

DELEGATED REPORT

SUBJECT: SIBI GIRGENTI HOLDINGS PTY LTD - OPERATIONAL WORKS (ROADWORKS, BULK EARTHWORKS, WATER AND SEWER SUPPLY WORKS AND STORMWATER DRAINAGE) FOR DEVELOPMENT PERMIT RAL/21/0024 - LOT 100 ON SP276719 - MCIVER ROAD, MAREEBA - OPW/22/0004

DATE: 4 October 2022

REPORT OFFICER'S TITLE: Senior Planner

DEPARTMENT: Corporate and Community Services

APPLICATION DETAILS

APPLICATION		PREMISES	
APPLICANT	Sibi Girgenti Holdings Pty Ltd	ADDRESS	Mclver Road, Mareeba
DATE LODGED	4 October 2022	RPD	Lot 100 on SP276719
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Operational Works (Roadworks, Bulk Earthworks, Water and Sewer Supply Works and Stormwater Drainage) for Development Permit RAL/21/0024		

FILE NO	OPW/22/0004	AREA	4.32 ha
LODGED BY	Jim Papas Civil Engineering Designer Pty Ltd	OWNER	Sibi Girgenti Holdings Pty Ltd
PLANNING SCHEME	Mareeba Shire Council Planning Scheme 2016		
ZONE	Preliminary Approval for Low Density Residential		
LEVEL OF ASSESSMENT	Code Assessable		
SUBMISSIONS	n/a		

ATTACHMENTS: 1. Proposal Plan/s

PREVIOUS APPLICATIONS & APPROVALS

RAL/21/0024

DESCRIPTION OF PROPOSED DEVELOPMENT

The development application seeks a Development Permit for Operational Works (Roadworks, Bulk Earthworks, Water and Sewer Supply Works and Stormwater Drainage)

ASSESSMENT

State Planning Policy

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

Relevant Development Codes

The following Development Codes are considered to be applicable to the assessment of the application:

- 6.2.4 Low Density Residential zone code
- 9.4.4 Reconfiguring a lot code
- 9.4.5 Works, services and infrastructure code

The application did not include a planning report and assessment against the planning scheme. An officer assessment has found that the application satisfies the relevant acceptable outcomes (or performance outcome where no acceptable outcome applies) of the relevant codes set out below.

Relevant Codes	Comments
Low Density Residential zone code	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.
Reconfiguring a lot code	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.
Works, services and infrastructure code	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code. The submitted plans included the use of "black-max" stormwater drainage pipes which are not supported by Council.

Compliance with conditions of earlier related approval

RAL/21/0024 - Reconfiguring a Lot - Subdivision (1 into 24 Lots)

1. Development must be carried out generally in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, and subject to any alterations:
 - found necessary by the Council's delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
 - to ensure compliance with the following conditions of approval.
2. Timing of Effect
 - 2.1 The conditions of the development permit must be complied with to the satisfaction of Council's delegated officer prior to the endorsement of the plan of survey for each stage of the development, or alternative documentation as approved by the Land Title Act, except where specified otherwise in these conditions of approval.

3. Staging of Development

- 3.1 The construction of this development may be staged in accordance with the stage numbering shown on Drawing No. 1470 - SK01 Amendment C dated 10.04.22 and as shown in **Table 1** below:

Table 1: Staging

Stage Number	Lots
Stage 1	Lots 17-20
Stage 2	Lots 12-16
Stage 3	Lots 21-24
Stage 4	Lots 9-12
Stage 5	Lots 1-4
Stage 6	Lots 5-8

A balance lot will be created up to the final stage.

- 3.2 Staged development may also be undertaken in any other sequence provided all infrastructure required to service the relevant stage is constructed.
- 3.3 The applicant/developer must comply with each condition of this development approval as it relates to each designated stage, unless otherwise stated in this approval.
- ### 4. General
- 4.1 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.
- 4.2 All payments or bonds required to be made to the Council pursuant to any condition of this approval or the Adopted Infrastructure Charges Notice must be made prior to the endorsement of the plan of survey, or alternative documentation as approved by the Land Title Act and at the rate applicable at the time of payment.
- 4.3 The developer must relocate (in accordance with FNQROC standards) any services such as water, sewer, drainage, telecommunications and electricity that are not wholly located within the lots that are being created/serviced where required by the relevant authority, unless approved by Council's delegated officer.
- 4.4 Where utilities (such as sewers on non-standard alignments) traverse lots to service another lot, easements must be created in favour of Council for access and maintenance purposes. The developer is to pay all costs (including Council's legal expenses) to prepare and register the easement documents.
- 4.5 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.
- 4.6 Charges
- All outstanding rates, charges, and expenses pertaining to the land are to be paid in full.

4.7 Bushfire Management

A Bushfire hazard management plan for the subject land must be prepared by suitably qualified person to the satisfaction of Council's delegated officer.

The future use of each lot must comply with the requirements of the bushfire hazard management plan at all times.

5. Infrastructure Services and Standards

5.1 Access

Access to each allotment must be constructed (from the edge of the road pavement to the property boundary of each lot) in accordance with the FNQROC Development Manual, to the satisfaction of Council's delegated officer.

The provision of roll-over kerb along the frontage of each allotment will satisfy this condition.

5.2 Stormwater Drainage

- (a) The applicant/developer must take all necessary steps to ensure a non-worsening effect on surrounding land as a consequence of the development.
- (b) Prior to works commencing the applicant must submit a Stormwater Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual to the satisfaction of Council's delegated officer.
- (c) Prior to works commencing the applicant must submit a Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline to the satisfaction of Council's delegated officer.
- (d) The Stormwater Quality Management Plan must include an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia) to the satisfaction of Council's delegated officer.
- (e) The applicant/developer must construct the stormwater drainage infrastructure in accordance with the approved Stormwater Management Plan and/or Stormwater Quality Management Plan and Report.
- (f) Temporary drainage is to be provided and maintained during the construction phase of the development, discharged to a lawful point and not onto the construction site.
- (g) All stormwater channels through private property must be registered, with the easement for drainage purposes in favour of Council. All documentation leading to the registration of the easement must be completed at no cost to Council.

- (h) All stormwater drainage collected from the site must be discharged to an approved legal point of discharge.
- (i) The applicant (at their cost) must video all stormwater lines and submit the video for inspection by Council's delegated officer prior to the development being taken "off maintenance" to ensure that no defects have occurred during the 12 month maintenance period.
- (j) All drainage easements must be constructed to prevent erosion. Construction may be in the form of a concrete invert, with outlet protection.
- (k) To complete the subject site's Tilse Street frontage to a reasonable standard to service the stormwater catchment, Council will credit the cost difference for the additional design and construction of the following required works against infrastructure charges associated with the proposed development:
 - (i) Fill the existing open drain with approved material, including compaction and testing, reprofiling and vegetation with suitable grass species
 - (ii) Provide underground drainage in Tilse Street connecting the existing Council infrastructure in McIver Road to an outlet in Tilse Street generally in accordance with layout shown on Drawing No. 1470 - SK03 Amendment B dated 10.04.22. The works shall include manholes, kerb inlet pits, headwall and wingwalls at outlet, outlet protection and any excavation required for any outlet drain together with revegetation of this drain.
 - (iii) The design drawings for the above must be lodged with Council for approval, and once approved, included in the tender documentation under a separate scheduled item for cost identification purposes.

5.3 Earthworks

All earthworks must be carried out in accordance with the requirements of the FNQROC Development Manual (as amended) to the satisfaction of Council's delegated officer.

All formed batters must be located outside the road reserves.

5.4 Roadworks - Internal

- (a) The new internal road is to be constructed to Access Street standard in accordance with the FNQROC Development Manual (as amended) to the satisfaction of Council's delegated officer.
- (b) A two (2) metre wide concrete footpath must be installed on at least one (1) side of the internal road. The horizontal alignment of the footpath is to be determined at operational works stage.

5.5 Roadworks - External

McIver Road and Tilse Street must be upgraded for the full frontage of Lot 100 on SP276719 to the general extent shown on Drawing No. 1470 - SK01 Amendment C dated 10.04.22.

These works should generally include the following:

- The widening of the development side of Mclver Road and Tilse Street;
- the installation of kerb and channel on the development side of Mclver Road and Tilse Street for the full frontage of Lot 100 on SP276719; and
- All required underground stormwater infrastructure.

Plans for the abovementioned works must be submitted to Council as part of a subsequent application for operational works.

5.6 Water Supply

- (a) Where the existing reticulated water supply does not currently service the site or is not at an adequate capacity, the developer is required to extend or upgrade the reticulated water supply infrastructure to connect the site to Council's existing infrastructure at a point that has sufficient capacity to service the development in accordance with FNQROC Development Manual standards (as amended).
- (b) A water service connection must be provided to each proposed lot in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.

5.7 Sewerage Connection

The developer must connect the proposed development to Council's reticulated sewerage system in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.

Where sewerage connections are not available to the site, or where existing connections are not satisfactory for the proposed development, the developer is required to extend or upgrade the reticulated sewerage infrastructure to connect the site to Council's existing infrastructure at a point that has sufficient capacity to service the development in accordance with FNQROC Development Manual standards (as amended).

5.8 Electricity provision/supply

The applicant/developer must ensure that an appropriate level of electricity supply is provided to each allotment in accordance with FNQROC Development Manual standards (as amended) to the satisfaction of Council's delegated officer.

Written advice from an Electricity Service Provider is to be provided to Council indicating that an agreement has been made for the provision of **underground** power reticulation.

5.9 Telecommunications

The applicant/developer must enter into an agreement with a telecommunication carrier to provide telecommunication services to each allotment and arrange provision of necessary conduits and enveloping pipes.

5.10 Lighting

Street lighting must be provided to all roads in accordance with FNQROC Development requirements (as amended) and to the satisfaction of Council's delegated officer.

5.11 Street Trees

One (1) street tree must be planted at centre of each lot's road frontage. Corner allotments must have a street tree planted on each frontage.

All street trees must be provided in accordance with the FNQROC Development Manual - Design Manual D9 Landscaping.

5.12 Agricultural Buffering

- 5.12.1 As part of Stage 1, a 10 metre wide vegetation buffer is to be planted within the proposed residential allotments along the alignment of McIver Road generally indicated on Drawing No. 1470 - SK01 Amendment C dated 10.04.22. The vegetation must have a minimum height at maturity of 4 metres. The plan depicting species and areas to be planted must be submitted to Council's delegated officer for approval prior to the issue of a development permit for operational works. The buffer must be planted in accordance with the approved plan.
- 5.12.2 As part of Stage 1, a colourbond fence of 1.8 metres in height shall be erected along the entire McIver Road frontage on the southern side of the vegetation buffer required by Condition 5.12.1.
- 5.12.3 The vegetation buffer and fence must be maintained by the applicant and any subsequent owner of any part of the land affected by this condition. Statutory covenant/s must be created over vegetation buffer to ensure it is maintained by the applicant and any subsequent owner of respective allotment.

FNQROC Regional Development Manual

All development works will be carried out in accordance with FNQROC Development Manual standards and in accordance with the Earthworks Notes shown on the submitted plan.

Stormwater Drainage Design Non-compliance

The submitted plans included the use of "black-max" stormwater drainage pipes which are not supported by Council.

REFERRALS

Internal Consultation

Technical Services

OFFICER'S RECOMMENDATION

1. That in relation to the following development application:

APPLICATION		PREMISES	
APPLICANT	Sibi Girgenti Holdings Pty Ltd	ADDRESS	Mclver Road, Mareeba
DATE LODGED	27 June 2022	RPD	Lot 100 on SP276719
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Operational Works (Roadworks, Bulk Earthworks, Water and Sewer Supply Works and Stormwater Drainage) for Development Permit RAL/21/0024		

and in accordance with the Planning Act 2016, the applicant be notified that the application for a development permit for the development specified in (A) is:

Approved by Council in accordance with the approved plans/documents listed in (B), subject to assessment manager conditions in (C), relevant period in (D) and further approvals from Council listed in (E);

(A) **APPROVED DEVELOPMENT:** Development Permit for Operational Works (Roadworks, Bulk Earthworks, Water and Sewer Supply Works and Stormwater Drainage) for Development Permit RAL/21/0024

(B) **APPROVED PLANS:**

Plan/Document Number	Plan/Document Title	Prepared by	Dated
1470-C01 Amdt C	Existing Site Plan	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C02 Amdt C	Typical Cross Sections, Pavement Data, and Details	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C03 Amdt C	Bulk Earthworks Plan	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C04 Amdt C	Soil and Water Strategy	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C05 Amdt C	Earthworks, Roadworks and Stormwater Drainage Plan	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C06 Amdt C	Sewer Reticulation Plan	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C07 Amdt C	Water Reticulation Plan	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C08 Amdt C	Details of Intersection, Cul De Sac and Outlet Drains	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C09 Amdt D	Provisional Design of Structural Details of Manhole 2/1	Jim Papas Civil Engineering Designer Pty Ltd	28.09.22
1470-C10 Amdt C	Mclver Road/Tilse Street - Longitudinal Section and Set Out	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C11 Amdt C	Mclver Road/Tilse Street - Cross Sections (Sheet 1 of 3)	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C12 Amdt C	Mclver Road/Tilse Street - Cross Sections (Sheet 2 of 3)	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C13 Amdt C	Mclver Road/Tilse Street - Cross Sections (Sheet 3 of 3)	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C14 Amdt C	Road A - Longitudinal Section and Set Out	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C15 Amdt C	Road A - Longitudinal Sections (Sheet 1 of 1)	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22

1470-C16 Amdt C	Catch Drain No. 1 - Longitudinal and Cross Sections, Typical Cross Section and Setout	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C17 Amdt C	Stormwater Drainage Longitudinal Sections, Pit Schedule, Set Out and Notes	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C18 Amdt C	Sewerage Reticulation Longitudinal Sections (Sheet 1 of 2)	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C19 Amdt C	Sewerage Reticulation Longitudinal Sections (Sheet 2 of 2) and Set Out	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C20 Amdt C	Stormwater Drainage Catchment Plan	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22
1470-C21 Amdt C	Stormwater Drainage Calculation Sheet	Jim Papas Civil Engineering Designer Pty Ltd	13.09.22

(C) ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)

(a) **General**

- (i) **This development permit does not authorise the use of "blackmax" piping.**
- (ii) This development permit applies to the roadworks, bulk earthworks, water and sewer supply and stormwater drainage components of the operational works as included on the approved plans.

