALL SURFACES AWAY FROM HOUSE.

SEPTIC SYSTEM NOTES

LICENCED PLUMBER TO CARRY OUT ALL WORKS TO RELEVANT NCC AND AUSTRALIAN STANDARDS.

NEW WORKS TO BE CONNECTED TO EXISTING SEPTIC SYSTEM. PLUMBER TO CONFIRM ADEQUATE FALLS, CONNECTIONS AND CAPACITY.

NOTIFY BUILDER AND DESIGNER IMMEDIATELY IF CONFLICT WITH DESIGN OR SITE CONDITION VARIES.

LICENCED PLUMBER TO LODGE CERTIFICATE OF COMPLIANCE TO THE PLUMBERS LICENSING BOARD, LOCAL COUNCIL, BUILDER AND CLIENT AS REQUIRED.

STORMWATER NOTES

LICENCED PLUMBER TO CARRY OUT ALL WORKS TO RELEVANT NCC AND AUSTRALIAN STANDARDS.

DOWNPIPE, GUTTER AND SUMP SIZES ARE INDICATIVE ONLY, PLUMBER TO CONFIRM LOCATIONS ON SITE / SUITABILITY AND COMPLIANCE.

NOTIFY BUILDER AND DESIGNER IMMEDIATELY IF CONFLICT WITH DESIGN OR SITE CONDITION VARIES.

STORM WATER LEGEND

S1 900 dia x 900 DEEP SOAKWELL

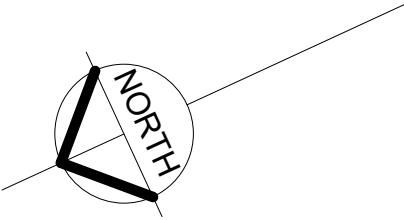
S2 1200 dia x 900 DEEP SOAKWELL

SW SOAKWELL SIZE AS SELECTED. HIGH PRECAST CONCRETE SOAKWELL INTERCONNECTED WITH 150mm dia PVC PIPE AT LOW LEVEL TO ENSURE TANKS MAINTAIN EFFECTIVE CAPACITY. LIDS TO BE TRAFFICABLE WHERE REQUIRED.

