

From: "Jim Papas" <admin@jpced.com.au>
Sent: Thu, 29 Sep 2022 08:49:06 +1000
To: "Brian Millard" <BrianM@msc.qld.gov.au>; "Carl Ewin" <CarlE@msc.qld.gov.au>
Cc: "Stephen Hogan" <Stephen.Hogan@health.qld.gov.au>
Subject: 1471 Subdivision at 7 Kenneally Road Mareeba for Mr. S. Hogan.
Attachments: 01 1471 R1 Design Report.pdf, 02 1471 FNQROC Compliance Statement.pdf, 03 1471 FNQROC Operational Checklist.pdf, 04 1471 DA Form1.pdf, 05 1471 Decision Notice.pdf, 7 Keneally Rd RPEQ Certified dwgs.pdf

Good Morning Brian, Carl,

Please find attached the various supporting documents for the Operational Works Application for this project.

Could you please prepare a Tax Invoice for the relevant fee, which we calculate to be \$1,980 and we will arrange for immediate payment?

Jim Papas

JIM PAPAS
CIVIL ENGINEERING
DESIGNER PTY. LTD.

PO Box 2347
MAREEBA QLD 4880
Mob: 0408 770 394
E: jim@jpced.com.au



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Jim Papas Civil Engineering Designer

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Design Excellence, Exceptional Service

The Chief Executive Officer,
Mareeba Shire Council
P.O. Box 154,
Mareeba Qld 4880

September 27, 2022
1471 R1 Part 2

Attn: Mr. B. Millard

Dear Sir,

**RE: YUNGABURRA WATERFRONT STAGE 5 - PROPOSED RESIDENTIAL
SUBDIVISION AT WATERFRONT TERRACE, YUNGABURRA.**
(TRC Ref. No. RAL 21/0055)

We submit the attached operational works application which has been reviewed and signed by
Genesis Engineering (NQ) Pty. Ltd.

This application is for a residential subdivision at 7 Kenneally Road, Mareeba. The site is an existing
residential lot. This application is to create 3 additional residential lots and includes construction of a
private access to two lots.

The applicable fee for an Operational Works Application is calculated to be \$ 1,980 based on our
current estimated cost of \$132,000 excl. GST.

We seek your approval of these proposals and request that you issue an "Operational Works" permit
to allow construction to commence.

Yours faithfully,

JIM PAPAS CIVIL ENGINEERING
DESIGNER PTY. LTD.



JIM PAPAS

Please address all
correspondence to:

**P.O. Box 2347,
Mareeba, Qld 4880**

Document Set ID: 14785
Version: 1, Version Date: 04/10/2022



Email: admin@jpced.com.au
Mobile: 0408 770 394

Jim Papas Civil Engineering Designer

COVER SHEET

OPERATIONAL WORKS APPLICATION FOR A SUBDIVISION AT 7 KENNEALLY ROAD MAREEBA

Job No. **1471**

Job Description: **Proposed Residential Subdivision at 7 Kenneally Road, Mareeba**

Client: **Mr. S. Hogan**

LIST OF CONTENTS

Part 1: This Cover Sheet.

Part 2: Covering Letter.

Part 3: Design Approval.

Part 4: Design Report.

Part 5: Project Report

Part 6: Development Conditions

Part 7: Design Drawings in a separate volume.

ATTACHMENTS

Appendix A - FNQROC Development Manual Forms
Statement of Compliance
Operational Works Receipting Checklist.

Appendix B - IDAS Form 1.

Appendix C - Copy of Development Conditions

2 x A3 copies of Design Drawings C01 – C08 inclusive plus cover sheet.

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PART 3 - DESIGN APPROVAL

3.01 PRELODGEEMENT DISCUSSIONS

No formal pre-lodgement discussions were held.

3.02 DESIGN REQUIREMENTS

We believe that this submission complies with the requirements of this section.

All aspects of this submission have been prepared under the direction of a Registered Professional Engineer Queensland. (RPEQ)

3.03 ADJOINING LAND OWNERS

No operational works are expected to be undertaken on adjoining property.

3.04 LOCAL AUTHORITY APPROVAL

Statement of Compliance is attached.

3.05 APPROVAL OF OTHER AGENCIES

No other agency's' conditions are relevant to this application.

3.06 SUPPORTING INFORMATION

Design Plans: Copies attached.

Job Specification: None provided, all the relevant information is on the plans and the FNQROC Std. Specification will apply.

Design Report: A copy of the design report is attached.

Operational Works Application: Refer covering letter.

Prescribed Application Fee: The fee of \$1,980 is to be paid on receipt of a Tax Invoice issued by Council.

Evidence of Payment of Portable Long Service Leave and Occupational Health and safety fee: None provided, to be paid by the Contractor and evidence furnished at pre-start meeting.

PART4 - DESIGN REPORT

STATEMENT OF COMPLIANCE:

Copy of the completed Statement of Compliance is attached.

APPROVAL CONDITIONS

The conditions for this project were approved by Council in a Decision Notice dated August 5, 2021. An electronic copy of the approval is attached, together with a statement showing design compliance as applicable.

PRELODGEEMENT DISCUSSIONS

No formal pre-lodgement discussions were held.

ADJOINING LANDOWNERS.

No operational works are expected to be undertaken on adjoining property.

EVIDENCE OF NEGOTIATIONS WITH SERVICE AUTHORITIES

The electrical reticulation system has been designed and documented by Ergon Energy. Written advice in accordance with Council's Decision Notice will be provided by Ergon Energy at an appropriate time.

We have received approval of the works from NBN Co. Written advice in accordance with Council's Decision Notice from NBN Co. will be provided as soon as it is available.

STORMWATER DRAINAGE CALCULATIONS

Calculations supporting the stormwater drainage works to be constructed as part of this application are attached as Dwg C08.

CATCHMENT PLAN.

A catchment plan is attached as Dwg C08

ALTERNATIVE DESIGN

Not applicable.

STORMWATER DRAINAGE CALCULATIONS FOR DRAINAGE FEATURES

Not Applicable.

PERMANENT STORMWATER QUALITY STRUCTURES

Not applicable.

EROSION AND SEDIMENT CONTROL STRATEGY

Refer to Dwg C02.

TRAFFIC MANAGEMENT PLAN

None provided at this time. Such a plan is properly the responsibility of the Contractor and it will be provided at the pre-start meeting.

WATER RETICULATION NETWORK

Not required.

PAVEMENT DESIGN

Prior to design California Bearing Ratio (CBR) testing has not been undertaken for the site. The CBR is to be evaluated prior to construction by in situ CBR, and 4 day soaked CBR all performed by a NATA registered materials testing authority using procedures prescribed by the Department of Main Roads and the Standards Association of Australia.

The pavement design shall be reassessed after completion of testing. For the purpose of the design the subgrade CBR is assumed to be 10.

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GEOTECHNICAL REPORTS

Not applicable.

STRUCTURAL AND GEOTECHNICAL CERTIFICATION

Not applicable.

PUMPING STATIONS

Not applicable.

LANDSCAPE DESIGN

Not applicable.

STAGED DEVELOPMENT

Not applicable.

MATERIALS

All materials selected for use in this project are to industry standard and in accordance with FNQROC Standard Specification. All such materials shall be installed in accordance with the manufacturer's specifications and requirements

PRICED BILL OF QUANTITIES

Not provided, as it is not yet available. A priced Bill of Quantities shall be provided at pre-start meeting.

PEST PLANT MANAGEMENT

EXCESS SOIL

No soil material is to be removed from the site. All material won by excavation, cutting and general earthworks shall be incorporated within the works.

PART 5 - PROJECT REPORT

1.0 GENERAL DESCRIPTION

The site is currently a large residential lot with frontage to Kenneally Road, Mareeba.

The entire project encompasses 4 residential lots including the proposed lot containing the existing residence and associated buildings. This application consists of 3 additional lots, which involves the construction of an access to service the new Lots 2 and 3.

The site is in partly treed with mango trees and partly grassed. The site has a with a moderate slope to the north east.

2.0 ROADWORKS

The access road is designed in accordance with the Conditions.

All road pavements have been designed in accordance with FNQROC Design Manual and Austroads Guide to Pavement Technology Part 2 Pavement Structural Design.

A design life of 20 years has been adopted for all pavements.

Prior to design California Bearing Ratio (CBR) testing has not been undertaken for the site. The CBR is to be evaluated prior to construction by in situ CBR, and 4 day soaked CBR all performed by an NATA registered materials testing authority using procedures prescribed by the Department of Main Roads and the Standards Association of Australia.

The pavement design shall be reassessed after completion of testing. For the purpose of the design the subgrade CBR is assumed to be 10.

3.0 STORMWATER DRAINAGE

The stormwater drainage system has been designed using the rational Method in generally in accordance with Australian Rainfall and Runoff (ARR) and the Queensland Urban Drainage Manual (QUDM)

Calculation of pit locations is based on flow width limitations as detailed in QUDM and a recurrence interval of 5 years.

Times of concentration are based on QUDM methods of determination.

Runoff coefficients have been established in accordance with QUDM.

Intensity figures have been obtained from FNQROC Design Manual IFD Chart 15 Mareeba.

Pit capacities are based on FNQROC Design Manual Kerb Inlet Pit Design Charts including an appropriate blockage factor.

Pit and manhole losses have been estimated using charts in QUDM.

The stormwater design has been calculated using the latest version of PC Drain by Bandini Software Pty. Ltd.

The stormwater drainage ensures that sufficient stormwater discharge is diverted to Kenneally Road to ensure that there is a non-worsening effect on the surrounding land as a consequence of the development. Refer to the attached document "Discharge from Existing Catchment.

4.0 POTABLE WATER RETICULATION

All reticulation mains have been designed in accordance with the FNQROC Design Manual and the Department of Natural Resources and Mines "Planning Guidelines for Water Supply and Sewerage". The full extent of the water supply works is shown on Dwg. C04.

5.0 ELECTRICAL AND TELECOMMUNICATION RETICULATIONS

The electrical reticulation system has been designed and documented by Ergon Energy. Written advice in accordance with Council's Decision Notice will be provided by Ergon Energy at an appropriate time.

We have received approval of the works from NBN Co. Written advice in accordance with Council's Decision Notice from NBN Co. will be provided as soon as it is available.

PART 6 - DEVELOPMENT CONDITIONS

Development Permit for Reconfiguring a Lot (1 Lot into 4 Lots)

Development No: RAL /21/0014

Date of Issue: **August 5, 2021**

Development Assessable Against the Planning Scheme

- 1 Completed in so far as it applies to this application.

Timing of Effect

- 2 Not applicable to this application as it requires action at a future date.

General

- 3.1 Completed in so far as it applies to this application.
- 3.2 Not applicable to this application as it refers to a future payment(s).
- 3.3 Completed in so far as it applies to this application except the location of the existing absorption trenches is to be established and the trenches relocate if necessary.
- 3.4 There are none hence this condition is not applicable to this application.
- 3.5 Completed.
- 3.6 Completed in so far as it applies to this application.
- 3.7 Not applicable to this application as it refers to a future payment(s).
- 3.8 Not applicable to this application as it requires action at a future date.

Infrastructure Services and Standards

- 4.1 Access
 - 4.1.1 Completed.
 - 4.1.2 Completed.
- 4.2 Stormwater Drainage
 - 4.2.1 Completed.
 - 4.2.2 Completed.
- 4.3 Water Supply
 - 4.3.1 Completed.
 - 4.3.2 Not applicable to this application.
- 4.4 On-Site Wastewater Disposal

Not applicable to this application as it requires action at a future date.
- 4.5 Electricity Provision/Supply

The electrical reticulation system has been designed and documented by Ergon Energy. Written advice in accordance with Council's Decision Notice will be provided by Ergon Energy at an appropriate time.
- 4.6 Telecommunication

We have received approval of the works from NBN Co. Written advice in accordance with Council's Decision Notice from NBN Co. will be provided as soon as it is available.