All works covered under this development permit will not be placed "on-maintenance" until a subsequent development permit is issued for the stormwater drainage components and the stormwater drainage works have been completed in full, to the satisfaction of Council's delegated officer.

- (iii) All operational works must be designed and constructed in accordance with the procedures as set out in the FNQROC Development Manual.
- (iv) Development must be carried out substantially in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, and subject to any alterations:
- found necessary by the Council's Delegated Officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements;
 - to ensure the works comply in all respects with the requirements and procedures of the FNQROC Development Manual and good engineering practice; and
 - to ensure compliance with the following conditions of approval.
- (v) Council's examination of the documents should not be taken to mean that the documents have been checked in detail and Council takes no responsibility for their accuracy. If during construction, inadequacies of the design are discovered, it is the responsibility of the Principal Consulting Engineer to resubmit amended plans to Council for approval and rectify works accordingly.

- (vi) Upon completion of excavation and filling works, a statement of compliance of works endorsed by a Registered Professional Engineer of Queensland (RPEQ) must be submitted to Council.

(b) Pre-start Meeting

- (i) In addition to the requirements of Clause CP1.07 and CP1.08 of the FNQROC Development Manual; after documentation has been approved by Council, a pre-start meeting is to be held on site prior to the commencement of work. Part 1 of the **attached** pre-start meeting pro-forma is to be completed and returned prior to the meeting including clause 1.u 'Request for Meeting' together with the prescribed Construction Monitoring Fee as set out in Council's Schedule of Fees.

(c) Inspections

- (i) Inspections are to be carried out as detailed in the FNQROC Manual unless advised otherwise at the pre-start meeting.

(d) Construction Security Bond and Defects Liability Bond

- (i) In addition to Clauses CP1.06 and CP1.20 of the FNQROC Development Manual; the Construction Security Bond and Defects Liability Bond shall each be a minimum of \$1000 and Bank Guarantees shall have no termination date.
- (ii) During the Defects Liability period, it is the responsibility of the developer to rectify any works found to be defective due to design faults and or found to exhibit faults attributed to the performance of the construction activities in terms of quality and conformance with design and specifications. The bond will be returned on satisfactory correction of any defective work and after expiration of the maintenance period. Failure to comply with a Council issued instruction to correct defective work may result in the call up of the bond to have the work completed.

(e) Hours of Work

- (i) Work involving the operation of construction plant and equipment of any description, shall only be carried out on site during the following times:
 - 7.00am to 6.00pm, Monday to Friday;
 - 7.00am to 1.00pm Saturdays;
 - No work is permitted on Sundays or Public Holidays.
- (ii) No variation to the above working hours is allowed unless otherwise agreed in writing by Council.

(f) Transportation of Soil

- (i) All soil transported to or from the site must be covered to prevent dust or spillage during transport. If soil is tracked or spilt onto the road pavement from works on the subject land, it must be removed no later than at the end of each working day. Sediment must not enter Council's stormwater drainage

network.

(D) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Any other development – two (2) years (starting the day the approval takes effect).

(E) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

- Nil

Date Prepared: 4 October 2022

DECISION BY DELEGATE

DECISION

Having considered the Senior Planner's report detailed above, I approve, as a delegate of Council, the application subject to the conditions listed in the report.

Dated the *4TH* day of *OCTOBER* 2022



BRIAN MILLARD
SENIOR PLANNER

MAREEBA SHIRE
AS A DELEGATE OF THE COUNCIL

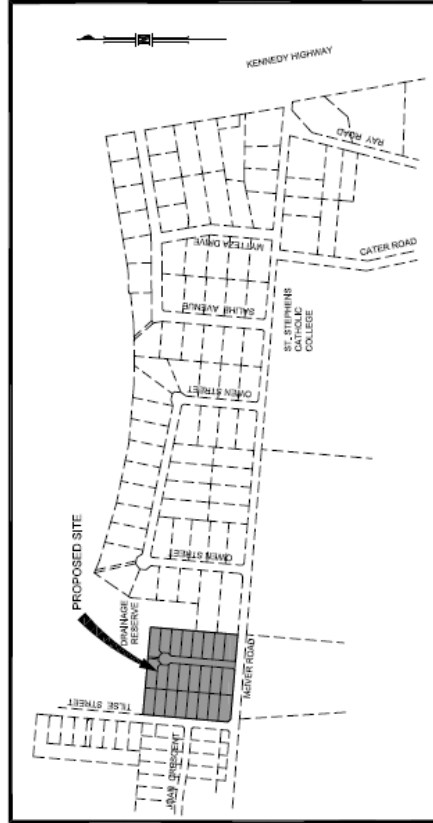
APPROVED PLANS

**PRESTIGE GARDENS ESTATE
STAGES 1-6
PROPOSED RESIDENTIAL SUBDIVISION
AT
CNR MCIVER ROAD AND TILSE STREET
MAREEBA**

- PROJECT DRAWINGS
- PROJECT N. MTS
- C01 - EXISTING SITE PLAN
- C02 - TYPICAL CROSS SECTIONS, PAVEMENT DATA AND DETAILS
- C03 - TYPICAL CROSS SECTIONS, PAVEMENT DATA AND DETAILS
- C04 - SOIL AND WATER STRATIGY
- C05 - SANITATIONAL PLUMBING & STORMWATER DRAINAGE PLAN
- C06 - SANITATIONAL PLUMBING & STORMWATER DRAINAGE PLAN
- C07 - WATER RETENTION PLAN
- C08 - DETAILS OF INTERSECTION OF DE SACS AND OUTLET DRAIN
- C09 - PROVISIONAL DESIGN OF STRUCTURAL DETAILS OF MANHOLE 2/3
- C10 - MCIVER ROAD TILSE STREET - LONGITUDINAL SECTION AND SET OUT
- C11 - MCIVER ROAD TILSE STREET - CROSS SECTION (SHEET 1 OF 3)
- C12 - MCIVER ROAD TILSE STREET - CROSS SECTION (SHEET 2 OF 3)
- C13 - MCIVER ROAD TILSE STREET - CROSS SECTION (SHEET 3 OF 3)
- C14 - ROAD A - LONGITUDINAL SECTION AND SET OUT
- C15 - ROAD A - CROSS SECTION (SHEET 1 OF 1)
- C16 - CATCH DOWN NO. 1 - LONGITUDINAL AND CROSS SECTIONS, TYPICAL CROSS SECTION AND SET OUT
- C17 - STORMWATER DRAINAGE, LONGITUDINAL, SECTION, AT SCHEDULE, SET OUT AND NOTES
- C18 - SEWERAGE RETICULATION LONGITUDINAL SECTION (SHEET 1 OF 2)
- C19 - SEWERAGE RETICULATION LONGITUDINAL SECTION (SHEET 2 OF 2) AND SET OUT
- C20 - STORMWATER DRAINAGE CATCHMENT PLAN
- C21 - STORMWATER DRAINAGE CALCULATION SHEET
- C22 - STORMWATER DRAINAGE SYSTEM WITHOUT ANY CONTRIBUTING EXTERNAL CATCHMENTS
- C23 - STORMWATER DRAINAGE CALCULATION SHEET FOR DRAINAGE SYSTEM WITHOUT ANY CONTRIBUTING EXTERNAL CATCHMENTS

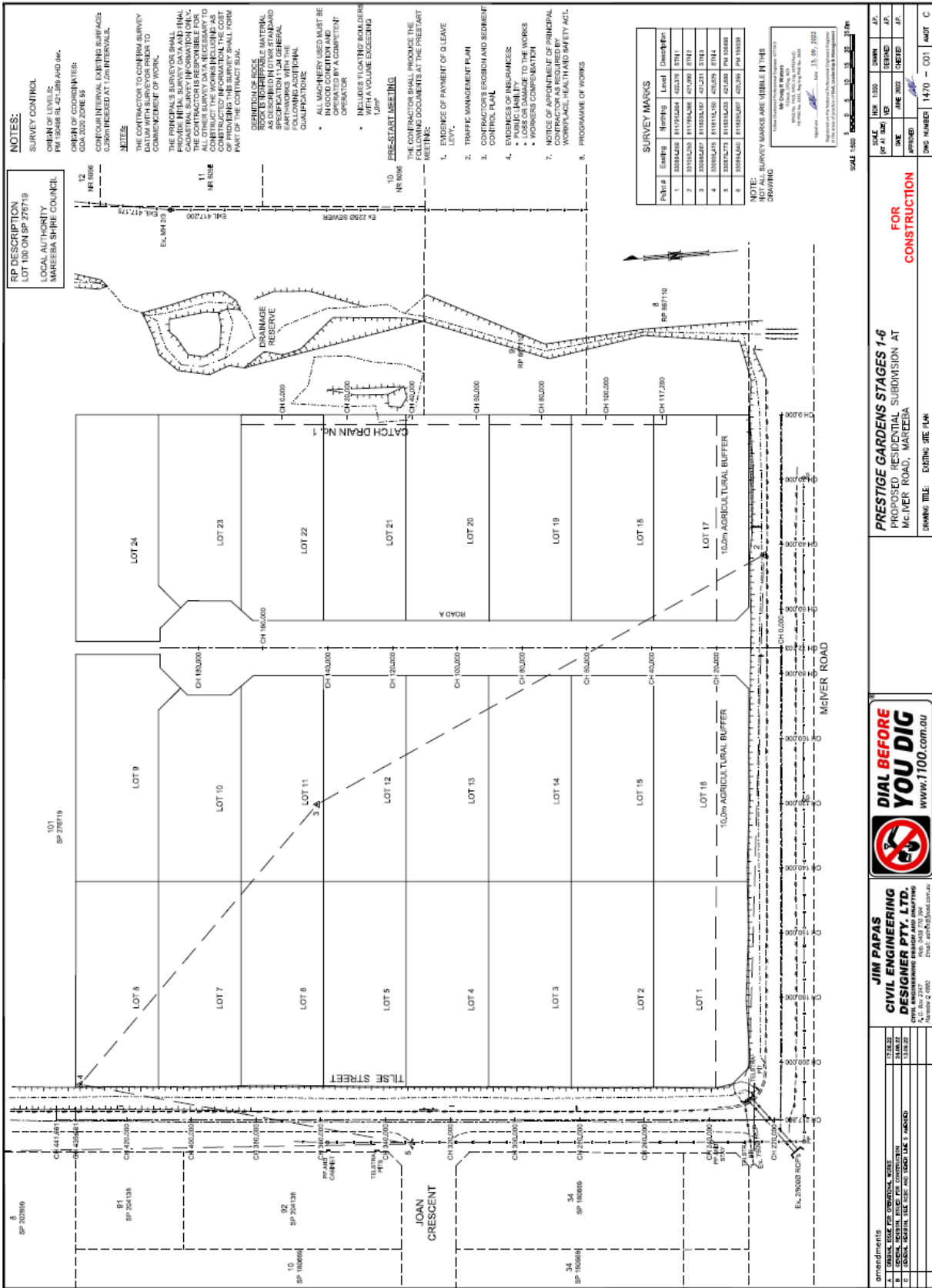
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CONSTRUCTION**

