

Our Ref: M4-20

8 June 2022

Chief Executive Officer
Mareeba Shire Council
65 Rankin Street
Mareeba, QLD, 4880

Attention: Planning Department

Dear Sir/Madam,

**DEVELOPMENT APPLICATION SEEKING A DEVELOPMENT PERMIT FOR A
MATERIAL CHANGE OF USE – TOURIST ATTRACTION
LOCATED AT – 109 COBRA ROAD, MAREEBA
FORMALLY DESCRIBED AS - LOT 23 ON SP184955**

We have been commissioned by P Blundell Family Trust, in preparing and submitting the following development application which seeks a Development Permit to create a Tourist Attraction (Vehicle and Machinery Museum) under the Planning Act 2016, located at 109 Cobra Road, Mareeba.

The subject land parcel is identified as being located within the Rural Zone along Cobra Road. The subject site covers a total area of 15.6 hectares with approximately 580 metres of frontage to Cobra Road and approximately. The proposed material change of use triggers an **impact assessable** development application given the cumulative gross floor area of the facility exceeding 200m².

By way of this development application, the applicant is seeking specific approval to undertake the development as detailed within the attached planning report and approval of the plans. The report will include a complete assessment of the proposed development against the relevant assessment benchmarks within the *Mareeba Shire Planning Scheme 2016*. In terms of application fees, the current fees and charges schedule stipulates that the application fee for the proposed material change of use is **\$2,819.00**. Please contact our office on 0411 344 110 to process the payment over the phone.

Should there be any questions or queries in relation to the development application presented, we would appreciate if you could contact our office immediately. As always, we ask if all correspondence be also forwarded to our office via email.

Yours faithfully,



Ramon Samanes

Director, U&i Town Plan

Bachelor of Applied Science, Majoring in Environmental and Urban Planning

PLANNING REPORT

DEVELOPMENT APPLICATION FOR A MATERIAL CHANGE OF USE – TOURIST ATTRACTION

PROJECT LOCATION: SITUATED AT 109 COBRA ROAD, MAREEBA
FORMALLY DESCRIBED AS LOT 23 ON SP184955

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ASSESSMENT MANAGER: MAREEBA SHIRE COUNCIL, PLANNING DEPARTMENT

DEVELOPMENT TYPE: DEVELOPMENT PERMIT – MATERIAL CHANGE OF USE

PROPOSED WORKS: TOURIST ATTRACTION

REAL PROPERTY DESCRIPTION: LOT 23 ON SP184955

LOCATION: 109 COBRA ROAD, MAREEBA

ZONE: RURAL

APPLICANT: P BLUNDELL FAMILY TRUST C/- U&i TOWN PLAN

ASSESSMENT CRITERIA: MATERIAL CHANGE OF USE (IMPACT ASSESSABLE)

REFERRAL AGENCIES: NIL

IMPORTANT NOTE

Apart from fair dealing for the purposes of private study, research, criticism, or review as permitted under the Copyright Act, no part of this Report may be reproduced by any process without the written consent of R&A Samanes Pty Ltd ('U&i Town Plan').

This Report has been prepared for P Blundell Family Trust for the sole purpose of making a Development Application seeking a Development Permit for a Material Change of Use on land at 109 Cobra Road, Mareeba (over lot 23 on SP184955) for the purpose of a Tourist Attraction. This report is strictly limited to the purpose, and facts and circumstances stated within. It is not to be utilised for any other purpose, use, matter or application.

U&i Town Plan has made certain assumptions in the preparation of this report, including:

- a) That all information and documents provided to us by the Client or as a result of a specific search or enquiry were complete, accurate and up to date;*
- b) That information obtained as a result of a search of a government register or database is complete and accurate.*

U&i Town Plan is not aware of any particular fact or circumstance, which would render these assumptions incorrect, as at the date of preparation of the Report.

While every effort has been made to ensure accuracy, U&i Town Plan does not accept any responsibility in relation to any financial or business decisions made by parties' other than those for whom the original report was prepared for and/or provided to. If a party other than the Client uses or relies upon facts, circumstances and/or content of this Report without consent of U&i Town Plan, U&i Town Plan disclaims all risk and the other party assumes such risk and releases and indemnifies and agrees to keep indemnified U&i Town Plan from any loss, damage, claim or liability arising directly or indirectly from the use of or reliance on this report.

1.0 EXECUTIVE SUMMARY

This development application is seeking a development permit for a Material Change of Use under the Planning Act 2016 located at 109 Cobra Road, Mareeba to facilitate the development of a Tourist Facility over three (3) stages of development.

The subject land parcel is located within the Rural Zone and the proposal triggers a material change of use development application to be submitted to Council for assessment and approval. Upon review of the Mareeba Shire Planning Scheme 2016 (planning scheme) the relevant tables of assessment confirm the application is subject to Impact Assessment. Accordingly, this application seeks the following approval:

- **Development Permit for a Material Change of Use – Tourist Attraction**

This report has been undertaken to:

- Examine the physical characteristics of the subject land and appropriateness in relation to the proposed development;
- Present the proposed layout and orientation of the proposed Tourist Attraction development;
- Address all applicable statutory requirements triggered through the Planning Act 2016 (PA) and the Planning Scheme; and
- Provide commentary on the identified key planning issues and offer reasonable alternative solutions as a means of establishing sound planning grounds in support of the proposed development, where required.

In summary, the proposed material change of use meets the outcomes sought for a low impact land use development for the site, while not compromising the character and amenity of the locality and is encouraged under the existing planning frameworks that are applicable to the site. Furthermore, the development is generally compliant with the Planning Scheme. There may some departures away from a handful of the 'deemed to comply' Acceptable Outcomes, although where these departures have been identified, a detailed assessment has been provided to justify and demonstrate that, based on sound planning grounds, compliance with the corresponding Performance Outcomes can still be achieved.

Accordingly, we now submit this application to Council for assessment and trust that it suitably addresses all the statutory requirements under the Planning Scheme to allow favourable consideration through the application of reasonable and relevant development conditions.

2.0 SITE DESCRIPTION

The subject land is described as Lot 23 on SP184955, located at 109 Cobra Road, Mareeba. The subject site currently accommodates various sheds located within the south-western extent of the property, close to the existing vehicular access crossover into the site from Cobra Road. These sheds will be utilised as part of this development in order to securely house the various vintage vehicles and machinery.

The subject land parcel is irregular in shape and currently incorporates primary road access from Cobra Road from a defined vehicular access crossover. The subject site currently accommodates both an on-site water supply and sewerage infrastructure capable of servicing the proposed museum development. The majority of the nearby and surrounding allotments are identified within either the rural or rural residential zone being utilised for either agricultural or rural lifestyle purposes.



Figure 1: Aerial View of the Subject Land (© State of Queensland (Department of Resources) 2022)

In terms of the zoning of the property, Lot 23 is designated within the 'Rural Zone' under the Mareeba Shire Planning Scheme 2016. An insert of the subject property and the relevant zoning from the Mareeba Shire Planning Scheme is provided in figure 2 below.

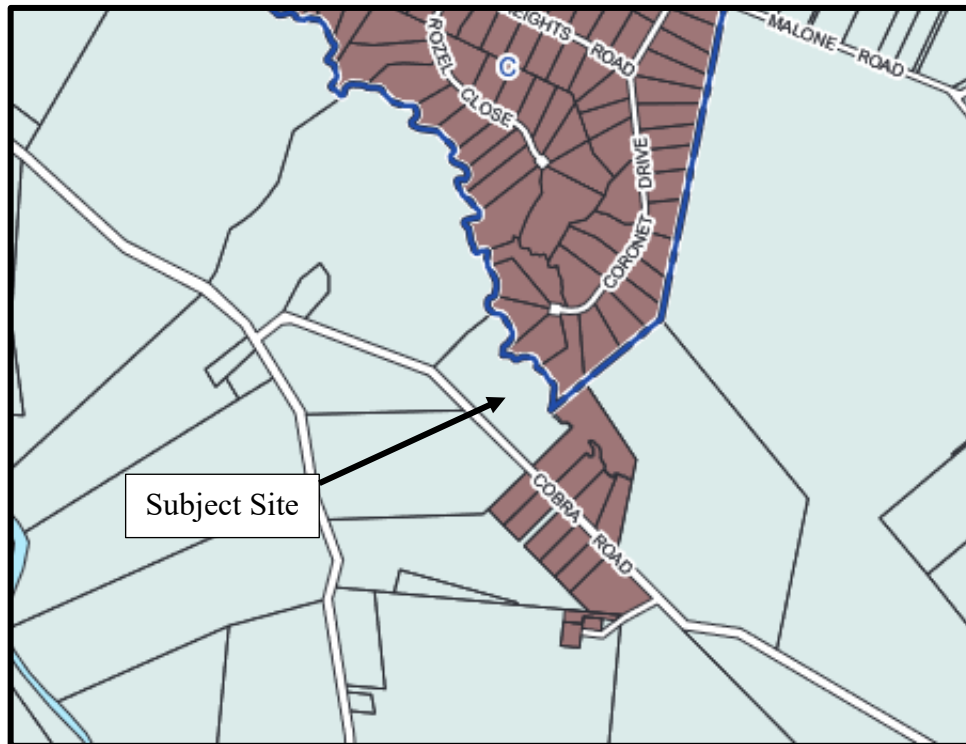


Figure 2: Planning Scheme Zoning Map – Rural Zone (light blue)

A site summary is provided below:

Table 2.0: Site summary

Street address:	109 Cobra Road, Mareeba
Real property description:	Lot 23 on SP184955
Local government area	Mareeba Shire Council
Tenure:	Freehold title
Site area:	~15.6 hectares
Zone:	Rural Zone
Precinct:	N/A
Sub-precinct:	N/A
Current use:	Single dwelling house and agricultural orchid
Road frontage:	Cobra Road
Adjacent uses:	Rural and Rural Residential Zones
Topography:	The site is generally flat, with a slight slope towards the Cobra Road frontage
Vegetation:	The site is sparsely covered trees throughout the property.
Easements:	No easements exist over the property.
Existing infrastructure:	Primary vehicular access into the site is from Cobra Road.

3.0 DEVELOPMENT PROPOSAL

3.1 General Description

The Applicant seeks the required development approval from the Mareeba Shire Council ('Council') for the proposed Material Change of Use under the Planning Act 2016 located at 109 Cobra Road, Mareeba to facilitate the development of a Tourist Attraction over three (3) stages of development.

Accordingly, this application seeks the following approval:

- **Development Permit for a Material Change of Use – Tourist Attraction**

3.2 Proposal Details

The Applicant seeks the required development approval from the Mareeba Shire Council ('Council') for a Material Change of Use under the Planning Act 2016 at 109 Cobra Road, Mareeba to facilitate the development of a Tourist Facility on the property.

It is the objective of the proponent to deliver a unique and secure vintage vehicle and machinery museum that can be enjoyed by all. The development application requests that the Council issue a Development Permit for a Material Change of Use in order to allow the development of a vintage vehicle and machinery museum over consisting of the following elements:

- Four (4) Existing Sheds / pavilions;
- Three (3) Proposed Sheds / pavilions;
- 19 Car Parks, two (2) of which are disabled car parks;
- Three (3) Bus Parking Spaces for tour groups;
- Space available on-site to cater for Caravans or Camper Trailers to visit; and
- Sealed driveway and parking areas.

The Plans of Development which are the subject of this application are included as *Appendix 3* to this report. The intent of this museum development is to provide an alternative form of Tourist Attraction to the Mareeba Locality which is modern, providing opportunities that will encourage and promote visitors into the local area.

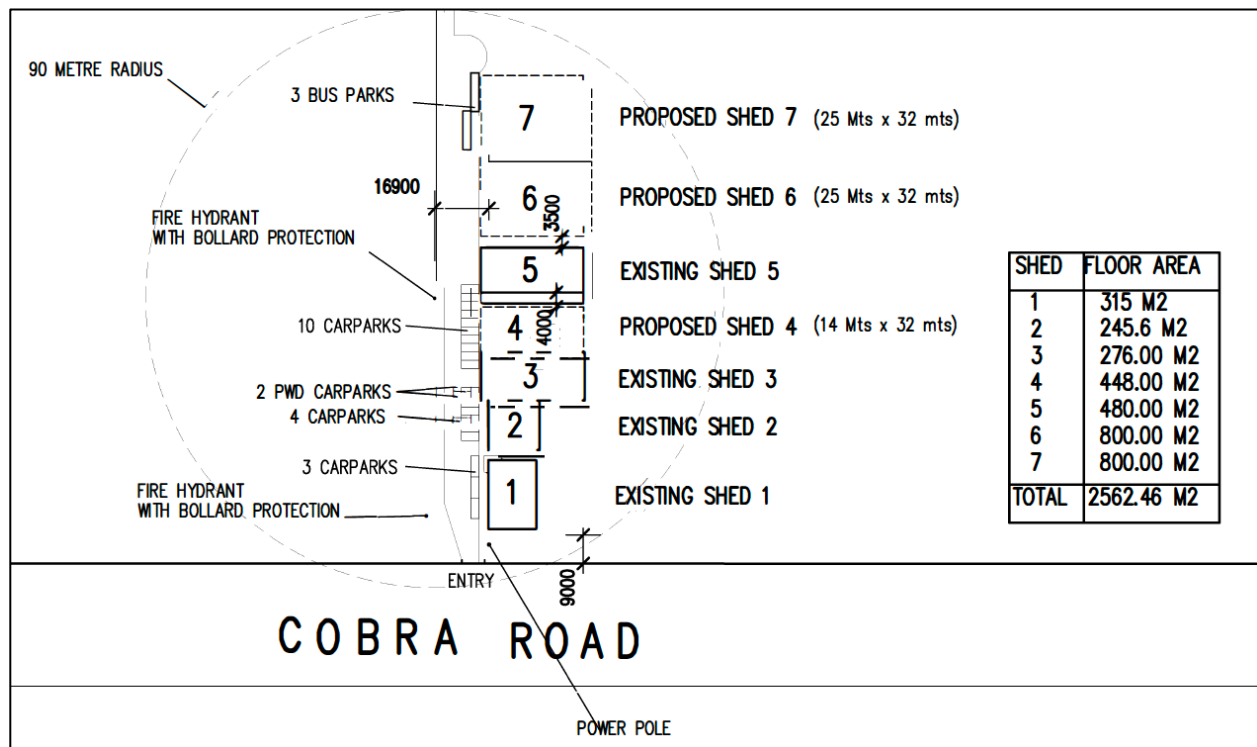


Figure 3: Extract from Development Plans – Site Layout Plan of Tourist Attraction

3.3 Development Definition

The development proposal is described as a “Material Change of Use” under the Planning Act and planning scheme. The proposal is defined under the Planning Act as follows:

material change of use, of premises, means any of the following that a regulation made under [section 284\(2\)\(a\)](#) does not prescribe to be minor change of use—

- (a) the start of a new use of the premises;
- (b) the re-establishment on the premises of a use that has been abandoned;
- (c) a material increase in the intensity or scale of the use of the premises.

3.4 Tourist Attraction

The proposed use that is intended to be established upon the site is defined under the Mareeba Shire Planning Scheme 2016 as the following:

Tourist attraction	Premises used for providing onsite entertainment, recreation or similar facilities for the general public. The use may include provision of food and drink for consumption on site.	Theme park, zoo	Hotel, major sport, recreation and entertainment facility, nightclub entertainment facility
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4.0 DEVELOPMENT APPLICATION DETAILS

This development application is seeking a development permit for a Material Change of Use over the subject allotment under the Planning Act 2016 located at 109 Cobra Road, Mareeba to facilitate the development of a Tourist Attraction on the property. By way of this development application, the applicant is seeking specific approval to undertake the development as detailed in this planning report and approval of the plans.

5.0 ASSESSMENT

The proposed development is identified as being *impact assessable* in the material change of use table of assessment given the cumulative gross floor area of the facility exceeding 200m². There are no other relevant components of the planning scheme or *Planning Regulations 2017* which affect the level of assessment for the development. The development application is subject to a bound assessment against the specifically identified assessment benchmarks from the planning instruments. The following assessment benchmarks are identified as being applicable to the assessment of the development application.

5.1 Assessment Benchmarks Pertaining to State Planning Instruments

State Planning Policy

There are no applicable components of the State planning policy.

Far North Regional Plan 2009-2031

The site is located within the 'Regional Landscape and Rural Production Area Regional Land Use Category of the Far North Queensland 2009-2031 (see also Attachment 3). The Minister has identified that the planning scheme, specifically the Strategic Framework, appropriately advances the FNQRP 2009- 2031. Hence, compliance with the FNQRP is demonstrated through the compliance with the Planning Scheme (refer to this report and attachments for demonstration of this compliance).

5.2 Assessment Benchmarks Pertaining to Local Planning Instruments

5.2.1 Planning Scheme (Mareeba Shire Council Planning Scheme 2016)

The applicable planning scheme for the application is the Mareeba Shire Council Planning Scheme 2016, and there are no other identified applicable local planning instruments.

5.2.2 Applicable Codes

It is noted that the tables of assessment for a Material Change of Use – Tourist Attraction applies to the rural zone and states that all aspects of the proposal require an impact assessable development application to be submitted based on the cumulative gross floor area of the facility exceeding 200m².

The development is therefore only subject to assessment against the following codes:

Planning Scheme	
Assessment Benchmarks:	<ul style="list-style-type: none"> • Rural Zone Code • Airport and Environs Overlay Code • Agricultural Land Overlay Code • Bushfire Hazard Overlay Code • Landscape Code • Works, Services & Infrastructure Code

Assessment Benchmarks – Planning Scheme

The application has been assessed against each of the applicable components of the planning scheme and found to be:

- consistent with the strategic framework,
- compliant with the applicable codes,
- reflective of the land use intent for the rural zone.

Any pertinent issues arising from the assessment against the planning scheme are discussed below. For clarity, any codes or outcomes not discussed below are considered to be objectively satisfied.