APPLICATION PROCEDURES

FNQROC DEVELOPMENT MANUAL

Council Mareeba Shire Council
(INSERT COUNCIL NAME)

STATEMENT OF COMPLIANCE OPERATIONAL WORKS DESIGN

This form duly completed and signed by an authorised agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

Name of Development

Location of Development 7 Kenneally Road, Mareeba

Applicant Mr. S. Hogan.

Designer Jim Papas Engineering Designer. Reviewed by Genesis Engineering (NQ) Pty. Ltd.

It is hereby certified that the Calculations, Drawings, Specifications and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

Compliance with the requirements of the Operational Works Design Guidelines	Non-Compliance refer to non-compliance report / drawing number
Plan Presentation	
Geotechnical requirements	
Geometric Road Design	
Pavements	
Structures / Bridges	
Subsurface Drainage	
Stormwater Drainage	
Site Re-grading	
Erosion Control and Stormwater Management	
Pest Plant Management	
Cycleway / Pathways	

APPLICATION PROCEDURES

Landscaping	
Water Source and Disinfection/Treatment Infrastructure (if applicable)	
Water Reticulation, Pump Stations and water storages	
Sewer Reticulation and Pump Stations	
Electrical Reticulation and Street Lighting	
Public Transport	
Associated Documentation/ Specification	
Priced Schedule of Quantities	
Referral Agency Conditions	
Supporting Information (AP1.08)	
Other	

Conscientiously believing the above statements to be true and correct, signed on behalf of:

Designer Genesis Engineering **RPEQ No** 7419

Name in Full Craig Waters

Signature  **Date** 27 September 2022



Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

Name of Council: Mareeba Shire Council

Development Name and Location:

7 Kenneally Road, Mareeba

Planning Permit No/Council File No: RAL / 21 / 0014

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
1. Completed 'Statement of Compliance' form. (FNQROC - AP1 – Appendix A)	Y	
2. IDAS Forms A ,E & IDAS Assessment Checklist (Available from www.ipa.qld.gov.au)	Y	
3. Payment of Engineering Application Fees (Copy of receipt to be attached)	Y	
4. Copy of Decision Notice for Development Application Conditions, <u>inc. explanation of how each condition is to be addressed (Statement of Compliance)</u>	Y	The fee of \$1,980 will be paid immediately on receipt of Council's Tax Invoice.
5. Engineering Design drawings - Complete sets (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format)	Y	
6. One copy of Design and Standard Specifications (Unbound Copy Preferable)		None provided, FNQROC Standard Spec to apply, other information usually in a specification is on the drawings.
7. Written consent from adjoining property owners authorising any works on their property	N.A.	
8. Water reticulation network in electronic format (Engineer to confirm system requirements and compatibility with Cairns Water)	N	
9. Landscape drawings - Complete set (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format). These must be accompanied by elements of the stormwater & street lgt. layout design, to avoid conflicts.	N	



Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
10. Overall network drawings (for staged development) for:		
• Water	N.A.	
• Stormwater	N.A.	
• Sewer	N.A.	
• Pathways and roads	N.A.	
• Street Lighting	N.A.	
• Electrical		By Ergon Energy.
• Gas	N.A.	
• Public Transport	N.A.	
• Park Reserves	N.A.	
• Drainage Reserves	N.A.	
11. Pavement design criteria	Y	
12. Geotechnical reports for proposed earthworks	N.A.	
13. Structural and geotechnical certificates for retaining walls etc.	N.A.	
14. Water supply/sewerage pump station design parameters	N.A.	
15. Stormwater drainage calculations	Y	
16. Erosion and Sediment Control Strategy (ESCS)	Y	
17. Declared Pest Management Plan (if applicable)	N.A.	
18. The approval of any other Authorities & concurrence agencies likely to be affected by the works.	N.A.	



Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

19. Contact details of the Consulting Engineer who is submitting the Application:

Name of Engineer	Craig Waters	
Name of Company	Genesis Engineering	
Telephone Number (s)	Office:	Mobile: 0422 061 961
Email address	craig@genesisenqnq.com.au	
RPEQ No.	7419	

20.

Date of submission of application 27 / 09 / 2022

(For further information on all of the above refer to the FNQROC Development Manual Section AP1)

DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Mr. S. Hogan
Contact name (only applicable for companies)	Jim Papas
Postal address (P.O. Box or street address)	7 Kenneally Road
Suburb	Mareeba
State	Qld
Postcode	4880
Country	Australia
Contact number	0408 770 394
Email address (non-mandatory)	admin@jpced.com.au
Mobile number (non-mandatory)	0408 770 394
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	1471

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- ☐ Yes – the written consent of the owner(s) is attached to this development application
- ☒ No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☐ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		7	Kenneally Road,	Mareeba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		2	RP 729239	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☒ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

3 Additional Residential lots

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input type="checkbox"/> No			

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input checked="" type="checkbox"/> Road work <input checked="" type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input checked="" type="checkbox"/> Stormwater <input checked="" type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input checked="" type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input checked="" type="checkbox"/> Yes – specify number of new lots:	3
<input type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$132,000 to be confirmed.	

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Mareeba Shire Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council:
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority:
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
Note: By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. Further advice about information requests is contained in the DA Forms Guide .

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application	RAL /21/0014	August 5, 2021	Mareeba Shire Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input checked="" type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?	
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No	

23) Further legislative requirements			
Environmentally relevant activities			
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i> ?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au . An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
Hazardous chemical facilities			
23.2) Is this development application for a hazardous chemical facility ?			
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.			

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000?**

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works?**

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☐ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☒ Yes

☐ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	



5 August 2021

S Hogan
C/- Scope Town Planning
7 Kenneally Road
MAREEBA QLD 4880

Planning Officer: Carl Ewin
Direct Phone: 4086 4656
Our Reference: RAL/21/0014
Your Reference: 21001

Dear Applicant/s

Decision Notice

Planning Act 2016

I refer to your application and advise that on 3 August 2021 under delegated authority, Council decided to approve the application in full subject to conditions.

Details of the decision are as follows:

APPLICATION DETAILS

Application No:	RAL/21/0014
Street Address:	7 Kenneally Road, Mareeba
Real Property Description:	Lot 2 on RP729239
Planning Scheme:	Mareeba Shire Council Planning Scheme 2016

DECISION DETAILS

Type of Decision:	Approval
Type of Approval:	Development Permit for Reconfiguring a Lot - Subdivision (1 into 4 Lots)
Date of Decision:	3 August 2021

CURRENCY PERIOD OF APPROVAL

The currency period for this development approval is four (4) years starting the day that this development approval takes effect. (Refer to Section 85 "Lapsing of approval at end of currency period" of the *Planning Act 2016*.)

INFRASTRUCTURE

Where conditions relate to the provision of infrastructure, these are non-trunk infrastructure conditions unless specifically nominated as a “**necessary infrastructure condition**” for the provision of trunk infrastructure as defined under Chapter 4 of the *Planning Act 2016*.

ASSESSMENT MANAGER CONDITIONS**(A) ASSESSMENT MANAGER’S CONDITIONS (COUNCIL)****(a) Development assessable against the Planning Scheme**

1. Development must be carried out substantially in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, and subject to any alterations:
 - found necessary by the Council’s delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
 - to ensure compliance with the following conditions of approval.
2. Timing of Effect
 - 2.1 The conditions of the development permit must be complied with to the satisfaction of Council’s delegated officer prior to the endorsement of the plan of survey, except where specified otherwise in these conditions of approval.
3. General
 - 3.1 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.
 - 3.2 All payments or bonds required to be made to the Council pursuant to any condition of this approval or the Adopted Infrastructure Charges Notice must be made prior to the endorsement of the plan of survey and at the rate applicable at the time of payment.
 - 3.3 The developer must relocate (in accordance with FNQROC standards) any services such as water, sewer, drainage, telecommunications and electricity that are not wholly located within the lots that are being created/serviced where required by the relevant authority, unless approved by Council’s delegated officer.
 - 3.4 Where utilities (such as sewers on non-standard alignments) traverse lots to service another lot, easements must be created in favour of Council for access

and maintenance purposes. The developer is to pay all costs (including Council's legal expenses) to prepare and register the easement documents.

3.5 Where approved existing buildings and structures are to be retained, setbacks to any new property boundaries are to be in accordance with Planning Scheme requirements for the relevant structure and/or Queensland Development Code.

3.6 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.

3.7 Charges

All outstanding rates, charges and expenses pertaining to the land are to be paid in full.

3.8 Access and Services Easement/s

Reciprocal access and services easements in favour of Lots 2 and 3 must be established over the access handles of Lots 2 and 3. Easement documents must be submitted to Council for review prior to the endorsement of a plan of survey.

4. Infrastructure Services and Standards

4.1 Access

4.1.1 Access to each allotment (including Lot 1) must be upgraded/constructed (from the edge of Kenneally Road to the boundary of each allotment) in accordance with FNQROC development manual standards, to the satisfaction of Council's delegated officer.

A shared access crossover can be used to service the shared driveway for Lots 2 and 3.

4.1.2 A shared bitumen or asphalt sealed, or reinforced concrete driveway must be provided along the common boundary of the access handles of Lots 2 and 3. The driveway must:

- have a minimum formation width of four (4) metres
- be constructed for the full length of the access handle and connect with the required access crossover;
- be formed so that stormwater drains to either side of the driveway or down to the Kenneally Road kerb and channel.
- service and utility conduits (electricity, water supply, telecommunications) are to be provided for the full length of the access handle/s.

4.2 Stormwater Drainage

- 4.2.1 The applicant/developer must take all necessary steps to ensure a non-worsening effect on surrounding land as a consequence of the development and must take all reasonable and practical measures to ensure discharge occurs in compliance with the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual, to the satisfaction of Council's delegated officer.
- 4.2.2 All stormwater drainage must be discharged to an approved legal point of discharge.

4.3 Water Supply

- 4.3.1 The developer must provide each proposed allotment with a water service connection in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.
- 4.3.2 Where the existing reticulated water supply does not currently service the site or is not at an adequate capacity, the developer is required to extend or upgrade the reticulated water supply infrastructure to connect the site to Council's existing infrastructure at a point that has sufficient capacity to service the development in accordance with FNQROC Development Manual standards (as amended).

4.4 On-site Wastewater Disposal

At the time of construction of a new dwelling on each lot, any associated on-site effluent disposal system must be constructed in compliance with the latest version On-Site Domestic Wastewater Management Standard (ASNZ1547) to the satisfaction of the Council's delegated officer.

4.5 Electricity provision/supply

The applicant/developer must ensure that an appropriate level of electricity supply is provided to each lot in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.

Written advice from an Electricity Service Provider is to be provided to Council indicating that an agreement has been made for the provision of power reticulation.

4.6 Telecommunications

The applicant/developer must demonstrate that a connection to the national broadband network is available for each allotment, or alternatively, enter into an agreement with a telecommunication carrier to provide telecommunication

services to each lot and arrange provision of necessary conduits and enveloping pipes.

REFERRAL AGENCIES

Not Applicable.

APPROVED PLANS

The following plans are Approved plans for the development:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
-	Proposed Subdivision Layout Plan	Scope Town Planning	July 2021

ADVISORY NOTES

The following notes are included for guidance and information purposes only and do not form part of the assessment manager conditions:

(A) ASSESSMENT MANAGER'S ADVICE

- (a) An Adopted Infrastructure Charges Notice has been issued with respect to the approved development. The Adopted Infrastructure Charges Notice details the type of infrastructure charge/s, the amount of the charge/s and when the charge/s are payable.
- (b) The Adopted Infrastructure Charges Notice does not include all charges or payments that are payable with respect to the approved development. A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.
- (c) Water Meters/Water Service Connection

Prior to the water service connection works commencing, a Water Quotation, Connection, Disconnection Request must be lodged with Council. The cost of the required water connection will be determined based upon the assessment of the Water Quotation Request. The Water Quotation Request must be lodged and the required connection fee paid prior to the signing of the survey plan.

