

**DELEGATED REPORT**

**SUBJECT:** J & C ELDRED – MATERIAL CHANGE OF USE – ANIMAL KEEPING (EQUINE TRAINING FACILITY) – LOT 2 ON RP718600 – 397 SPEEWAH ROAD, SPEEWAH - MCU/23/0007

**DATE:** 9 May 2023

**REPORT OFFICER'S TITLE:** Planning Officer

**DEPARTMENT:** Corporate and Community Services

**APPLICATION DETAILS**

APPLICATION		PREMISES	
<b>APPLICANT</b>	J & C Eldred	<b>ADDRESS</b>	397 Speewah Road, Speewah
<b>DATE LODGED</b>	13 April 2023	<b>RPD</b>	Lot 2 on RP718600
<b>TYPE OF APPROVAL</b>	Development Permit		
<b>PROPOSED DEVELOPMENT</b>	Material Change of Use – Animal Keeping (Equine training facility)		

<b>FILE NO</b>	MCU/23/0007	<b>AREA</b>	50.038 hectares
<b>LODGED BY</b>	Scope Town Planning	<b>OWNER</b>	J & C Eldred
<b>PLANNING SCHEME</b>	Mareeba Shire Council Planning Scheme 2016		
<b>ZONE</b>	Rural zone		
<b>LEVEL OF ASSESSMENT</b>	Code Assessment		
<b>SUBMISSIONS</b>	n/a		

**ATTACHMENTS:** 1. Proposal Plan/s

**EXECUTIVE SUMMARY**

Council is in receipt of a development application described in the above application details.

The application is code assessable and was not required to undergo public notification.

It has been assessed against the relevant statutory planning instruments, including the Regional Plan and the Planning Scheme and does not conflict with any relevant planning instrument.

Draft conditions were provided to the Applicant/ care of their consultant and have been agreed.

It is recommended that the application be approved in full with conditions.

**OFFICER'S RECOMMENDATION**

1. That in relation to the following development application:

APPLICATION		PREMISES	
<b>APPLICANT</b>	J & C Eldred	<b>ADDRESS</b>	397 Speewah Road, Speewah
<b>DATE LODGED</b>	13 April 2023	<b>RPD</b>	Lot 2 on RP718600
<b>TYPE OF APPROVAL</b>	Development Permit		
<b>PROPOSED DEVELOPMENT</b>	Material Change of Use – Animal Keeping (Equine Training Facility)		

and in accordance with the Planning Act 2016, the applicant be notified that the application for a development permit for the development specified in (A) is:

Approved by Council in accordance with the approved plans/documents listed in (B), subject to assessment manager conditions in (C), assessment manager's advice in (D), relevant period in (E), further permits in (F), and further approvals from Council listed in (G);

And

The assessment manager does not consider that the assessment manager's decision conflicts with a relevant instrument.

- (A) APPROVED DEVELOPMENT: Development Permit for Material Change of Use – Animal Keeping (Equine Training Facility)

- (B) APPROVED PLANS:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
A000 Rev A	Cover Page	Studio I111	APR 10
A001 Rev A	Notes & Legends	Studio I111	APR 10
A102 Rev A	Site Plan	Studio I111	APR 10
A202 Rev A	Floor Plan	Studio I111	APR 10
A204 Rev A	Roof Plan	Studio I111	APR 10
A302 Rev A	Elevations	Studio I111	APR 10
A303 Rev A	Elevations	Studio I111	APR 10
A401 Rev A	Sections	Studio I111	APR 10
A900 Rev A	External Perspective	Studio I111	APR 10

- (C) ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)

- (a) Development assessable against the Planning Scheme

1. Development must be carried out generally in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, subject to any alterations:
  - found necessary by Council's delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
  - to ensure compliance with the following conditions of approval.
2. Timing of Effect
  - 2.1 The conditions of the development permit must be complied with to the satisfaction of Council's delegated officer prior to the commencement of the use except where specified otherwise in these conditions of approval.
  - 2.2 Prior to the commencement of use, the applicant must notify Council that all the conditions of the development permit have been complied with, except where specified otherwise in these conditions of approval.
3. General
  - 3.1 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.
  - 3.2 All payments or bonds required to be made to the Council pursuant to any condition of this approval must be made prior to commencement of the use and at the rate applicable at the time of payment.
  - 3.3 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.
  - 3.4 Waste Management

On site refuse storage area must be provided and be screened from view from adjoining properties and road reserve by one (1) metre wide landscaped screening buffer, 1.8m high solid fence or building.
  - 3.5 Noise Nuisance

Refrigeration equipment, pumps, compressors and mechanical ventilation systems must be located, designed, installed and maintained to achieve a maximum noise level of 3dB(A) above background levels as measured from noise sensitive locations and a maximum noise level of 8dB(A) above background levels as measured from commercial locations.
4. Infrastructure Services and Standards
  - 4.1 Stormwater Management

- 4.1.1 The applicant/developer must take all necessary steps to ensure a non-worsening effect on surrounding land as a consequence of the development.
- 4.1.2 All stormwater drainage collected from the site must be discharged to an approved legal point of discharge.

#### 4.2 Water Supply

The quality of water provided on site for human contact or consumption must be of a standard for drinking water set by the Australian Drinking Water Guidelines 2004 (National Health and Medical Research Council and the National Resource Management Ministerial Council).

#### 4.3 On-site Wastewater Management

All on site effluent disposal associated with the approved use must be in compliance with the latest version of On-Site Domestic Wastewater Management Standard (ASNZ1547) to the satisfaction of the Council's delegated officer.

#### 4.4 Car Parking/Internal Driveways

Any car parking spaces and internal driveways associated with the animal keeping (equine training facility) within the subject site must be constructed to at least compacted gravel standard, clearly identifiable and appropriately drained prior to the commencement of the use, to the satisfaction of Council's delegated officer.

#### 4.5 Lighting

Where outdoor lighting is installed, illumination resulting from direct, reflected or other incidental light emanating from the subject land does not exceed eight (8) lux when measured at any point 1.5m outside the property boundary of the subject site. The lighting fixtures installed on site must meet appropriate lux levels as documented within Australian Standard 4282 – Control of the Obtrusive Effects of Outdoor Lighting.

### (D) ASSESSMENT MANAGER'S ADVICE

- (a) A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.

- (b) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

- (c) Compliance with Acts and Regulations

The erection and use of the building must comply with the Building Act and all other relevant Acts, Regulations and Laws, and these approval conditions.

- (d) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from [www.dcceew.gov.au](http://www.dcceew.gov.au).

(e) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the “cultural heritage duty of care”). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from [www.dsdsatsip.qld.gov.au](http://www.dsdsatsip.qld.gov.au).

(F) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Material Change of Use – six (6) years (starting the day the approval takes effect).

(G) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

- Development Permit for Building Work

(H) OTHER APPROVALS REQUIRED FROM COUNCIL

- Compliance Permit for Plumbing and Drainage Work

## THE SITE

The subject site is situated at 397 Speewah Road, Speewah and is described as Lot 2 on RP718600.

The site is irregular in shape with an area of 50.038 hectares and is zoned Rural under the Mareeba Shire Council Planning Scheme 2016.

The site contains approximately 1 kilometre of frontage to Speewah Road Harper Road and 720 metres of frontage to Stoney Creek Road. Both frontage roads are constructed to rural bitumen sealed standard.

Access to the subject site is obtained via an existing crossover on the Speewah Road frontage. No access is available off the Stoney Creek Road frontage.

