

DA Form 1 – Development application details

Approved form (version 1.1 effective 22 JUNE 2018) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Terence Neville Wallace C/- Northern Building Approvals
Contact name (only applicable for companies)	Kenton Byrne
Postal address (P.O. Box or street address)	3b Margherita Close
Suburb	Mareeba
State	QLD
Postcode	4880
Country	Australia
Contact number	0447 865 265
Email address (non-mandatory)	kentonstella@bigpond.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	DA/22/0042

2) Owner's consent
2.1) Is written consent of the owner required for this development application?
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application
<input type="checkbox"/> No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		231	Walsh Street	Mareeba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4880	1	RP708211	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- Additional premises are relevant to this development application and their details have been attached in a schedule to this application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
<input type="checkbox"/> In a tidal area	
Name of local government for the tidal area (if applicable):	
Name of port authority for tidal area (if applicable):	
<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>	
Name of airport:	

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Proposed Duplex within the Side and Rear Planning Scheme Setbacks

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete DA Form 2 – Building work details

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)

8.2) Does the proposed use involve the use of existing buildings on the premises?

<input type="checkbox"/> Yes		
<input type="checkbox"/> No		

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

<input type="checkbox"/> Yes – provide additional details below
<input type="checkbox"/> No
How many stages will the works include?
What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

- | | | |
|---|-------------------------------------|--|
| <input type="checkbox"/> Road work | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: <input style="width: 300px;" type="text"/> | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots: <input style="width: 150px;" type="text"/>	
<input type="checkbox"/> No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ <input style="width: 150px;" type="text"/>

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Do any aspects of the proposed development require referral for any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Regulation 2017:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure – designated premises
- Infrastructure – state transport infrastructure
- Infrastructure – state transport corridors and future state transport corridors
- Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure – near a state-controlled road intersection
- On Brisbane core port land near a State transport corridor or future State transport corridor
- On Brisbane core port land – ERA
- On Brisbane core port land – tidal works or work in a coastal management district
- On Brisbane core port land – hazardous chemical facility
- On Brisbane core port land – taking or interfering with water
- On Brisbane core port land – referable dams
- On Brisbane core port land - fisheries
- Land within Port of Brisbane's port limits
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – construction of new levees or modification of existing levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the **local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- Local heritage places

Matters requiring referral to the chief executive of the distribution entity or transmission entity: <input type="checkbox"/> Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the Minister under the Transport Infrastructure Act 1994: <input type="checkbox"/> Brisbane core port land (inconsistent with Brisbane port LUP for transport reasons) <input type="checkbox"/> Strategic port land
Matters requiring referral to the relevant port operator: <input type="checkbox"/> Land within Port of Brisbane's port limits (below high-water mark)
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Land within limits of another port (below high-water mark)
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works, or work in a coastal management district in Gold Coast waters
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works marina (<i>more than six vessel berths</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
Note: <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i> <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. <i>Further advice about information requests is contained in the DA Forms Guide.</i>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
 No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
 No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
 No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala conservation

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

Yes

No

Note: See guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
 No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title
- No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
 No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
 No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
 No

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <i>DA Form 2 – Building work details</i> have been completed and attached to this development application	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 21</i>)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the <i>DA Rules</i> except where:</p> <ul style="list-style-type: none"> • such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or • required by other legislation (including the <i>Right to Information Act 2009</i>); or • otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>	

PART 9 – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	

Relevant licence number(s) of chosen assessment manager	
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QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date received form sighted by assessment manager	
Name of officer who sighted the form	

Planning Report for 231 Walsh Street, Mareeba QLD 4880

Proposed Duplex within Planning Scheme Side and Rear Boundary Setbacks

Prepared for: Terence Neville Wallace
Prepared by: Northern Building Approvals

Site Description

231 Walsh Street Mareeba is located on the southern side of Mareeba Township. The property is described as Lot 1 on Plan SP217448. The subject lot is 1012m² in size. The land is currently zoned Medium Density Residential Zone under the current Mareeba Shire Planning Scheme. The property has one existing dwellings with a carport. Below is an image showing the subject land.



Development Proposal

This application is for Building Works assessable against the Mareeba Shire Planning Scheme:

- Level of Assessment — Code Assessment
- Assessment Criteria – Medium Density Residential Zone Code

Attachment 1 are the plans of the proposed duplex development.

Referrals

No referrals are required.

Planning Assessment Summary

This development is for building work; proposed duplex. The development is within the Medium Density Residential zone. The location of the proposed duplex is in the planning scheme side and rear boundary setbacks trigger.

Moreover, the proposed duplex comprises of two dwelling units in addition to the existing dwelling house. The fact is that development is appropriate for this size lot, the character and amenity of the surrounding medium density residential area. Furthermore, the development generally complies with all relevant aspects of the planning scheme, except, the side and rear setbacks. The proposed setbacks are 1.5m to the outer most projection (OMP) from the southern side boundary, 1.629m to the OMP from the northern boundary and 1.5m to the OMP from the eastern rear boundary. The siting is consistent with Queensland Development Code MP 1.3 Design and Siting Standard for Duplex Housing and surrounding development. Additionally, this siting does not overlook or limit ventilation or daylight to any neighboring properties. Moreover, the siting provides suitable access to ventilation or daylight.

The property is 1012m² which will comply with the density of accommodation of the zone for the existing dwelling house with proposed two dwelling units and contributes to housing choice and affordability of housing within the town. Your swift action to approve this development is appreciated

Mandatory Supporting Information

Assessment of application against relevant Development Codes

The following Development Codes are considered to be applicable to the assessment of the application:

6.2.7 Medium density residential zone code

6.2.7 Medium density residential zone code

6.2.7.1 Application

- (1) This code applies to assessing development where:
 - (a) located in the Medium density residential zone; and
 - (b) it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

6.2.7.2 Purpose

- (1) The purpose of the medium density residential zone code is to provide for medium density multiple dwellings supported by community uses and small-scale services and facilities that cater for local residents.
- (2) Mareeba Shire Council's purpose of the Medium density residential zone code is to facilitate medium residential densities and a diversity of housing which caters for a range of households in locations which are proximate to town centres, community facilities and open space.

Small lot housing is facilitated and medium density development may include Dual occupancy and Multiple dwelling development in the form of town houses, apartments and units.

- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development provides a range of residential dwelling choices including Multiple dwellings in locations clustered around or near activity centres and transport networks;
 - (b) Development encourages and facilitates urban consolidation and the efficient use of physical and social infrastructure;
 - (c) Development is supported by employment nodes, community facilities and services, transport and commercial hubs where appropriate; Development provides and maintains a high level of amenity in the zone and is reflective of the desired character of the area;
 - (d) The scale and density of development facilitates an efficient land use pattern that supports safe and walkable neighbourhoods that are well connected to employment nodes, centres, open space and recreational areas, community services and educational opportunities;
 - (e) Other small-scale development that integrates personal employment and residential activities is encouraged, provided it complements local residential amenity;
 - (f) Development maintains a high level of residential amenity avoiding uses that introduce impacts associated with noise, hours of operation, traffic, advertising devices, visual amenity, privacy, lighting, odour and emissions;
 - (g) Non-residential development may be supported where such uses directly support the day to day needs of the immediate residential community; and
 - (h) Development responds to land constraints and mitigates any adverse impacts on adjacent land uses and the environment.

6.2.7.3 Criteria for assessment

Table 6.2.7.3A—Medium density residential zone code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
Height			
<p>PO1 Building height takes into consideration and respects the following:</p> <ul style="list-style-type: none"> (a) the height of existing buildings on adjoining premises; (b) the development potential, with respect to height, on adjoining premises; (c) the height of buildings in the vicinity of the site; (d) access to sunlight and daylight for the site and adjoining sites; (e) privacy and overlooking; and (f) site area and street frontage length. 	<p>AO1 Development has a maximum building height of:</p> <ul style="list-style-type: none"> (a) 8.5 metres; and (b) 2 storeys above ground level. 	✓	About 4.6m high
Outbuildings and residential scale			
<p>PO2 Domestic outbuildings:</p> <ul style="list-style-type: none"> (a) do not dominate the lot on which they are located; and (b) are consistent with the scale and 	<p>AO2 Domestic outbuildings do not exceed:</p> <ul style="list-style-type: none"> (a) 100m² in gross floor area; and (b) 5.5 metres in height above 	N/A	N/A

Performance outcomes	Acceptable outcomes	Complies	Comments
character of development in the Medium density residential zone.	natural ground level.		
Siting			
PO3 Development is sited in a manner that considers and respects: <ul style="list-style-type: none"> (a) the siting and use of adjoining premises; (b) access to sunlight and daylight for the site and adjoining sites; (c) privacy and overlooking; (d) opportunities for casual surveillance of adjoining public spaces; (e) air circulation and access to natural breezes; (f) appearance of building bulk; and (g) relationship with road corridors. 	AO3.1 Buildings and structures include a minimum setback of: <ul style="list-style-type: none"> (a) 6 metres from the primary road frontage; and (b) 3 metres from any secondary road frontage. 	✓	>6m from road Boundary
	AO3.2 Buildings and structures include a minimum setback of 2 metres from side and rear boundaries.	×	The proposed setbacks are 1.5m to the outer most projection (OMP) from the southern side boundary, 1.629m to the OMP from the northern boundary and 1.5m to the OMP from the eastern rear boundary. The siting is consistent with Queensland Development Code MP 1.3 Design and Siting Standard for Duplex Housing and surrounding development. Additionally, this siting does not overlook or limit ventilation or daylight to

Performance outcomes	Acceptable outcomes	Complies	Comments
			any neighboring properties. Moreover, the siting provides suitable access to ventilation or daylight.
Accommodation density			
<p>PO4 The density of Accommodation activities:</p> <ul style="list-style-type: none"> (a) contributes to housing choice and affordability; (b) respects the nature and density of surrounding land use; (c) does not cause amenity impacts beyond the reasonable expectation of accommodation density for the zone; and (d) is commensurate to the scale and frontage of the site. 	<p>AO4 Development provides a maximum density for Accommodation activities in compliance with Table 6.2.7.3B.</p>	✓	<p>The property is 1012m² which will comply with the density of accommodation of the zone for the existing dwelling house with proposed two dwelling units and contributes to housing choice and affordability of housing within the town.</p>
Gross floor area			
<p>PO5 Buildings and structures occupy the site in a manner that:</p> <ul style="list-style-type: none"> (a) makes efficient use of land; (b) is consistent with the bulk and scale of surrounding buildings; and (c) appropriately balances built and natural features. 	<p>AO5 Gross floor area does not exceed 600m².</p>	✓	<p>The proposed building is 250m² in size.</p>
For assessable development			

Performance outcomes	Acceptable outcomes	Complies	Comments
Building design			
<p>PO6 Building facades are appropriately designed to:</p> <ul style="list-style-type: none"> (a) include visual interest and architectural variation; (b) maintain and enhance the character of the surrounds; (c) provide opportunities for casual surveillance; (d) include a human scale; and (e) encourage occupation of outdoor space. 	<p>AO6 Buildings include habitable space, pedestrian entrances and recreation space facing the primary road frontage.</p>	✓	<p>The design includes habitable space, pedestrian entrances and recreation space.</p>
<p>PO7 Development complements and integrates with the established built character of the Medium density residential zone, having regard to:</p> <ul style="list-style-type: none"> (a) roof form and pitch; (b) eaves and awnings; (c) building materials, colours and textures; and (d) window and door size and location. 	<p>AO7 No acceptable outcome is provided.</p>	✓	<p>The design is consistent with established built character of the Medium density residential zone.</p>
Non-residential development			
<p>PO8 Non-residential development:</p> <ul style="list-style-type: none"> (a) is consistent with the scale of existing development; 	<p>AO8 No acceptable outcome is provided.</p>	N/A	N/A

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>(b) does not detract from the amenity of nearby residential uses;</p> <p>(c) directly supports the day to day needs of the immediate residential community; and</p> <p>(d) does not impact on the orderly provision of non-residential development in other locations in the shire.</p>			
Amenity			
<p>PO9 Development must not detract from the amenity of the local area, having regard to:</p> <p>(a) noise;</p> <p>(b) hours of operation;</p> <p>(c) traffic;</p> <p>(d) advertising devices;</p> <p>(e) visual amenity;</p> <p>(f) privacy;</p> <p>(g) lighting;</p> <p>(h) odour; and</p> <p>(i) emissions.</p>	<p>AO9 No acceptable outcome is provided.</p>	✓	<p>The design is consistent with established amenity of the local area</p>
<p>PO10 Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to:</p> <p>(a) noise;</p> <p>(b) hours of operation;</p> <p>(c) traffic;</p> <p>(d) advertising devices;</p> <p>(e) visual amenity;</p> <p>(f) privacy;</p> <p>(g) lighting;</p> <p>(h) odour; and</p> <p>(i) emissions.</p>	<p>AO10 No acceptable outcome is provided.</p>	✓	<p>The design is consistent with established amenity of the local area</p>

Table 6.2.7.3B—Maximum densities for Accommodation activities

Use	Maximum density
Dual occupancy	1 dwelling per 300m ² of site area
Multiple dwelling	(a) 1 dwelling per 150m ² of site area; and (b) 1 bedroom per 75m ² of site area.
Residential care facility	1 dwelling or accommodation unit per 100m ² of site area.
Retirement facility	1 dwelling or accommodation unit per 150m ² of site area