--- APPROXIMATE SUBSOIL DRAIN PATHWAY FOR GENERAL RUNOFF CATCHMENT TO ENG. SPEC. - TBC BY CONTRACTOR

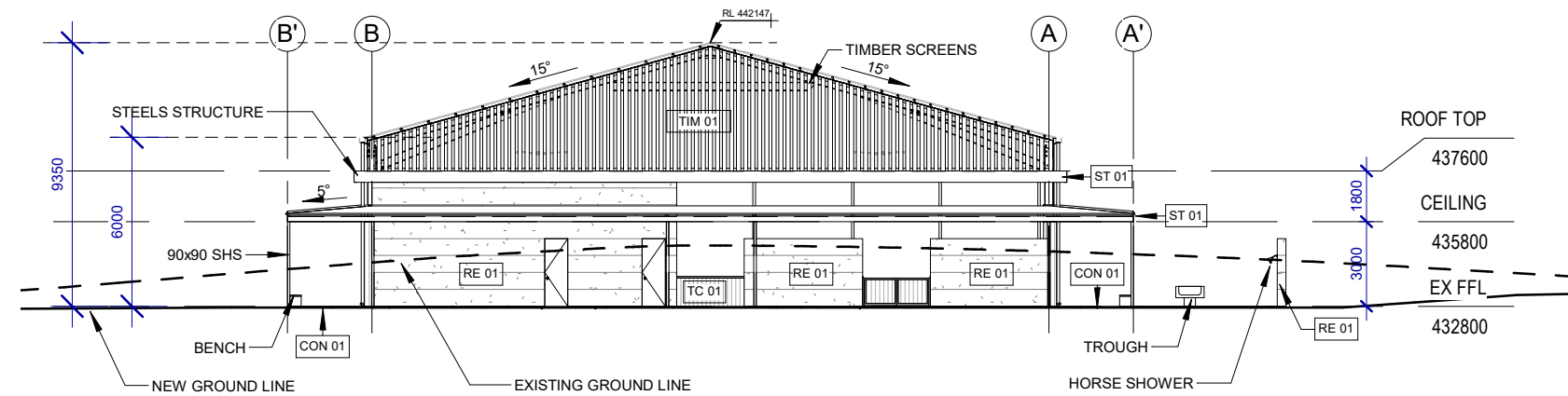
DP DOWNPIPE AS SPECIFIED

SD THRESHOLD STRIP DRAIN AS SPECIFIED

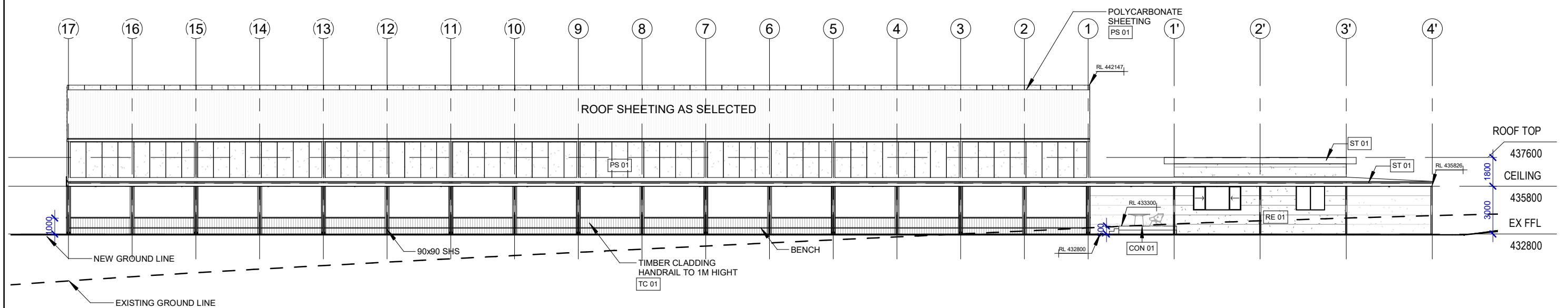


PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Speewah RD, Speewah QLD 4881	CONCEPT PLANS	ROOF PLAN	As indicated @A3	MD	APR 10	A	A 204