5.2.3 Zone Codes

Rural Zone Code: Complies

- (1) *The purpose of the Rural zone code is to:*
 - (a) *provide for rural uses including cropping, intensive horticulture, intensive animal industries, animal husbandry, animal keeping and other primary production activities;*
 - (b) *provide opportunities for non-rural uses that are compatible with agriculture, the environmental features, and landscape character of the rural area where the uses do not compromise the long-term use of the land for rural purposes;*
 - (c) *protect or manage significant natural resources and processes to maintain the capacity for primary production.*
- (2) *Mareeba Shire Council's purpose of the Rural zone code is to recognise the importance of primary production to the economy of the region and to maintain and strengthen the range of primary industries which contribute to the rural economy.*

The purpose of the Rural zone code is to:

- (a) recognise the diversity of rural uses that exists throughout the region;*
- (b) protect the rural character of the region;*
- (c) provide facilities for visitors and tourists that are accessible and offer a unique experience;*
- (d) protect the infrastructure of the Mareeba-Dimbulah Irrigation Scheme Area from development which may compromise long term use for primary production;*
- (e) maintain distinct boundaries between the rural areas and the villages, towns and urban areas of the region;*
- (f) provide for a range of uses, compatible and associated with rural or ecological values including recreational pursuits and tourist activities;*
- (g) prevent adverse impacts of development on ecological values;*
- (h) preserve land in large holdings; and*
- (i) facilitate the protection of strategic corridors across the landscape which link remnant areas of intact habitat and transport corridors.*

The purpose of the Rural zone code will be achieved through the following overall outcomes:

- (a) Areas for use for primary production are conserved and fragmentation below economically viable lot sizes is avoided;*
- (b) The establishment of a wide range of rural pursuits is facilitated, including cropping, intensive horticulture, forestry, intensive animal industries, animal husbandry and animal keeping and other compatible primary production uses;*
- (c) The establishment of extractive industries, mining and associated activities and alternative forms of energy generation is appropriate where environmental impacts and land use conflicts are minimised;*
- (d) Uses that require isolation from urban areas as a consequence of their impacts such as noise or odour may be appropriate where land use conflicts are minimised;*
- (e) Development is reflective of and responsive to the environmental constraints of the land;*
- (f) Residential and other development is appropriate only where directly associated with the rural nature of the zone;*
- (g) Low-impact tourism and recreation activities do not compromise the long-term use of the land for rural purposes;*
- (h) The viability of both existing and future rural uses and activities is protected from the intrusion of incompatible uses;*
- (i) Visual impacts of clearing, building, materials, access ways and other aspects of development are minimised or appropriately managed;*
- (j) Adverse impacts of development both on-site and from adjoining areas are avoided and any impacts are minimised through location, design, operation and management; and*
- (k) Natural features such as creeks, gullies, waterways, wetlands and bushland are retained, managed, enhanced and separated from adjacent development.*

In the Rural Zone, a Tourist Attraction is considered a strategically acceptable land use type, which supports visitors and tourists to the local community that are accessible and offer a unique experience.

In accordance with the acceptable outcomes outlined within the rural zone code, the proposed development provides provisions such as building heights and setback areas that comply with the required minimum standards. Furthermore, the proposed use is considered to be a low impact land use that will not compromise the intent for the Rural Zone nor will it impact the functionality of the existing agricultural cropping operations located upon the balance of the site.

The development consists of a deliberate design that maximises visual linkages to Cobra Road, while providing for sealed driveway and car parking areas that will appropriately service the proposed Tourist Attraction facility.

Based on the various reasons listed above and the proposed controls to be implemented, we consider that this development certainly has merit, based on sound planning grounds that justify and support the creation of the Tourist Attraction. As such, it is considered that the proposed development complies with the required outcomes within the Rural Zone Code and should be supported and recommended for approval, subject to reasonable and relevant conditions being imposed.

5.2.4 Overlay Codes

Agricultural Land Overlay Code: Complies

- (1) The purpose of the Agricultural land overlay code is to protect or manage important agricultural areas, resources, and processes which contribute to the shire's capacity for primary production.*
- (2) The purpose of the code will be achieved through the following overall outcomes:*
 - (a) The alienation, fragmentation or reduction in primary production potential of land within the 'Class A' area or 'Class B' area is avoided, except where:*
 - (i) an overriding need exists for the development in terms of public benefit,*
 - (ii) no suitable alternative site exists; and*
 - (iii) the fragmentation or reduced production potential of agricultural land is minimised;*
 - (b) 'Class A' areas and 'Class B' areas continue to be used primarily for more intensive agricultural activities which utilise the land quality provided in these areas;*
 - (c) Grazing on very large land holdings is maintained as the dominant rural activity in the 'Broadhectare rural' area; and*
 - (d) Land with the 'Broadhectare rural' area is maintained in its current configuration.*

The site contains land designated within the 'Class A' area as identified on Overlay Map – OM001d. The proposed development relates to the creation of a Tourist Attraction facility that will incorporate the display of vintage vehicles and machinery.

The subject site currently accommodates various sheds located within the south-western extent of the property, close to the existing vehicular access crossover into the site from Cobra Road. These sheds will be utilised as part of this development in order to securely house the various vintage vehicles and machinery. The position of the buildings is currently within the 'Class A' designated agricultural area for the site.

Furthermore, the subject development is not identified as a sensitive land use type nor will it impact upon the agricultural capacity of the land. A large portion of the land surrounding the location for the proposed Tourist Attraction will maintain the existing agricultural cropping activities that will continue to avoid any land use conflict upon the site.

As such, it is considered that the proposed development complies with the outcomes within the Agricultural Land Overlay Code.

Airport and Environs Overlay Code: Complies

- (1) The purpose of the Airport environs overlay code is to protect the current and ongoing operations of established airports, aerodromes and aviation infrastructure in Mareeba Shire.*
- (2) The purpose of the code will be achieved through the following overall outcomes:*
 - (a) The ongoing operation of Mareeba Airport and its associated infrastructure are protected from incompatible development;*
 - (b) Aerodromes in Chillagoe and Dimbulah are maintained to support recreation, mining and rural uses;*
 - (c) Operational airspace is protected;*
 - (d) Threats to aviation safety such as bird and bat strike and distraction or blinding of pilots are avoided or minimised;*
 - (e) State significant aviation facilities associated with the Mareeba Airport are protected from encroachment by sensitive land uses; and*
 - (f) Development in the vicinity of airports, aerodromes and aviation infrastructure does not compromise public safety.*

The site is within the 8km buffer of the Mareeba Airport, on the Bird and Bat Strike Zones overlay mapping. The proposed development relates to the creation of a Tourist Attraction facility that will incorporate the display of vintage vehicles and machinery.

The subject site currently accommodates various sheds located within the south-western extent of the property, close to the existing vehicular access crossover into the site from Cobra Road. These sheds will be utilised as part of this development in order to securely accommodate the various vintage vehicles and machinery. The overall height of the buildings is well below the Obstacle Limitation Surface (OLS) for the site. Furthermore, the subject development will not attract flying wildlife nor will it incorporate light exposure into the operational airspace.

As such, it is considered that the proposed development complies with the outcomes within the Airport Environs Overlay Code.

Bushfire Hazard Overlay Code: Complies

- (1) The purpose of the Bushfire hazard overlay code is to minimise the threat of bushfire to people and property.*
- (2) The purpose of the code will be achieved through the following overall outcomes:*
 - (a) Development in a Bushfire hazard area is compatible with the nature of the hazard;*
 - (b) The number of people and properties subject to bushfire hazards are minimized through appropriate building design and location;*
 - (c) Development does not result in a material increase in the extent, duration or severity of bushfire hazard; and*
 - (d) Appropriate infrastructure is available to emergency services in the event of a bushfire.*

The site is mapped to contain areas of medium potential bushfire intensity hazard and potential impact buffer hazard (100 metres) as identified on Overlay Map – OM003m. The development area associated with the proposed Tourist Attraction facility will be located outside of the mapped bushfire hazard areas over the site.

Furthermore, a large portion of the land surrounding the location for the proposed Tourist Attraction will maintain the existing agricultural cropping activities that is connected to an automated irrigation system. This existing situation will ensure a suitable green buffer will be provided to the proposed Tourist Attraction land use upon the site.

As such, it is considered that the proposed development complies with the outcomes within the Bushfire Hazard Overlay Code.

5.2.5 Development Codes

Landscape Code: Complies

- (1) The purpose of the Landscaping code is to ensure all development is landscaped to a standard that:*
 - (a) complements the scale and appearance of the development;*
 - (b) protects and enhances the amenity and environmental values of the site;*
 - (c) complements and enhances the streetscape and local landscape character; and*
 - (d) ensures effective buffering of incompatible land uses to protect local amenity.*
- (2) The purpose of the code will be achieved through the following overall outcomes:*
 - (a) Landscaping is a functional part of development design and is commensurate with the intended use;*
 - (b) Landscaping accommodates the retention of existing significant on site vegetation where appropriate and practical;*
 - (c) Landscaping treatments complement the scale, appearance and function of the development;*
 - (d) Landscaping contributes to an attractive streetscape;*

- (e) Landscaping enhances the amenity and character of the local area;*
- (f) Landscaping enhances natural environmental values of the site and the locality;*
- (g) Landscaping provides effective screening both on site, if required, and between incompatible land uses;*
- (h) Landscaping provides shade in appropriate circumstances;*
- (i) Landscape design enhances personal safety and reduces the potential for crime and vandalism; and*
- (j) Intensive land uses incorporate vegetated buffers to provide effective screening of buildings, structures and machinery associated with the use.*

It is anticipated that as part of each stage of the development upon the site to create the Tourist Attraction facility, landscape treatments will be implemented in accordance with the provisions of the Landscaping Code. Furthermore, existing landscaping established upon the site will be retained where practicable along with the existing lime orchid surrounding the proposed development area.

As such, it is considered that the proposed development complies with the outcomes within the Landscape Code.

Works, Services and Infrastructure Code: Complies

- (1) The purpose of this code is to ensure development is provided with the range of infrastructure services expected by the community.*
- (2) The purpose of the code will be achieved through the following overall outcomes:*
 - (a) Infrastructure is designed and constructed to a suitable standard;*
 - (b) Works, services and infrastructure do not cause environmental degradation or increase the risk of natural hazards; and*
 - (c) Development is designed, constructed and managed to avoid or minimise impacts on receiving waters.*

In terms of the services provided as part of this development, it is proposed that the development be serviced in the following format:

- **Access:** An existing dual access vehicular crossover has been constructed in accordance with the FNQROC Development Manual and is connected to the site from Cobra Road, which will be utilized to service the proposed development.
- **Water:** The subject property has previously been connected to Sunwater's infrastructure service that is located within the road reserve fronting the site. The subject development proposal will utilise this existing connection in order to service the intended land use.
- **Sewerage:** The proposed development will be connected to an on-site sewerage treatment system that is to be constructed in close proximity to the intended land use. Details of which will be provided as part of the Development Application for Building Works or Operational Works.

- **Power:** The subject property has previously been connected to Ergon’s electricity infrastructure service that is located within the road reserve fronting the site. The subject development proposal will utilise this existing connection in order to service the intended land use.; and
- **Telecommunications:** Phone and internet lines are available within the road reserve area fronting the site and it is anticipated to be connected to the office building forming part of this development proposal. Details of such will be provided as part of the Development Application for Building Works or Operational Works.

6.0 PUBLIC NOTIFICATION

The application is **impact assessable** and will be subject to public notification.

7.0 CONCLUSION

This application has been prepared by U&i Town Plan on behalf of the P Blundell Family Trust in relation to Lot 23 on SP184955 located at 109 Cobra Road, Mareeba to facilitate a Tourist Attraction to be created over three (3) stages of development. Accordingly, this application seeks the following approval:

- **Development Permit for a Material Change of Use – Tourist Attraction**

The applicant strongly believes that an assessment of the common material forming part of this development application in accordance with the decision-making rules established under the Planning Act will result in the approval of the development application and the issuing of a development permit subject to conditions.

The proposal is consistent with the “Purpose” of the Rural Zone and the applicable State level policy. The proposal constitutes works and a use of the site in a manner that meets the strategic outcomes sought by the planning instruments and the expectations of the community. The conclusion of this report is that all the requirements set by the assessment benchmarks can be met and that the strategic level policy outcomes sought by the planning scheme for the site and locality can be achieved.

The common material provided as part of this development application contains sufficient justification to establish compliance with the assessment benchmarks. It is the applicant’s opinion that the development application contains sufficient justification to warrant approval subject to reasonable and relevant conditions.

We request that Council provide a copy of the Draft Conditions with sufficient time for review prior to issuing a Decision Notice for the development. If you have any queries please do not hesitate to contact our office on 0411 344 110.



Ramon Samanes, MPIA

Director, U&i Town Plan

Bachelor of Applied Science, Majoring in Environmental and Urban Planning

APPENDIX 1: DA FORM 1

DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	P Blundell Family Trust c/- U&i Town Plan
Contact name (only applicable for companies)	Ramon Samanes
Postal address (P.O. Box or street address)	PO Box 657
Suburb	Mareeba
State	QLD
Postcode	4880
Country	Australia
Contact number	0411344110
Email address (non-mandatory)	Ramon@uitownplan.com.au
Mobile number (non-mandatory)	0411344110
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	M4-20

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- ☒ Yes – the written consent of the owner(s) is attached to this development application
- ☐ No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

☒ Street address **AND** lot on plan (all lots must be listed), **or**

☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		109	Cobra Road	Mareeba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		23	SP184955	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:	
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☒ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Tourist Attraction – Vehicle and Machinery Museum

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Vehicle and Machinery Museum	Tourist Attraction	n/a	n/a

8.2) Does the proposed use involve the use of existing buildings on the premises?

☒ Yes

☐ No

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

--

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

☐ Yes – provide additional details below

☐ No

How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$	

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016**:

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

☐ Airport land

☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*

☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual

☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the Transport Infrastructure Act 1994**:

☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*

☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

☐ Yes – referral response(s) received and listed below are attached to this development application

☐ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?	
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No	

23) Further legislative requirements			
<u>Environmentally relevant activities</u>			
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i>?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No <small>Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.</small>			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
<u>Hazardous chemical facilities</u>			
23.2) Is this development application for a hazardous chemical facility?			
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No <small>Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.</small>			

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:

Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

APPENDIX 2: LANDOWNER'S CONSENT

CLIENT ACCEPTANCE FORM / OWNER'S CONSENT

(TO BE COMPLETED AND RETURNED)

PROJECT:	Material Change of Use
PROJECT ADDRESS:	109 COBRA ROAD, MAREEBA (LOT 23 ON SP184955)

Client Details

Client:	P. BLUNDELL FAMILY TRUST.
Invoice Address:	P.O. BOX 1066, MAREEBA. 4880
Phone:	0487 306 636 (RON)
Email:	rblundell@optusnet.com.au
Accounts Contact:	ROSEMARY BLUNDELL

Landowner Details

Landowner Name/s:	PAUL JAMES BLUNDELL
Address:	109 COBRA ROAD, MAREEBA. 4880
All Owners Signatures:	P. Blundell.

I / we, the party named below (the Client), confirm the commission of R&A Samanes Pty Ltd t/a U&i Town Plan (the Consultant), in relation to the project referenced above and accept all terms and conditions of the Quote and in particular confirm responsibility for payment of fees generated by this commission and payable to the Consultant strictly prior to lodgement of the Application and in other cases within 7 days of the date of invoice.

Signed: *P. Blundell.*

Name: PAUL JAMES BLUNDELL

Date: 04/11/2020

Please complete, sign and return to: ramon@uitownplan.com.au

APPENDIX 3: DEVELOPMENT PLANS

REAL PROPERTY DESCRIPTION:
LOT 23
S.P. 184955
15.6023 ha

TONY HALES
BUILDING DESIGNER

Suites 6 Mawdsley House
155 Mulgrave Road, Cairns. 4870. Qld.
PO Box 306, Bundaglow. 4870 Qld.
Ph/Fax (07) 40511936
e-mail: tjhales@bigpond.net.au
Mobile 0407962415
Q.B.C.C. Lic No. 59640
ABN: 32465908167

WIND CLASSIFICATION C2

WARNING !!!!!

This plan is subject to copyright.
Any attempt to reproduce it in whole or in part will result in prosecution to the full extent of copyright law.

Client's Approval:

I/We have inspected these plans for my/our proposed dwelling and I/We are satisfied they are true and accurate as per the quotation, finishing schedule and building agreement that I/We previously signed for the home.

I/We understand that a refrigerator and washing machine are generally illustrated on the plan to demonstrate space usage and in some instances other items to be "owner supplied" are illustrated.

I/We understand that unless included in the Quotation/Finishing Schedule or added by variation, such items are not included in the building agreement.

Signed:

.....

.....

Date:

Drawn by: Tony Hales

Date: 19/11/2021

Checked by: Tony Hales

Client Name:
Mr. PAUL BLUNDELL

Site Address:

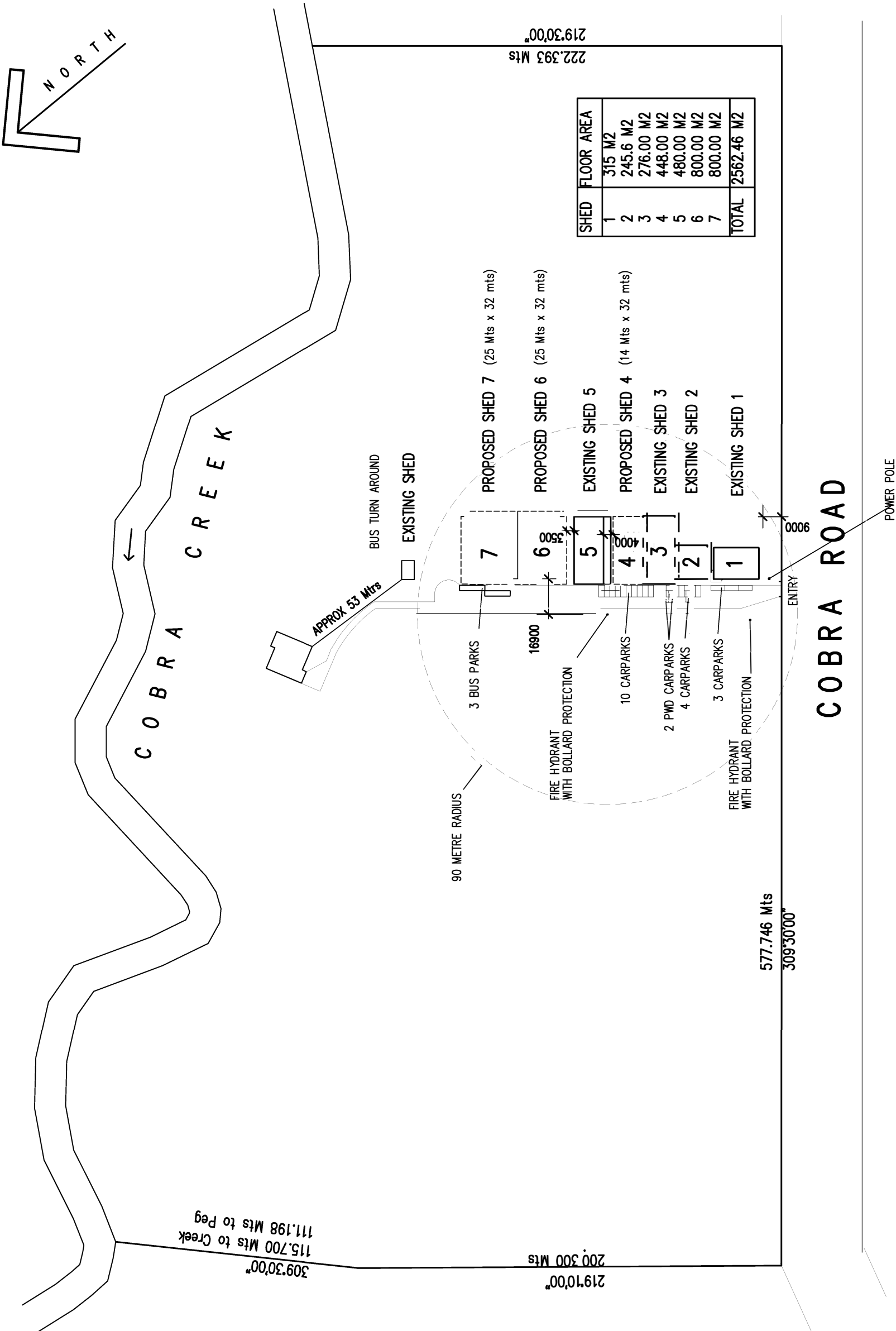
109 COBRA ROAD,
MAREEBA.