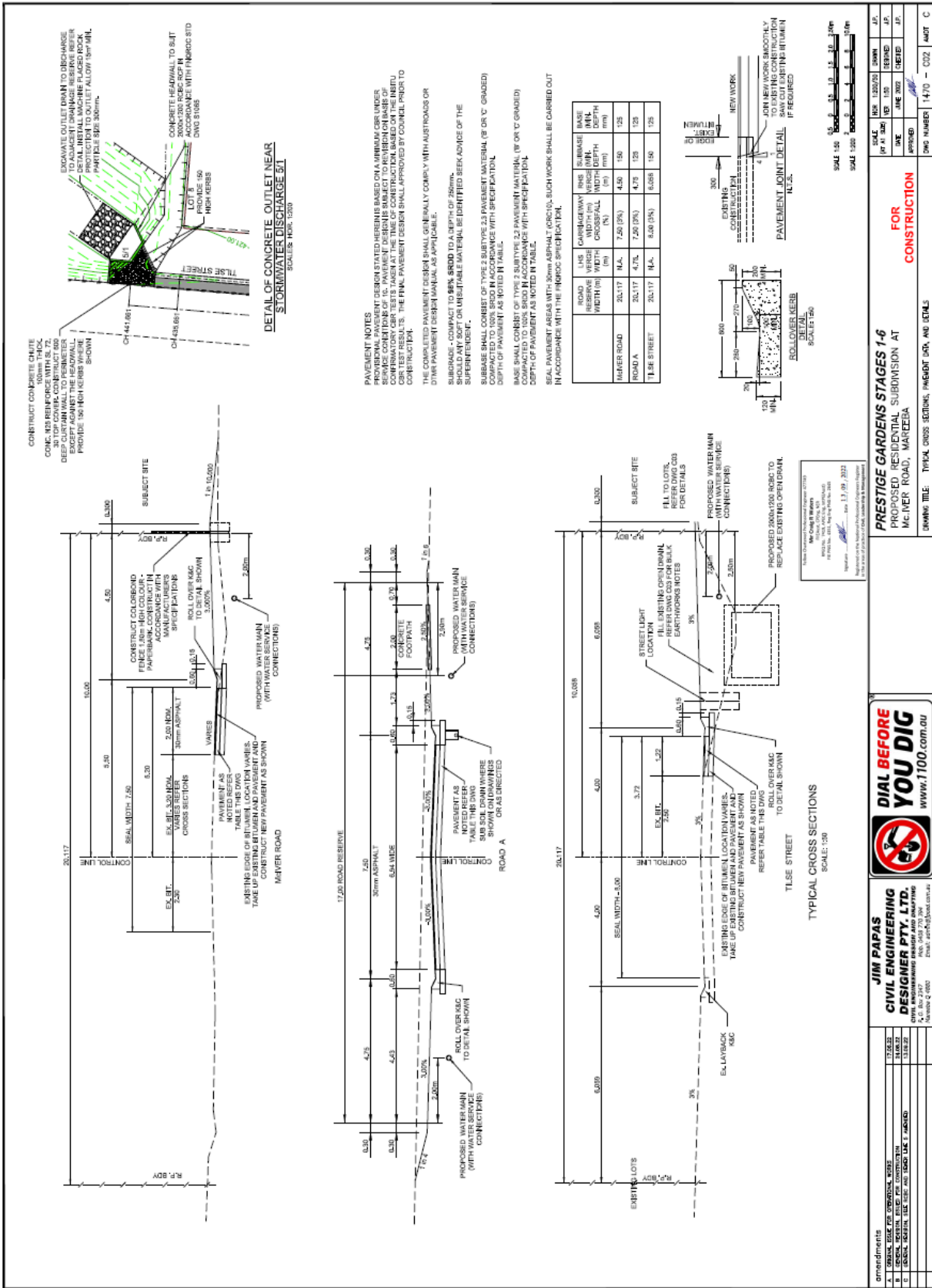
WINE SURVEYS PTY LTD
 14/15 WINE STREET
 PO Box 146, Abersham 4883
 P 07 4391333 E
 info@winesurveys.com.au

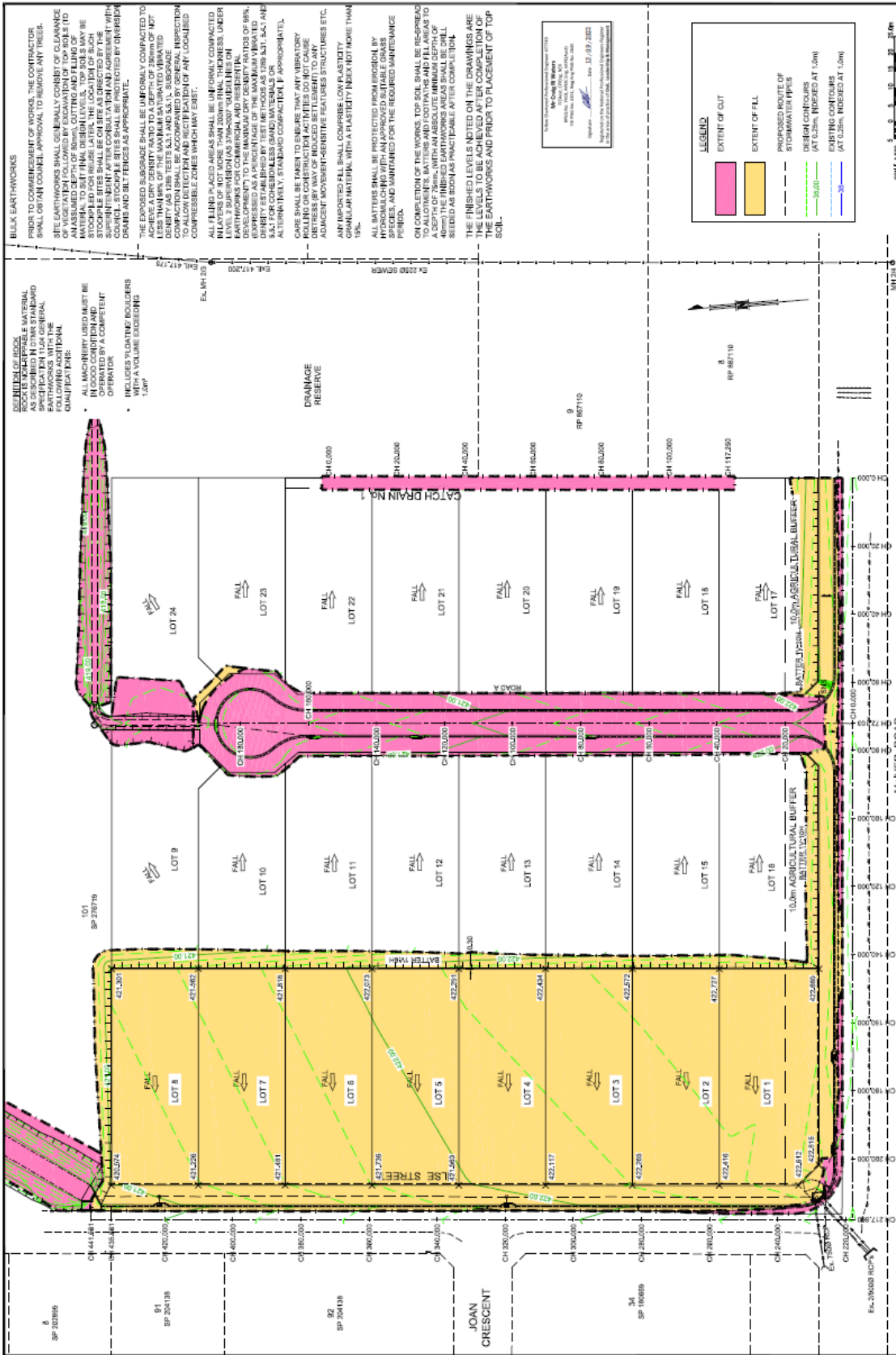


SITE PLAN
N.T.S.

These Drawings are prepared in accordance with the provisions of the Survey Act 1978 and the Survey Regulations 1979.
 The Engineer is a member of the Institution of Professional Engineers (IPE) and the Institution of Engineers (IEng).
 Registered Professional Engineer (Civil) No. 13, 09, 2022
 Registered Professional Engineer (Civil) No. 13, 09, 2022
 Registered Professional Engineer (Civil) No. 13, 09, 2022







REV	DATE	BY	CHKD	APPD
1	13/10/2022	JAP	JAP	JAP
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24	13/10/2022	JAP	JAP	JAP

amendments
 A SP 202859
 B1 SP 204138
 92 SP 204138
 34 SP 190689

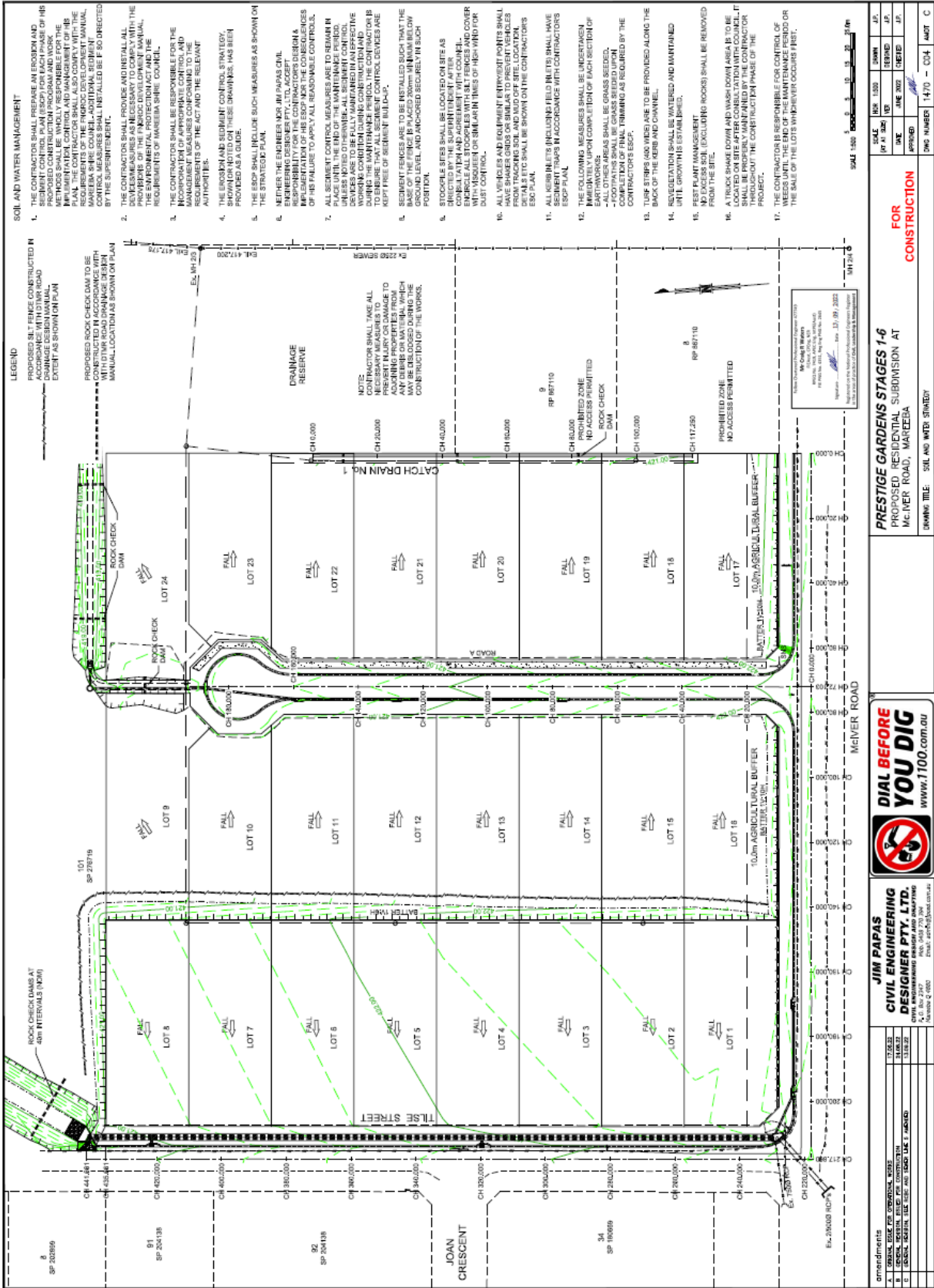
JIM PAPAS CIVIL ENGINEERING DESIGNER PTY. LTD.
 4/12, Box 2787, Lower Macleay Street, WARRIMONGER NSW 2546
 Phone: 02 9360 2787 Fax: 02 9360 2798
 www.jim100.com.au

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FOR CONSTRUCTION

PRESTIGE GARDENS STAGES 1-6
 PROPOSED RESIDENTIAL SUBDIVISION AT
 MACLEAY ROAD, WARRIMONGER

DRAWING TITLE: BULK EARTHWORKS PLAN



FOR CONSTRUCTION

DATE	NO.	DESCRIPTION	BY
14/10/2022	1	ISSUED FOR CONSTRUCTION	J.P.