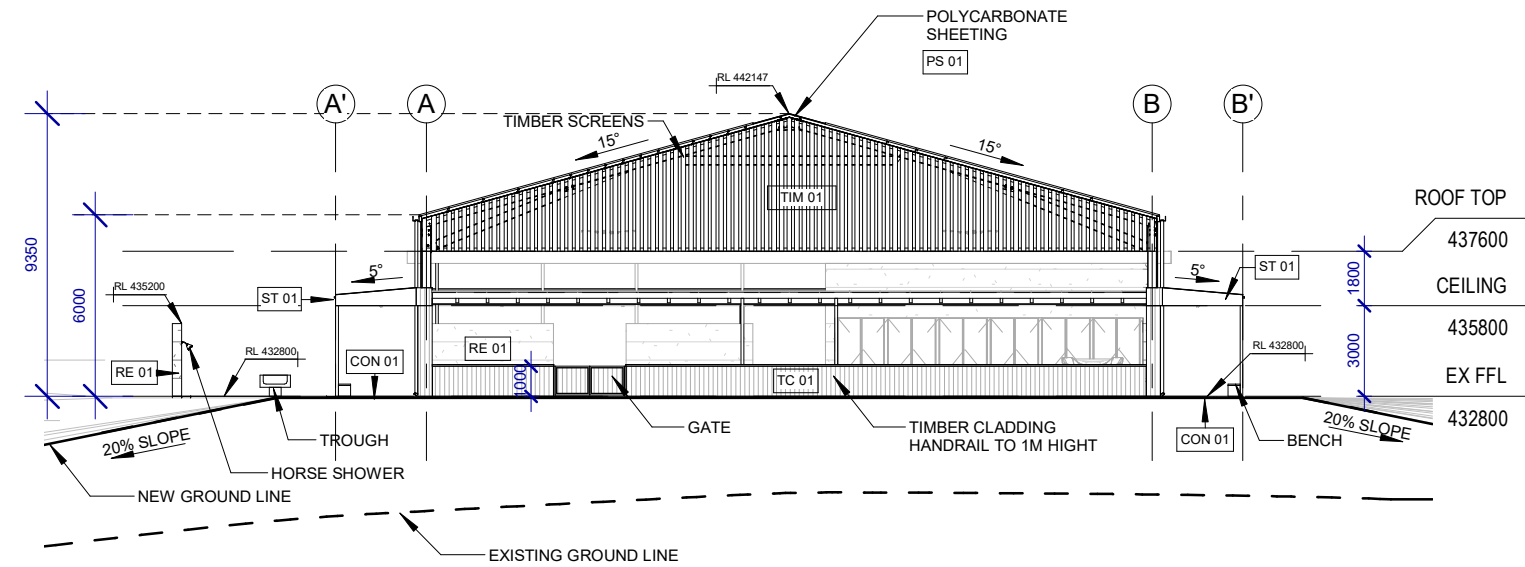


1 SOUTH WEST ELEVATION
1 : 250

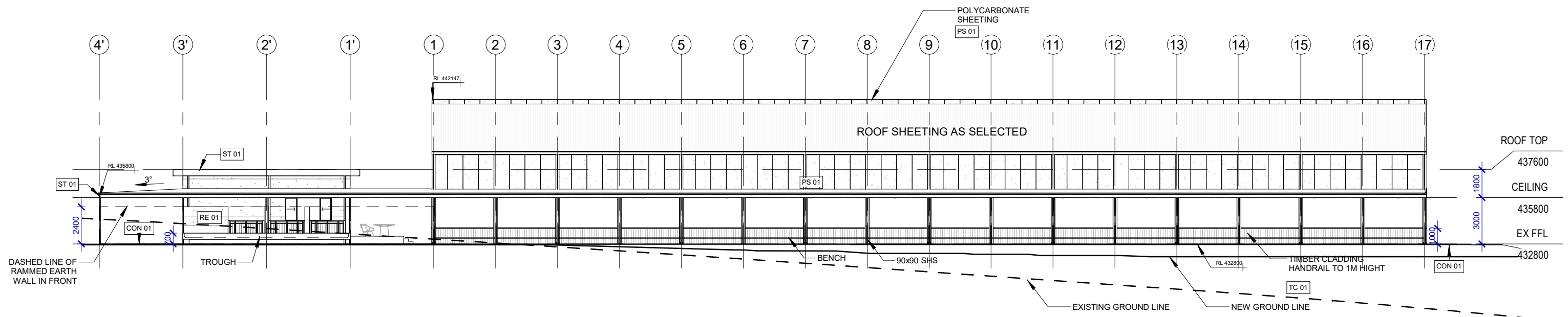


3 NORTH WEST ELEVATION
1 : 250

PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Speewah RD, Speewah QLD 4881	CONCEPT PLANS	ELEVATIONS	1 : 250 @A3	MD	APR 10	A	A 302