(d) Easement Documents

Please contact your solicitor for more information regarding the drafting of easement documents.

(e) Endorsement Fees

Council charges a fee for the endorsement of a Survey Plan, Community Management Statements, easement documents (that Council is a party to), and covenants. The fee is set out in Council's Fees & Charges Schedule applicable for each respective financial year.

(f) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

(g) Notation on Rates Record

A notation will be placed on Council's Rate record with respect to each lot regarding the following conditions:

- a registered easement (Lots 2 & 3 Only)
- conditions regarding future on-site wastewater disposal (Lots 2-4 Only)

(h) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.environment.gov.au

(i) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the "cultural heritage duty of care"). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.datsip.qld.gov.au

PROPERTY NOTES

Not Applicable.

FURTHER DEVELOPMENT PERMITS REQUIRED

- Access approval arising from condition number 4.1 (Please contact Planning Section to obtain application form and applicable fee)

SUBMISSIONS

Not Applicable.

RIGHTS OF APPEAL

You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* is attached.

During the appeal period, you as the applicant may suspend your appeal period and make written representations to council about the conditions contained within the development approval. If council agrees or agrees in part with the representations, a "negotiated decision notice" will be issued. Only one "negotiated decision notice" may be given. Taking this step will defer your appeal period, which will commence again from the start the day after you receive a "negotiated decision notice".

OTHER DETAILS

If you wish to obtain more information about Council's decision, electronic copies are available on line at www.msc.qld.gov.au, or at Council Offices.

Yours faithfully



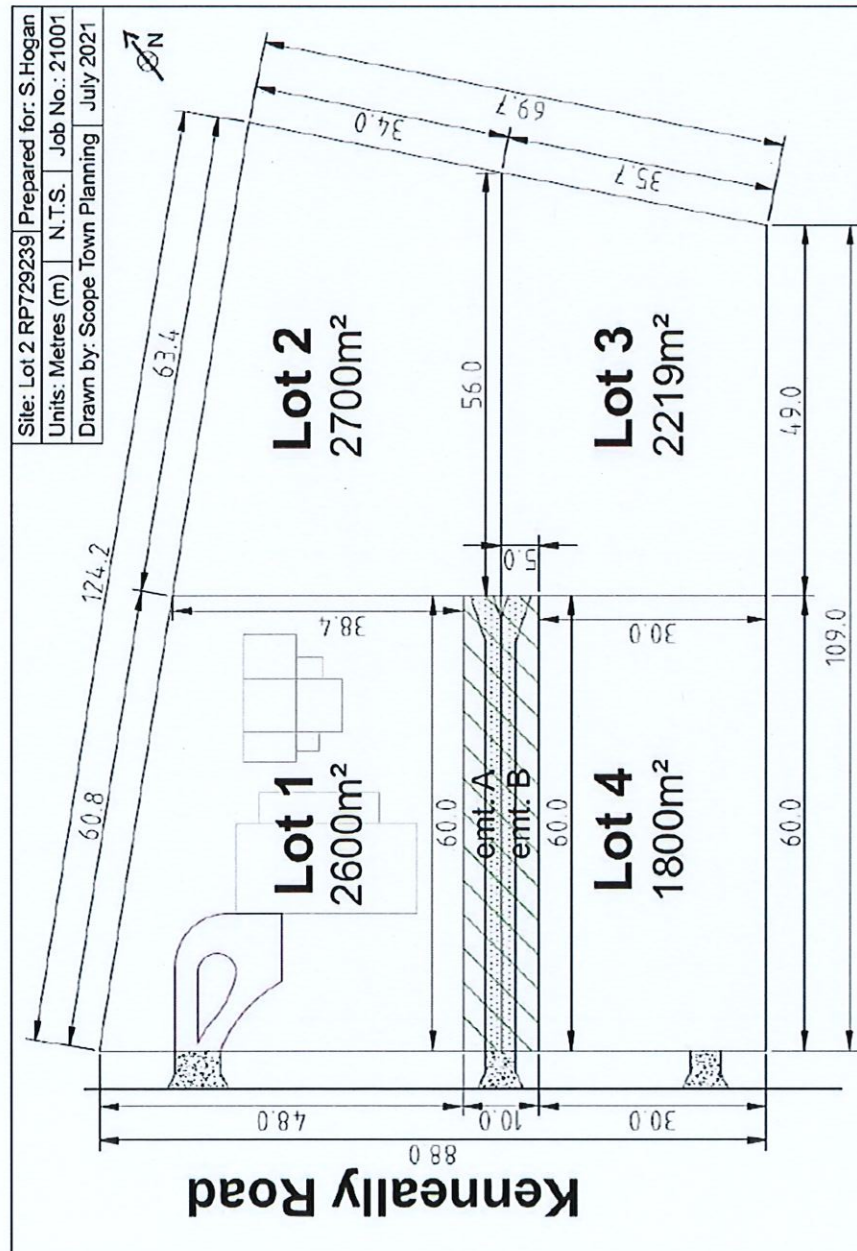
BRIAN MILLARD
SENIOR PLANNER

Enc: Approved Plans/Documents
 Appeal Rights
 Adopted Infrastructure Charge Notice

Approved Plans/Documents

DEVELOPMENT APPLICATION - ROL: 1 into 4 Lots, 7 Kenneally Rd, Mareeba

Appendix 2: Proposed subdivision layout plan.



Document Set ID: 3984316
Version: 1, Version Date: 23/07/2021

14

5/8/2021
B. Hill

Appeal Rights

PLANNING ACT 2016 & THE PLANNING REGULATION 2017

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

(1) Schedule 1 of the *Planning Act 2016* states –

(a) Matters that may be appealed to –

- (i) either a tribunal or the P&E Court; or
- (ii) only a tribunal; or
- (iii) only the P&E Court; and

(b) The person–

- (i) who may appeal a matter (**the appellant**); and
- (ii) who is a respondent in an appeal of the matter; and
- (iii) who is a co-respondent in an appeal of the matter; and
- (iv) who may elect to be a co-respondent in an appeal of the matter.

(Refer to Schedule 1 of the Planning Act 2016)

(2) An appellant may start an appeal within the appeal period.

(3) The **appeal period** is –

- (a) for an appeal by a building advisory agency – 10 business days after a decision notice for the decision is given to the agency; or
- (b) for an appeal against a deemed refusal – at any time after the deemed refusal happens; or
- (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises – 20 business days after a notice is published under section 269(3)(a) or (4); or
- (d) for an appeal against an infrastructure charges notice – 20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given – 30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for any other appeal – 20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note –

See the P&E Court Act for the court's power to extend the appeal period.

(4) Each respondent and co-respondent for an appeal may be heard in the appeal.

(5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.

- (6) To remove any doubt. It is declared that an appeal against an infrastructure charges notice must not be about-
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund-
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that-
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to –
 - (a) the respondent for the appeal ; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, table 1, item 1 – each principal submitter for the development application; and
 - (d) for an appeal about a change application under schedule 1, table 1, item 2 – each principal submitter for the change application; and
 - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
 - (f) for an appeal to the P&E Court – the chief executive; and
 - (g) for an appeal to a tribunal under another Act – any other person who the registrar considers appropriate.
- (4) The *service period* is –
 - (a) if a submitter or advice agency started the appeal in the P&E Court – 2 business days after the appeal has started; or
 - (b) otherwise – 10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section –

decision includes-

- (a) conduct engaged in for the purpose of making a decision; and
- (b) other conduct that relates to the making of a decision; and
- (c) the making of a decision or failure to make a decision; and
- (d) a purported decision ; and
- (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter-

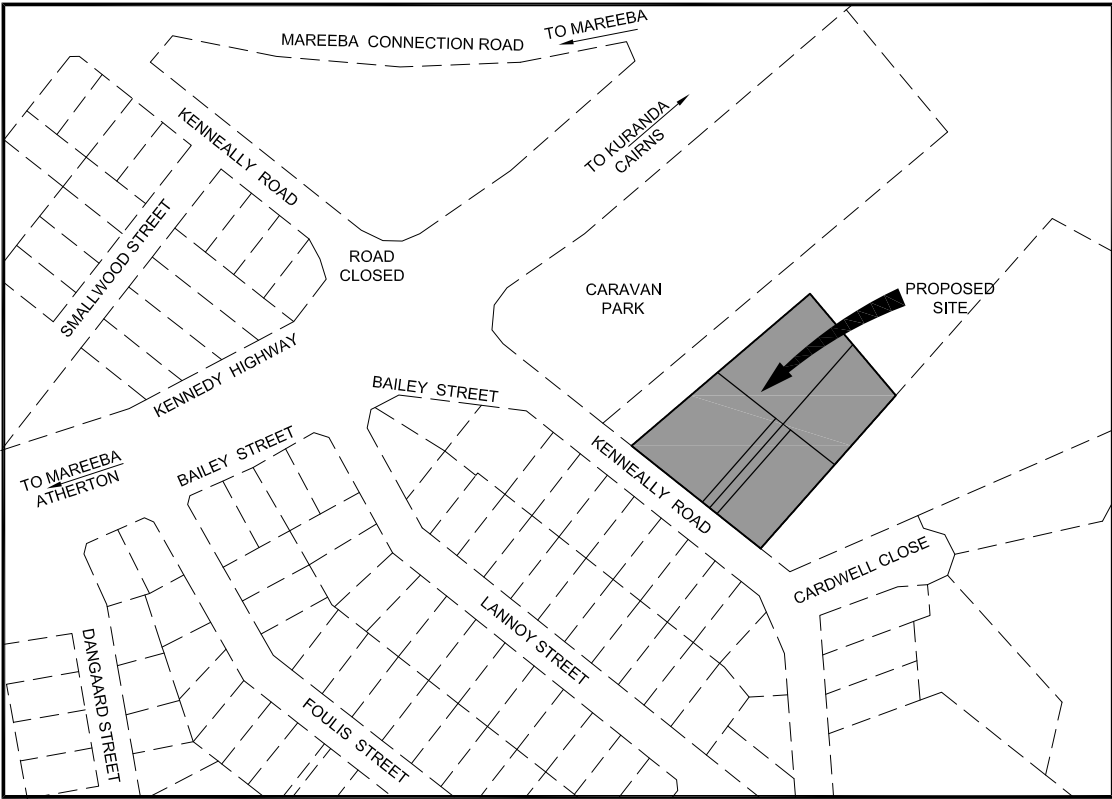
- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the Judicial Review Act 1991 or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

232 Rules of the P&E Court


- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with the rules of the P&E Court.

PROPOSED RESIDENTIAL
SUBDIVISION
AT
7 KENNEALLY ROAD
MAREEBA
FOR
MR. S. HOGAN

- PROJECT DRAWINGS
PROJECT No. 1471
C 01 - EXISTING SITE PLAN.
C 02 - SOIL AND WATER MANAGEMENT STRATEGY.
C 03 - EARTHWORKS, ROADWORKS & STORMWATER DRAINAGE PLAN.
C 04 - WATER RETICULATION PLAN.
C 05 - ACCESS - LONGITUDINAL SECTION, TYPICAL CROSS SECTION, PAVEMENT
DATA, SET OUT AND DETAILS.
C 06 - ACCESS - CROSS SECTIONS (SHEET 1 OF 1).
C 07 - STORMWATER DRAINAGE LONGITUDINAL SECTION.
C 08 - STORMWATER DRAINAGE CATCHMENT PLAN AND STORMWATER DRAINAGE
CALCULATION SHEET.



SITE PLAN
N.T.S.




