



8 February 2023

Planning Officer: Carl Ewin
Direct Phone: 4086 4656
Our Reference: OPW/22/0009
Your Reference: F22/23 OPW

BTM & S Stankovich Pty Ltd
C/- Freshwater Planning Pty Ltd
17 Barron View Drive
FRESHWATER QLD 4870

Dear Applicants,

Decision Notice

Planning Act 2016

I refer to your application and advise that on 8 February 2023 under delegated authority, Council decided to approve the application in full subject to conditions.

Details of the decision are as follows:

APPLICATION DETAILS

Application No:	OPW/22/0009
Street Address:	Emerald End Road, Moondani Avenue and Karobean Drive, Mareeba
Real Property Description:	Lot 500 on SP336235
Planning Scheme:	Mareeba Shire Council Planning Scheme 2016

DECISION DETAILS

Type of Decision:	Approval
Type of Approval:	Development Permit for Operational Works (Roadworks, Stormwater, Water & Sewer Infrastructure, Drainage and Earthworks) for Development Permit RAL/22/0019 for <u>Stages 13A, 13B & 14A Only</u>
Date of Decision:	8 February 2023

CURRENCY PERIOD OF APPROVAL

The currency period for this development approval is two (2) years starting the day that this development approval takes effect. (Refer to Section 85 "Lapsing of approval at end of currency period" of the *Planning Act 2016*.)

INFRASTRUCTURE

Where conditions relate to the provision of infrastructure, these are non-trunk infrastructure conditions unless specifically nominated as a “*necessary infrastructure condition*” for the provision of trunk infrastructure as defined under Chapter 4 of the *Planning Act 2016*.

ASSESSMENT MANAGER CONDITIONS**(A) ASSESSMENT MANAGER’S CONDITIONS (COUNCIL)****For Stages 13A, 13B & 14A Only****1 General**

- 1.1 This development permit authorises works for **Stages 13A, 13B and 14A only** and does **not** authorise works for **Stage 14B**.
- 1.2 “For Construction” issue engineered drawings must be certified as approved by a suitably qualified Registered Professional Engineer of Queensland (RPEQ) and submitted to Council for review prior to the Pre-Start Meeting. The plans must be amended to include any changes required by these conditions of approval.
- 1.3 All operational works must be designed and constructed in accordance with the procedures as set out in the FNQROC Development Manual.
- 1.4 Development must be carried out substantially in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, and subject to any alterations:
 - found necessary by the Council’s Delegated Officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements;
 - to ensure the works comply in all respects with the requirements and procedures of the FNQROC Development Manual, Queensland Urban Drainage Manual and good engineering practice; and
 - to ensure compliance with the following conditions of approval.
- 1.5 Council’s examination of the documents should not be taken to mean that the documents have been checked in detail and Council takes no responsibility for their accuracy. If during construction, inadequacies of the design are discovered, it is the responsibility of the Principal Consulting Engineer to resubmit amended plans to Council for approval and rectify works accordingly.
- 1.6 All earthworks must be undertaken in accordance with Australian Standard 3798-2007, guidelines on Earthworks for Commercial and Residential Developments; additionally, further certification is to occur when works are

completed and test results are compiled. This information must be provided to Council prior to Works Acceptance.

Finished design levels and gradients over each allotment must be generally in accordance with those shown on drawings *AP-ST1314-C26 Rev. B*, *AP-ST1314-C27 Rev. B* and *AP-ST1314-C28 Rev. B* included in the approved plans.

- 1.7 The use of polypropylene stormwater piping or equivalent is **not permitted**. Details of stormwater piping material must be submitted to Council for approval prior to Pre-Start Meeting.
- 1.8 All water main road crossings must be constructed in ductile iron cement mortar lined (DICL) piping.
- 1.9 A street tree plan is to be provided to Council for review and approval prior to the Pre-Start Meeting occurring. The street tree plan must include 1 street tree located in the centre of each allotment frontage, on each side of the road. Corner lots must have a street tree on each frontage. The street tree species used must be approved by Council's delegated officer.

The final "for construction" plans, in particular the "typical cross section and detail plans" must be amended to include street trees to ensure their position and alignment does not interfere with any other service infrastructure.

- 1.10 The final "for construction" plans (including the "typical cross section and detail plans" and "cross section plans") must be amended so that pedestrian footpath locations and alignments comply with *Condition 4.4 – Roadworks/footpaths – Internal* of Development Permit RAL/22/0019, to the satisfaction of Council's delegated officer.

All pedestrian footpaths including the location of kerb ramps must be constructed in accordance with Australian Standard AS1428.1, to the satisfaction of Council's delegated officer.

- 1.11 Lighting in all 3 stages must be designed to a P4 standard under the FNQROC Development Manual. Street lights along Karobean Drive must be installed on the opposite side to the footpath only.
- 1.12 Domestic water service connections must be installed to comply with the original issue of Standard Drawing S2060 (unamended). Domestic water service connections must be installed on the opposite boundary to the electrical service infrastructure.

Separate approval may be sought for co-location of water service connections and electrical service infrastructure. Such a request must be accompanied by an engineered design endorsed by a suitably qualified RPEQ. If approved, the consulting engineer must also provide final certification that the constructed works comply with the endorsed design prior to works acceptance.

2 Pre-start Meeting

- 2.1 In addition to the requirements of Clause CP1.07 and CP1.08 of the FNQROC Development Manual; after documentation has been approved by Council, a pre-start meeting is to be held on site prior to the commencement of work. Part 1 of the **attached** pre-start meeting pro-forma is to be completed and returned prior to the meeting including clause 1.u 'Request for Meeting' together with the prescribed Construction Monitoring Fee as set out in Council's Schedule of Fees.

3 Inspections

- 3.1 Inspections are to be carried out as detailed in the FNQROC Manual unless advised otherwise at the pre-start meeting.

4 Construction Security Bond and Defects Liability Bond

- 4.1 In addition to Clauses CP1.06 and CP1.20 of the FNQROC Development Manual; the Construction Security Bond and Defects Liability Bond shall each be a minimum of \$1000 and Bank Guarantees shall have no termination date.
- 4.2 During the Defects Liability period, it is the responsibility of the developer to rectify any works found to be defective due to design faults and or found to exhibit faults attributed to the performance of the construction activities in terms of quality and conformance with design and specifications. The bond will be returned on satisfactory correction of any defective work and after expiration of the maintenance period. Failure to comply with a Council issued instruction to correct defective work may result in the call up of the bond to have the work completed.

5 Hours of Work

- 5.1 Work involving the operation of construction plant and equipment of any description, shall only be carried out on site during the following times:
- 7.00am to 6.00pm, Monday to Friday;
 - 7.00am to 1.00pm Saturdays;
 - No work is permitted on Sundays or Public Holidays.
- 5.2 No variation to the above working hours is allowed unless otherwise agreed in writing by Council.

6 Transportation of Soil

- 6.1 All soil transported to or from the site must be covered to prevent dust or spillage during transport. If soil is tracked or spilt onto the road pavement from works on the subject land, it must be removed no later than at the end of each working day. Sediment must not enter Council's stormwater drainage network.

REFERRAL AGENCIES

Not Applicable.

APPROVED PLANS

The following plans are Approved plans for the development:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
AP-ST1314-C01 Rev. B	Cover Sheet, Site Plan and Drawing List	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C02 Rev. B	Overall Site Plan – Stages 13 & 14	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C03 Rev. B	Roadworks and Drainage Layout Plan – Stage 13A	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C04 Rev. B	Roadworks and Drainage Layout Plan – Stage 13B	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C05 Rev. B	Roadworks and Drainage Layout Plan – Stage 14A	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C07 Rev. B	Road Centre Line Setout Tables	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C08 Rev. B	Intersection & Cul-de-sac Details Sheet 1 of 3	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C09 Rev. B	Intersection Details Sheet 2 of 3	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C10 Rev. B	Intersection & Cul-de-sac Details Sheet 3 of 3	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C11 Rev. B	Intersection & Cul-de-sac Setout Tables	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C12 Rev. B	Typical Cross Sections and Details	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C13 Rev. B	Longitudinal Section – Karobean Avenue	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C14 Rev. B	Cross Section – Karobean Avenue – Sheet 1 of 4	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C15 Rev. B	Cross Section – Karobean Avenue – Sheet 2 of 4	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C16 Rev. B	Cross Section – Karobean Avenue – Sheet 3 of 4	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C17 Rev. B	Cross Section – Karobean Avenue – Sheet 4 of 4	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C18 Rev. B	Longitudinal Section – Moondani Avenue	Robin Mansinger Civil Design Consultant	November 2022
AP-ST1314-C19 Rev. B	Cross Sections – Moondani Avenue – Sheet 1 of 2	Robin Mansinger Civil Design Consultant	November 2022

AP-ST1314-C20 Rev. B	Cross Sections – Moondani Avenue – Sheet 2 of 2	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C21 Rev. B	Longitudinal Sections – Road 3 & Allambee Close	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C22 Rev. B	Cross Section – Road 3	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C23 Rev. B	Cross Sections – Allambee Close – Sheet 1 of 2	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C24 Rev. B	Cross Sections – Allambee Close – Sheet 2 of 2	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C25 Rev. B	Overall Earthworks Plan – Stages 13 & 14	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C26 Rev. B	Earthworks Plan – Stage 13A	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C27 Rev. B	Earthworks Plan – Stage 13B	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C28 Rev. B	Earthworks Plan – Stage 14A	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C30 Rev. B	Stormwater Drainage Catchment Plan	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C31 Rev. B	Stormwater Drainage – Longitudinal Sections – Sheet 1 of 3	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C32 Rev. B	Stormwater Drainage – Longitudinal Sections – Sheet 2 of 3	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C33 Rev. B	Stormwater Drainage – Longitudinal Sections – Sheet 3 of 3	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C34 Rev. B	Stormwater Drainage – Calculations Table – Sheet 1 of 3	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C35 Rev. B	Stormwater Drainage – Calculations Table – Sheet 2 of 3	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C36 Rev. B	Stormwater Drainage – Calculations Table – Sheet 3 of 3	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C37 Rev. B	Stormwater Drainage Catchment Table, Structures Schedule and Pipe Table	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-C38 Rev. B	Stormwater Drainage Structures Details Plan	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-S01 Rev. B	Sewerage Reticulation – Layout Plan – Stage 13A – Sheet 1 of 5	Robin Mansinger Design Consultant	Civil	November 2022

AP-ST1314-S02 Rev. B	Sewerage Reticulation – Layout Plan – Stage 13B – Sheet 2 of 5	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-S03 Rev. B	Sewerage Reticulation – Layout Plan – Stage 14A – Sheet 3 of 5	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-S05 Rev. B	Sewerage Reticulation – Layout Plan – Sheet 5 of 5	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-S06 Rev. B	Sewerage Reticulation – Longitudinal Sections – Sheet 1 of 3	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-S07 Rev. B	Sewerage Reticulation – Longitudinal Sections – Sheet 2 of 3	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-S08 Rev. B	Sewerage Reticulation – Longitudinal Sections – Sheet 3 of 3	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-W01 Rev. B	Water Reticulation Plan – Stage 13A	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-W01 Rev. B	Water Reticulation Plan – Stage 13B	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-W01 Rev. B	Water Reticulation Plan – Stage 14A	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-EC01 Rev. B	Erosion and Sediment Control Plan – Stage 13 & 14	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-EC02 Rev. B	Erosion and Sediment Control General Notes Plan	Robin Mansinger Design Consultant	Civil	November 2022
AP-ST1314-EC03 Rev. B	Erosion and Sediment Control General Details Plan	Robin Mansinger Design Consultant	Civil	November 2022

FURTHER DEVELOPMENT PERMITS REQUIRED

Not Applicable.

SUBMISSIONS

Not Applicable.

RIGHTS OF APPEAL

You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* is attached.

During the appeal period, you as the applicant may suspend your appeal period and make written representations to council about the conditions contained within the development approval. If council agrees or agrees in part with the representations, a “negotiated decision notice” will be issued.

Only one "negotiated decision notice" may be given. Taking this step will defer your appeal period, which will commence again from the start the day after you receive a "negotiated decision notice".

OTHER DETAILS

If you wish to obtain more information about Council's decision, electronic copies are available on line at www.msc.qld.gov.au, or at Council Offices.

Yours faithfully

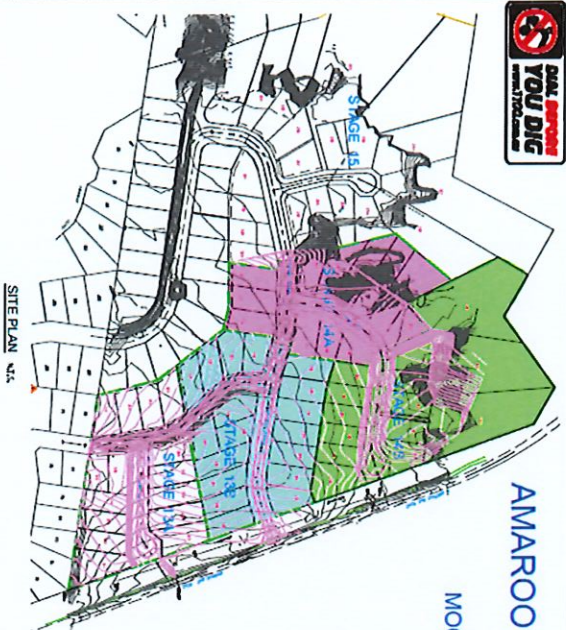


BRIAN MILLARD
SENIOR PLANNER

Enc: Approved Plans/Documents
Appeal Rights

Approved Plans/Documents

FILE E:\COO\AM\mareeba\Amaroo Parks Stage 13 & 14 Final Drawings\AP-ST1314-MODL.dwg



AMAROO RESIDENTIAL DEVELOPMENT

STAGES 13 & 14

MOONDANI AVENUE, MAREEBA
Mareeba Shire Council

STAGE 13A - 15 ALLOTMENTS
STAGE 13B - 18 ALLOTMENTS
STAGE 14A - 12 ALLOTMENTS
STAGE 14B - 14 ALLOTMENTS

Drawing Number	Rev	Description
FINROC STANDARD DRAWINGS		
S1015	B	ACCESS CROSSOVERS
S1016	E	KERB PAVEMENT
S1017	F	GRADED KERB INLET PIP PIPE DIA. 400
S1018	D	GRADED KERB INLET PIP PIPE DIA. 400
S1019	B	STORMWATER MANHOLES 1050 & 1500
S2000	C	VALVE BOX INSTALLATION
S2001	C	HYDRANT BOX INSTALLATION
S2002	B	KERBROAD MARKERS
S2003	B	WATER RETICULATION BEDDING DETAILS
S2004	C	SEWERAGE CONNECTION DETAILS
S2005	C	STANDARD HOUSE CONNECTION BRANCHES
S2006	C	SEWERAGE CONNECTION BRANCHES
S2007	C	BEDDING AND TRENCHING DETAILS - SEWERAGE

ISSUE FOR APPROVAL

Drawing Number	Drawing Description
AP-ST1314-C01	COVER SHEET - SITE PLAN AND DRAWING LIST
AP-ST1314-C02	OVERALL SITE PLAN - STAGES 13 & 14
AP-ST1314-C03	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13A
AP-ST1314-C04	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13B
AP-ST1314-C05	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13C
AP-ST1314-C06	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13D
AP-ST1314-C07	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13E
AP-ST1314-C08	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13F
AP-ST1314-C09	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13G
AP-ST1314-C10	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13H
AP-ST1314-C11	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13I
AP-ST1314-C12	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13J
AP-ST1314-C13	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13K
AP-ST1314-C14	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13L
AP-ST1314-C15	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13M
AP-ST1314-C16	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13N
AP-ST1314-C17	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13O
AP-ST1314-C18	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13P
AP-ST1314-C19	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13Q
AP-ST1314-C20	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13R
AP-ST1314-C21	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13S
AP-ST1314-C22	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13T
AP-ST1314-C23	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13U
AP-ST1314-C24	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13V
AP-ST1314-C25	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13W
AP-ST1314-C26	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13X
AP-ST1314-C27	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13Y
AP-ST1314-C28	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 13Z
AP-ST1314-C29	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14A
AP-ST1314-C30	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14B
AP-ST1314-C31	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14C
AP-ST1314-C32	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14D
AP-ST1314-C33	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14E
AP-ST1314-C34	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14F
AP-ST1314-C35	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14G
AP-ST1314-C36	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14H
AP-ST1314-C37	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14I
AP-ST1314-C38	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14J
AP-ST1314-C39	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14K
AP-ST1314-C40	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14L
AP-ST1314-C41	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14M
AP-ST1314-C42	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14N
AP-ST1314-C43	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14O
AP-ST1314-C44	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14P
AP-ST1314-C45	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14Q
AP-ST1314-C46	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14R
AP-ST1314-C47	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14S
AP-ST1314-C48	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14T
AP-ST1314-C49	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14U
AP-ST1314-C50	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14V
AP-ST1314-C51	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14W
AP-ST1314-C52	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14X
AP-ST1314-C53	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14Y
AP-ST1314-C54	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 14Z
AP-ST1314-C55	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15A
AP-ST1314-C56	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15B
AP-ST1314-C57	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15C
AP-ST1314-C58	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15D
AP-ST1314-C59	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15E
AP-ST1314-C60	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15F
AP-ST1314-C61	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15G
AP-ST1314-C62	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15H
AP-ST1314-C63	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15I
AP-ST1314-C64	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15J
AP-ST1314-C65	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15K
AP-ST1314-C66	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15L
AP-ST1314-C67	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15M
AP-ST1314-C68	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15N
AP-ST1314-C69	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15O
AP-ST1314-C70	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15P
AP-ST1314-C71	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15Q
AP-ST1314-C72	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15R
AP-ST1314-C73	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15S
AP-ST1314-C74	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15T
AP-ST1314-C75	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15U
AP-ST1314-C76	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15V
AP-ST1314-C77	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15W
AP-ST1314-C78	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15X
AP-ST1314-C79	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15Y
AP-ST1314-C80	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 15Z
AP-ST1314-C81	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16A
AP-ST1314-C82	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16B
AP-ST1314-C83	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16C
AP-ST1314-C84	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16D
AP-ST1314-C85	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16E
AP-ST1314-C86	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16F
AP-ST1314-C87	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16G
AP-ST1314-C88	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16H
AP-ST1314-C89	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16I
AP-ST1314-C90	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16J
AP-ST1314-C91	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16K
AP-ST1314-C92	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16L
AP-ST1314-C93	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16M
AP-ST1314-C94	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16N
AP-ST1314-C95	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16O
AP-ST1314-C96	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16P
AP-ST1314-C97	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16Q
AP-ST1314-C98	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16R
AP-ST1314-C99	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16S
AP-ST1314-C00	ROADWORKS AND DRAINAGE LAYOUT PLAN - STAGE 16T

Robin Mansinger
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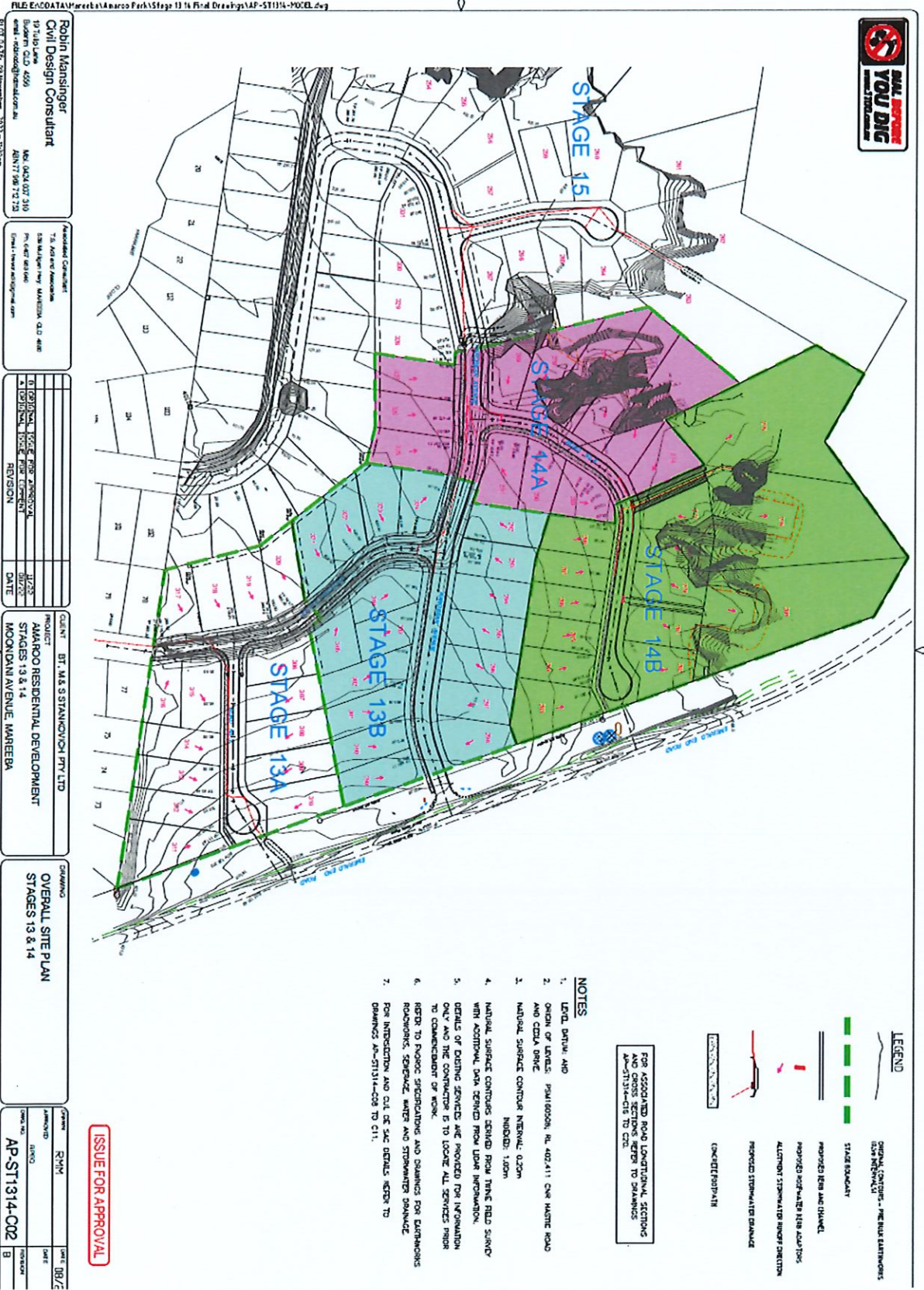
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Mobile: (07) 4087 311
Email: robin@robinm.com.au

NO.	DATE	BY	REVISION
1	12/25/22	AP	ISSUE FOR APPROVAL

CLIENT: BT, M & S STANOVICH PTY LTD
PROJECT: AMAROO RESIDENTIAL DEVELOPMENT STAGES 13 & 14
MOONDANI AVENUE, MAREEBA

DRAWING:
COVER SHEET, SITE PLAN
AND DRAWING LIST

DATE	BY	REVISION
12/25/22	AP	ISSUE FOR APPROVAL



FILE E:\COATAM\mareeba\amaro Park\Stage 13 14 Final Drawings\AP-ST1314-002.dwg
 19/10/2024
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 ABN: 71 988 72 728

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 Ph: 08 427 83146
 Email: helen@hogan.com.au

REVISION	DATE	BY	CHKD
1	19/10/2024	RM	RM
2	19/10/2024	RM	RM
3	19/10/2024	RM	RM
4	19/10/2024	RM	RM
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13	19/10/2024	RM	RM
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CLIENT: BT. M.A. S STAVNOVICH PTY LTD
 PRODUCT: AMARO RESIDENTIAL DEVELOPMENT
 STAGES 13 & 14
 MOONDIAN AVENUE, MAREEBA

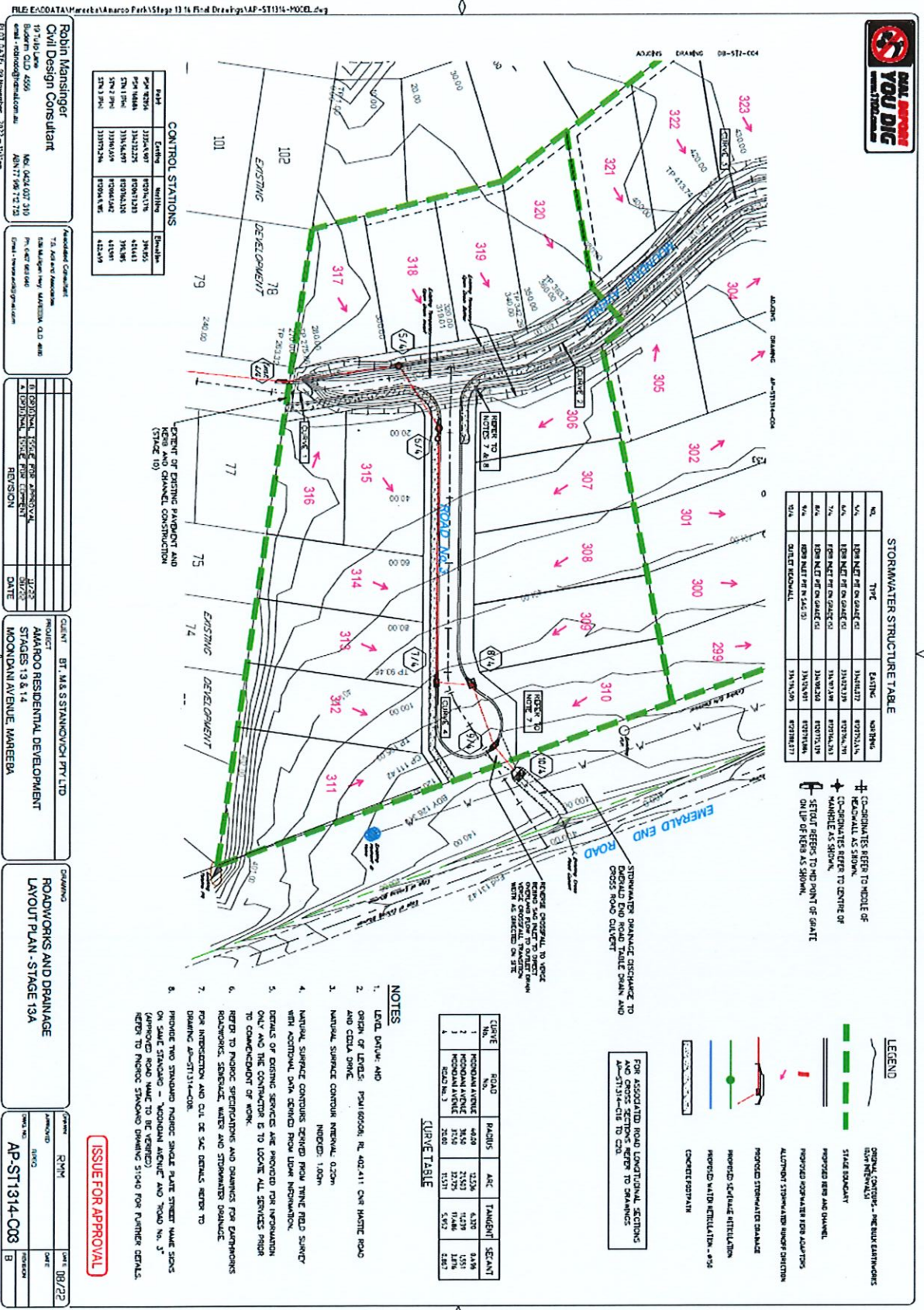
DRAWING: OVERALL SITE PLAN
 STAGES 13 & 14

REVISED	BY	DATE
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49	RM	19/10/2024
50	RM	19/10/2024

- NOTES**
1. LOCAL AUTHORITY APPROVAL
 2. CHECK OF LOTS: 9541/05/024, RL 402.411 CIVIL SERVICE ROAD AND CIVIL SERVICE
 3. NATURAL SURFACE CONTOUR INTERVAL: 0.20M
INDEXED: 1:200
 4. NATURAL SURFACE CONTOURS DERIVED FROM TRIMBLE FIELD SURVEY WITH ACOPTICAL DATA DERIVED FROM LIGHT IMAGERATION.
 5. DETAILS OF EXISTING SERVICES ARE PROVIDED FOR INFORMATION ONLY AND THE CONTRACTOR IS TO LOCATE ALL SERVICES PRIOR TO COMMENCEMENT OF WORK.
 6. REFER TO PROPOSED SPECIFICATIONS AND DRAWINGS FOR EXISTING SERVICES: ROADWORKS, SEWERAGE, WATER AND STORMWATER DRAINAGE.
- FOR INFORMATION AND CALL TO SEE DETAILS REFER TO DRAWINGS AP-ST1314-002 TO C11.