DRAWING SCHEDULE

Sheet size

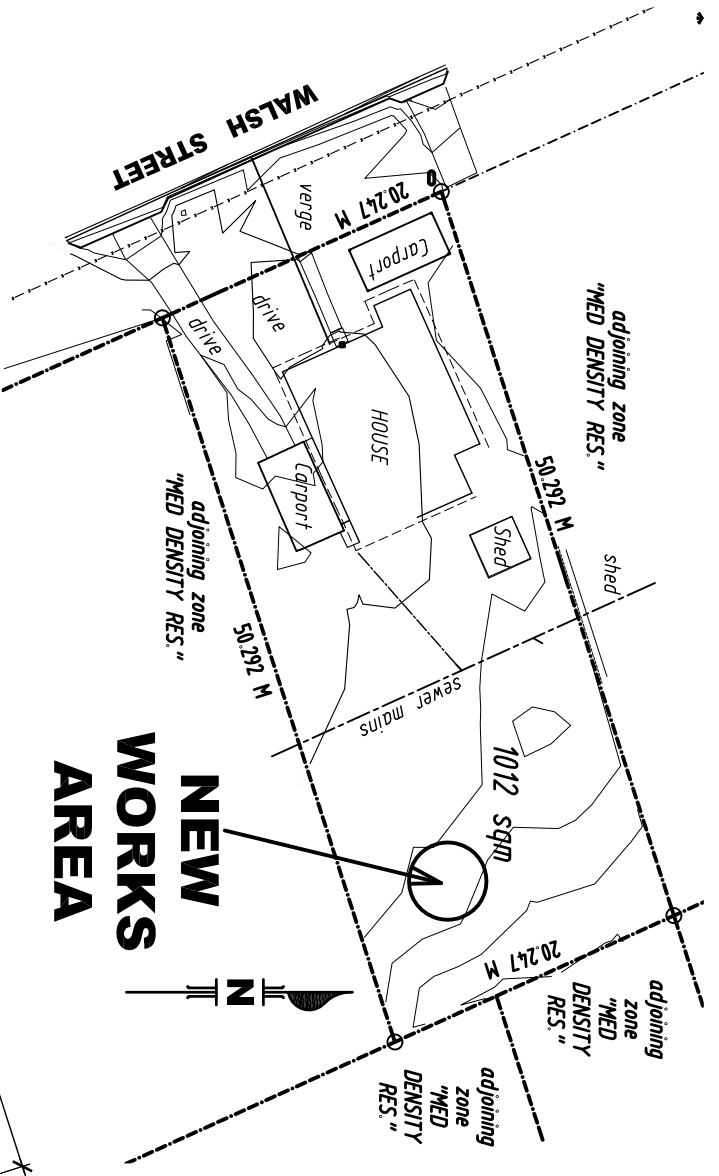
WD 00	TITLE SHEET (drawing schedule)	A3
WD 01	SITE PLANS	
WD 02	DETAIL SITE PLAN (sewer, rainwater, & service connections)	A3
WD 03	FLOOR PLAN	
WD 04	FLOOR PLAN MEASURE –UNIT A	
WD 05	FLOOR PLAN MEASURE –UNIT B	
WD 06	SET-OUT FLOOR PLAN	
WD 07	SLAB & FOOTINGS PLAN	
WD 08	FOOTINGS DETAILS	A3
WD 09	ROOF STRUCTURES PLAN	
WD 10	ROOF STRUCTURES DETAILS	
WD 11	ROOF and CEILING PLAN (includes gutters & dp)	
WD 12	SEPARATION WALL –fire, acoustic	
WD 13	SEPARATION WALL –structural	
WD 14	WALL SPECIFICATION PLAN –structural	
WD 15	SECTIONS	
WD 16	SECTIONS	
WD 17	SECTIONS	
WD 20	ELECTRICAL LAYOUT	A3
WD 40	ELEVATIONS –EXTERNAL	
WD 41	ELEVATIONS –EXTERNAL	A3
WD 42	WINDOWS & EXTERNAL DOOR SCHEDULE	
WD 101	“Structural Engineers Design Notes”	A3
WD 102	TIMBER TRUSS TIE-DOWNS	
WD 200	“Architectural Design Notes and Abbreviations”	
WD 200	DESIGNERS WHS REPORT	A3

-NEW DUPLEX (class 1a)-
at

231 WALSH STREET
4880
MAREEBA

PROJECT:		DATE: OCT 2018	
231 WALSH STREET		SCALE: AS SHOWN ON 'A3' SHEET	
MAREEBA		DRAWING TITLE:	
4880		TITLE SHEET	
-RESIDENTIAL- NEW DUPLEX		JOB NO:	SHEET No.
		0486	WD 00
			B
ISSUE			

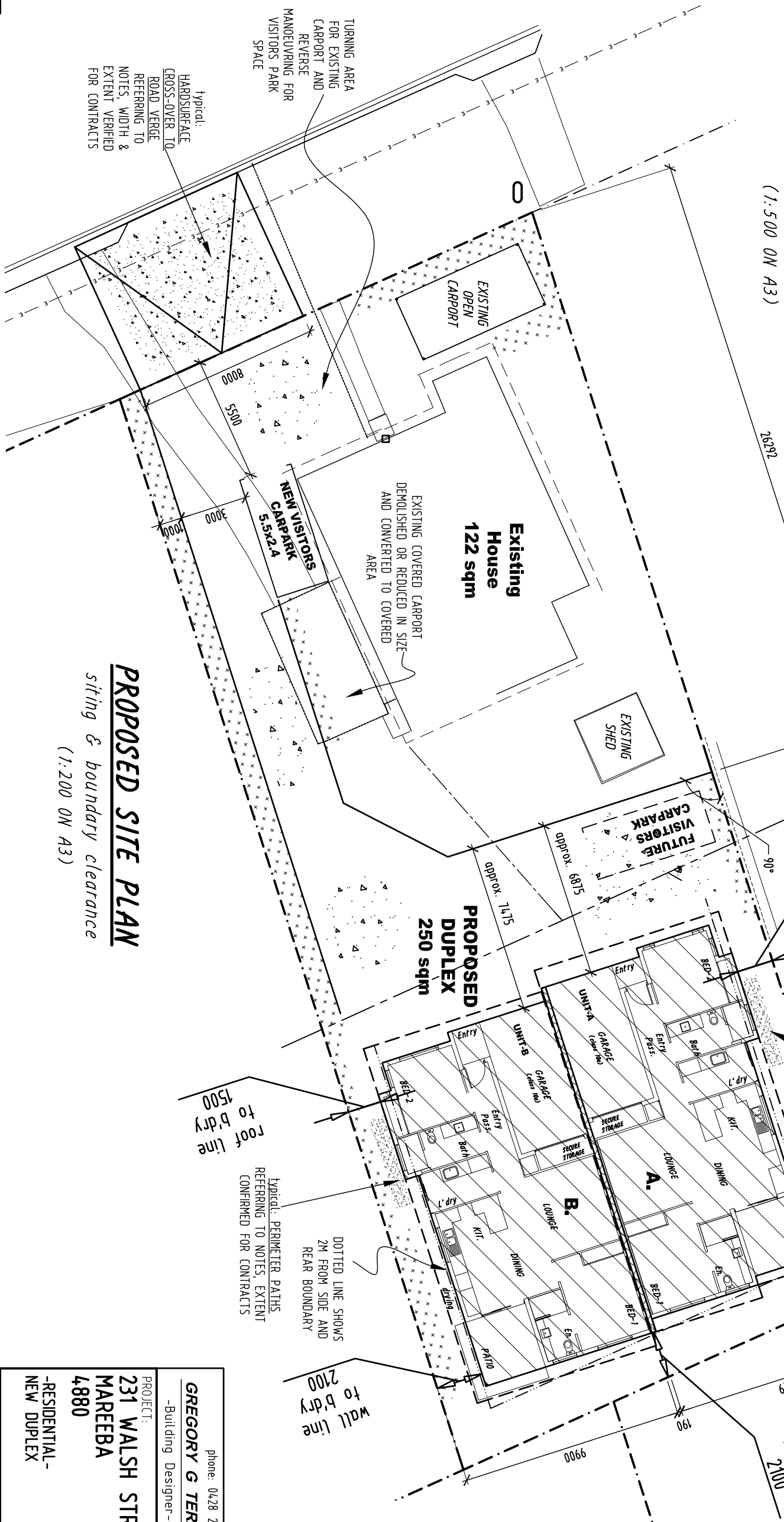
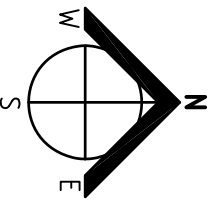
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GREGORY G TERZI Associate Diploma Architectural Technology **Building Design & Drafting**
-Building Designer - Medium Rise - QBCC LICENCE: 1117048-



existing SITE PLAN
(1:500 ON A3)

NEW WORKS AREA

LOT 1 on RP 708 211
SITE AREA = 1012 sqm



PROPOSED SITE PLAN
siting & boundary clearance
(1:200 ON A3)

- HARDSURFACE DRIVEWAY: UNO, CONCRETE DRIVEWAY WITH SELECTED FINISH TO HAVE GRADIENTS AND STORMWATER RUN-OFF DESIGNED IN ACCORDANCE TO 'ODC-NMP11' (length, width & extent to be verified)
- INSTALL TO MEET TERMITTE CONTROL REQUIREMENTS WHEN JOINING BUILDINGS
- FOR CONC. ALLOW SAWCUT OR DEEP TOOLED JOINTS TO MINIMISE CRACKING
- HARDSURFACE VERGE CROSS-OVER- DRIVEWAY LEVEL WITH ADJOINING ROAD VERGE. CONSTRUCTED WIDTH AND JOIN WITH KERB TO MEET LOCAL COUNCIL REQUIREMENTS.
- FOR CONC. ALLOW SAWCUT OR DEEP TOOLED JOINTS TO MINIMISE CRACKING
- HARDSURFACE FOOTPATH or MOWING STRIP: IF APPLICABLE CONFIRM TYPE, WIDTH and EXTENT SHOWN ON PLANS. INSTALL TO COMPLY WITH TERMITTE CONTROL REQUIREMENTS BETWEEN BUILDINGS EXTERNAL AND INTERNAL FLOOR LEVELS.
- DESIGNATED AREAS FOR NEW & EXISTING LANDSCAPING

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PROJECT: **231 WALSH STREET**
MAREEBA
4880

-RESIDENTIAL-
NEW DUPLEX

DATE: OCT 2018
SCALE: AS SHOWN ON A3 SHEET
DRAWING TITLE: **SITE PLAN**

JOB NO. **0486** SHEET No. **WD 01** ISSUED

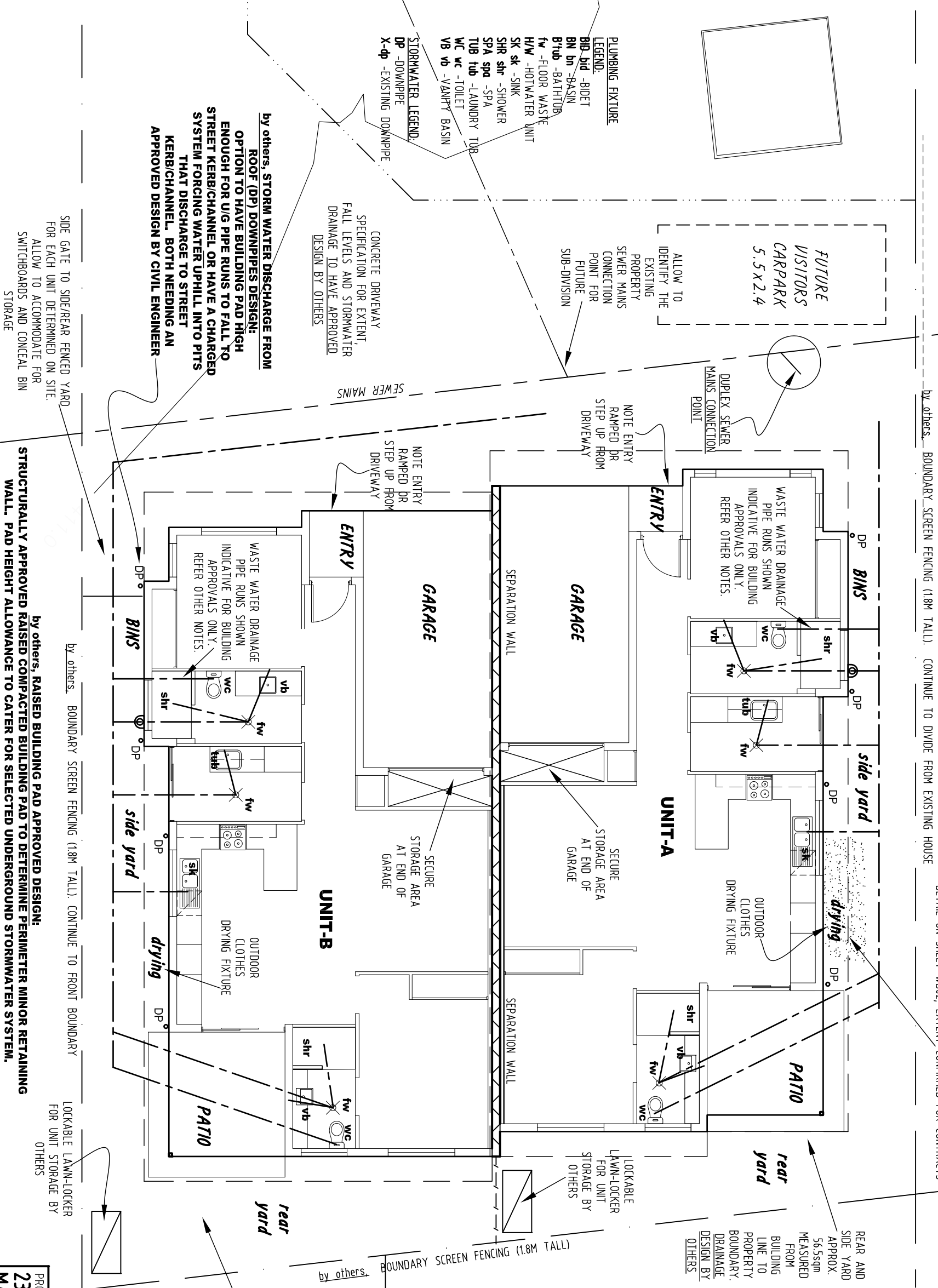
- unless noted otherwise,
FINISHED GROUND LEVELS and SITE FOR NEW WORKS:
- REFER TO STRUCTURAL ENGINEERS SITE PREPARATION NOTES
 - GRADE FINISHED GROUND LEVELS AWAY FROM BUILDINGS FOR GOOD SURFACE WATER DRAINAGE.
 - WHERE CUT/FILL IS TO FORM BUILDING PAD, FINAL SEWERAGE CONNECTION POINT, FLOW OF U/G STORMWATER, and SURFACE WATER RUN-OFF SHALL CONTRIBUTE TO DETERMINE PAD HEIGHT AND EXTENT.

unless noted otherwise,
EXISTING SERVICES BEING UNDERGROUND, OVERHEAD, OR WITH-IN BUILDINGS

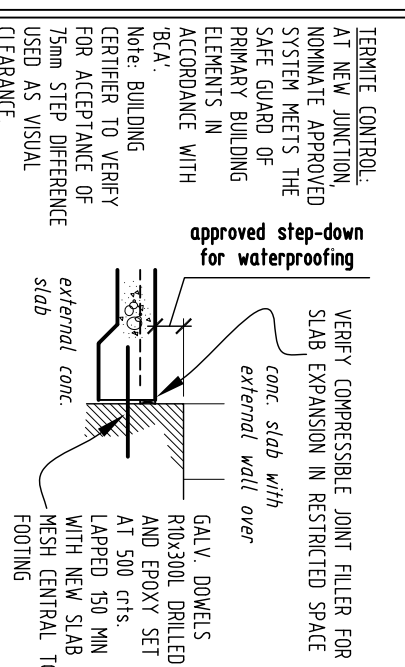
- CHECK ON-SITE FOR ALL EXISTING SERVICES PRIOR TO CONSTRUCTION.
- CONSULT WITH AUTHORISED CONTRACTORS FOR ANY AFFECTED BY NEW WORKS.

unless noted otherwise,
WATER, POWER, and COMMUNICATIONS SUPPLY

CONNECTIONS FOR NEW OR ALTERED EXISTING ARE TO COME FROM AN APPROVED EXISTING ON-SITE POINT OR BE THE PRIMARY POINT IN FROM A MAINS. SPECIFIC TO SITE IT IS TO BE ADVISED BY THE AUTHORISED CONTRACTOR.