The site is improved by a dwelling house and outbuildings which are grouped together and located approximately 600 metres to the south of the Speewah Road/Stoney Creek Road intersection.

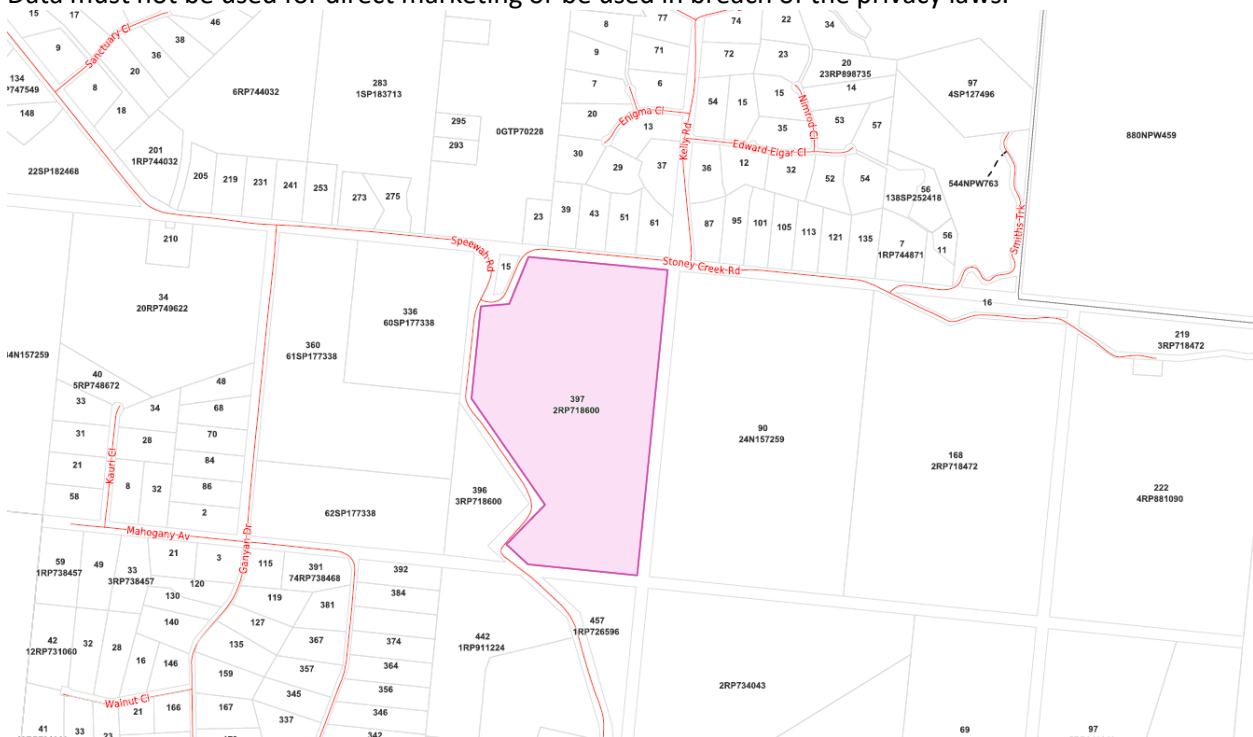
The subject site remains mostly vegetated, apart from a 10 hectare clearing around the dwelling house and fronting Speewah Road.

Surrounding properties are zoned rural or rural residential and are primarily used for rural living purposes.



Map Disclaimer:

Based on or contains data provided by the State of Queensland (Department of Environment and Resource Management) (2009). In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.



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## BACKGROUND AND CONTEXT

Nil

## PREVIOUS APPLICATIONS & APPROVALS

Nil

## DESCRIPTION OF PROPOSED DEVELOPMENT

The development application seeks a Development Permit for Material Change of Use – Animal Keeping (Equine Training Facility) in accordance with the plans shown in **Attachment 1**.

The applicant describes the proposed development as follows:

*“The proposed development is the construction of a new Equine Stables and Training Facility which included 6 stables, operational facilities and 1536m<sup>2</sup> training arena.*

*The structure will be located within the Category X vegetation classified area of the site and will be sited outside of the Hill and Slope affected areas. The structure will be located within the Environmental Significance area and Bushfire Hazard area mapped over the site.*

*The proposed horse training facility includes covered stables and operational facilities as well as an all-weather training arena with a maximum roof height of 9.3m. A horse wash down facility is located alongside the stables.*

*The proposed facility will be used for the training of high-level dressage horses kept on-site by the land owner and will not be used to accommodate equine events.”*

## REGIONAL PLAN DESIGNATION

The subject site is included within the Regional Landscape and Rural Production Area land use category in the Far North Queensland Regional Plan 2009-2031. The Regional Plan Map 3- ‘Areas of Ecological Significance’ also identifies the site is:

- *Strategic Rehabilitation Area*
- *State & Regional Conservation Corridors*
- *Terrestrial Area of High Ecological Significance*
- *Terrestrial Area of General Ecological Significance*

## PLANNING SCHEME DESIGNATIONS

Strategic Framework:	<b>Land Use Categories</b> <ul style="list-style-type: none"> <li>• <i>Rural Area</i></li> </ul>
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	<ul style="list-style-type: none"> <li>▪ <i>Rural other</i></li> </ul> <b>Natural Environmental Elements</b> <ul style="list-style-type: none"> <li>• <i>Biodiversity Areas</i></li> <li>• <i>Habitat linkage</i></li> </ul>
Zone:	Rural zone
Overlays:	Bushfire hazard overlay Environmental significance overlay Hill & Slope overlay Transport infrastructure overlay

### Planning Scheme Definitions

The proposed use is defined as:-

<b>Column 1 Use</b>	<b>Column 2 Definition</b>	<b>Column 3 Examples include</b>	<b>Column 4 Does not include the following examples</b>
<i>Animal keeping</i>	<p><i>Premises used for boarding, breeding or training of animals.</i></p> <p><i>The use may include ancillary temporary or permanent holding facilities on the same site and ancillary repair and servicing of machinery.</i></p>	<p><i>Aviaries, catteries, kennels, stables, wildlife refuge</i></p>	<p><i>Aquaculture, cattle studs, domestic pets, feedlots, grazing of livestock, non-feedlot dairying, piggeries, poultry meat and egg production, animal husbandry</i></p>

### RELEVANT PLANNING INSTRUMENTS

Assessment of the proposed development against the relevant planning instruments is summarised as follows:-

#### (a) Far North Queensland Regional Plan 2009-2031

Separate assessment against the Regional Plan is not required because the Mareeba Shire Council Planning Scheme appropriately advances the Far North Queensland Regional Plan 2009-2031, as it applies to the planning scheme area.

#### (b) State Planning Policy

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

#### (c) Mareeba Shire Council Planning Scheme 2016

### Relevant Development Codes

The following Development Codes are considered to be applicable to the assessment of the application:



- 6.2.9 Rural zone code
- 8.2.3 Bushfire hazard overlay code
- 8.2.4 Environmental significance overlay code
- 9.3.6 Rural activities code
- 9.4.2 Landscaping code
- 9.4.3 Parking and access code
- 9.4.5 Works, services and infrastructure code

The application included a planning report and assessment against the planning scheme. An officer assessment has found that the application satisfies the relevant acceptable outcomes (or performance outcome where no acceptable outcome applies) of the relevant codes set out below, provided reasonable and relevant conditions are attached to any approval.

Relevant Codes	Comments
Rural zone code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Bushfire hazard overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Environmental significance overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Rural activities code	The application complies with applicable acceptable/probable solutions/performance criteria apart from the following: <ul style="list-style-type: none"> <li>▪ AO5.1</li> </ul> Refer to planning discussion section of report.
Landscaping code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Parking and access code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Works, services and infrastructure code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.