Drawing Title:
SITE PLAN

Scale: 1:2000

Sheet No: WD01

Job No: 1680-21



Paul Bindell.

Lot 23 SP 184955.

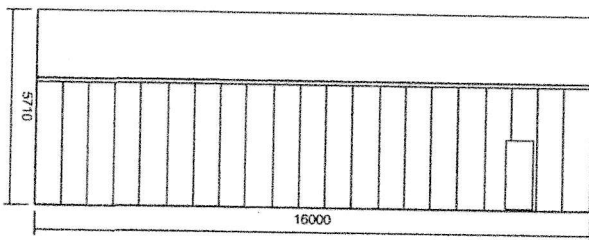
109 Cobra Rd.

Shed 2.

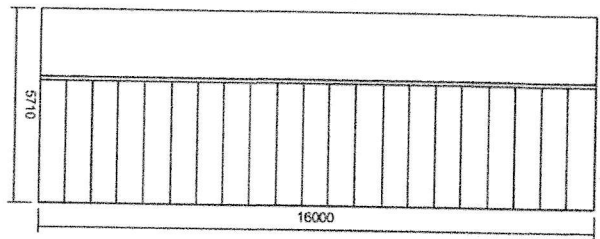
Elevations

Quoted: 11801

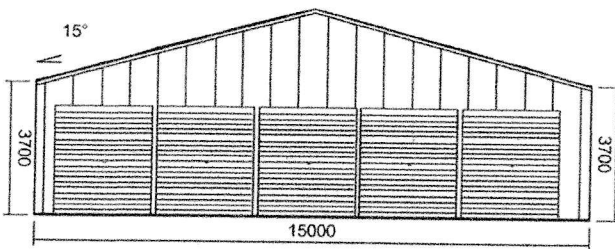
Client: Ross Bindell quote
Copyright © 2012-2015 Constructa Printings: 150120



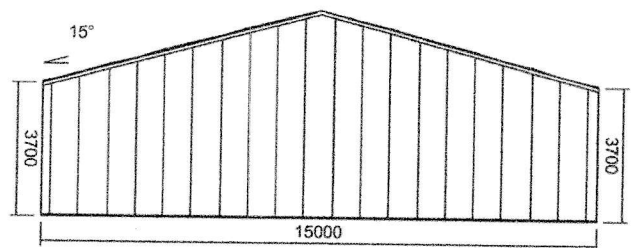
Left Elevation



Right Elevation



Front Elevation



Rear Elevation

Customer Signed

Date

Management Signed

Date

NORTHERN BUILDING APPROVALS
APPROVED PLAN

The building work detailed on this plan/document is to be carried out in accordance with the provisions of the Building Act 1975 and the conditions of the development approval.

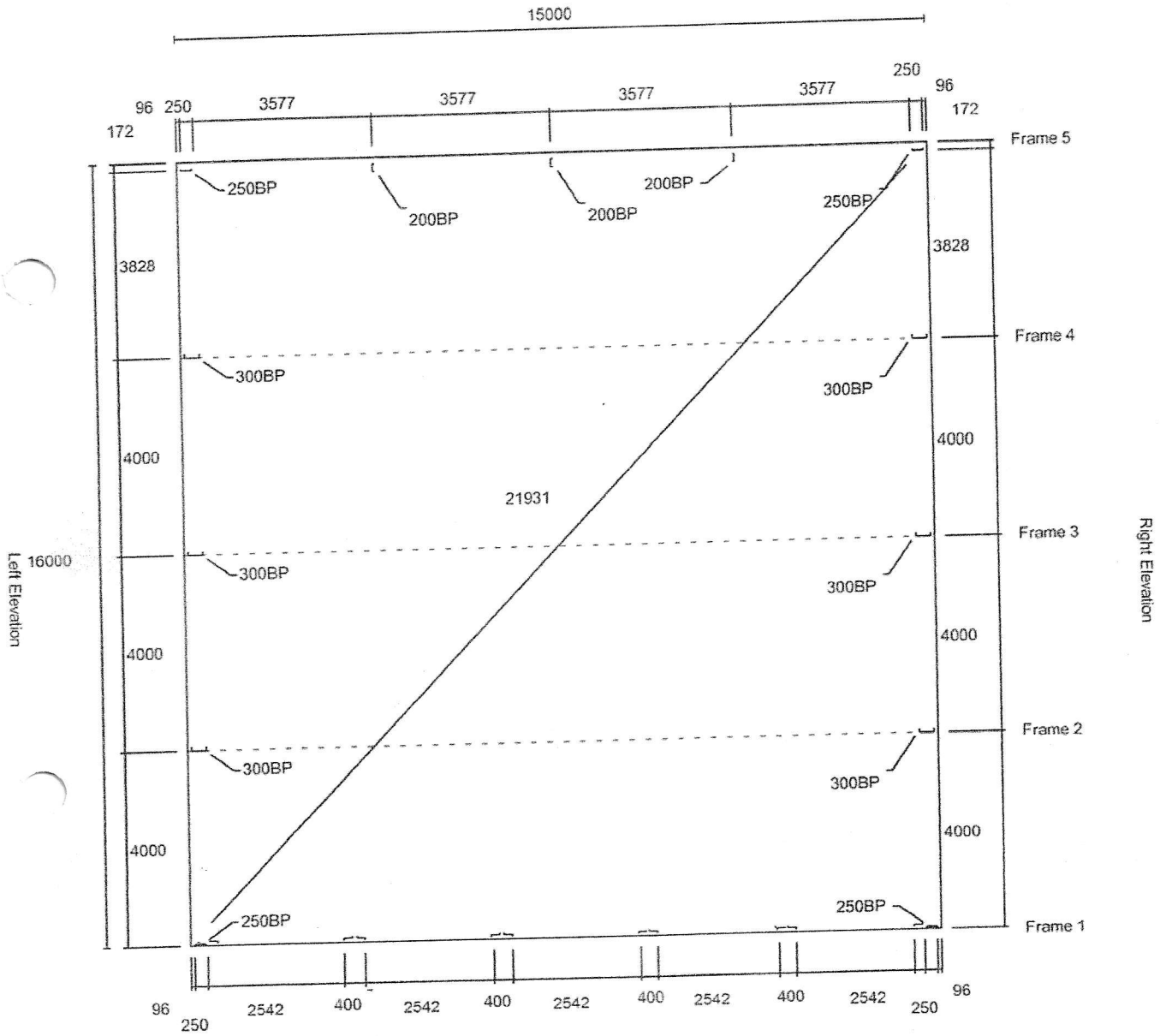
5 APR 2016

K. BYRNE
BUILDING CERTIFIER

A 1107628
ACCREDITATION No.

Shed 2
Panel shop.

Rear Elevation



SHED 2
PANEL SHOP

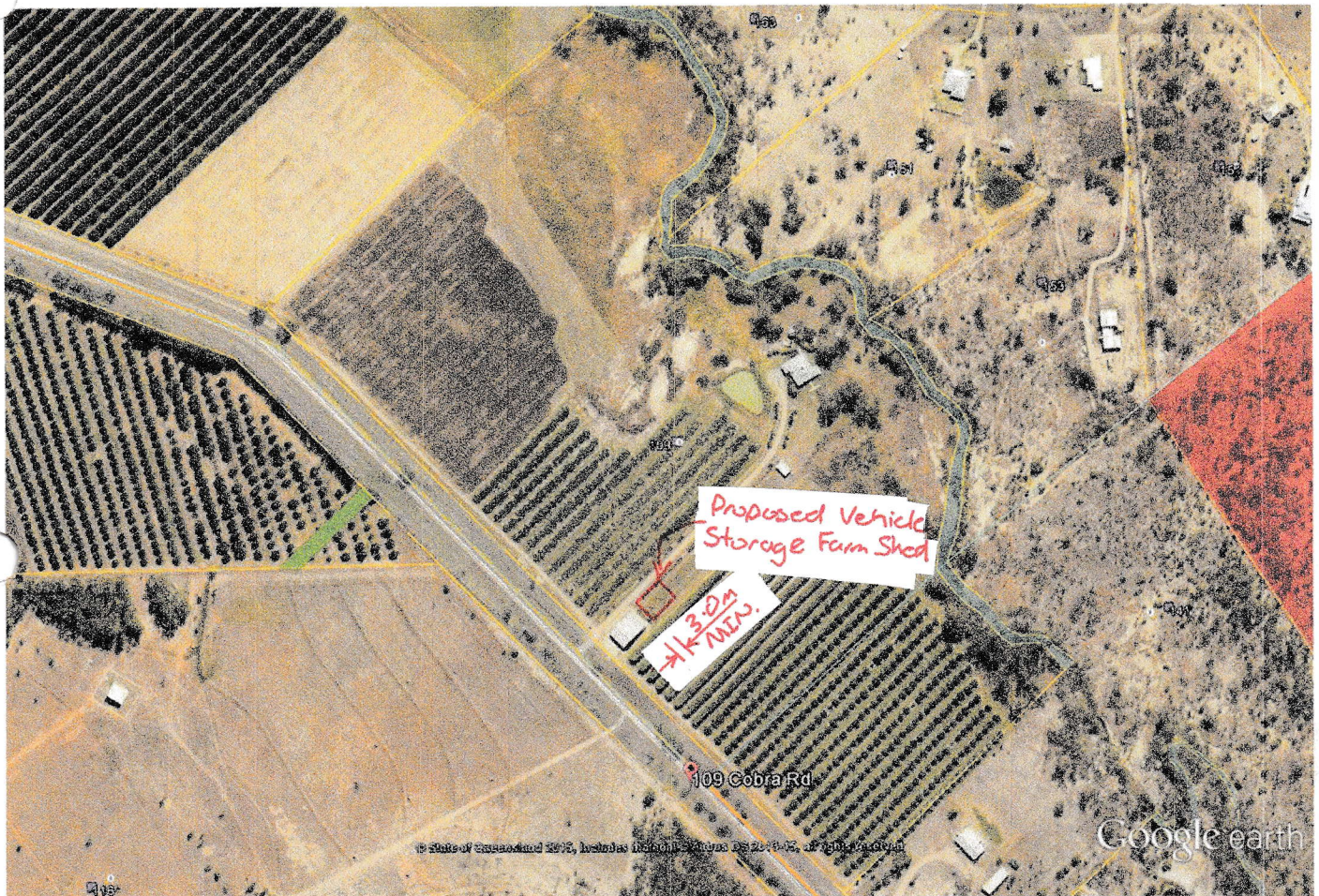
Baseplate Layout - Shed

Quote #: 11820

Client: Blundell

Shed ②

Site Plan	
Building Application Details	
Local Government Area	Mareeba Shire Council
Landowner Name	Paul James Blundell
Applicant Name	Noel John Morris
Site Address	109 Cobra Road, Mareeba QLD 4880
Real Property Description	
Lot No	23
Plan Type and Number	SP184955
Building Class and Description/use	
Building Class	Class 7a
Work Type	New Construction
Building Work Description	Vehicle Storage Farm Shed



NORTHERN BUILDING APPROVALS APPROVED PLAN	
The building work detailed on this plan/document is to be carried out in accordance with the provisions of the Building Act 1975 and the conditions of the development approval.	
5 APR 2016	
K. BYRNE BUILDING CERTIFIER	A 1107628 ACCREDITATION No.

SHED 2

Form 15—Compliance Certificate for building Design or Specification

NOTE

This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

109 Cobra Road

Moreeba QLD

Postcode 4880

Lot & plan details (attach list if necessary)

Lot 23 / SP184955

In which local government area is the land situated?

Moree Shire Council

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

SERIES 'RD' REGION C RATING C3

COLD FORMED STEEL PORTAL FRAMED SHED BUILDINGS CLASS 8 & 10

INCLUDING ROOF PURLINS AND WALL GIRTS

FOOTINGS/SLAB FOR CLASS 'M & H' SITES

(Refer Note Below)

The Soil Classification should be confirmed locally for specific sites

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

AUSTRALIAN STANDARDS: AS/NZ 1170 – PART 1 & 2 Australian Loading Code, AS,3600 – Concrete Structures Code, AS,4600 – Cold Formed Steel Structures Code, BCA 2013

BUILDING CODE OF AUSTRALIA, REGION = C

BCA Importance Level 2

Annual Probability of exceedence 1:500

Factor for Region C $F_c = 1.05$

Regional Wind Speed $V_r = 69$ m/s

Wind directional multiplier for the 8 cardinal directions $M_d = 0.95$

Terrain/Height multiplier $M_zCAT = 0.95$ Shielding Multiplier $M_s = 1.0$

Topographic multiplier $M_t = 1.0^*$

Internal Pressure Coefficient $C_{ps} : +0.7 : -0.65$

L-H-L TESTING DATA FROM LYSAGHT CYCLONIC AREA DESIGN MANUAL IN ACCORDANCE WITH BCA 3.10.1 (F)

*The relevance of these figures to the actual site should be confirmed by a competent local person

DRAWING No. GAF-11 Sheets 1,2,3,4 & 5

NORTHERN BUILDING APPROVALS APPROVED PLAN

The building work detailed on this plan/document is to be carried out in accordance with the provisions of the Building Act 1975 and the conditions of the development approval.

5 APR 2016

K. BYRNE

BUILDING CERTIFIER

A 1107028

ACCREDITED

The *Building Act 1975* is administered by the
Department of Housing and Public Works



Queensland
Government

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Job No. GAF-11 including any reports, drawings and associated Annexures prepared by Frame Consulting Pty Ltd

"RD" SERIES SHED DATA TABLES FOR RELEVANT WIND CLASSIFICATION

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

George Andrew Frame

Company name (if applicable)

Frame Consulting Pty Ltd

Contact person

George Frame

Phone no. business hours

(07) 5563 9103

Mobile no.

0404 080 001

Fax no.

Email address

gafnt@bigpond.net.au

Postal address

PO Box 179

RUNAWAY BAY

Postcode 4216

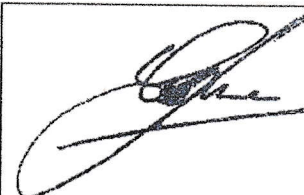
Licence or registration number (if applicable)

RPEG 1390

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

13th May 2014

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

NORTHERN BUILDING APPROVALS APPROVED PLAN

The building work detailed on this plan/document is to be carried out in accordance with the provisions of the Building Act 1975 and the conditions of the development approval.

5 APR 2016

K. BYRNE
BUILDING CERTIFIER

A 1107828
ACCREDITATION No.

The Building Act 1975 is administered by the
Department of Housing and Public Works



Queensland
Government

Northern Building Approvals

ABN: 70 676 242 615

12 Ceola Drive

Mareeba Qld 4880

Phone: 0447 865 265

Email: kentonstella@bigpond.com

Development Application Decision Notice

This Permit is issued in accordance with the Sustainable Planning Act 2009

Building Certifier Reference Number:	DA/16/0044
Approval Type:	Development Permit For Building Works
The Development Application was Assessed and:	Approved with Conditions
Building Certifier Decision Date:	Tuesday, 5 th April 2016
Local Government Area:	Mareeba Shire Council
Applicant / Builder:	Noel John Morris
Owner:	Paul James Blundell
Address of Site:	109 Cobra Road, Mareeba QLD 4880

Building Class and Description of Works:


Class 7a	New Construction of a Vehicle Storage Farm Shed
----------	---

Real Property Description of Site or GPS Coordinates:

Lot Type:	Lot No:	Plan Type:	Plan Number:
Current	23	SP	184955

This Development Permit Approval Must be read in conjunction with:

Referral and Concurrence Agencies (if Applicable):	See Attachment A
Required Inspections:	See Attachment A
Approved Drawings and Documents Described as:	See Attachment A
Required Certificates and Building Certifiers Conditions:	See Attachment A
Other Applicable Codes (if Known) for Self Assessable Development	See Attachment A
Reason for Refusal (If Applicable):	See Attachment A
Rights of Appeal:	See Attachment A

Date of this Notice:	Tuesday, 5 th April 2016
Date of Expiry	Thursday, 5 th April 2018
Certifier:	Kenton John Byrne
QBCC Licence Number:	A1107628
Signature:	

ATTACHMENT A

Required Inspections

<u>Description</u>	<u>Recommended Agent</u>	<u>Contact</u>	<u>Comments</u>
Footing Stage	Northern Building Approvals	0447 865 265	
Slab Stage	Northern Building Approvals	0447 865 265	
Frame Stage	Northern Building Approvals	0447 865 265	
Final Stage	Northern Building Approvals	0447 865 265	

Approved Documentation

Architectural / Structural / Civil

Plans and associated Annexure by Frame Consulting Pty Ltd:

- Plan No: 1581-15, Sheets WD01 to WD15, Issue A

Structural Engineering

Form 15 by George Andrew Frame, RPEQ: 1390, Date: 13/05/14 (Structural Certification)

Required Certificates*

Portable Fire Extinguishers Installation Certificate
Exit Signs Installation Certificate
Garage Doors Design and Installation Certificates
Fire Hazard Properties (Building Code of Australia Volume 1, Specification C1.10); and
Termite Management Certificate.

*Additional certificates may be requested upon inspection of the building work.

Building Conditions

1. Building work approved on this building application must be (**condition time**):
 - a. Substantially commence within 12 months of the date of this approval or the approval will lapse, and
 - b. All building work be completed, inspected and a **Final Certificate** issued within 24 months of the date of this approval.
2. Compliance with the Building Act 1975 and the relevant Planning Scheme is the responsibility of the applicant.
3. All notations made on the approved plan(s) in red ink form conditions of this approval.
4. The building which this approval relates to is not to be used for purposes other than permitted by the Town Planning Scheme
5. The building work is to be undertaken in strict accordance with the engineer certified plans.
6. If the building work is to change from that shown on the approved plan(s) then amendments must be submitted to Northern Building Approvals for approval prior to any changes occurring.
7. No parts of any building work are to encroach closer to the existing sewer / stormwater infrastructure than shown on the approved plans. Due to possibility of inaccurate information in relation to existing infrastructure, it is the Builder / Applicants responsibility to ensure compliance is maintained by onsite confirmation. Where works are found not to comply than all works must cease until approvals are obtained. Evidence of compliance may be required prior to final certification.
8. The applicant must give to the Building Certifier, if requested, a cadastral survey (identification survey) showing:
 - The boundaries of the allotment in the vicinity of the building;
 - The boundaries of the easement in the vicinity of the building;
 - The location of the sewer in the vicinity of the building; and
 - The actual location of the building on the allotment.
9. Termite Control: In accordance with the Part B1 of the Building Code of Australia (BCA) Volume 1 & AS3660.1 all primary building elements and secondary elements must be protected. At the time of final inspection two durable notices must be located in two prominent locations indicating the following:-
 - The method of protection; and
 - The date of installation of the system; and
 - Where a chemical barrier is used, its life expectancy as listed on the National Registration Label; and
 - The installer's or manufacturer's recommendation for the scope frequency of future inspections for termite activity.
10. Before commencing excavation or other work in relation to this permit, the location of any drainage or Council sewer main must be ascertained. All construction where the building work is over or close to the drainage or Council's sewer main, the Council's Plumbing and Drainage Inspector must be consulted on the measures to be taken for protection of the house drainage or sewer main.