PRESTIGE GARDENS STAGES 1-6
 PROPOSED RESIDENTIAL SUBDIVISION AT
 MACNEER ROAD, MAIREBA

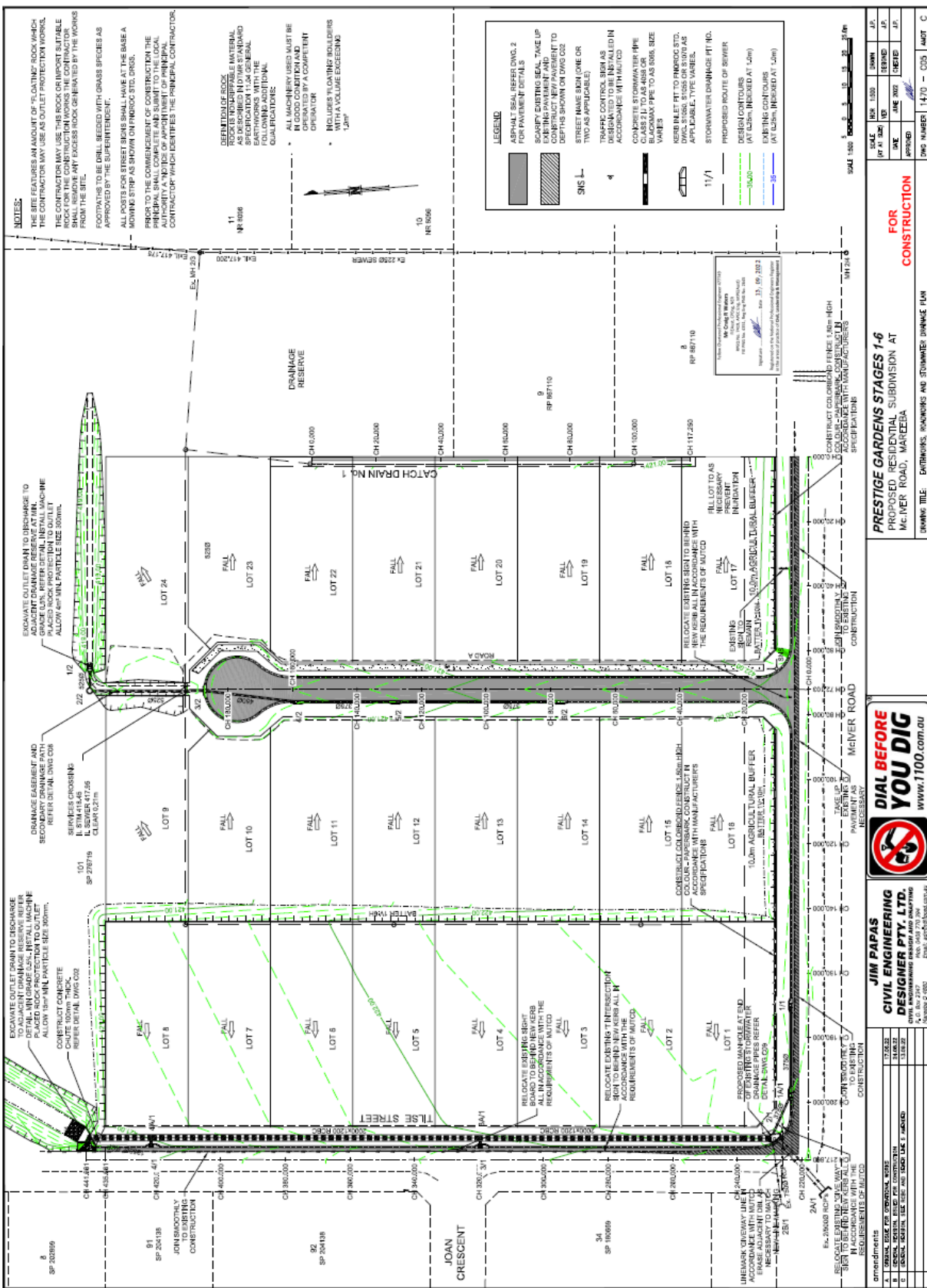
SHANKS TITLE: SILE AND WATER STRATEGY

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JIM PAPAS
 CIVIL ENGINEERING
 DESIGNER PTY. LTD.
 4/2, Box 2747
 MAIREBA, 1213
 Ph: 083 270 304
 Email: jim@jim.papas.com.au

amendments

A	13/03/22	
B	13/03/22	
C	13/03/22	
D	13/03/22	



JIM PAPAS CIVIL ENGINEERING DESIGNER PTY. LTD.
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FOR CONSTRUCTION

PRESTIGE GARDENS STAGES 1-6
 PROPOSED RESIDENTIAL SUBDIVISION AT
 MACNEER ROAD, MANEEBA

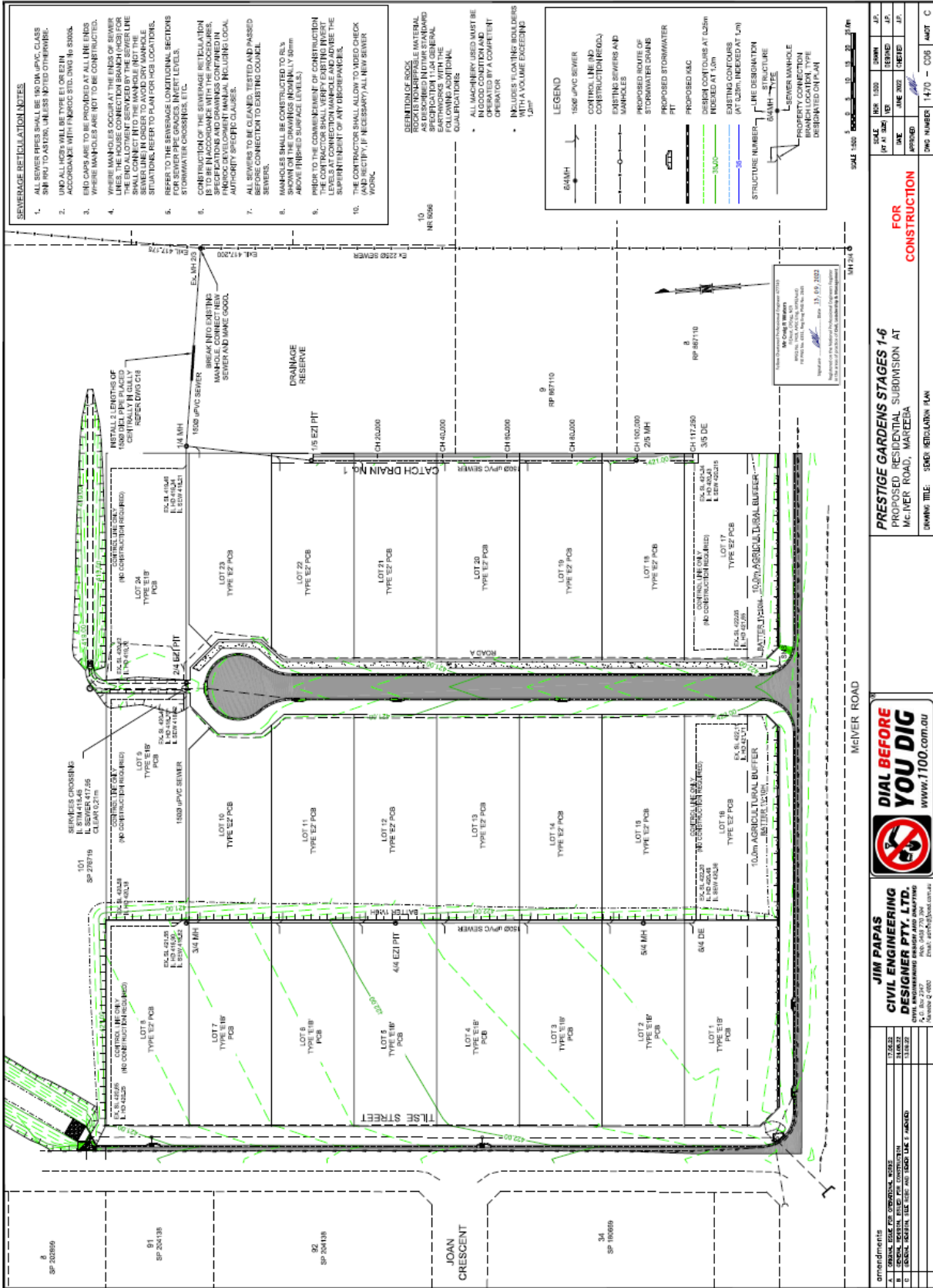
DRAWING TITLE: EXISTING, WORKING AND PROPOSED DRAINAGE PLAN

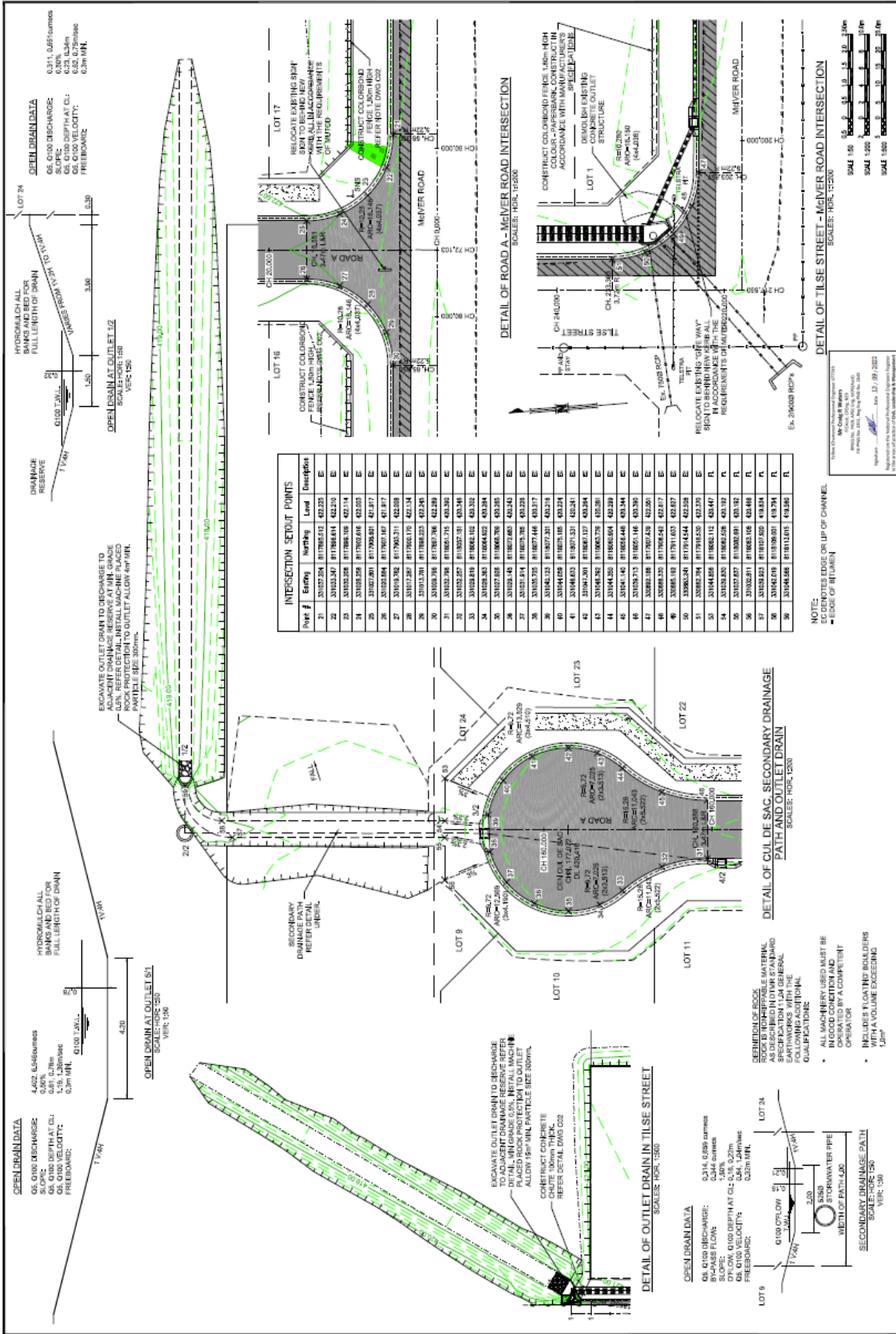
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 DATE: 14/07/2022