EXTERNAL CONCRETE SLABS JOINING CONCRETE FOOTINGS OF CLASS 1a (driveways, paths)



DOMESTIC WASTE WATER DRAINAGE:

WHERE SHOWN IS INDICATIVE ONLY AND FOR BUILDING APPROVAL INFORMATION ONLY. PIPE RUNS (and associated vents) TO BE DESIGNED BY AUTHORISED PLUMBER FOR LAYOUT SUITING SITE CONDITIONS AND KNOWN FUTURE STRUCTURES

STORMWATER DOWNPIPES (DP) and DISCHARGE PIPE RUNS:

- refer to roof plan for sizing of dp
- STORM WATER DP'S NOT FEEDING A WATER HARVESTING SYSTEM ARE TO DISPERSE INTO NEW OR EXIST UNDERGROUND PIPE SYSTEM LEADING TO A LAWFUL POINT OF DISCHARGE.
- UNDERGROUND RUNS WHERE SHOWN ARE INDICATIVE FOR BUILDING APPROVAL INFORMATION ONLY. INSTALL UNDERGROUND PIPES TO SUIT SITE CONDITIONS --VERYRY NUMBER DP'S PER PIPE RUN--
- DP FIXED WITH SPACER CONNECTORS FOR CLEARANCE WITH WALLS FOR TERMITE MANAGEMENT

HOSE COCK (EXTERNAL WATER TAP):

- CONTRACTS TO FINAL NUMBER & POSITION ALLOCATED FOR BUILDING CONFIRMING ANY SHOWN ON PLANS

SOIL INVESTIGATION REPORT

By: Dirt Professionals
 Job Reference: 20485
 CLASS 'M'

PROJECT: **231 WALSH STREET MAREEBA 4880**

DESIGNER: **GREGORY G TERZI** - Residential - Building Design & Drafting

DATE: OCT 2018

SCALE: AS SHOWN ON 'A3' SHEET

DRAWING TITLE: **DETAIL SITE PLAN**

JOB NO. 0486 SHEET No. **WD 02** ISSUE **B**

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Building Design & Drafting

Building Design & Drafting

DETAIL SITE PLAN

SEWER, RAINWATER, SERVICE CONNECTIONS

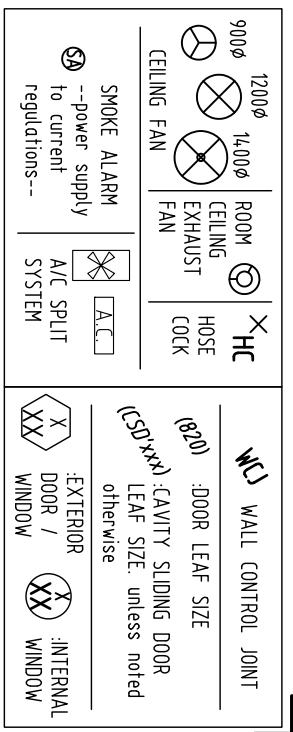
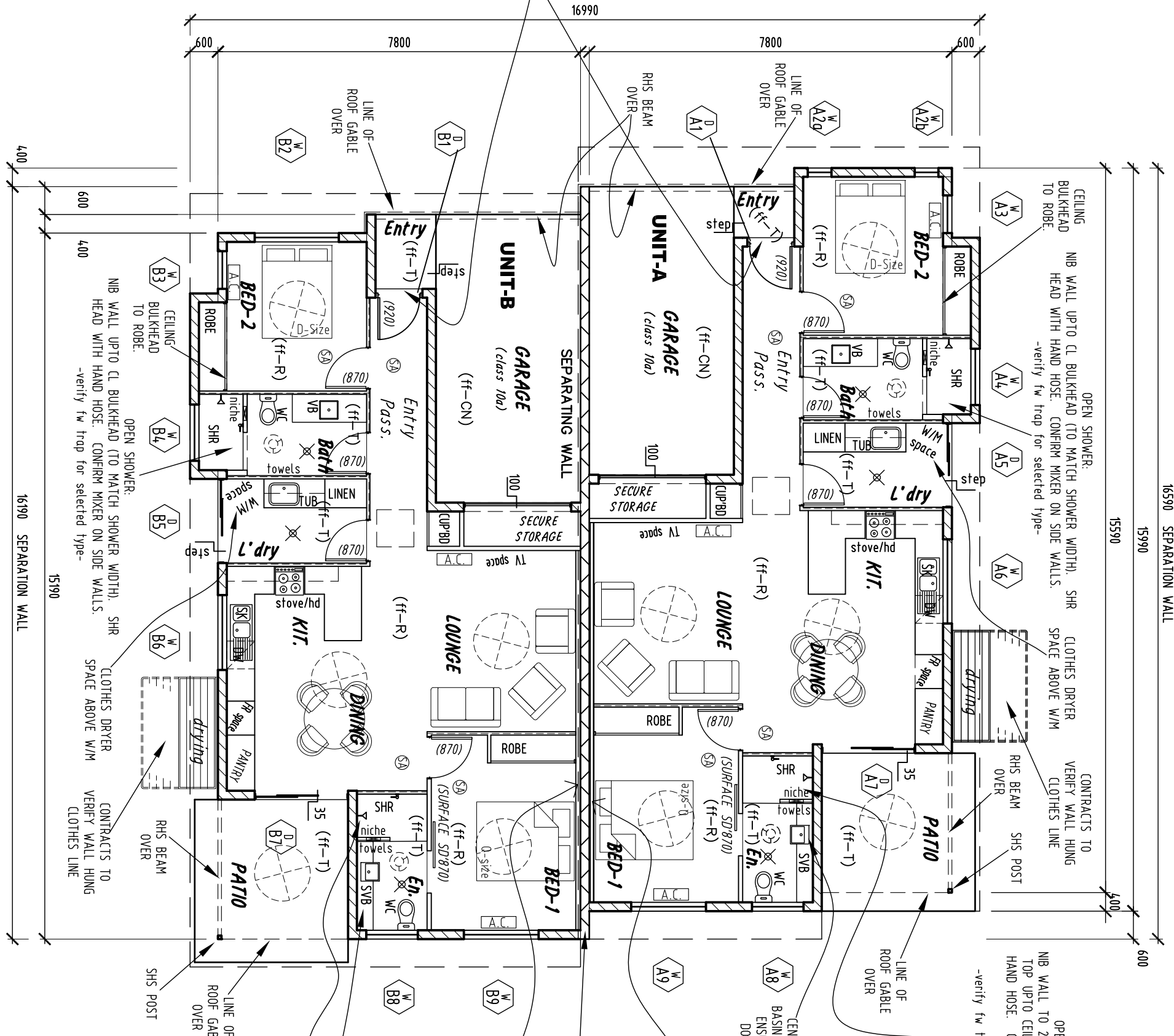
(1:100 ON A3)

ARCHITECTURAL DESIGN NOTES:
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH SHEET TITLED "Architectural Design Notes"

EXTERNAL WATER TAPS (HT):
 CONTRACTS TO HAVE FINAL NUMBER ALLOCATED FOR BUILD. VERIFY ANY SHOWN ON PLANS

AIR CONDITIONING (A/C):
 CONTRACTS TO CONFIRM AIR CONDITIONING APPLIES FOR CURRENT INSTALL OR FOR A FUTURE PROVISION. check for all areas where units are shown on plans. VERIFY IF APPLICABLE THE TYPE, INTERNAL & EXTERNAL UNITS POSITION, AND PROVISION OF CONDENSATION PIPES THROUGH STRUCTURAL FLOOR TERMINATE CONDENSATION PIPES TO AN APPROVED POINT OF DISCHARGE

ALLOW MINOR STEP IN SLAB LEVELS FOR PROPRIETARY THRESHOLD PLATE (RAKED) BETWEEN ENTRY TILE FINISH AND ENTRY AND ENTRY PASSAGE RESILIENT FLOORING. (FOR WEATHER PROOFING)



(ff) FLOOR FINISH LEGEND:
 ff-CN - CONCRETE WITH EXPOSED AGGREGATE
 ff-CN/S - CONCRETE NATURAL SURFACE SEALANT (confirm non-slip)
 ff-T - TILE (confirm non-slip where applicable)
 ff-R - RESILIENT FLOORING (ie. Vinyl, Lino/leum)

UNIT-A SEPARATION WALL
 ACoustic COMPLIANCE TO BEDROOM & LOUNGE SIDE OF SEPARATING WALL, IT REQUIRES SPECIFIED ACoustic FRAMING AND LINING LAYER UPTO U/S OF ROOF CLADDING.

UNIT-B SEPARATION WALL
 ACoustic COMPLIANCE TO BEDROOM & LOUNGE SIDE OF SEPARATING WALL IT REQUIRES LAYER OF SPECIFIED PLASTERBOARD DIRECT INSTALL OVER BL'WK UPTO U/S OF ROOF CLADDING. FOR ELECTRICAL OUTLETS AND OTHER SERVICES INSTALL AN ADDITIONAL 70 STUD WALL WITH FINISHED SHEETING UPTO CEILING ONLY

SEPARATING WALL:
 ACoustic Rw+Cw 50 min. equal to GYPROCK System CSR761 which utilizes block wall system with on Rw value >41

SEPARATING WALL:
 FIRE RATING (FRL) 60/60/60 equal to CONCRETE BLOCK MASONRY MANF. 'ADRI'. TEST/OPINION NUMBER RR/05/3 943.Rpt6 (Rw 55)
 REFER DETAILS FOR EXTENT OF WALL HEIGHT AND TERMINATION WITH TOP OF ROOFS

OTHER INTERNAL STUD WALLS ACoustic INSULATION:
 UNLESS SPECIFIED DIFFERENT BY OWNER, ALLOW 70mm ACoustic BULK WALL INSULATION (R-1.7)
 • WALLS SURROUNDING BATHROOM, TOILETS, L'DRY, ENSUITE
 • WALLS DIVIDING A BEDROOM FROM BEDROOM, LIVING, MEDIA, KITCHEN OR CORRIDOR

WET-AREA WALL TILES:
 SELECTED WALLS TILING EXTENT
 • MAIN BATHROOM AND ENSUITE -UPTO CEILING
 • LAUNDRY AND KITCHEN - TO SPLASHBACKS OF WATER VESSELS AND CONTINUE FOR LENGTH OF BENCH UPON CONFIRM OWNERS FOR THE MIN. COMPLIANT HEIGHT NEEDED

OPEN SHOWER: NIB WALL TO 2000AFL WITH GLASS ON TOP UPTO CEILING. SHR HEAD WITH HAND HOSE. CONFIRM MIXER ON SIDE WALLS. VERIFY fw trap for selected type-

CLOTHES DRYER SPACE ABOVE W/M VERIFY WALL HUNG CLOTHES LINE

CONTRACTS TO VERIFY WALL HUNG CLOTHES LINE

RHS BEAM OVER

LINE OF ROOF GABLE OVER

SHS POST

OPEN SHOWER: NIB WALL TO 2000AFL WITH GLASS ON TOP UPTO CEILING. SHR HEAD WITH HAND HOSE. CONFIRM MIXER ON SIDE WALLS. VERIFY fw trap for selected type-

FLOOR PLAN (1:100 ON A3)

- FOR DIMENSIONED PLANS ON EACH UNIT OF DUPLEX, REFER SHEETS WDO4, WDO5
- FOR SLAB SETUP PLAN & floor areas measure, REFER DUPLEX SHEET -WDO6

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 Architectural Technology **Building Design & Drafting**