FOR ASSIGNED ROAD LAYOUTS, SECTIONS AND DETAILS REFER TO DRAWINGS AP-ST1314-002 TO C11.

ISSUE FOR APPROVAL



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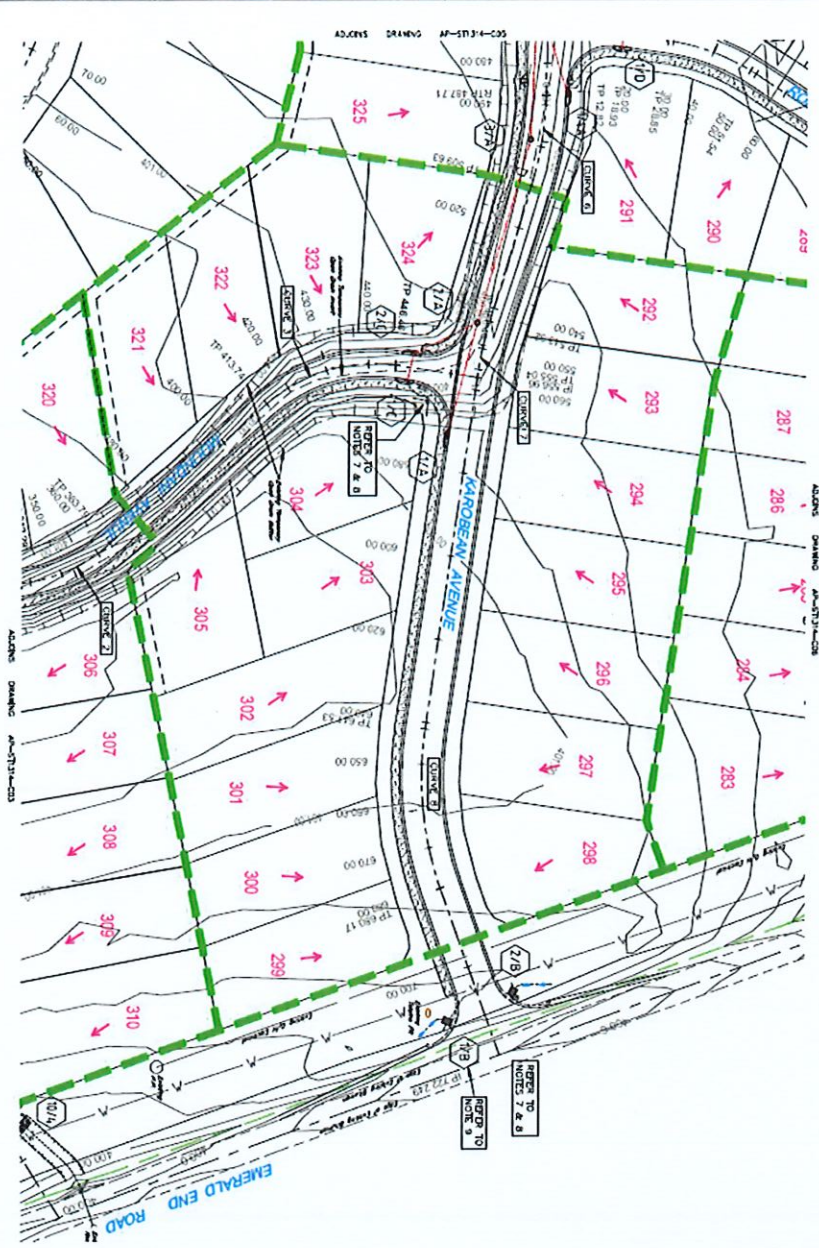
REVISION	DATE	BY	DESCRIPTION
1	12/25/22	RM	ISSUE FOR APPROVAL
2	12/25/22	RM	ISSUE FOR APPROVAL

CLIENT: BT, M & S STANOVICH PTY LTD
PROJECT: AARMO RESIDENTIAL DEVELOPMENT
STAGES 1, 3 & 14
MOONDIAN AVENUE, MAREEBA

DRAWING: ROADWORKS AND DRAINAGE
LAYOUT PLAN - STAGE 13B

DATE	BY	REVISION
18/12/22	RM	ISSUE FOR APPROVAL
18/12/22	RM	ISSUE FOR APPROVAL

ISSUE FOR APPROVAL



STORMWATER STRUCTURE TABLE

No.	Type	Location	Heighting
1/1A	ROAD NETWORK GATE 15	117/12/22	EXISTING
2/1A	ROAD NETWORK GATE 15	117/12/22	EXISTING
2/1B	ROAD NETWORK GATE 15	117/12/22	EXISTING
2/1C	ROAD NETWORK GATE 15	117/12/22	EXISTING
2/1D	ROAD NETWORK GATE 15	117/12/22	EXISTING
2/1E	ROAD NETWORK GATE 15	117/12/22	EXISTING
2/1F	ROAD NETWORK GATE 15	117/12/22	EXISTING
2/1G	ROAD NETWORK GATE 15	117/12/22	EXISTING
2/1H	ROAD NETWORK GATE 15	117/12/22	EXISTING
2/1I	ROAD NETWORK GATE 15	117/12/22	EXISTING
2/1J	ROAD NETWORK GATE 15	117/12/22	EXISTING

COORDINATES REFER TO MIDDLE OF HIGHWAY/ALL AS SHOWN
 COORDINATES REFER TO CENTER OF HIGHWAY/ALL AS SHOWN
 STREET CENTERLINE TO POINT OF GATE ON UP OF ROAD AS SHOWN

CONTROL STATIONS

Point	Chainage	Stationing	Stationing
1/1A	117/12/22	117/12/22	117/12/22
2/1A	117/12/22	117/12/22	117/12/22
2/1B	117/12/22	117/12/22	117/12/22
2/1C	117/12/22	117/12/22	117/12/22
2/1D	117/12/22	117/12/22	117/12/22
2/1E	117/12/22	117/12/22	117/12/22
2/1F	117/12/22	117/12/22	117/12/22
2/1G	117/12/22	117/12/22	117/12/22
2/1H	117/12/22	117/12/22	117/12/22
2/1I	117/12/22	117/12/22	117/12/22
2/1J	117/12/22	117/12/22	117/12/22

LEGEND

- SIGNAL CONTOURS - METERS EARTHWORKS (AS SHOWN)
- STAKE BOUNDARY
- PROPOSED ROAD AND CHANNEL
- PROPOSED BOUNDARY LINE
- ALIGNMENT - STORMWATER DRAINAGE
- PROPOSED STORMWATER DRAINAGE
- PROPOSED DRAINAGE STRUCTURE
- PROPOSED WATER RETENTION STRUCTURE
- CENTER PROGRAM

FOR ASSIGNED ROAD LONGITUDINAL SECTIONS AND CROSS SECTIONS REFER TO DRAWINGS AP-ST1314-C11 TO C16.

CURVE TABLE

Curve No.	Road No.	Radius	ARC	TANGENT	SECANT
1	ROADWORKS	1125	1125	1125	1125
2	ROADWORKS	1125	1125	1125	1125
3	ROADWORKS	1125	1125	1125	1125
4	ROADWORKS	1125	1125	1125	1125
5	ROADWORKS	1125	1125	1125	1125
6	ROADWORKS	1125	1125	1125	1125
7	ROADWORKS	1125	1125	1125	1125
8	ROADWORKS	1125	1125	1125	1125
9	ROADWORKS	1125	1125	1125	1125

- NOTES**
- LEVEL DATUM: AHD
 - CHAIN OF LINDS: POSITIONED TO 402.411 ON HIGHWAY ROAD AND CROSS SECTION
 - NATURAL SURFACE CONTOUR INTERVAL: 0.20m
 - NATURAL SURFACE CONTOUR INTERVAL: 1.00m
 - NATURAL SURFACE CONTOURS DERIVED FROM TYPICAL FIELD SURVEY WITH ADDITIONAL DATA DERIVED FROM LIDAR INFORMATION
 - DETAILS OF DRAIN SERVICES ARE PROVIDED FOR INFORMATION ONLY AND THE CONTRACTOR IS TO LOCATE ALL SERVICES PRIOR TO COMMENCEMENT OF WORK
 - REFER TO FINISH SPECIFICATIONS AND DRAWINGS FOR EXISTING ROADWORKS, SIDEWALK, WATER AND STORMWATER DRAINAGE FOR INTERSECTION AND ALL DE SIGN DETAILS REFER TO DRAWINGS AP-ST1314-C09 & C10
 - PROVIDE TWO STANDARD ROADWORKS SINGLE PLATE STREET WALK SIGNS ON EACH SIDE OF "MOONDIAN AVENUE" AND "KAROOSMAN AVENUE" REFER TO PROPOSED STANDARD DRAWING STORE FOR FURTHER DETAILS
 - AT LOCATIONS 1/1A AND 2/1B PROVIDE 1000MM AND CHANNEL OPENING AT DRAIN ROAD PAVEMENT AND STREET RUNOFF TO DRAINAGE TABLE DRAINAGE. REFER TO DWG AP-ST1314-C10 FOR FURTHER DETAILS

FILE: E:\CADDATA\mareeba\amaroo park\stage 13 14 final drawings\AP-ST1314-008.dwg

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ANVT 798 712 725
PLOT DATE: 01 November, 2022 - Nelson

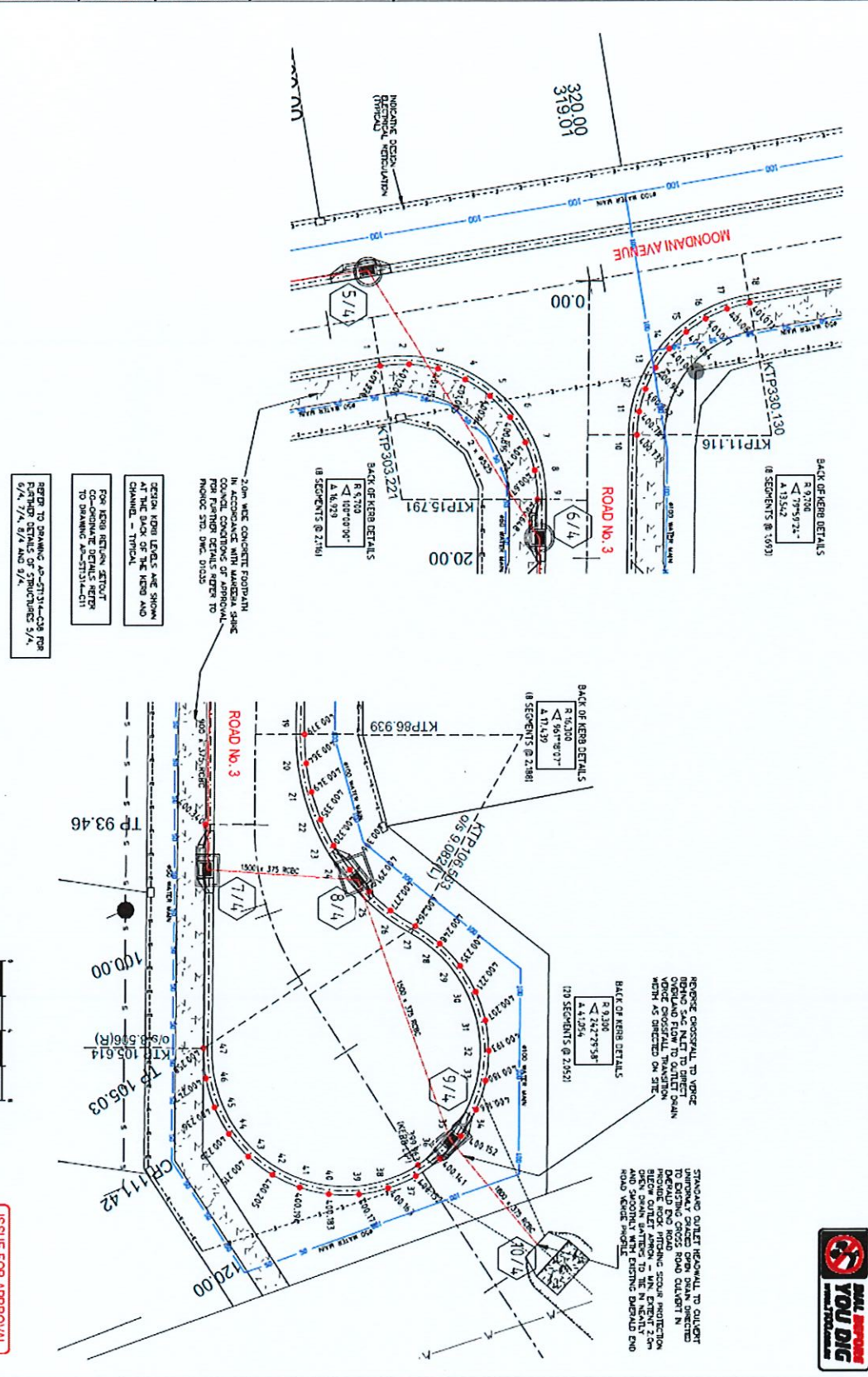
Approved Consultant
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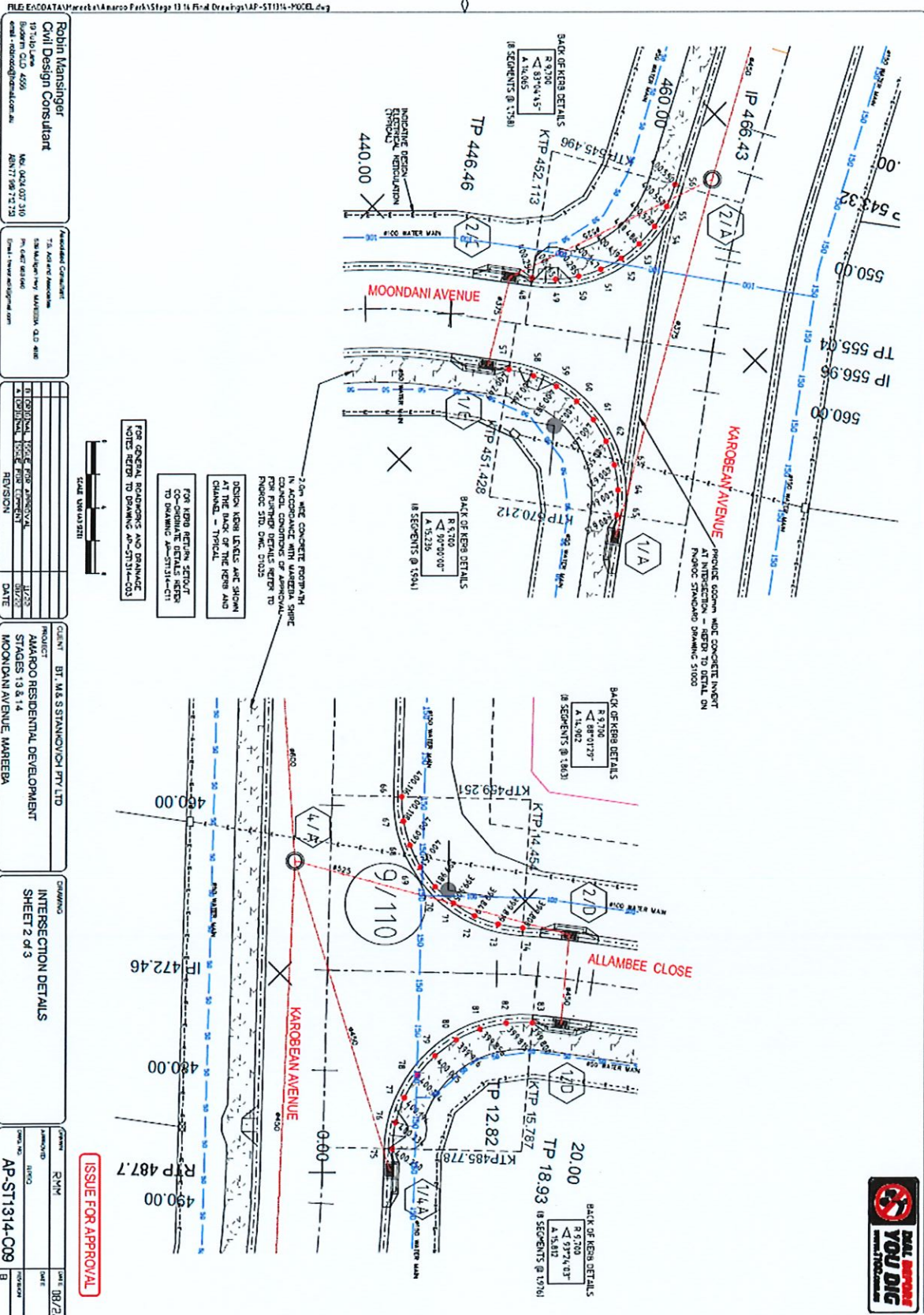
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CLIENT: BT, M&S STANOVICH PTY LTD
PROJECT: AMAROO RESIDENTIAL DEVELOPMENT
STAGES 13 & 14
MOONDAMI AVENUE, MAREEBA

DRAWING: INTERSECTION AND CUL DE SAC DETAILS
SHEET 1 of 3

ISSUE FOR APPROVAL
DRAWN: RHM
CHECKED: LINDY
DATE: 08/22
PROJECT NO: AP-ST1314-008
SHEET NO: 15





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REVISION	DATE
1	12/03/2022
2	12/03/2022
3	12/03/2022
4	12/03/2022
5	12/03/2022
6	12/03/2022
7	12/03/2022
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9	12/03/2022
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CLIENT BT, MA S STANOVICH PTY LTD
PROJECT AMAROO RESIDENTIAL DEVELOPMENT STAGES 13 & 14
LOCATION MOONDANI AVENUE, MAREEBA

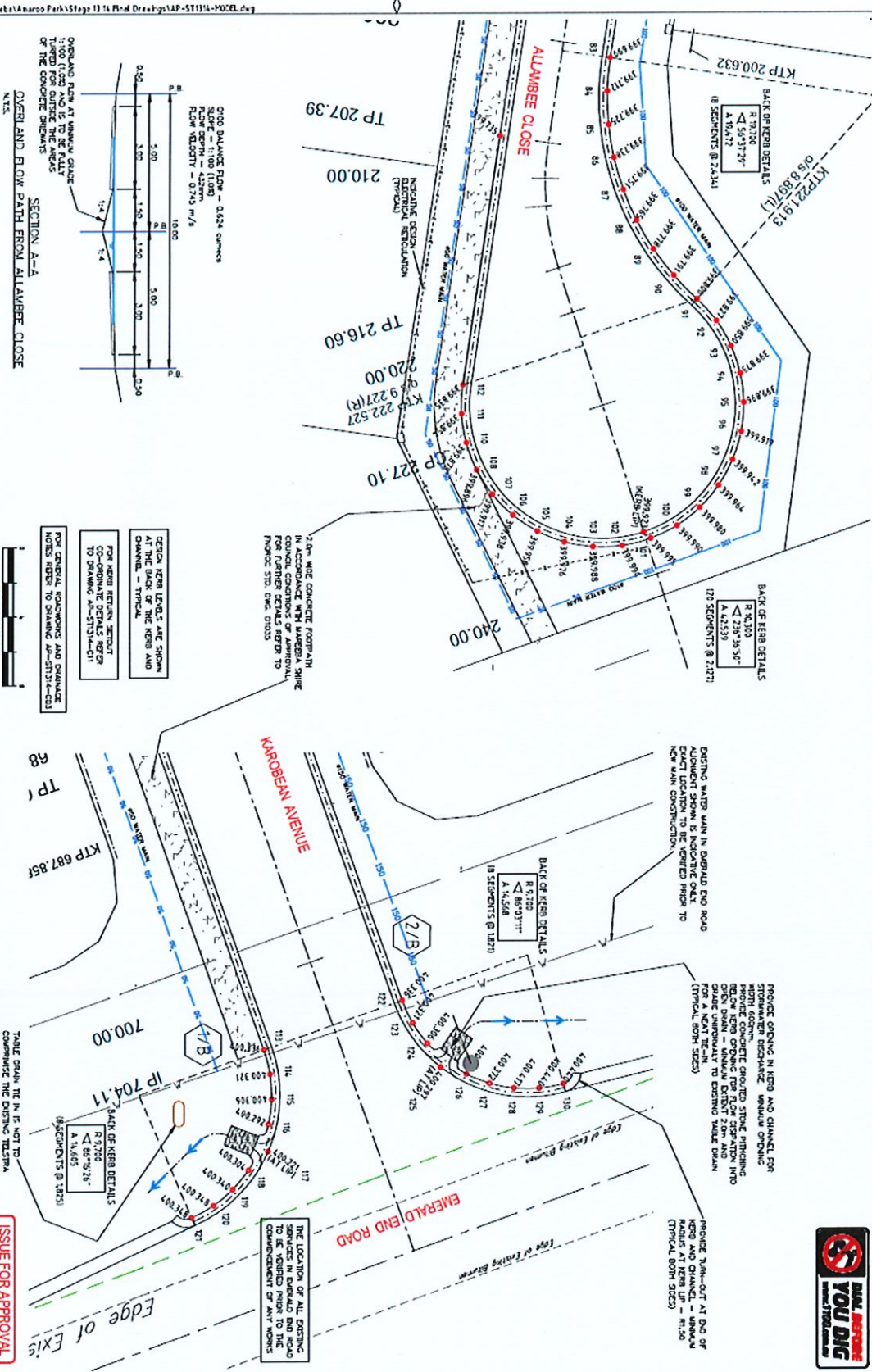
DRAWING INTERSECTION DETAILS
SHEET 2 OF 3

DATE	BY	CHECKED
18/2/2022	RNM	

ISSUE FOR APPROVAL



FILE E:\C0202\A\Projects\Karoo Park\Stage 11\14 Final Drawings\AP-ST11314-POOL.dwg



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REVISION	DATE	BY	DESCRIPTION

CLIENT: DT M & S STANAKOVICH PTY LTD
PROJECT: AMAROO RESIDENTIAL DEVELOPMENT
STAGES: 13 & 14
LOCATION: MOONDIAN AVENUE, MAREEBA

DRAWING: INTERSECTION AND CUL DE SAC DETAILS
SHEET: 3 OF 3

DATE	BY	STATUS
08/22		

ISSUE FOR APPROVAL

PI	PL	EASTING	NORTHING
1	84623.8484	8120794.4279	
2	83416.6303	8120795.4363	
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7	834121.478	8120763.765	
8	834124.4824	8120764.4319	
9	834126.0934	8120764.6476	

PI	PL	EASTING	NORTHING
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13	83421.7196	8120773.1119	
14	83423.7384	8120774.0910	
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18	83427.6603	8120779.8990	

PI	PL	EASTING	NORTHING
19	83427.7972	8120771.2549	
20	83429.8736	8120771.3806	
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22	83431.0192	8120772.4593	
23	83431.9862	8120773.3930	
24	83432.5539	8120774.6389	
25	83433.1072	8120775.9659	
26	83433.6603	8120777.5293	
27	83434.1108	8120779.2004	
28	83434.5673	8120781.0990	
29	83434.9275	8120782.7247	
30	83435.3299	8120783.6830	
31	83435.7011	8120784.5713	
32	83435.9552	8120784.612	
33	83437.2793	8120784.9382	
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35	83437.6779	8120785.9366	
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43	83438.1332	8120787.2790	
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PI	PL	EASTING	NORTHING
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52	83396.1388	8120803.9386	
53	83396.2185	8120806.4029	
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56	83396.2434	8120804.2582	

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61	83395.5489	8120808.8794	
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65	83397.0468	8120807.0277	

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69	83400.2911	8120811.9853	
70	83400.9386	8120810.9386	
71	83401.0135	8120812.4878	
72	83401.9048	8120815.4682	
73	83402.6718	8120817.2495	
74	83402.9864	8120819.0712	

INTERSECTION MOONDANI AVENUE AND ROAD NO. 1

INTERSECTION MOONDANI AVENUE AND KAROEN AVENUE

INTERSECTION KAROEN AVENUE AND ALLANBER CLOSE

INTERSECTION KAROEN AVENUE AND FERDINAND ROAD

CUL DE SAC - ROAD NO. 1

CUL DE SAC - ALLANBER CLOSE

ISSUE FOR APPROVAL

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Mareeba Shire Council
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Email: info@mareebacouncil.govt.nz

NO	ISSUE	ISSUE FOR APPROVAL	DATE
1	APPROVAL	ISSUE FOR APPROVAL	11/07/22
2	APPROVAL	ISSUE FOR APPROVAL	11/07/22
3	APPROVAL	ISSUE FOR APPROVAL	11/07/22
4	APPROVAL	ISSUE FOR APPROVAL	11/07/22

CLIENT: **BT, M & S STANKOVICH PTY LTD**
PROJECT: **AMAROO RESIDENTIAL DEVELOPMENT STAGES 13 & 14 MOONDANI AVENUE, MAREEBA**