DATE: 14/07/2022

DATE: 14/07/2022

DATE: 14/07/2022





Point #	Stationing	Level	Description
1	3+000.00	117.865(1)	420.230
2	3+003.24	117.865(1)	420.230
3	3+003.24	117.865(1)	420.230
4	3+003.24	117.865(1)	420.230
5	3+003.24	117.865(1)	420.230
6	3+003.24	117.865(1)	420.230
7	3+003.24	117.865(1)	420.230
8	3+003.24	117.865(1)	420.230
9	3+003.24	117.865(1)	420.230
10	3+003.24	117.865(1)	420.230
11	3+003.24	117.865(1)	420.230
12	3+003.24	117.865(1)	420.230
13	3+003.24	117.865(1)	420.230
14	3+003.24	117.865(1)	420.230
15	3+003.24	117.865(1)	420.230
16	3+003.24	117.865(1)	420.230
17	3+003.24	117.865(1)	420.230
18	3+003.24	117.865(1)	420.230
19	3+003.24	117.865(1)	420.230
20	3+003.24	117.865(1)	420.230
21	3+003.24	117.865(1)	420.230
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23	3+003.24	117.865(1)	420.230
24	3+003.24	117.865(1)	420.230
25	3+003.24	117.865(1)	420.230
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58	3+003.24	117.865(1)	420.230
59	3+003.24	117.865(1)	420.230
60	3+003.24	117.865(1)	420.230

FOR CONSTRUCTION

PRESTIGE GARDENS STAGES 1-6
 PROPOSED RESIDENTIAL SUBDIVISION AT
 MAC-NER ROAD, MANCERBA

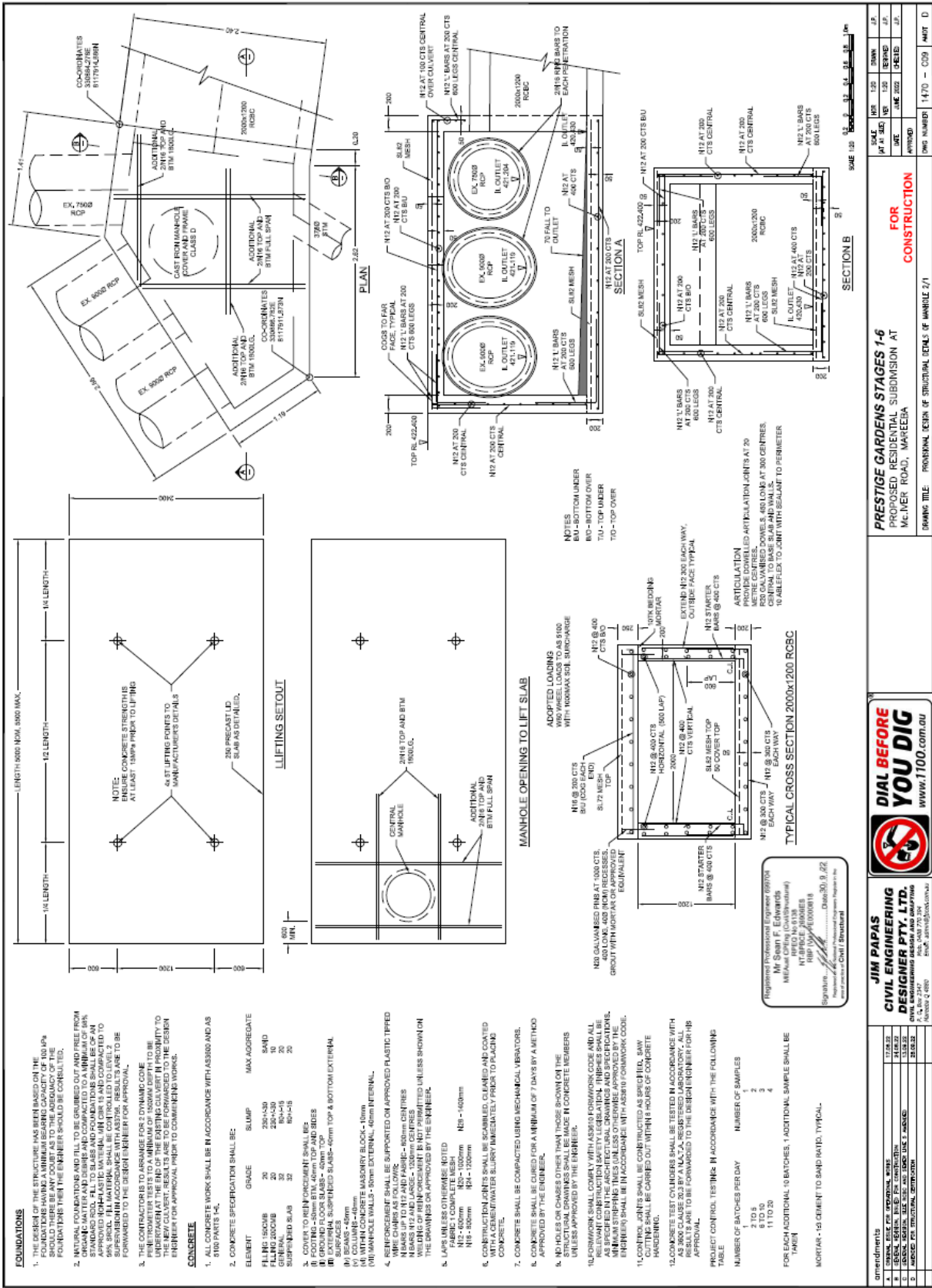
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 4/1, 8/2, 2/17
 1/10, 1/10, 1/10
 1/10, 1/10, 1/10

amendments
 A 1/10, 1/10, 1/10
 B 1/10, 1/10, 1/10
 C 1/10, 1/10, 1/10
 D 1/10, 1/10, 1/10

DATE: 13/09/2022
 SCALE: 1:500
 DRAWN: J.P.
 CHECKED: J.P.
 APPROVED: J.P.

DWG NUMBER: 1470 - 028 - AUT. C



- FOUNDATIONS**
- THE FOUNDATION STRUCTURE HAS BEEN BASED ON THE FOUNDATIONS HAVING A MINIMUM BEARING CAPACITY OF 100 kPa. THERE SHOULD BE NO DOUBT AS TO THE ADEQUACY OF THE FOUNDATION. THE ENGINEER SHOULD BE CONSULTED.
 - NATURAL FOUNDATIONS AND FILL TO BE GRUBBED OUT AND FREE FROM OBSTRUCTIONS. ALL FOUNDATIONS TO BE CONSTRUCTED WITH APPROVED NON-PLASTIC MATERIAL (M OR N) AND COMPACTED TO SPECIFICATION. ALL TO BE BUILT AND FOUNDATIONS SHALL BE OF A SUBSEQUENT MINIMUM ACCORDANCE WITH ADOPTED RESULTS TO BE FORWARDED TO THE DESIGN ENGINEER FOR APPROVAL.
 - THE CONTRACTOR IS TO ARRANGE FOR 2 DYNAMIC COME PENETROMETER TESTS TO A MINIMUM OF 150MM DEPTH TO BE MADE AT EACH CORNER AND AT THE MID POINTS OF ALL FOUNDATIONS. THE RESULTS ARE TO BE FORWARDED TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO COMMENCING WORKS.

CONCRETE

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH AS3600 AND AS 1384 PARTS 1 & 2.
- CONCRETE SPECIFICATION SHALL BE:

ELEMENT	GRADE	MAX AGGREGATE
FILLING 150MM	20	20-30
FILLING ABOVE	20	20-30
GENERAL	30	20-30
SUPPORTING SLAB	30	20-30

- COVER TO REINFORCEMENT SHALL BE:
 - (i) EXTERNAL SUSPENDED SLABS - 40mm TOP & BOTTOM EXTERNAL.
 - (ii) BEAMS - 40mm
 - (iii) COLUMN - 40mm
 - (iv) MASONRY BLOCK - 40mm
 - (v) MANHOLE WALLS - 50mm EXTERNAL, 40mm INTERNAL.
- REINFORCEMENT SHALL BE SUPPORTED ON APPROVED PLASTIC TYPED SADDLES UP TO 100mm AND PAPER - 100mm CENTRES. WELDING OF REINFORCEMENT IS NOT PERMITTED UNLESS SHOWN ON THE DRAWINGS OR APPROVED BY THE ENGINEER.
- LAPS UNLESS OTHERWISE NOTED
 - (i) FABRIC 1 COMPLETE MESH:
 - N12 - 150mm
 - N18 - 120mm
 - N24 - 120mm
 - N30 - 140mm
 - (ii) CONSTRUCTION JOINTS SHALL BE SCABBED, CLEANED AND COATED WITH A CEMENT/WATER SLURRY IMMEDIATELY PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE COMPACTED USING MECHANICAL VIBRATORS.
- CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS BY A METHOD APPROVED BY THE ENGINEER.
- NO HOLES OR CHASIS OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS UNLESS APPROVED BY THE ENGINEER.

10. FORMWORK SHALL COMPLY WITH AS3610 FORMWORK CODE AND ALL RELEVANT CONSTRUCTION SAFETY LEGISLATION. FINISHES SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE APPROVED BY THE ENGINEER. MINIMUM STRIPS THICKNESS UNLESS OTHERWISE APPROVED BY THE ENGINEER SHALL BE IN ACCORDANCE WITH AS3610 FORMWORK CODE.

11. CONSTRUCTION JOINTS SHALL BE CONSTRUCTED AS SPECIFIED. SAW CUTTING SHALL BE CARRIED OUT WITHIN 4 HOURS OF CONCRETE FINISHING.

12. CONCRETE TEST CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH AS 3600. RESULTS ARE TO BE FORWARDED TO THE DESIGN ENGINEER FOR HIS APPROVAL.

PROJECT CONTROL TESTS IN ACCORDANCE WITH THE FOLLOWING TABLE

NUMBER OF BATCHES PER DAY	NUMBER OF SAMPLES
2 TO 5	1
6 TO 10	3
11 TO 30	4

FOR EACH ADDITIONAL 10 BATCHES, 1 ADDITIONAL SAMPLE SHALL BE TAKEN

MORTAR - 10 CEMENT TO SAND RATIO, TYPICAL.

REGISTERED PROFESSIONAL ENGINEER (CIVIL)
 CIVIL ENGINEERING DESIGNER
 Mr Sean F Edwards
 (M) 08 9439 1010
 (F) 08 9439 1000
 HRP 100000018
 Date 30.9.22
 Signature _____
 Registered Professional Engineer (Civil) (Structural)

FOR CONSTRUCTION

PRESTIGE GARDENS STAGES 1-6
 PROPOSED RESIDENTIAL SUBDIVISION AT
 MACIVER ROAD, WAREEBA

DRAWN BY: PROGRAMEL DESIGN OF STRUCTURAL DETAILS BY MANHOLE 2/1

SCALE: 1:200

DATE: 08/09/2022

APPROVED:

DATE: 08/09/2022

BY: J.F.

DATE: 08/09/2022

BY: J.F.

DATE: 08/09/2022

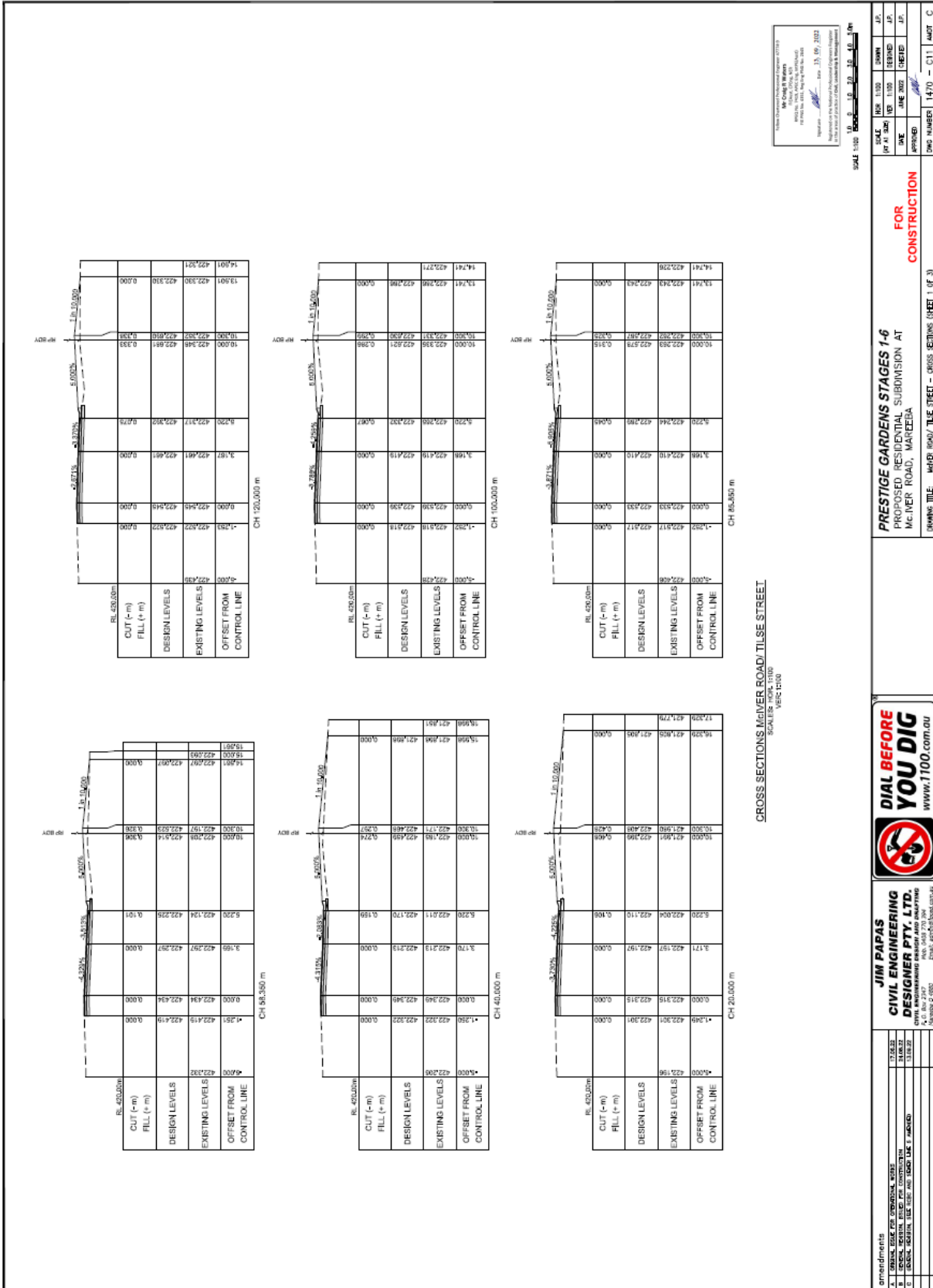
DATE: 08/09/2022

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DESIGNER PTY. LTD.
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 A.C.N. 120 2247
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 FAX: 08 9439 1001
 EMAIL: jim@jimspapas.com.au