**(e) Planning Scheme Policies/Infrastructure Charges Plan**

The following planning scheme policies are relevant to the application:

Planning Scheme Policy 4 - FNQROC Regional Development Manual

A condition will be attached to any approval requiring all development works be designed and constructed in accordance with FNQROC Development Manual standards.

**(f) Adopted Infrastructure Charges Notice**

The proposed arena will be used for the training of high-level dressage horses kept on-site by the land owner and will not be used to accommodate equine events.

As such, the development's likely impact on trunk infrastructure is expected to be no greater than the typical range of accepted rural uses.

**REFERRALS**

This application did not trigger referral to a referral agency.

**Internal Consultation**

Not applicable.

**PLANNING DISCUSSION**

Compliance with Performance Outcome PO5 of the Rural Activities Code is discussed below:

**9.3.6 Rural Activities Code*****If for Animal keeping or Intensive animal industries******PO5***

*Animal keeping or Intensive animal industries are located on land which has an area, dimensions and topography which allow the use to function appropriately and be sufficiently separated from adjoining properties and uses.*

***A05.1***

*Development is located on a site which has an area of 60 hectares or greater.*

**Comment**

The proposed development fails to achieve A05.1 as the subject site is approximately 50 hectares in area.

The proposed arena is sited over 100 metres from the nearest dwelling house (not on the same land) and the proposed equine training use is not expected to generate noticeable off site impacts.

The proposed use and its proposed location will satisfy PO5.

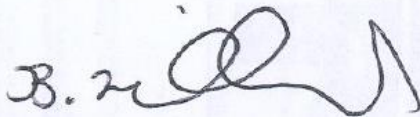
***Date Prepared: 9 May 2023***

## DECISION BY DELEGATE

## DECISION

Having considered the Planning Officer's report detailed above, I approve, as a delegate of Council, the application subject to the conditions listed in the report.

Dated the 9<sup>TH</sup> day of MAY 2023



**BRIAN MILLARD**  
**SENIOR PLANNER**

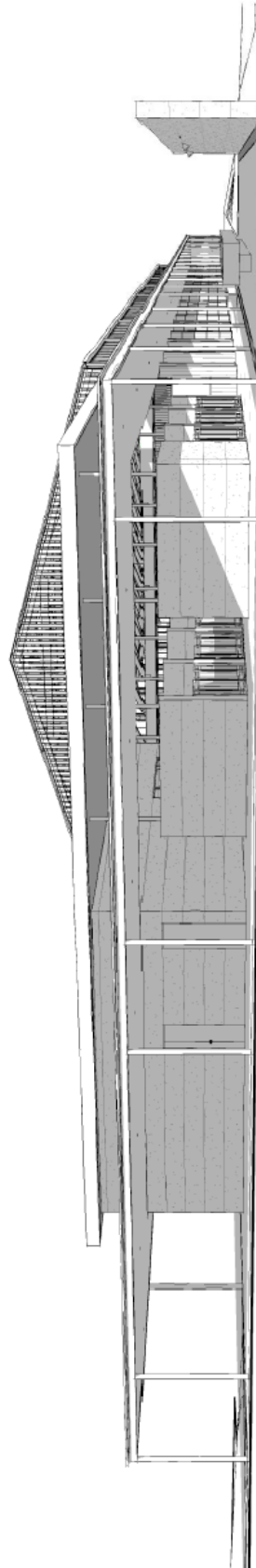
MAREEBA SHIRE  
AS A DELEGATE OF THE COUNCIL

PROPOSAL PLANS

CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED  
 397 SPEEWAH RD, SPEEWAH QLD 4881, AUSTRALIA

DRAWING LIST

Sheet Number	Sheet Name
A 000	COVER PAGE
A 001	NOTES + LEGENDS
A 102	SITE PLAN
A 202	FLOOR PLAN
A 204	ROOF PLAN
A 302	ELEVATIONS
A 303	ELEVATIONS
A 401	SECTIONS
A 900	EXTERNAL PERSPECTIVE



PROJECT	ISSUE	DRAWING	SCALE	DRAWN	DATE	REVISION	DRAWING
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Speewah Rd, Speewah QLD 4881	STUDIO 111	COVER PAGE	@A3	MD	APR 10	A	A 000

**GENERAL NOTES**

ALL WORKSHOPS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL RELEVANT AND CURRENT AUSTRALIAN STANDARD CODE OF PRACTICE, NATIONAL CONSTRUCTION CODE (NCC) AND ALL APPLICABLE STATE AND LOCAL REGULATIONS AND AMENDMENTS. VERIFY ALL AUTHORITIES - USE LATEST CODES AND AMENDMENTS.  
DO NOT SCALE FROM DRAWINGS

**ALL NOTES MANDATORY**

ALL WORKS TO COMPLY WITH LOCAL COUNCILS PLANNING AND BUILDING REGULATIONS. VERIFY ALL REQUIREMENTS WITH LOCAL COUNCILS PLANNING AND BUILDING DEPARTMENTS. ALL WORKS TO BE IN ACCORDANCE WITH THE STAMPED PLANNING AND BUILDING CONSENT CONDITIONS.

THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING OUT - CHECKING ALL LEVELS - AREAS ARE MARKED ON SITE PRIOR TO START OF WORK. ALL DIMENSIONS TO BE SHOWN ON DRAWINGS TO BE READ TO THE DEGREE. SITE INFO DISAPPEARED TO BE REFERRED BACK TO THE CONTRACTOR.

STRUCTURAL ELEMENTS REFERRED TO IN THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DRAWINGS WITH THE CONTRACTOR TO BE BRING TO THE ATTENTION OF THE BUILDING DESIGNER.  
ALL DIMENSIONS SHOWN ON FLOOR PLANS ARE RAW DIMENSIONS ONLY WHICH DO NOT INCLUDE PLASTER OR METAL BEADINGS TO BRICKWORK PRIOR TO MANUFACTURE  
BUILDER TO MAKE ALLOWANCE FOR EXISTING AND PROPOSED OVERLAP OF WALLS. CONSULTATION WITH OWNER AND NEIGHBOUR PRIOR TO ANY WORKS.

**MATERIALS** - MATERIALS, FITTINGS AND BUILDING COMPONENTS SHALL BE INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS. VERIFY ALL DIMENSIONS AND TILING PATTERNS SHOWN ON THE FLOOR/SITE PLANS ARE DIAGRAMMATIC ONLY. REFER TO MET AREA LA-YOURS, LANDSCAPING PLAN AND OR CONFORM WITH BUILDING DESIGNER ON SITE. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE MATERIALS, FITTINGS AND BUILDING COMPONENTS ARE TO BE MADE GOOD ANY RECTIFICATION WORK AS A RESULT OF THE WORK. BUILDER TO BE RESPONSIBLE FOR INTEGRITY AND CONSTRUCTION OF ALL WATERPROOFING BY SPECIALIST WATERPROOFING CONTRACTOR.

**THERMAL SPECIFICATION**

REFER TO INTERNAL SPECIFICATION FOR FULL REQUIREMENTS.