DRAWING: **INTERSECTION AND CUL DE SAC SETOUT TABLES**

REVISED	REVISED DATE	DATE
AP-ST/1314-C11	B	08/22

FILE: E:\COASTAL\Projects\Amaroo Park\Stage 13 Final Drawings\AP-ST1314-C12.dwg

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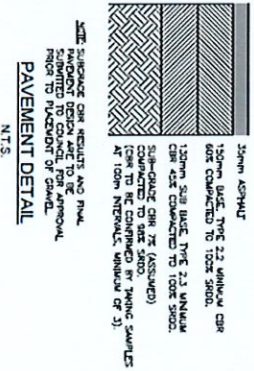
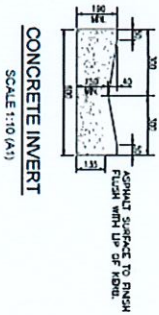
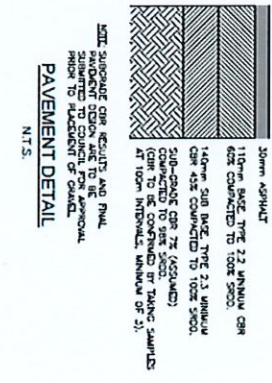
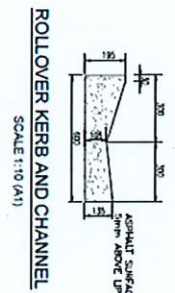
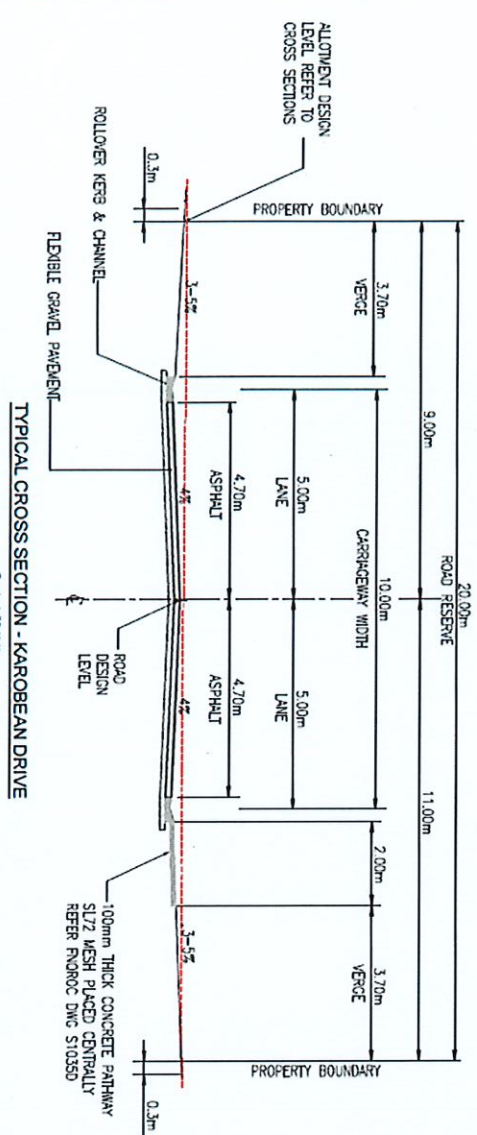
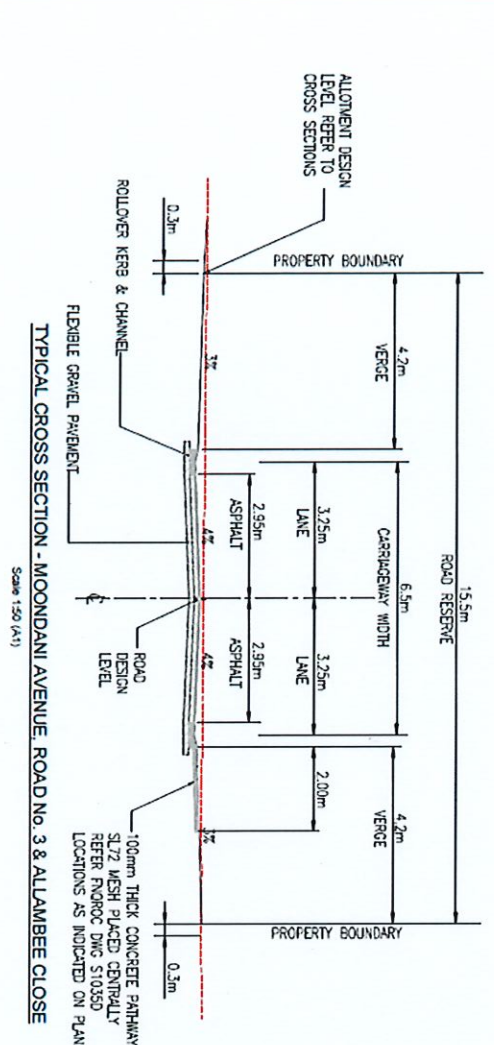
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NO.	DESCRIPTION	DATE
1	ISSUE FOR APPROVAL	12/23/22
2	REVISION	

CLIENT: BT, MA S STANOVICH PTY LTD
PROJECT: AMAROO DEVELOPMENT
STAGES 13 & 14
MOONDANI AVENUE, MAREEBA

DRAWING: TYPICAL CROSS SECTIONS AND DETAILS
ISSUE FOR APPROVAL

APPROVED	DATE	DATE
RHM	18/2/22	
AP-ST1314-C12	B	



FILE: C:\DATA\Projects\Amaroo Park\Stage 13 14 Final Drawings\AP-ST1314-C13.dwg

V

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14. BUDERIM SHIRE
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16. SUNSHINE COAST REGIONAL COUNCIL
17. SUNSHINE COAST REGIONAL COUNCIL
18. SUNSHINE COAST REGIONAL COUNCIL
19. SUNSHINE COAST REGIONAL COUNCIL

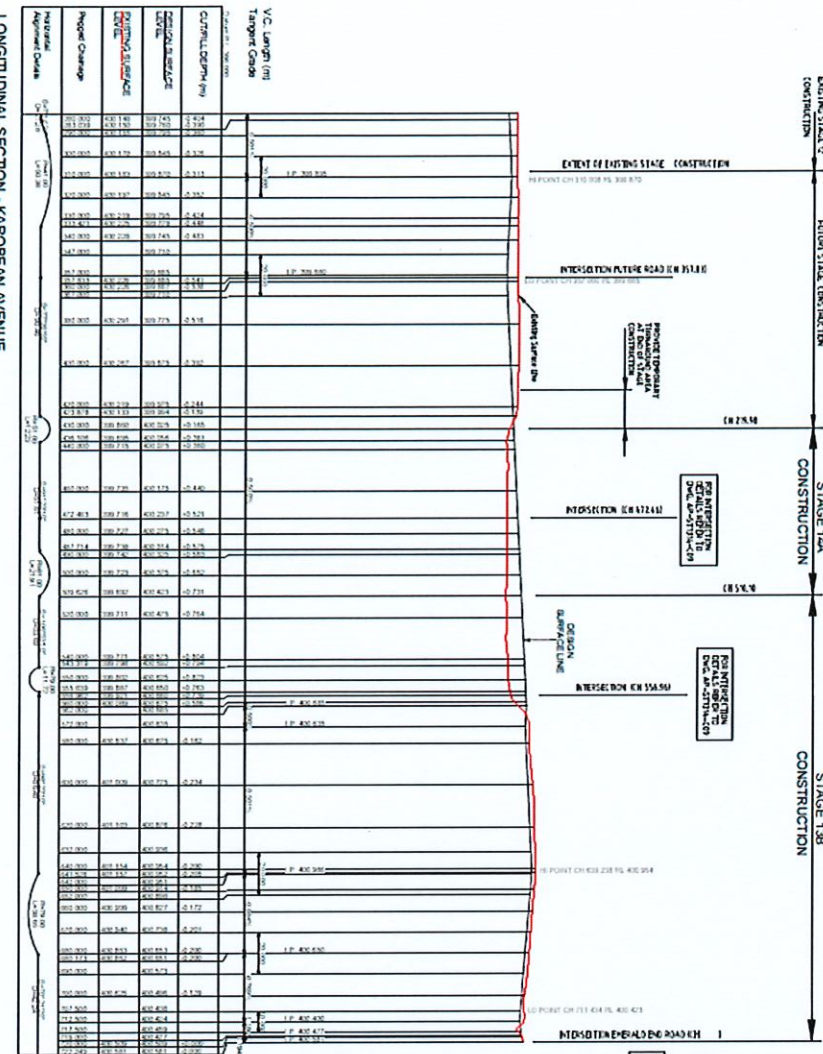
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NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR APPROVAL	13/08/22	RM
2	ISSUED FOR APPROVAL	13/08/22	RM
3	ISSUED FOR APPROVAL	13/08/22	RM
4	ISSUED FOR APPROVAL	13/08/22	RM

CUSTOMER: BT, M & S STAVROVICH PTY LTD
PROJECT: AMAROO DEVELOPMENT
STAGES: 13 & 14
LOCATION: MOONDAINI AVENUE, MAREEBA

DRAWING: ROAD LONGITUDINAL SECTION
TITLE: KAROBEAN AVENUE

DATE: 13/08/22
ISSUED BY: RM
CHECKED BY: []
APPROVED BY: []
SCALE: 1:500



APPROVED PLACEMENT - KAROBEAN AVENUE
ADDITIONAL STRIPES
TOTAL WIDTH: 12.5m
TOTAL LENGTH: 400m
TOTAL AREA: 5000m²
TOTAL VOLUME: 10000m³
TOTAL WEIGHT: 1000000kg
TOTAL ENERGY: 1000000000J
TOTAL MOMENTUM: 1000000000kg.m/s
TOTAL POWER: 1000000000W



FILE E:\COASTAL\Mareeba\Amaroo Park\Stage 13\14 Final Drawings\AP-ST1314-C14.rvt (17.2kg)

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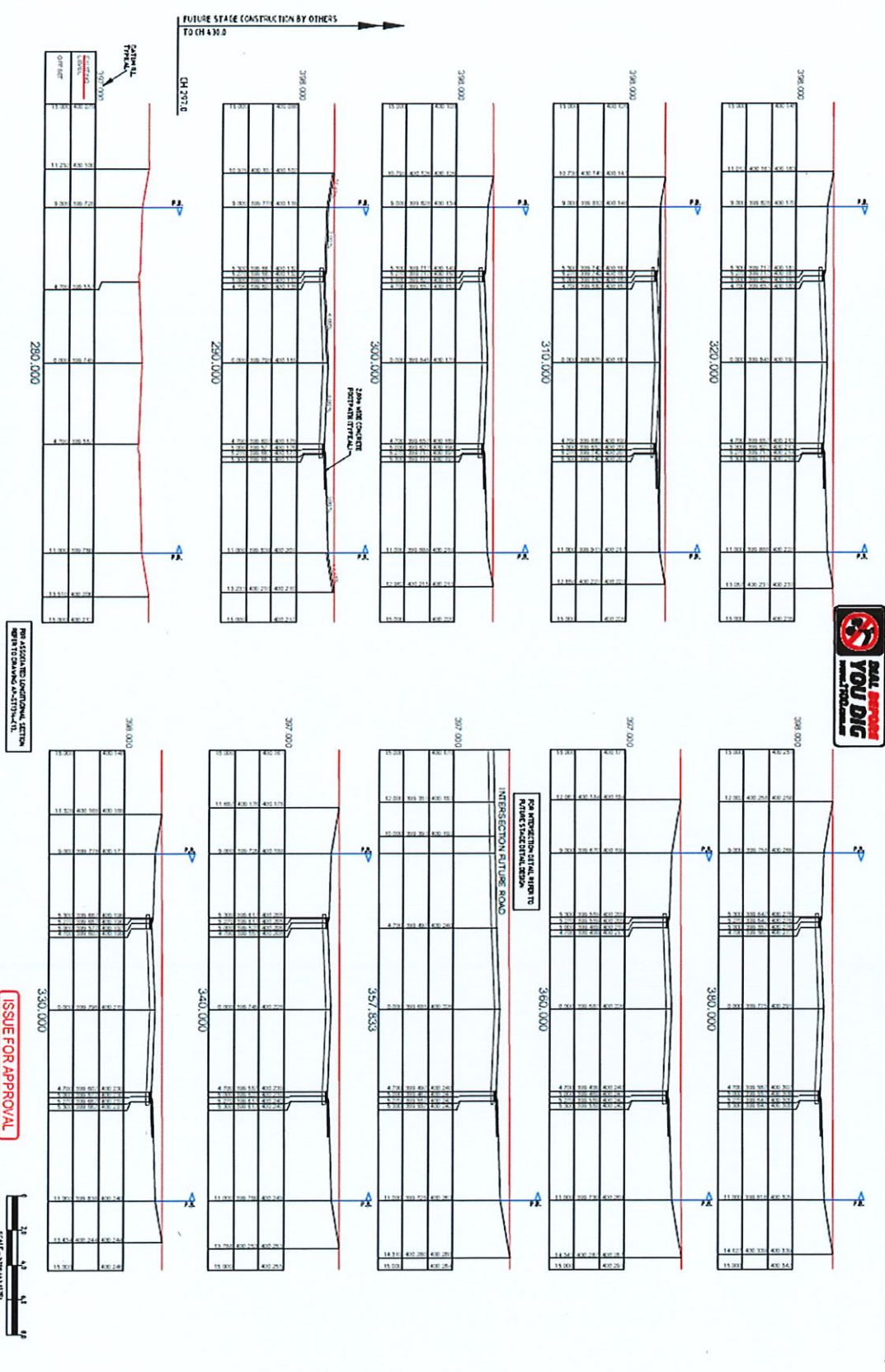
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NO.	DESCRIPTION	DATE
1	ISSUE FOR APPROVAL	11/11/22
2	REVISION	11/11/22

CLIENT BIT, M.A. & STANOVICH PTY LTD
PROJECT AMAROO DEVELOPMENT
STAGES 13 & 14
MOONBANI AVENUE, MAREEBA

DRAWING ROAD CROSS SECTIONS
KAROEBAN AVENUE
SHEET 1 of 4

DATE 08/22
PROJECT AP-ST1314-C14
REVISION B



FILE: E:\DATA\Projects\Amaroo Park\Stage 13-14\Final Drawings\AP-ST1314-C15.dwg

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ISO 9001:2015
ISO 14001:2015
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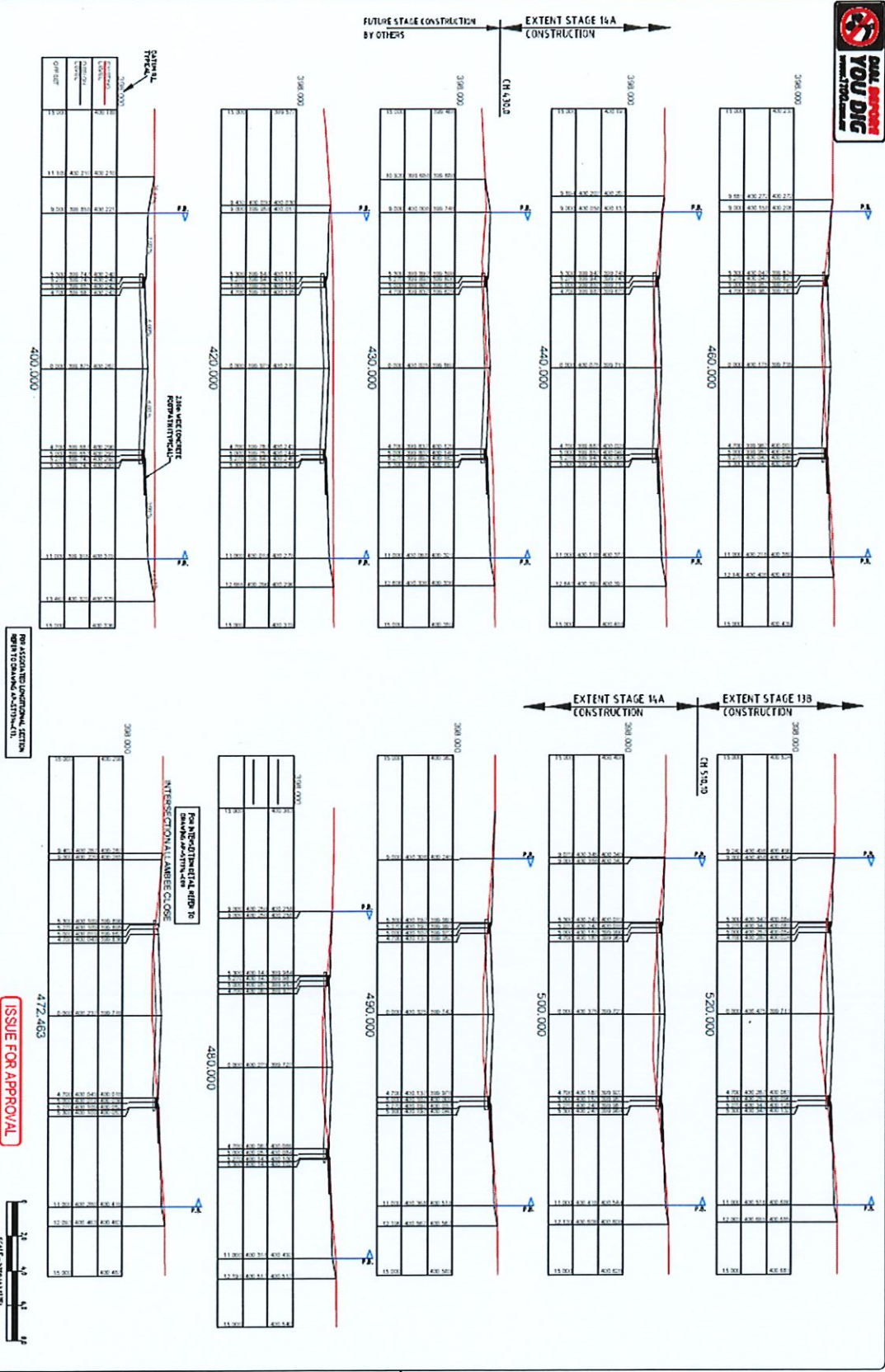
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72 Adelaide Avenue
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99	ISSUE FOR APPROVAL	10/08/22
100	ISSUE FOR APPROVAL	10/08/22

Client BT, M & S STANCOVICH PTY LTD
Project AMAROO DEVELOPMENT STAGES 13 & 14
Location MOONDIANI AVENUE, MAREEBA

Drawing ROAD CROSS SECTIONS KAROEBAN AVENUE SHEET 2 of 4

Author RHM
Checked RHM
Date 08/22
Scale 1:100
Sheet AP-ST1314-C15
Block B



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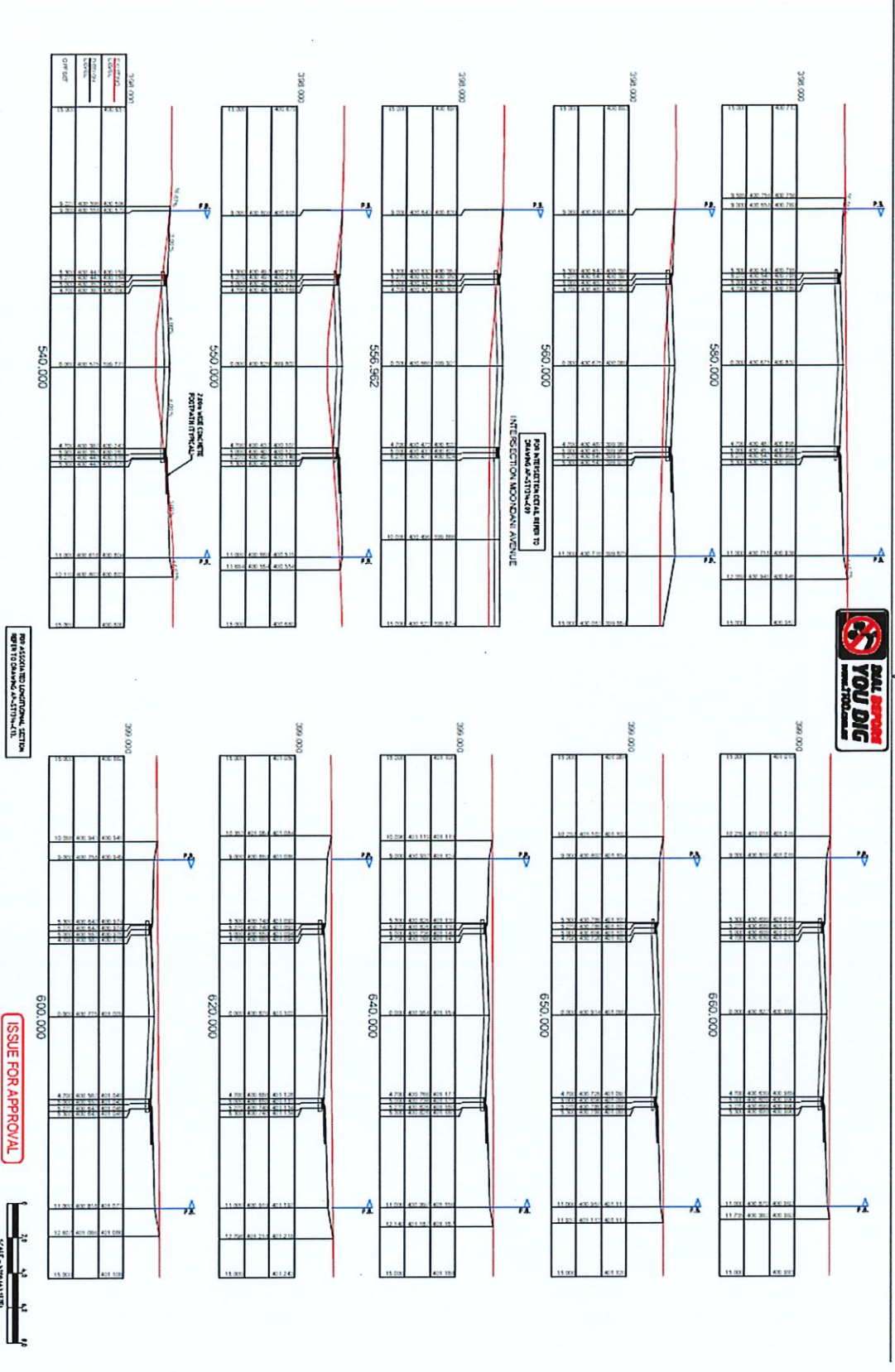
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NO.	DESCRIPTION	DATE
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2	FOR APPROVAL	12/23/22
3	FOR APPROVAL	12/23/22
4	FOR APPROVAL	12/23/22
5	FOR APPROVAL	12/23/22

CLIENT: BT, M & S STANOVICH PTY LTD
PROJECT: AMAROO DEVELOPMENT
STAGES: 13 & 14
LOCATION: MOONDIWI AVENUE, MAREEBA

DRAWING: ROAD CROSS SECTIONS
PROJECT: KAROBEAN AVENUE
SHEET: 3 of 4

APPROVED: RYM
DATE: 18/2/22
PROJECT: AP-ST1314-C16
SCALE: 1:100
DATE: 18/2/22



FILE E:\COATING\mareeba\maroo Park\Stage 13\14 Final Drawings\AP-ST1314-C17.dwg

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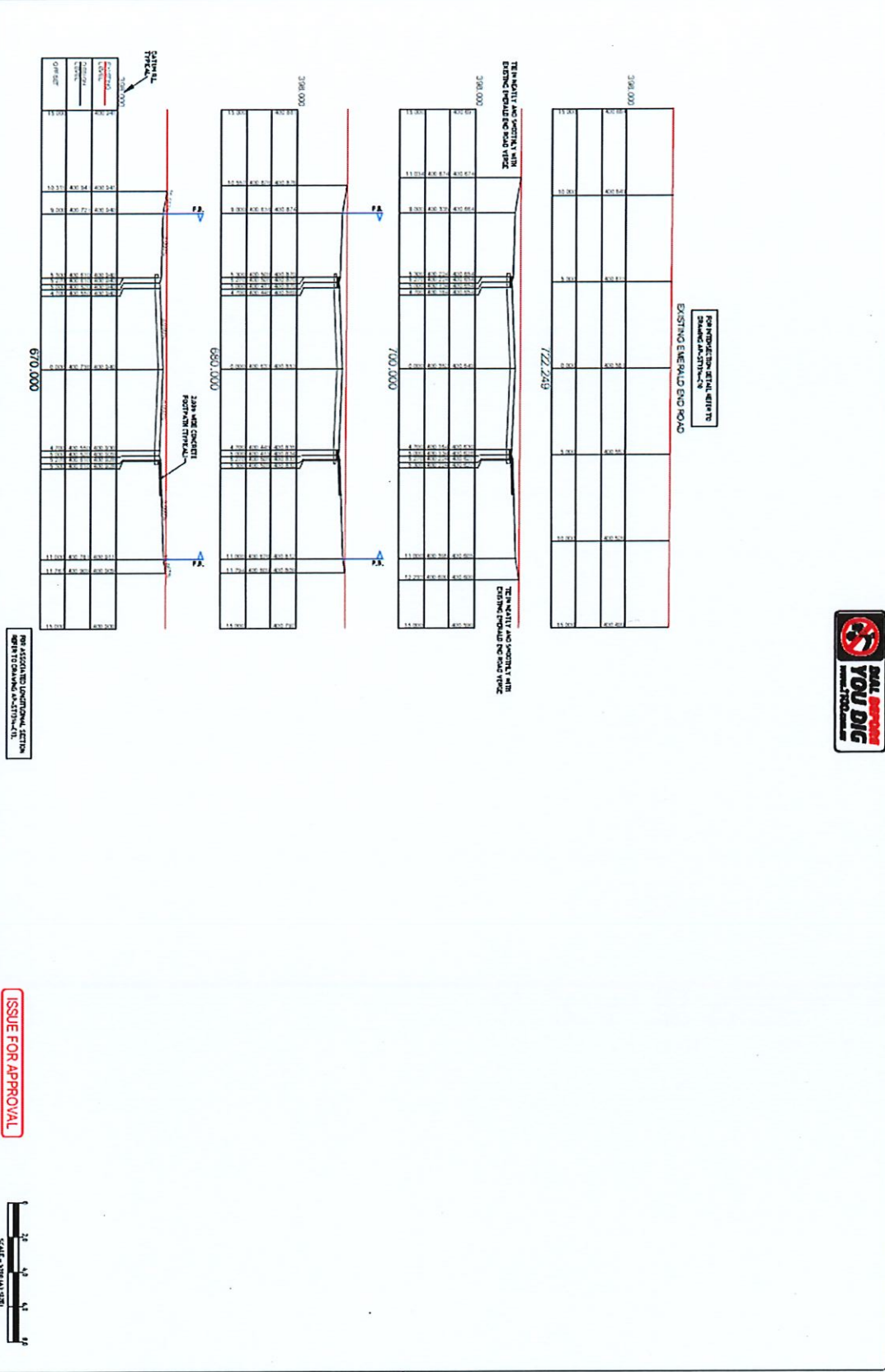
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REVISION	DATE
1. PERSONAL USE OF PROFESSIONAL ENGINEER ONLY	11/25/22
2. MODIFIED FOR FINAL APPROVAL	01/23/23

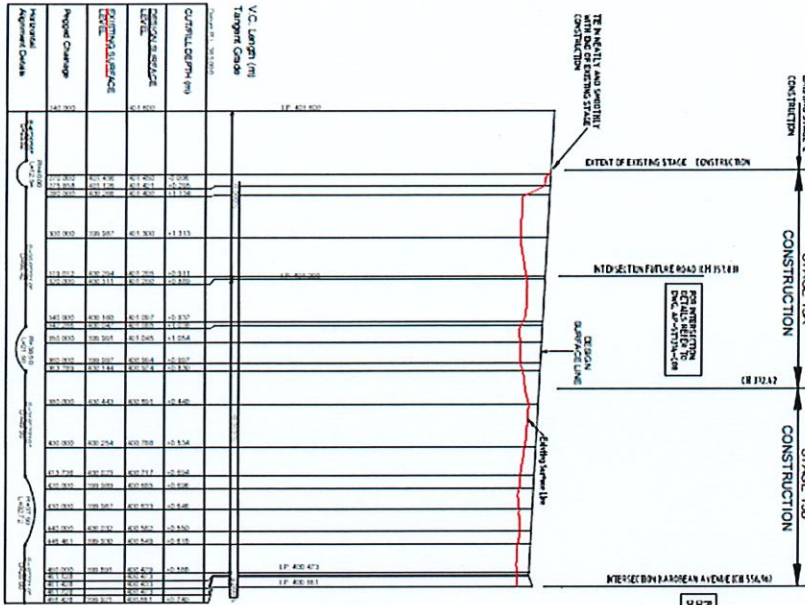
CLIENT BT, M & S STANOVICH PTY LTD
PROJECT AMAROO DEVELOPMENT STAGES 13 & 14
MOONDANI AVENUE, MAREEBA