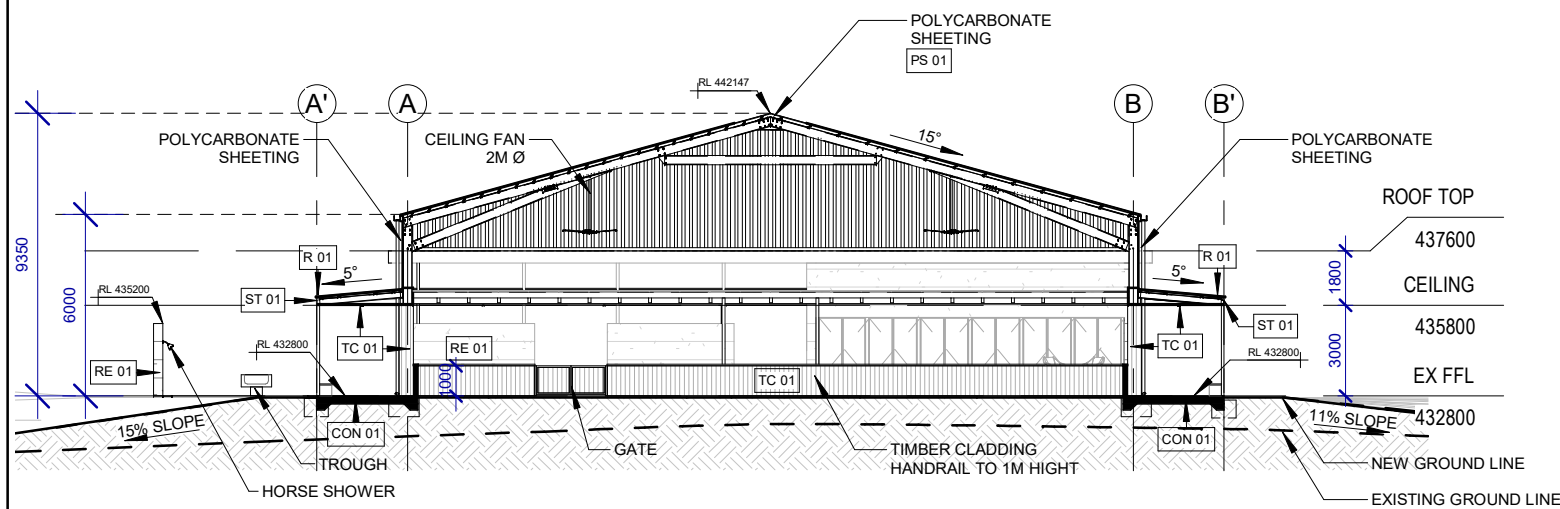


1 NORTH EAST ELEVATION
1 : 250

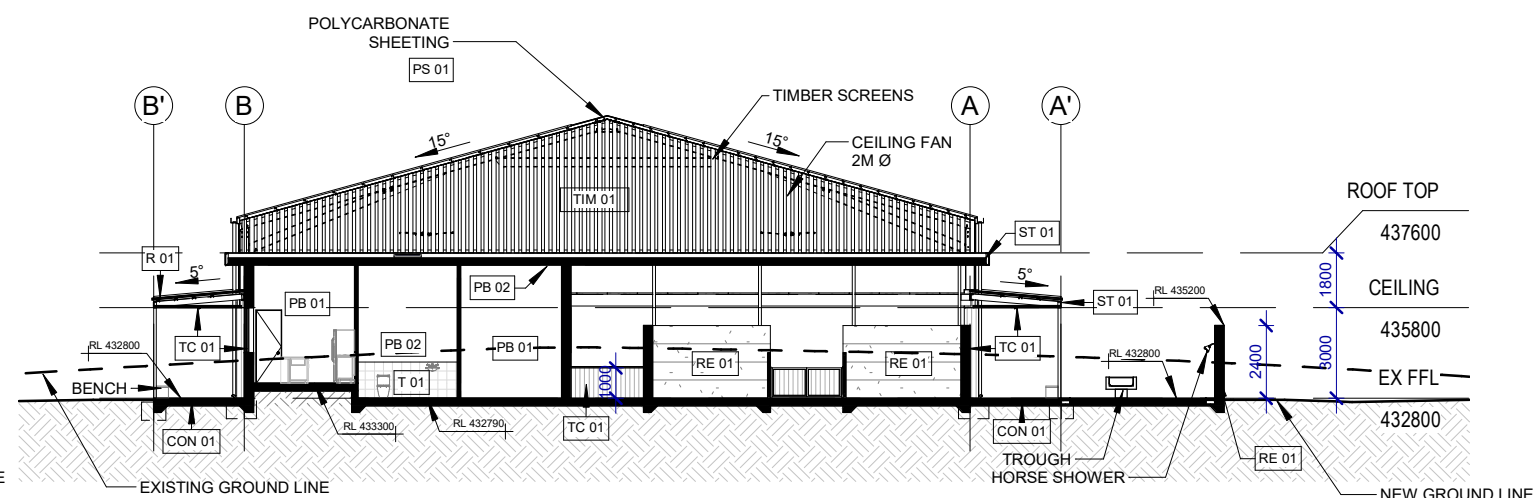


2 SOUTH EAST ELEVATION
1 : 250

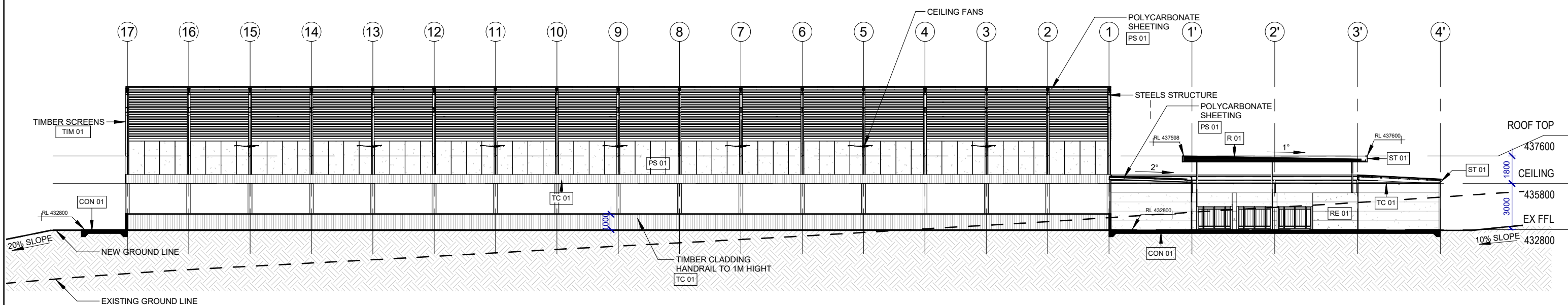
PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Speewah RD, Speewah QLD 4881	CONCEPT PLANS	ELEVATIONS	1 : 250 @A3	MD	APR 10	A	A 303