**EXTERNAL WALLS**

FRAMED WEATHERBOARD  
FRAMED WEATHERBOARD  
FRAMED WEATHERBOARD

**INTERNAL WALLS**

FRAMED PLASTERBOARD  
SCOE  
METAL ROOF

**CEILING**

PLASTERBOARD  
GLAZING  
DOUBLE GLAZED CLEAR

**GROUND FLOOR**

CONCRETE SLAB ON GROUND  
ELECTRICAL  
SEALED RECESSED LIGHT FITTINGS

R2.5 BATT  
R1.5 REFLECTIVE BLANKET  
LIGHT COLOUR  
R4.0 BATT  
R2.5 BATT  
R2.5 BATT  
R4.0 BATT  
UPVC FRAME  
N.L. INSULATION

MATERIAL FINISHES SCHEDULE	
WALL TYPE + FINISHES	
<b>WE-01</b> RAMMED EARTH WALL	LIGHT YELLOW/GOLD
<b>WE-02</b> STEEL	STEEL FINISH AS SELECTED
<b>WE-03</b> TIMBER CLADDING	HARDWOOD CLADDING TO MATCH ROOF COLOUR
<b>INTERNAL WALL FINISHES</b>	
<b>WE-01</b> PLASTERBOARD WALLS	FLUSH AND PAINTED WHITE
<b>WE-02</b> TILE	AS SELECTED
<b>FLOOR FINISHES</b>	
<b>WE-01</b> FINISHED CONCRETE	AS SELECTED
<b>WE-02</b> FLOOR TILE	AS SELECTED
<b>ROOF FINISHES</b>	
<b>RE-01</b> METAL ROOF SHEETING	COLORBOND CUSTOM ORP - TO MATCH EXISTING R1.5 REFLECTIVE BLANKET - LIGHT COLOUR
<b>RE-02</b> FLASHING	CUSTOM PRESS TO MATCH ROOF COLOUR
<b>RE-03</b> RA. VAS. SUBWATE SHEETING	AS SELECTED
<b>CEILING FINISHES</b>	
<b>WE-01</b> PLASTERBOARD	FLUSH AND PAINTED TO SELECTION 10MM NEGATIVE EDGE DETAIL TYPICAL
<b>WE-02</b> TIMBER	AS SELECTED

**GENERAL SYMBOLS**

DOOR TAG - REFER TO DOOR SCHEDULE FOR DETAIL  
 WINDOW TAG - REFER TO WINDOW SCHEDULE FOR DETAIL  
 WALL TAG - REFER TO WALL LEGEND FOR DETAIL

CENTRELINE  
 SECTION MARKER  
 GRID MARKER  
 SPOT ELEVATION  
 ELEVATION MARKER

**GENERAL LEGEND**

ACU	-	AIR CONDITIONING UNIT
CJ	-	CONTROL JOINT
CM	-	COFFEE MACHINE
COL	-	STRUCTURAL COLUMN
CT	-	COURTOP
DP	-	DOWNPIPE
DR	-	DRYER
DW	-	DISHWASHER
EUF	-	EXHAUST FAN
FFW	-	FINISHED FLOOR LEVEL
FO	-	FLOOR GRATE
FR	-	FRIDGE / FREEZER
FW	-	FLOOR WASTE
FWU	-	FILTERED WATER UNIT
HC	-	HOSE COOK
HMU	-	HOT WATER UNIT
LM	-	LIFT MOTOR
MWO	-	MICROWAVE OVEN
MB	-	ELEC / GAS METER BOX LOCATION
NC	-	NOT IN CONTACT
NH	-	RAIN HOOD
RWH	-	RAIN WATER HEAD
SB	-	ELECTRICAL SUB BOARD
SH	-	SHELF
TO	-	TRENCH GRATE DRAIN
UFHM	-	UNDER FLOOR HEATING MANIFOLD
WC	-	WATER CLOSET
WM	-	WASHING MACHINE

PROJECT: CLAIRES + JAN STABLES - SITE + PROPOSED STABLE SHED  
397 Spivey Rd. Spivey QLD 4681



ISSUE: CONCEPT PLANS

DRAWING: NOTES + LEGENDS

SCALE: As per Cabcd @ A3

DRAWN: MD

DATE: APR 10

REVISION: A

DRAWING: A 001

**GENERAL SITE NOTES**

NOTIFY BUILDER AND DESIGNER IF YOU NOTICE IRREGULARITIES BETWEEN DOCUMENTATION AND SITE CONDITION.

**SITE SERVICES**

EXISTING PLUMBING AND ELECTRICAL WORKS TO BE SEALED, REPEALED AND MADE GOOD AS NECESSARY.  
 THE CLIENT SHALL PROVIDE ALL UNDERGROUND SERVICES TO BE MAINTAINED AND MADE GOOD AS NECESSARY.  
 ALL EXISTING SERVICES ARE SHOWN.  
 BE AWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.

**DEMOLITION**

BUILDER TO CARRY OUT DEMOLITION REPORT / DOCUMENTATION FOR FUTURE REFERENCE AS REQUIRED. ESPECIALLY WITH WORKS TO BE DEMOLISHED. EXCAVATIONS AND CONSTRUCTION CLOSE TO BOUNDARY.  
 CARETOUT DEMOLITION / REMOVAL WORK AS REQUIRED. BUILDER TO OBTAIN RELEVANT DEMOLITION LICENSES AND ADHERE TO CONDITIONS.

CARRY OUT MINOR & INCIDENTAL DEMOLITION / REMOVAL WORK OF ITEMS AS REQUIRED TO CARRY OUT NEW WORK.

MAKE GOOD TO ANY ASPECT OF THE ADJACENT EXISTING STRUCTURE / FEATURES DAMAGED OR AFFECTED BY NEW WORK. THE CLIENT SHALL PROVIDE ALL RELEVANT REGULATIONS & DETAILS OF MATERIALS TO BE USED IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

ALL WORK TO BOUNDARY FENCES IS TO HAVE PRE-AUTHORIZATION OF LAND OWNER IN WRITING.

**SURVEY**

SURVEY OR TO RE-ESTABLISH LOT BOUNDARIES PRIOR TO CONSTRUCTION.  
 BOUNDARY POSITION AS SHOWN ON SURVEY AND DOCUMENTATION APPROXIMATE ONLY.

SERVICE / SEWER / DRAINAGE MAY VARY. CLEARANCES TO BE CHECKED ON SITE.  
 THE CLIENT SHALL PROVIDE ALL UNDERGROUND SERVICES - CONTRACTUAL APPROXIMATIONS FROM UNDERGROUND SERVICES - CONTRACTUAL BEFORE YOU DIG.

NO STRUCTURAL ELEMENTS INCLUDING FOOTINGS SHALL ENPROACH OVER TITLE BOUNDARIES AND EASEMENT LINES.

**TERMITE TREATMENT**

TERMITE RISK MANAGEMENT TO COMPLY WITH HOC 31.4 AND AS 3688.1:2014.