11. The site shall be graded so as to achieve a minimum of 1 in 20 fall away from the perimeter of the structure.
12. A minimum height of 150 mm shall be maintained between the top of the overflow gully riser and the lowest fixture connected to the drain. The invert of the overflow pipe and the surrounding ground surface level shall be 75mm, except where the gully riser is located in a path or a paved area, where it shall be finished at a level so as to prevent the ponding and ingress of storm water.
13. All materials and building products are to be installed in accordance with the manufacturer's specifications. Northern Building Approvals will not be held responsible for variances or non-conformity due to the misuse or oversight on behalf of the builder
14. Garage doors and other large access doors in external walls of buildings in wind region C or D must be designed and installed in accordance with AS/NZS 1170.2: AS/NZS 4505 and Clause B1.4 of the BCA Volume 1. A certificate of design compliance (Form 15) and evidence of compliance with manufacturer's installation instructions (e.g. Form 16) will be required prior to issue of Final Inspection Certificate.
15. Roof sheeting in cyclonic areas, metal roof assemblies, their connections and intermediate supports are to be fixed in accordance with the manufacturer's specifications designed in accordance with Specification B1.2 of the BCA Volume 1.
16. Wall sheeting(s) and the like shall be fixed in accordance with manufacturers recommendations to conform to the design wind speed.
17. Stormwater to be constructed in accordance with the Stormwater Management plan and taken to kerb and channelling or other legal point of discharge to the satisfaction of Council.
18. Fire extinguishers are to be installed in accordance with Australian Standard AS2444 and Clause E1.6 of the BCA Volume 1.
19. The emergency lighting and illuminated exit signage is to be installed in accordance with Australian Standard AS2293.1 and Part E4 of the BCA Volume 1.
20. The exit doors to provide a minimum clear opening of 850 mm in accordance with Clause 13.2 and provide circulation space in accordance with Clause 13.3 of the AS 1428.1.
21. The exit door must swing in the direction of egress in accordance with Clause D2.20 of the BCA Volume 1.
22. A suitable barrier must be installed to prevent vehicles from blocking the exit doors in accordance with Clause D1.10 of the BCA Volume 1.
23. The thresholds of a doorway that opens to a road or open space must incorporate a threshold ramp or step ramp with suitable barriers in accordance with AS 1428.1.
24. Exit doors and doors in the path of travel to an exit must be readily openable without a key from the side that faces a person seeking egress by a single hand action on a single device located between 900mm and 1100mm from the floor in accordance with Clause D2.21 of the BCA Volume 1. Note: the glass doors will require to show the direction of slide and have luminance contrast in accordance with AS 1428.1.
25. Access and signage for persons with disabilities to comply with AS 1428.1, AS 1428.4 and AS 2890.1, in accordance with Part D3 of the BCA Volume 1.
26. Materials, linings and surface finishes used in the buildings must satisfy the fire hazard properties set out under specification C1.10 of the BCA Volume 1.
27. No part of this building is to be occupied until a Certificate of Classification has been issued by Northern Building Approvals.

Advisory Notes

1. All works are approved on the basis of the disclosure of information to the Building Certifier provided by the Builder, Owner, Council or the like and including that no other existing building or structures are located within the current property boundaries and not, noted upon the application documents. It is the Builders / Applicants responsibility to notify the Building Certifier as soon as practically possible where other buildings or structures may be found to pre-exist within the property boundaries and have not been disclosed. Where applicable, re-assessment and further permits may be required prior to any works being commenced.
2. The Builder is to take all necessary steps to ensure that the properties of the foundation soils providing support to or otherwise in contact with the structure do not exceed the design limitation specified in the structural engineering design.
3. The Approval does not include the following: tree removal, demolition of any type, or an other structures other than that detailed upon the stamped approved plans and noted for approval.
4. **Construction of a Vehicle Crossover on Council Road Reserve - Permit Required**
This Building approval does not include a vehicle crossover. The construction of a vehicle crossover requires a permit from Council. Council will provide a Driveway/Access Information Kit which can be obtained from the Council website or picked up at any Council Service Centre.

Information Regarding Appeals to the Building and Development Tribunal Relating to Development Application

Appeal Rights:

You may appeal against any matter stated in this Decision Notice. The appeal must be started within 20 business days (10 days for building advice agencies), after the date this notice is given. Appeal forms are available on the Department's website www.dip.qld.gov.au from the Registrar at the Building and Development Tribunal on phone (07) 3237 0403.

Sustainable Planning Act 2009

Chapter 7 Appeals, offences and enforcement

Part 2 Building and development dispute resolution committees

Reprint 1 effective 18 December 2009 Page 355

527 Appeals by applicants

- 1) An application for a development application may appeal to a building and development committee against any of the following-
 - a. The refusal, or the refusal in part, of the application;
 - b. Any condition of the development approval and another matter, other than the identification or inclusion of a code under section 242, stated in the development approval;
 - c. The decision to give a preliminary approval when a development permit was applied for;
 - d. The length of a period mentioned in section 341;
 - e. A deemed refusal of the application.
- 2) An appeal under subsection (1)(a), (b), (c) or (d) must be started within 20 business days (the applicant's appeal period) after-
 - a. If a decision or negotiated decision notice is given-the day the decision notice or negotiated decision notice is given to the applicant; or
 - b. Otherwise-the day a decision notice was required to be given to the applicant.
- 3) An appeal under subsection (1)(e) may be started at any time after the last day a decision on the matter should have been made.

528 Appeal by advice agency

- 1) An advice agency may, within the limits of its jurisdiction, appeal to a building and development committee about the giving of a development approval if the development application involves code assessment for the aspect of the building work to be assessed against the Building Act.
- 2) The appeal must be started-
 - a. Within 10 business days after the day the decision notice or negotiated decision notice is given to the advice agency; or
 - b. For a deemed approval for which a decision notice or negotiated decision notice has not been given-within [s 529] 20 business days after receiving a copy of the deemed approval notice for the application from the applicant.

Notes:

This building has been assessed in accordance with the relevant building legislation, but, it remains the responsibility of the owner, designer and builder to ensure compliance with other laws including the anti-discrimination legislation. Failure to provide equal access and facilities may be unlawful by:

- I. Disability Discrimination Act – Australia, and
- II. Anti-Discrimination Act – Queensland.

Further information may be obtained from:

Human Rights and Equal Opportunity Commission



Address 2/63 Old Maryborough Rd Pialba Qld 4655
 Phone (07)4128 7262/(07)4128 1818
 Email sales@ezibuiltsteelhomes.com.au
 Website www.ezibuiltsteelhomes.com.au

Please refer to the Colorbond® colour chart for colour range.

Quote Reference Number:

Date: 5/4/2019

Customer Name		Paul Blundell Family Trust			
Site Address		109 cobra Rd, Mareeba.			
Flashings <i>Please Circle</i>					
Vermin Flashing - Customers own profile		<i>Yes</i>			
Requested Colours (Please complete ALL that apply)					
1	Roof Colour	Wallaby	4	Sheet PROFILE*	Corrugated
2	Wall Colour	Dune	5	Sheet PROFILE*	Corrugated
3	Gutter	Wallaby	6	Gutter TYPE*	Box
7	Downpipe** <i>Please Circle</i>		PVC (white only)		
8	Barge Capping	Wallaby			
9	Ridge Capping	Wallaby			
10	Corner Flashing	Dune			
11	Roller Door Colour	Wallaby			
12	Roller Door Flashings	Wallaby			
13	Window Colour	<i>X</i>			
14	Glass Sliding Door	<i>X</i>			
15	PA Door Colour	Wallaby			
16	Roof Ventilator				
17	Internal Walls	<i>X</i>			
18	Insualtion	<i>X</i>			
19	Skylight** <i>Please Circle</i>				

Paul Blundell
 Customers Signature

5/4/2019
 Date

For and on the behalf of EZIBUILT STEEL SHEDS

*Must be completed **Must be circled Strike a line through the selection choice if not required

Date: 26/03/2019
Quote By: Steve Nelson

Quote No: EBSHSN12775
Email: sales@ezibuiltsteelhomes.com.au

	Color	Profile	Ridge	Thickness
Roof	TBA	Monoclad	3 Break Ridge	0.47 tct
Wall	TBA	Monoclad		0.47 tct
Window	TBA			
PA Door	TBA			
Roller Door	TBA			
Downpipe	White	PVC		
Barge	TBA			
Gutter	TBA	Square		

ITEMS

Product Name	Type	Size	Quantity
PA Door/s	Standard 820	2040 x 820	2
Roller Door (WL + SW) Series	A	3000x3000	1

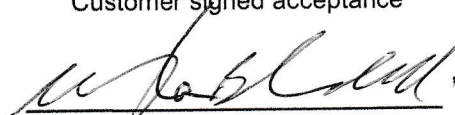
Roller Door/s are nominal Opening Size and will change in size during engineering to best suit the frame and opening.

Kit Payment Schedule

Deposit	\$	4200
For Manufacture	\$	16799
Before delivery	\$	20999

Customer signed acceptance

Quote valid until
25/04/2019



QUOTE PRICE

Kit Total	\$	41998
Council	\$	0
Concrete	\$	0
Construct	\$	0
(Discount/Extra)	\$	
Construct Total	\$	0
Total Job Cost (incl GST)	\$	41998

* CONSTRUCTION PAYMENT SCHEDULE PER CONSTRUCTION CONTRACT

EZI BUILT STEEL HOMES & SHEDS
Unit 2/63 Old Maryborough Rd Pialba Qld 4655
ABN: 80 627515 560 Phone: 07 4128 1818
www.ezibuiltsteelhomes.com.au



Date: 26/03/2019
Quote By: Steve Nelson

Quote No: EBSHSN12775
Email: sales@ezibuiltsteelhomes.com.au

I hereby authorise EziBuilt to commence immediate order, manufacture and delivery of the building detailed in this quote. I understand that by signing this document, the order of the building becomes NON-CANCELLABLE and that I am bound by the above Terms and Conditions of This Sale.

Client Signature

A handwritten signature in black ink, appearing to be "Steve Nelson", written over a horizontal line.

Date Signed

A handwritten date "5/4/2019" in black ink, written over a horizontal line.

E21 Built.

PK 41281818
Steve Nelson.

sales @ ezibuiltsteelhomes.com.au

Quote NO EBSHSN 12775 = Ron Blackell
Mareeba.

[Handwritten signature]

Shed

32.000 x 14.000 x 3.000 \$42000 Dep.

colour bond

walls DUNE / CORRUGATED

Roof WALLABY / ✓

Doors. WALLABY

150

600

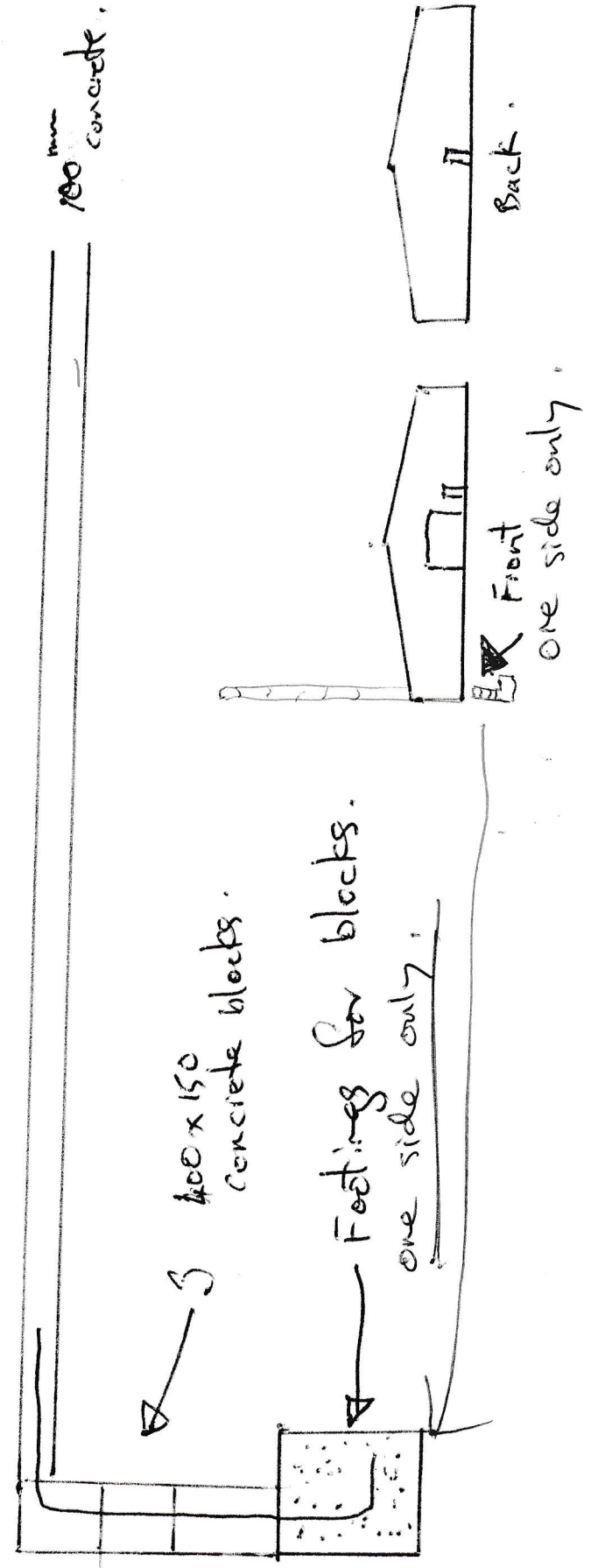
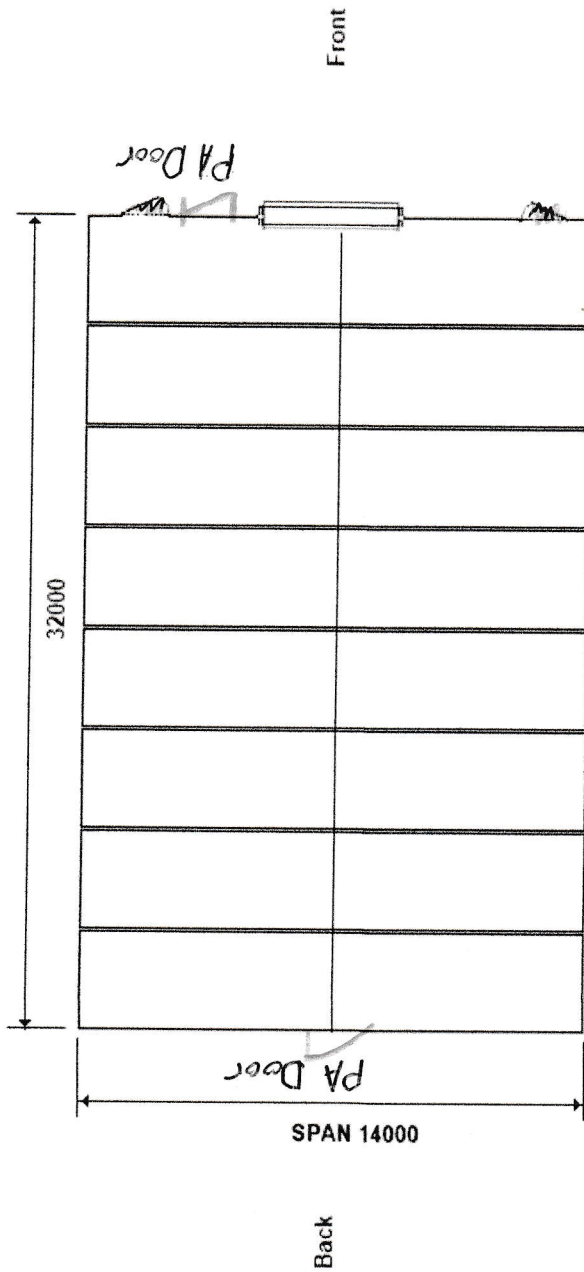


Illustration only please refer quote page for inclusions

Right



OPTION LIST

- Roller Door:
1 Roller Door (WL + SW) Series A 3000x3000
- PA Door:
2 PA Door/s Standard 820 2040 x 820



PLAN VIEW

Name:

Ron Blundell

Address:

Mareeba TBA

Post Code:

4880

Ref.No.

EBSHSN

12775

Customer Signature:

Left

EZI VERSION 1.9.1

Ron Blundell

Illustration only please refer quote page for inclusions



ELEVATION

Name:

Ron Blundell

Address:

Mareeba TBA

Post Code:

4880

Ref.No.

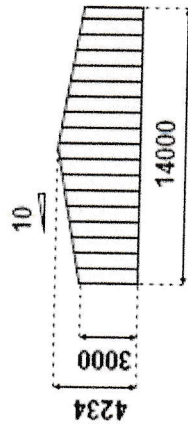
EBSHSN

12775

Customer Signature:

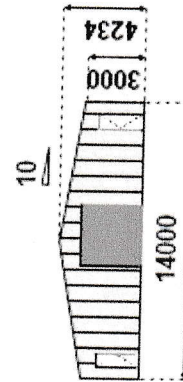
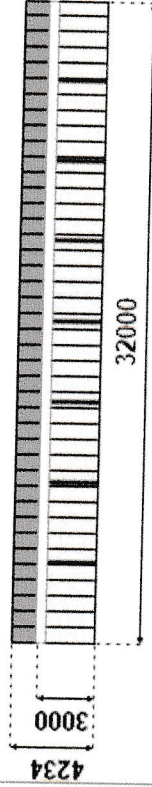
5/4/19

EZI Version 1.9.1



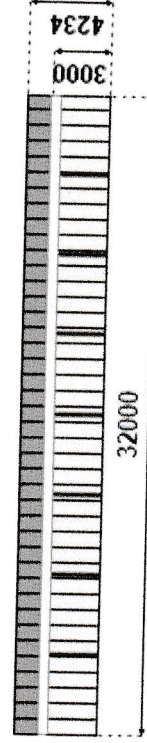
Back

Left



Front

Right



Shed 4/5 car & tractor

EZI BUILT STEEL HOMES & SHEDS

Unit 2/63 Old Maryborough Rd Pialba Qld 4655

ABN: 80 627515 560 Phone: 07 4128 1818

www.ezibuiltsteelhomes.com.auDate: 26/03/2019
Quote By: Steve NelsonQuote No: EBSHSN12775
Email: sales@ezibuiltsteelhomes.com.au**CUSTOMER INFORMATION**

Company Name:		Rapid Roofing	
Name:	Ron Blundell	Address:	Mareeba TBA
Phone:	0407768622	Site Address:	Mareeba TBA
Email:	dc Reid10@hotmail.com	Delivery Address:	Mareeba TBA
		Postcode:	4880

IS A SITE PLAN REQUIRED No

The suitability of the terrain category, topography and shielding factors quoted is required to be confirmed by a site evaluation by a licensed builder or building certifier

BUILDING DETAILS

Wind region: C.	Terrain Cat: 2.5	Importance Level: 2	VR 69m/s
Mt 1	Ms 1		

SHED

Span: 14000 mm	Roof Pitch: 10	Gable: Yes	Skillion: No
Length: 32000 mm	No. of Bays: 8	Bay Size: 4000 mm	
Gutter Height: 3000 mm	<u>Shed Footing Type:</u> Slab & Pier	<u>Base Fixing:</u> Cast In Strap	Bld Type: DOMESTIC

AWNING

Span: mm	Roof Pitch:	Openbay/s: No. Of SQM	Open Gable:
Length: mm	<u>Awning Footing Type:</u>	<u>Base Fixing:</u>	Side:
Gutter Height: mm	Type:		

5
SHED / A CARS + TRACTORS

EZI BUILT STEEL HOMES & SHEDS

Unit 2/63 Old Maryborough Rd Pialba Qld 4655

ABN: 80 627515 560 Phone: 07 4128 1818

www.ezibuiltsteelhomes.com.auDate: 26/03/2019
Quote By: Steve NelsonQuote No: EBSHSN12775
Email: sales@ezibuiltsteelhomes.com.au**TERMS AND CONDITIONS**

The information shown on the proposal/order form for this class 10a non-habitable building together with the following conditions, comprise the entire agreement and contract for the supply of the product and services as detailed on the proposal/order form by EziBuilt to the Client. Errors and omissions excepted.