TWINE SURVEYS PTY LTD
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JIM PAPAS
CIVIL ENGINEERING
DESIGNER PTY. LTD.
CIVIL ENGINEERING DESIGN AND DRAFTING

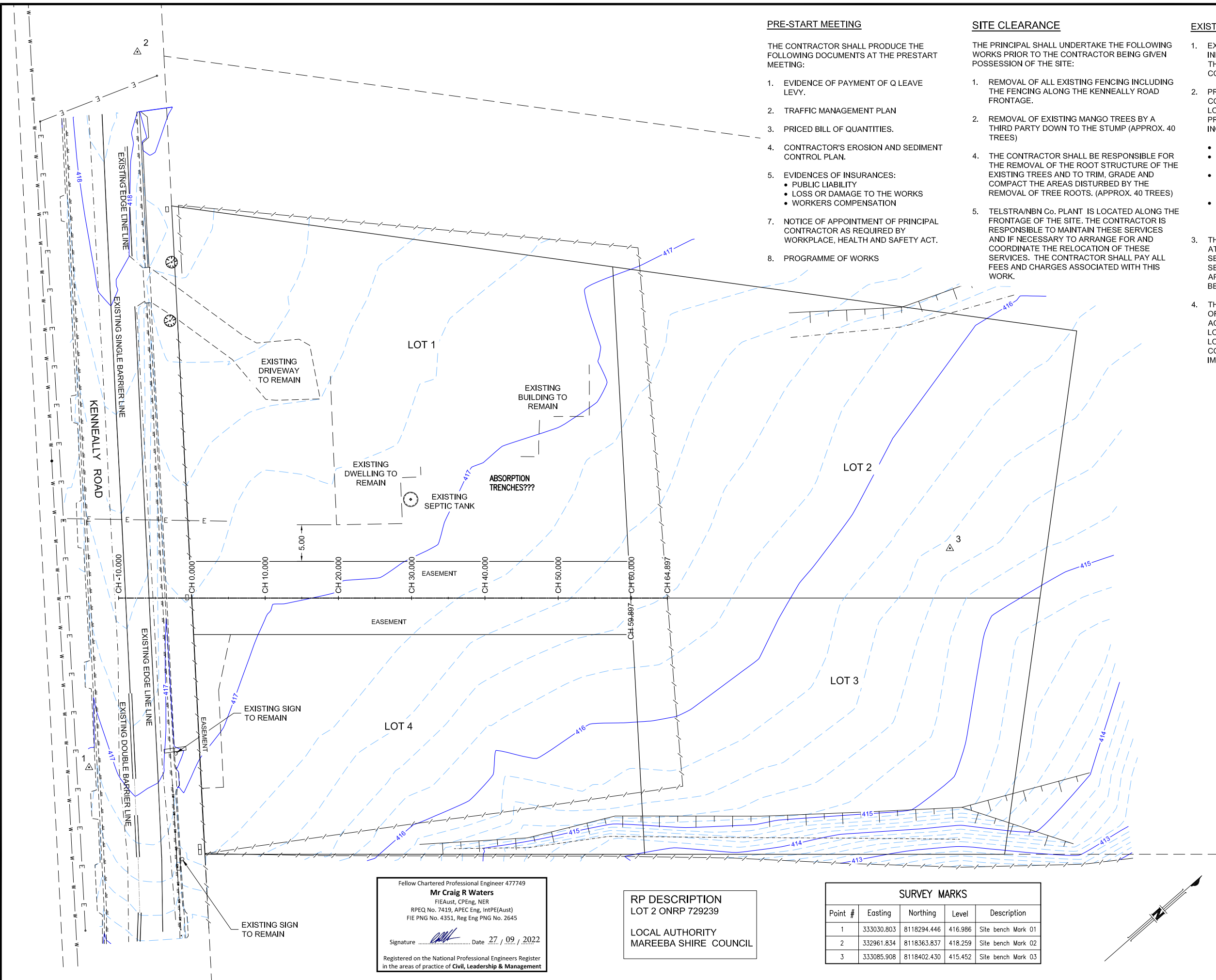
P. O. Box 2347
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Fellow Chartered Professional Engineer 477749
Mr Craig R Waters
FIEAust, CPEng, NER
RPEQ No. 7419, APEC Eng, IntPE(Aust)
FIE PNG No. 4351, Reg Eng PNG No. 2645

Signature  Date 27 / 09 / 2022

Registered on the National Professional Engineers Register
in the areas of practice of **Civil, Leadership & Management**



PRE-START MEETING

THE CONTRACTOR SHALL PRODUCE THE FOLLOWING DOCUMENTS AT THE PRESTART MEETING:

1. EVIDENCE OF PAYMENT OF Q LEAVE LEVY.
2. TRAFFIC MANAGEMENT PLAN
3. PRICED BILL OF QUANTITIES.
4. CONTRACTOR'S EROSION AND SEDIMENT CONTROL PLAN.
5. EVIDENCES OF INSURANCES:
 - PUBLIC LIABILITY
 - LOSS OR DAMAGE TO THE WORKS
 - WORKERS COMPENSATION
7. NOTICE OF APPOINTMENT OF PRINCIPAL CONTRACTOR AS REQUIRED BY WORKPLACE, HEALTH AND SAFETY ACT.
8. PROGRAMME OF WORKS

SITE CLEARANCE

THE PRINCIPAL SHALL UNDERTAKE THE FOLLOWING WORKS PRIOR TO THE CONTRACTOR BEING GIVEN POSSESSION OF THE SITE:

1. REMOVAL OF ALL EXISTING FENCING INCLUDING THE FENCING ALONG THE KENNEALLY ROAD FRONTAGE.
2. REMOVAL OF EXISTING MANGO TREES BY A THIRD PARTY DOWN TO THE STUMP (APPROX. 40 TREES)
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE ROOT STRUCTURE OF THE EXISTING TREES AND TO TRIM, GRADE AND COMPACT THE AREAS DISTURBED BY THE REMOVAL OF TREE ROOTS. (APPROX. 40 TREES)
5. TELSTRA/NBN Co. PLANT IS LOCATED ALONG THE FRONTAGE OF THE SITE. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THESE SERVICES AND IF NECESSARY TO ARRANGE FOR AND COORDINATE THE RELOCATION OF THESE SERVICES. THE CONTRACTOR SHALL PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.

EXISTING SERVICES

1. EXISTING SERVICES ARE PLOTTED FROM THE BEST INFORMATION AVAILABLE. NO RESPONSIBILITY IS TAKEN BY THE SUPERINTENDENT FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION SHOWN.
2. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR IS TO ESTABLISH ON SITE THE EXACT LOCATION OF ALL UNDERGROUND SERVICES IN THE PROPOSED WORKS AREA. METHODS TO ACHIEVE THIS WILL INCLUDE BUT NOT BE LIMITED TO:-
 - CAREFUL EXAMINATION OF THE CONTRACT DRAWINGS
 - CONSULTATION WITH THE RELEVANT SERVICE AUTHORITIES
 - COMPREHENSIVELY SCANNING THE AFFECTED AREAS WITH A CABLE DETECTOR AND MARKING ON THE GROUND THE POSITION OF ALL SERVICES
 - HAND EXCAVATING TO EXPOSE ALL SERVICES WHICH MAY BE AFFECTED BY THE PROPOSED WORKS UNDER THE DIRECTION OF THE RELEVANT SERVICE AUTHORITY.
3. THE CONTRACTOR SHALL BRING TO THE SUPERINTENDENTS ATTENTION ANY DISCREPANCIES BETWEEN THE EXISTING SERVICES THUS IDENTIFIED AND THE DOCUMENTED SERVICES WHICH MIGHT AFFECT THE PROPOSED WORKS. APPROPRIATE MEASURES TO RESOLVE ANY CONFLICTS WILL BE DOCUMENTED BY THE SUPERINTENDENT.
4. THE CONTRACTOR'S ATTENTION IS DRAWN TO THE EXISTING OF A SEWAGE RISING MAIN ON OR NEAR THE ROAD VERGE ACROSS THE FRONTAGE OF THE SUBJECT SITE, THE LOCATION OF WHICH IS UNKNOWN. THE CONTRACTOR IS TO LOCATE THIS INFRASTRUCTURE PRIOR TO WORK COMMENCING TO ENSURE THAT THE NEW WORKS DO NOT IMPACT ON THE RISING MAIN.

LEGEND

- EXISTING DWELLING AND ASSOCIATED BUILDINGS
- EXISTING TOP OF BANK
- EXISTING TOE OF BANK
- EXISTING CHANGE OF GRADE
- EXISTING EDGE OF BITUMEN
- EXISTING KERB & CHANNEL
- EXISTING FENCE
- EXISTING UNDERGROUND DRAINAGE
- EXISTING TREES
- EXISTING WATER MAINS
- EXISTING ELECTRICITY
- EXISTING CONTOURS (AT 0.2m, INDEXED AT 1.0m)

NOTES:

SURVEY CONTROL

ORIGIN OF LEVELS:
PM 114590 RL 418,316.420 AHD der.

ORIGIN OF COORDINATES:
GDA 2020 ZONE 55

CONTOUR INTERVAL EXISTING SURFACE:
0.20m INDEXED AT 1.0m INTERVALS.

NOTES:

THE CONTRACTOR TO CONFIRM SURVEY DATUM WITH SURVEYOR PRIOR TO COMMENCEMENT OF WORK.

THE PRINCIPAL'S SURVEYOR SHALL PROVIDE INITIAL SURVEY DATA AND FINAL CADASTRAL SURVEY INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OTHER SURVEY DATA NECESSARY TO CONSTRUCT THE WORKS INCLUDING 'AS CONSTRUCTED' INFORMATION. THE COST OF PROVIDING THIS SURVEY SHALL FORM PART OF THE CONTRACT SUM.

Fellow Chartered Professional Engineer 477749
Mr Craig R Waters
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RPEQ No. 7419, APEC Eng, IntPE(Aust)
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Signature *[Signature]* Date 27 / 09 / 2022

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RP DESCRIPTION
LOT 2 ONRP 729239

LOCAL AUTHORITY
MAREEBA SHIRE COUNCIL

SURVEY MARKS

Point #	Easting	Northing	Level	Description
1	333030.803	8118294.446	416.986	Site bench Mark 01
2	332961.834	8118363.837	418.259	Site bench Mark 02
3	333085.908	8118402.430	415.452	Site bench Mark 03

amendments

A	ORIGINAL ISSUE FOR OPERATIONAL WORKS APPLICATION	27.09.22

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MR. STEPHEN HOGAN
PROPOSED RESIDENTIAL SUBDIVISION
AT 7 KENNEALLY ROAD, MAREEBA

DRAWING TITLE: EXISTING SITE PLAN

SCALE (AT A1 SIZE)	HOR 1:250	DRAWN	J.P.
DATE	SEPT 2022	DESIGNED	J.P.
APPROVED	<i>[Signature]</i>	CHECKED	J.P.