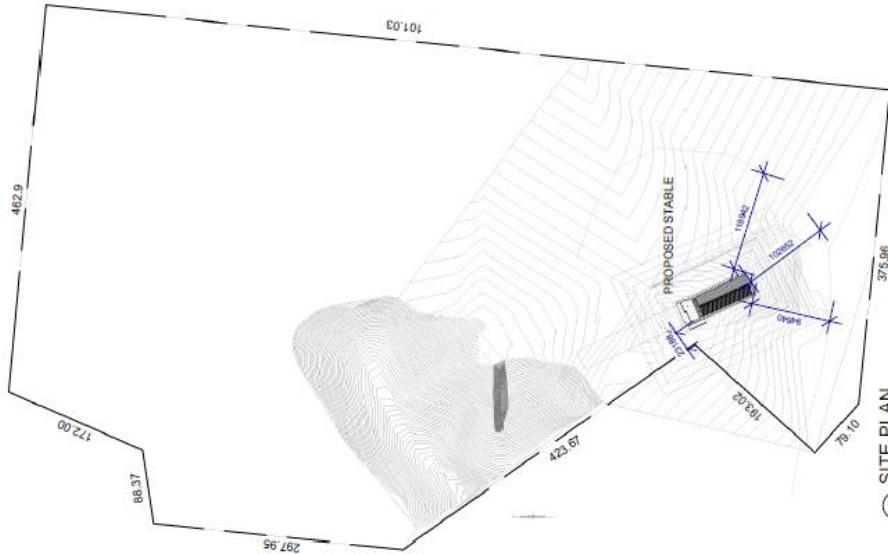
COMPLETE TERMITE TREATMENT SYSTEM BY SPECIALIST CONTRACTOR. SYSTEM TO COMBINE PHYSICAL BARRIERS TO ALL INFESTATIONS WITH SPILED OR SIMILAR CHEMICAL TREATMENT.

CONTRACTOR TO PROVIDE ALL RELEVANT DOCUMENTATION, PRODUCT SPECIFICATIONS AND WARRANTIES WITH BUILDER AND OWNER.

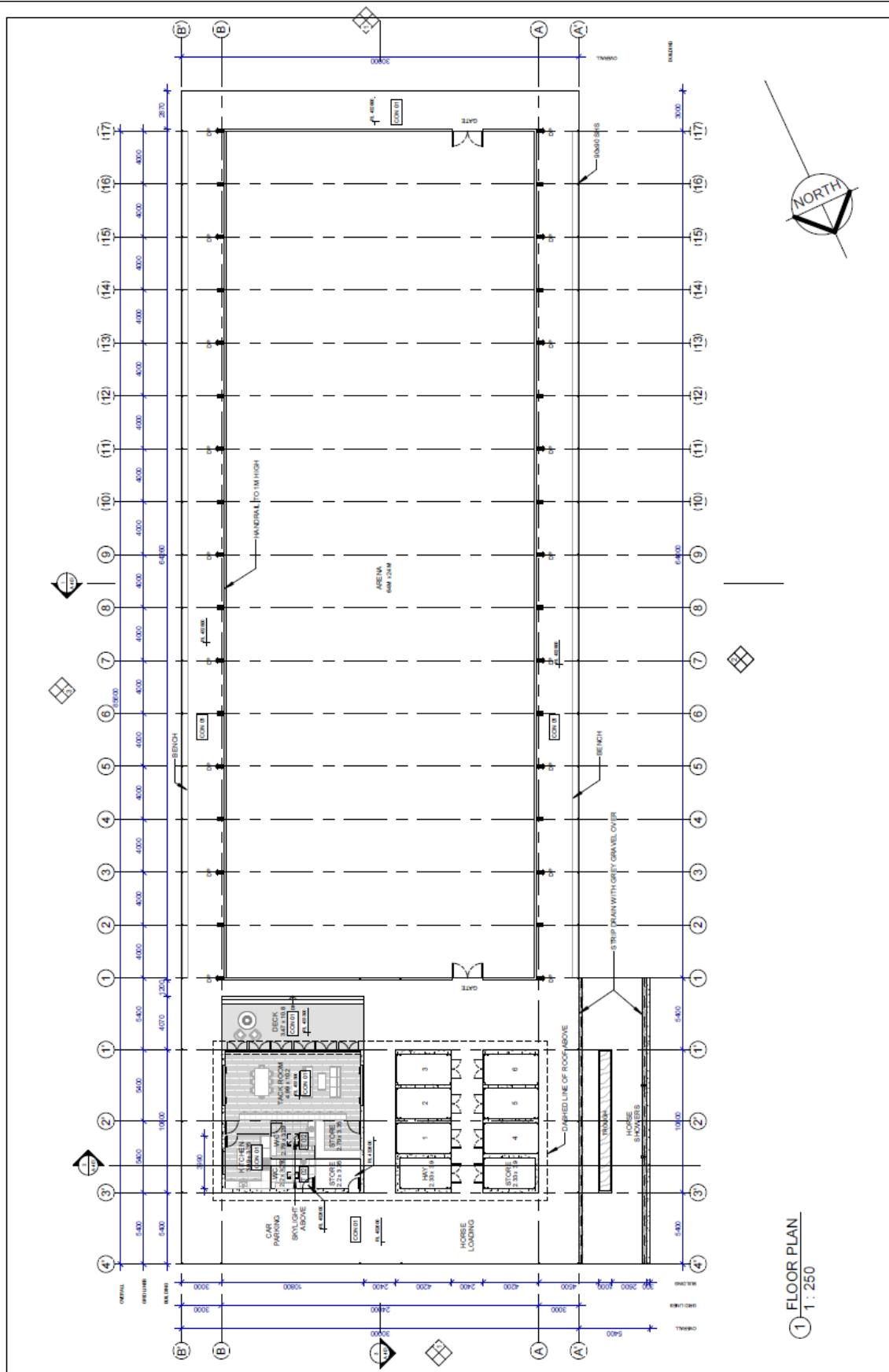
**EARTHWORKS**

SITE HAS BEEN CLASSIFIED. REFER TO SITE CLASSIFICATION FROM ENGINEER.

EARTHWORKER TO PROVIDE BUILDER AND OWNER CONSTRUCTION CERTIFICATE / DOCUMENTATION OF ACHIEVING MINIMUM CONSTRUCTION TO ENGINEERING REQUIREMENTS.