1 SECTION 1
1 : 250

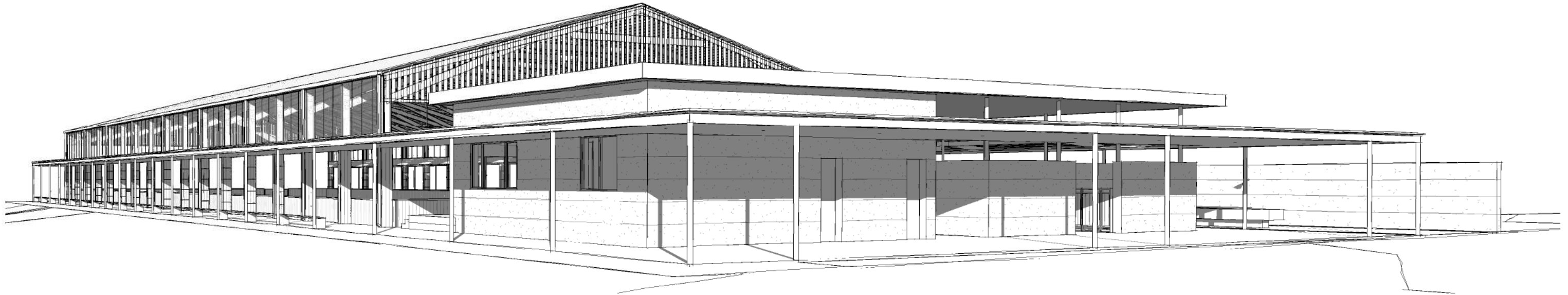


2 SECTION 2
1 : 250

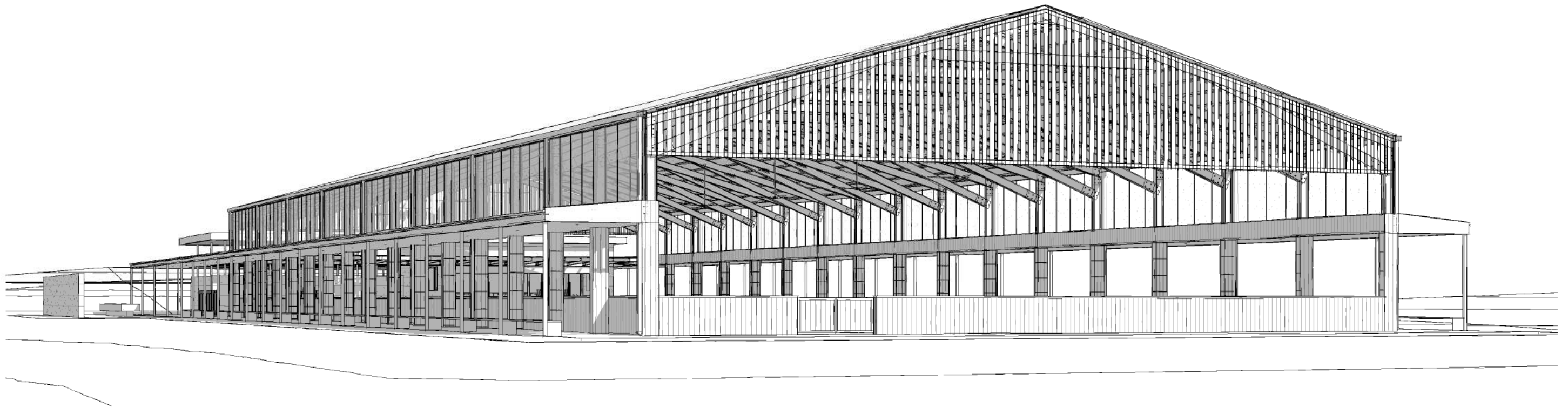


3 SECTION 3
1 : 250

PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Speewah RD, Speewah QLD 4881	CONCEPT PLANS	SECTIONS	1 : 250 @A3	MD	APR 10	A	A 401



① OVERVIEW PERSPECTIVE 1



② OVERVIEW PERSPECTIVE 2

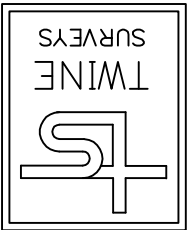
PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Speewah RD, Speewah QLD 4881	CONCEPT PLANS	EXTERNAL PERSPECTIVE	@A3	MD	APR 10	A	A 900



GDA2020 AHD
PM58721 – 437.416
Lot 2 on RP718600

Scale 1:1000 (A3)
DWG No: 9269 Detail – 28.03.2023

DETAIL SURVEY
Jan Eldred
Speewah



TWINE SURVEYS PTY LTD
36 Mabel Street, Atherton QLD 4883
P: 07 4091 1303
E: info@twinesurveys.com.au