DWG NUMBER 1471 - C01 AMDT A

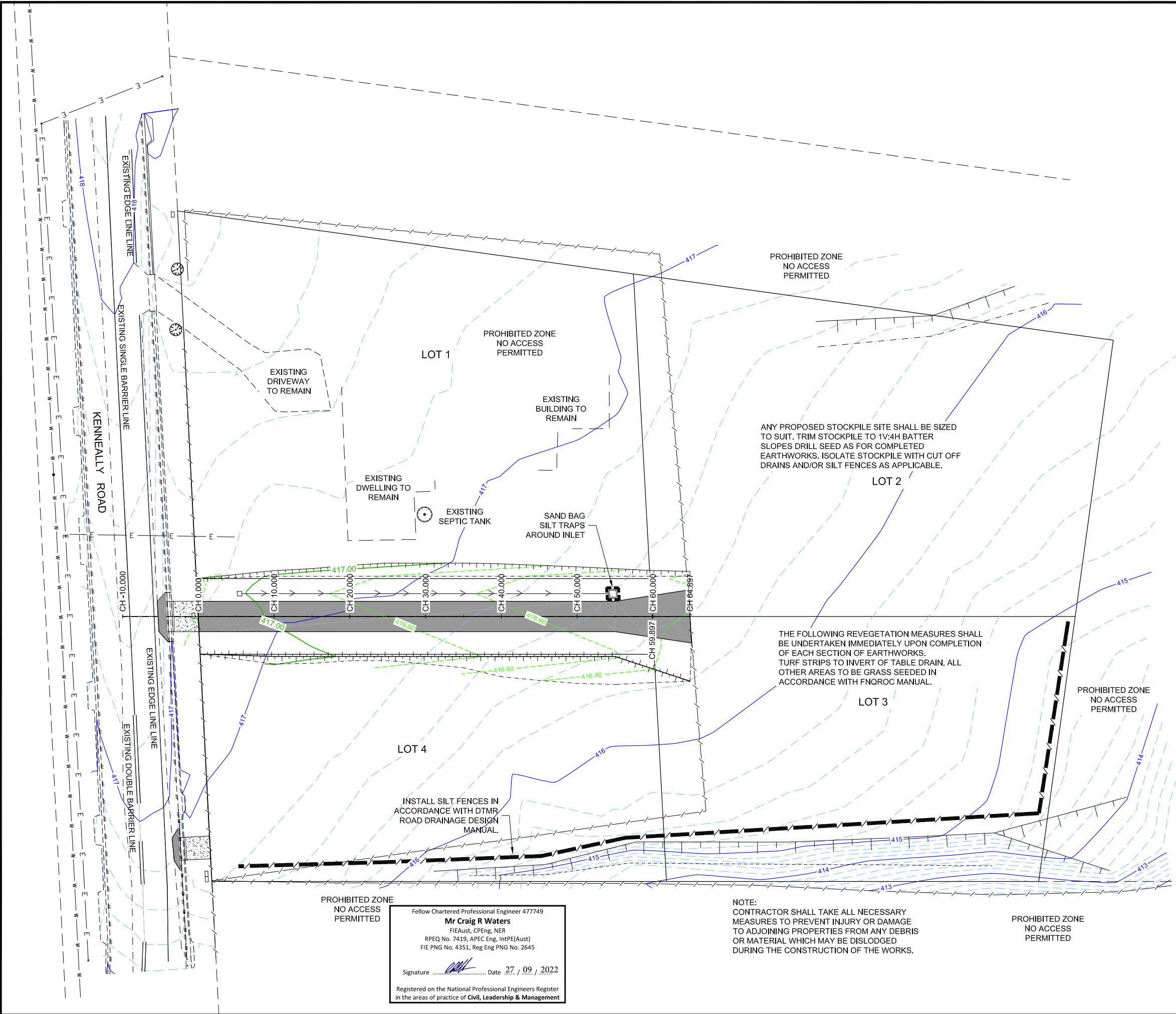
SOIL AND WATER MANAGEMENT

1. THE CONTRACTOR SHALL PREPARE AN EROSION AND SEDIMENT CONTROL PLAN (ESCP) FOR EACH PHASE OF HIS PROPOSED CONSTRUCTION PROGRAM AND WORK METHODS SHALL BE WHOLLY RESPONSIBLE FOR THE IMPLEMENTATION, CONTROL AND MANAGEMENT OF HIS PLAN. THE CONTRACTOR SHALL ALSO COMPLY WITH THE REQUIREMENTS OF THE FNQROC DEVELOPMENT MANUAL, TABLELANDS REGIONAL COUNCIL.. ADDITIONAL SEDIMENT CONTROL MEASURES SHALL INSTALLED BE IF SO DIRECTED BY THE SUPERINTENDENT.
2. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL DEVICES/MEASURES AS NECESSARY TO COMPLY WITH THE PROVISIONS OF THE FNQROC DEVELOPMENT MANUAL, THE ENVIRONMENTAL PROTECTION ACT AND THE REQUIREMENTS OF MAREEBA SHIRE COUNCIL.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCORPORATION OF APPROPRIATE CONTROL AND MANAGEMENT MEASURES CONFORMING TO THE REQUIREMENTS OF THE ACT AND THE RELEVANT AUTHORITIES.
4. THE DEVICES, MEASURES AND RECOMMENDATIONS EROSION AND SEDIMENT CONTROL STRATEGIES INDICATED ON THIS DRAWING ARE MINIMUM AND HAVE BEEN PROVIDED AS A GUIDE ONLY.
5. THE CONTRACTOR'S ESCP SHALL INCLUDE SUCH MEASURES AS SHOWN ON THE STRATEGIC PLAN.
6. NEITHER THE ENGINEER NOR JIM PAPAS CIVIL ENGINEERING DESIGNER PTY. LTD. ACCEPT RESPONSIBILITY FOR THE CONTRACTOR'S DESIGN & IMPLEMENTATION OF HIS ESCP NOR THE CONSEQUENCES OF HIS FAILURE TO APPLY ALL REASONABLE CONTROLS.
7. ALL SEDIMENT CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL THE END OF THE MAINTENANCE PERIOD, UNLESS NOTED OR ORDERED OTHERWISE. ALL SEDIMENT CONTROL DEVICES ARE TO BE FULLY MAINTAINED IN AN EFFECTIVE WORKING CONDITION DURING CONSTRUCTION AND DURING THE MAINTENANCE PERIOD. THE CONTRACTOR IS TO ENSURE THAT ALL SEDIMENT CONTROL DEVICES ARE KEPT FREE OF SEDIMENT BUILD-UP.
8. SEDIMENT FENCES ARE TO BE INSTALLED SUCH THAT THE BASE OF THE FENCE IS PLACED 200mm MINIMUM BELOW GROUND LEVEL, AND ANCHORED SECURELY IN SUCH POSITION.
9. STOCKPILE SITES SHALL BE LOCATED ON SITE AS DIRECTED BY THE SUPERINTENDENT AFTER CONSULTATION AND AGREEMENT WITH COUNCIL. ENCIRCLE ALL STOCKPILES WITH SILT FENCES AND COVER WITH VISQUEEN OR SIMILAR IN TIMES OF HIGH WIND FOR DUST CONTROL.
10. ALL VEHICLES AND EQUIPMENT ENTRY/EXIT POINTS SHALL HAVE SHAKER GRIDS OR SIMILAR TO PREVENT VEHICLES FROM TRACKING SOIL AND MUD OFF SITE. LOCATION, DETAILS ETC SHALL BE SHOWN ON THE CONTRACTOR'S ESC PLAN.
11. ALL KERB INLETS (INCLUDING FIELD INLETS) SHALL HAVE SEDIMENT TRAPS IN ACCORDANCE WITH CONTRACTORS ESCP PLAN.
12. THE FOLLOWING MEASURES SHALL BE UNDERTAKEN IMMEDIATELY UPON COMPLETION OF EACH SECTION OF EARTHWORKS:
 - ALL OTHER AREAS SHALL BE GRASS SEED.
 - FOOTPATHS SHALL BE GRASS SEEDD UPON COMPLETION OF FINAL TRIMMING AS REQUIRED BY THE CONTRACTOR'S ESCP.
13. TURF STRIPS (400 WIDE) ARE TO BE PROVIDED ALONG THE INVERT OF THE TABLE DRAIN.
14. REVEGETATION SHALL BE WATERED AND MAINTAINED UNTIL GROWTH IS ESTABLISHED.

LEGEND

PROPOSED SILT FENCE CONSTRUCTED IN ACCORDANCE WITH DTMR ROAD DRAINAGE DESIGN MANUAL. EXTENT AS SHOWN ON PLAN

SCALE 1:250 2.5 0 2.5 5 7.5 10 12.50m



amendments		JIM PAPAS CIVIL ENGINEERING DESIGNER PTY. LTD.		MR. STEPHEN HOGAN		SCALE (AT A1 SIZE)		HOR		DRAWN		J.P.	
A	ORIGINAL ISSUE FOR OPERATIONAL WORKS APPLICATION	27.09.22		PROPOSED RESIDENTIAL SUBDIVISION		DATE	SEPT 2022	VER	DESIGNED	CHECKED	J.P.		
				AT 7 KENNEALLY ROAD, MAREEBA		APPROVED							
				DRAWING TITLE: SOIL AND WATER MANAGEMENT STRATEGY		DWG NUMBER	1471 - C02	AMDT	A				

BULK EARTHWORKS

SITE EARTHWORKS SHALL GENERALLY CONSIST OF CLEARANCE OF VEGETATION FOLLOWED BY EXCAVATION OF TOP SOILS AND CUTTING AND FILLING OF MATERIAL TO SUIT FINAL DESIGN LEVELS. TOP SOILS MAY BE STOCKPILED FOR REUSE LATER. THE LOCATION OF SUCH STOCKPILE SITES SHALL BE ON SITE AS DIRECTED BY THE SUPERINTENDENT AFTER CONSULTATION AND AGREEMENT WITH COUNCIL. STOCKPILE SITES SHALL BE PROTECTED BY DIVERSION DRAINS AND SILT FENCES AS APPROPRIATE.

THE EXPOSED SUBGRADE SHALL BE UNIFORMLY COMPACTED TO ACHIEVE A DRY DENSITY RATIO TO A DEPTH OF 250mm OF NOT LESS THAN 98% OF THE MAXIMUM SATURATED VIBRATED DENSITY (AS 1289 TESTS 5.3.1 AND 5.5.1). SUBGRADE COMPACTION SHALL BE ACCOMPANIED BY GENERAL INSPECTION TO ALLOW DETECTION AND RECTIFICATION OF ANY LOCALISED COMPRESSIBLE ZONES WHICH MAY EXIST.

ALL FILLING PLACED AREAS SHALL BE UNIFORMLY COMPACTED IN LAYERS OF NOT MORE THAN 200mm FINAL THICKNESS, UNDER LEVEL 2 SUPERVISION (AS 3798-2007 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT") TO THE MAXIMUM DRY DENSITY RATIOS OF 98%. (EXPRESSED AS A PERCENTAGE OF THE MAXIMUM VIBRATED DENSITY ESTABLISHED BY TEST METHODS AS 1289 5.31, 5.4.1 AND 5.5.1 FOR COHESIONLESS (SAND) MATERIALS OR ALTERNATIVELY, STANDARD COMPACTION, IF APPROPRIATE).