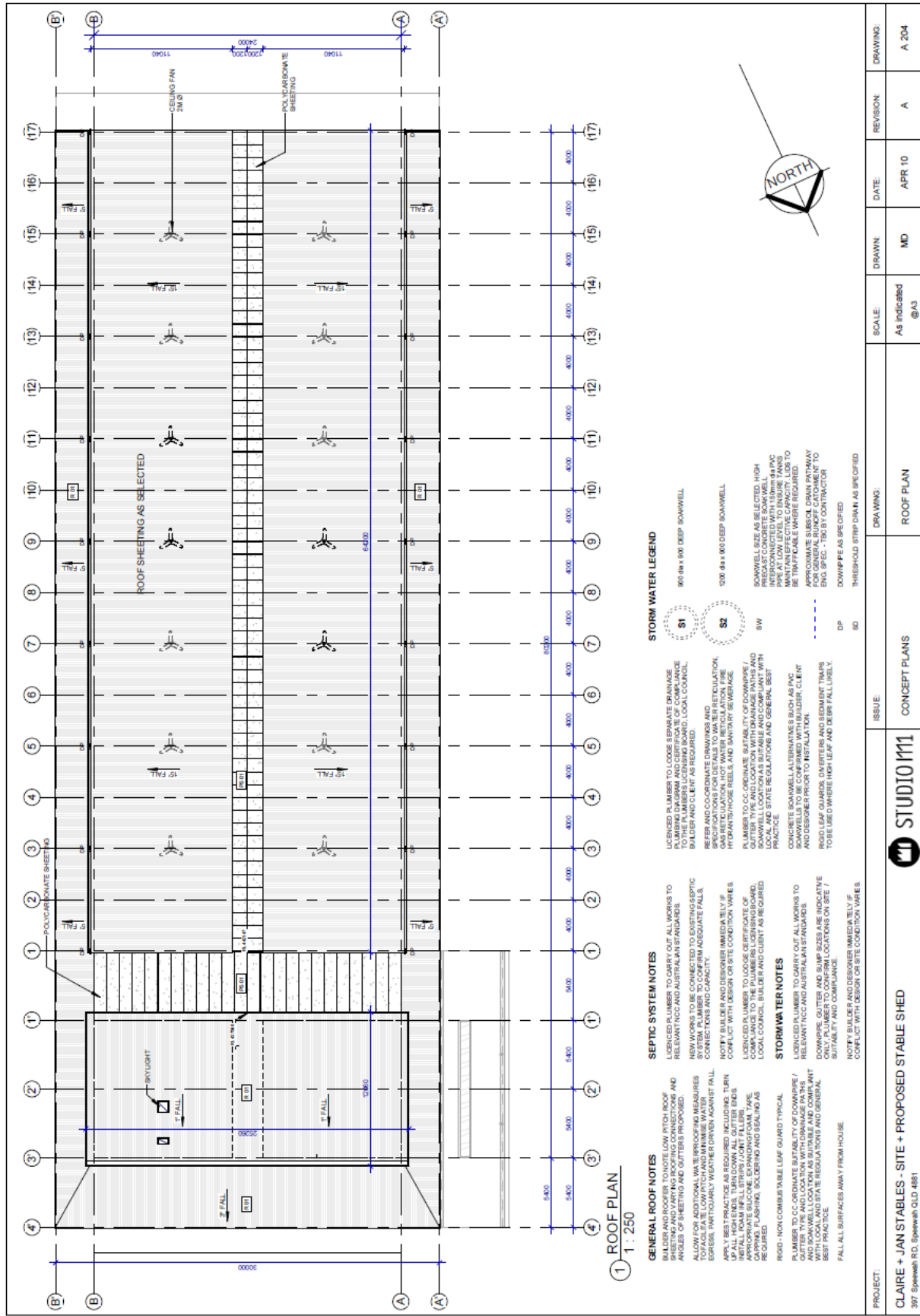


PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Spinneth RD, Spinneth QLD 4851	STUDIO 1111	SITE PLAN	As indicated @A3	MD	APR 10	A	A 102



1 FLOOR PLAN  
1 : 250

PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Spence Rd. Spence QLD 4851	STUDIO M1	FLOOR PLAN	1 : 250 @A3	MD	APR 10	A	A 202



1 ROOF PLAN  
1 : 250

**GENERAL ROOF NOTES**  
 BUILDER AND ROOFER TO NOTE LOW PITCH ROOF DESIGN. ALL ROOF JOISTS TO BE CUT AT ANGLES OF SHEETING AND GUTTERS PROPOSED. ALLOW FOR ADDITIONAL WATER PROOFING MEASURES TO FACILITATE LOW PITCH AND MINIMIZE WATER EXPLOSIVE, PARTICULARLY WEATHER DRIVEN AGAINST FALL.  
 APPLY BEST PRACTICE AS REQUIRED INCLUDING TURN APPROPRIATE BULKHEAD EXPANDING FOAM TYPE. REPAIR FLASHING, SOLDERING AND SEALING AS REQUIRED.  
 RIGID, NON-COMBUSTIBLE LEAK GUARD TYPICAL.  
 PLUMBER TO O/C OR LOCATE SPILLAGE / GUTTER TYPE AND LOCATION WITH DRAINAGE PATHS AND SOAKWELL LOCATION AS SUITABLE AND COMPLIANT WITH ALL APPLICABLE STATE REGULATIONS AND GENERAL BEST PRACTICE.  
 FALL ALL SURFACES AWAY FROM HOUSE.

**SEPTIC SYSTEM NOTES**  
 LICENCED PLUMBER TO CARRY OUT ALL WORKS TO RELEVANT NCC AND AUSTRALIAN STANDARDS. NEW WORKS TO BE CONNECTED TO EXISTING SEPTIC SYSTEM. PLUMBER TO CONFIRM ADEQUATE FALLS, CONNECTIONS AND CAPACITY.  
 NO WORKS TO BE CARRIED OUT WHERE THERE IS A CONFLICT WITH EXISTING OR SITE CONDITION VARIABLES.  
 LICENCED PLUMBER TO LOOSE, CERTIFICATE OF COMPLIANCE TO THE PLUMBERS, LICENSE BOARD, LOCAL COUNCIL, BUILDER AND CLIENT AS REQUIRED.  
**STORM WATER NOTES**  
 LICENCED PLUMBER TO CARRY OUT ALL WORKS TO RELEVANT NCC AND AUSTRALIAN STANDARDS. NEW WORKS TO BE CONNECTED TO EXISTING SEPTIC SYSTEM. PLUMBER TO CONFIRM ADEQUATE FALLS, CONNECTIONS AND CAPACITY.  
 NO WORKS TO BE CARRIED OUT WHERE THERE IS A CONFLICT WITH EXISTING OR SITE CONDITION VARIABLES.  
 LICENCED PLUMBER TO LOOSE, CERTIFICATE OF COMPLIANCE TO THE PLUMBERS, LICENSE BOARD, LOCAL COUNCIL, BUILDER AND CLIENT AS REQUIRED.  
**STORM WATER NOTES**  
 LICENCED PLUMBER TO CARRY OUT ALL WORKS TO RELEVANT NCC AND AUSTRALIAN STANDARDS. NEW WORKS TO BE CONNECTED TO EXISTING SEPTIC SYSTEM. PLUMBER TO CONFIRM ADEQUATE FALLS, CONNECTIONS AND CAPACITY.  
 NO WORKS TO BE CARRIED OUT WHERE THERE IS A CONFLICT WITH EXISTING OR SITE CONDITION VARIABLES.  
 LICENCED PLUMBER TO LOOSE, CERTIFICATE OF COMPLIANCE TO THE PLUMBERS, LICENSE BOARD, LOCAL COUNCIL, BUILDER AND CLIENT AS REQUIRED.

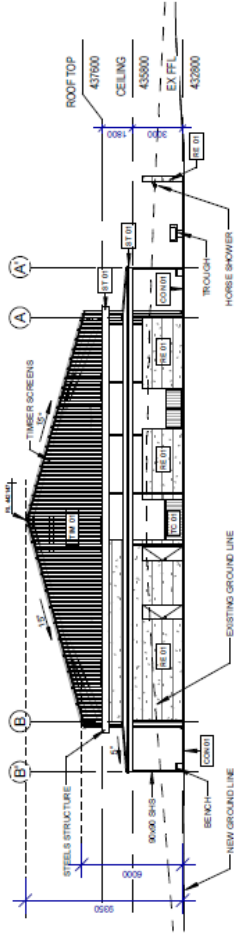
**SEPTIC SYSTEM NOTES**  
 LICENCED PLUMBER TO LOOSE SEPARATE DRAINAGE PLUMBING DIAGRAM AND CERTIFICATE OF COMPLIANCE TO THE PLUMBERS, LICENSE BOARD, LOCAL COUNCIL, BUILDER AND CLIENT AS REQUIRED.  
 REFER AND COORDINATE DRAWINGS AND SPECIFICATIONS FOR DETAILS TO WATER RETICULATION, HYDRAULIC HOSE RIGS, AND SANITARY AIR WARE.  
 PLUMBER TO O/C OR LOCATE SPILLAGE / GUTTER TYPE AND LOCATION WITH DRAINAGE PATHS AND SOAKWELL LOCATION AS SUITABLE AND COMPLIANT WITH ALL APPLICABLE STATE REGULATIONS AND GENERAL BEST PRACTICE.  
 CONCRETE SOAKWELL ALTERNATIVES SUCH AS PVC SOAKWELLS TO BE CONFIRMED WITH BUILDER, CLIENT AND DESIGNED PRIOR TO INSTALLATION.  
 ROAD LEAF GUARDS, DIVERTERS AND SEDIMENT TRAPS TO BE USED WHERE HIGH LEAF AND DEBRIS FALL LEVEL.