0 50m 100m 150m



SPEEWAH
ROAD

ROAD

ROAD

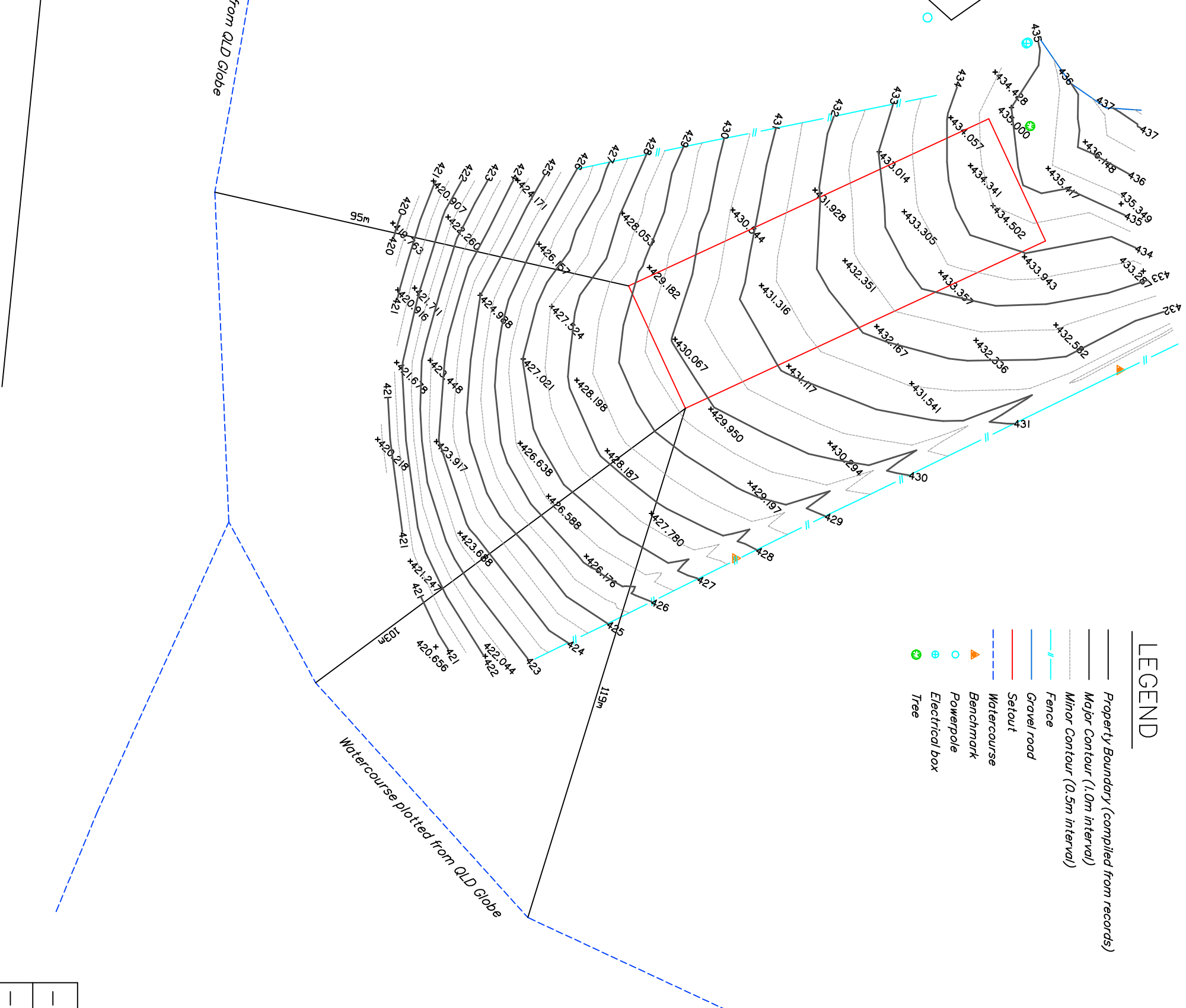
RP718600
2

Watercourse plotted from QLD Globe

Watercourse plotted from QLD Globe

LEGEND

- Property Boundary (compiled from records)
- Major Contour (1.0m interval)
- Minor Contour (0.5m interval)
- Fence
- Gravel road
- Setout
- Watercourse
- Benchmark
- Powerpole
- Electrical box
- Tree



To: Jan Eldred
From: Gemma Horner
Prepared by: Northern Ecology
Date: 5th April 2023
Reference: MSES Waterway Mapping - Lot 2 RP718600

Northern Ecology has been commissioned by Jan Eldred (the 'Client') to assist with a mapping discrepancy associated with a proposed development on Lot 2 RP718600, Speewah.

The Client is proposing the construction of a horse arena on Lot 2RP718600, within an area of non-remnant (Category X vegetation on the Regulated Vegetation Map) vegetation. A stream order 2-3 watercourse is located within a vegetated area, south of the proposed horse arena (refer APPENDIX 1 – Map 1).