REVISIONS	DATE	BY	REASON
1	17/08/22	J.F.	FOR PERMIT
2	18/08/22	J.F.	FOR PERMIT
3	30/08/22	J.F.	FOR PERMIT
4	30/08/22	J.F.	FOR PERMIT

NO.	REVISION	DATE	BY	REASON
1	17/08/22	J.F.	J.F.	FOR PERMIT
2	18/08/22	J.F.	J.F.	FOR PERMIT
3	30/08/22	J.F.	J.F.	FOR PERMIT
4	30/08/22	J.F.	J.F.	FOR PERMIT



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 1/110, BENTLEY ROAD, BENTLEY VIC 3185
 Phone: 03 9453 2700 Fax: 03 9453 2701
 Email: jim@jimcivil.com.au
 Website: www.jimcivil.com.au

FOR CONSTRUCTION

DATE: 13.09.2022

SCALE: 1:100 (VERTICAL), 1:100 (HORIZONTAL)

DATE: 13.09.2022

SCALE: 1:100 (VERTICAL), 1:100 (HORIZONTAL)

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	2	ISSUE	13.09.22
	3	ISSUE	13.09.22

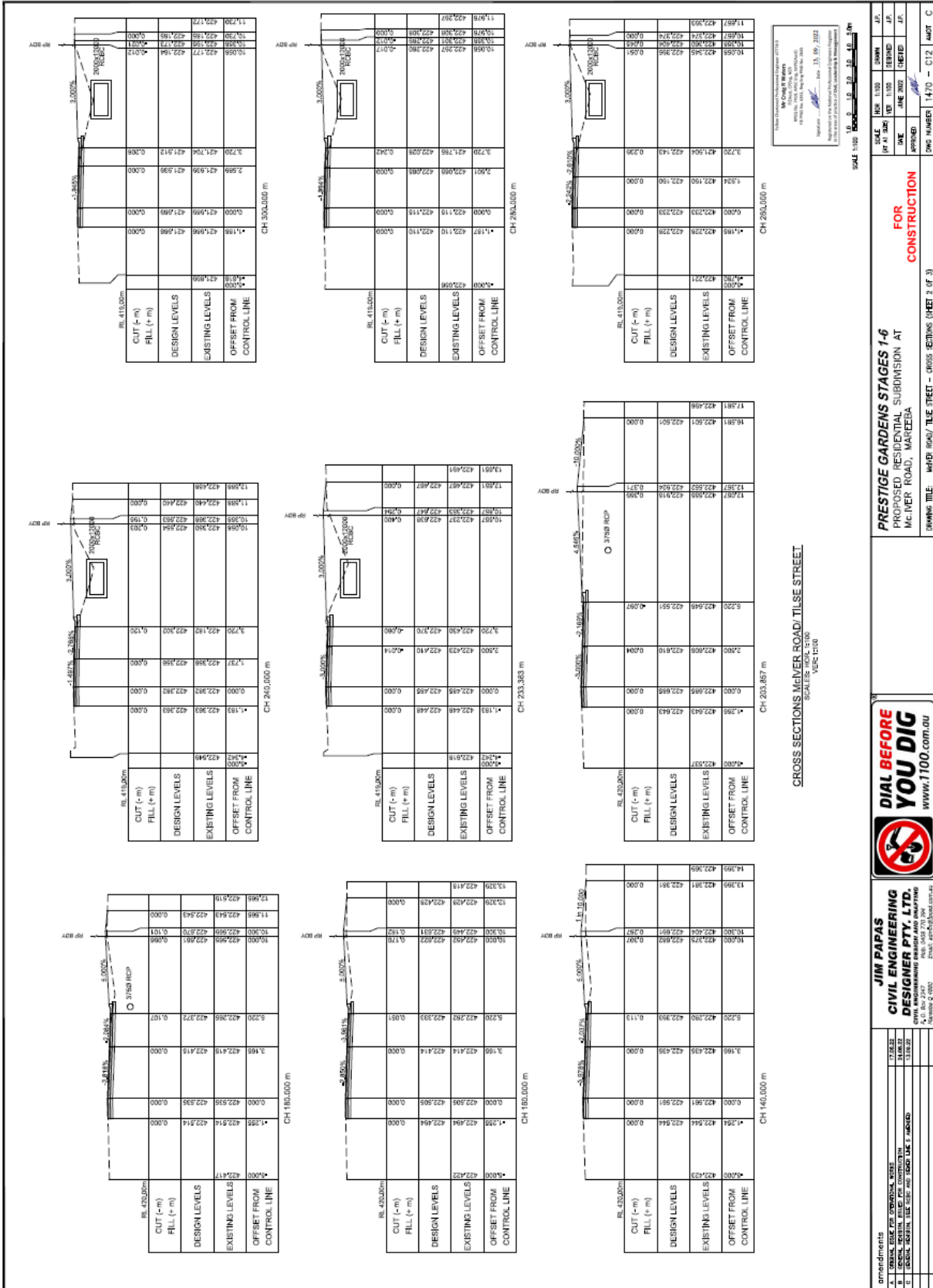
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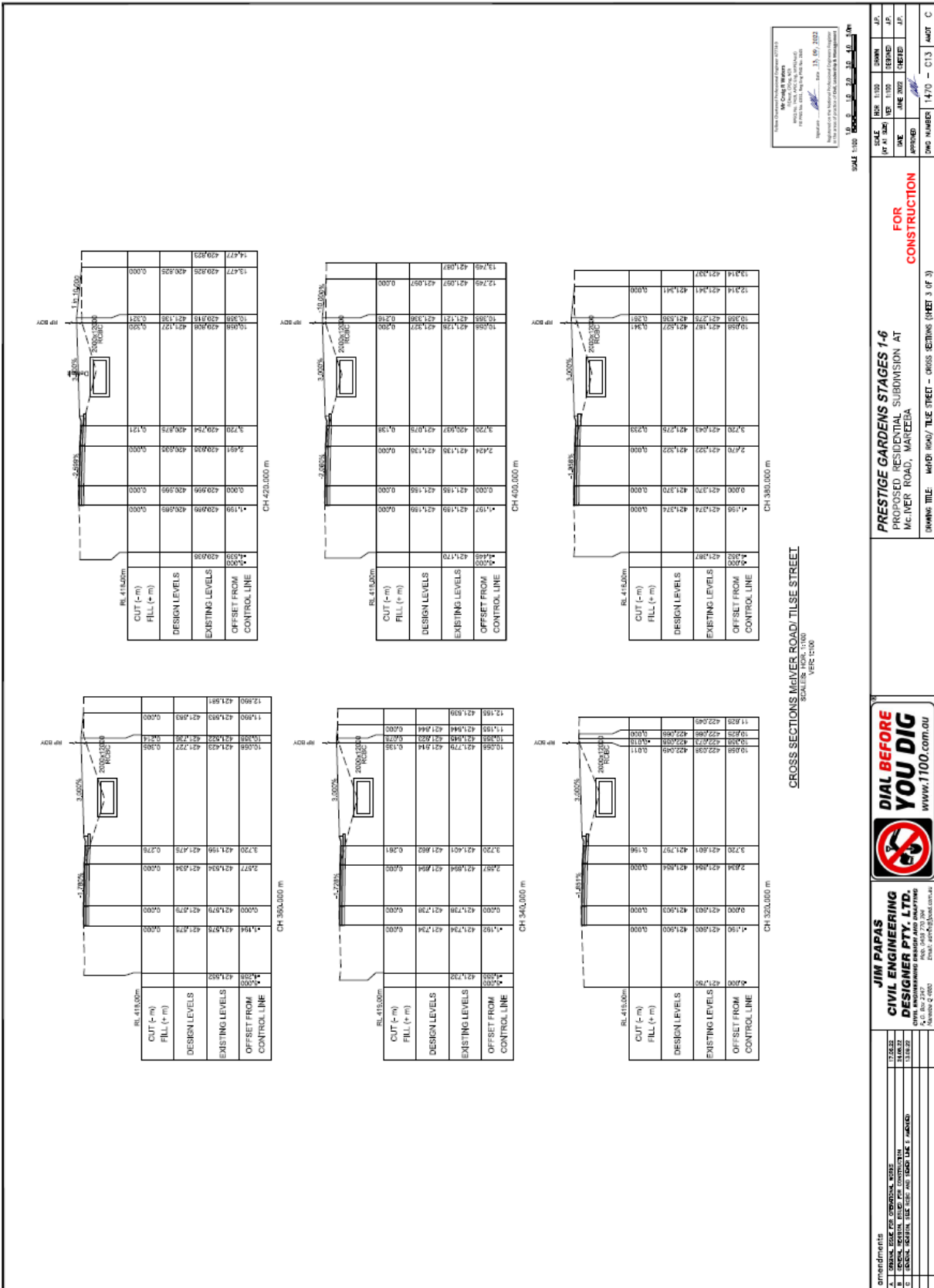
PRESTIGE GARDENS STAGES 1-6
 PROPOSED RESIDENTIAL SUBMISSION AT
 MACYER ROAD, MANEEBA

DRAWING TITLE: MAINIER ROAD/TILSE STREET - CROSS SECTIONS (SHEET 1 OF 3)

DWG NUMBER: 1470 - C11

SHEET: C





SCALE	1:1000	DATE	14/10/2022	DWG NUMBER	14/10 - C1.3	SHEET	C
SCALE	HORIZ. 1:1000	VERT. 1:100					
DATE	APPROVED	DATE	CHECKED	DATE	DESIGNED	DATE	DRAWN
14/10/22		13/10/22					