DRAWING ROAD CROSS SECTIONS
KAROBAN AVENUE
SHEET 4 of 4

DATE 08/22
SCALE 1:100
PROJECT AP-ST1314-C17
REV B



LONGITUDINAL SECTION - MOONDANI AVENUE
SCALE: HORIZ. SCALE: 1:500 VERT. SCALE: 1:10



APPROVED STATEMENT - MOONDANI AVENUE

URBAN ACCESS 3 PROJECT

FOR THE PROPOSED

THREE LANE CARBON

ROADWAY

FROM STATION 0+00 TO

STATION 10+00

FROM STATION 10+00 TO

STATION 10+00

TOTAL VERTICAL THICKNESS OF 24mm INCLUDING AC ON

DESIGN SURFACE COURSE SHALL BE 100mm (DO NOT

EXCEED THIS THICKNESS) TO BE SUBMITTED AT THE

LEVEL MEASUREMENT AT THE TIME OF JOINT SUSPENSION

INSPECTION DURING THE CONSTRUCTION PHASE

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NO.	REVISION	DATE
1	ISSUE FOR APPROVAL	10/23/22

CLIENT
BT M & S STANOVICH PTY LTD
PROJECT
AMAROO DEVELOPMENT
STAGES 13 & 14
MOONDANI AVENUE, MAREEBA

DRAWING
ROAD LONGITUDINAL SECTION
MOONDANI AVENUE

DRAWN BY
RVM
CHECKED BY
RVM
DATE
08/22

PROJECT NO.
AP-ST1314-C18
SHEET NO.
B

ISSUE FOR APPROVAL

SCALE: HORIZ. SCALE: 1:500 VERT. SCALE: 1:10

FOR TYPICAL CROSS SECTION DETAILS
REFER TO DWG. AP-ST1314-C7

FOR ASSUMED ROAD LEVELS, SETTING
REFER TO DWG. AP-ST1314-C9 & C2

FOR INFORMATION
REFER TO DWG. AP-ST1314-C2

FILE: E:\DATA\Amaroo\Perk15\Stage 13 Final Drawings\AP-ST1314-C19 and C20.dwg

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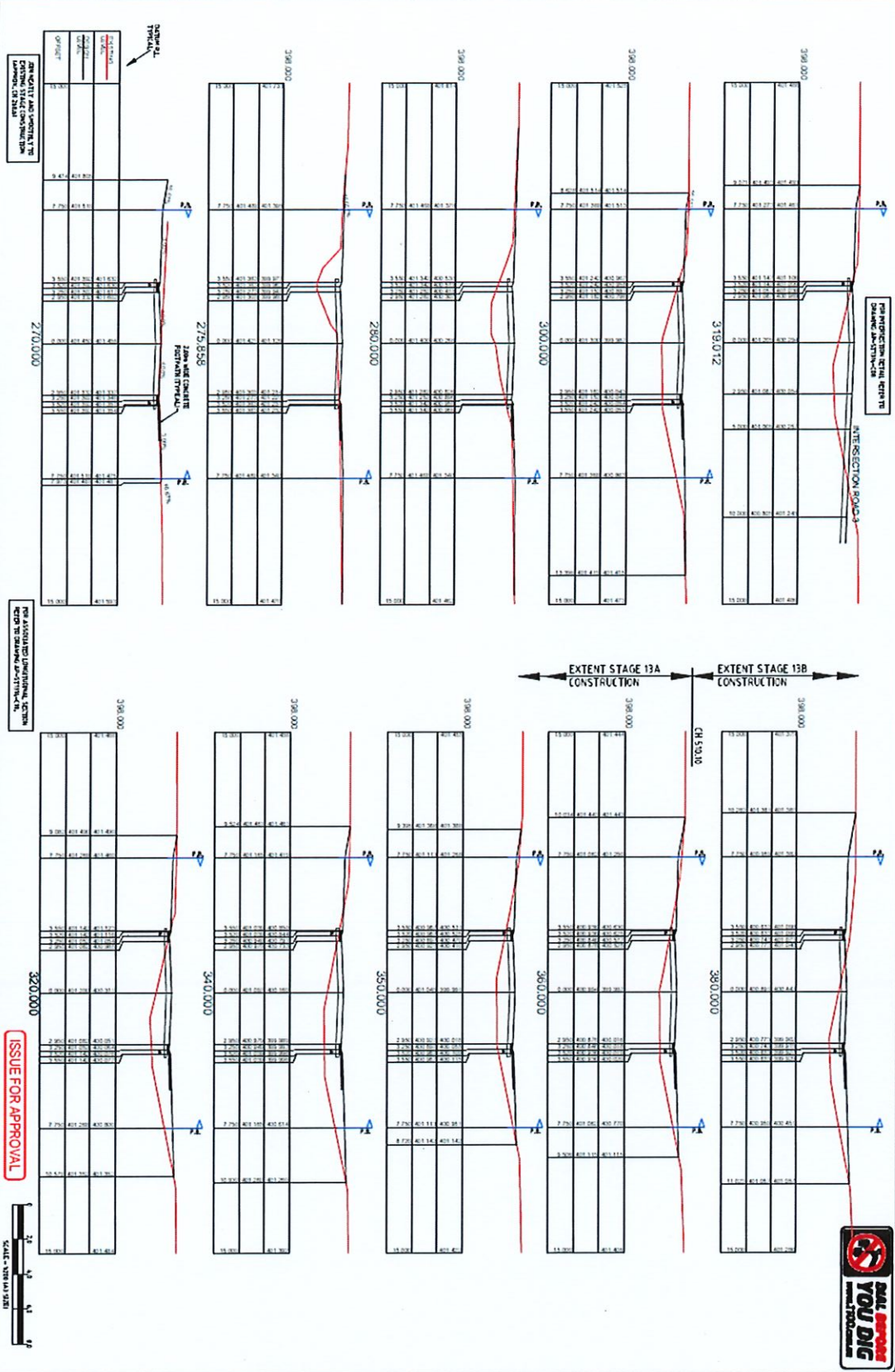
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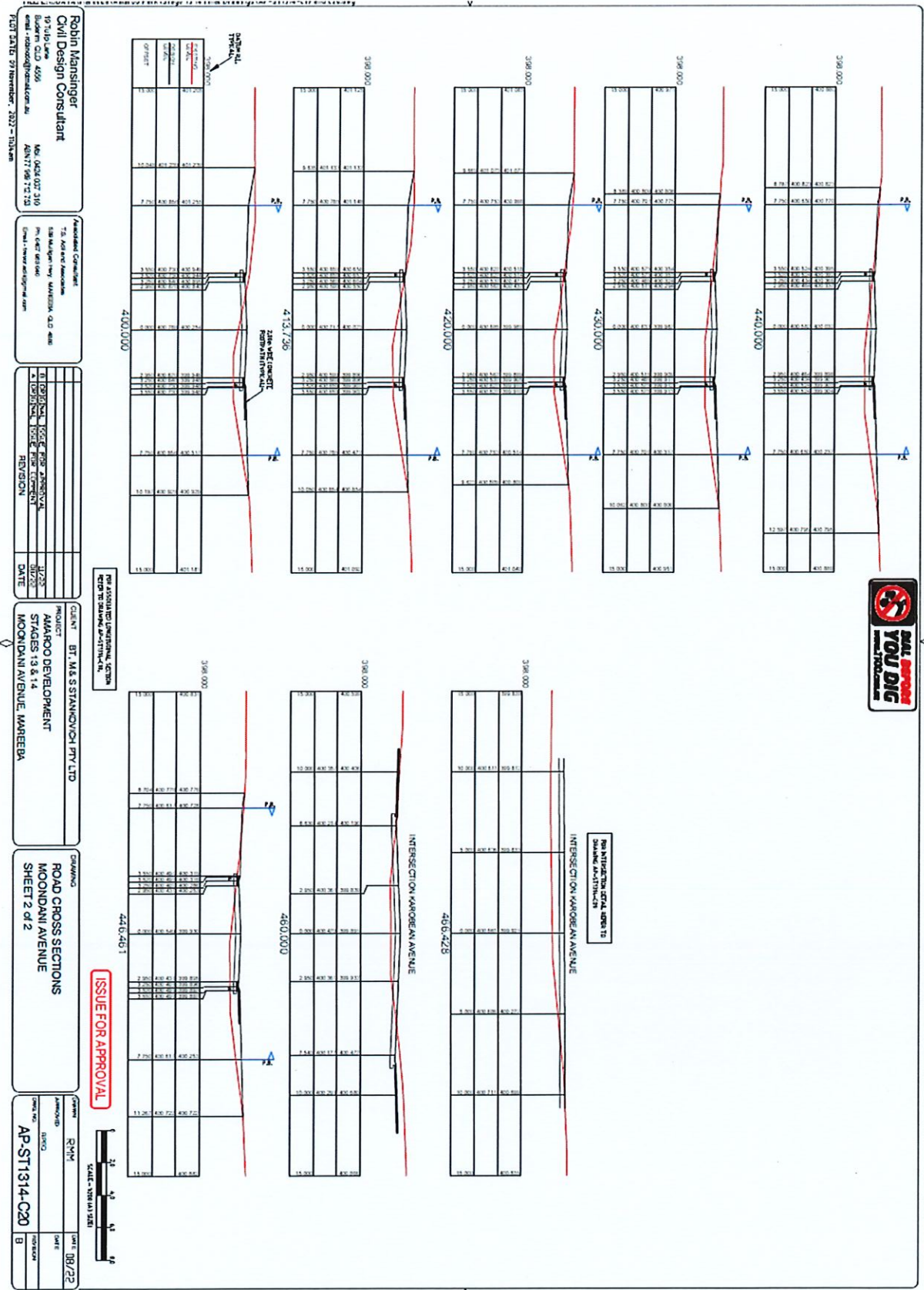
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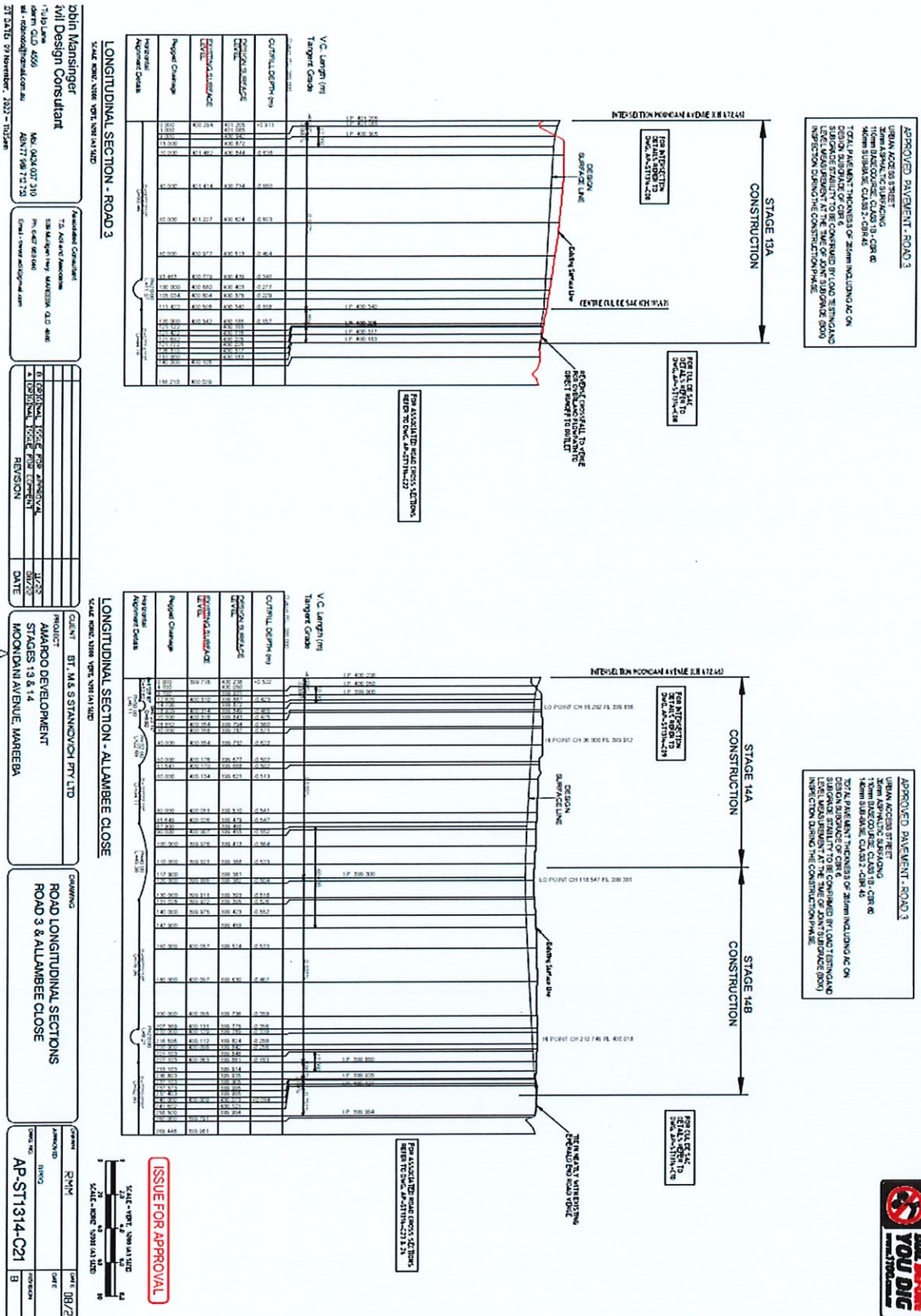
Client: BT, M & S STANKOVICH PTY LTD
Project: AMAROO DEVELOPMENT STAGES 13 & 14
MOONDANI AVENUE, MAREEBA

Drawing: ROAD CROSS SECTIONS
MOONDANI AVENUE
SHEET 1 of 2

Drawn: RHM
Checked: RHM
Date: 08/7/22
Project No.: AP-ST1314-C19
Sheet: B







Document Set ID: 4166678
Version: 1, Version Date: 05/12/2022

FILE: E:\COURT\Projects\Amaroo Park\Stage 13 Final Drawings\AP-ST1314-C22.dwg

Robin Mansinger
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PLOT DATE: 29 November, 2022 - 10:58am

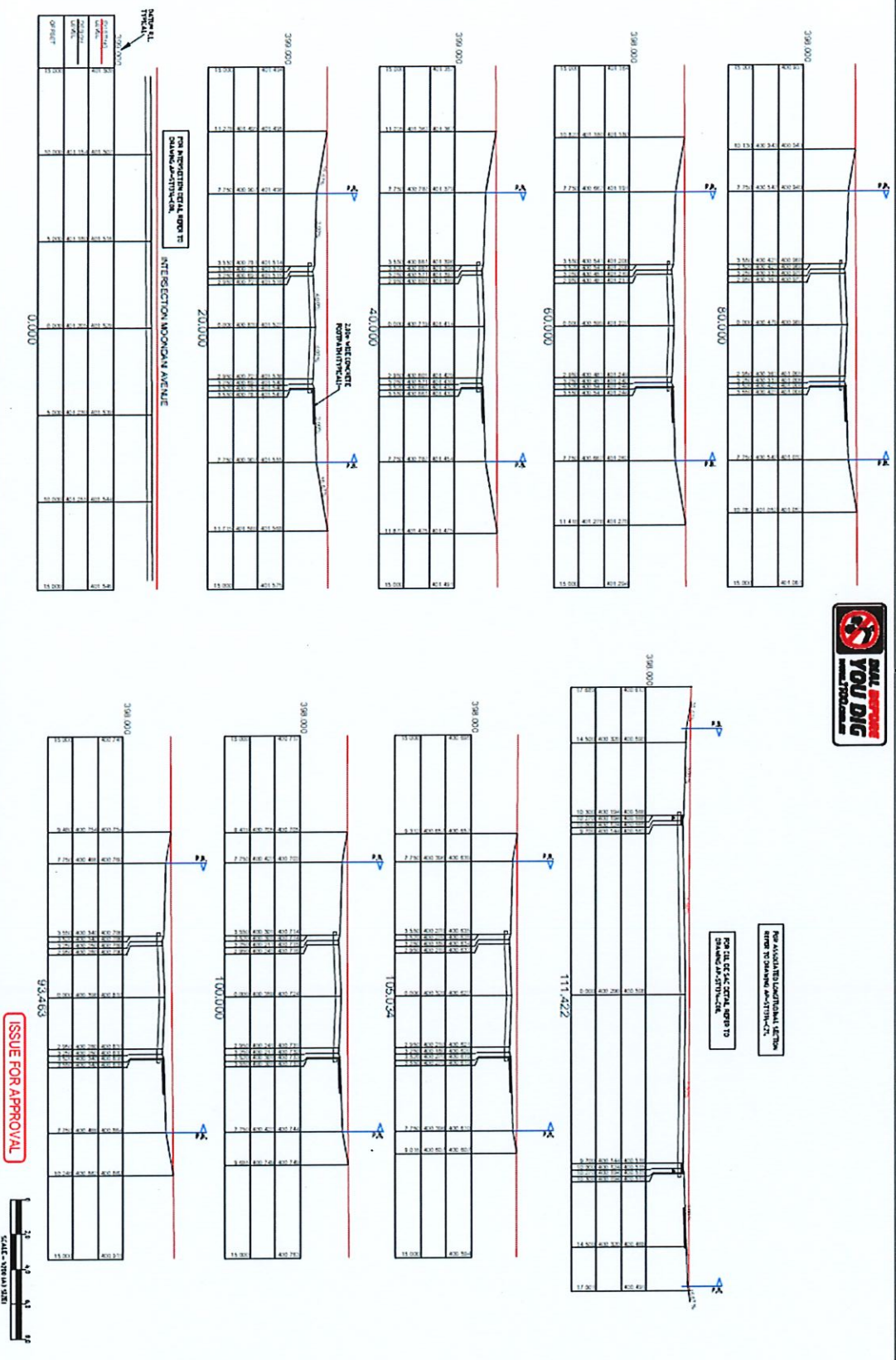
Approved Consultant
135, 60th Ave Queensland
135, 60th Ave Queensland, QLD 4810
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Email: steve@robinsdesign.com

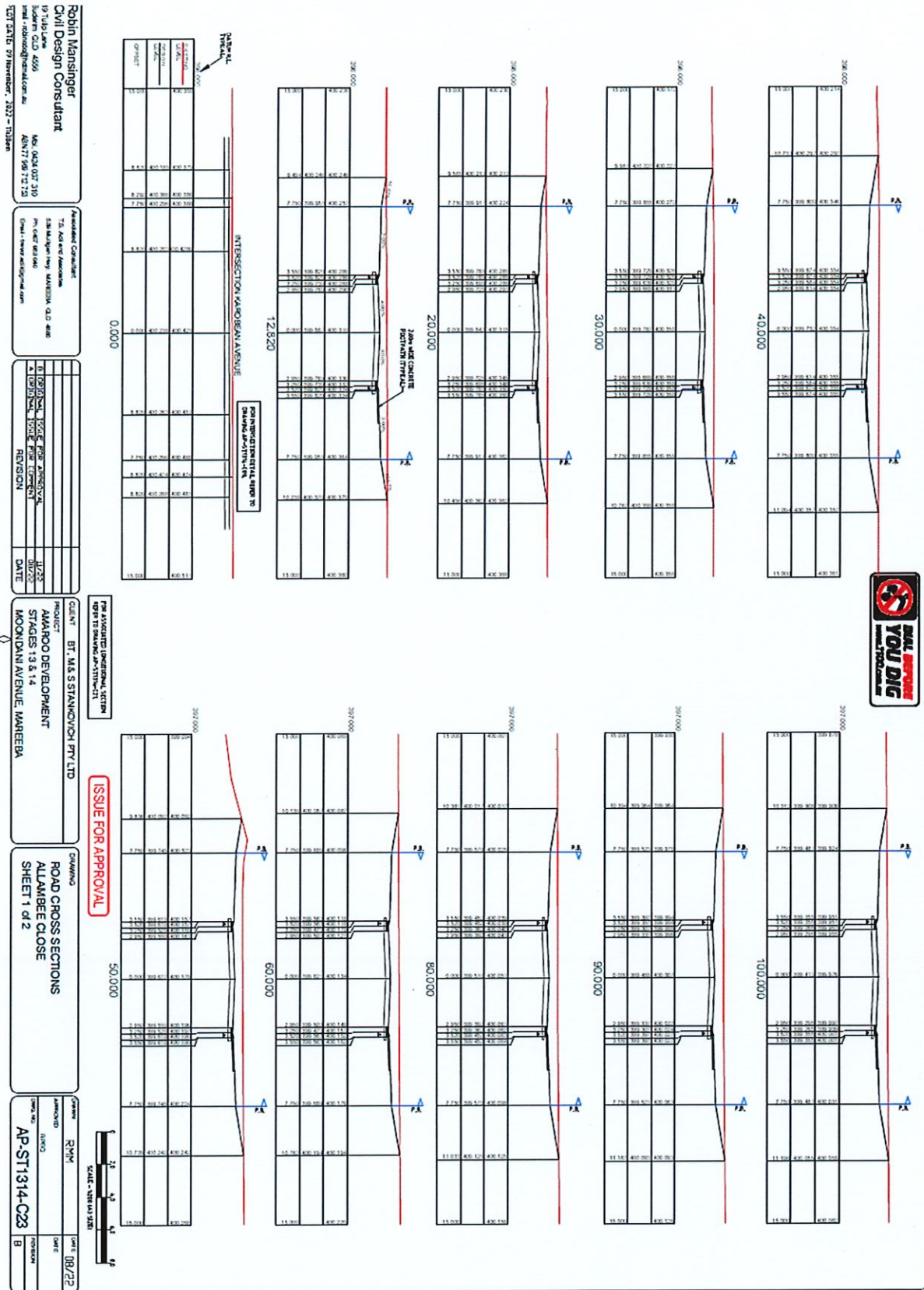
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13	ISSUED FOR APPROVAL	07/22
14	ISSUED FOR APPROVAL	07/22
15	ISSUED FOR APPROVAL	07/22

CLIENT BT, M&S STANOVICH PTY LTD
PROJECT AMAROO DEVELOPMENT STAGES 13 & 14
MOONDANI AVENUE, MAREEBA

DRAWING ROAD CROSS SECTIONS
ROAD 3

DATE 08/22
ISSUED FOR APPROVAL
AP-ST1314-C22
SCALE 1:50





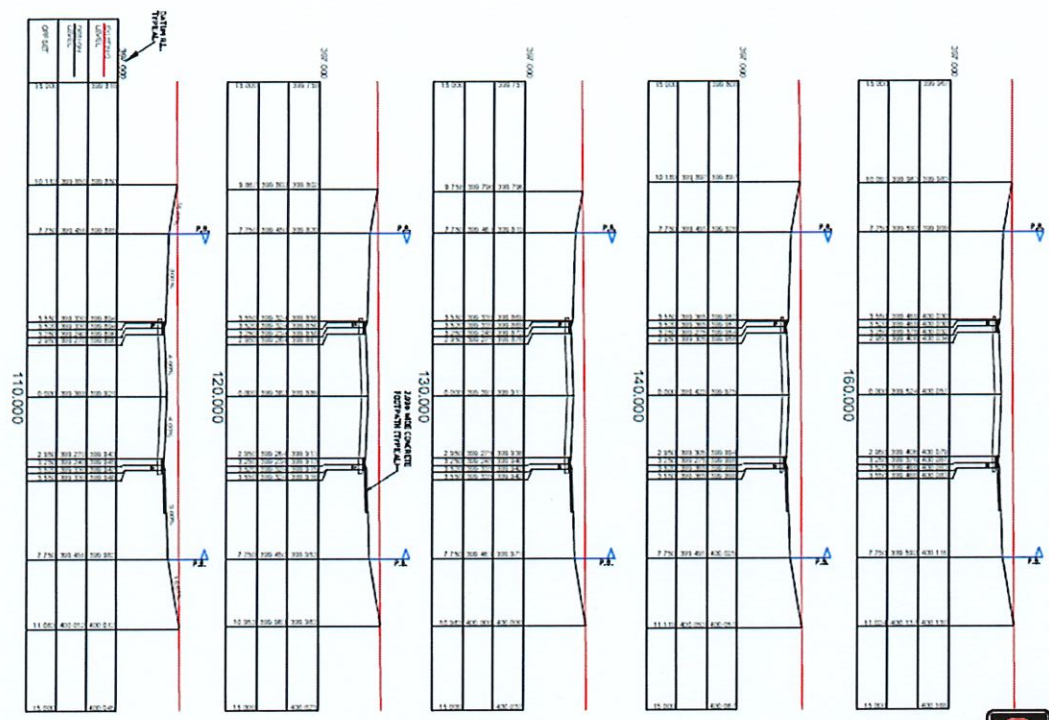
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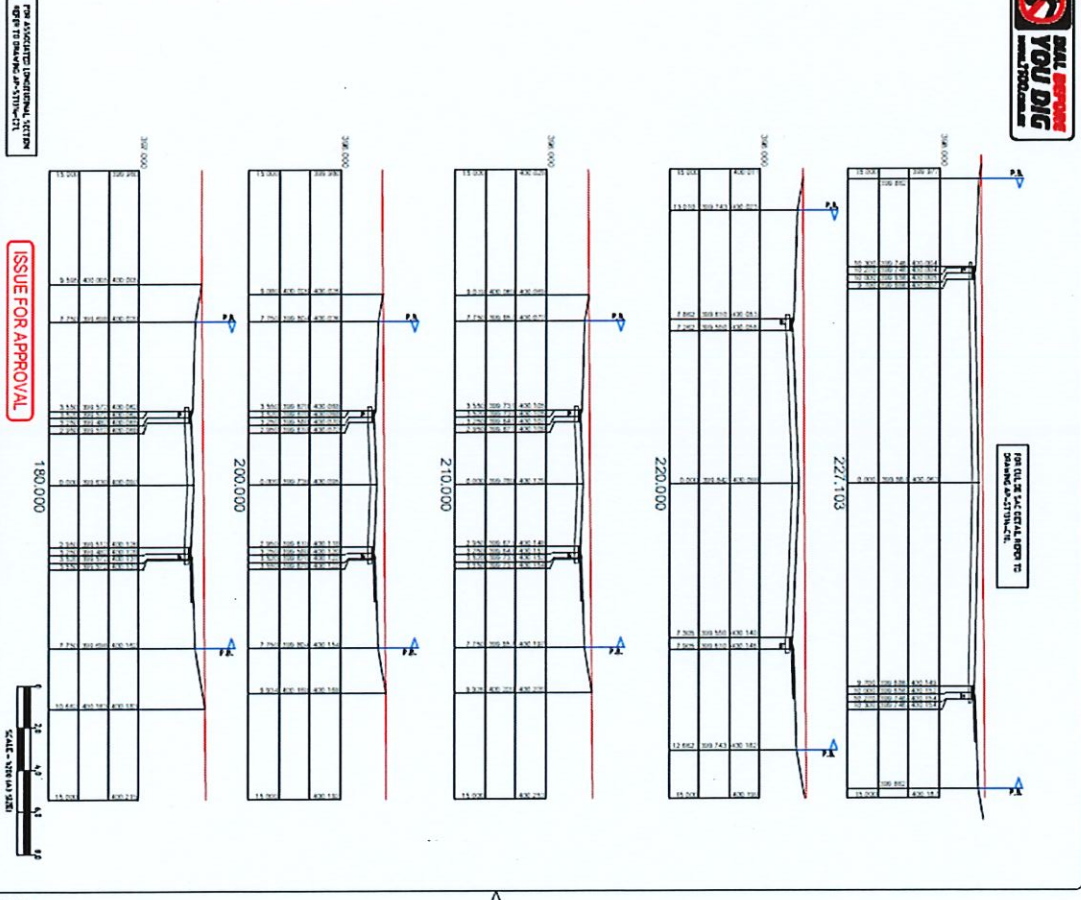
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100	REVISED	09/11/2022



Client: BT, M.S STANHOPE PTY LTD
Product: AMAROO DEVELOPMENT STAGES 13 & 14
Location: MONDINI AVENUE, MAREEBA