1. DELIVERY/MATERIALS: The product will be delivered to the site address shown on the proposal/order as soon as practical after the product has been manufactured. Standard manufacturing lead-time is 21 working days from the date of signing the proposed order with EziBuilt. Whilst EziBuilt will use all reasonable efforts to meet the estimated delivery date, EziBuilt will not be liable for any delays in the manufacture, delivery of the product due to weather, strikes, supply and demand or any other causes beyond their control. Should the Client not accept delivery of the product for any reason whatsoever or cause the goods not to be delivered by non-payment of any progress payment that may be due, and as a result redelivery becomes necessary, the Client agrees to meet all additional costs of such redelivery and redistribution of the kit.

At the point of taking possession of the building, it is the Client's responsibility to ensure that all materials nominated on the delivery dockets/assembler copy of materials are supplied and that they are in a satisfactory condition. The Client must give in written notice to EziBuilt within (2) days of any particulars of claim that the materials are not in accordance with specifications or have not been fully supplied. A representative of EziBuilt must be given a reasonable opportunity to inspect materials where any notice is given. If the Client fails to give that notice or provide a reasonable opportunity of inspection, then to the extent permitted by the statute the materials are deemed to have been accepted by the Client.

2. ENGINEERING / CERTIFICATION: The Client agrees the certifying Engineer and Building Certifier have the right to make any necessary changes to certify the structure, concrete slab or piers to comply with the Building Code of Australian and State building regulations. The Client agrees to pay any additional cost incurred by such changes deemed necessary by the certifying Engineer or Building Certifier. If plumbing certification is required, it is the responsibility of the Client to provide EziBuilt the detailed plumbing plan, scaled at 100:1, and plumbing certificate must be provided by your plumber prior to lodging any plans. Any variations to the certification after lodgement will incur additional costs. The Engineering supplied by EziBuilt is site specific and can only be used for the site and location it is intended for. In the event the Client sells the kit and is going to be built in a different location, it is the responsibility of the client to inform EziBuilt so that a further site specific engineering certificate can be arranged for the new intended site. The Client agrees to pay for the new site specific engineering assessment.

The Company owns the copyright in all plans, specifications and workshop drawings created by or on behalf of the Reseller. If the Client provides the Reseller with any sketch, plan or other documents which infringes upon another person's copyright or moral right, the Client will indemnify the Company and the Reseller, and keep the Company and the Reseller indemnified, against all claims and cost.

3. ERECTION: This contract is based on EziBuilt standard engineering designs and does not allow for underground obstructions, Rock, Hard ground, or unstable or reactive soil conditions. The customer agrees to pay any additional costs incurred by EziBuilt in this regard. The customer must provide a clear and accessible site for the building, clear of vegetation or obstruction. The site must be level to within 100mm tolerance. The customer agrees to pay any earthworks required in preparing the site. This includes but is not limited to all bobcat and excavation hires well as any fill required. Downpipes are supplied to ground level only. It is the customer's responsibility to handle the discharge of roof water and obtain any relevant council approvals. It is the customer's responsibility to provide power to the construction site if required. It is the customer's responsibility to clean the construction site upon completion.

4. VARIATIONS: If the Client wishes to make any change/s to the product as originally agreed upon and set out on the proposal/order form, EziBuilt will advise the Client of any variation in price and/or delivery date/s for such change/s. All such change/s must be agreed, set out in writing and signed by EziBuilt and the Client. The Client agrees verbal instructions will not be accepted as a variation. In the event the Client does not proceed with the order prior to signing the proposed order, EziBuilt may refund the deposit, with the exception of any out of pocket expenses reasonably incurred on the Purchaser's behalf, including but not limited to council fees, engineering fee and certifier fees up to and including the date of cancellation together with an administration fee of \$250 plus GST. Before any refunds are assessed, the Client must provide to EziBuilt a copy of the declined application from the certifiers or written statement outlining why the Client is no longer proceeding with the order.

5. PRICE: The price quoted by EziBuilt includes Goods and Services Tax (GST) at the rate applying at the date shown on the proposal/order form. EziBuilt will hold the price firm for 30 days from the date of acceptance of the offer. After that period EziBuilt reserves the right to make such adjustments to the price as may be necessary to reflect any changes in the

EZI BUILT STEEL HOMES & SHEDS

Unit 2/63 Old Maryborough Rd Pialba Qld 4655

ABN: 80 627515 560 Phone: 07 4128 1818

www.ezibuiltsteelhomes.com.auDate: 26/03/2019
Quote By: Steve NelsonQuote No: EBSHSN 12775
Email: sales@ezibuiltsteelhomes.com.au

supply costs in the event of any price increase by the manufacturer and will inform the Client accordingly. The Client agrees to pay any additional costs and charges. The Client agrees to make the progress payments as and when set out on the proposal/order form, without retention. Should any payments not be paid in full when EziBuilt reserves the right to charge the Client and the Client agrees to pay interest on the unpaid amount at the rate of 7.5% per month. This interest will be calculated on a daily basis from the time the payment was due to the time when the payment has been fully satisfied and deemed cleared funds.

6. Cancellation of Contract: The Seller may agree, but is not bound to agree, to a request in writing that the contract be cancelled after the contract term has expired and prior to a building being ordered. However, in any such events, any out of pocket expenses reasonable incurred on the Purchaser's behalf, including but not limited to council fees, engineering fee and certifier fees, up to and including the date of cancellation together with an administration fee of \$250.00 (plus GST) will be payable by the Purchaser. These costs and outlays will be deducted from the deposit money paid by the Purchaser.

7. PRODUCT and SPECIFICATIONS: EziBuilt is constantly improving its range of products including the specifications, design and manufacturing processes and reserves the right to make such changes and improvements to its products at any time without notice. The Client agrees no other product or service will be provided other than that specified in the signed agreement and attached appendixes. Any variation to the contract must be in writing, paid for and signed by both parties before the variation becomes valid. The Client agrees verbal instructions will not be accepted as a variation.

8. TITLE: The Client acknowledges that ownership of the product shall remain with EziBuilt until EziBuilt has received full payment in cleared funds. EziBuilt reserves the right to remove the product from the Client's premises. The Client unconditionally authorizes EziBuilt to enter the premises without liability for any damage or loss caused by such action for the purpose of recovering unpaid goods. All costs, expenses and any subsequent loss suffered by EziBuilt shall be borne by the Client.

9. WARRANTY: EziBuilt provides all manufacturer's warranty as detailed by the manufacturer specifications as detailed on the quote/order form. In addition, all COLORBOND® and ZINCALUME® steel components used in our products come with the manufacturer's warranty of up to 15 years against perforation in the natural elements. Copies of these warranties are available on request.

10. CONTRACT DOCUMENTS and ENGINEERING: Plans, specifications, contractual documents or any other relevant engineering supplied for the project will be provided to the Client and the Client agrees that this documentation must not be used for any other site other than the site it is intended for.

11. FORCE MAJEURE: If a party is prevented from or delayed in complying with an obligation (other than to pay money) by an event beyond its reasonable control, performance by it of that obligation is suspended during the time and to the extent that compliance is prevented or delayed.

12. WAIVER: A party's failure or delay to exercise a power of right does not operate as a waiver of that power or right. The exercise of a power or right does not preclude either its exercise in the future or the exercise of any other power or right. A waiver is not effective unless it is in writing. Waiver of a power or right is effective only respect of the specific instance to which it relates and for the specific purpose for which it is given.

13. SLAB: Slab estimated according to Class A, S and M soils. If class H1, H2 or D soils, slab movement will occur during seasonal changes. If these movements are to be minimised, please contact seller for a specific design.

EZI BUILT STEEL HOMES & SHEDS

Unit 2/63 Old Maryborough Rd Pialba Qld 4655

ABN: 80 627515 560 Phone: 07 4128 1818

www.ezibuiltsteelhomes.com.auDate: 26/03/2019
Quote By: Steve NelsonQuote No: EBSHSN12775
Email: sales@ezibuiltsteelhomes.com.au

	Color	Profile	Ridge	Thickness
Roof	TBA	Monoclad	3 Break Ridge	0.47 tct
Wall	TBA	Monoclad		0.47 tct
Window	TBA			
PA Door	TBA			
Roller Door	TBA			
Downpipe	White	PVC		
Barge	TBA			
Gutter	TBA	Square		

ITEMS

Product Name	Type	Size	Quantity
PA Door/s	Standard 820	2040 x 820	2
Roller Door (WL + SW) Series	A	3000x3000	1

Roller Door/s are nominal Opening Size and will change in size during engineering to best suit the frame and opening.

Kit Payment Schedule**QUOTE PRICE**

Deposit \$ 4200
For Manufacture \$ 16799
Before delivery \$ 20999

Customer signed acceptance

Quote valid until
25/04/2019

Kit Total	\$	41998
Council	\$	0
Concrete	\$	0
Construct	\$	0
(Discount/Extra)	\$	
Construct Total	\$	0
Total Job Cost (incl GST)	\$	41998

* CONSTRUCTION PAYMENT SCHEDULE PER CONSTRUCTION CONTRACT

EZI BUILT STEEL HOMES & SHEDS

Unit 2/63 Old Maryborough Rd Pialba Qld 4655

ABN: 80 627515 560 Phone: 07 4128 1818

www.ezibuiltsteelhomes.com.au

Date: 26/03/2019
 Quote By: Steve Nelson

Quote No: EBSHSN12775
 Email: sales@ezibuiltsteelhomes.com.au

CUSTOMER INFORMATION

Company Name:	Rapid Roofing		
Name:	Ron Blundell	Address: Mareeba TBA	Postcode: 4880
Phone:	0407768622	Site Address: Mareeba TBA	Postcode: 4880
Email:	dc Reid10@hotmail.com	Delivery Address: Mareeba TBA	Postcode: 4880

IS A SITE PLAN REQUIRED No

The suitability of the terrain category, topography and shielding factors quoted is required to be confirmed by a site evaluation by a licensed builder or building certifier

BUILDING DETAILS

Wind region: C.	Terrain Cat: 2.5	Importance Level: 2	VR 69m/s
Mt 1	Ms 1		

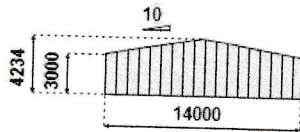
SHED

Span: 14000 mm	Roof Pitch: 10	Gable: Yes	Skillion: No
Length: 32000 mm	No. of Bays: 8	Bay Size: 4000 mm	
Gutter Height: 3000 mm	<u>Shed Footing Type:</u> Slab & Pier	<u>Base Fixing:</u> Cast In Strap	Bld Type: DOMESTIC

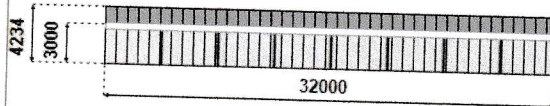
AWNING

Span: mm	Roof Pitch:	Openbay/s: No. Of SQM	Open Gable:
Length: mm	<u>Awning Footing Type:</u>	<u>Base Fixing:</u>	Side:
Gutter Height: mm	Type:		

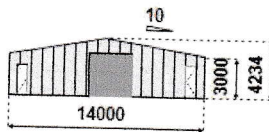
Illustration only please refer quote page for inclusions



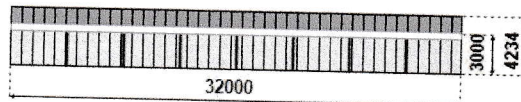
Back



Left



Front



Right

EZI BUILT
STEEL HOMES
& Sheds

ELEVATION

Name:

Ron Blundell

Address:

Mareeba TBA

Post Code:

4880

Ref.No.

EBSHSN

12775

Customer Signature:

EZI Version 1.9.1

E21 Built.

PK 41281818
Steve Nelson.

sales @ ezibuiltsteelhomes.com.au

Quote NO EBSHSN 12775 = Ron Blundell
Mareeba.

Steel

32.000 x 14.000 x 3.000

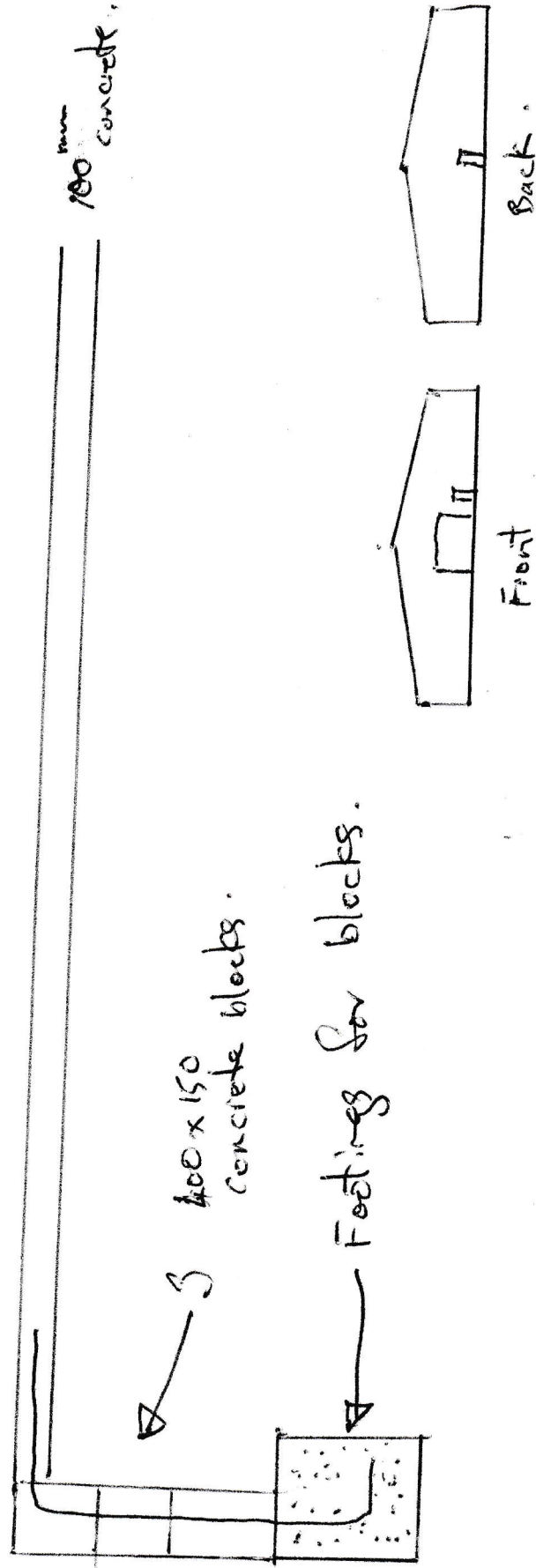
\$42000 Dep.