FOR CONSTRUCTION

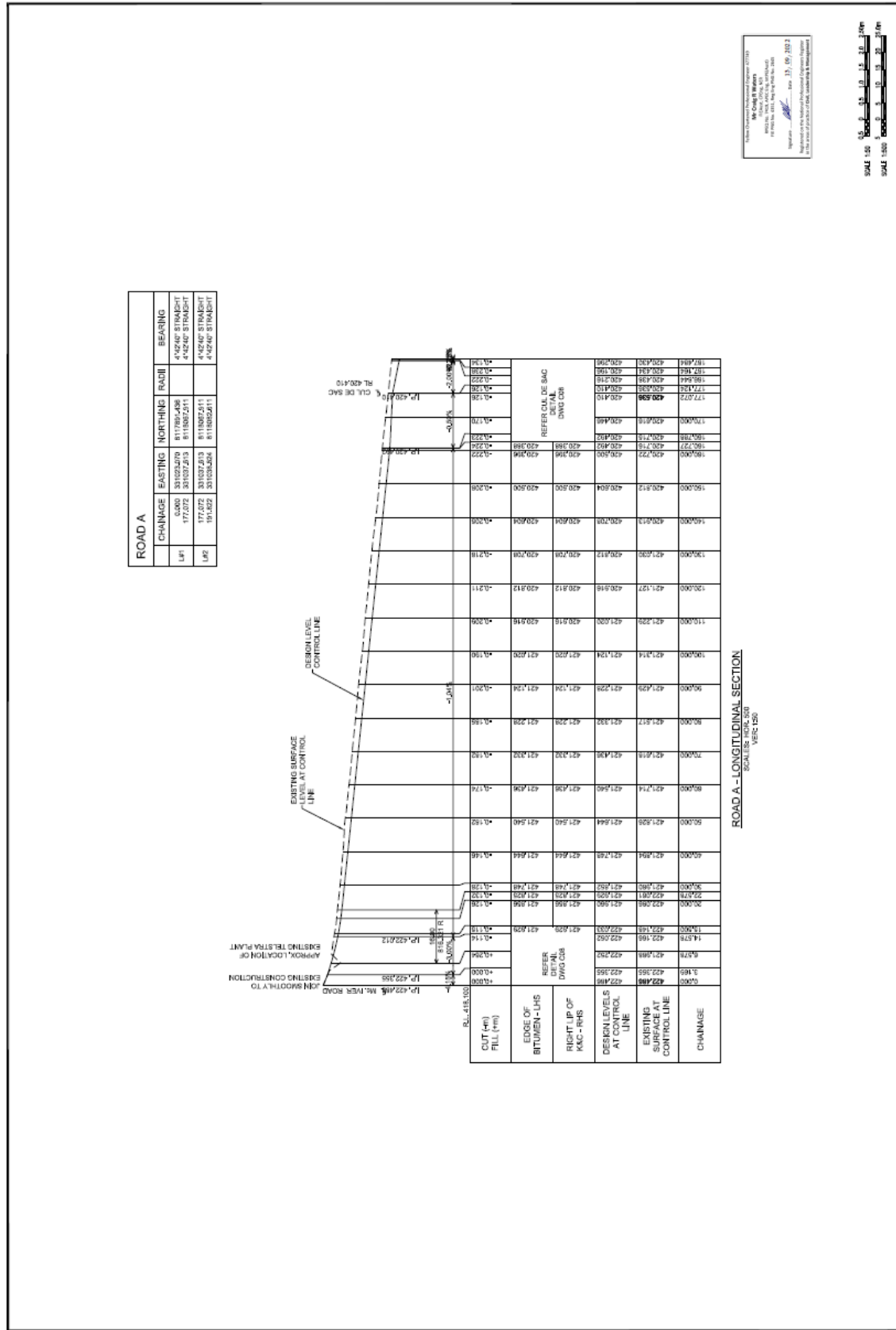
PRESTIGE GARDENS STAGES 1-6
PROPOSED RESIDENTIAL SUBDIVISION AT
MACIVER ROAD, MANCIEBA

DRAWING TITLE: MAIVER ROAD/ TILSE STREET - CROSS SECTIONS (SHEET 3 OF 3)



JIM PAPAS
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16/11/2018
4, 5, 6, BAYVIEW DRIVE
MANCIEBA 6100
PH: 08 9437 20 20
FAX: 08 9437 20 20
EMAIL: jim@jimspapas.com.au

AMENDMENTS	NO.	DESCRIPTION	DATE
A	1	ISSUED FOR PERMIT	13/08/22
B	2	ISSUED FOR PERMIT (REVISED)	13/08/22
C	3	ISSUED FOR PERMIT (REVISED)	13/08/22
D	4	ISSUED FOR PERMIT (REVISED)	13/08/22
E	5	ISSUED FOR PERMIT (REVISED)	13/08/22



ROAD A

CHAINAGE	EASTING	NORTING	RADIUS	BEARING
6.00	310329.70	811885.488	432240'	STRAIGHT
LPI	177.072	310329.703	811885.411	432240'
	177.072	310329.703	811885.411	432240'
UPE	1015.827	310329.624	811885.211	432240'
				432240'

ROAD A - LONGITUDINAL SECTION

ENGINEERING AND ARCHITECTURE
WE CONSULT
 445/745, KING STREET WEST, SUITE 100
 VANCOUVER, BC, CANADA V6B 5K6
 Tel: 604.681.3333 Fax: 604.681.3334
 www.weconsult.com
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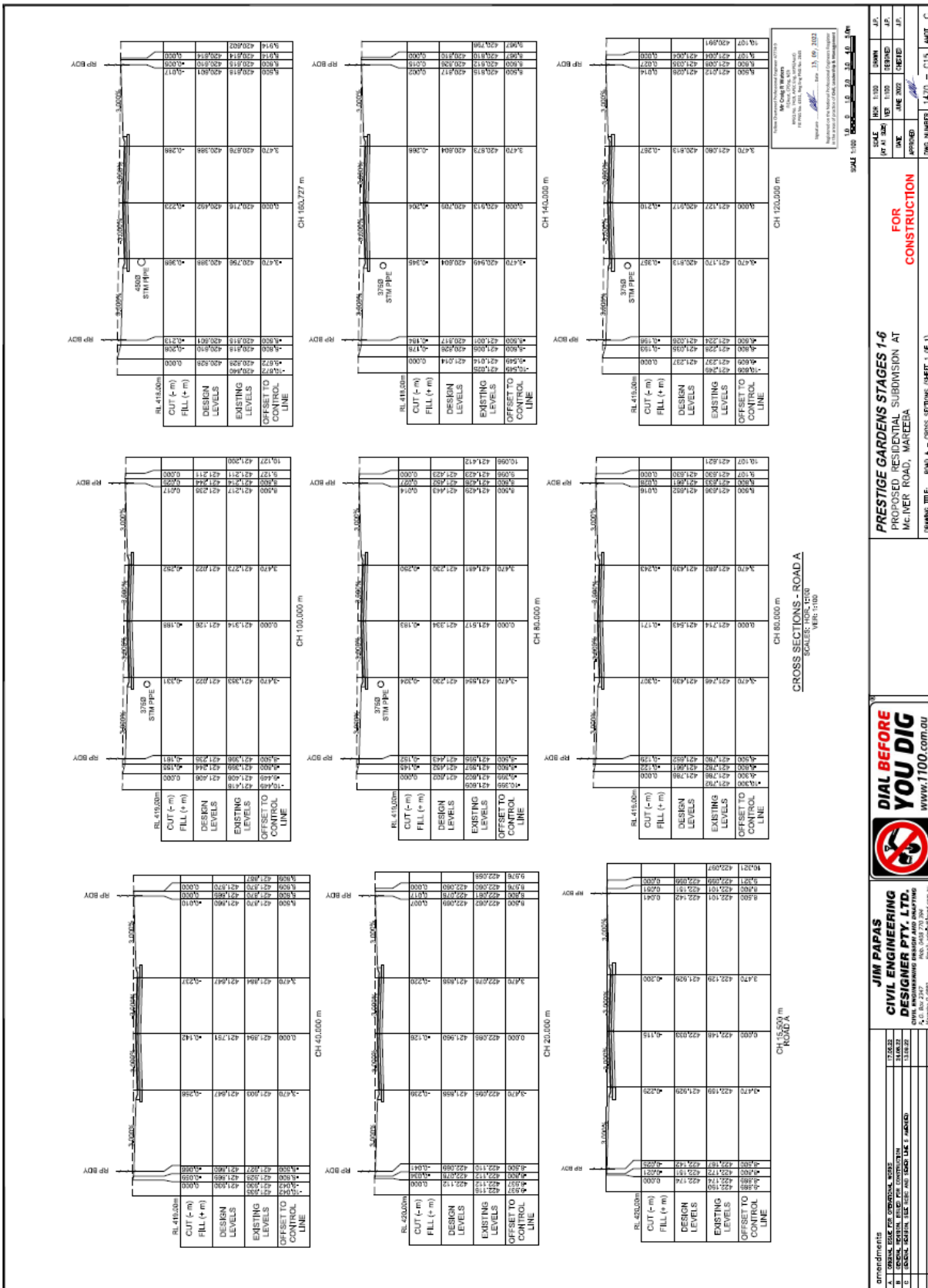
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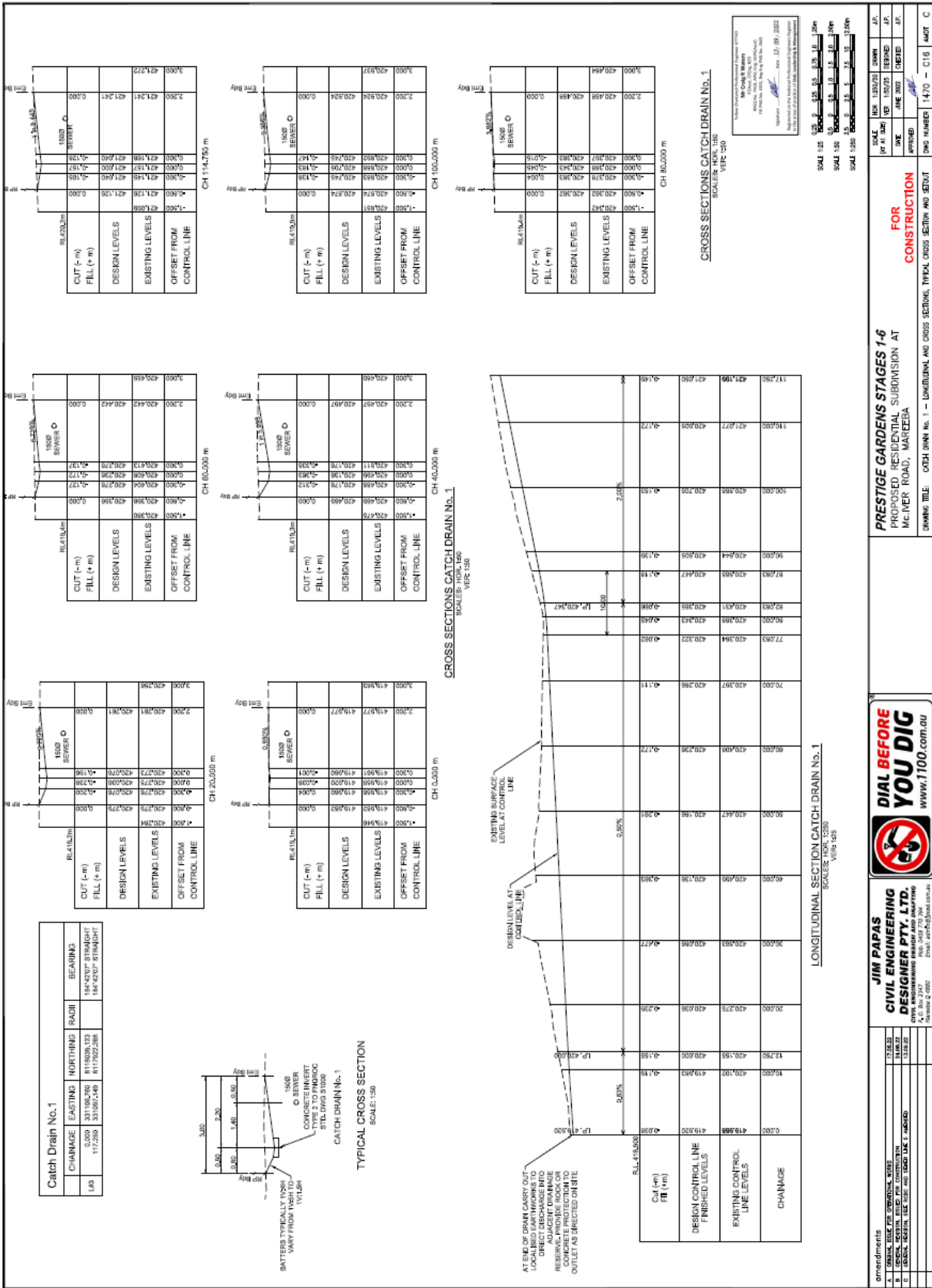
PRESTIGE GARDENS STAGES 1-6
 PROPOSED RESIDENTIAL SUBDIVISION AT
 MACIVER ROAD, MAITLAND

DATE: 14/10/2022
 DRAWING NUMBER: 1470 - C14 - 027 - C

amendments: A - PERFORMAL 2022
 B - SOCIAL, UTIL, ELEC, PT, LAYOUTS
 C - SOCIAL, UTIL, ELEC, AND ROAD LK 1 - MAND
 D - SOCIAL, UTIL, ELEC, AND ROAD LK 1 - MAND

SCALE: 1:50 (UP TO 500)
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 1:2000 (10000 TO 20000)
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 1:4000 (30000 TO 40000)
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 1:8000 (70000 TO 80000)
 1:9000 (80000 TO 90000)
 1:10000 (90000 TO 100000)