Drawn: RHM
Checked: RHM
Scale: 1:500
Sheet: AP-ST1314-C24
Block: B

Date: 09/11/2022
Issue: 1
Revision: 1



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NO.	DESCRIPTION	DATE
1	ISSUE FOR APPROVAL	08/12/22
2	ISSUE FOR APPROVAL	08/12/22
3	ISSUE FOR APPROVAL	08/12/22
4	ISSUE FOR APPROVAL	08/12/22
5	ISSUE FOR APPROVAL	08/12/22

CLIENT BT, M & S STANOVICH PTY LTD
PROJECT AMAIRO RESIDENTIAL DEVELOPMENT
STAGES 13 & 14
MOONBAY AVENUE, MAREEBA

DRAWING OVERALL EARTHWORKS PLAN
STAGES 13 & 14

DATE	BY	DATE
08/12/22	RHM	
	AND	
	AP-ST1314-C25	
	B	

ISSUE FOR APPROVAL



LEGEND
 Excavation
 Proposed Fill Area
 Existing Surface
 Existing Proposed Area
 Existing Lote
 Lote Boundary
 Lote 13B/13A/14A/14B

NOTES:
 1. LIFT = []
 2. []
 3. []
 4. []
 5. []
 6. []
 7. []
 8. []
 9. []
 10. []

DISCLAIMER:
 1. ALL INFORMATION IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE CONSULTANT ACCEPTS NO LIABILITY FOR ANY INACCURACIES OR OMISSIONS IN THE INFORMATION PROVIDED.
 2. THE CONSULTANT'S OBLIGATION IS LIMITED TO THE SERVICES PROVIDED AND DOES NOT INCLUDE ANY LIABILITY FOR THE ACCURACY OR COMPLETION OF THE WORK.
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FILE: E:\DATA\Wareba\Amaroo Park\Stage 13\Final Drawings\AP-ST1314-POCD.dwg

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1. PROJECT NO.	AP-ST1314-C26
2. PROJECT NAME	AMAROO RESIDENTIAL DEVELOPMENT
3. PROJECT LOCATION	MOONDINI AVENUE, WAREBA
4. PROJECT DATE	11/23/22
5. PROJECT STATUS	REVISION
6. PROJECT DRAWN BY	
7. PROJECT CHECKED BY	
8. PROJECT DATE	

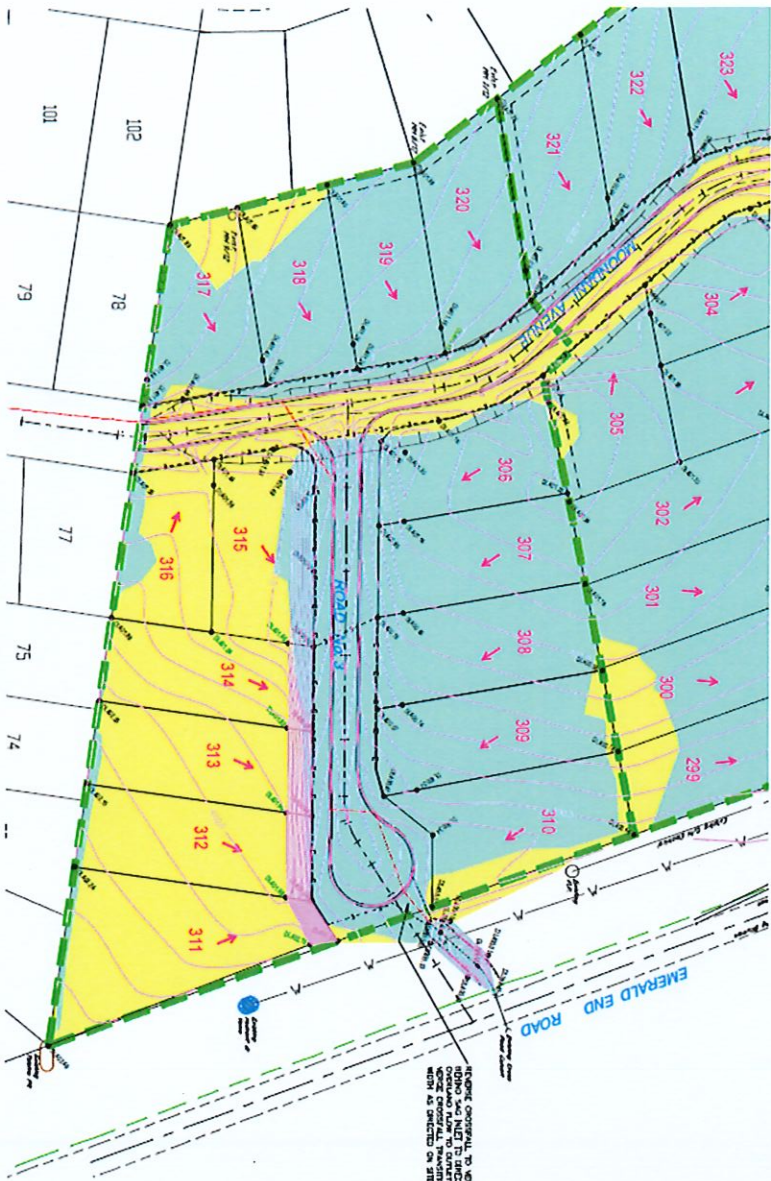
CLIENT: BT, M & S STANKOVICH PTY LTD
PROJECT: AMAROO RESIDENTIAL DEVELOPMENT
STAGES 13 & 14
MOONDINI AVENUE, WAREBA

DRAWING: EARTHWORKS PLAN
STAGE 13A

DATE	08/22
BY	RHM
CHECKED BY	DMC
APPROVED BY	
PROJECT NO.	AP-ST1314-C26
SHEET NO.	B

ISSUE FOR APPROVAL

SEE OVERALL SITE CUT / FILL SHADING
REFERS TO DRAWING AP-ST1314-C25



FOR STAGE 13A DETAILS REFER TO DRAWING AP-ST1314-C27

REVISION: CONCEPT TO BE USED FOR CONSTRUCTION
OVERLAYS TO BE USED FOR CONSTRUCTION
REFER TO DRAWING AP-ST1314-C25

LEGEND

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- Proposed 2:1 slope
- Proposed 3:1 slope
- Proposed 4:1 slope
- Proposed 5:1 slope
- Proposed 6:1 slope
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- Proposed 100:1 slope

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NO.	DESCRIPTION	DATE
1	ISSUE FOR APPROVAL	08/12/2022
2	REVISION	

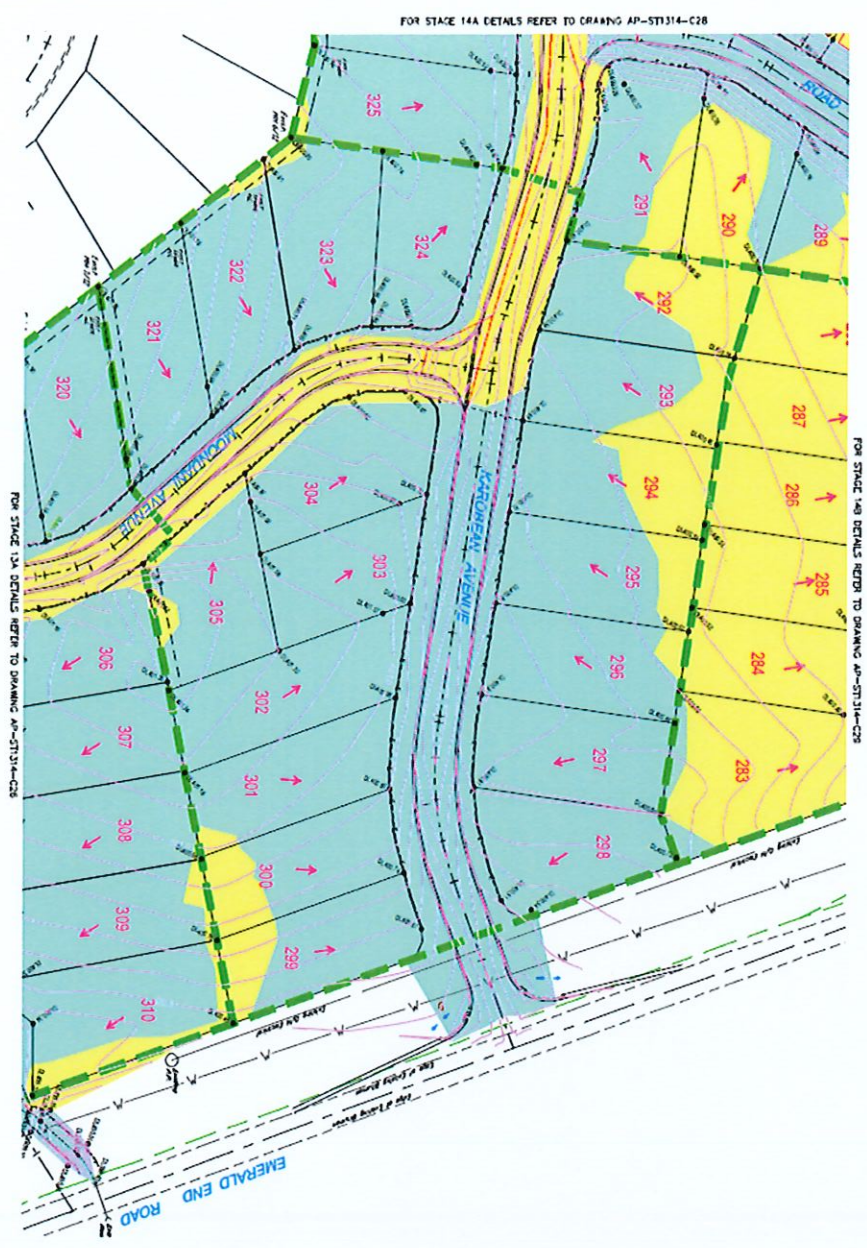
CLIENT: BT M & S STANKOVICH PTY LTD
PROJECT: AMAROO RESIDENTIAL DEVELOPMENT STAGES 1, 3 & 14
MOONDAINI AVENUE, MAUREBA

DRAWING: EARTHWORKS PLAN
STAGE 13B

NO.	DATE	BY	CHKD BY
1	08/12/22	RVM	
2			

AP-ST1314-CZ7

ISSUE FOR APPROVAL



FOR OVERALL SITE CUT / FILL SHADING REFER TO DRAWING AP-ST1314-C23

FOR STAGE 13A DETAILS REFER TO DRAWING AP-ST1314-C28

FOR STAGE 14B DETAILS REFER TO DRAWING AP-ST1314-C28

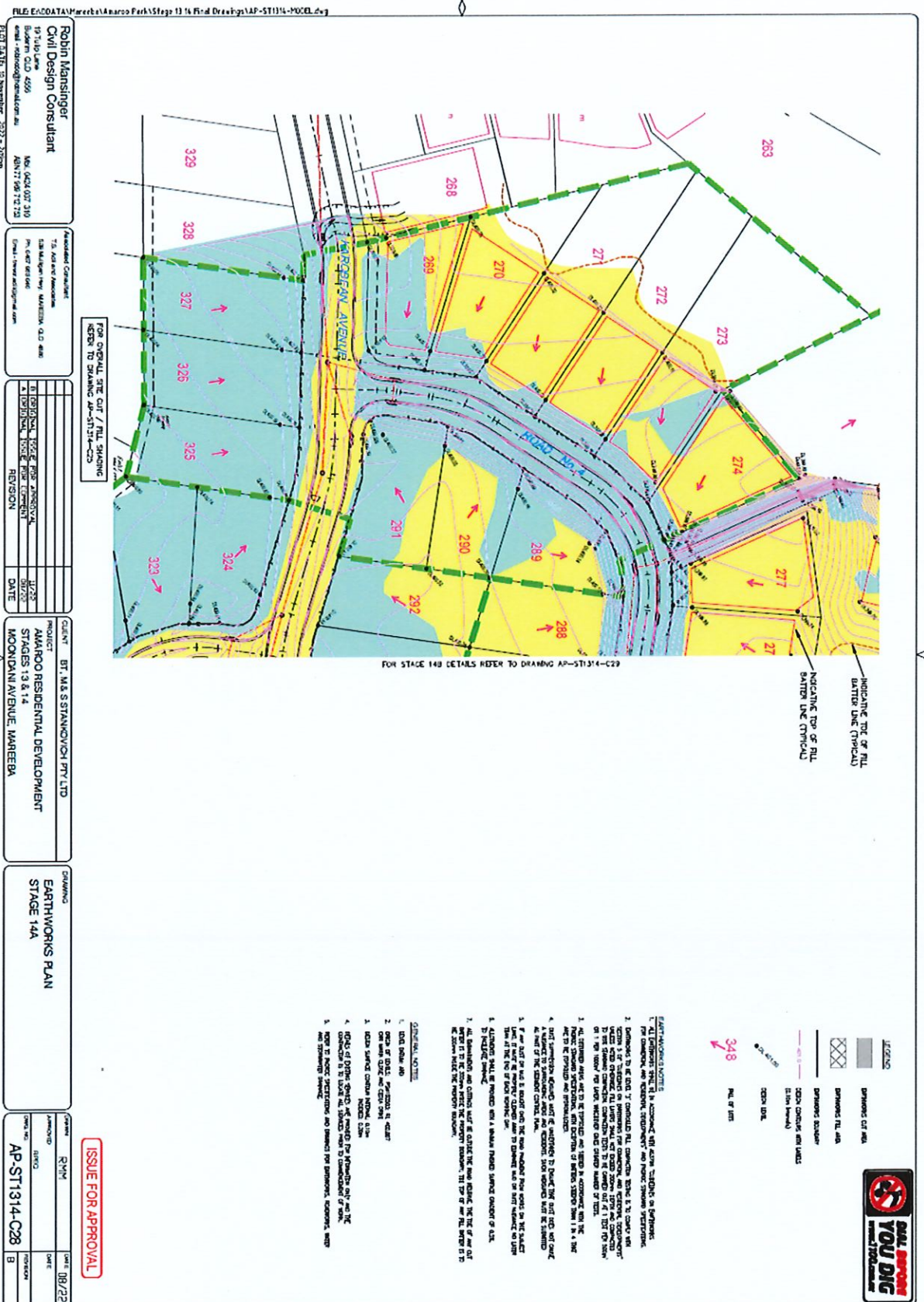
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- Proposed Cut Fill
- Proposed FILL
- Proposed Earthwork
- Existing Earthwork
- Existing FILL
- Existing CUT
- Proposed CUT
- Proposed FILL

348 FILL OF CUTS

CONSTRUCTION NOTES:

1. Earthworks to be undertaken in accordance with the approved earthwork plan, including all details, dimensions, and proposed drainage provisions.
2. Earthworks to be undertaken in accordance with the approved earthwork plan, including all details, dimensions, and proposed drainage provisions.
3. Earthworks to be undertaken in accordance with the approved earthwork plan, including all details, dimensions, and proposed drainage provisions.
4. Earthworks to be undertaken in accordance with the approved earthwork plan, including all details, dimensions, and proposed drainage provisions.
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9. Earthworks to be undertaken in accordance with the approved earthwork plan, including all details, dimensions, and proposed drainage provisions.
10. Earthworks to be undertaken in accordance with the approved earthwork plan, including all details, dimensions, and proposed drainage provisions.



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NO.	DESCRIPTION	DATE
1	ISSUE FOR APPROVAL	08/22
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3	ISSUE FOR APPROVAL	08/22
4	ISSUE FOR APPROVAL	08/22
5	ISSUE FOR APPROVAL	08/22
6	ISSUE FOR APPROVAL	08/22
7	ISSUE FOR APPROVAL	08/22
8	ISSUE FOR APPROVAL	08/22
9	ISSUE FOR APPROVAL	08/22
10	ISSUE FOR APPROVAL	08/22

CLIENT: BT. M.A.S. STANNOVOICH PTY LTD
PROJECT: MAREEBA RESIDENTIAL DEVELOPMENT STAGES 13 & 14
ADDRESS: MOONDAINI AVENUE, MAREEBA

DRAWING: EARTHWORKS PLAN STAGE 14A

DATE	BY	REVISION
08/22	RMM	B
08/22	RMM	B
08/22	RMM	B
08/22	RMM	B
08/22	RMM	B
08/22	RMM	B
08/22	RMM	B
08/22	RMM	B
08/22	RMM	B
08/22	RMM	B

FILE E:\002\AM\mareeba\mareeba\stage 13 14 final drawings\AP-ST1314-POOL.dwg

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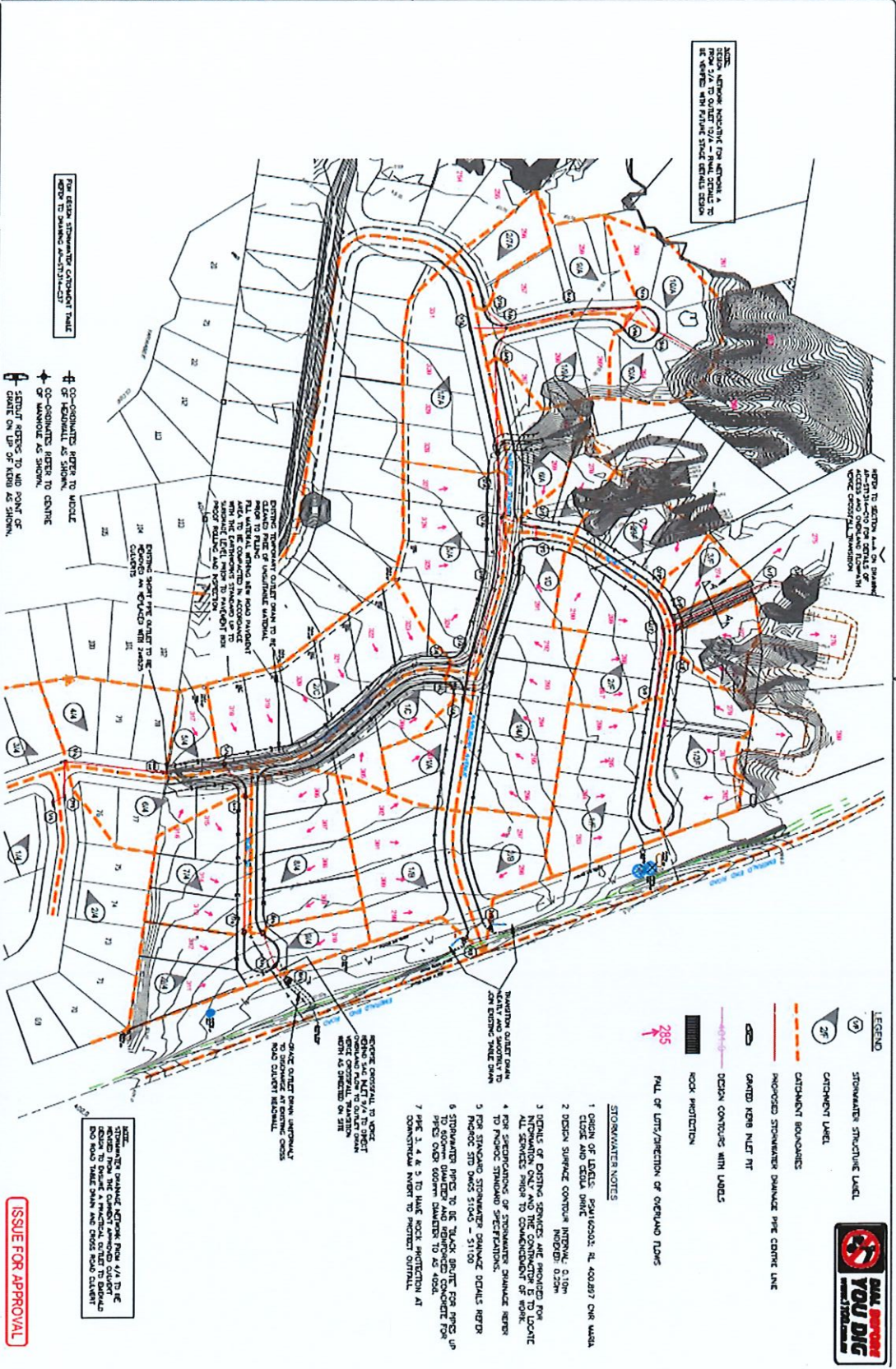
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13. Approval Authority
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Mob: 0424 007 310
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NO.	DESCRIPTION	DATE
1	ISSUE FOR APPROVAL	10/22
2	REVISION	10/22
3	REVISION	10/22
4	REVISION	10/22
5	REVISION	10/22

CLIENT: BT, M & S STANKOVICH PTY LTD
PROJECT: AMAROO RESIDENTIAL DEVELOPMENT
STAGES: 13 & 14
LOCATION: MOONBAY AVENUE, MAREEBA

DRAWING: STORMWATER DRAINAGE
CATCHMENT PLAN

APPROVED	DATE
AP-ST1314-C30	10/22



FILE E:\COATING\Mareeba\Amaroo Park\Stage 13 14 Final Drawings\AP-ST1314-C31 TO C31.dwg

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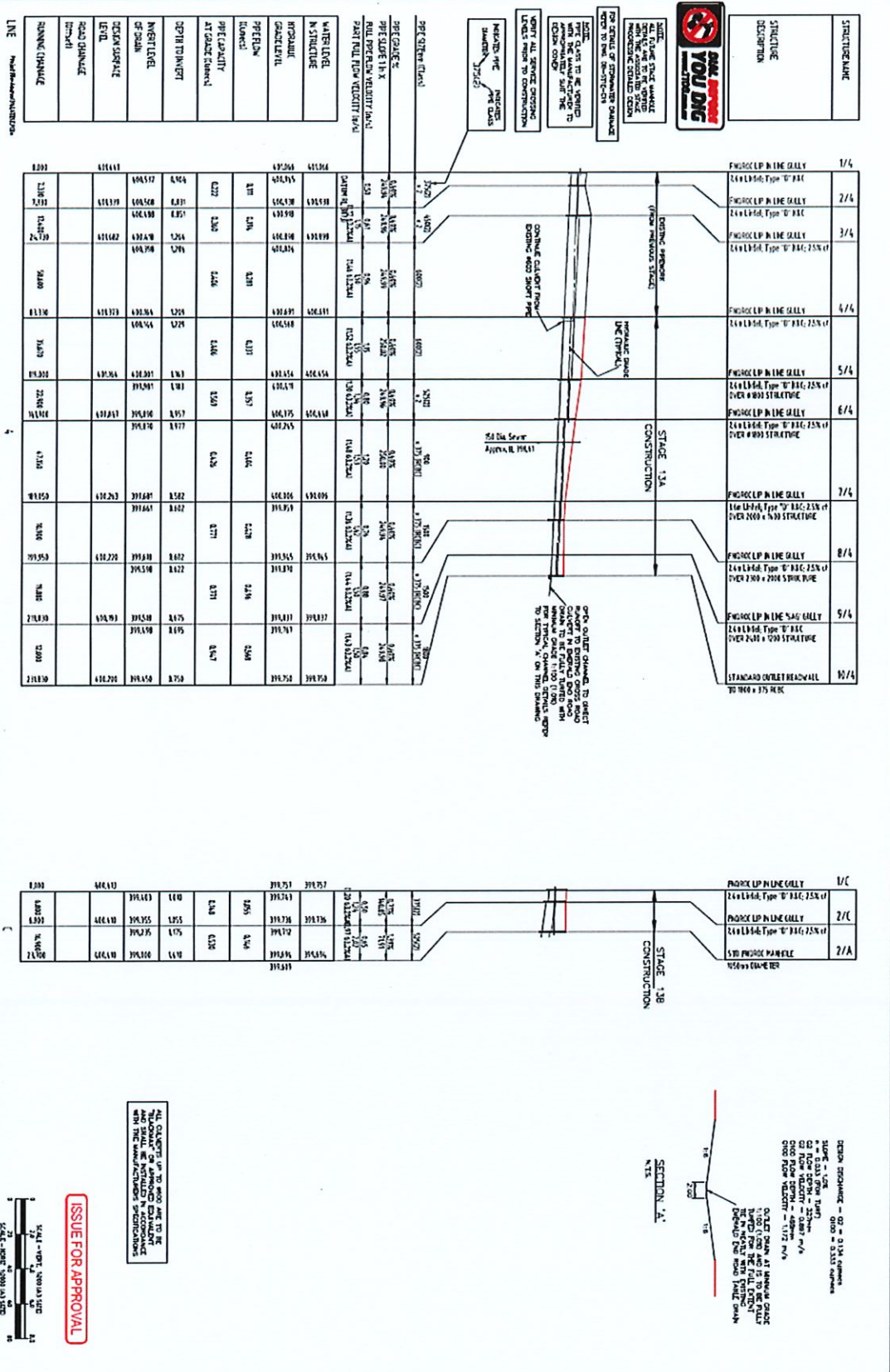
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NO.	REVISION	DATE
1	ISSUE FOR APPROVAL	08/22
2	REVISED PER COMMENTS	08/22
3	REVISED PER COMMENTS	08/22

CLIENT BT, M & S STANKOVICH PTY LTD
PROJECT AMAROO DEVELOPMENT
STAGES 13 & 14
MOONDINI AVENUE, MAREEBA

DRAWING STORMWATER DRAINAGE
LONGITUDINAL SECTIONS
SHEET 1 OF 3

DATE 08/22
ISSUE FOR APPROVAL
AP-ST1314-C31



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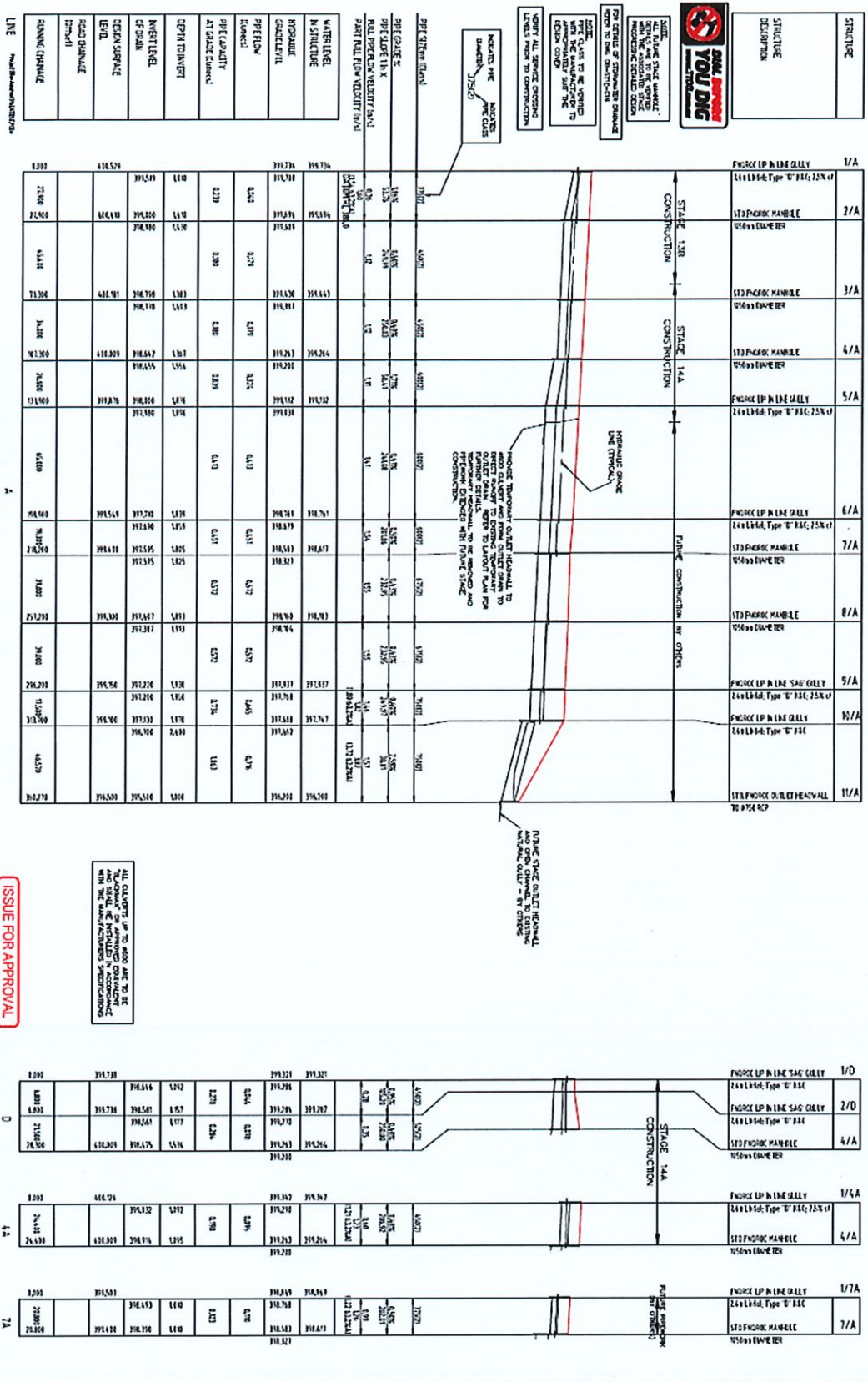
NO.	REVISION	DATE
1	ISSUE FOR APPROVAL	08/12/22
2	REVISED PER COMMENTS	08/12/22
3	REVISED PER COMMENTS	08/12/22
4	REVISED PER COMMENTS	08/12/22
5	REVISED PER COMMENTS	08/12/22