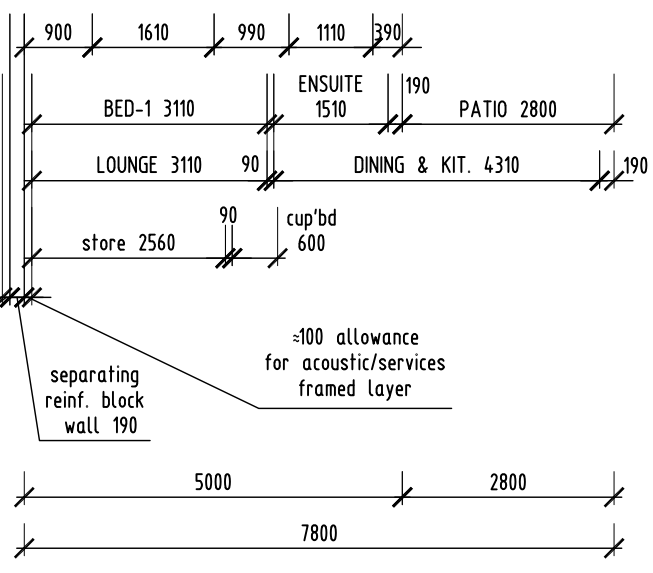
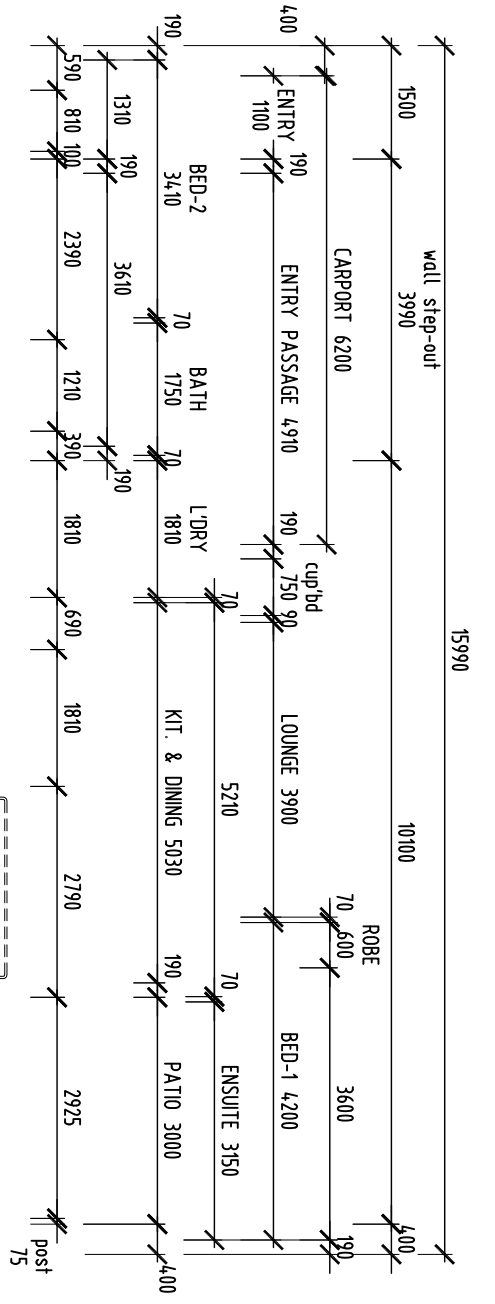
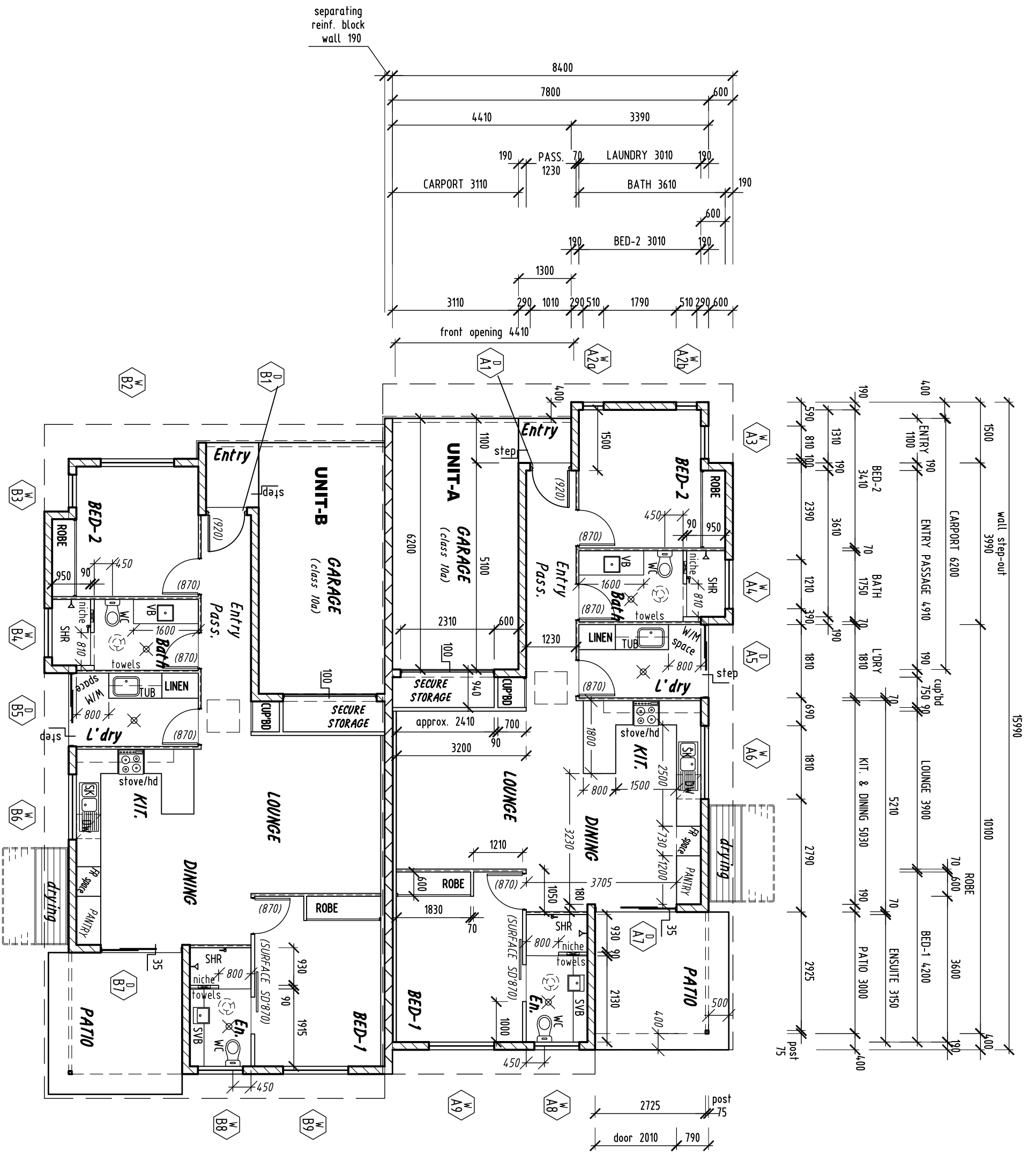
-Building Designer - Medium Rise - QBCC LICENCE: 1171048-

PROJECT: 231 WALSH STREET
 MAREEBA
 4880

-RESIDENTIAL-
 NEW DUPLEX

DATE: OCT 2018
 SCALE: AS SHOWN ON 'A3' SHEET
 DRAWING TITLE: FLOOR PLAN

JOB NO. 0486 SHEET No. WD 03 ISSUE D



≈100 allowance for acoustic lining & added services framed layer over

≈100 allowance for acoustic/services framed layer

9000 12000 14000 ROOM EXHAUST FAN HOSE COCK A/C SPLIT SYSTEM	SMOKE ALARM --power supply to current regulations-- A/C SPLIT SYSTEM	W/C V/B SHR niche towels LINEN TUB W/M stove/hd PANTRY drying PATIO BED-1 BED-2 BATH L'dry LOUNGE DINING & KIT. GARAGE Entry PASS. CARPORT SECURE STORAGE ROBE cup'bd store
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Building Design & Drafting

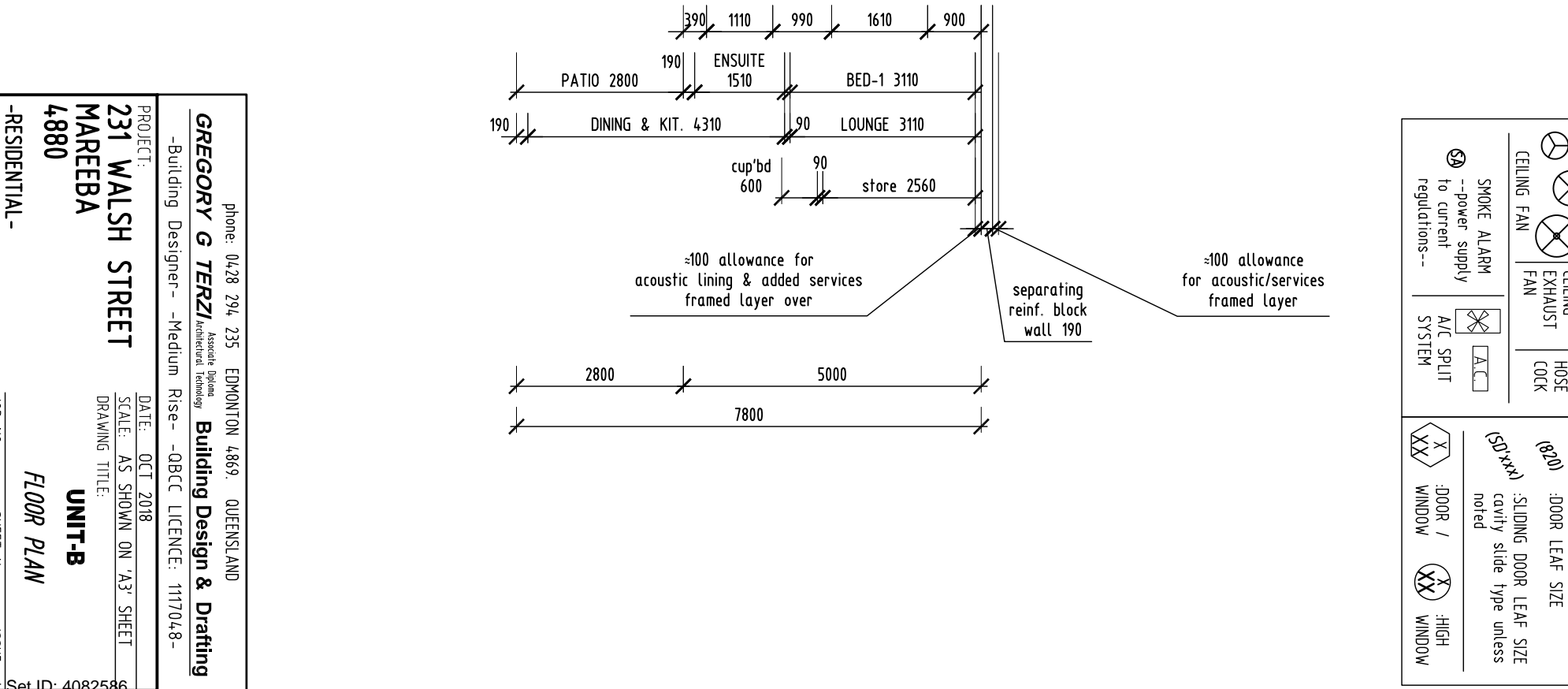
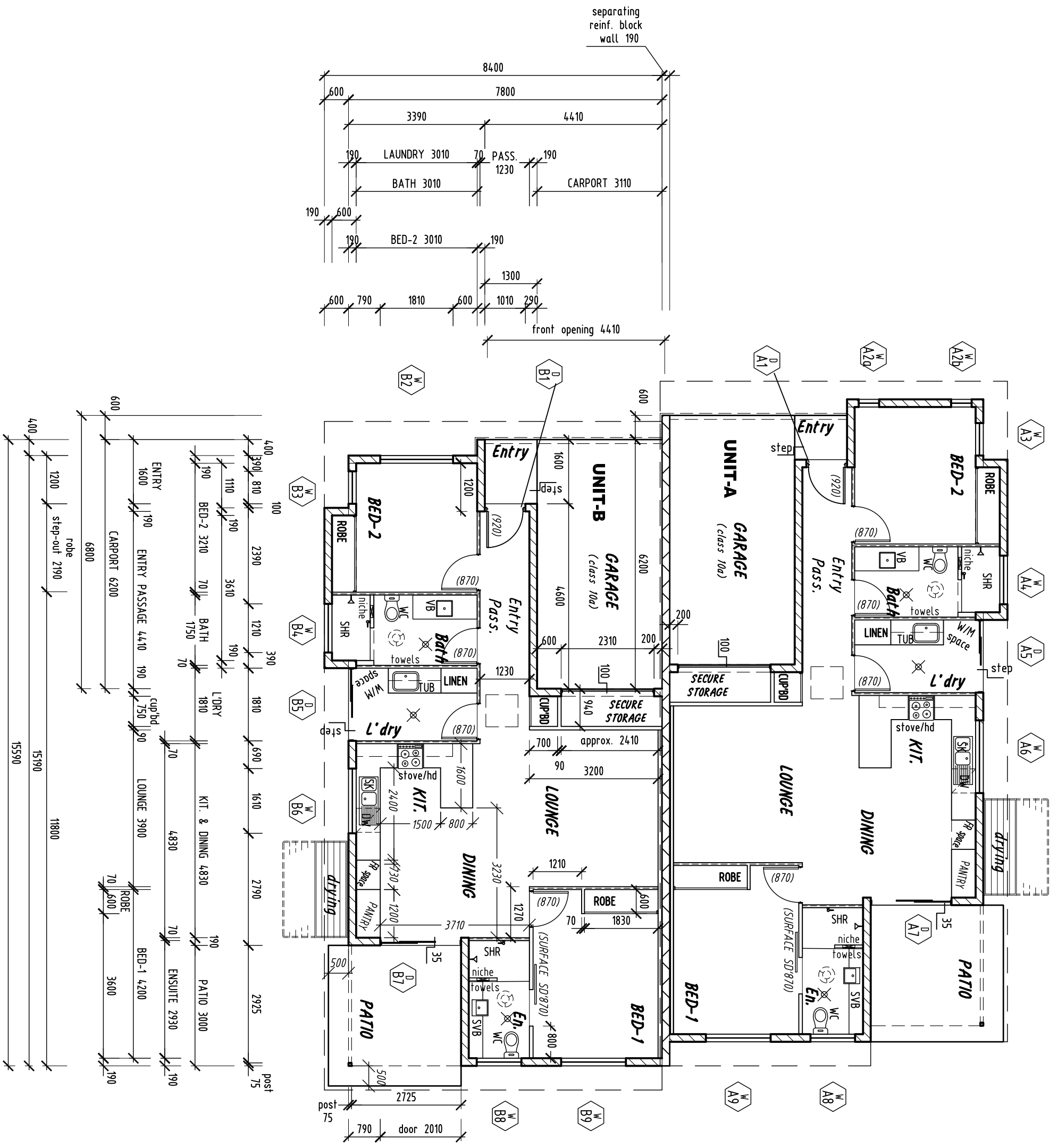
-Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-

PROJECT: **231 WALSH STREET**
MAREEBA
4880

-RESIDENTIAL-
NEW DUPLEX

DATE: OCT 2018
SCALE: AS SHOWN ON 'A3' SHEET
DRAWING TITLE: **UNIT-A**
FLOOR PLAN

JOB NO. **0486** SHEET NO. **WD 04** ISSUE **C**



900Ø	1200Ø	1400Ø	ROOM	HC	W/C
CEILING FAN	CEILING EXHAUST FAN	HOSE COCK	HOSE COCK	WALL CONTROL JOINT	WALL CONTROL JOINT
SMOKE ALARM	A/C SPLIT SYSTEM	A/C SPLIT SYSTEM	A/C SPLIT SYSTEM	DOOR / WINDOW	DOOR / WINDOW
to current regulations--	power supply	power supply	power supply	DOOR / WINDOW	DOOR / WINDOW
(SD,XXX)	(SD,XXX)	(SD,XXX)	(SD,XXX)	DOOR / WINDOW	DOOR / WINDOW
(SD,XXX)	(SD,XXX)	(SD,XXX)	(SD,XXX)	DOOR / WINDOW	DOOR / WINDOW
(SD,XXX)	(SD,XXX)	(SD,XXX)	(SD,XXX)	DOOR / WINDOW	DOOR / WINDOW
(SD,XXX)	(SD,XXX)	(SD,XXX)	(SD,XXX)	DOOR / WINDOW	DOOR / WINDOW
(SD,XXX)	(SD,XXX)	(SD,XXX)	(SD,XXX)	DOOR / WINDOW	DOOR / WINDOW
(SD,XXX)	(SD,XXX)	(SD,XXX)	(SD,XXX)	DOOR / WINDOW	DOOR / WINDOW
(SD,XXX)	(SD,XXX)	(SD,XXX)	(SD,XXX)	DOOR / WINDOW	DOOR / WINDOW