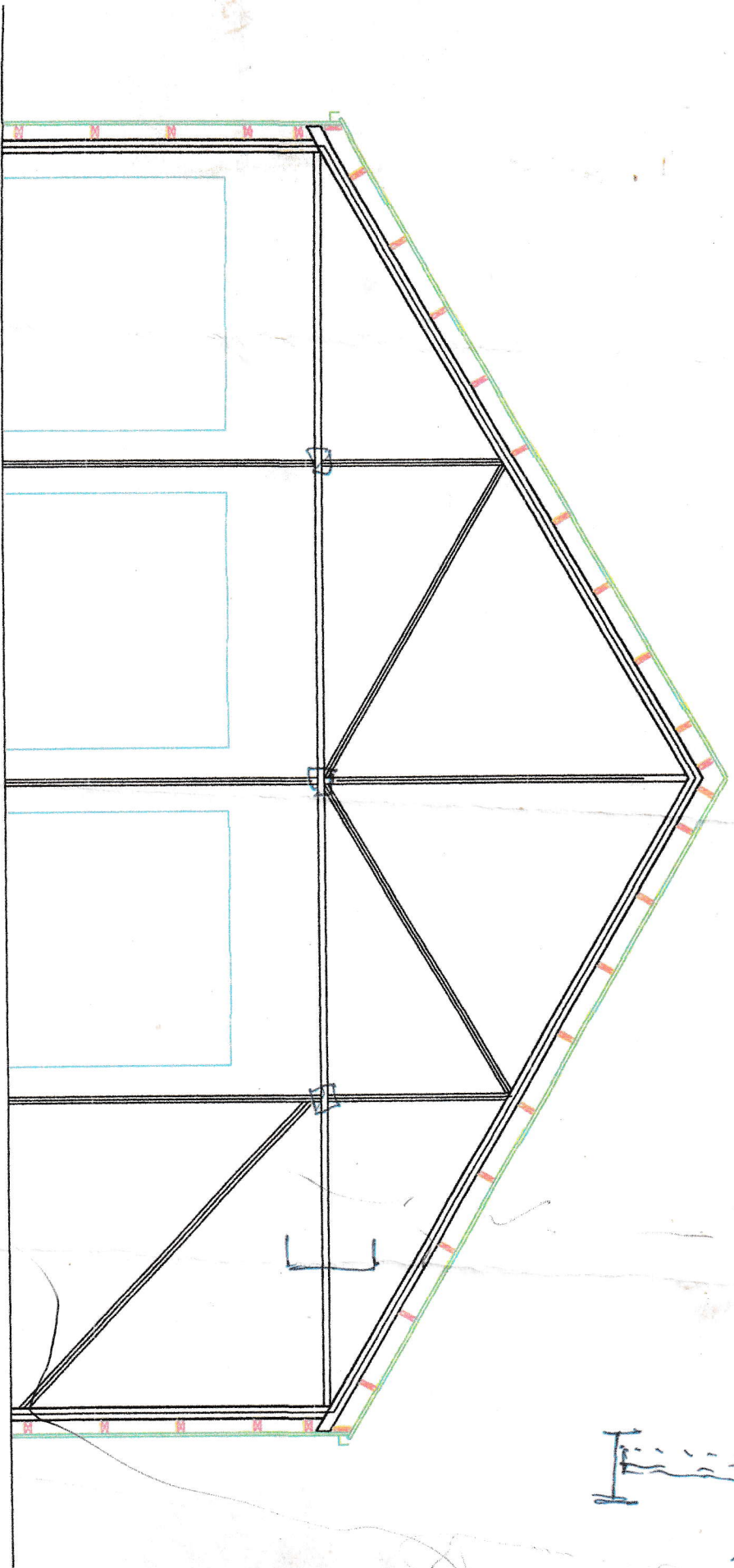
colour bond

walls DUNE / CORRUGATED

Roof WALLABY / ✓

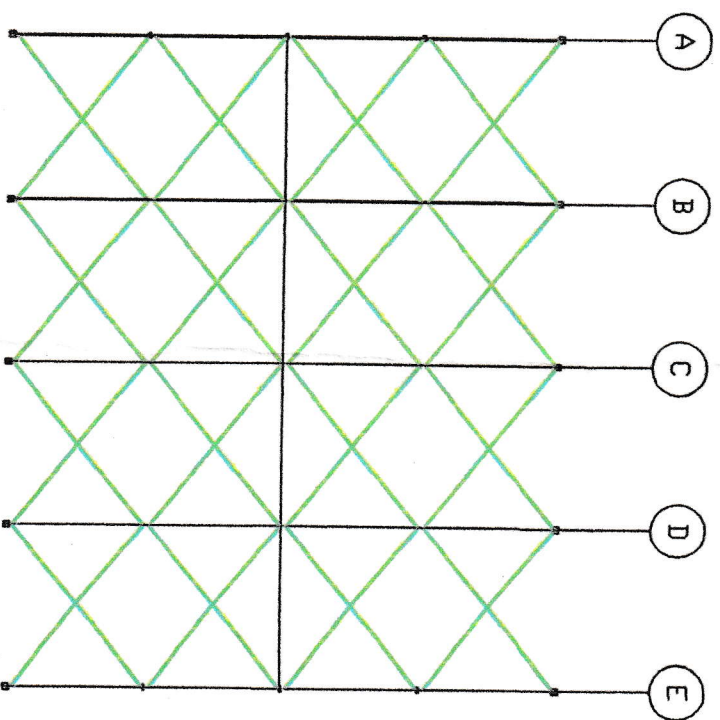
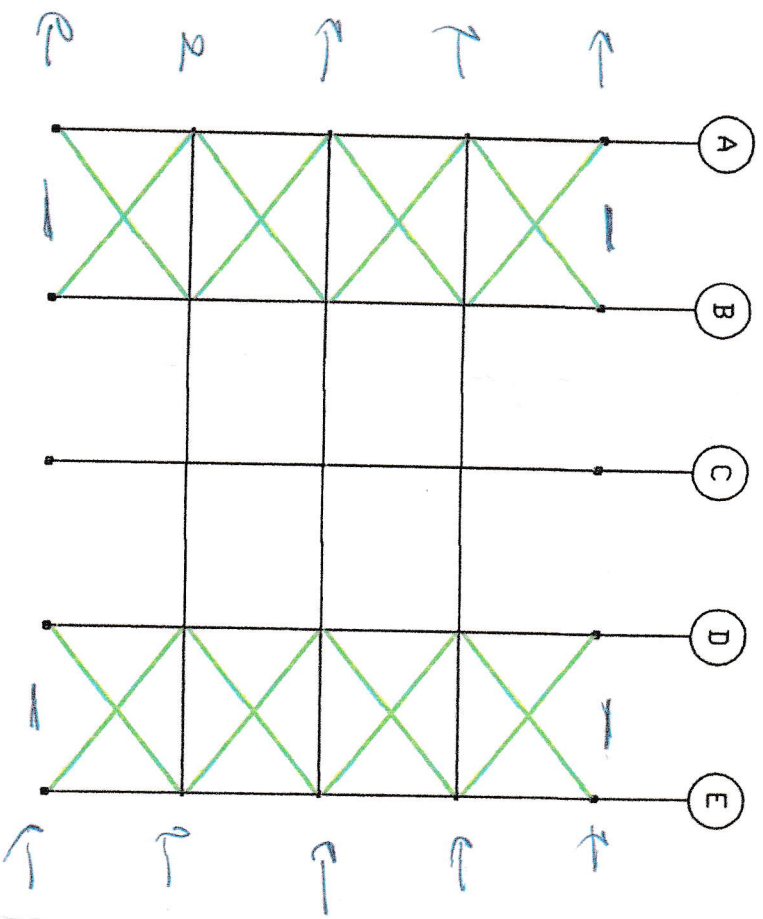
Doors. WALLABY





END WALL FRAMING

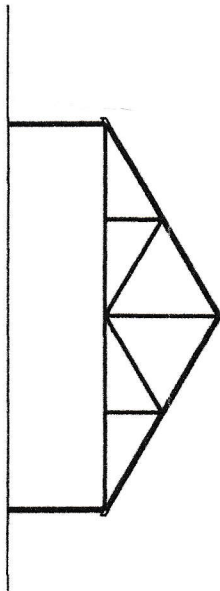
Bunde 11s. Spod 3.



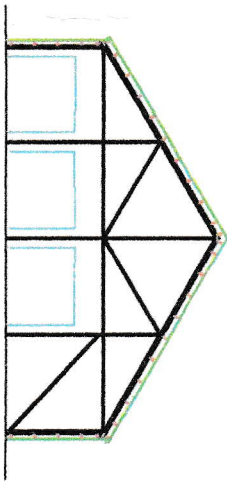
PLAN EAVE
LEVEL BRACING

Brundells shed 3.

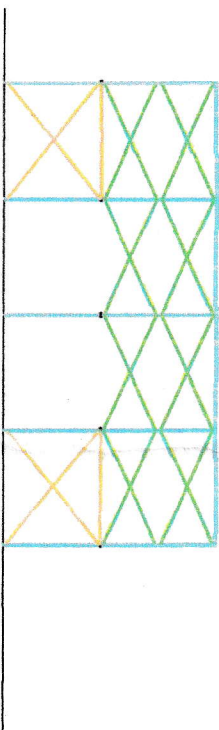
PLAN ROOF



ELEVATION INTERNAL TRUSSES -
GRIDS B, C and D



ELEVATION END WALL TRUSSES -
GRIDS A and E



ELEVATION SIDE WALL

Blundells shed 3.

Form 15—Compliance Certificate for building Design or Specification

NOTE

This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

	Postcode

Lot & plan details (attach list if necessary)

--

In which local government area is the land situated?

--

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

**B & D SERIES 1 WINDLOCKED ROLLER DOOR - 3.0m HIGH X 3.15m WIDE
MAXIMUM FOR USE IN WIND REGIONS B AND C, TERRAIN CATEGORY 2
AND UP TO A MAXIMUM ULTIMATE DESIGN WIND PRESSURE RATING OF
3.26KPA**

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Design in accordance with the following SAA codes, drawings, reports, specifications and theory

- Test report no. TS894 Revision A from the Cyclone Testing Station - School of Engineering and Physical Sciences at James Cook University
- Principles of Mechanics
- AS/NZS 1170.2:2011 Structural design actions Part 2: Wind actions
- AS 4100:1998 Steel structures
- AS/NZS 1170.0:2002 Structural design actions Part 0: General principles
- AS/NZS 1170.1 Structural design actions Part 1: Permanent imposed and other actions
- AS/NZS 4600: 2005 Cold-formed steel structures
- AS1720.1:2010 Timber structures part 1: Design methods
- AS/NZS 1664.1:1997 Aluminium structures Part 1: Limit state design
- AS 3700:2001 Masonry structures
- AS/NZS 4505:2012 Garage doors and other large access doors
- Ramset - Specifiers Resource Book
- Buildex Fasteners - Technical specifications
- Engineering drawing numbers 2212/S01K, 2212/S02K, 2212/S03K and 2212/S04K (attached)

The *Building Act 1975* is administered by the Department of Housing and Public Works



**Queensland
Government**

Limitations

- For use in wind regions B and C, terrain category 2 and up to a maximum ultimate design wind pressure rating of 3.26Kpa.
- This certificate relates to the structural adequacy of the B & D Series 1 wind-locked roller door only. The structure to which the door is attached shall be assessed and certified independently as required by a suitably qualified engineer.
- The subject doors are rated up to an ultimate design wind pressure = 3.26Kpa for a maximum allowable curtain width (L) of 3150mm.
- The building design engineer is to ensure that the site specific design wind loadings do not exceed the ultimate design wind pressure rating of 3.26Kpa.
- Alternative design parameters to what are specified on engineering drawings along with alternative site specific local pressure factors may be adopted provided the calculated ultimate design wind pressures do not exceed 3.26Kpa.
- Doors may be positioned at any location along the building envelope including all local pressure zones (i.e. corners of buildings) provided the calculated ultimate design wind pressures do not exceed 3.26Kpa.

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Engineering drawing numbers 2212/S01K, 2212/S02K, 2212/S03K and 2212/S04K by James Ellis & Associates Pty Ltd (attached)

LOCAL GOVERNMENT USE ONLY

Date received	Reference Number/s
---------------	--------------------

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

James Ellis

Company name (if applicable)

James Ellis & Associates Pty Ltd

Contact person

James Ellis

Phone no. business hours

(02) 8764 1035

Mobile no.

0405 149 834

Fax no.

Email address

james@jamesellisengineers.com.au

Postal address

PO Box 56 Hurlstone Park NSW

Postcode 2193

Licence or registration number (if applicable)

RPEQ No. : 11921

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



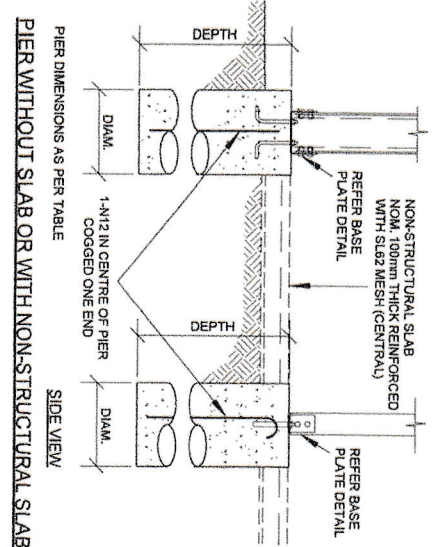
James Ellis BE(Struct)

Date

27th December 2014

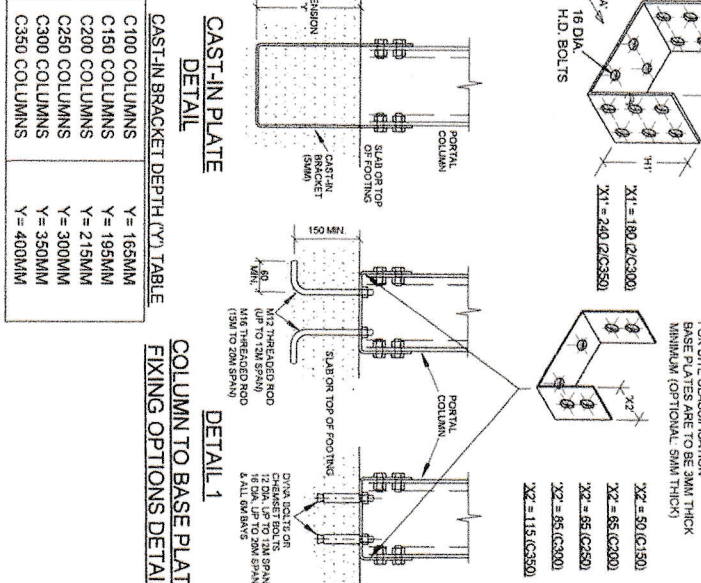
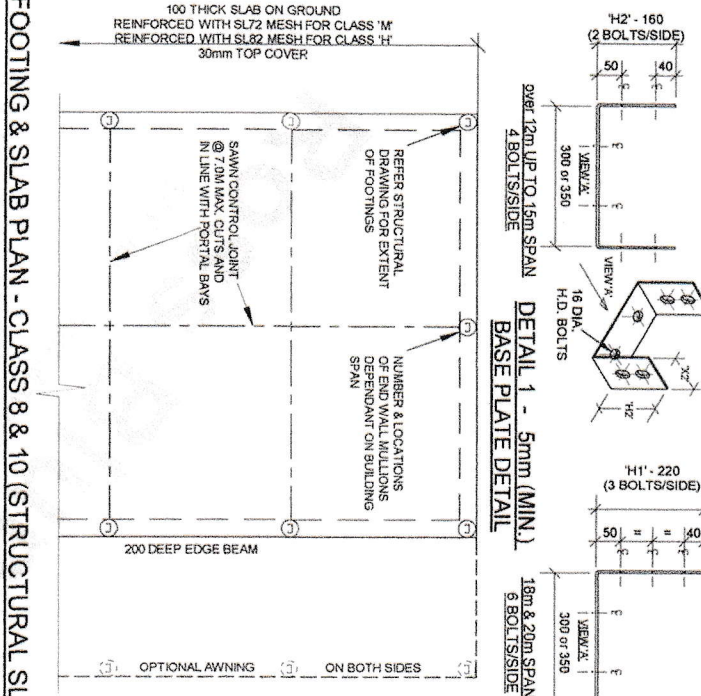
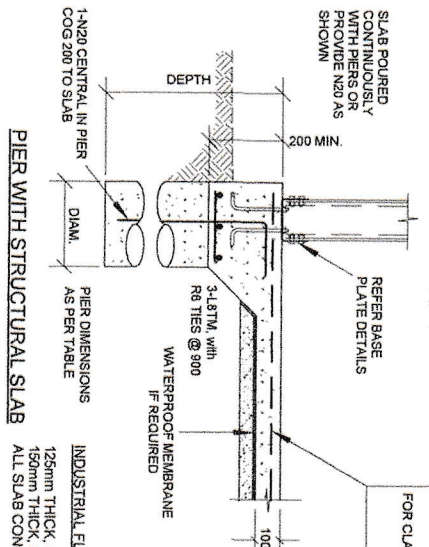
Designed GAF	Scale: N.T.S.	SHEDS
Drawn: AZ	Date: 12/01/12	Sheet 5

FOOTING OPTION 1:



NORTHERN BUILDING APPROVALS
APPROVED PLAN
 The building work detailed on this plan/document is to be carried out in accordance with the provisions of the Building Act 1975 and the conditions of the development approval.
5 APR 2016
K. BYRNE
 BUILDING CERTIFIER
 ACCREDITATION NO. 1187628

FOOTING OPTION 2:



CAST-IN BRACKET DEPTH (Y) TABLE	
C100 COLUMNS	Y = 165MM
C150 COLUMNS	Y = 195MM
C200 COLUMNS	Y = 215MM
C250 COLUMNS	Y = 300MM
C300 COLUMNS	Y = 350MM
C350 COLUMNS	Y = 400MM

CAST-IN BRACKET DEPTH (Y) TABLE	
C100 COLUMNS	Y = 165MM
C150 COLUMNS	Y = 195MM
C200 COLUMNS	Y = 215MM
C250 COLUMNS	Y = 300MM
C300 COLUMNS	Y = 350MM
C350 COLUMNS	Y = 400MM

BAY SPACING	WIND Classification	PIER FOOTING TABLE - SOIL CLASSIFICATION 'M'			
		STRUCTURAL SLAB & PIERS		NO SLAB (PIERS ONLY)	
		SLAB(S) AS DETAILED ALL PIERS 450 DIA.			
		DEPTH OF PIERS			
		SPANS < 9m	SPANS 9m < 15m	SPANS 15m < 20m	SPANS 20m < 25m
UP TO 4m	N2, N3 / C1	450	750	1200	1500
4m TO 6m	N2, N3 / C1	600	1000	1200	1800
UP TO 4m	N4 / C2	600	1000	1200	1800
4m TO 6m	N4 / C2	750	1200	1500	2100
UP TO 4m	N5 / C3	750	1200	1500	2100
4m TO 6m	N5 / C3	900	1500	1800	2400

FOR 'H' SITES ADD 300mm TO DEPTHS SHOWN ABOVE
 * FOR ALL PIERS GREATER THAN 1800 DEPTH REINFORCE WITH 4 - N12 BARS IN 300 DIA. SPIRAL CAGE AT MAX. 250 PITCH
 * PIERS MAY BE REPLACED WITH TWO PIERS OF HALF DEPTH SHOWN, NOM 1000 CENTRE TO CENTRE

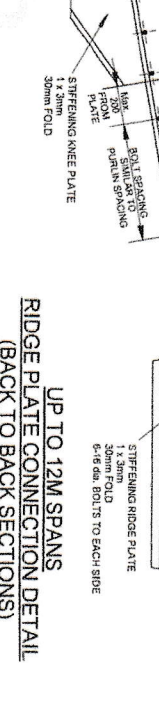
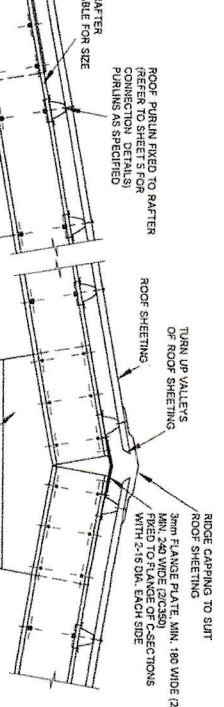
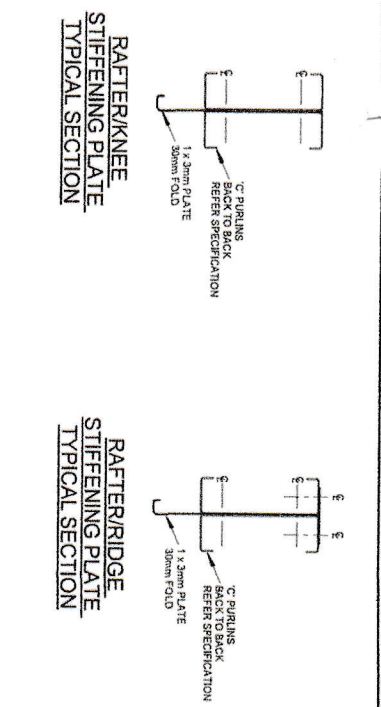
FRAME CONSULTING Pty Ltd
 25/05/16 14:55
 13/05/16 14:55

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D&G STEEL SHEDS
 Distinctive
 Project Development Consultant
 Civil & Structural Engineer
 PO Box 179, RUNAWAY BAY, QLD 4216
 Phone: (07) 55 639 103
 Email: gah@dgsteelsheds.com.au
 G. Gahagan
 G. Gahagan
 G. Gahagan

PROPOSED SHED
 LOT
 Designed GAF
 Scale N.T.S.
 Date 12/01/12
 Dwg. GAF-114
 SHEDS
 Sheet 4

PROPOSED SHED		
LOT		
Designed GAF	Scale As Shown	
Drawn AZ	Date: 12/01/12	Dwg: GAF-11-3
		SHEDS
		Sheet 3



BAY SPACING	FASCIA PURLIN SECTION
up to 3.0	C10010
3.0 to 3.6	C15010
up to 4.5	C20015
up to 6.0	C25024

FASCIA PURLIN
CONNECTION DETAIL
(RAFTER & CONNECTION PLATE
OMMITTED FOR CLARITY)

UP TO 12M SPANS
KNEE PLATE CONNECTION DETAIL
(BACK TO BACK SECTIONS)

NORTHERN BUILDING APPROVALS
APPROVED PLAN
The building work detailed on this plan/document is to be carried out in accordance with the provisions of the Building Act 1975 and the conditions of the development approval.

5 APR 2016

DETAIL 1
STAIRCASE
BUILDING CERTIFIER

A 110628
ACCREDITATION No.

AB DESIGN

REVISIONS

FRAME CONSULTING
PTY LTD ACN 097154785

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into account in the event of a
litigation.