CLIENT BT, MA'S STANOVICH PTY LTD
PROJECT AMAROO DEVELOPMENT
STAGES 1 & 1.4
MOONDIAN AVENUE, MAREEBA

DRAWING
STORMWATER DRAINAGE
LONGITUDINAL SECTIONS
SHEET 2 of 3

DATE	BY	CHKD BY
08/22	RMM	
08/22		
08/22		
08/22		

PROJECT NO. AP-ST1314-C32



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ANVT 798 712 723

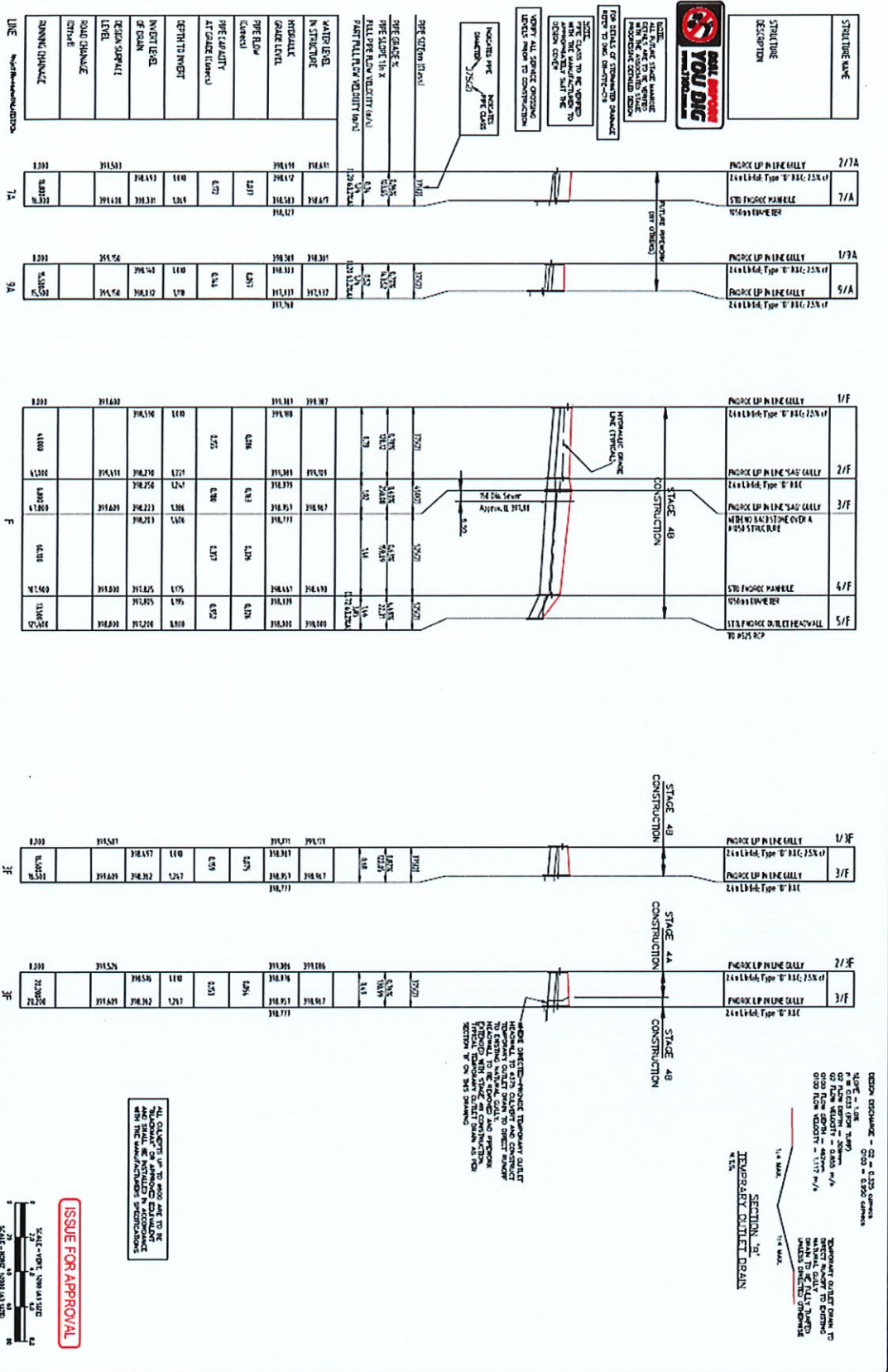
Approved Consultant:
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Brisbane QLD 4000
ANVT 798 712 723
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REVISION	DATE
1. INITIAL DESIGN	12/2021
2. REVISED DESIGN	01/2022
3. REVISED DESIGN	02/2022
4. REVISED DESIGN	03/2022
5. REVISED DESIGN	04/2022

CLIENT: BT, M & S STANKOVICH PTY LTD
PROJECT: AMARCO DEVELOPMENT
STAGES: 13 & 14
LOCATION: MOONDAWI AVENUE, MAREEBA

DRAWING: STORMWATER DRAINAGE
LONGITUDINAL SECTIONS
SHEET 3 of 3

Author: RMM
Checked: LINDY
Drawn: LINDY
Scale: 1:100
Sheet: AP-ST1314-C33
Date: 08/22
Version: B



FILE: E:\COO\TAV\Mareba Amaro Park\Stage 13 14 Final Drawings\AP-ST1314-C37.dwg

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FOLD DATE: 21 November 2022 - 4:41pm

Approved Consultant:
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Email: ts@tsaducci.com.au

REVISION	DATE
1. DESIGN	12/03/22
2. REVISED	12/03/22
3. REVISED	12/03/22
4. REVISED	12/03/22
5. REVISED	12/03/22
6. REVISED	12/03/22

CLIENT: BT. M.S. STANOVICH PTY. LTD.
PROJECT: AMAARO DEVELOPMENT
STAGES 13 & 14
MOONDAWI AVENUE, MAREEBA

DRAWINGS:
STORMWATER DRAINAGE
CATCHMENT TABLE, STRUCTURES
SCHEDULE AND PIPE TABLE

APPROVED: RMM
DATE: 08/2/22
DRAWN: [Name]
DATE: [Date]
CHECKED: [Name]
DATE: [Date]
PROJECT: AP-ST1314-C37
SHEET: B

ISSUE FOR APPROVAL

ATTACHMENT TABLE

NO	DESCRIPTION	DATE	BY	CHECKED	DATE	BY	CHECKED
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2	2. STORMWATER DRAINAGE	12/03/22	[Name]	[Name]	12/03/22	[Name]	[Name]
3	3. STRUCTURES SCHEDULE	12/03/22	[Name]	[Name]	12/03/22	[Name]	[Name]
4	4. PIPE TABLE	12/03/22	[Name]	[Name]	12/03/22	[Name]	[Name]

STRUCTURE SCHEDULE

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9	9. 150mm DIA. 1.5m DEPTH	12/03/22	[Name]	[Name]	12/03/22	[Name]	[Name]
10	10. 150mm DIA. 1.5m DEPTH	12/03/22	[Name]	[Name]	12/03/22	[Name]	[Name]

PIPE TABLE

NO	DESCRIPTION	DATE	BY	CHECKED	DATE	BY	CHECKED
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2	2. 150mm DIA. 1.5m DEPTH	12/03/22	[Name]	[Name]	12/03/22	[Name]	[Name]
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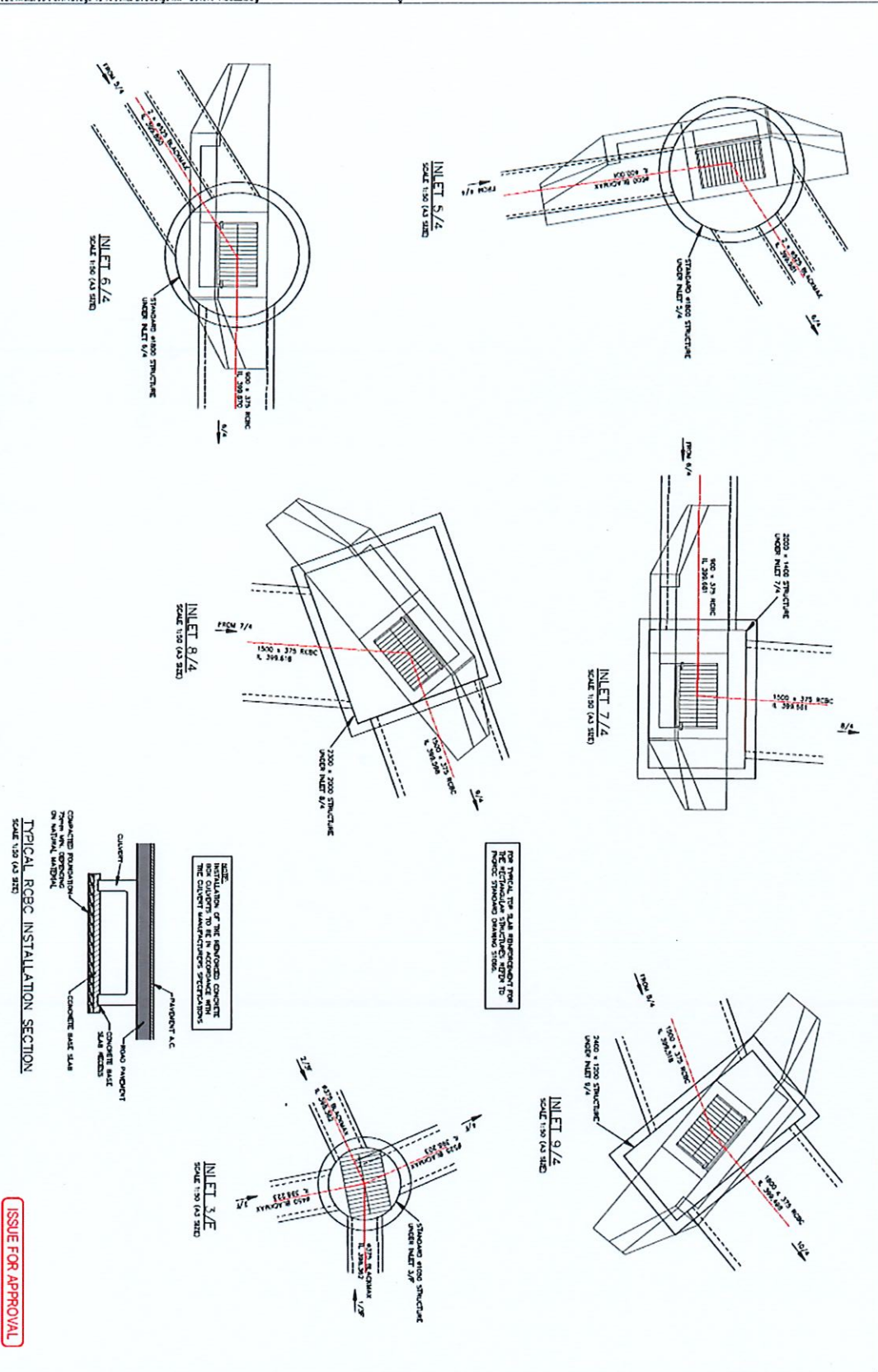
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/23/22
2	REVISION	08/22/22
3	REVISION	08/22/22

CLIENT: BT, M.A. & STANOVICH PTY LTD
PROJECT: AAROO RESIDENTIAL DEVELOPMENT
STAGES 13 & 14
MOONDIANI AVENUE, MAREEBA

DRAWING: STORMWATER DRAINAGE
STRUCTURE DETAILS PLAN

DATE	BY	CHECKED	DATE
08/22			

AP-ST114-C38
B



FILE: E:\DATA\Projects\Amaroo Park\Stage 13 & 14 Final Drawings\AP-ST1314-MODL.dwg

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PROJECT	AMAROOPARK DEVELOPMENT
CLIENT	BT. M & S STANICHOVICH PTY LTD
STAGES	STAGES 13 & 14
LOCATION	MOONDANI AVENUE, MAREEBA

ISSUE FOR APPROVAL

SEWERAGE RETICULATION LAYOUT PLAN
STAGE 13A
SHEET 1 of 5

DATE	09/22
BY	RM
APPROVED	
DATE	
CHECKED	
DATE	
AP-ST1314-S01	B

LEGEND

EXISTING UTILITY CONTROL AND LAND

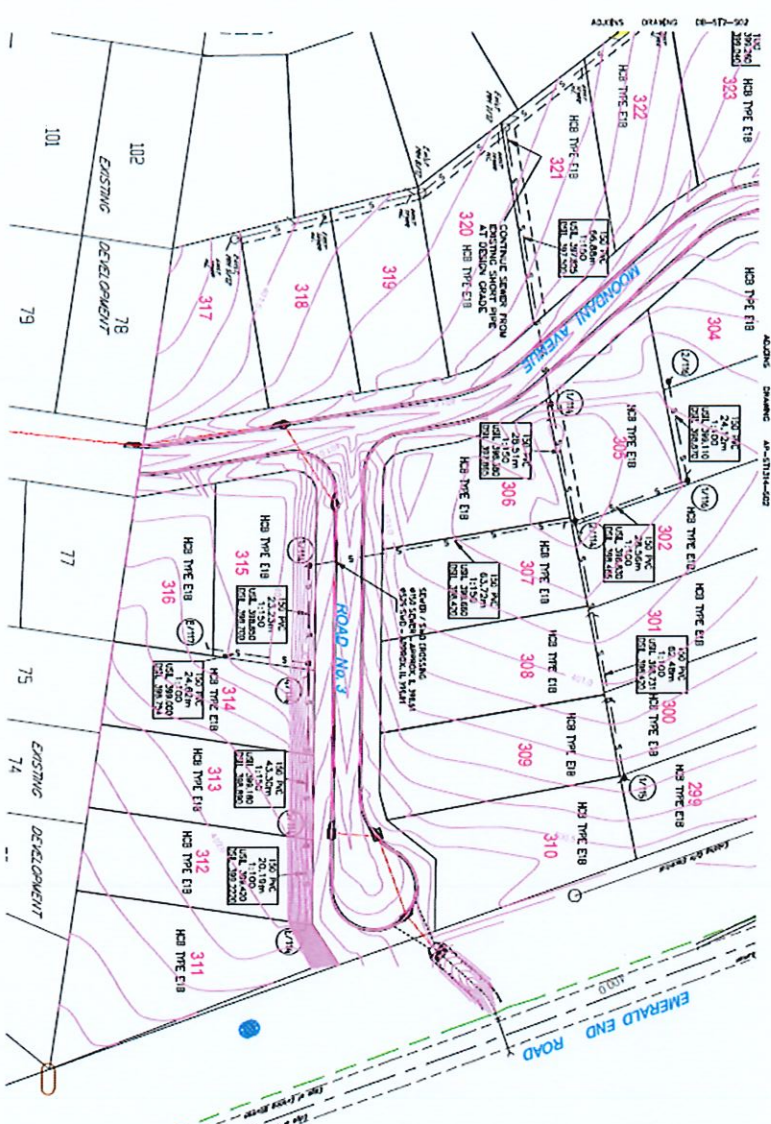
PROPOSED UTILITY AND DRAINAGE

PROPOSED STORMWATER DRAINAGE

PROPOSED SEWERAGE RETICULATION

CONTROL STATIONS

Station	Control	Structure	Depth
319	12.00m	300mm dia	1.00m
320	12.00m	300mm dia	1.00m
321	12.00m	300mm dia	1.00m
322	12.00m	300mm dia	1.00m
323	12.00m	300mm dia	1.00m
324	12.00m	300mm dia	1.00m
325	12.00m	300mm dia	1.00m
326	12.00m	300mm dia	1.00m
327	12.00m	300mm dia	1.00m
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329	12.00m	300mm dia	1.00m
330	12.00m	300mm dia	1.00m



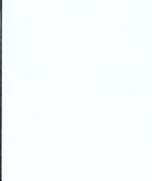
GENERAL NOTES

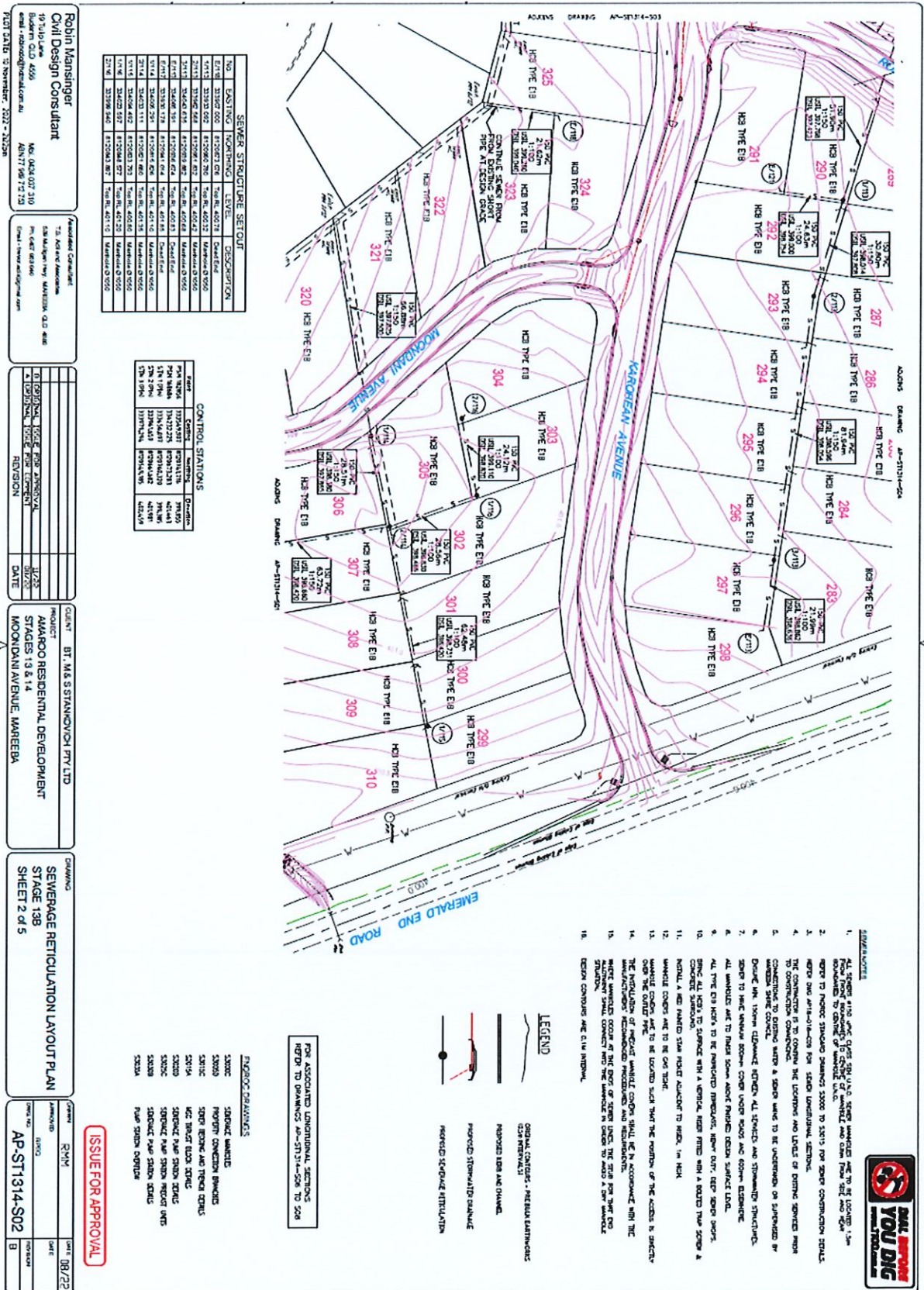
- All sewerage works shall be constructed in accordance with the relevant standards and specifications.
- The sewerage reticulation shall be constructed in accordance with the relevant standards and specifications.
- The sewerage reticulation shall be constructed in accordance with the relevant standards and specifications.
- The sewerage reticulation shall be constructed in accordance with the relevant standards and specifications.
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- The sewerage reticulation shall be constructed in accordance with the relevant standards and specifications.

ENERGY DRAINAGE

SEWER STRUCTURE SETOUT

NO	EXISTING	NORTHING	EASTING	LEVEL	DESCRIPTION
1	310	54058.236	112781.505	12.00	MANHOLE
2	311	54058.236	112781.505	12.00	MANHOLE
3	312	54058.236	112781.505	12.00	MANHOLE
4	313	54058.236	112781.505	12.00	MANHOLE
5	314	54058.236	112781.505	12.00	MANHOLE
6	315	54058.236	112781.505	12.00	MANHOLE
7	316	54058.236	112781.505	12.00	MANHOLE
8	317	54058.236	112781.505	12.00	MANHOLE
9	318	54058.236	112781.505	12.00	MANHOLE
10	319	54058.236	112781.505	12.00	MANHOLE
11	320	54058.236	112781.505	12.00	MANHOLE
12	321	54058.236	112781.505	12.00	MANHOLE
13	322	54058.236	112781.505	12.00	MANHOLE
14	323	54058.236	112781.505	12.00	MANHOLE
15	324	54058.236	112781.505	12.00	MANHOLE
16	325	54058.236	112781.505	12.00	MANHOLE





Document Set ID: 4166678
Version: 1, Version Date: 08/12/2022

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FACIT DATE: 9 November, 2022 - 24km

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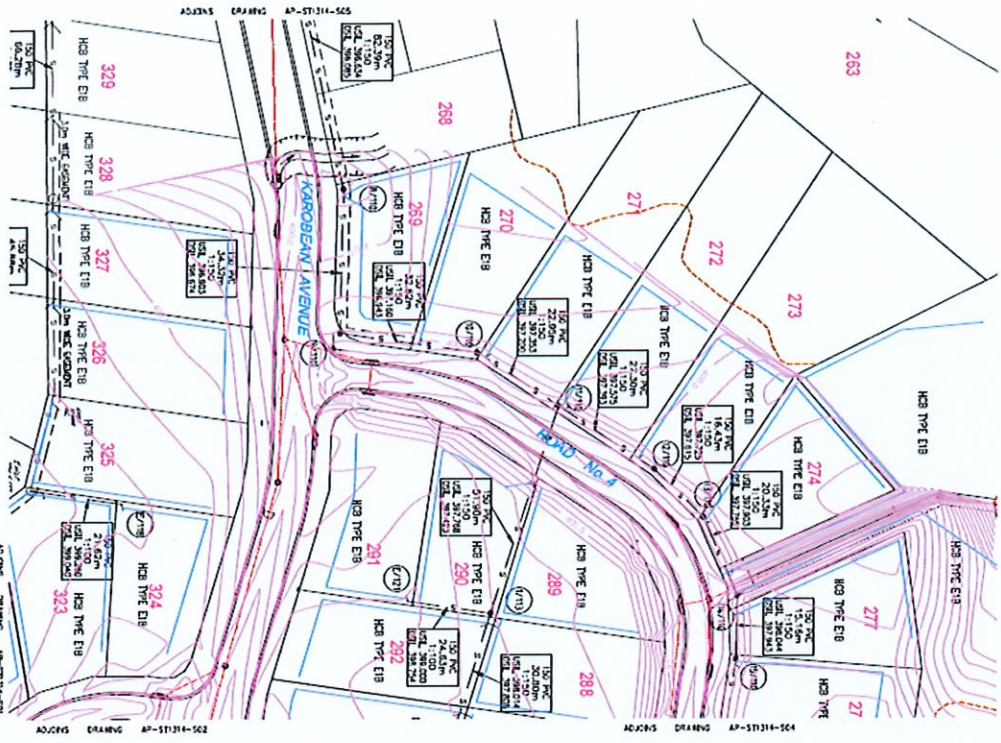
NO.	REVISION	DATE
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2	REVISED PER COMMENTS	10/20/2022
3	REVISED PER COMMENTS	09/20/2022
4	REVISED PER COMMENTS	08/20/2022

CLIENT: BT, MA STANOVICH PTY LTD
PROJECT: AMAARO RESIDENTIAL DEVELOPMENT
STAGES: 13 & 14
MOONDAWI AVENUE, MAREEBA

DRAWING: SEWERAGE RETICULATION LAYOUT PLAN
STAGE: 14A
SHEET: 3 of 5

DATE: 08/22/22
APPROVED: [Signature]
DATE: 08/22/22
PROJECT NO.: AP-ST1314-S03
REVISION: B

ISSUE FOR APPROVAL



NO.	EASTING	NORTHING	LEVEL	DESCRIPTION
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6011	333800.00	1729273.00	79.00	400 x 250
6012	333800.00	1729273.00	79.00	400 x 250
6013	333800.00	1729273.00	79.00	400 x 250
6014	333800.00	1729273.00	79.00	400 x 250
6015	333800.00	1729273.00	79.00	400 x 250
6016	333800.00	1729273.00	79.00	400 x 250
6017	333800.00	1729273.00	79.00	400 x 250
6018	333800.00	1729273.00	79.00	400 x 250
6019	333800.00	1729273.00	79.00	400 x 250
6020	333800.00	1729273.00	79.00	400 x 250
6021	333800.00	1729273.00	79.00	400 x 250
6022	333800.00	1729273.00	79.00	400 x 250
6023	333800.00	1729273.00	79.00	400 x 250
6024	333800.00	1729273.00	79.00	400 x 250
6025	333800.00	1729273.00	79.00	400 x 250
6026	333800.00	1729273.00	79.00	400 x 250
6027	333800.00	1729273.00	79.00	400 x 250
6028	333800.00	1729273.00	79.00	400 x 250
6029	333800.00	1729273.00	79.00	400 x 250
6030	333800.00	1729273.00	79.00	400 x 250

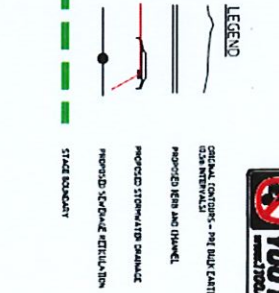
1. ALL SEWERAGE MAINS AND RISE MAINS SHALL BE CONSTRUCTED TO THE 1.0m FINISH FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.
2. ALL SEWERAGE MAINS SHALL BE CONSTRUCTED TO THE 1.0m FINISH FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.
3. ALL SEWERAGE MAINS SHALL BE CONSTRUCTED TO THE 1.0m FINISH FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.
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7. ALL SEWERAGE MAINS SHALL BE CONSTRUCTED TO THE 1.0m FINISH FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.
8. ALL SEWERAGE MAINS SHALL BE CONSTRUCTED TO THE 1.0m FINISH FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.
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11. ALL SEWERAGE MAINS SHALL BE CONSTRUCTED TO THE 1.0m FINISH FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.
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13. ALL SEWERAGE MAINS SHALL BE CONSTRUCTED TO THE 1.0m FINISH FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.
14. ALL SEWERAGE MAINS SHALL BE CONSTRUCTED TO THE 1.0m FINISH FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.
15. ALL SEWERAGE MAINS SHALL BE CONSTRUCTED TO THE 1.0m FINISH FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.
16. ALL SEWERAGE MAINS SHALL BE CONSTRUCTED TO THE 1.0m FINISH FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.