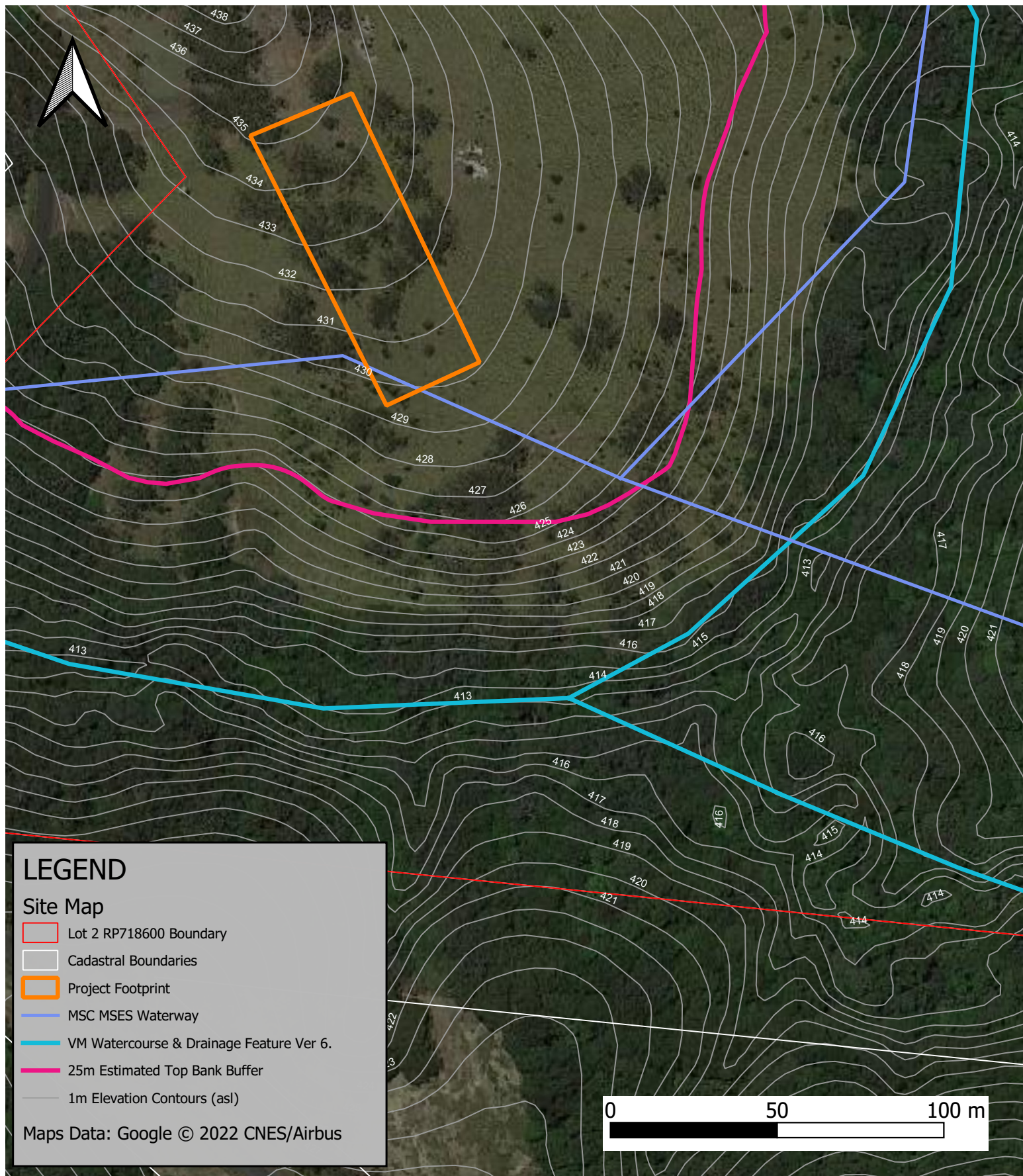
Initial desktop assessment shows that the proposed development footprint intersects the Mareeba Shire Council (MSC) Environmental Significance Overlay mapping of both the Matter of State Environmental Significance (MSES) waterway and MSES waterway buffer layers. However, south of the proposed horse arena the waterway alignment used in the MSC mapping does not align with the current MSES *Vegetation Management Act 1999* (VMA) watercourse mapping, nor the *Water Act 2000* (Water Act) mapping shown on the Watercourse Identification Map. Furthermore, inspection of current satellite imagery and topography within the site shows the MSC waterway mapping is misaligned and intersects a cleared, open paddock.

APPENDIX 1 - Map 1 shows the current VMA watercourse mapping which corresponds to the Water Act mapping and the estimated watercourse location based on satellite imagery and topography. It appears that the MSC watercourse mapping is incorrectly aligned and is offset from the actual watercourse alignment as depicted on the VMA watercourse mapping by approximately 67 m - 106 m across the southern section of the property. In this instance it is recommended that assessment of impacts to the waterway should consider the VMA and Water Act watercourse alignments, rather than the MSC waterway mapping.