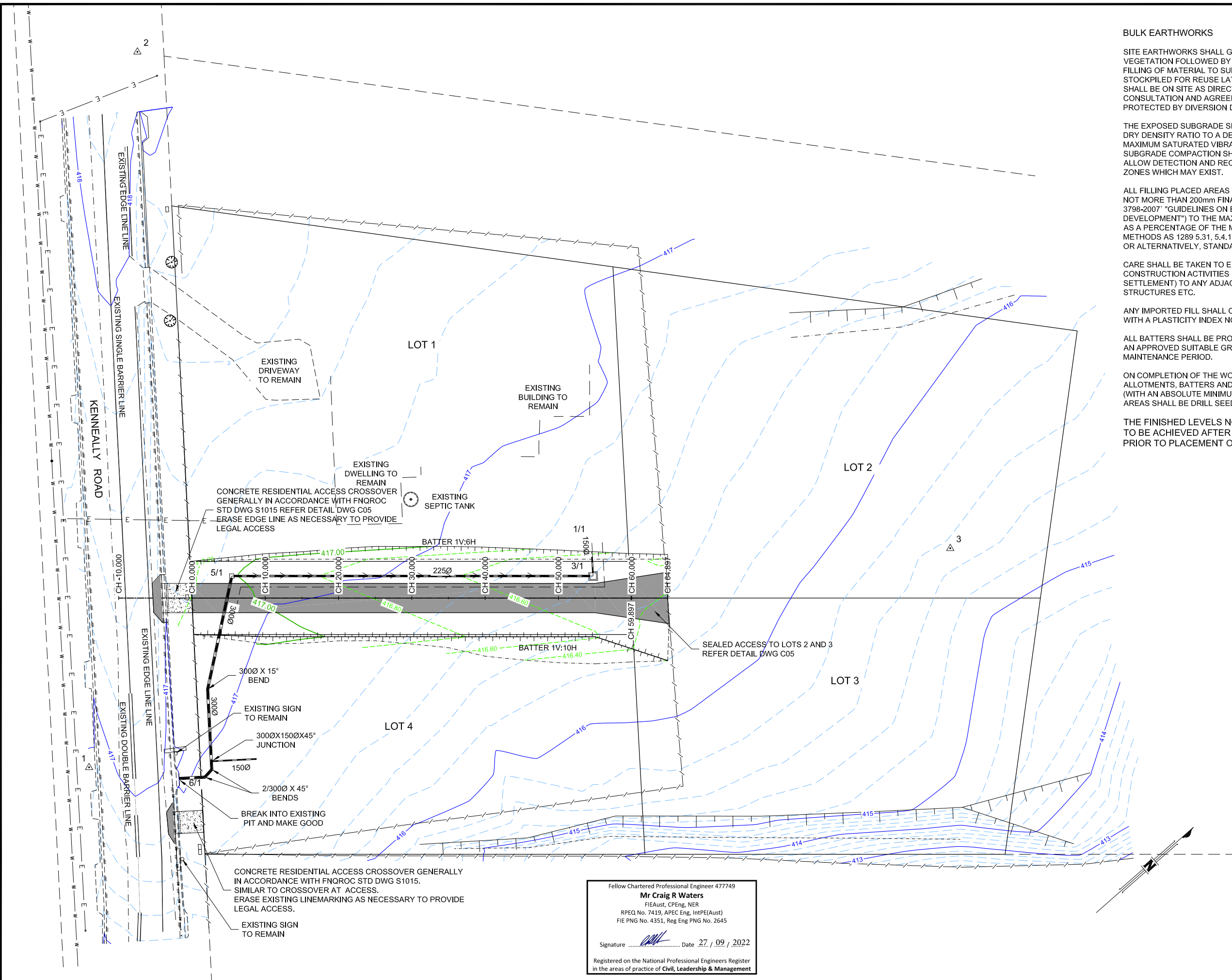
CARE SHALL BE TAKEN TO ENSURE THAT ANY VIBRATORY ROLLING OR CONSTRUCTION ACTIVITIES DO NOT CAUSE DISTRESS (BY WAY OF INDUCED SETTLEMENT) TO ANY ADJACENT MOVEMENT-SENSITIVE FEATURES STRUCTURES ETC.

ANY IMPORTED FILL SHALL COMPRISE LOW PLASTICITY GRANULAR MATERIAL WITH A PLASTICITY INDEX NOT MORE THAN 15%.

ALL BATTERS SHALL BE PROTECTED FROM EROSION, BY HYDROMULCHING WITH AN APPROVED SUITABLE GRASS SPECIES, AND MAINTAINED FOR THE REQUIRED MAINTENANCE PERIOD.

ON COMPLETION OF THE WORKS, TOP SOIL SHALL BE RE-SPREAD TO ALLOTMENTS, BATTERS AND FOOTPATHS AND FILL AREAS TO A DEPTH OF 75mm. (WITH AN ABSOLUTE MINIMUM DEPTH OF 40mm) THE FINISHED EARTHWORKS AREAS SHALL BE DRILL SEEDED AS SOON AS PRACTICABLE AFTER COMPLETION.

THE FINISHED LEVELS NOTED ON THE DRAWINGS ARE THE LEVELS TO BE ACHIEVED AFTER COMPLETION OF THE EARTHWORKS AND PRIOR TO PLACEMENT OF TOP SOIL.



LEGEND

- EXISTING DWELLING AND ASSOCIATED BUILDINGS
- EXISTING TOP OF BANK
- EXISTING TOE OF BANK
- EXISTING CHANGE OF GRADE
- EXISTING EDGE OF BITUMEN
- EXISTING KERB & CHANNEL
- EXISTING FENCE
- EXISTING UNDERGROUND DRAINAGE
- EXISTING TREES
- EXISTING WATER MAINS
- EXISTING ELECTRICITY
- EXISTING CONTOURS (AT 0.2m, INDEXED AT 1.0m)
- PE BLACKMAX STORMWATER PIPES CLASS SN8 TO AS 5065, OR uPVC PIPES SWJ TO AS 1254 SIZE VARIES
- FINISHED LINES
- TOP OF BANK
- TOE OF BANK
- NEW PAVEMENT REFER PAVEMENT DATA DWG C05
- RESIDENTIAL CONCRETE ACCESS CROSSOVER GENERALLY IN ACCORDANCE WITH FNQROC STD DWG S1015 FOOTPATH
- DESIGN CONTOURS (AT 0.2m, INDEXED AT 1.0m)


Fellow Chartered Professional Engineer 477749
Mr Craig R Waters
FIEAust, CPEng, NER
RPEQ No. 7419, APEC Eng, IntPE(Aust)
FIE PNG No. 4351, Reg Eng PNG No. 2645
Signature _____ Date 27 / 09 / 2022
Registered on the National Professional Engineers Register
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SCALE 1:250 2.5 0 2.5 5 7.5 10 12.50m

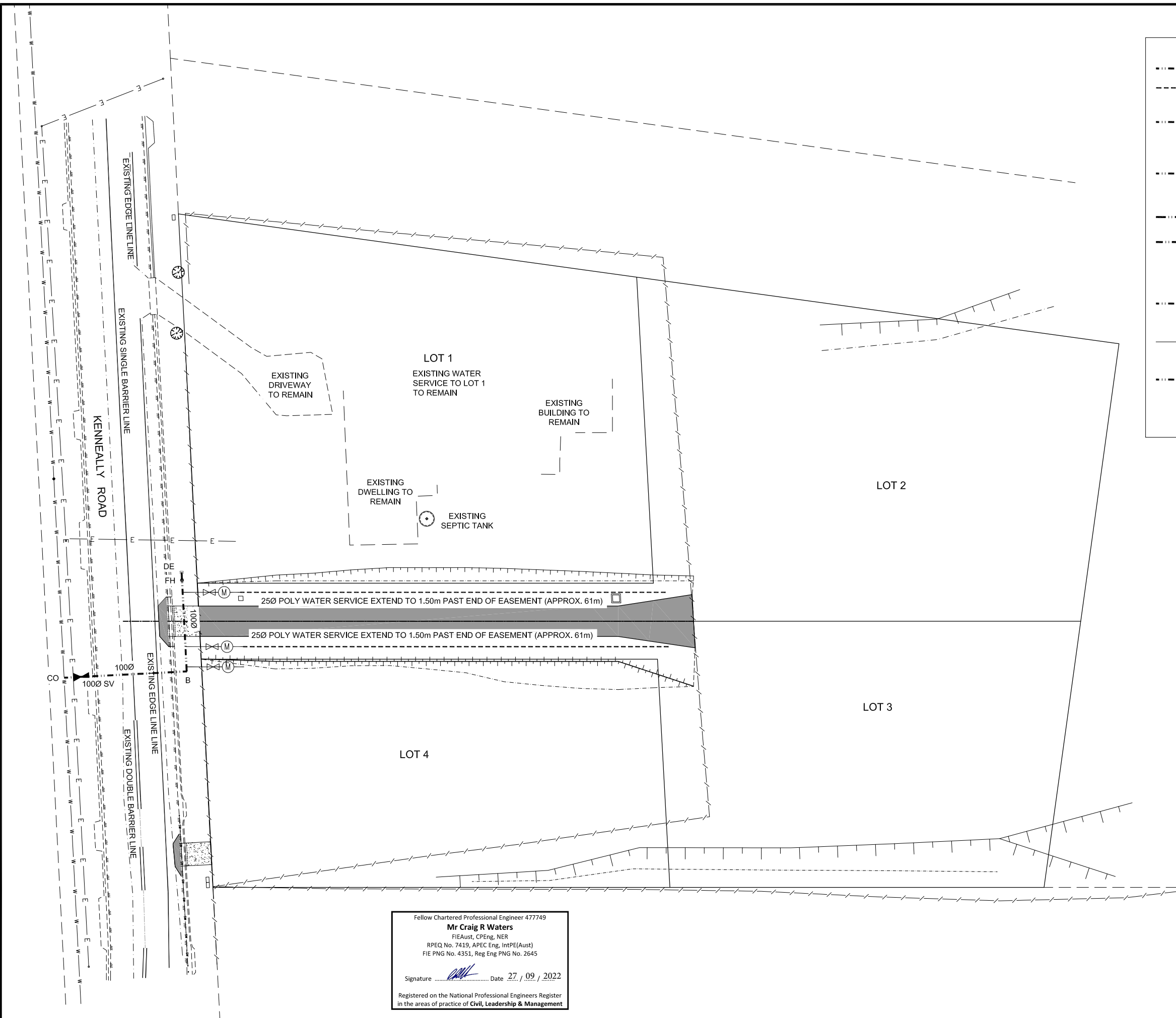
amendments		
A	ORIGINAL ISSUE FOR OPERATIONAL WORKS APPLICATION	27.09.22

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MR. STEPHEN HOGAN PROPOSED RESIDENTIAL SUBDIVISION AT 7 KENNEALLY ROAD, MAREEBA			
SCALE (AT A1 SIZE)	HOR 1:250 VER	DRAWN DESIGNED	J.P. J.P.
DATE	SEPT 2022	CHECKED	J.P.
APPROVED			
DWG NUMBER	1471 - C03	AMDT	A

DRAWING TITLE: EARTHWORKS, ROADWORKS AND STORMWATER DRAINAGE PLAN



LEGEND

1000

1000 uPVC WATER MAIN

250

250 POLY WATER MAIN

1000 SV

SLUICE VALVE TO AS 2638 COATED WITH A THERMOSETTING EPOXY POWDER, ME PN 16 COMPLETE WITH C.I. COVER, BOX, ANCHOR, MARGIN & MARKER. SIZES AS NOTED.

FH

80 Ø SPRING HYDRANT (MAXI FLO TYPE) COMPLETE WITH C.I. TEE (ME), RISER, C.I. COVER, BOX, MARGIN & MARKER. ORIENTATE HYDRANT SUCH THAT BOLTS ARE PARALLEL TO WATER MAIN.

DE

100 Ø C.I. DEAD END CAP M.E.DEAD END CAP WITH CONCRETE THRUST BLOCK.

B

100 Ø C.I. BEND M.E. TO SUIT WITH CONCRETE THRUST BLOCK. WHERE NO BENDS ARE SHOWN DEFLECT MAIN IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

C0

C.I. TEE M.E. COMPLETE WITH CONCRETE THRUST BLOCK. SIZES AS NOTED

W

EXISTING WATER MAIN AND FIXTURES - SIZES AND TYPES AS NOTED

200 WATER SUPPLY CONNECTION TO EACH LOT IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS AND AS SHOWN IN COUNCIL SPECIFIC DWG. S2060. CONSTRUCT 250 POLY WATER SERVICE TO 1.50m PAST END OF EASEMENT (APPROX. 61.0m). LEAVE EACH END EXPOSED FUTURE CONNECTION OR EXTENSION.