ENGINEER DRAWINGS

NO.	DESCRIPTION	DATE
1	PROPOSED SEWERAGE MAINS	08/22/22
2	PROPOSED MANHOLES	08/22/22
3	PROPOSED RISE MAINS	08/22/22
4	PROPOSED EASEMENTS	08/22/22
5	PROPOSED CONTROL STATIONS	08/22/22
6	PROPOSED STORMWATER DRAINAGE	08/22/22
7	PROPOSED RETICULATION	08/22/22
8	PROPOSED STAKE BOUNDARY	08/22/22

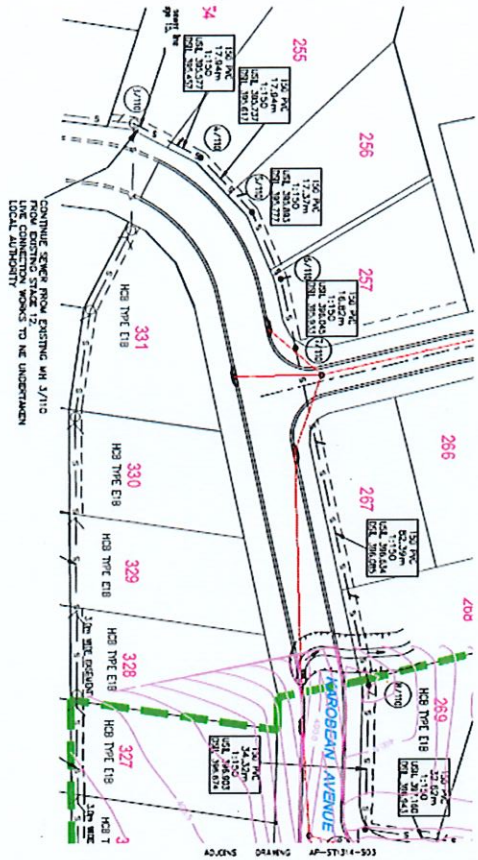
CONTROL STATIONS

NO.	DESCRIPTION	DATE
1	PROPOSED CONTROL STATION	08/22/22
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6	PROPOSED CONTROL STATION	08/22/22
7	PROPOSED CONTROL STATION	08/22/22
8	PROPOSED CONTROL STATION	08/22/22
9	PROPOSED CONTROL STATION	08/22/22
10	PROPOSED CONTROL STATION	08/22/22



FOR ASSOCIATED LAYOUTS AND SECTIONS REFER TO DRAWINGS AP-ST1314-S00 TO S08





ID	LASTING	DATE	REVISION	DESCRIPTION
01/10	11/20/21	11/20/21	1	ISSUE FOR APPROVAL
02/10	11/20/21	11/20/21	2	REVISION
03/10	11/20/21	11/20/21	3	REVISION
04/10	11/20/21	11/20/21	4	REVISION
05/10	11/20/21	11/20/21	5	REVISION
06/10	11/20/21	11/20/21	6	REVISION
07/10	11/20/21	11/20/21	7	REVISION
08/10	11/20/21	11/20/21	8	REVISION
09/10	11/20/21	11/20/21	9	REVISION
10/10	11/20/21	11/20/21	10	REVISION

1. ALL STRUCTURES AND PIPE LINES SHALL BE CONSTRUCTED TO THE LOCAL AUTHORITY STANDARDS AND SPECIFICATIONS.
2. ALL STRUCTURES AND PIPE LINES SHALL BE CONSTRUCTED TO THE LOCAL AUTHORITY STANDARDS AND SPECIFICATIONS.
3. ALL STRUCTURES AND PIPE LINES SHALL BE CONSTRUCTED TO THE LOCAL AUTHORITY STANDARDS AND SPECIFICATIONS.
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8. ALL STRUCTURES AND PIPE LINES SHALL BE CONSTRUCTED TO THE LOCAL AUTHORITY STANDARDS AND SPECIFICATIONS.
9. ALL STRUCTURES AND PIPE LINES SHALL BE CONSTRUCTED TO THE LOCAL AUTHORITY STANDARDS AND SPECIFICATIONS.
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16. ALL STRUCTURES AND PIPE LINES SHALL BE CONSTRUCTED TO THE LOCAL AUTHORITY STANDARDS AND SPECIFICATIONS.

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REVISION	DATE
1	11/20/21
2	11/20/21
3	11/20/21
4	11/20/21
5	11/20/21
6	11/20/21
7	11/20/21
8	11/20/21
9	11/20/21
10	11/20/21

CLIENT BT, M & S STANOVICH PTY LTD
PROJECT AMAROO RESIDENTIAL DEVELOPMENT STAGES 1, 3 & 14
LOCATION MOONDIINI AVENUE, MAREEBA

DRAWING SEWERAGE RETICULATION LAYOUT PLAN
SHEET 5 of 5

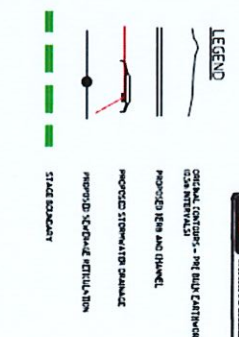
DATE 08/22
PROJECT NO. AP-ST1314-S05
VERSION B

ISSUE FOR APPROVAL

DATE	ENGINEER	FUNCTION
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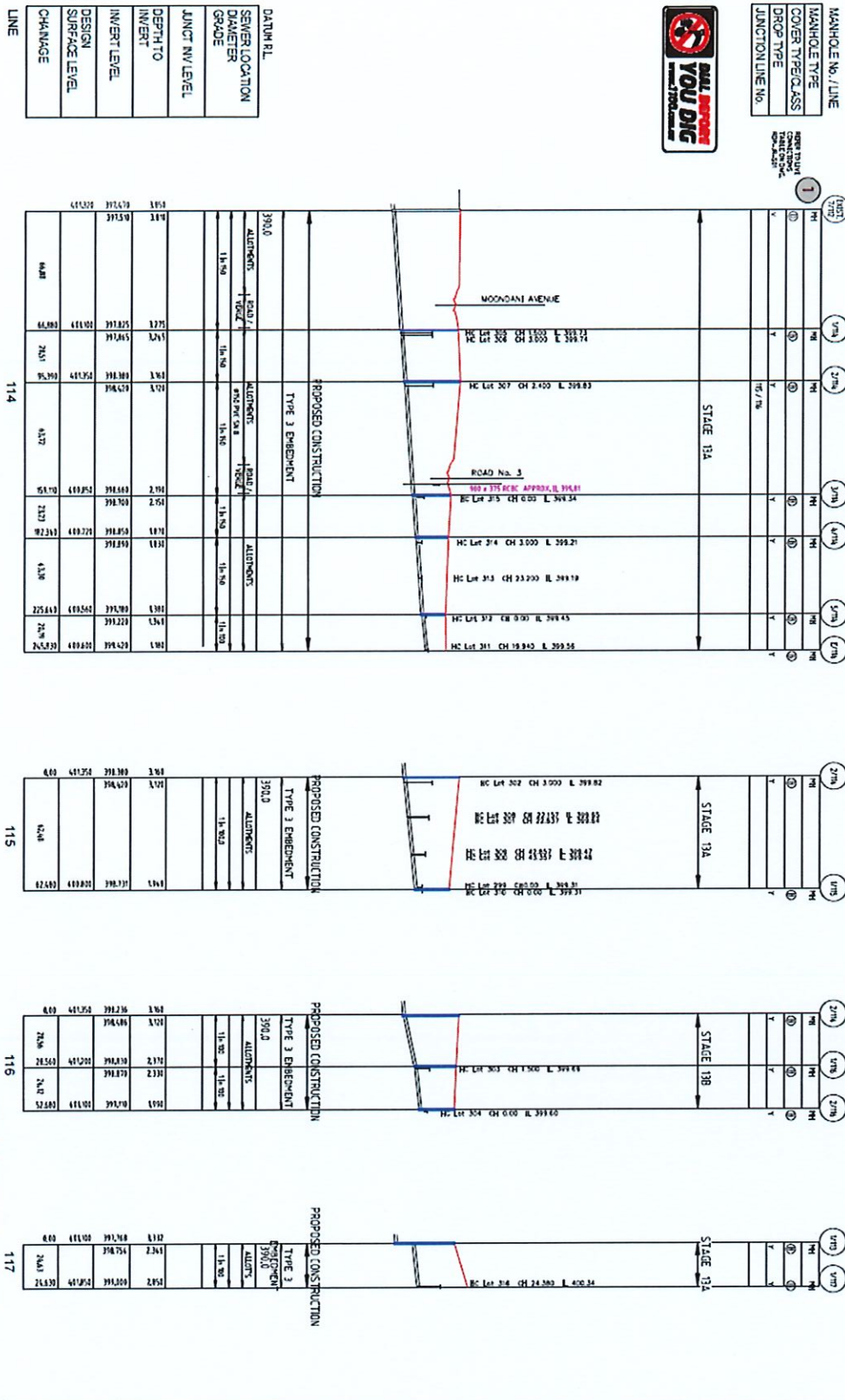
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- CONDUIT MANHOLE
- PROPOSED CONNECTION
- SEWER BEDDING AND TRENCH DETAILS
- SEWER
- W/2 TRIBUTARY BLOCK DETAILS
- CONDUIT MANHOLE CONNECTION DETAILS
- CONDUIT MANHOLE CONNECTION DETAILS
- CONDUIT MANHOLE CONNECTION DETAILS
- CONDUIT MANHOLE CONNECTION DETAILS

FOR ASSOCIATED LONGITUDINAL SECTIONS REFER TO DRAWINGS AP-ST1314-S06 TO S08





MANHOLE No./LINE	
COVER TYPE/CLASS	
DROP TYPE	
JUNCTION LINE No.	



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REVISION	DATE
1. INITIAL DESIGN	12/05/2022
2. REVISED DESIGN	12/05/2022
3. REVISED DESIGN	12/05/2022
4. REVISED DESIGN	12/05/2022
5. REVISED DESIGN	12/05/2022

CLIENT: BT, M.A. STANOVICH PTY LTD
PROJECT: MAREEBA RESIDENTIAL DEVELOPMENT STAGES 13 & 14
MONDANI AVENUE, MAREEBA

DRAWING: SEWERAGE RETICULATION LONGITUDINAL SECTIONS SHEET 1 of 3

AP-ST1314-S07
DATE: 08/22
BY: B

ISSUE FOR APPROVAL



FILE C:\DATA\Projects\Amaroo Park\Stage 13 14 Final Drawings\AP-ST1314-S06 TO S18.dwg

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REVISION	DATE
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2	10/02/2022
3	10/02/2022
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5	10/02/2022

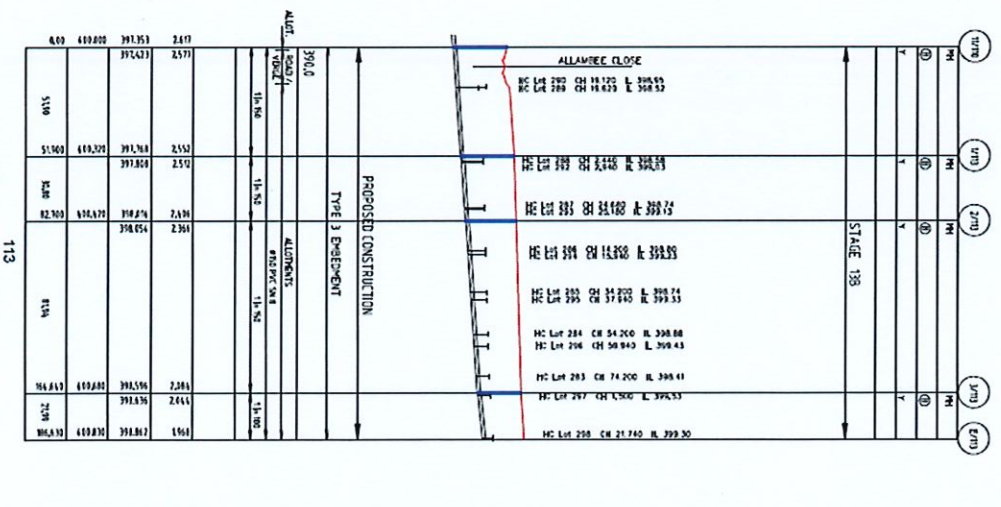
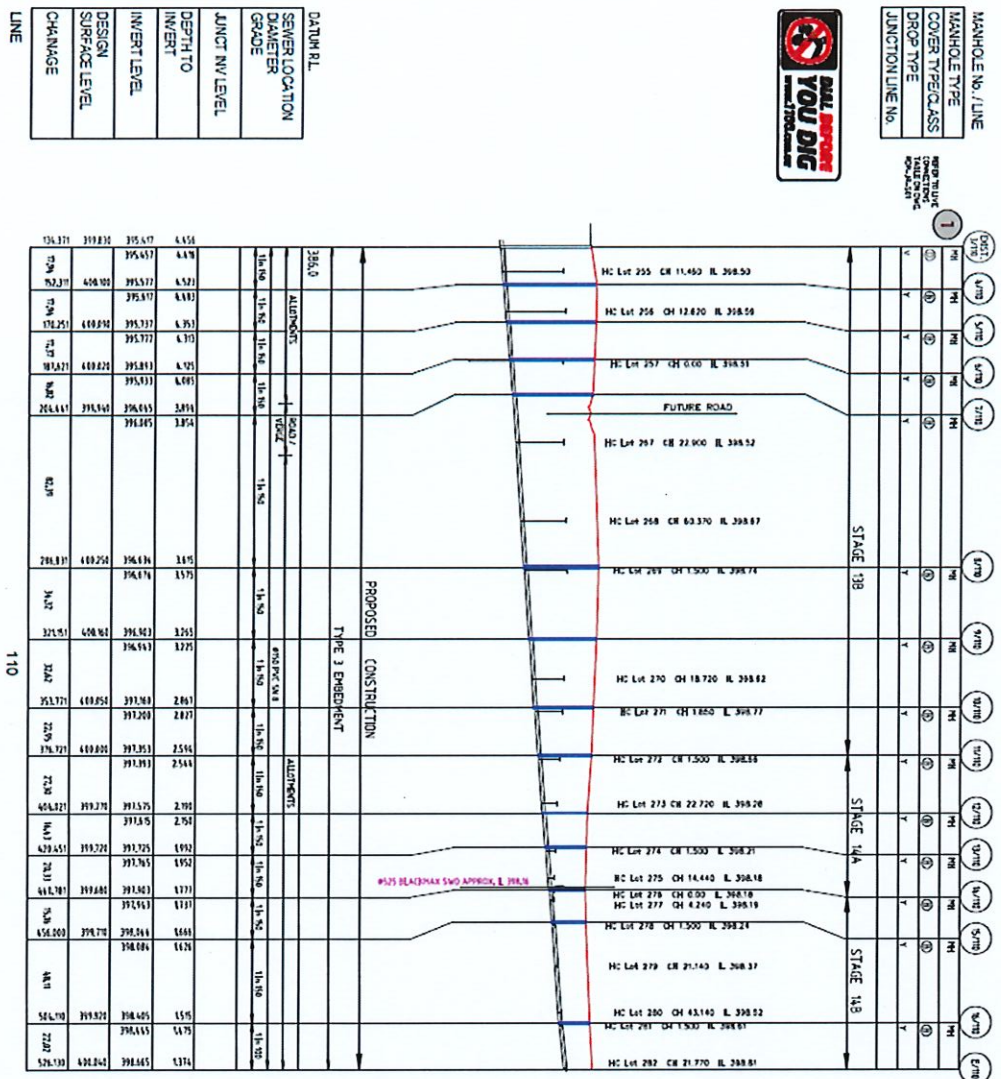
CLIENT BT & S STANKOVICH PTY LTD
PROJECT AMAROO RESIDENTIAL DEVELOPMENT
STAGES 13 & 14
MONDANI AVENUE, MAREEBA

DRAWING SEWERAGE RETICULATION
LONGITUDINAL SECTIONS
SHEET 2 OF 3

PROJECT RVM
DATE 08/22
ISSUED 08/22
REVISED 08/22
BY B



MANHOLE NO./LINE	
COVER TYPE/CLASS	
DROP TYPE	
JUNCTION LINE NO.	



ISSUE FOR APPROVAL



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NO.	DESCRIPTION	ISSUED FOR APPROVAL	DATE
1	ISSUED FOR APPROVAL	22/05/2022	
2	ISSUED FOR APPROVAL	08/07/2022	
3	ISSUED FOR APPROVAL	08/07/2022	
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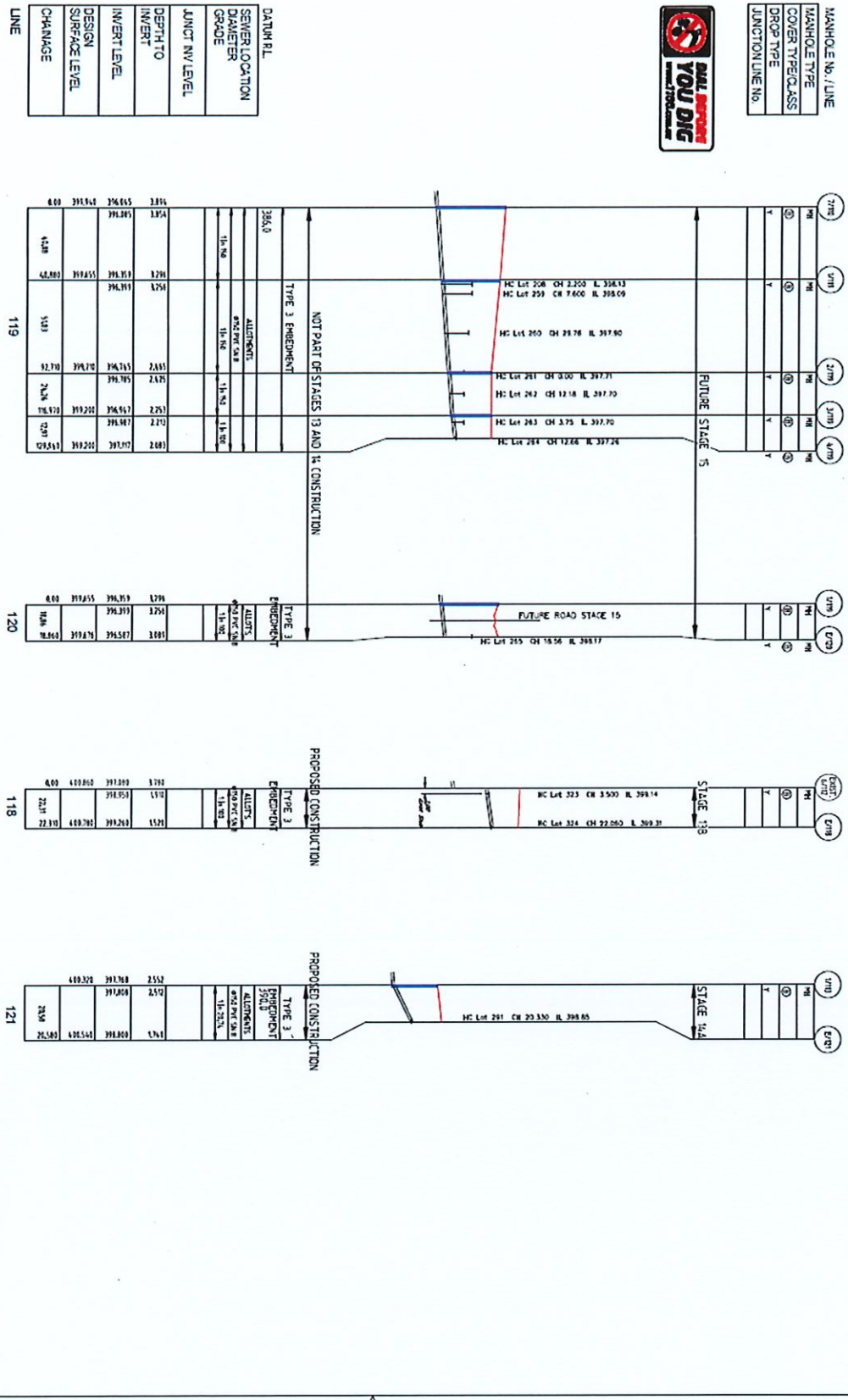
CLIENT BT. M & S STANOVICH PTY LTD
PROJECT AMAROO RESIDENTIAL DEVELOPMENT STAGES 13 & 14
MONDANI AVENUE, MAREEBA

DRAWING SEWERAGE RETICULATION LONGITUDINAL SECTIONS SHEET 3 of 3

AP-ST1314-S08
DATE: 08/22
SHEET: 3 OF 3



MANHOLE NO./LINE	COVER TYPE/CLASS	DROP TYPE	JUNCTION LINE NO.
1119	Y	Y	
1120	Y	Y	
1118	Y	Y	
1121	Y	Y	



ISSUE FOR APPROVAL



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REVISION	DATE
1	10/11/2022
2	10/11/2022
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15	10/11/2022

CLIENT BT M & S STANHOVICH PTY LTD
PROJECT AAROO RESIDENTIAL DEVELOPMENT STAGES 1, 3 & 14
MOONBANI AVENUE, MAREEBA

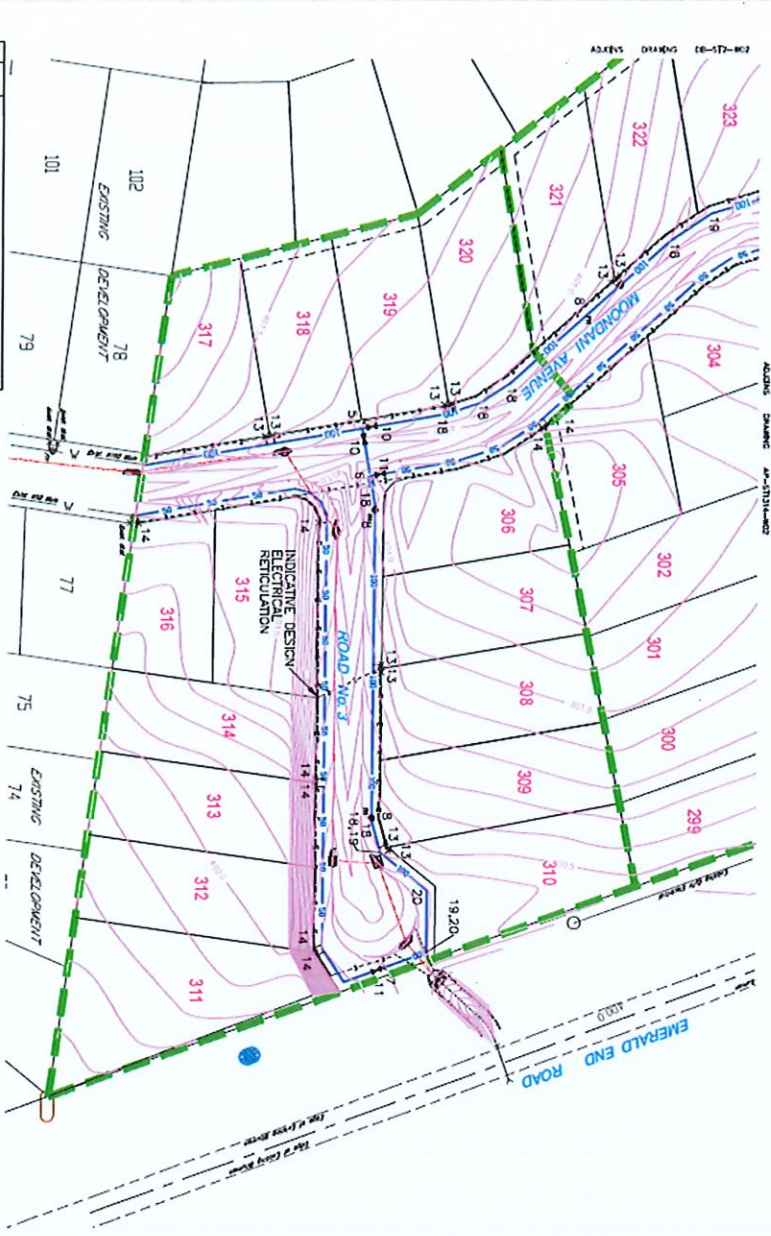
DRAWING WATER RETICULATION LAYOUT PLAN
STAGE 13A

DATE	BY	CHKD	REVISED
08/22	RVM		

AP-ST1314-W01

REF CODE	DESCRIPTION
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49	100 x 100 x 100mm DUCT, 100mm depth concrete Street Blank
50	100 x 100 x 100mm DUCT, 100mm depth concrete Street Blank



WATER RETICULATION NOTES

1. All water reticulation to comply with AS/NZS 3500.
2. All water reticulation to be installed to 1000mm depth.
3. All water reticulation to be installed to the existing ground level.
4. All water reticulation to be installed to the existing ground level.
5. All water reticulation to be installed to the existing ground level.
6. All water reticulation to be installed to the existing ground level.
7. All water reticulation to be installed to the existing ground level.
8. All water reticulation to be installed to the existing ground level.
9. All water reticulation to be installed to the existing ground level.
10. All water reticulation to be installed to the existing ground level.