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Architectural Technology

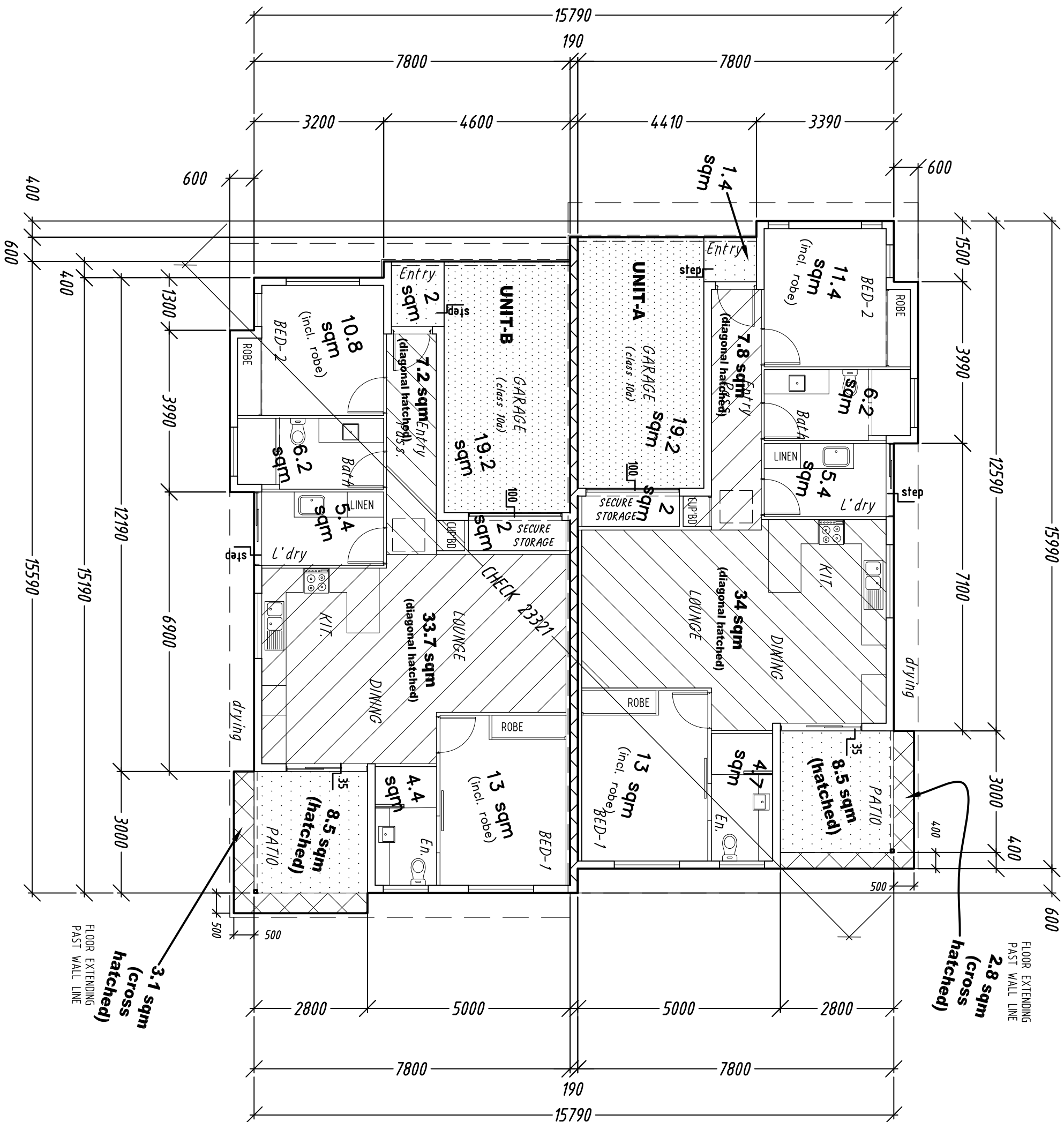
Building Design & Drafting

Building Designer - Medium Rise - QBCC LICENCE: 1117048-

PROJECT: 231 WALSH STREET
MAREEBA
4880

DATE: OCT 2018
SCALE: AS SHOWN ON 'A3' SHEET
DRAWING TITLE: UNIT-B FLOOR PLAN

JOB NO. 0486 SHEET NO. WD 05 ISSUE C



BUILDING AREAS

- **Footprint Area: 250 sqm**
-Measure includes external walls.
-Measure excludes area of outdoor floors projecting past wall face.
-Measure excludes roof eaves.
- **UNIT-A Area: 123 sqm**
- **UNIT-B Area: 122 sqm**
-Measured from inside face of separation wall (and acoustic linings) to its external face of exterior walls.
-Measure excludes area of outdoor floors projecting past wall face

CROSS REFERENCE ALL DIMENSIONS WITH CURRENT FLOOR PLAN.

Given areas are for estimating purposes and need to be checked by trade contractor.

SET-OUT PLAN & Room Areas (sqm)

(1:100 ON A3)

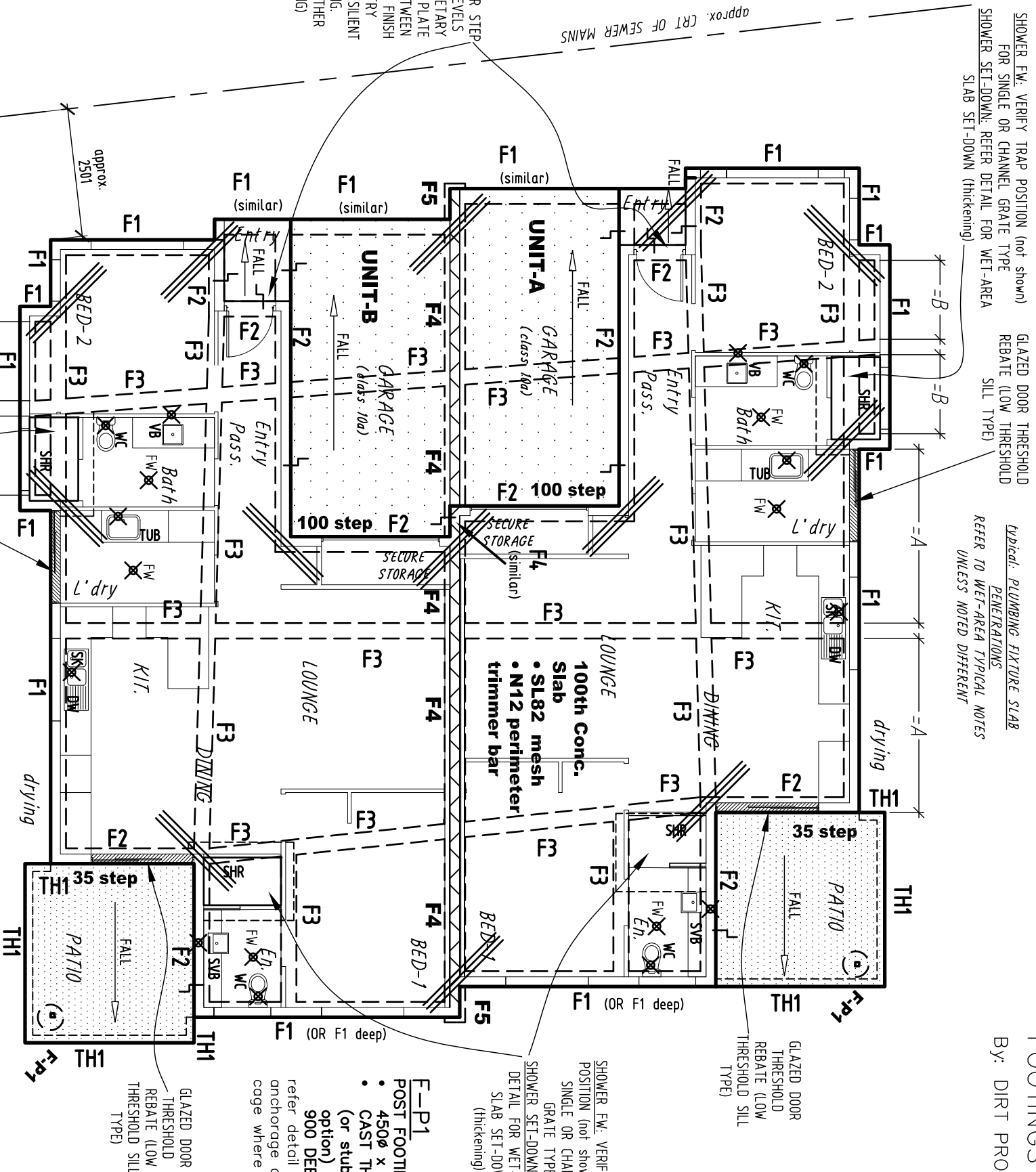
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GREGORY G TERZI Associate Designer	Building Design & Drafting
-Building Designer - Medium Rise - QBCC LICENCE: 1117048-	
PROJECT: 231 WALSH STREET MAREEBA 4880	DATE: OCT 2018
-RESIDENTIAL- NEW DUPLEX	SCALE: AS SHOWN ON 'A3' SHEET
	DRAWING TITLE: SET-OUT FLOOR PLAN & sqm areas
JOB NO. 0486	SHEET NO. WD 06
	ISSUE C

EXISTING SEWER MAIN DEPTH AT APPROX. 1.8M BELOW NATURAL G.L. THIS DEPTH WILL INCREASE WITH NEW BUILDING PAD REQUIRED FOR U/G STORMWATER PIPE RUNS TO ROAD KERB. CALCULATED DEPTH AND ITS ALIGNMENT USING SEWER PLANS PROVIDED BY COUNCIL. BUILDER TO CHECK ON SITE FOR NEW DEPTH AND ZONE OF INFLUENCE WITH HOUSE FOOTINGS. STRUCTURAL ENGINEER TO DECIDE ON ANY BORED PIERS UNDER FOOTINGS REQUIRED

ALLOW MINOR STEP IN SLAB LEVELS FOR PROPRIETARY THRESHOLD PLATE (RAKED) BETWEEN ENTRY TILE FINISH AND ENTRY PASSAGE RESILIENT FLOORING. (FOR WEATHER PROOFING)

SLAB & FOOTING PLAN

(1:100 ON A3)



SHOWER F.W. VERIFY TRAP POSITION (not shown) FOR SINGLE OR CHANNEL GRATE TYPE
 SLAB SET-DOWN (thickening)
 GLAZED DOOR THRESHOLD REBATE (LOW THRESHOLD SILL TYPE)
 TYPICAL PLUMBING FIXTURE SLAB PENETRATIONS
 REFER TO WET-AREA TYPICAL NOTES UNLESS NOTED DIFFERENT

SHOWER F.W. VERIFY TRAP POSITION (not shown) FOR SINGLE OR CHANNEL GRATE TYPE
 SHOWER SET-DOWN. REFER DETAIL FOR WET-AREA SLAB SET-DOWN (thickening)
 GLAZED DOOR THRESHOLD REBATE (LOW THRESHOLD SILL TYPE)
 TYPICAL PLUMBING FIXTURE SLAB PENETRATIONS
 REFER TO WET-AREA TYPICAL NOTES UNLESS NOTED DIFFERENT

Wet-area typical note
 (FW) FLOOR-WASTE: LOCATE AWAY OR OFF-SET FROM STANDING SPACE IN FRONT OF BASIN, TUBS OR SHOWER DOOR. (FALL FLOOR TO FW)

Wet-area typical note
 SHOWER FLOOR WASTE: VERIFY FW POSITION REGARDING STYLE (ie. grated channel)

Wet-area typical note
 BATHROOM BASIN WASTE PIPE: VERIFY WITHIN OR OUTSIDE OF WALL FOR VANITY STYLE (ie floor mount or wall hung)

Wet-area typical note
 BATHTUB: CONFIRM FLOOR TRAP POSITION WITH SELECTED TUB

TYPICAL A/C UNITS ON CEILING OR INTERNAL WALL. CONFIRM ANY A/C UNITS CONDENSATION PIPES WITH-IN INTERNAL WALLS AND OR THROUGH TO STRUCTURAL FLOOR. TERMINATE-/DISCHARGE CONDENSATION PIPES TO AN APPROVED DISTANCE AWAY FROM BUILDING

SHOWER F.W. VERIFY TRAP POSITION (not shown) FOR SINGLE OR CHANNEL GRATE TYPE
 SHOWER SET-DOWN. REFER DETAIL FOR WET-AREA SLAB SET-DOWN (thickening)

F-P1
 POST FOOTING
 • 450ø x 900 min.
 • CAST THE POST (or stub post option) 700 INTO 900 DEEP FOOTING
 refer detail for anchorage and reo cage where required

CONCRETE SLAB ON GROUND:
 REINFORCED CONCRETE SLAB ON WATERPROOF MEMBRANE OVER AN APPROVED GRANULAR BED. (waterproof membrane to be 200um polyethylene film installed to manf. recommendations). EARTHWORKS AND SLAB INSTALLED TO STRUCTURAL ENGINEERS DESIGN NOTES.
TERMITE CONTROL at GROUND LEVEL:
 PENETRATIONS, JOINTS, PERIMETER SEALING AND INSPECTION CLEARANCES APPLY TO CONC. SLAB ON GROUND ACTING AS BARRIER. --Read inconjunction with main notes of 'termite management'--

slab finish notes: SEMI-ENCLOSED OUTDOOR FLOOR AREA
 • UNLESS SELECTED TO HAVE OTHER FINISH OVER, ALLOW CONCRETE SURFACE TO HAVE A DEGREE OF ANTI-SLIP FOR THE REQUIRED LEVEL OF RAINWATER EXPOSURE (this includes possible crossing of surface water from adjacent run-off and ponding).
 • ALLOW SAW CUT JOINTS WHERE NO FLOOR TILE FINISH OVER IS WANTED

slab finish notes: ENCLOSED GARAGE FLOOR AREA
 U.N.O. MINIMUM FINISH OF NATURAL CONC. SMOOTH

- 3-N12 2000 LONG TRIMMER BARS TIED TO U/S OF SLAB
- KNOWN FLOOR PENETRATION FOR PLUMBING OR ELECTRICAL SERVICE (refer termite control at ground level notes)
- S-J- SAWN CUT JOINT
- D-T-J- DEEP TOOLED JOINT