FOR CONSTRUCTION

PRESTIGE GARDENS STAGES 1-6
PROPOSED RESIDENTIAL SUBDIVISION AT
MACNEER ROAD, MANCIEBA

DRAWING TITLE: CATCH DRAIN No. 1 - LONGITUDINAL AND CROSS SECTIONS, TYPICAL CROSS SECTION AND SETOUT

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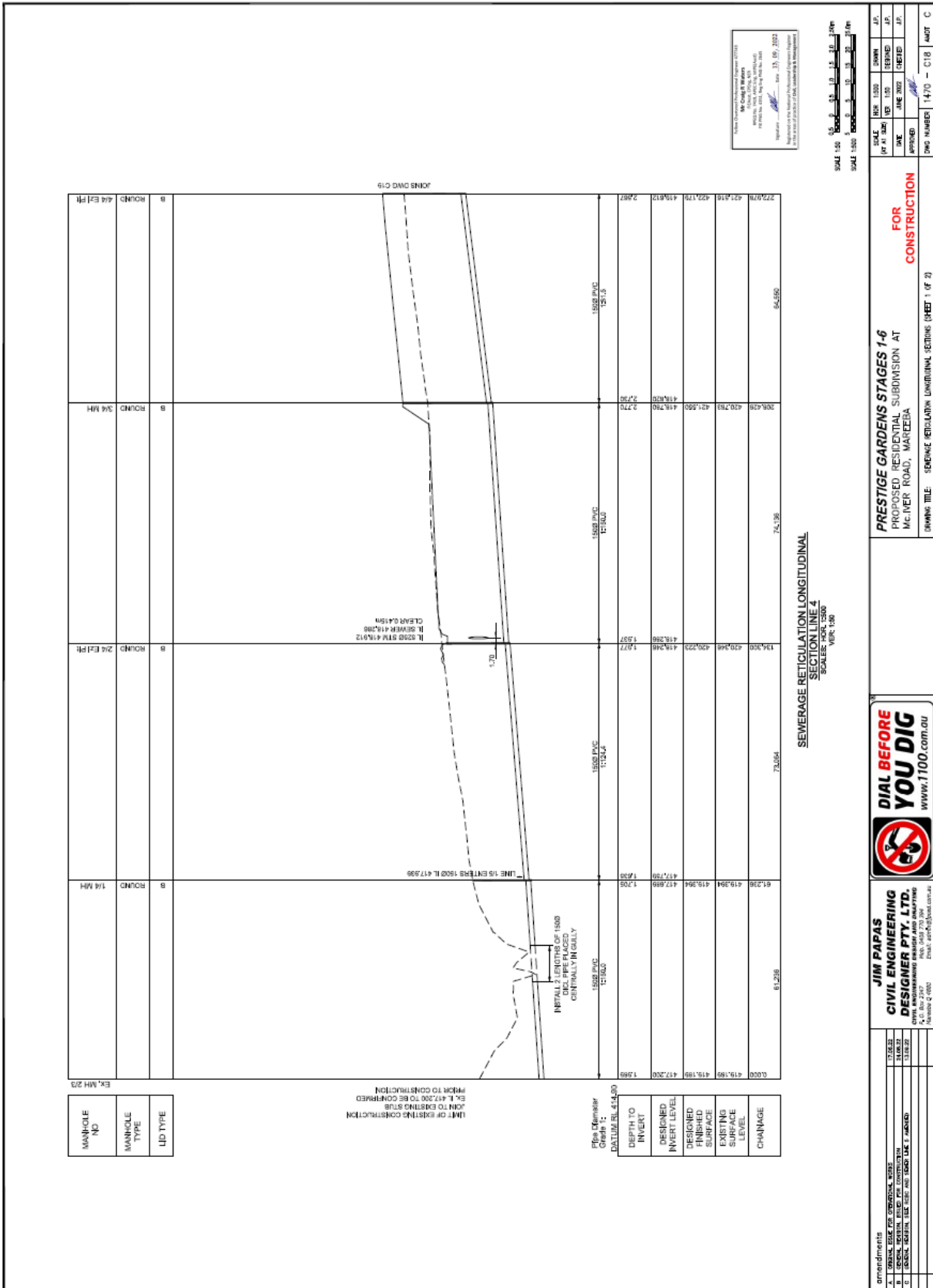
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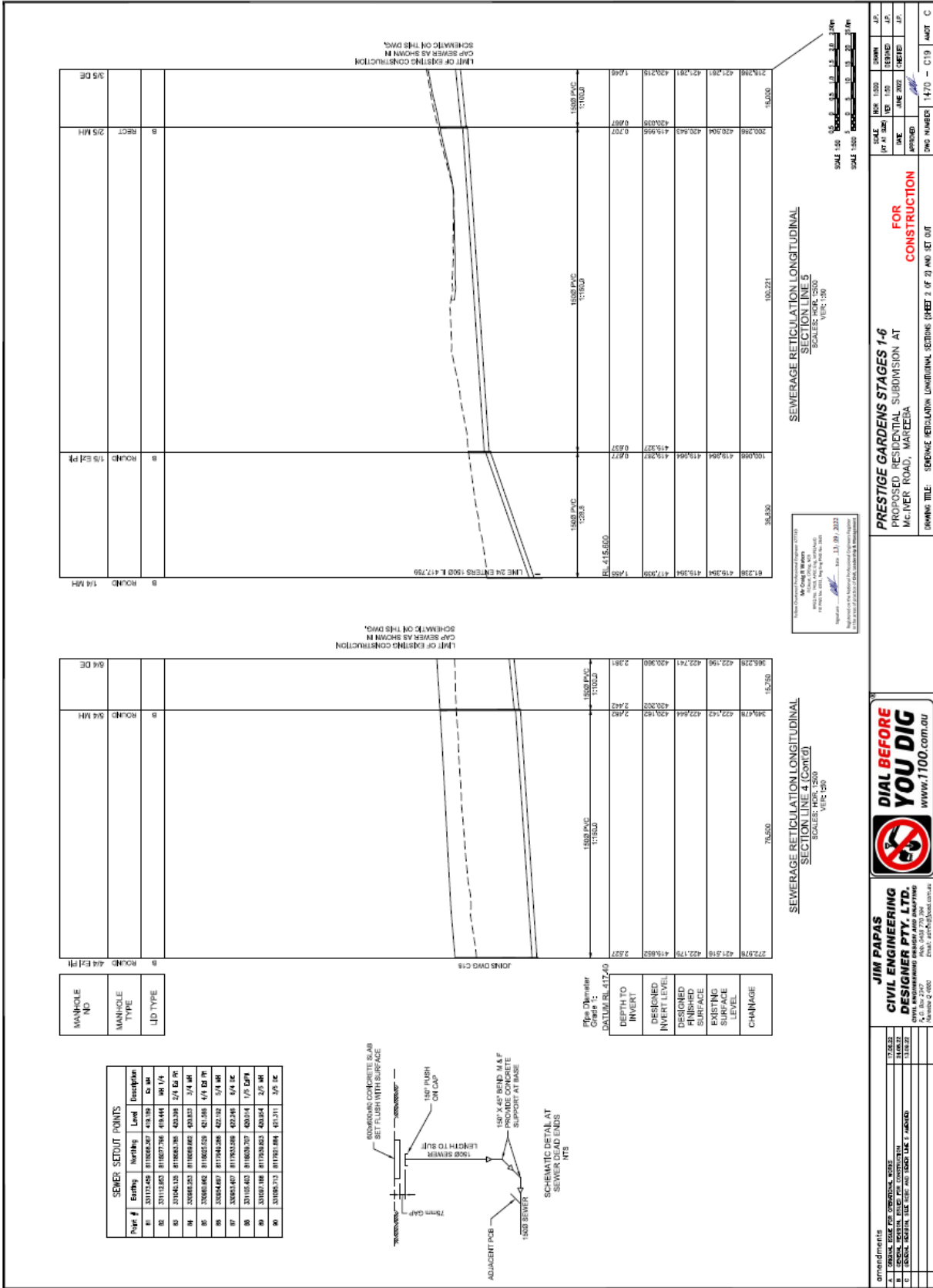
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A. REVISIONS TO BE MADE TO THIS DRAWING
B. REVISIONS TO BE MADE TO THIS DRAWING
C. REVISIONS TO BE MADE TO THIS DRAWING

SCALE: 1:50
SCALE: 1:50
SCALE: 1:50

DATE: 13/03/2023
DRAWN BY: J.P.
CHECKED BY: J.P.
APPROVED BY: J.P.

14/70 - 016





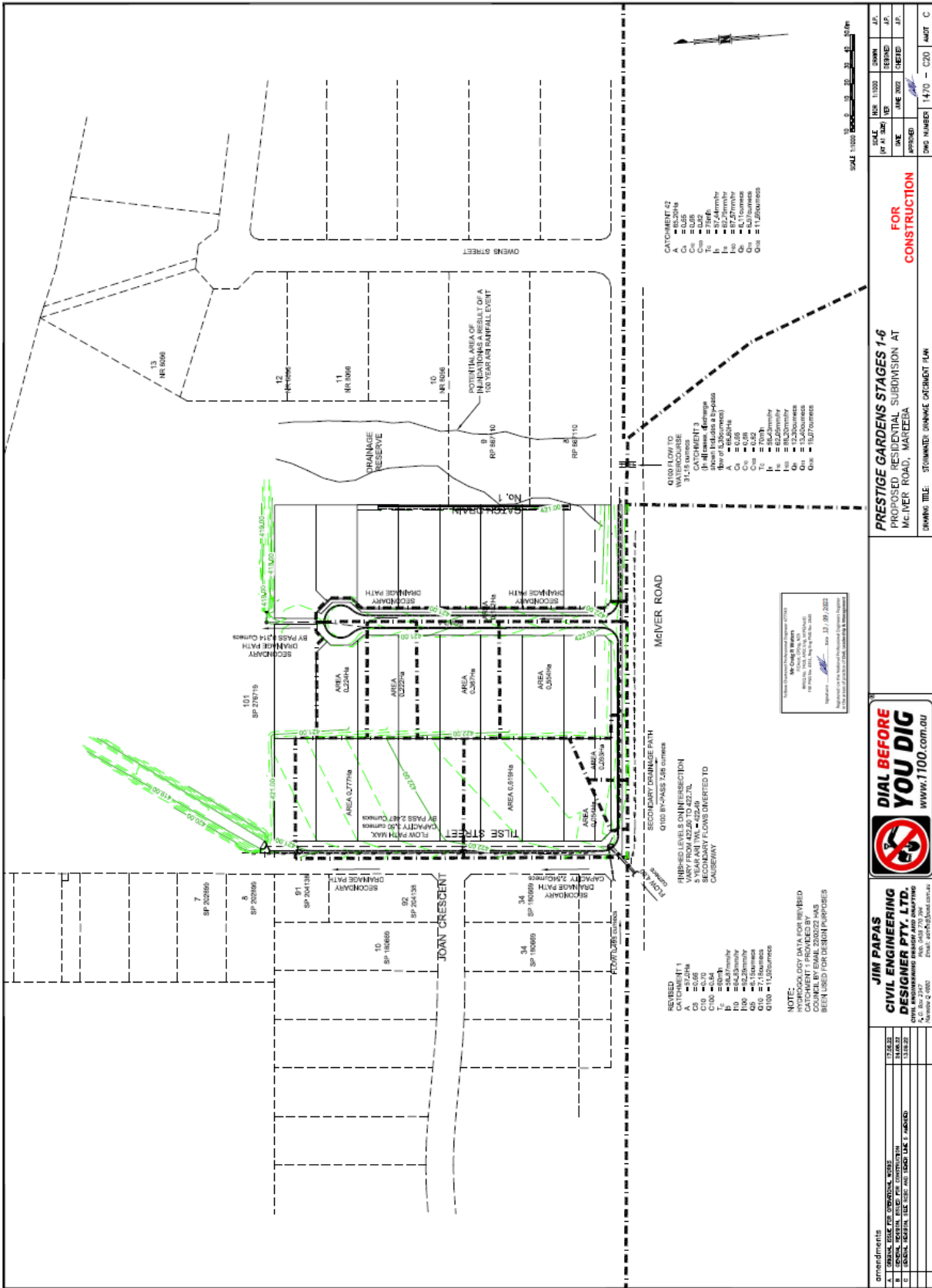
JIM PAPAS CIVIL ENGINEERING DESIGNER PTY. LTD.
18/1, BAYVIEW AVENUE, BAYVIEW VIC 3105
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DRAWING TITLE: SEWERAGE RETIULATION LONGITUDINAL SECTION (SHEET 2 OF 2) AND SET OUT
DWG NUMBER: 1470 - C13

DATE: 13/01/2022



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 4/11, Box 2707, Macquarie Park, NSW 1589
 Australia 2 800 000 000 Email: jim@jimspapas.com.au



FOR CONSTRUCTION
 PRESTIGE GARDENS STAGES 1-6
 PROPOSED RESIDENTIAL SUBDIVISION AT
 MACIVER ROAD, MACQUEBEE

SCALE	DATE	BY	CHKD	APPD	DATE
1:100	14/10/2022	J.P.	J.P.	J.P.	J.P.
1:500	14/10/2022	J.P.	J.P.	J.P.	J.P.
1:1000	14/10/2022	J.P.	J.P.	J.P.	J.P.