ENDROCC DRAWINGS

- 520110 - Kerb/Road Markings
- 520115 - Water Reticulation Bedding Details <200
- 520200 - Water Service Road Crossings Low Density Residential

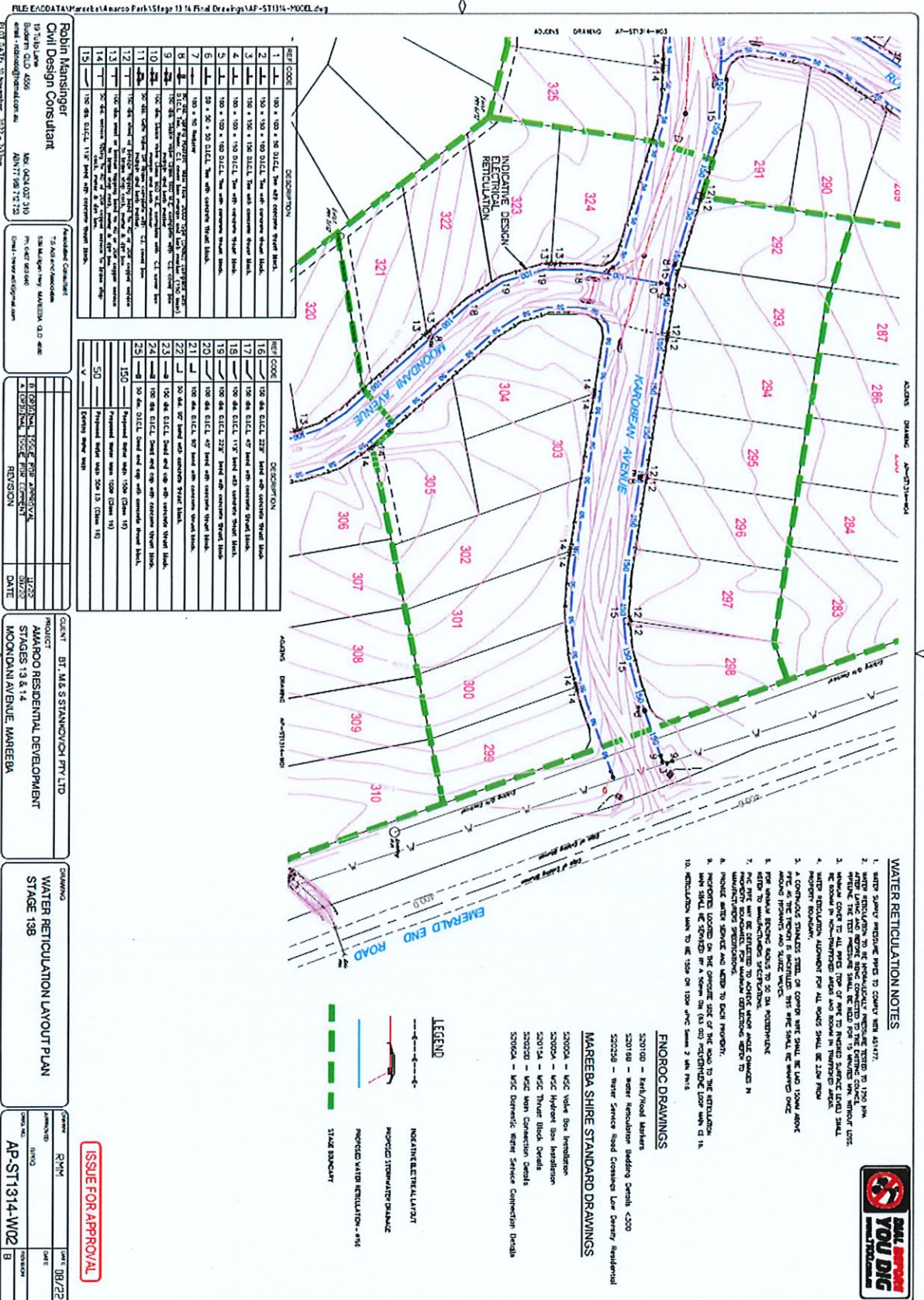
MAREEBA SHIRE STANDARD DRAWINGS

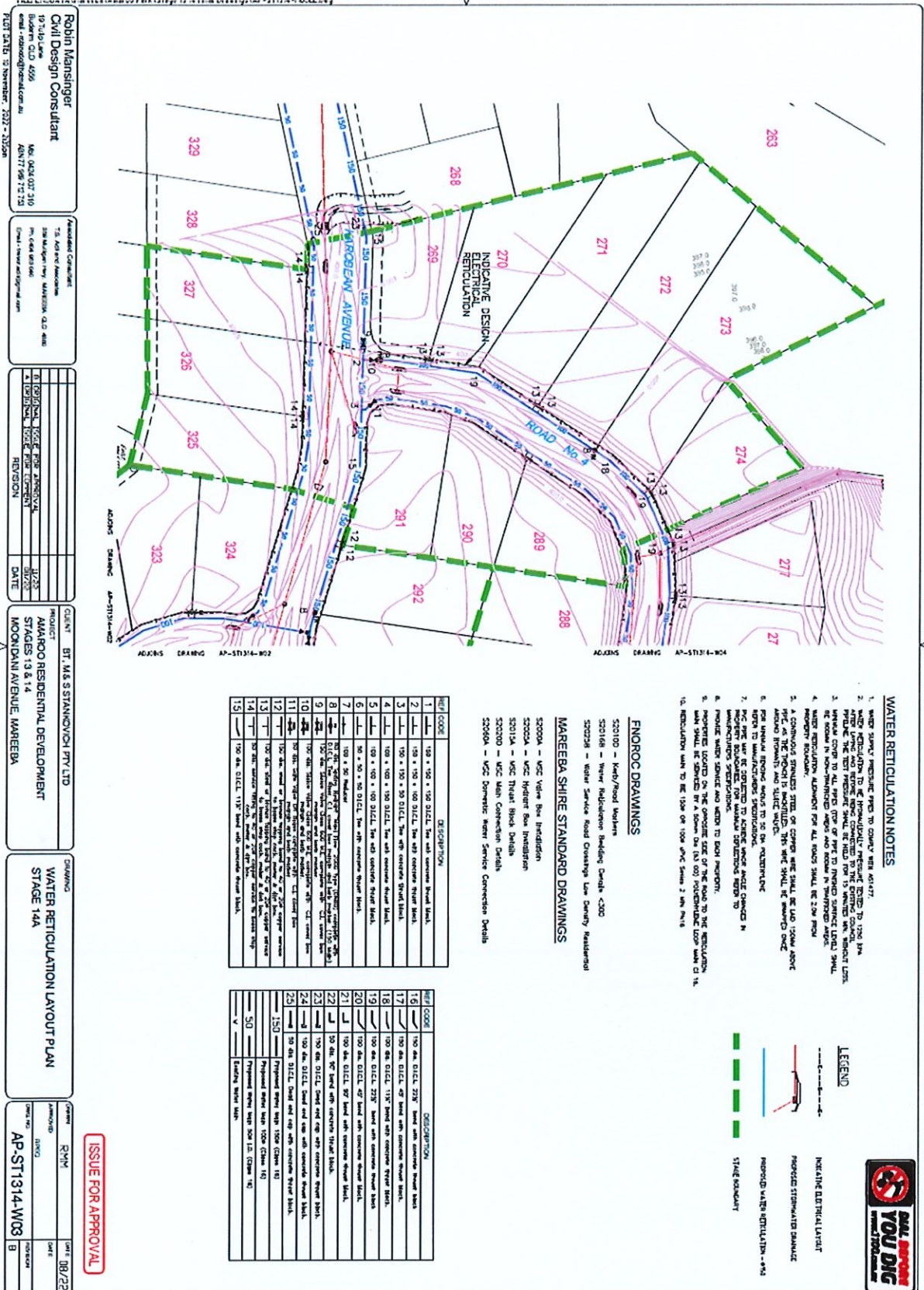
- 520004 - WSC Water Box Installation
- 520014 - WSC Hydrant Box Installation
- 520015A - WSC Invert Block Details
- 520020 - WSC Main Connection Details
- 520024 - WSC Domestic Water Service Connection Details

LEGEND

- INDICATIVE ELECTRICAL RETICULATION
- PROPOSED WATER RETICULATION - 150
- STAGE BOUNDARY







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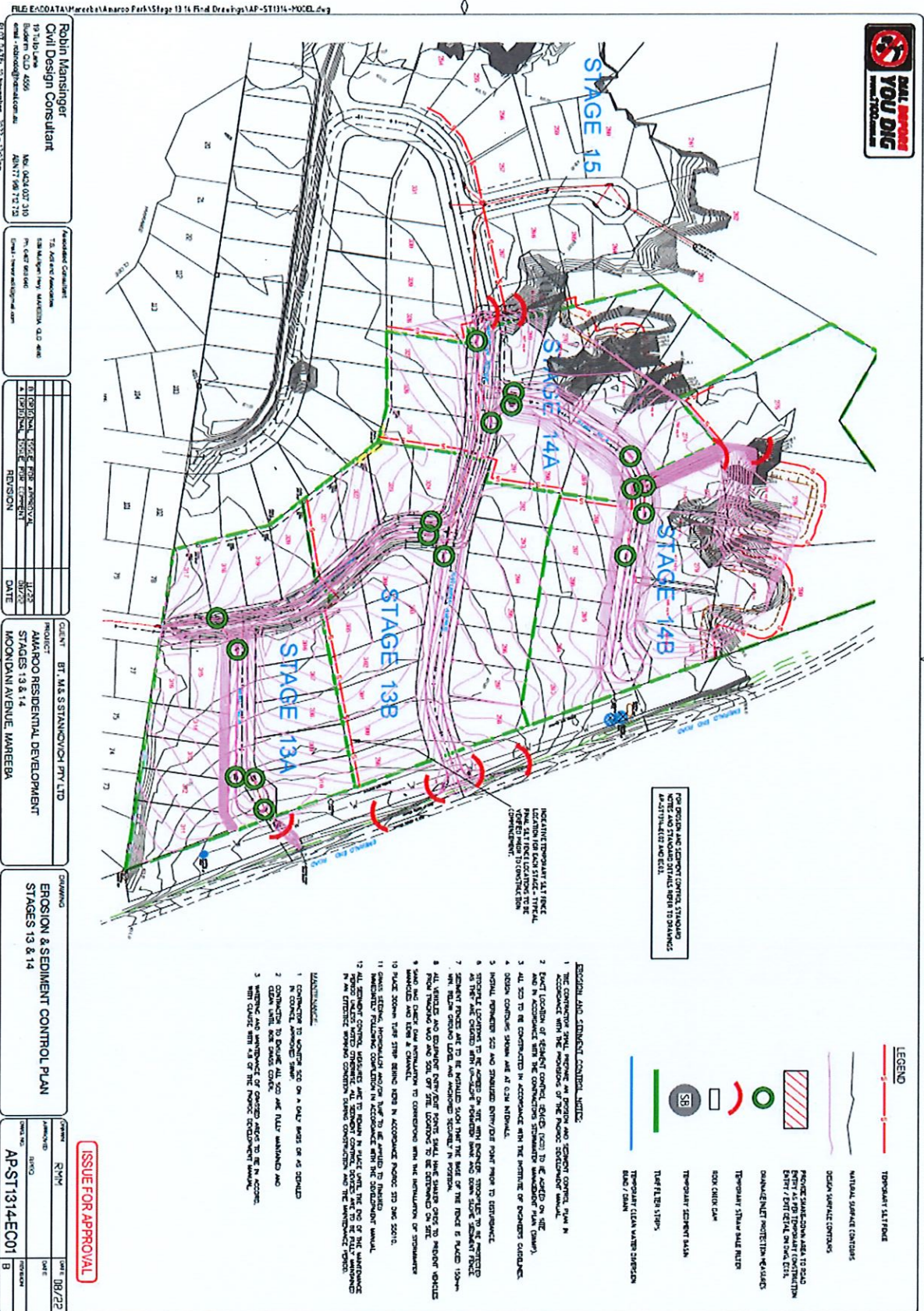
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2	PROPOSED WATER RETICULATION LAYOUT PLAN	08/22
3	PROPOSED WATER RETICULATION LAYOUT PLAN	08/22
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14	PROPOSED WATER RETICULATION LAYOUT PLAN	08/22
15	PROPOSED WATER RETICULATION LAYOUT PLAN	08/22

CLIENT BR. MAREEBA SHIRE COUNCIL
PROJECT MAREEBA RESIDENTIAL DEVELOPMENT STAGES 13 & 14
LOCATION MAREEBA AVENUE, MAREEBA

DRAWING WATER RETICULATION LAYOUT PLAN
STAGE 14A

AP-ST-1314-W03
DATE: 08/22
BY: [Signature]

ISSUE FOR APPROVAL



SPECIFICATIONS FOR SITE REVEGETATION

INSTALLATION

1. REFER TO APPROVED PLANS FOR LOCATION, EXTENT, AND APPLICATION DETAILS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, OR METHOD OF APPLICATION CONTACT THE ENGINEER, LANDSCAPE ARCHITECT OR RESPONSIBLE ON-SITE OFFICER FOR ASSISTANCE.
2. ENSURE ALL NECESSARY SOIL TESTING (e.g. SOIL pH, NUTRIENT LEVELS) AND ANALYSIS HAS BEEN COMPLETED, AND REQUIRED SOIL ADJUSTMENT PERFORMED PRIOR TO PLANTING.
3. APPLY SOIL CONDITIONERS AND FERTILISERS AS SPECIFIED ON THE APPROVED PLANS. RIP THE SOIL 100 TO 150mm TO MIX THE COMPONENTS INTO THE SOIL AND TO LOOSEN AND ROUGHEN THE SOIL SURFACE BEFORE SEEDING.
4. WHERE POSSIBLE, THERE SHOULD BE SUFFICIENT SOIL DEPTH TO PROVIDE AN ADEQUATE ROOT ZONE. THE DEPTH TO ROCK OR IMPERMEABLE LAYERS SUCH AS HARDPAN SHOULD BE NOTED AND ONE EXCEPT ON SLOPES STEEPER THAN 2:1 WHERE SUCH SOIL DEPTH MAY NOT BE FEASIBLE.
5. ENSURE THE SOIL MIX WITHIN THE SPECIFIED RANGE.
6. APPLY SEED UNIFORMLY BY HAND OR WITH A CIRCONE SEEDER. DROP THE SPREADER, DRILL, HYDROSEEDER, SPREADER OR OTHER SUITABLE EQUIPMENT AS SPECIFIED.
7. WHEN USING PRODUCTS AND METHODS SUBJECT TO THE AREA INTO WORKABLE SECTIONS AND APPLY ONE HALF OF SEED WHILE MOVING BACK AND FORTH ACROSS THE AREA. MAINTAIN A MINIMUM PATTERNS THAT COVER SEED IN THE SAME WAY, BUT MOVING AT RIGHT ANGLES TO THE FIRST PASS. COVER BE SEED BY RAKING OR CHAIN DRAGGING. THEN FIRN THE SURFACE WITH A ROLLER TO PROVIDE GOOD SEED CONTACT.
8. APPLY SEED AT THE RECOMMENDED RATE AND DISC OR OTHERWISE MECHANICALLY TREAT THE SURFACE TO BRING THE SEED INTO CONTACT WITH THE SOIL.
9. THE SEED/DAREA SHOULD BE MULCHED AS SPECIFIED IN THE APPROVED PLAN.

MAINTENANCE

1. DURING THE CONSTRUCTION PHASE, INSPECT THE TREATED AREA FORTNIGHTLY AND AFTER RAINFALL. PROLONG RAINFALL MAKE REPAIRS AS NEEDED.
2. WATERING THE VEGETATION PERIODICALLY IS ESSENTIAL, ESPECIALLY IN THE FIRST 7 DAYS AFTER ESTABLISHMENT. USE LOW-PRESSURE SPRAYS BECAUSE HIGH-PRESSURE JETS CAN WASH AWAY THE SEED AND MULCH COVER.
3. WATERING SHOULD START IMMEDIATELY AFTER PLANTING. WATERING SHOULD COMPLY WITH SPECIFICATIONS, GENERALLY WATERING SHOULD VARY ACCORDING TO WEATHER AND SOIL CONDITIONS. A TYPICAL WATERING SCHEDULE MAY CONSIST OF THE FOLLOWING:
 - (i) 20mm EVERY SECOND DAY FOR THE FIRST THREE WEEKS;
 - (ii) 20mm TWICE A WEEK FOR THE NEXT THREE WEEKS; AND
 - (iii) 20mm ONCE WEEKLY FOR A FURTHER TWO WEEKS.

MAINTENANCE CONT.

4. MONITOR SITE REVEGETATION, PARTICULARLY AFTER RAINFALL, AND APPROPRIATE MAINTENANCE AND/OR AMENDMENT TO ENSURE THAT THE REVEGETATION IS CONTROLLING EROSION AND STABILISING SOIL SLOPES AS REQUIRED.
5. WHERE PRACTICABLE, FILL IN OR LEVEL OUT ANY RILL EROSION BETWEEN PLANTS. IF EXCESSIVE EROSION OCCURS, THEN CONSIDER INCREASING THE PLANTING DENSITY, APPLYING APPROPRIATE EROSION CONTROL MEASURES, OR INTRODUCING ALTERNATIVE, NON-CUMULATING PLANT SPECIES.
6. AREAS MUST BE RE-SEED AND MULCHED IF THE VEGETATION FAILS TO ESTABLISH OR IS DAMAGED BY RAINFALL OR CONSTRUCTION ACTIVITIES.
7. IF THE TEMPORARY VEGETATION COVER OR EROSION CONTROL MEASURE (e.g. MULCH COVER) SHOULD FAIL FOR ANY REASON BEFORE ESTABLISHMENT OF THE PERMANENT VEGETATION COVER, THEN IT MUST BE REPLACED WITH AN APPROPRIATE TYPE OF COVER SUFFICIENT TO CONTROL SOIL EROSION.
8. IF THE PERMANENT VEGETATION SHOULD FAIL TO ESTABLISH OR TO ADEQUATELY RESTRAIN EROSION FOR ANY REASON DURING THE CONSTRUCTION OR MAINTENANCE PERIOD, THE AREA SHOULD BE REVEGETATED OR PROTECTED WITH OTHER EROSION CONTROL MEASURES AS APPROPRIATE.
9. IN AREAS WHERE THE OBTAINED VEGETATION COVER IS CONSIDERED INADEQUATE FOR EROSION CONTROL, THE AFFECTED AREA SHOULD BE OVER SEEDED AND FERTILISED USING HALF THE ORIGINAL SPECIFIED RATES, OR AS DIRECTED.
10. MAINTAIN GRASS BLADE LENGTH AT A MAXIMUM 50mm HEIGHT WITHIN MEDIUM TO HIGH VELOCITY DRAINAGE AREAS, AND 20 TO 50mm WITHIN LOW VELOCITY FLOW PATHS.
11. WHERE NECESSARY, OR AS DIRECTED BY THE SUPERVISOR, SLASH THE TEMPORARY VEGETATION COVER TO ALLOW THE SUCCESSFUL GROWTH OF THE UNDERLYING PERMANENT VEGETATION COVER.
12. CONTROL WEED GROWTH WITHIN 1m OF IMMATURE TREES FOR 6 TO 12 MONTHS FOR FAST GROWING SPECIES, AND 18 TO 20 MONTHS FOR SLOW GROWING SPECIES. ON DATE THE END OF THE SPECIFIED PERIOD.
13. WHERE MULCH IS USED TO CONTROL WEED GROWTH, INSPECT AND WHERE NECESSARY, RENEW AT MAINTENANCE PERIODS NOT EXCEEDING 1 TO 4 MONTHS.
14. APPLY ADDITIONAL SEED MULCH OR ANOTHER SOIL CONDITIONER AS REQUIRED. MULCHES USUALLY NEED TO BE MAINTAINED OR RENEWED AS NECESSARY, 2 TO 3 TIMES A YEAR.
15. INSPECT AND WHERE NECESSARY REPAIR PROTECTIVE FENCING AT MAINTENANCE PERIODS NOT EXCEEDING 1 MONTH.
16. REPAIR PLANTS LOOSELY BY WIND-ROCK, LIVESTOCK OR WILDFIRE.
17. REPLACE DEAD OR SEVERELY RETARDED PLANTS.
18. PRUNE ANY PLANTS OF DEAD OR DISEASED PARTS. CUT OFF ALL DAMAGED TREE LIMBS ABOVE THE TREE COLLAR AT THE TRUNK OR MAIN BRANCH. USE SEVERAL CUTS INCLUDING UNDERCUTTING TO AVOID PEELING BARK FROM THE HEALTHY AREAS OF THE TREE.
19. DISPOSE OF CLEARED VEGETATION IN AN APPROPRIATE MANNER SUCH AS CHIPPING OR MULCHING, ON-SITE BURIAL, OR OFF-SITE DISPOSAL. CLEARED VEGETATION SHOULD NOT BE FLOODED NEAR A WATER COURSE OR ON A FLOODPLAIN WHERE IS COULD BE REMOVED BY FLOODWATERS. VEGETATION SHOULD NOT BE BURIED ON-SITE WITHOUT SPECIFIC APPROVAL FROM THE LOCAL AUTHORITY.
20. REPAIR DAMAGED TREE ROOTS BY CUTTING OFF THE DAMAGED AREAS AND SEALING THEM WITH AN APPROVED PRODUCT. SHIELD MOIST TOP SOIL OVER EXPOSED ROOTS.

FOR GENERAL REPORT AND EROSION CONTROL DETAILS REFER TO DRAWING AP-ST13-14-EC02

Classification	Minimum particle size	Typical trapped particles
Type 1	• 0.255mm	Clay, silt & sand
Type 2	0.255mm to 0.75mm	silt & sand
Type 3	• 0.75mm	sand
Supplementary	• 0.25mm	Coarse Sand

NOTE - TESTING AND CLASSIFICATION MUST BE COMPLETED AND REPORTED TO SUPERINTENDENT FOR CONSTRUCTION PRIOR TO THE COMMENCING OF EARTHWORKS. RESULTS MAY VARY ETC. CONTROLS.

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NO.	REVISION	DATE
1	ISSUE FOR APPROVAL	08/22
2	FOR GENERAL REPORT AND EROSION CONTROL DETAILS	08/22
3	FOR GENERAL REPORT AND EROSION CONTROL DETAILS	08/22

CLIENT: BT, M/S S STANKOVICH PTY LTD
PROJECT: MAAROO RESIDENTIAL DEVELOPMENT STAGES 13 & 14
MOONDINI AVENUE, MAREEBA

COMMENTS
EROSION & SEDIMENT CONTROL GENERAL NOTES PLAN

ISSUE FOR APPROVAL
RNM
LHND
AP-ST13-14-EC02
DATE: 08/22
SCALE: B



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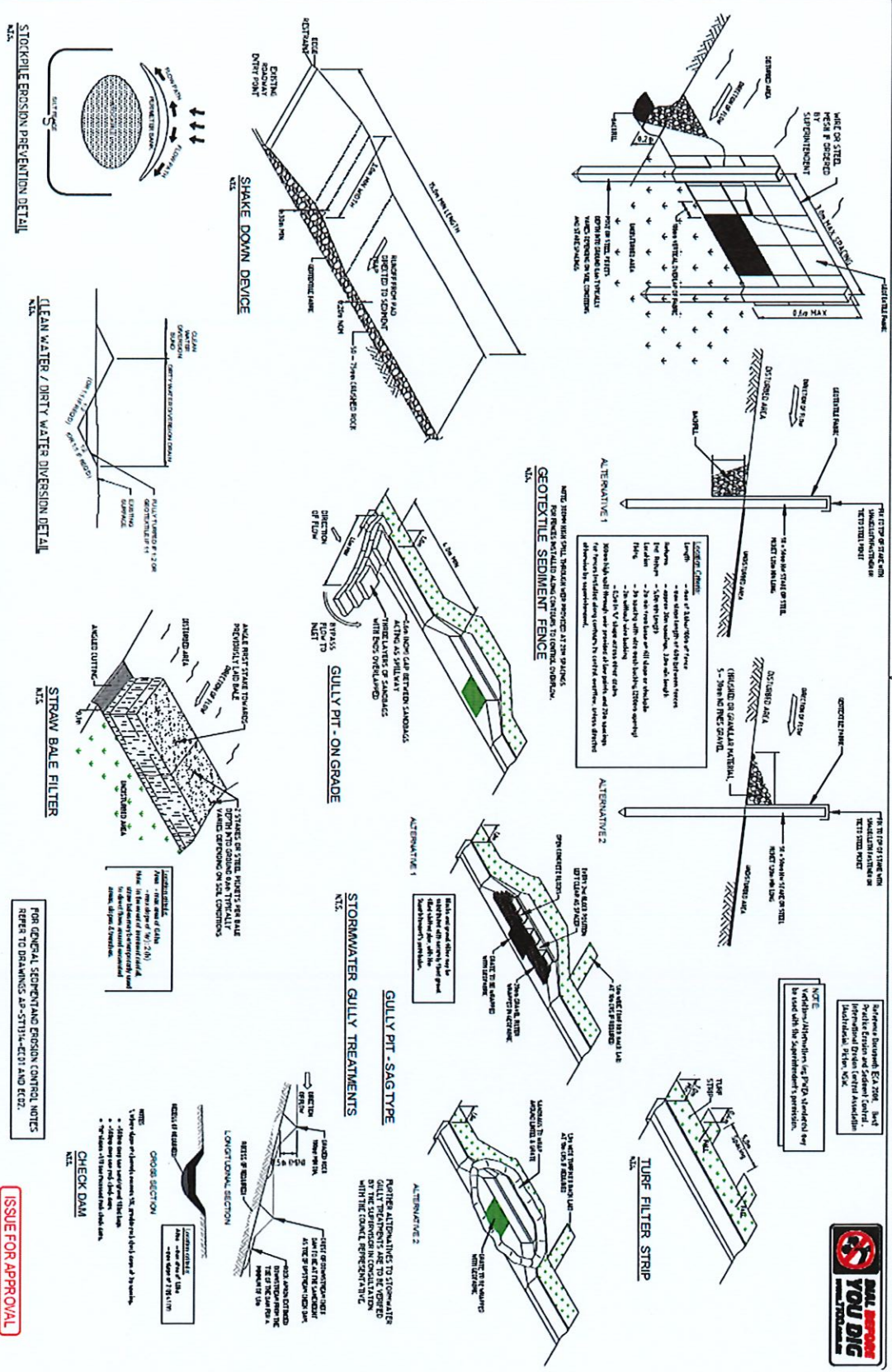
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NO.	DESCRIPTION	DATE
1	ISSUE FOR APPROVAL	2022/08/22
2	FOR GENERAL SCHEMATIC AND EROSION CONTROL NOTES	2022/08/22
3	FOR GENERAL SCHEMATIC AND EROSION CONTROL NOTES	2022/08/22
4	FOR GENERAL SCHEMATIC AND EROSION CONTROL NOTES	2022/08/22
5	FOR GENERAL SCHEMATIC AND EROSION CONTROL NOTES	2022/08/22
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29	FOR GENERAL SCHEMATIC AND EROSION CONTROL NOTES	2022/08/22
30	FOR GENERAL SCHEMATIC AND EROSION CONTROL NOTES	2022/08/22

CLIENT: BT, MA S STYANOVICH PTY LTD
PROJECT: AMAAOHO RESIDENTIAL DEVELOPMENT
STAGES: 13 & 14
ADDRESS: MOONDAINI AVENUE, MAREEBA

COMMENTS:
EROSION & SEDIMENT CONTROL
GENERAL DETAILS PLAN

APPROVED	DATE	APPROVED	DATE
	19/08/22		19/08/22
AP-ST1314-EC08	19/08/22		



Appeal Rights

PLANNING ACT 2016 & THE PLANNING REGULATION 2017

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 of the *Planning Act 2016* states –
- (a) Matters that may be appealed to –
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) The person-
 - (i) who may appeal a matter (the **appellant**); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.

(Refer to Schedule 1 of the Planning Act 2016)

- (2) An appellant may start an appeal within the appeal period.
- (3) The **appeal period** is –
- (a) for an appeal by a building advisory agency – 10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal – at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises – 20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against an infrastructure charges notice – 20 business days after the infrastructure charges notice is given to the person; or
 - (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given – 30 business days after the applicant gives the deemed approval notice to the assessment manager; or
 - (f) for any other appeal – 20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note –

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.

- (6) To remove any doubt. It is declared that an appeal against an infrastructure charges notice must not be about-
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund-
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that-
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to –
 - (a) the respondent for the appeal ; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, table 1, item 1 – each principal submitter for the development application; and
 - (d) for and appeal about a change application under schedule 1, table 1, item 2 – each principal submitter for the change application; and
 - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
 - (f) for an appeal to the P&E Court – the chief executive; and
 - (g) for an appeal to a tribunal under another Act – any other person who the registrar considers appropriate.
- (4) The *service period* is –
 - (a) if a submitter or advice agency started the appeal in the P&E Court – 2 business days after the appeal has started; or
 - (b) otherwise – 10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section –

decision includes-

- (a) conduct engaged in for the purpose of making a decision; and
- (b) other conduct that relates to the making of a decision; and
- (c) the making of a decision or failure to make a decision; and
- (d) a purported decision ; and
- (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter-

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the Judicial Review Act 1991 or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with the rules of the P&E Court.