Under the *MSC Planning Scheme 2016*, the Environmental Significance Overlay Code prescribes a setback distance of 25m from the top of the high bank, for watercourses with a stream order of 2-4. Although no survey has been conducted within the site to ground-truth the top of the high bank of the watercourse, desktop assessment (using satellite imagery and 1 m contours) conservatively estimates the top of the high bank to be on or below the 420 m contour line. As such, at its closest point, the top of the high bank is approximately 58m from the southern end of the proposed horse arena which is well beyond the 25m minimum setback distance detailed in Table 8.2.4.3B of the *MSC Planning Scheme 2016*.

Currently, the horse arena is located within the MSES waterway buffer area which would be subject to assessment under the MSC Planning Scheme, however as it has been suggested, assessment of impacts on the waterway should consider the more accurate VMA and/or Water Act watercourse alignment, and if so, there will be no direct impacts within the 25m waterway buffer.

APPENDIX 1: MAPS



Date: 5/4/2023	Title: Watercourses Map - Map 1
Client:	Client Contact: Jan Eldred
Copyright: Northern Ecology 2022	Disclaimer: This document may only be used by Northern Ecology clients for the purpose in which it was prepared. All efforts have been made by Northern Ecology to ensure the information provided is accurate at the time of the publication but does not guarantee or warrant the accuracy or currency of spatial information contained within this map from online data sources.
Project Manager: G. Horner	GIS/Map: J. Middleton

DOCUMENT CONTROL

This document may contain confidential or privileged information and is intended for the sole use of the person(s) to whom it is addressed. This document and all schedules, annexures or appendices are subject to copyrights pursuant to the Copyright Act 1968 (Cth). Subject to statutory defences, no party may reproduce, publish, adapt or communicate to the public, in whole or in part, the content of this report without the express written consent of Northern Ecology.

Disclaimer:

Northern Ecology has produced this document as an expression of professional opinion in its capacity as consultant for and on the request of Jan Eldred (the "Client") for the sole purpose stated in the applicable Contract or Quote (the "Contract") and for the sole and exclusive benefit of the Client. This information, including the methodology, procedures and techniques used and any recommendations in this report are particular to the purpose stated in the Contract and are based on facts, matters and circumstances particular to the subject matter of the document and the specified purpose at the time of production. This document is meant to be read as a whole, and sections or parts thereof should not be read or relied upon out of context of the specified purpose.

The Client may disclose the document to third parties at its absolute discretion. To the extent permitted by law, Northern Ecology expressly disclaims any liability or responsibility to the Client or any other third parties with respect to the information or advice within this document including for any loss and/or damage whatsoever arising either directly or indirectly as a result of any application, use or reliance upon the document for any purpose other than the specified purpose stated in the Contract by any third party.

Northern Ecology does not know, nor does it have any reason to suspect, that the information provided to it was false, inaccurate, incomplete or misleading at the time of its receipt. This document is supplied on the basis that while Northern Ecology believes all the information in it is deemed reliable at the time of publication, it does not warrant its accuracy or completeness and to the full extent allowed by law excludes liability in contract, tort or otherwise, for any loss or damage sustained by any person or body corporate arising from or in connection with the supply or use of the whole or any part of the information in this report through any cause whatsoever. This includes any error in, or omission in connection with documented assumptions, circumstances and constraints under which the task was performed.

This report does not purport to give legal advice; if required, the client should seek independent legal advice.

REVISION	DATE	PREPARED BY	REVIEWED BY	ISSUED BY
Draft (1)	05/04/2023	G. Horner	-	G. Horner

Northern Ecology

Email: gemma.horner@outlook.com

Phone: 0401 179 575

Individual owner's consent for making a development application under the *Planning Act 2016*

I, Claire Elizabeth Eldred

[Insert full name.]

as owner of the premises identified as follows:

Lot 2 on RP718600
397 Speewah Road, Speewah Qld. 4881

consent to the making of a development application under the *Planning Act 2016* by:

Scope Town Planning

on the premises described above for:

Material Change of Use (Animal Keeping)

[signature of owner and date signed]



21/03/2023

Individual owner's consent for making a development application under the *Planning Act 2016*

I, Jan Eldred

[Insert full name.]

as owner of the premises identified as follows:

Lot 2 on RP718600
397 Speewah Road, Speewah Qld. 4881

consent to the making of a development application under the *Planning Act 2016* by:

Scope Town Planning

on the premises described above for:

Material Change of Use (Animal Keeping)

[signature of owner and date signed]



21/03/2023