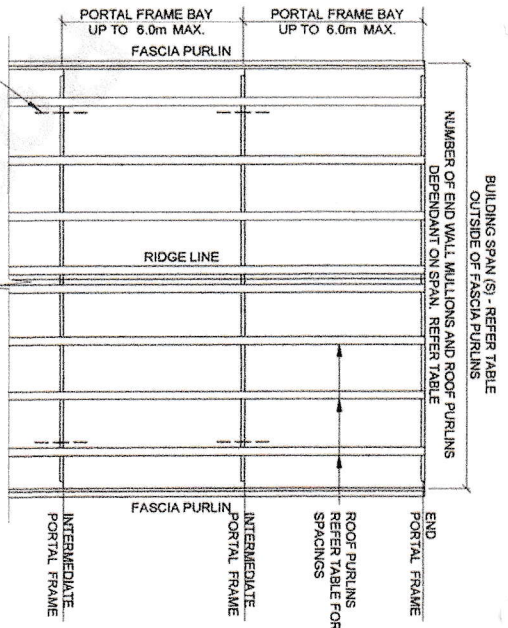
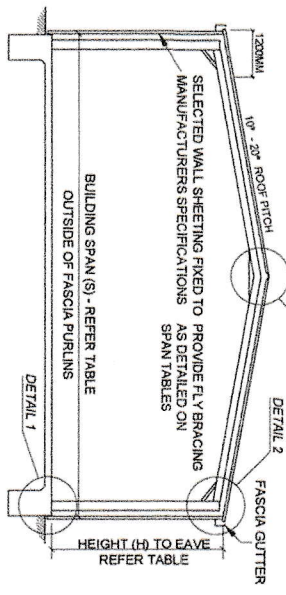
**Project Development Consultant
Civil & Structural Engineer**
PO Box 179, RUNAWAY BAY, QLD 4216
Phone: (07) 55 639 103
Email: garm@bigpond.net.au

[Signature]
Approved
G.A. Thomas P.Eng 1996



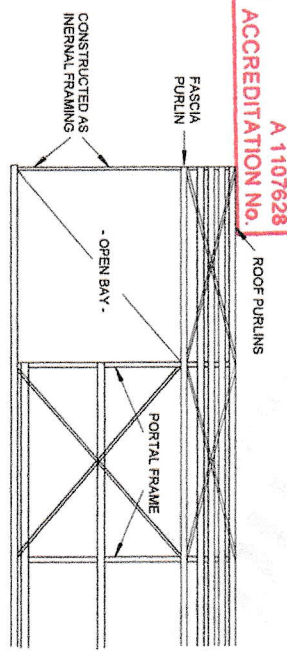
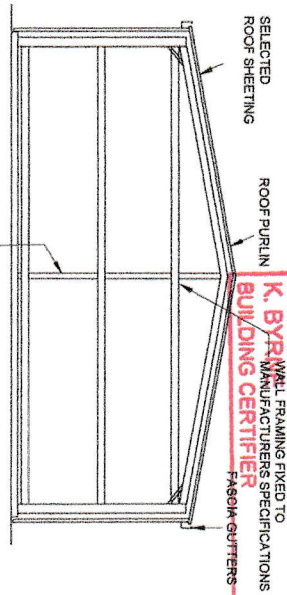
D&G STEEL SHEDS
Division
 2100 E. 17th Avenue, Dept. 2136
 Denver, CO 80202
 800-828-8888

PROPOSED SHED LOT			SHEDS
Designed GAF	Scale As Shown		
Drawn 1/2"	Date 12/01/12	Date 04/11/19	Sheet 2



TYPICAL INTERMEDIATE PORTAL FRAME SECTION

NORTHERN BUILDING APPROVED PLAN
APPROVED PLAN
The building work detailed on this plan/document is to be carried out in accordance with the provisions of the Building Act 1975 and the conditions of the development approval.
5 APR 2016
K. BYRMAN FRAMING FIXED TO BUILDING CERTIFIER
FASCIA GUTTERS
ACCREDITATION No. A 1107628
FLY BRACING AS PER NOTE 4.5



- GENERAL:
THESE NOTES AND STRUCTURAL DETAILS ARE TO BE READ IN CONJUNCTION WITH THE ASSOCIATED SPECIFICATIONS FOR THIS PROJECT.
THIS DESIGN IS ONLY APPROVED FOR USE WHEN PROVIDED WITH STRUCTURAL LAYOUT SIGNED BY THE SAME APPROVED SIGNATURE AND WITH AN ADDRESS SPECIFIED.
THIS SPECIFICATION IS JOB SPECIFIC AND IS NOT AUTHORISED OR TO BE USED AT ANY TIME FOR ANY BUILDING OTHER THAN THE BUILDING SPECIFIED ON THE SIGNED PLANS. IF THE BUILDING IS MOVED THEN A NEW CERTIFICATION IS TO BE ISSUED FOR THE NEW LOCATION.
- STRUCTURAL STEELWORK:
DEAD, LIVE AND WIND LOADS IN ACCORDANCE WITH AS 1170.1 AND 1170.2 - 2002, AND 4055 - 1992.
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.
ALL FABRICATION TO BE IN ACCORDANCE WITH AS 4680 - 1986, "COLD FORMED STEEL STRUCTURES CODE OF PRACTICE".
ALL MATERIALS TO CONFORM WITH AS 1997, "STEEL, SHED AND STRIP".
ALL BRUNGS, TIES, MASONRY ANCHORS ETC SHALL BE INSTALLED TO THE MANUFACTURER'S REQUIREMENT.
CLADDING AND CLADDING FIXING TO BE MANUFACTURER'S SPECIFICATION.
- FOOTINGS/SLAB:
THE FOOTINGS AND/OR SLAB HAVE BEEN DESIGNED FOR A CLASS 'W' AND 'H' SITE WITH A MINIMUM BEARING CAPACITY OF 100 KPA.
THE SHED IS NOT DESIGNED AS A LIVE-IN RESIDENCE AND THE ENGINEER SHOULD BE CONTACTED IF THIS IS REQUIRED.
IF SITE CONDITIONS VARY FROM THOSE SPECIFIED INCLUDING BUT NOT LIMITED TO: a) CLASSIFICATION b) SITE CUT/FILL c) WATER OR DRAINAGE PROBLEMS d) LANDSLIP OR STEEP/UNSTABLE SITE e) VARYING SOIL PROFILE ACROSS THE SITE f) PROPOSED USE OF SHED AS CLASS 1 BUILDING g) IMPOSED LOADS, ENGINEERING ADVICE SHOULD BE SOUGHT FOR THE FOOTINGS/SLAB DESIGN.
ALL SITE PREPARATIONS ARE TO COMPLY WITH AS 3798 - 1996 GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS.
ENGINEER TO ADVISE.
- CONCRETE:
(EXPOSURE CLASSIFICATIONS A1 & B1, 1-50 KM FROM COAST).
ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600-2001.
CONCRETE SHALL HAVE THE FOLLOWING PROPERTIES:-
FOOTINGS: $f_c = 20 \text{ MPa}$ @ 28 DAYS; 20 NOM AGGREGATE; 80 SLUMP
SLABS: $f_c = 25 \text{ MPa}$ @ 28 DAYS.
ALL CONCRETE SHALL BE CURED BY APPROVED METHOD FOR 7 DAYS AFTER POURING.
- REINFORCEMENT:
ALL MESH TO CONFORM WITH AS 1304.
"N" DENOTES HIGH YIELD DEFORMED BAR, GRADE 400.
"SL" DENOTES WELDED FABRIC, GRADE 500.
- MINIMUM CLEAR CONCRETE COVER:
FOOTINGS: - TO GROUND SURFACE: 75mm.
SLABS: FORMED AND SHELTERED LOCATION: 30mm.
FORMED AND EXPOSED: 40mm.
TO GROUND SURFACE: 65mm.
- MINIMUM REINFORCEMENT LAPS:
N17 BARS: 500mm LAP
3-16M & 4-18M MESH: 425 END, 225 SIDE.
- BOLTING:
ALL BOLTS TO BE M12 OR M16 ZINC PLATED AS NOTED.
- BRACING:
USE 30 x 0.8 MIN. G.I. STRAP FIXED AT ENDS TO PORTALS WITH 3 TEK SCREWS AND TO EACH INTERSECT WITH INTERMEDIATE PURLINS OR GIRTS WITH MIN. OF 1 TEK SCREW.
FOR UP TO 4 BAYS: PROVIDE MINIMUM OF 1 BAY FULLY BRACED.
FOR 5 BAYS OR MORE: PROVIDE A MINIMUM OF 2 BAYS FULLY BRACED WITH NO MORE THAN 3 CONSECUTIVE BAYS LEFT UNBRACED BETWEEN BRACED BAYS.
ALL FLY BRACING TO BE 100 x 0.8 MIN. G.I. STRAP.
SPACING: COLUMNS EVERY THIRD GIRT, RAFTERS EVERY FOURTH PURLIN.
- BASE PLATES:
BASE PLATES ARE TO BE 3mm THICK MINIMUM
OPTIONAL: 5mm THICK, REFER DETAILS AS SHOWN.

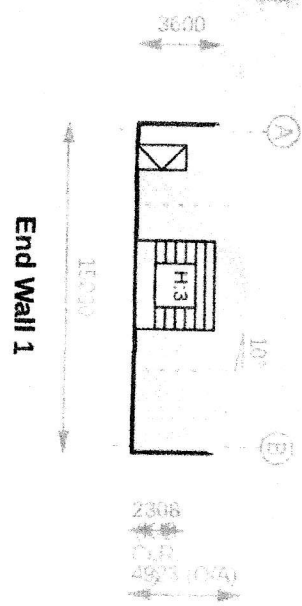
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Project Development Consultant
Civil & Structural Engineer
PO Box 718 RUMAWAY BAY, QLD 4216
Phone: (07) 55 639 103
Email: gail@bapond.net.au
Approved
G. L. Frame 0122 1001

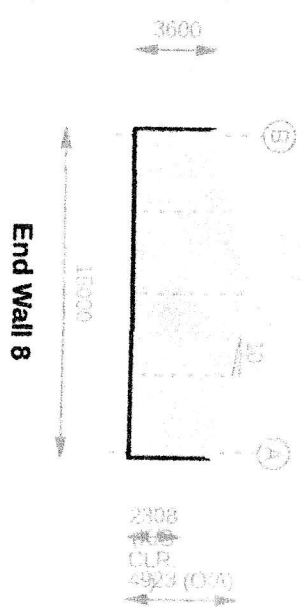


PROPOSED SHED			
LOT			
Designed GAF	Scale N.T.S.		SHEDS
Drawn A2	Date: 12/01/12	Dwg: GAF-11-1	Sheet 1

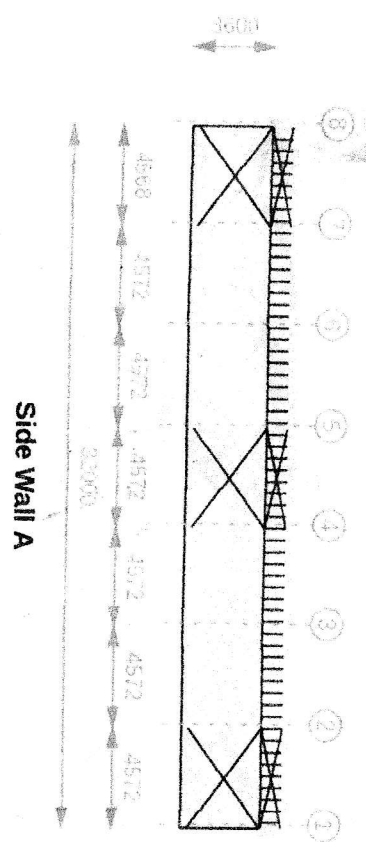
Kit on site No. 4



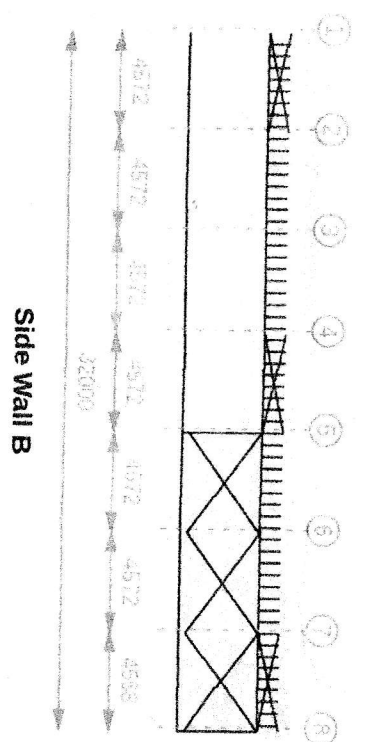
End Wall 1



End Wall 8



Side Wall A

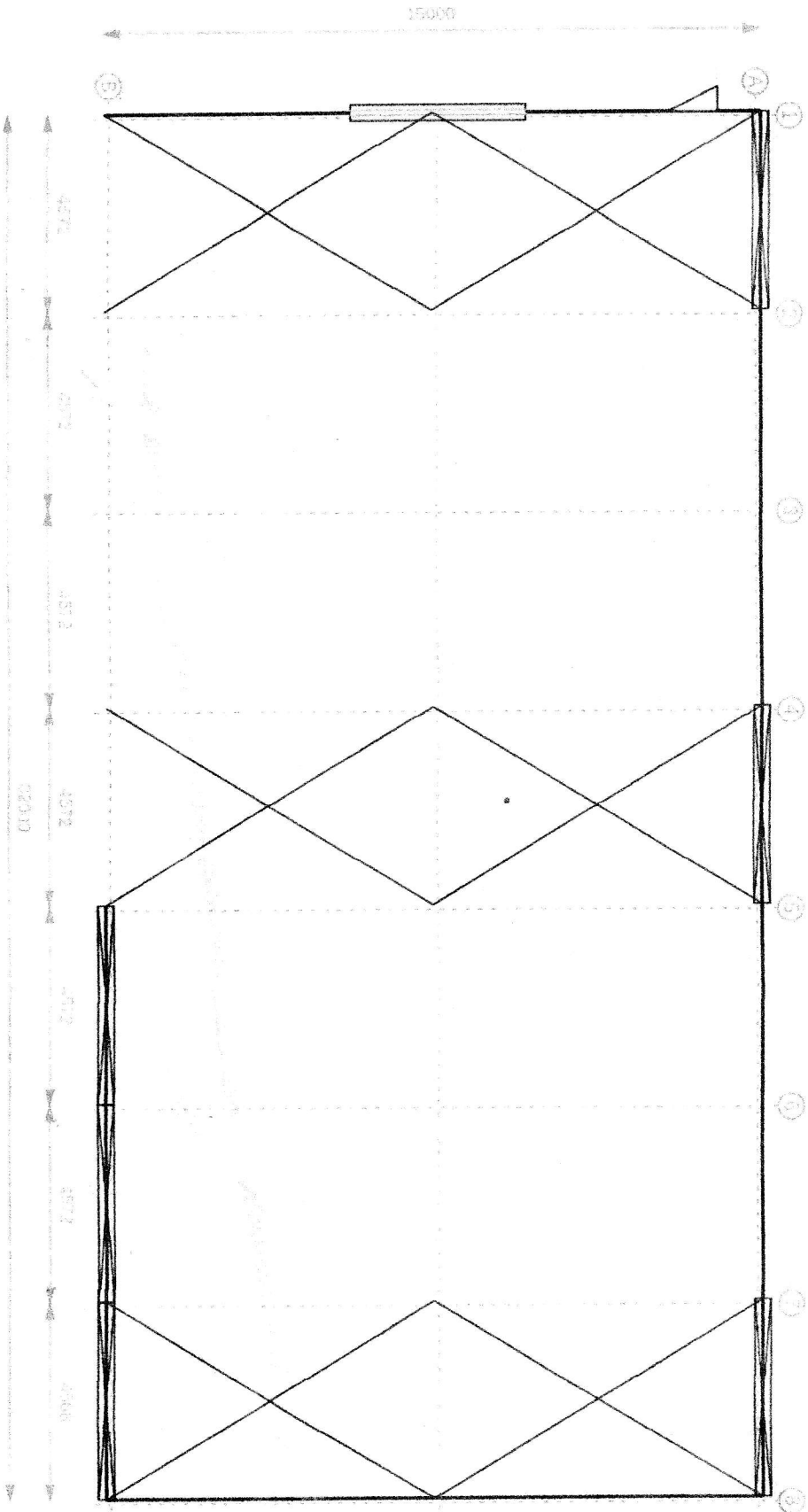


Side Wall B

Rev	Date	Description

		Title Name: CONTRACT PLANS FOR A SHED 15.0M x 32.0M x 3.6M	Job No. RSC1-155377
Client: Paul Burdell		Site address: 109 Cebra Road Mareeba, Queensland, 4880	Dwg No. 01
Site address: 109 Cebra Road Mareeba, Queensland, 4880			Date 27-Oct-2020
Rev 1			A3

kh4



Floor plan

Rev	Date	Description

Rapid Sheds & Construction

Title Name: CONTRACT PLANS
FOR A SHED 15.0M x 32.0M x 3.6M

Client: Paul Bundell

Site address: 109 Coora Road
Mareeba, Queensland, 4880

Job No. RSCL-155377

Dwg No. 02

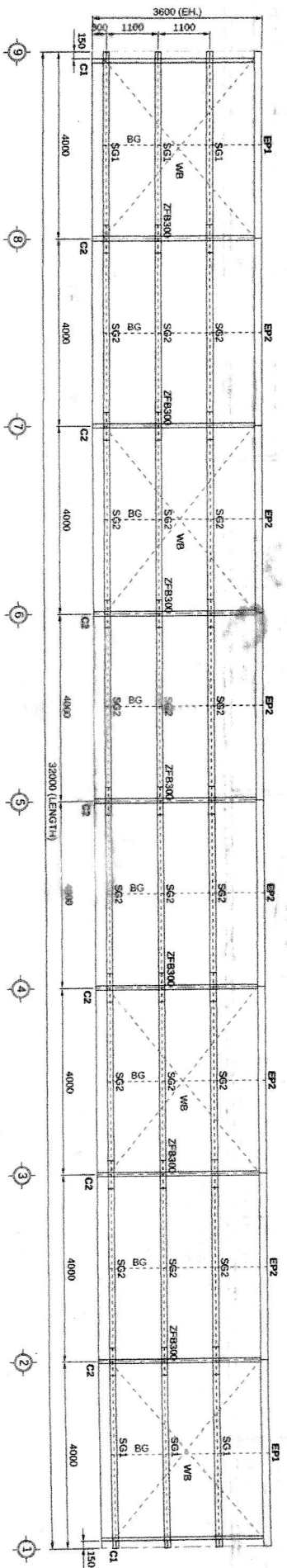
Date 27-Oct-2020

Rev 1 A3

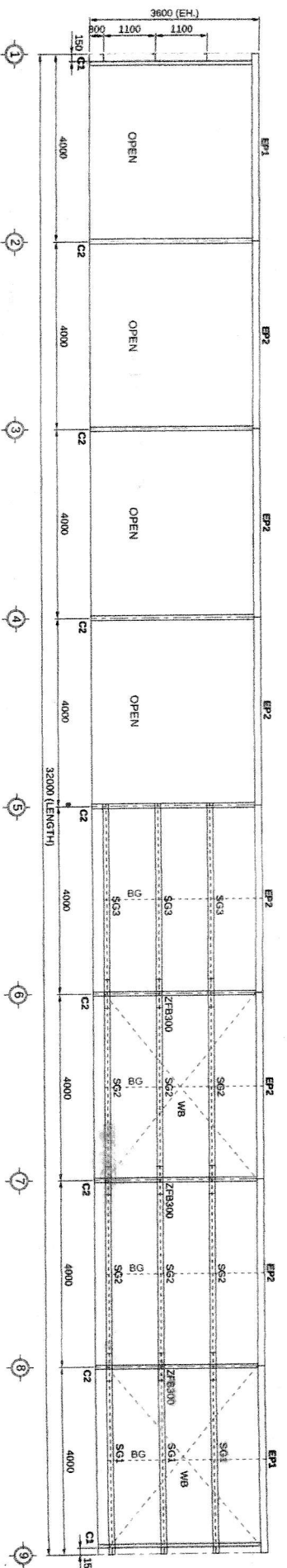
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Rev	Date	Description	<p>SHANEK HOLDINGS & ASSOCIATES ENGINEERING PVT LTD HE ADRI CENTRAL SEC Engineer (H/BE/MS) HE/12 HE ADRI CASH (500) & BPQ 4411 HE ADRI CASH (500) VS EC/3004 CP/PAUZ 115801 VS EC/3014 CP/PAUZ 115801 VS EC/3014 PO BOX 311 MIDDERBAPA OLD 4213 PR (07) 35 306 214 Email: info@shanek.com.au</p>	
<p>Project Sheets & Construction</p>			<p>Title Name: FOOTING & SLAB PLAN FOR A SHED 14M x 32M x 3.6M</p>	
<p>Client: Paul Bundeil</p>			<p>JOB NO. HSQ-135877</p>	
<p>Site address: 109 Cobb Road Marreeba, Queensland, 4850</p>			<p>Dwg No. 503</p>	
			<p>Date: 09-Nov-2020</p>	
			<p>Rev A3</p>	