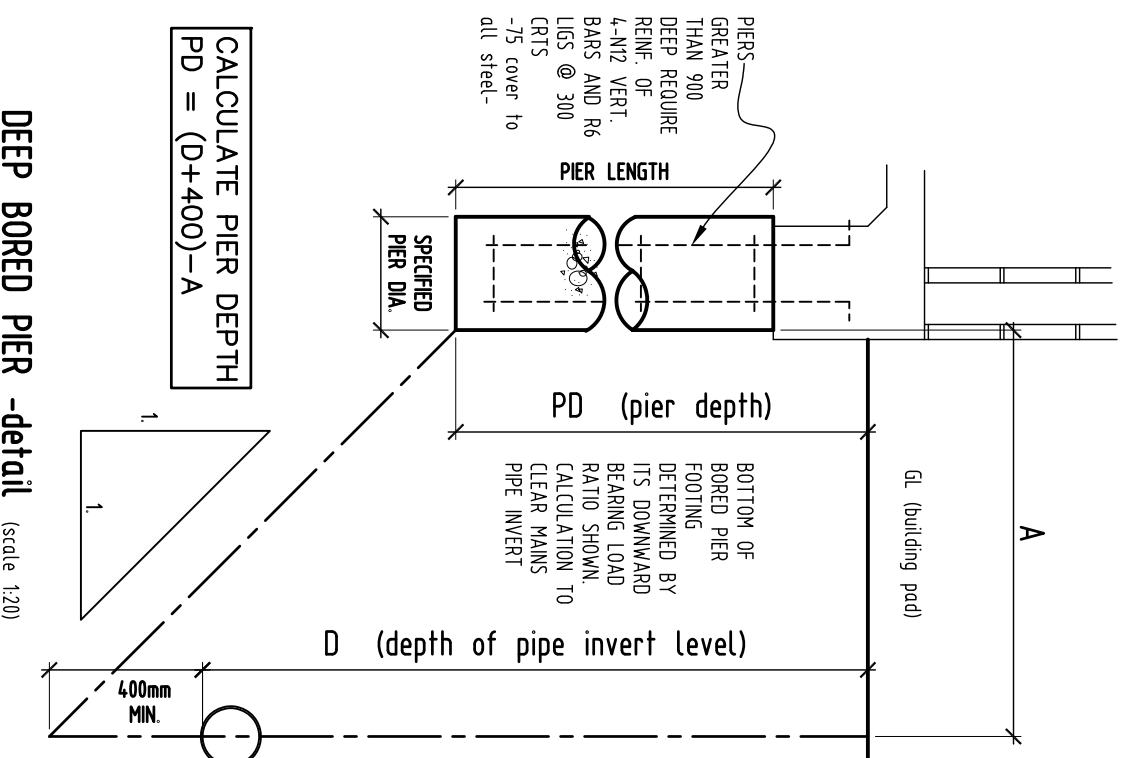
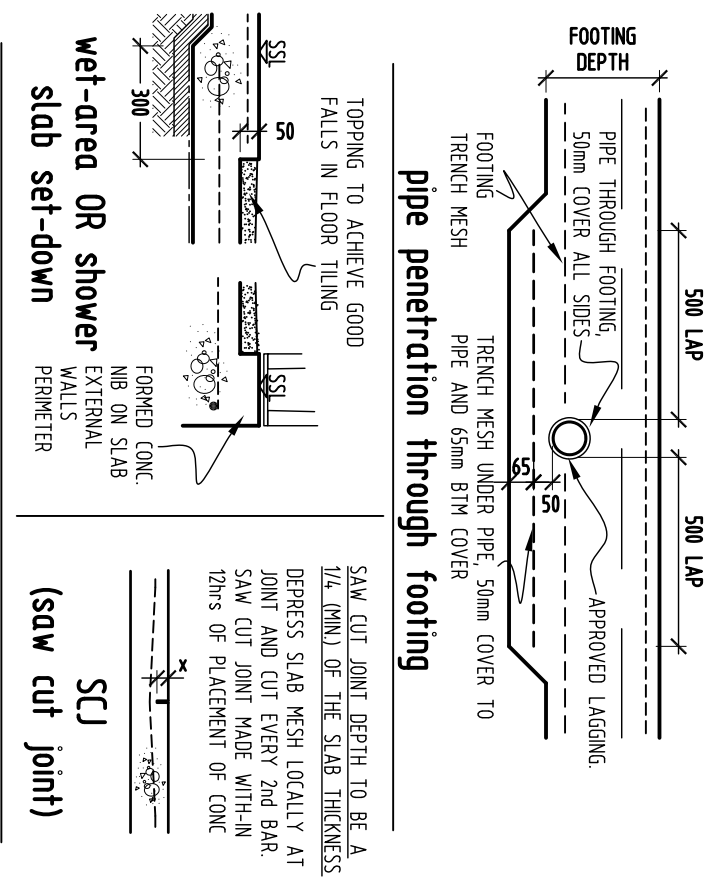
phone: 0428 294 235 EDMONTON 4869, QUEENSLAND
GREGORY G TERZI Associate Director **Building Design & Drafting**
 -Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-

PROJECT: 231 WALSH STREET MAREEBA 4880
 -RESIDENTIAL- NEW DUPLEX

DATE: OCT 2018
 SCALE: AS SHOWN ON 'A3' SHEET
 DRAWING TITLE: SLAB and FOOTINGS PLAN

JOB NO. 0486 SHEET No. WD07 ISSUE D

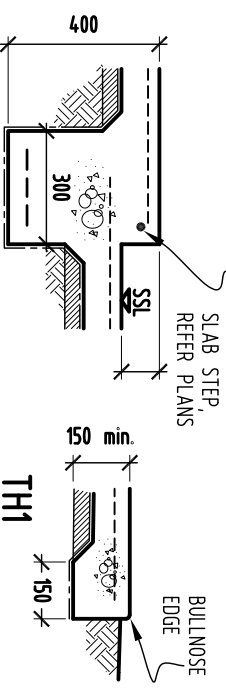
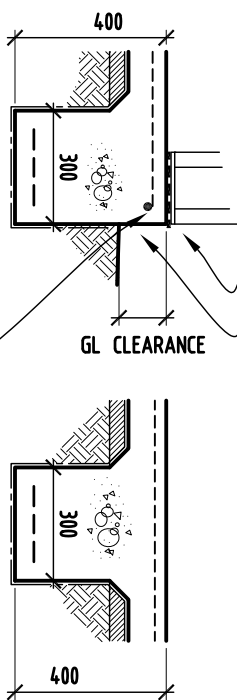
NOTE PLUMBING INSPECTOR TO DETERMINE TREATMENT OF PENETRATION WITH REGARDS TO SOIL CLASSIFICATION



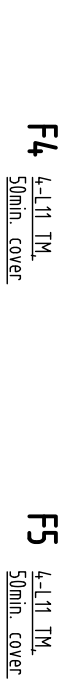
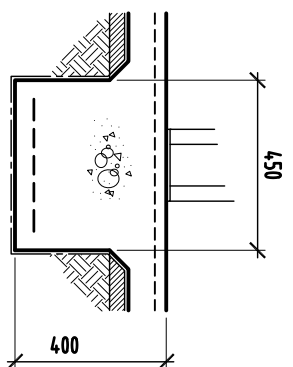
DEEP BORED PIER -detail (scale 1:20)

TERMITE CONTROL:

- AT SLAB EDGE & EXTERNAL WALL: NOMINATE APPROVED SYSTEM FOR 'BCA' CERTIFICATION.
- VISUAL CLEARANCE: EXTERNAL WALL/FLOOR CLEARANCE FROM GROUND AS REQUIRED BY 'BCA'.



SLAB PERIMETER TRIMMER BAR: WHERE NOMINATED IN SLAB ON GROUND SPECIFICATION ALLOW TO HAVE 50 COVER (shown on detail for note only)

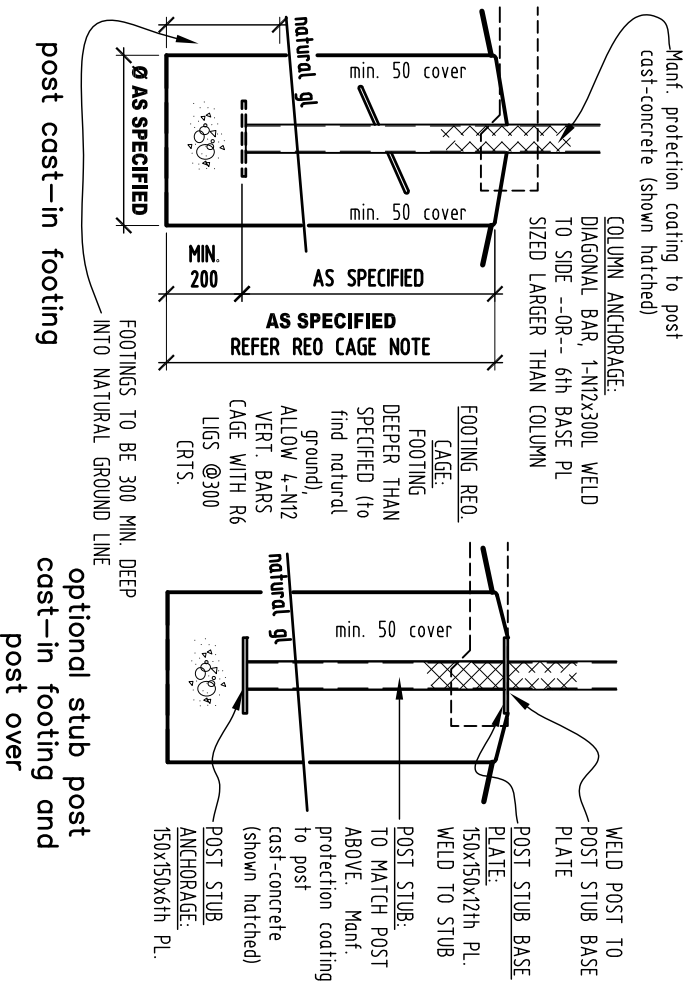
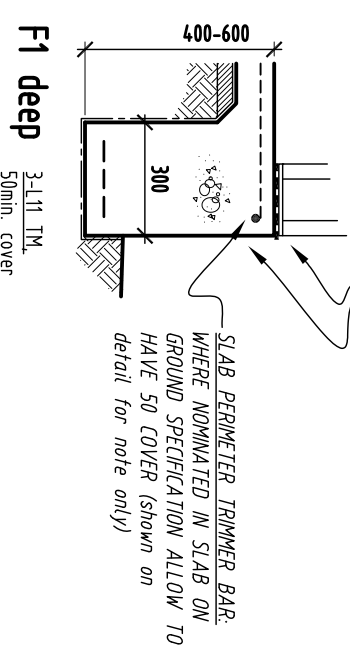


WHERE CONCRETE PATHS OR MOWING STRIPS NOT APPLICABLE, FALL GROUND LINE AWAY FROM WALL

NOTE EXTERNAL COVER TO ANY TOP REO

TERMITE CONTROL:

- AT SLAB EDGE & EXTERNAL WALL: NOMINATE APPROVED SYSTEM FOR 'BCA' CERTIFICATION.
- VISUAL CLEARANCE: EXTERNAL WALL/FLOOR CLEARANCE FROM GROUND AS REQUIRED BY 'BCA'.



typical: post cast-in footing (scale 1:20)

-refer structural engineers design notes for steel members surface protection treatment -refer manf. specification for member with a proprietary galvanised finish

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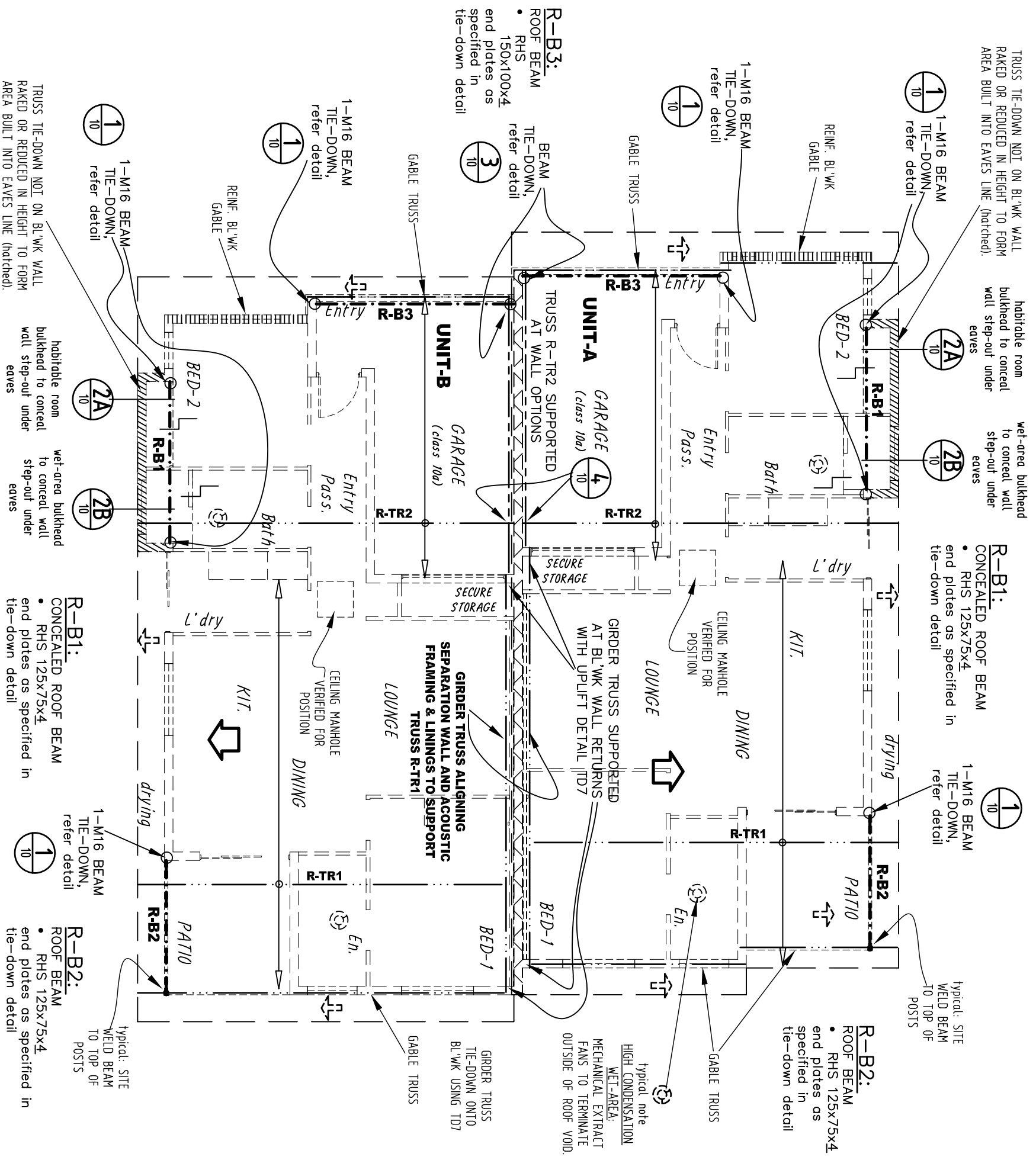
PROJECT: 231 WALSH STREET MAREEBA 4880