**STORM WATER LEGEND**  
 S1 900 88 x 100 DEEP SOAKWELL  
 S2 1200 88 x 90 DEEP SOAKWELL  
 SW SOAKWELL SIZE AS SELECTED HIGH INTERCONNECTED WITH 150mm 88 x PVC INTERCONNECTED WITH 150mm 88 x PVC. MUST MAINTAIN EFFECTIVE CAPACITY. LIDS TO BE TRAFFICABLE WHERE REQUIRED.  
 APPROXIMATE SUBSOIL DRAIN PATHWAY TO BE DETERMINED BY CONSULTING TO ENG. SPEC. - TRX BY CONTRACTOR.  
 DP DOWNPIPE AS SPECIFIED  
 SO THRESHOLD STRIP DRAIN AS SPECIFIED

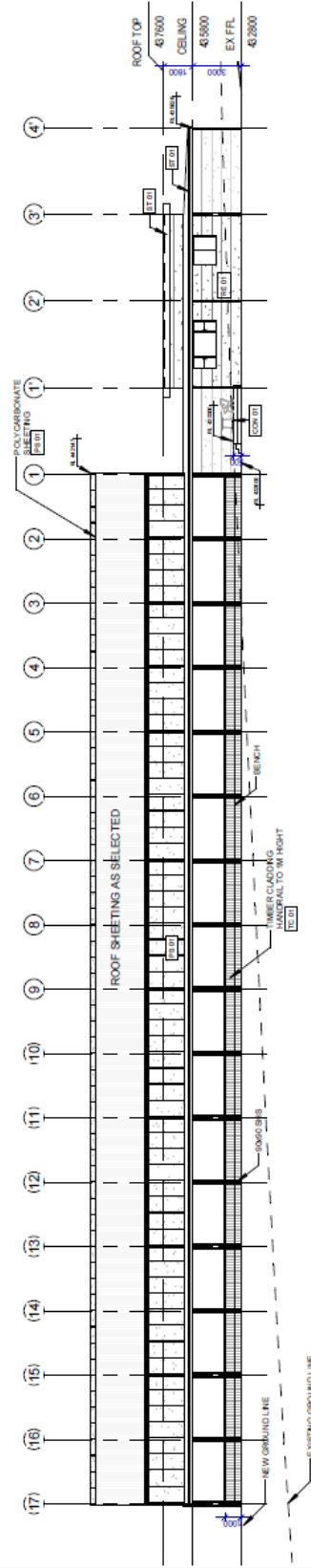
**STORM WATER LEGEND**  
 S1 900 88 x 100 DEEP SOAKWELL  
 S2 1200 88 x 90 DEEP SOAKWELL  
 SW SOAKWELL SIZE AS SELECTED HIGH INTERCONNECTED WITH 150mm 88 x PVC INTERCONNECTED WITH 150mm 88 x PVC. MUST MAINTAIN EFFECTIVE CAPACITY. LIDS TO BE TRAFFICABLE WHERE REQUIRED.  
 APPROXIMATE SUBSOIL DRAIN PATHWAY TO BE DETERMINED BY CONSULTING TO ENG. SPEC. - TRX BY CONTRACTOR.  
 DP DOWNPIPE AS SPECIFIED  
 SO THRESHOLD STRIP DRAIN AS SPECIFIED

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CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Spenceville RD, Spenceville QLD 4681	STUDIO M11	As Indicated @ A3	MD	APR 10	A	A 204
	CONCEPT PLANS					
	ROOF PLAN					



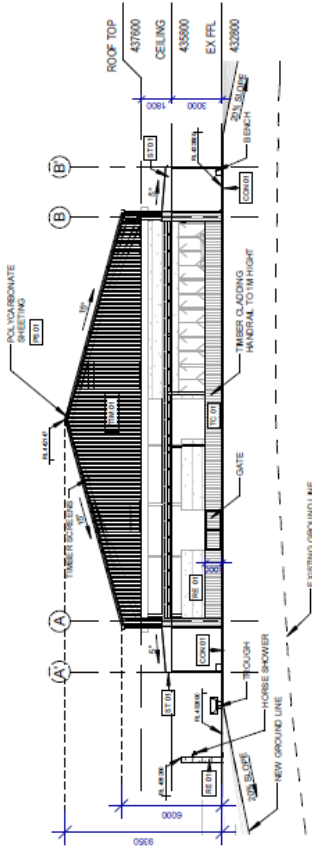


① SOUTH WEST ELEVATION  
1 : 250

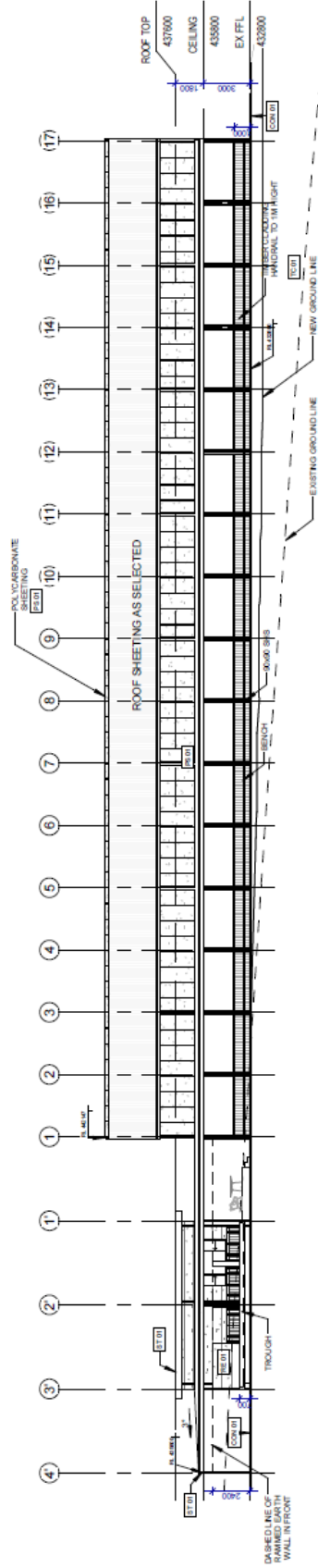


③ NORTH WEST ELEVATION  
1 : 250

PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Spenceville RD. Spenceville QLD 4851	STUDIO M1	ELEVATIONS	1 : 250 @A3	MD	APR 10	A	A 302