- WATER RETICULATION NOTES
1. MATERIALS

250 - Polyethylene (250 OD) PN 16, PE 100 TO AS 4130 COLOUR BLUE

1000 - uPVC PN 16 SERIES 2 RRJ TO AS 1477
2. VALVES AND HYDRANTS MUST BE LOCATED OPPOSITE BOUNDARY JUNCTIONS AND TRUNCATIONS AS APPROPRIATE.
3. ALIGNMENT OF WATER RETICULATION MAINS WITHIN ROAD RESERVES TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY. (2.00m IN MAREEBA)
4. INSTALLATION OF VALVES AND FIRE HYDRANTS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
5. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH FNQROC DEVELOPMENT MANUAL INCLUDING STANDARD DRAWINGS.
6. WHERE NON-METALLIC PIPE IS LAID A CONTINUOUS STAINLESS STEEL OR COPPER WIRE 1.6mm DIA. SHALL BE LAID IMMEDIATELY ABOVE THE SAND FILL. THE WIRE SHALL BE WRAPPED ONCE AROUND ALL HYDRANTS AND SLUICE VALVES WITH SUFFICIENT SLACK FOR TESTING.
7. MINIMUM COVER TO ALL WATER MAINS UNDER KERBED ROAD SHALL BE 800mm.
8. MINIMUM TEST PRESSURE FOR ALL WATER MAINS SHALL BE 1250KPa. THE CONTRACTOR SHALL GIVE THE WATER OFFICER TWENTY FOUR (24) HOURS NOTICE PRIOR TO TESTING.
9. VALVES AND HYDRANTS SHALL BE MARKED IN ACCORDANCE WITH THE REQUIREMENTS OF FNQROC STD. DWG S20


Fellow Chartered Professional Engineer 477749

Mr Craig R Waters

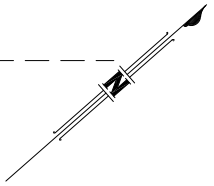
FIEAust, CPEng, NER

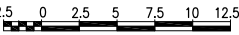
RPEQ No. 7419, APEC Eng, IntPE(Aust)

FIE PNG No. 4351, Reg Eng PNG No. 2645

Signature  Date 27 / 09 / 2022

Registered on the National Professional Engineers Register in the areas of practice of Civil, Leadership & Management



SCALE 1:250 

amendments		
A	ORIGINAL ISSUE FOR OPERATIONAL WORKS APPLICATION	27.09.22

JIM PAPAS

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
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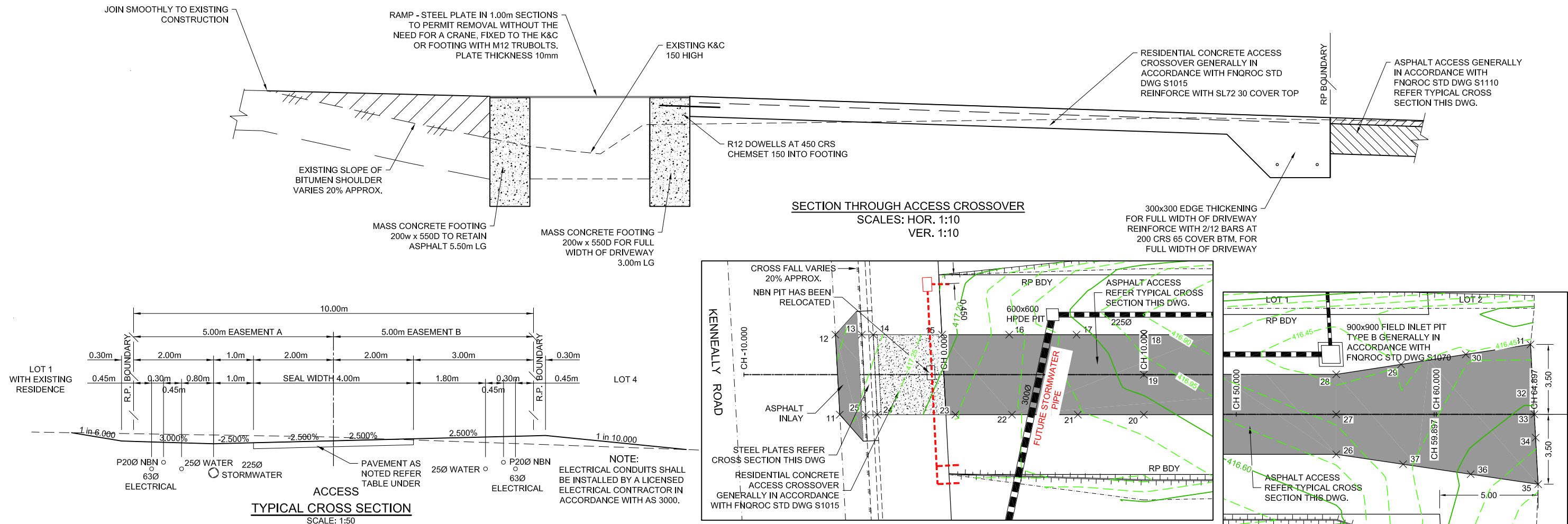
MR. STEPHEN HOGAN

PROPOSED RESIDENTIAL SUBDIVISION

AT 7 KENNEALLY ROAD, MAREEBA

DRAWING TITLE: WATER RETICULATION PLAN

SCALE (AT A1 SIZE)	HOR 1:250	DRAWN	J.P.
DATE	SEPT 2022	DESIGNED	J.P.
APPROVED			
DWG NUMBER	1471 - C04	AMDT	A



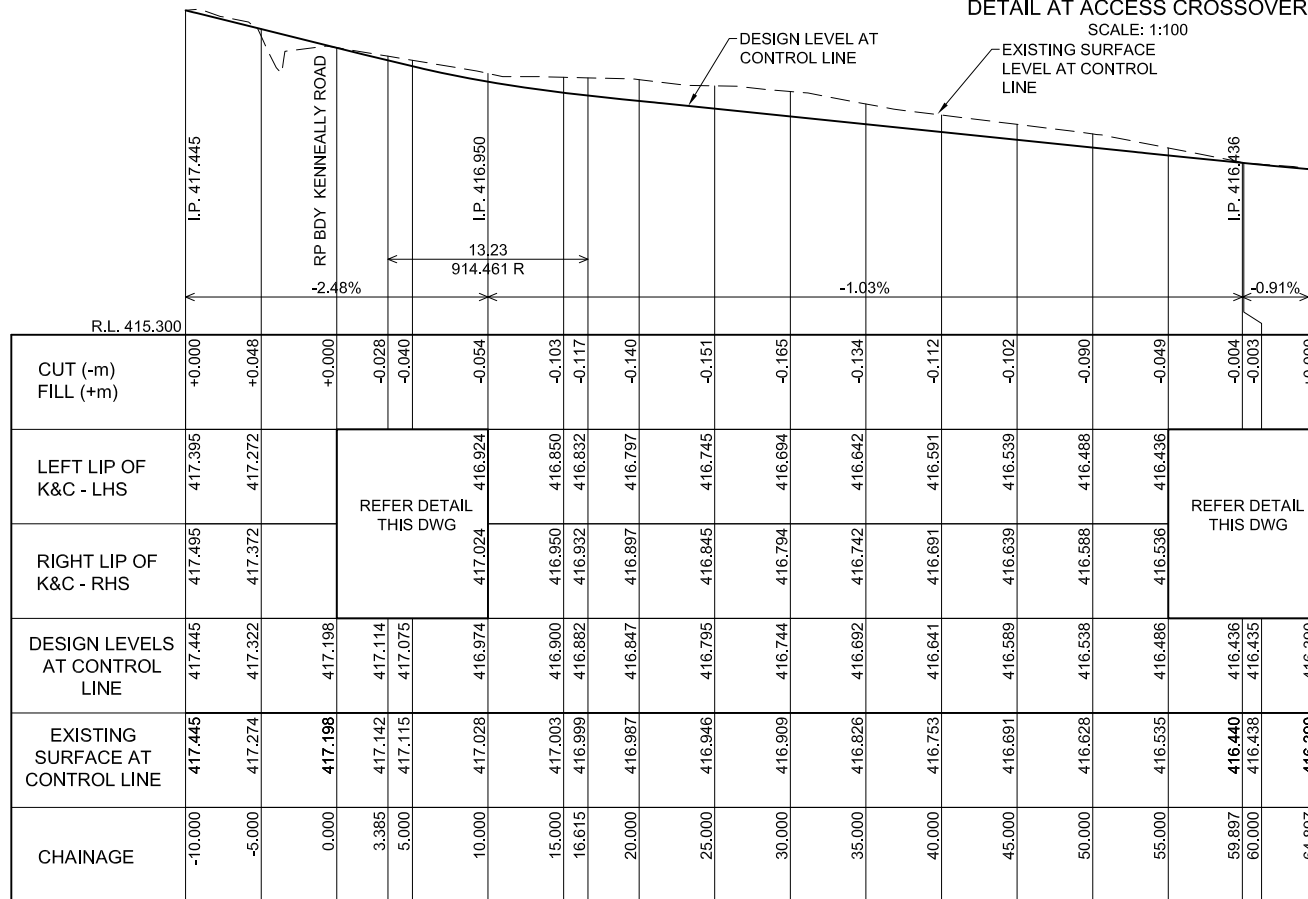
PAVEMENT NOTES
PROVISIONAL PAVEMENT DESIGN STATED HEREIN IS BASED ON A MINIMUM CBR UNDER SERVICE CONDITIONS OF 10. (CBR TESTS RESULTS TO DATE ON THE SITE ARE: 14, 20, 18) PAVEMENT DESIGN IS SUBJECT TO REVISION ON BASIS OF CONFIRMATORY CBR TESTS TAKEN AT THE TIME OF CONSTRUCTION. BASED ON THE INSITU CBR TEST RESULTS, THE FINAL PAVEMENT DESIGN SHALL APPROVED BY COUNCIL PRIOR TO CONSTRUCTION. THE COMPLETED PAVEMENT DESIGN SHALL GENERALLY COMPLY WITH AUSTROADS OR DTMR PAVEMENT DESIGN MANUAL AS APPLICABLE.

SUBGRADE - COMPACT TO 98% SRDD TO A DEPTH OF 250mm.
SHOULD ANY SOFT OR UNSUITABLE MATERIAL BE IDENTIFIED SEEK ADVICE OF THE SUPERINTENDENT.

BASE SHALL CONSIST OF TYPE 2 SUBTYPE 2.2 PAVEMENT MATERIAL ('B' OR 'C' GRADED) COMPACTED TO 100% SRDD IN ACCORDANCE WITH SPECIFICATION.
DEPTH OF PAVEMENT 150mm.

SEAL PAVEMENT AREAS WITH 30mm ASPHALT (CRC10). SUCH WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SPECIFICATION.

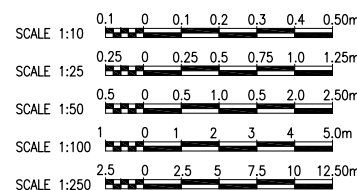
Access					
	CHAINAGE	EASTING	NORTHING	RADII	BEARING
L#1	-10.000	333016.117	8118312.726		41°18'41" STRAIGHT
	0.000	333022.718	8118320.238		41°18'41" STRAIGHT
L#2	0.000	333022.718	8118320.238		41°18'41" STRAIGHT
	59.897	333062.259	8118365.229		41°18'41" STRAIGHT
L#3	59.897	333062.259	8118365.229		41°18'41" STRAIGHT
	64.897	333065.560	8118368.984		41°18'41" STRAIGHT



INTERSECTION SETOUT POINTS				
Point #	Easting	Northing	Level	Description
11	333020.783	8118315.006	417.326	FL
12	333017.633	8118317.481	417.362	FL
13	333018.506	8118318.475	417.328	FL
14	333018.881	8118318.901	417.313	FL
15	333021.156	8118321.491	417.223	FL
16	333023.371	8118324.010	417.123	FL
17	333025.594	8118326.540	417.024	FL
18	333027.817	8118329.069	416.924	FL
19	333029.320	8118327.749	416.974	FL
20	333030.822	8118326.429	417.024	FL
21	333028.644	8118323.951	417.055	FL
22	333026.466	8118321.473	417.108	FL
23	333024.599	8118319.349	417.153	FL
24	333022.021	8118316.416	417.267	FL
25	333021.645	8118315.987	417.285	FL