DATE: OCT 2018

SCALE: AS SHOWN ON 'A3' SHEET

DRAWING TITLE: SLAB and FOOTINGS DETAILS

JOB NO. 0486 SHEET No. WD08 ISSUE A



ROOF STRUCTURES PLAN

(1:100 ON A3)

ROOF STRUCTURES SPEC.

steel members surface protection treatment:
refer structural engineers design notes for more information or where member allows a manf. proprietary galvanised finish

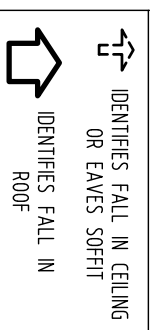
BATTENS – METAL:
PROPRIETARY ROOF BATTENS
• REFER DETAIL FOR SPACINGS

TRUSS – TIMBER
–refer sectional profile detail '6 & 7' on sheet WD06

R-TR1: TRUSS FIXED TO SEPARATION WALL WITH POLE PLATES
R-TR2: TRUSS FIXED TO GIRDER TRUSS

refer sections or truss generic profile drawing for more information

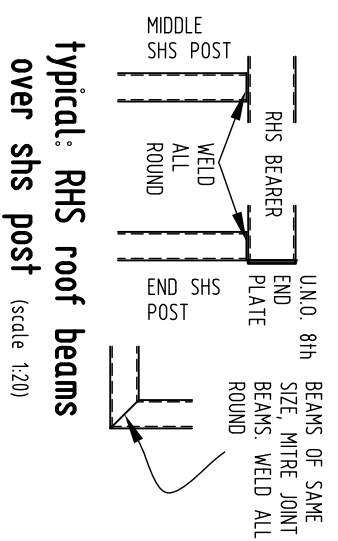
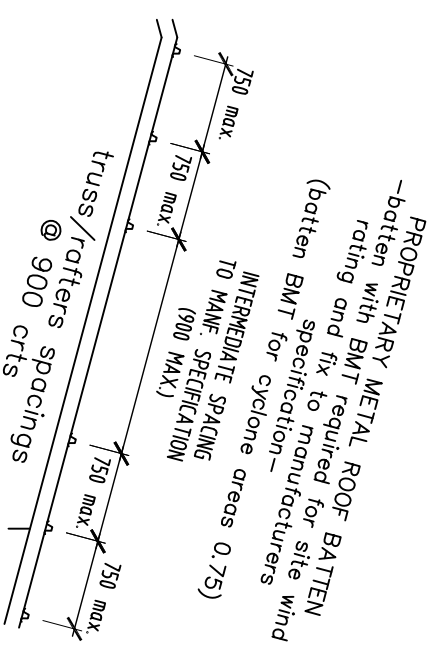
SELECTED PRE-FABRICATED TIMBER TRUSS ROOF SYSTEM.
• TRUSS LAYOUT AND BRACING TO FABRICATORS DETAILS. REFER TRUSS TIE-DOWN DRAWING SHEET – WD102
• SPACING @ 900 CRTS MAX.
• CONTRACTS TO CONFIRM HWD or SWD TIMBERS
timbers terminate risk management in accordance to current 'BCA'



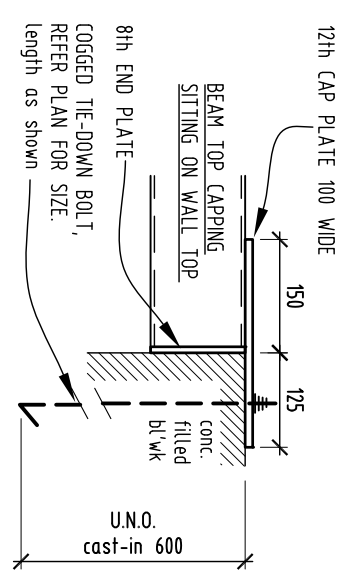
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PROJECT: 231 WALSH STREET
MAREEBA
4880
-RESIDENTIAL-
NEW DUPLEX
DATE: OCT 2018
SCALE: AS SHOWN ON 'A3' SHEET
DRAWING TITLE: ROOF STRUCTURES PLAN
JOB NO. 0486 SHEET NO. WD 09 ISSUE C

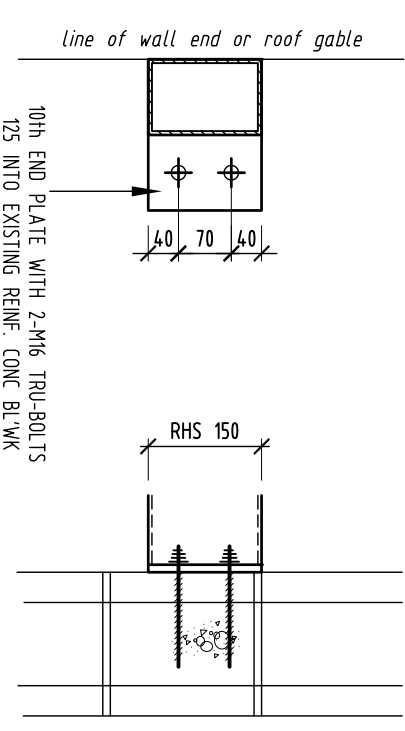
ROOF BATTENS – METAL:
over 900 spaced truss/rafters



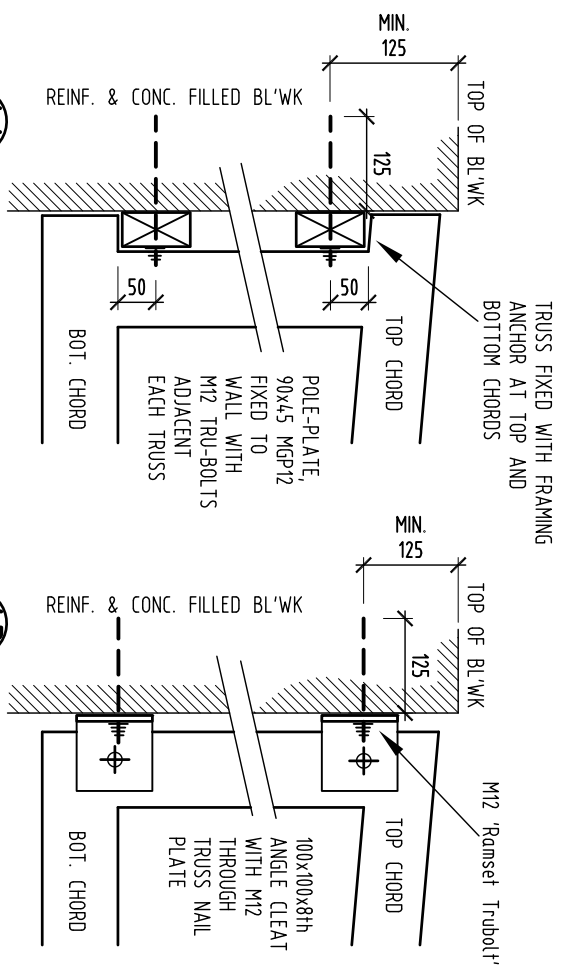
Typical: RHS roof beams over shs post (scale 1:20)



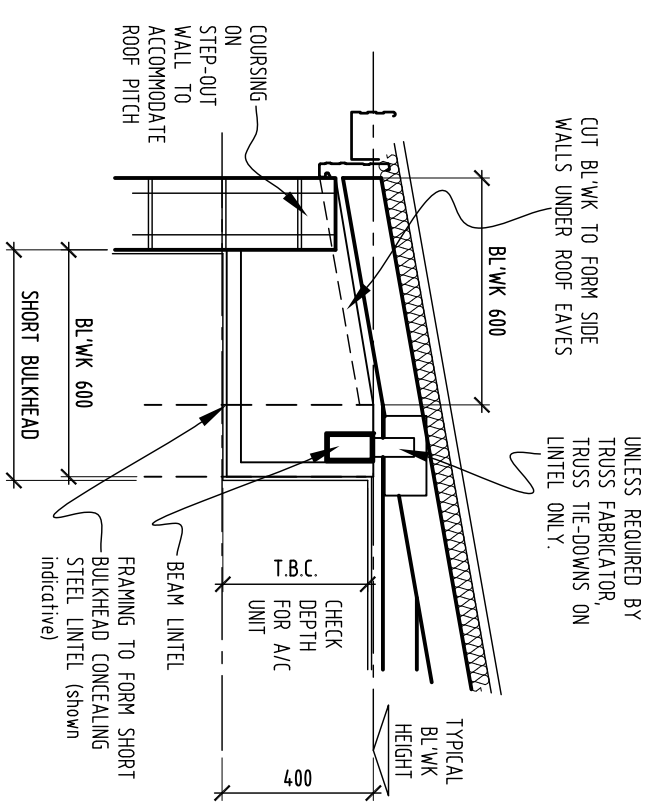
1 RHS beam tie-down at bl'wk face (scale 1:10)



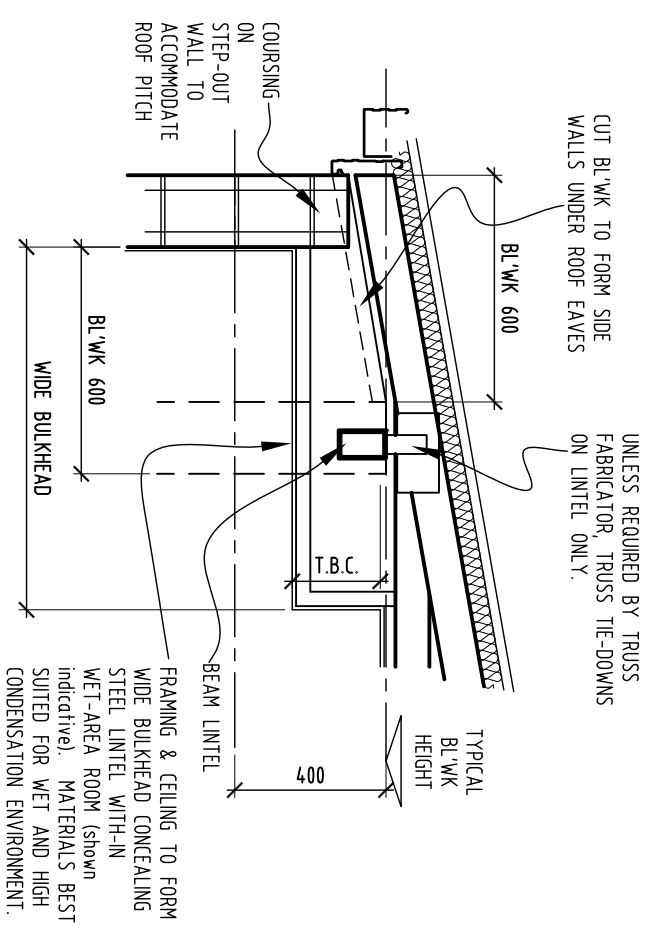
3 roof beam R-B3 fixed to bl'wk face (scale 1:10)



options -truss R-TR2 tie-down at side of reinf. block wall face (scale 1:10)



2A 600 wall step-out built into eaves for habitable room (steel lintel) (scale 1:20)



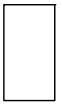

2B 600 wall step-out built into eaves for wet-area (steel lintel) (scale 1:20)


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 PROJECT: **231 WALSH STREET MAREEBA 4880**
 DATE: OCT 2018
 SCALE: AS SHOWN ON 'A3' SHEET
 DRAWING TITLE: **ROOF DETAILS**
 -RESIDENTIAL- NEW DUPLEX
 JOB NO. SHEET No. ISSUE
 0486 **WD 10** C


CEILING LEGEND

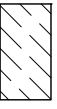
TYPICAL NOTE CEILING and SOFFITS:

- CONFIRM CORNER TRIM (CORNICÉ) STYLE
- MULTI-COAT PAINT FINISH UNLESS PRODUCT HAS A PROPRIETARY FINISH
- FIBRE CEMENT PRODUCTS TO CONFIRM USE OF PVC STRAIGHT JOINERS

- 
INTERNAL CEILINGS:
unless nominated different
 - ON BATTENS, FIBRE CEMENT SHEETING IN ACCORDANCE TO MANF. PLASTERBOARD CEILING
- 
-ROOF EAVES SOFFIT
unless nominated different
 - ON BATTENS, FIBRE CEMENT SHEETING IN ACCORDANCE TO MANF. SPECIFICATION

- 
WET AREA CEILING - HIGH CONDENSATION:
unless nominated different
 - ON BATTENS, FLUSH JOINTED WATER RESISTANT PLASTERBOARD CEILING

- 
SEMI-ENCLOSED OUTDOOR AREA CEILINGS:
unless nominated different
 - ON BATTENS, FIBRE CEMENT SHEETING OR WHERE PROTECTED IN ACCORDANCE TO MANF. SPECIFICATION A WATER RESISTANT PLASTERBOARD CEILING. (refer mant. spec. for application suited to site conditions)




- 
INTERNAL BULKHEAD OR FEATURE CEILING:
REFER TO CEILING PLAN FOR MORE INFORMATION

Roof Thermal Insulation for metal roof sheeting:

- FORMING CLASS 1a BUILDING ENVELOPE
- DIRECT UNDER METAL ROOF SHEETING AND CONTINUE TO EAVES. INSTALL TO MANF. INSTRUCTIONS AN APPROVED THERMAL INSULATION LAYER WITH A PRODUCT R-value of **min. R1.8** (ie. not added R-value). PREFERRED PRODUCT TO BE OF BULK INSULATION BONDED BETWEEN REFLECTIVE FOIL AND BREATHER MEMBRANE.
- VERANDAH or OUTDOOR LIVING ROOFS
- UNO. TO MATCH MAIN HOUSE
- GARAGE (100a)
- UNO. TO MATCH MAIN HOUSE

XX sqm

ROOF AREAS MEASURED ON ITS PLAN VIEW ONLY AND NOT TRUE FACE. THIS IS AN APPROX. SIZE FOR QUOTING PURPOSES AND CALCULATION OF STORM WATER CATCHMENT. CONTRACTORS TO VERIFY