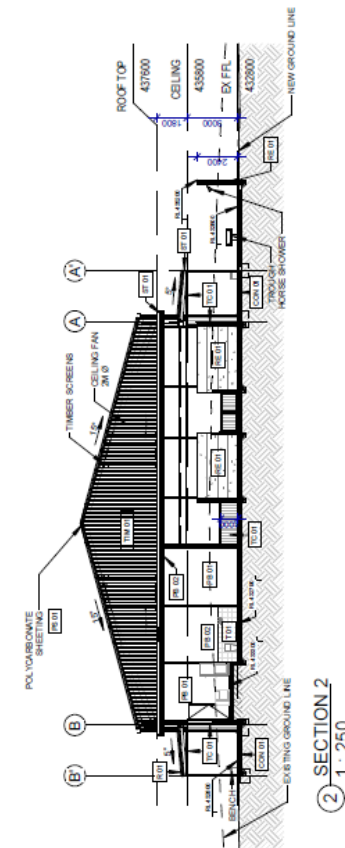


1 NORTH EAST ELEVATION  
1 : 250

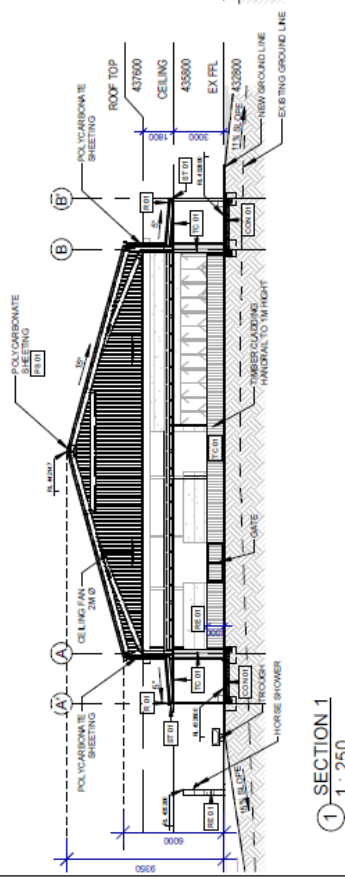


2 SOUTH EAST ELEVATION  
1 : 250

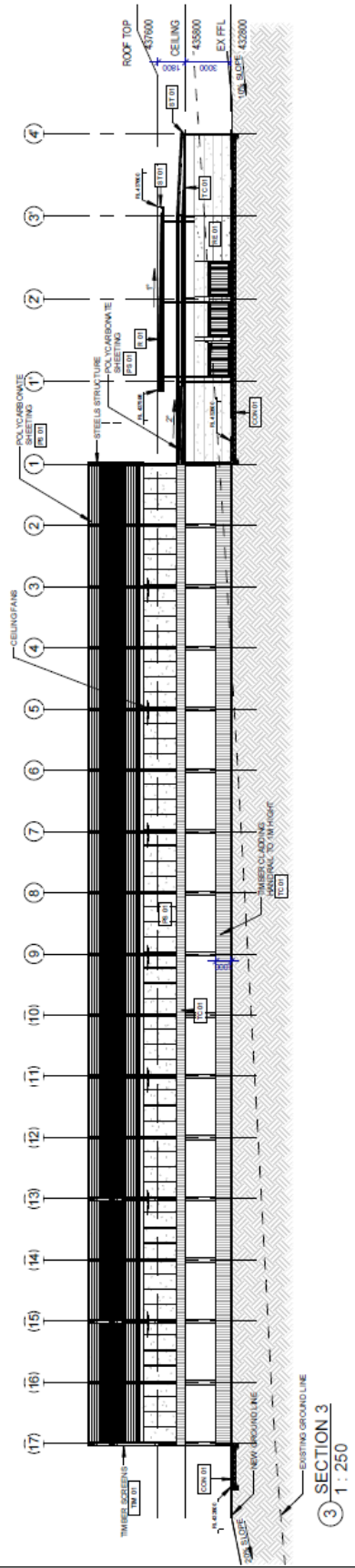
PROJECT:	STUDIO M11	ISSUE:	CONCEPT PLANS	DRAWING:	ELEVATIONS	SCALE:	1 : 250 @A3	DRAWN:	MD	DATE:	APR 10	REVISION:	A	DRAWING:	A 303
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED															
397 Spineath RD, Spineath QLD 4851															



1 SECTION 1  
1 : 250

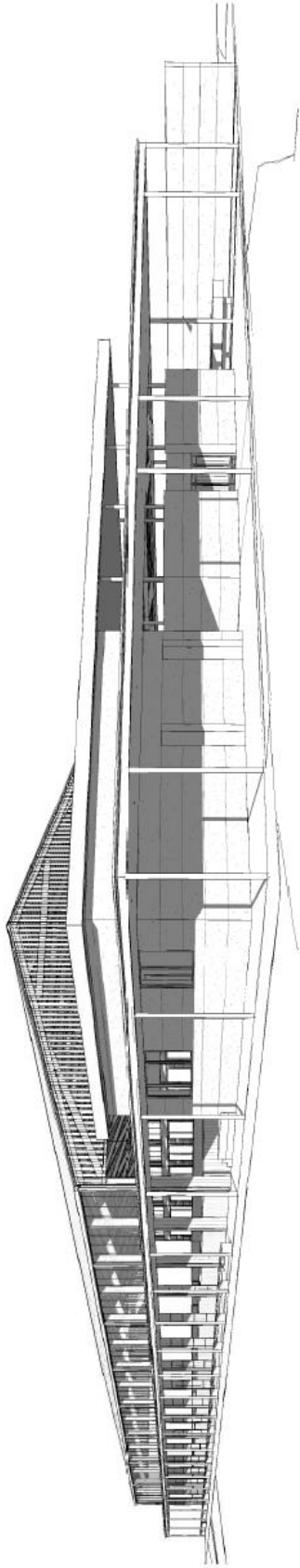


2 SECTION 2  
1 : 250

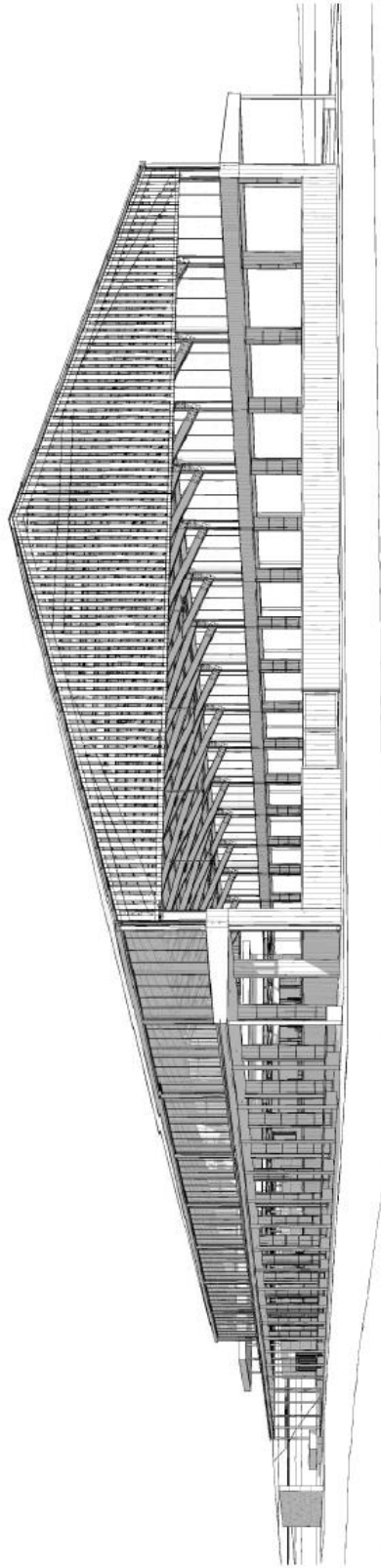


3 SECTION 3  
1 : 250

PROJECT:	ISSUE:	DRAWING:	SCALE:	DRAWN:	DATE:	REVISION:	DRAWING:
CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Spinneth RD, Spinneth QLD 4851	STUDIO M1	SECTIONS	1 : 250 @A3	MD	APR 10	A	A 401



① OVERVIEW PERSPECTIVE 1



② OVERVIEW PERSPECTIVE 2

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CLAIRE + JAN STABLES - SITE + PROPOSED STABLE SHED 397 Spenceville RD. Spenceville QLD 4851	STUDIO 1111	EXTERNAL PERSPECTIVE	@A3	MD	APR 10	A	A 900