INTERSECTION SETOUT POINTS				
Point #	Easting	Northing	Level	Description
26	333060.529	8118360.230	416.536	FL
27	333059.026	8118361.550	416.486	FL
28	333057.524	8118362.870	416.436	FL
29	333059.287	8118365.632	416.446	FL
30	333061.051	8118368.393	416.456	FL
31	333062.814	8118371.154	416.466	FL
32	333064.648	8118369.711	416.417	FL
33	333065.565	8118368.990	416.390	FL
34	333066.482	8118368.269	416.363	FL
35	333068.316	8118366.826	416.309	FL
36	333065.713	8118364.619	416.385	FL
37	333063.108	8118362.415	416.460	FL

Fellow Chartered Professional Engineer 477749
Mr Craig R Waters
FIEAust, CPeng, NER
RPEQ No. 7419, APEC Eng, IntPE(Aust)
FIE PNG No. 4351, Reg Eng PNG No. 2645
Signature Date 27 / 09 / 2022
Registered on the National Professional Engineers Register
in the areas of practice of Civil, Leadership & Management



amendments		
A	ORIGINAL ISSUE FOR OPERATIONAL WORKS APPLICATION	27.09.22

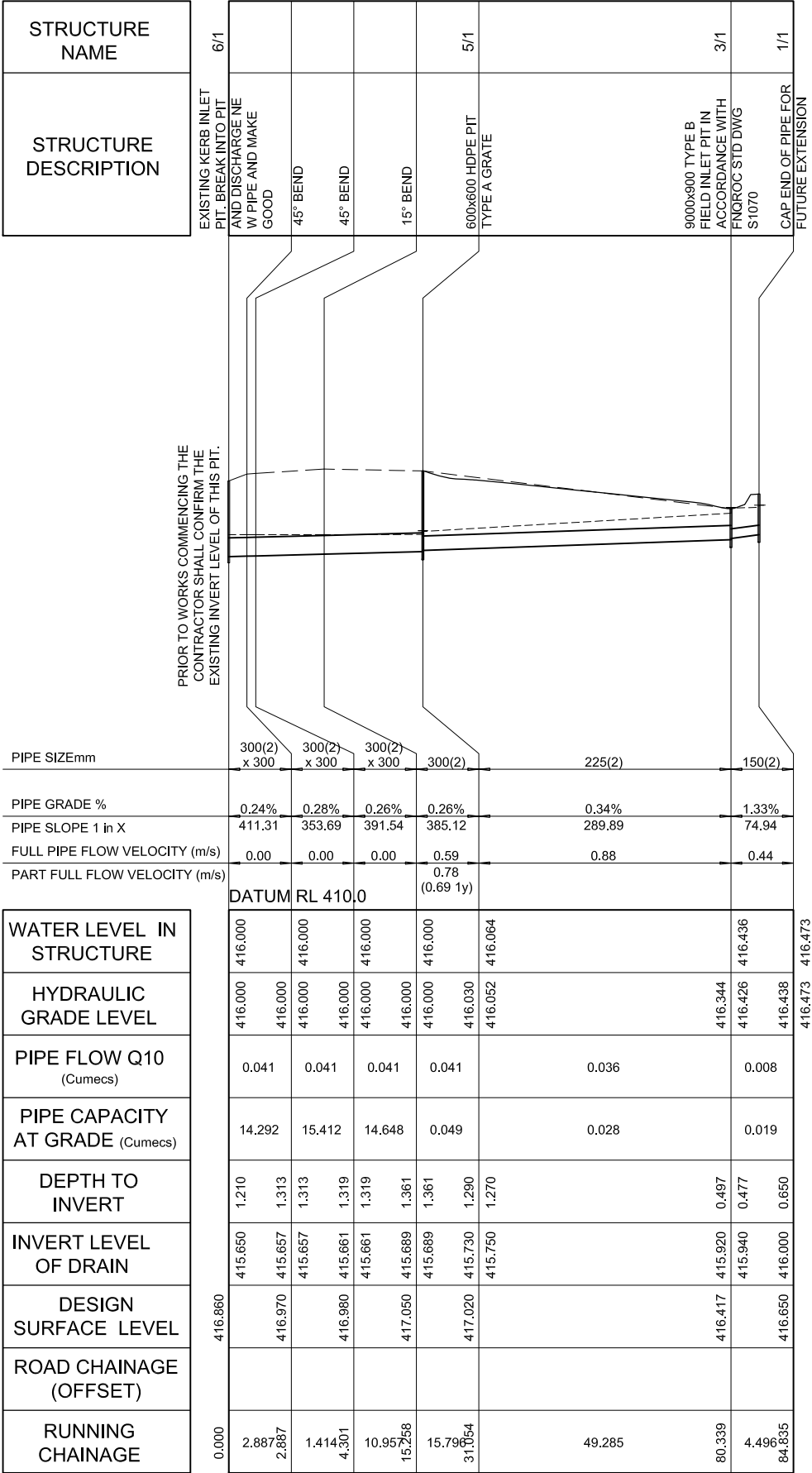
JIM PAPAS
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MR. STEPHEN HOGAN
PROPOSED RESIDENTIAL SUBDIVISION
AT 7 KENNEALLY ROAD, MAREEBA

DRAWING TITLE: ACCESS - LONGITUDINAL SECTION, TYPICAL CROSS SECTION, PAVEMENT DATA, SET OUT AND DETAILS

SCALE (AT A1 SIZE)	HOR 1:250/100/50/10 VER 1:50/25/10	DRAWN	J.P.
DATE	SEPT 2022	CHECKED	J.P.
APPROVED	[Signature]		
DWG NUMBER	1471 - C05	AMDT	A



NOTES:

SET OUT POINT IS CENTRE OF GRATE

PIPE LENGTHS SHOWN ARE MEASURED FROM CENTRE OF GRATE TO CENTRE OF GRATE

ALL STORMWATER DRAIN PIPES SHALL BE "BLACKMAX" PIPES TO AS/NZS 5065 POLYETHYLENE (PE) AND POLYPROPYLENE (PP) PIPES AND FITTINGS FOR DRAINAGE AND SEWERAGE APPLICATIONS CLASS SN8 OR uPVC PIPES SWJ TO AS 1254 uPVC PIPES AND FITTINGS FOR STORMWATER AND SURFACE WATER APPLICATIONS

STORMWATER DRAINAGE LONGITUDINAL SECTION
SCALES: HOR. 1:500
VER: 1:50

Fellow Chartered Professional Engineer 477749

Mr Craig R Waters

FIEAust, CPEng, NER

RPEQ No. 7419, APEC Eng, IntPE(Aust)

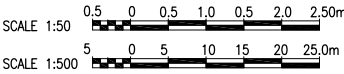
FIE PNG No. 4351, Reg Eng PNG No. 2645

Signature

Date 27 / 09 / 2022

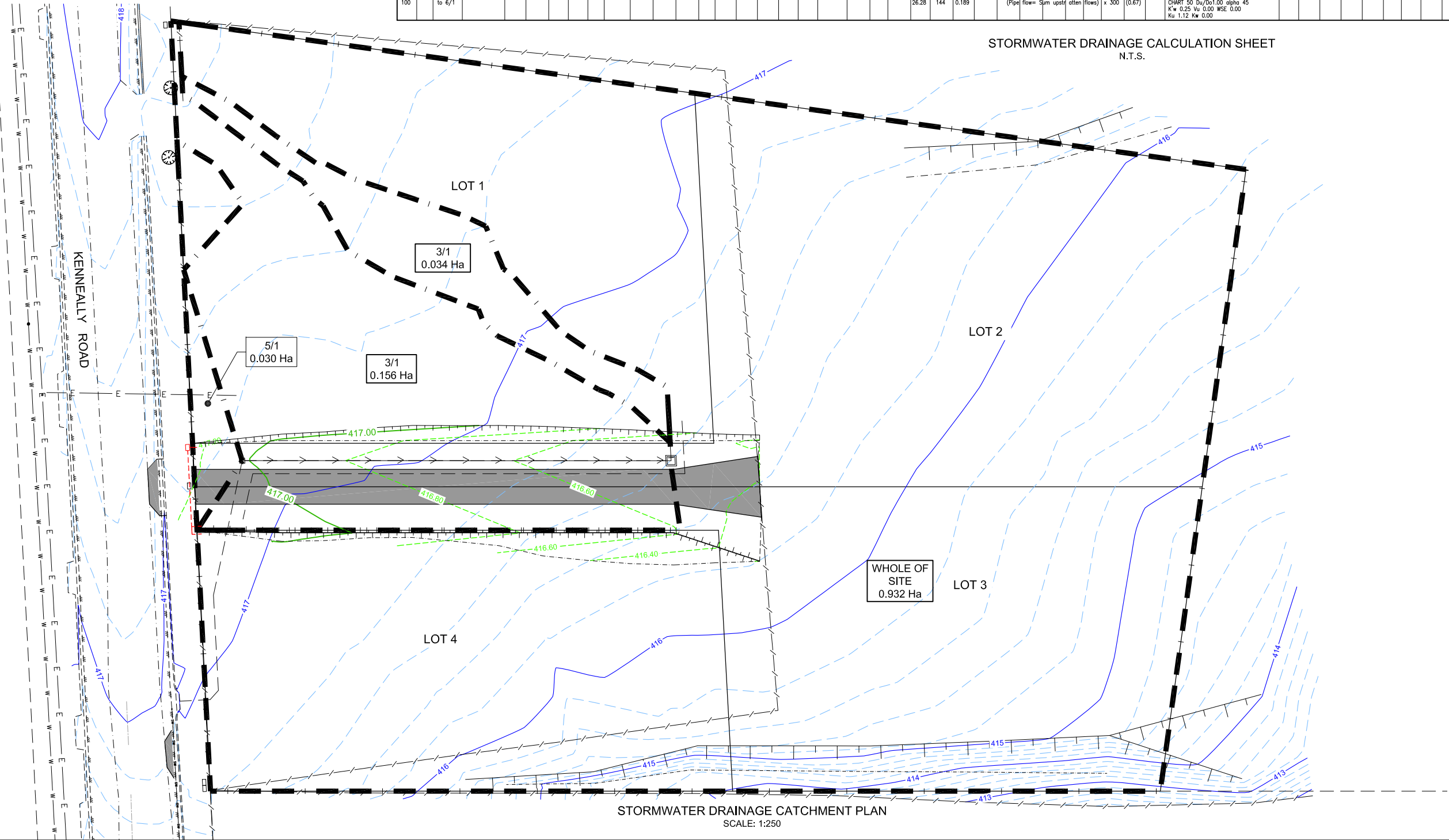
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LOCATION				SUB-CATCHMENT RUNOFF										INLET DESIGN										DRAIN DESIGN										HEADLOSSES										PART FULL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
DESIGN A.R.L.	STRUCTURE NO.	DRAIN SECTION	SUB-CATCHMENTS CONTRIBUTING	tc	I	I	A	Q												tc	I		Qt	Qm	Qs	Qo	L	S		V	t	STRUCTURE RATIOS FOR "K" VALUE CALCULATIONS	Vz/2g	Ku	hu	kl	hl	kw	hw	Sf	hf	DEPTH	VELOCITY	OBJECT LEVELS	DRAIN SECTION H.G.L																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
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STORMWATER DRAINAGE CALCULATION SHEET
N.T.S.



STORMWATER DRAINAGE CATCHMENT PLAN
SCALE: 1:250

SCALE 1:250 2.5 0 2.5 5 7.5 10 12.50m

Fellow Chartered Professional Engineer 477749
Mr Craig R Waters
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Signature *[Signature]* Date 27 / 09 / 2022
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amendments		
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MR. STEPHEN HOGAN
PROPOSED RESIDENTIAL SUBDIVISION
AT 7 KENNEALLY ROAD, MAREEBA

DRAWING TITLE: STORMWATER DRAINAGE CATCHMENT PLAN AND STORMWATER DRAINAGE CALCULATION SHEET

SCALE (AT A1 SIZE)	HOR 1:250	DRAWN	J.P.
DATE	SEPT 2022	DESIGNED	J.P.
APPROVED		CHECKED	J.P.
DWG NUMBER	1471 - C08	AMDT	A