ELEVATION FRAMING GLA
SCALE 1:90



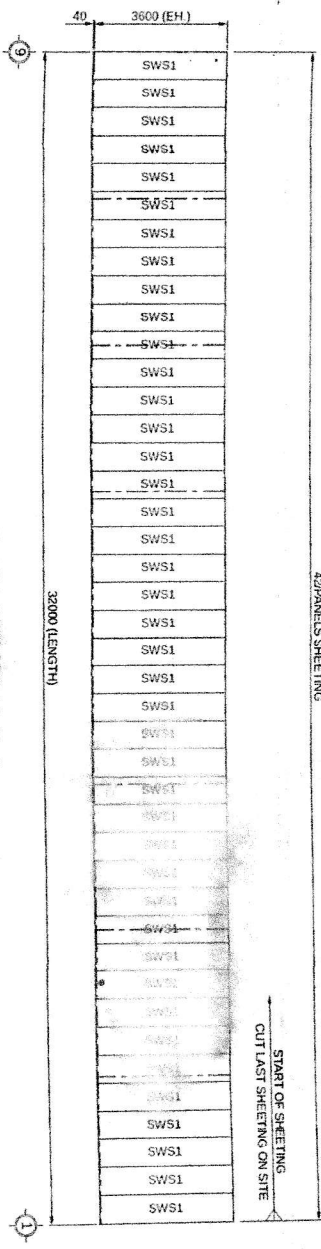
ELEVATION FRAMING GLB
SCALE 1:90

NOTE
- WALL SHEETING USING 0.42 BMT MONOCLAD
- SIDE GIRTS SPACING 1228 CTS MAX 15% LAPPED AS SUPPORT

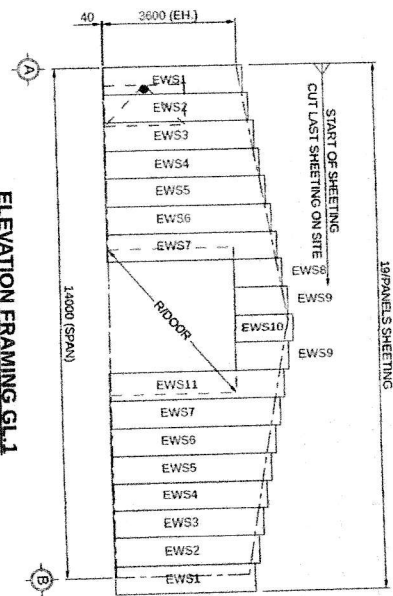
Rev	Date	Description
		ASSOCIATES ENGINEERING PTY LTD FIE AUST OPENING NER APEC Engineer (Inte/Aus) IPENZ FIE AUST OPENING 5590 - RPEQ 4431 CPRENUZ 11988, VAS CC814L NT 247485, VAS CC814L PO. BOX 213 MUDGERABA QLD 4213 Ph: (07) 55 306 214 Email: info@grma.com.au


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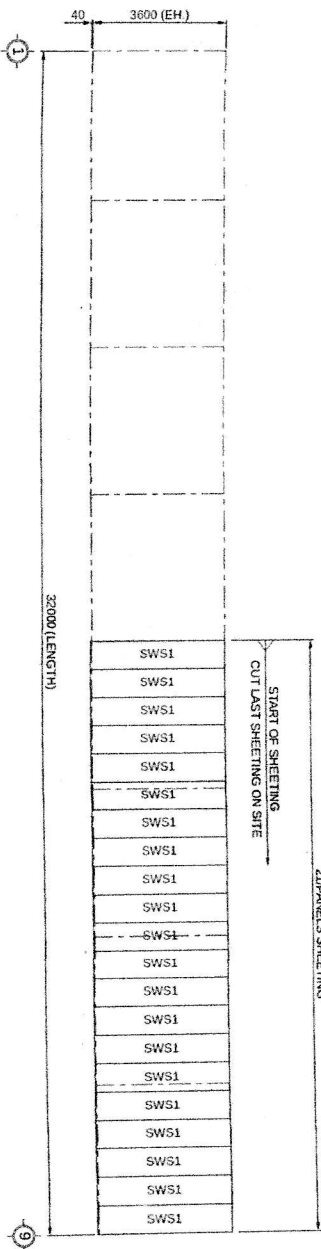
Title Name:	SIDE ELEVATION FRAMING FOR A SHED 14M x 32M x 3.6M	Job No.	RSCL-155377
Client:	Paul Bundell	Dwg No.	506
Site address:	109 Cobra Road Mareeba Queensland 4880	Date	09-Nov-2020
		Rev	A3



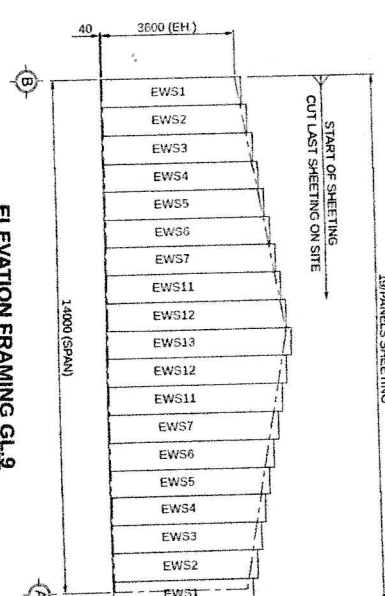
ELEVATION FRAMING GLA
SCALE 1:140



ELEVATION FRAMING GL.1
SCALE 1:140



ELEVATION FRAMING GLB
SCALE 1:140



ELEVATION FRAMING GL.9
SCALE 1:140

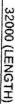
Rev	Date	Description

GRAEME MULLISTON & ASSOCIATES ENGINEERING PTY LTD
FIE AUST CPENG NER APEC Engineer (FIE/Aus) IPENZ
FIE AUST CPENG 5590 + RPEQ 4431
CPENG 115838, VAS EC0894,
NT 247485, VAS CC014,
PO BOX 213 WUDDEERABA QLD 4213
Ph: (07) 55 506 214 Email: info@pma.com.au

Rapid Structures to Construction

Title Name: ELEVATION SHEETING LAYOUT FOR A SHED 14M X 32M X 3.6M		Job No. RSC1-155377
Client: Paul Burdell	Dwg No. S08	
Site address: 109 Coora Road Mareeba, Queensland, 4880	Date: 09-Nov-2020	
	Rev: A3	

SCALE 1: 130



MEMBER SIZE SCHEDULE			
DESCRIPTION	MARK	SECTION	
ROOF PURLIN	RP	Z15015	
SIDE WALL GIRT	SG	Z15015	
END WALL GIRT	EG	Z15015	
EAVE PURLIN	EP	C15015	
MAIN COLUMN	C2	C30030	
END COLUMN	C1	C20024	
MAIN RAFTER	R2	C30030	
END RAFTER	R1	C20024	
KNEE BRACE	KB1	C20024	
MULLION COLUMN	EW1, EW2	C25019	
MULLION COLUMN	EW3	C25024	
RIDDOOR COLUMN	RDM	C20024	
RIDDOOR HEADER	RDH	NS-RDH-Z150-C200	
WIND BRACING	WB, RB	51 x 1.6 Strip	
BRIDGING	BG	CB1CB1	

NOTE

- ROOF SHEETING USING 0.42 BMT CORRUGATED
- PURLINS SPACING 803 CTS MAX 15% LAPPED AS SUPORT

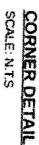
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**GRAEME MOULSTON &
ASSOCIATES ENGINEERING PTY LTD**
FIE AUST CPENG NER APPEC Engineer Inspe(Aus) IPENZ
FIE AUST CPENG 5590 + RPEC 4431
CPENNZ 115838, Vic EC50694,
NT 247485, TAS CC814L
PO. BOX 213 MUDGEERABA QLD 4213
Ph: (07) 55 306 214 Email: info@gyoma.com.au

**Rapid Sheds &
Construction**

Title Name:		ROOF SHEETING PLAN FOR A SHED 14M x 32M x 3.6M	
Client:		Paul Blundell	
Site address:		109 Cothra Road Mareeba, Queensland, 4880	
Job No.	RSCL-155377		
Dwg No.	S09		
Date	09-Nov-2020		
Rev	A3		

SCALE 1: 18



TYPICAL BRACING DETAIL
SCALE: N.T.S



FLY BRACE DETAIL
SCALE: N.T.S.

Rev	Date	Description
		GRAME MOULSTON & ASSOCIATES ENGINEERING PTY LTD FIE ALUST CREPIN METAL FABRICATION FIE ALUST CREPIN 5500 CREPINUZ 11888, VIC EC3096, NT 24748ES, TAS CC814, PO, BOX 213 MUDGEERABA QLD 4213 Ph: (07) 55 306 214 Email: info@grame.com.au
<div style="border: 1px solid black; padding: 5px;"> Papir Sheds S. Construction </div>		
Title Name: TYPICAL MAIN FRAME DETAIL FOR A SHED 14M x 32M x 3.6M		
JOB NO.	PSCC-155377	Dwg No. S10
Date	09-Nov-2020	
Rev	A3	
Site address: 109 Cobra Road Mareeba, Queensland, 4880		

ELEVATION
SCALE: NTS

1
2
3

BOC200-100EG
2-M12x30 C4.6 BOLTS TO RAF
4-C4 14x20 TO RAF

GPB250-100EG
2-M12x30 C4.6 BOLTS TO RDH.
2-M12x30 C4.6 BOLTS TO RAF.

GPB250
2-M12x30 C4.6 BOLTS TO RDH.
2-M12x30 C4.6 FACIA BOLTS TO RDH
(DRILL HOLE TO RDH TO SLIT)

GPB250
2-M12x30 C4.6 BOLTS TO RDH.
2-M12x30 C4.6 FACIA BOLTS TO RDH.

ROLLER DOOR HEADER

DOOR HEIGHT

ROLLER DOOR MULLION

2-M12x30 C4.6 BOLTS
2-C4 14x10 DYNABOLTS

PLAN VIEW
SOLENTS

DOOR OPENING

ELEVATION
SCALE: NTS

1
2
3

BOC200-100EG
2-M12x30 C4.6 BOLTS TO RAF
4-C4 14x20 TO RAF

GPB250-100EG
2-M12x30 C4.6 BOLTS TO RDH.
2-M12x30 C4.6 BOLTS TO RAF.

GPB250
2-M12x30 C4.6 BOLTS TO RDH.
2-M12x30 C4.6 FACIA BOLTS TO RDH
(DRILL HOLE TO RDH TO SLIT)

GPB250
2-M12x30 C4.6 BOLTS TO RDH.
2-M12x30 C4.6 FACIA BOLTS TO RDH.

ROLLER DOOR HEADER

DROP PIVOT

DOOR HEIGHT

ROLLER DOOR MULLION

GIRT

GIRT

GIRT

GIRT

GPB200
2-M12x30 C4.6 BOLTS
2-C4 14x10 DYNABOLTS

PLAN VIEW
SCALE: NTS

DOOR OPENING

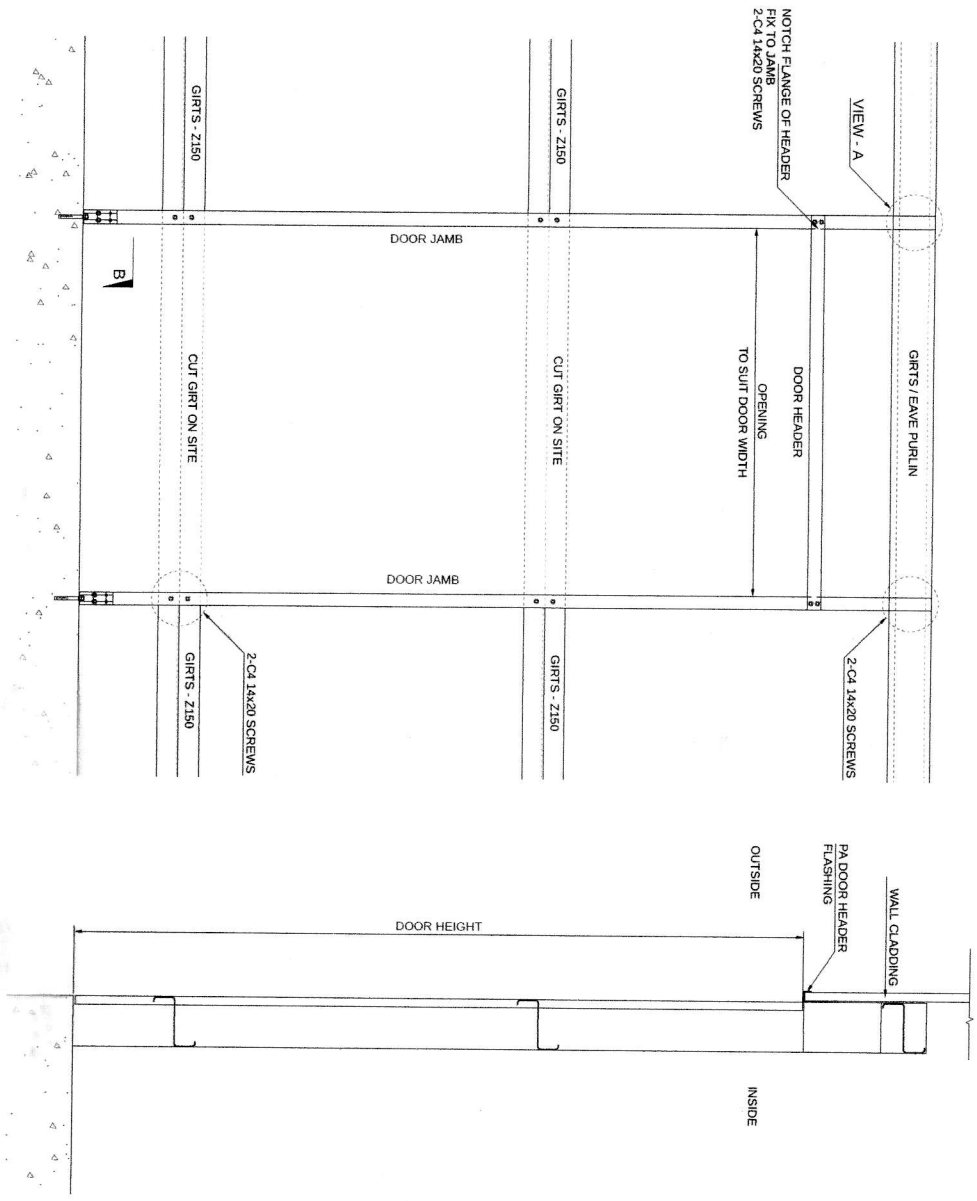
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SCALE 1: 12



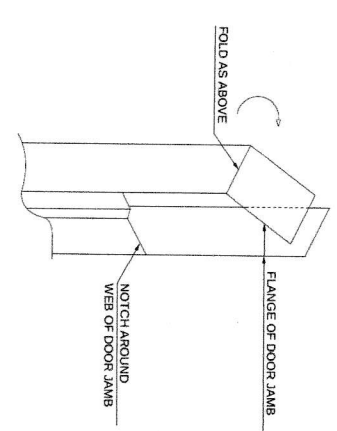
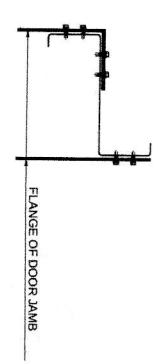
<p>DESCRIPTION</p>	
<p>GRAHAM HOLLISTON & ASSOCIATES ENGINEERING PTY LTD FILE AUST CPENG NER APEC Engineer IMPT(AUS) IPENZ FIE AUST CPENG 5990 + RPEQ 4431 CPENG NZ 1158EB, VIC EC03694, 15 COOPER RD, PMA CENTRAL PO BOX 213 MULLUMBA, VIC 3233 Ph: (07) 55 306 214 Email: info@grhcn.com.au</p>	
<p>Typical Sheds to be Constructed</p>	
<p>Title Name: TYPICAL END FRAME DETAIL FOR A SHED 14M x 32M x 3.6M</p>	
Client:	Paul Blundell
Site address:	109 Cobra Road Marcella, Queensland, 4880
Job No.	RSCL-155377
Dwg No.	S11
Date	09-Nov-2020
Rev	A3

Title Name: TYPICAL END FRAME DETAIL FOR A SHED 14M x 32M x 3.6M		Job No.	RSCJ-155377
		Dwg No.	S11
		Date	09-Nov-2020
Client: Paul Blundell		Rev	A3
Site address: 109 Cobra Road Marcebo, Queensland, 4880			

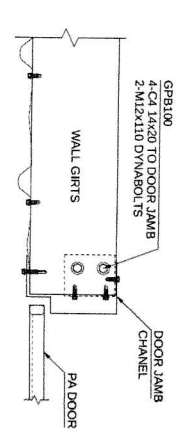


TYPICAL PA DOOR DETAIL
SCALE: N.T.S

ELEVATION
SCALE: N.T.S



VIEW-A
SCALE: N.T.S



VIEW-B
SCALE: N.T.S

Rev	Date	Description

GRAEME MULLISTON & ASSOCIATES ENGINEERING PTY LTD F/E AUSTRALIA OPEN HERB A/PEC 5580 + RPO 4431 OPENING 115888, VIC EC30894, NT 24748ES, TAS CC814L P.O. BOX 213 MUDGERABA QLD 4213 Ph: (07) 55 306 214 Email: info@gma.com.au	Rapid Sheds & Construction
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Title Name: PA DOOR DETAIL FOR A SHED 14M x 32M x 3.6M Client: Paul Blundell Site address: 109 Cobra Road Mareeba, Queensland, 4880	Job No. RSCL-155377 Dwg No. S13 Date 09-Nov-2020 Rev A3
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