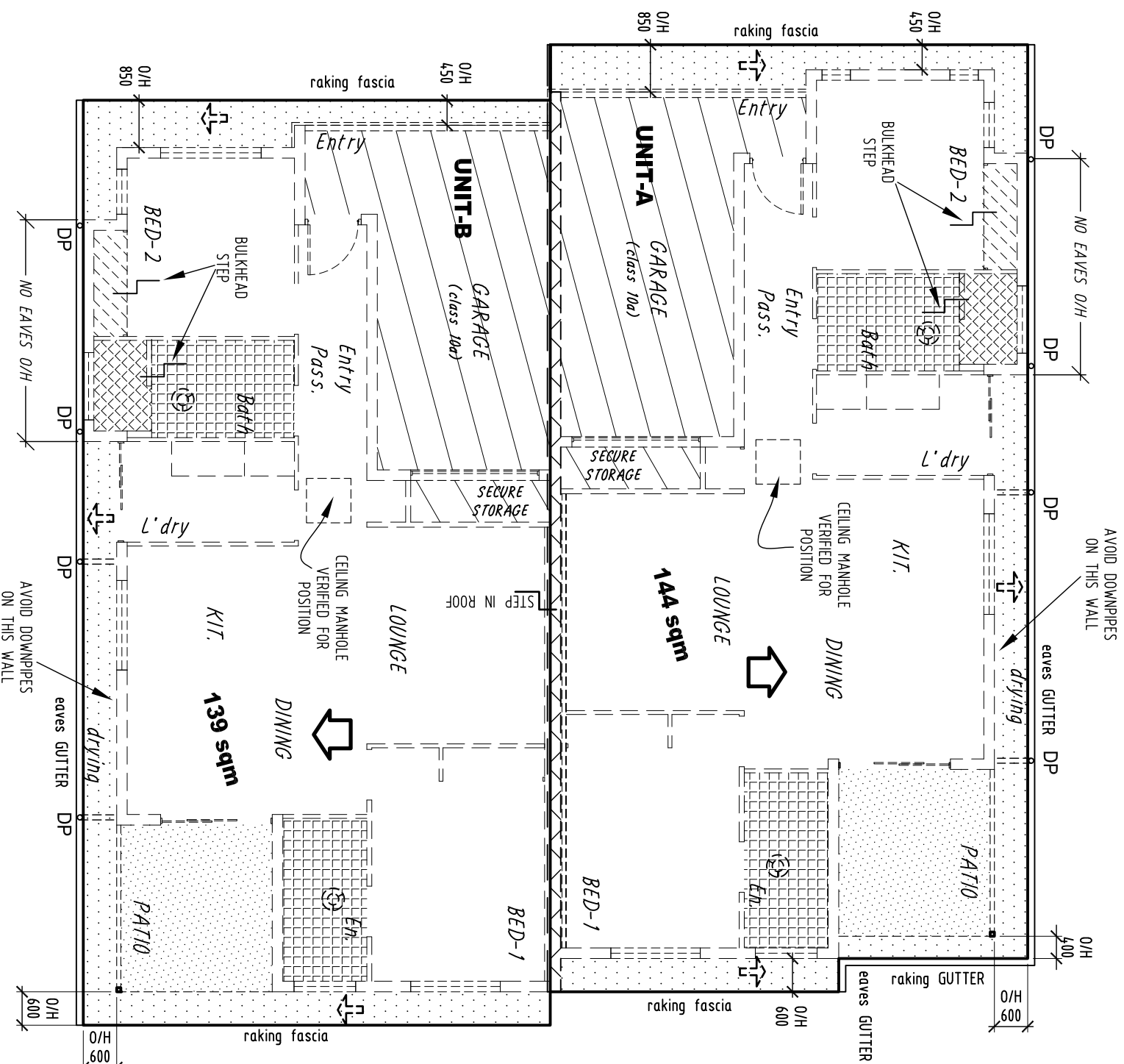
-  IDENTIFIES FALL IN CEILING OR EAVES SOFFIT
-  IDENTIFIES FALL IN EXISTING ROOF
-  IDENTIFIES FALL IN ROOF

- X-DP EXISTING DOWNPIPE
- DP NEW DOWNPIPE
- DP/spr NEW DOWNPIPE WITH SPREADER

GUTTERS AND DP's: NCC Volume-2 Part 3.5.3 NUMBER OF 90° DOWN PIPES CALCULATED USING A SLOTTED FACE MEDIUM RECTANGULAR GUTTER (6500sqmm cross section) DRAINING 40sqm ROOF CATCHMENT AREA. BASED ON 5min DURATION RAINFALL INTENSITY FOR 100 years AVERAGE RECURRENCE INTERVAL - 29mm. GUTTER TO HAVE FASCIA SPACERS FOR REAR OVERFLOW MEASURE.

NOTE: INSTALLER AND PRODUCT MANF. TO VERIFY THE PROJECT SPECIFICATION

ROOF CLADDING PROFILE: PITCH TO ROOF RUN CALCULATES IN USING A CORRUGATED CLADDING PROFILE ie. 'Stramit Corrugated' OR EQUAL

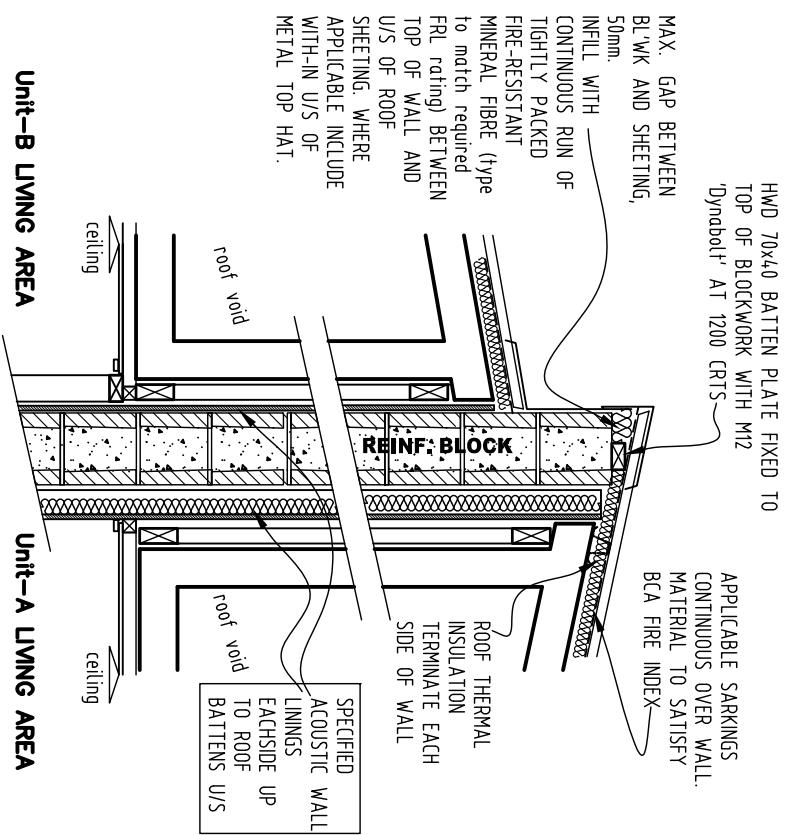


ROOF & CEILING PLAN

(1:100 ON A3)

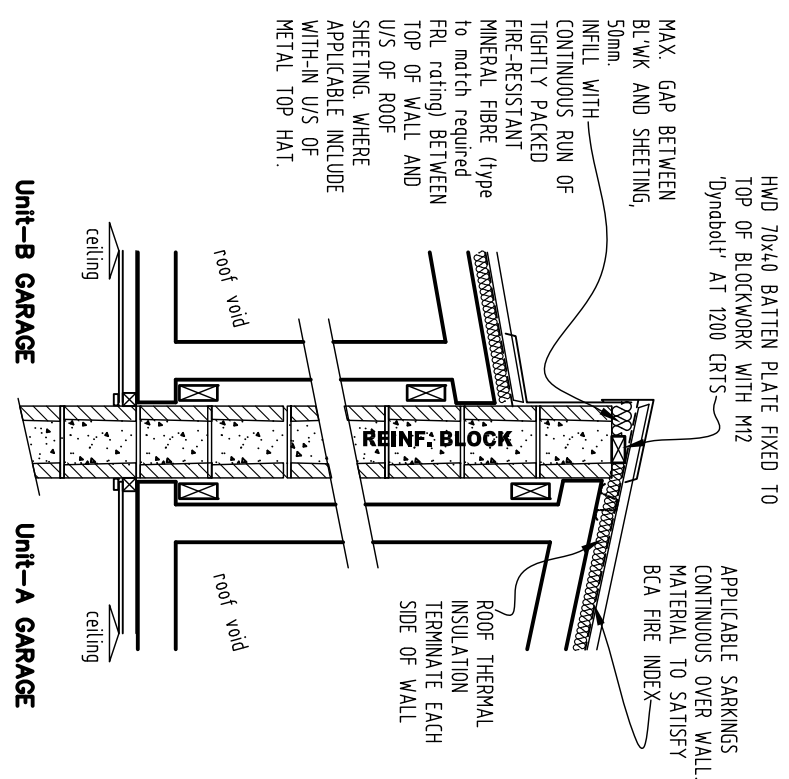
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PROJECT: 231 WALSH STREET MAREEBA 4880
 -RESIDENTIAL-NEW DUPLEX
 DATE: OCT 2018
 SCALE: AS SHOWN ON 'A3' SHEET
 DRAWING TITLE: **ROOF & CEILING PLAN**
 JOB NO. 0486 SHEET No. **WD 11** ISSUE **B**



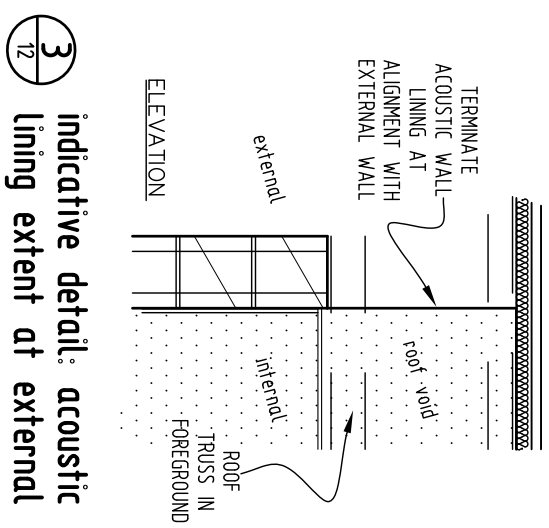
REFER SEPARATION WALL SPECIFICATION ON FLOOR PLAN

1 roof level separation wall for fire/acoustic between living areas -Detail (scale 1:20)

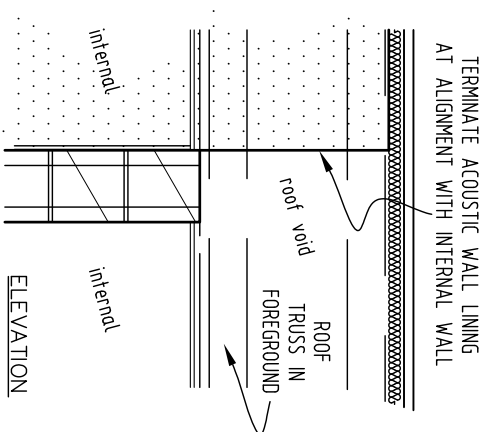


REFER SEPARATION WALL SPECIFICATION ON FLOOR PLAN

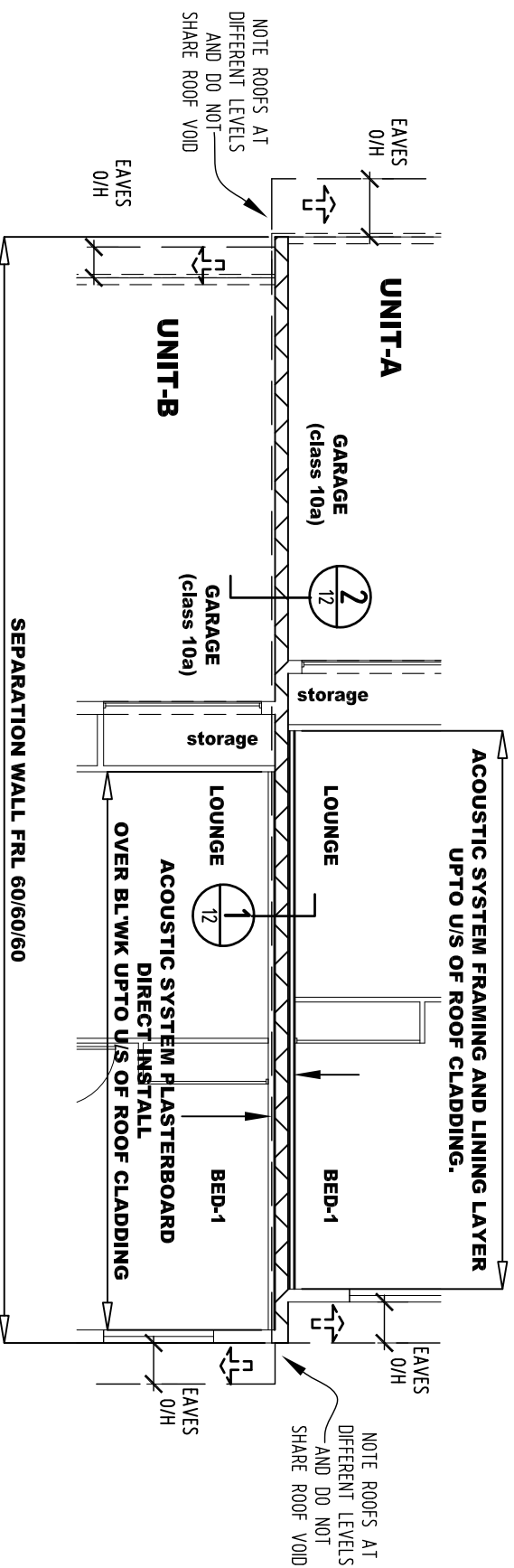
2 roof level separation wall for fire/acoustic between class 10a garages -Detail (scale 1:20)



3 indicative detail: acoustic lining extent at external wall



4 indicative detail: acoustic lining extent at internal wall



PLAN VIEW - Separation Wall

(1:100 ON A3)

SEPARATING WALL:
FIRE RATING (FRL) 60/60/60
 equal to CONCRETE BLOCK MASONRY MANF. 'ADBRI'. TEST/OPINION NUMBER RR/05/3 943.Rpt6 (Rw 55)

- 200series blocks 20.01
- Concrete fill all block cores and bedding joints (peeps) to be solid filled.
- Note to check use of 'H' or 'U' core fill blocks.

REFER DETAILS FOR EXTENT OF WALL HEIGHT AND TERMINATION WITH TOP OF ROOFS

SEPARATING WALL:
ACOUSTIC Rw+Cw 50 min.
 equal to 'GYPROCK System CSR761 which utilises block wall system with on Rw value >41

- **Unit-A** BED-1, LOUNGE, STORAGE: 13mm GYPROCK plasterboard fixed direct to masonry
- **Unit-B** BED-1, LOUNGE, STORAGE: 13mm GYPROCK 'Soundchek' plasterboard fixed to 64mm METAL STUD. 12mm MIN. CAVITY BETWEEN MASONRY AND STUD. INSULATE BETWEEN STUDS WITH 75 GW 11kg INSULATION

ACOUSTIC SYSTEM UP TO ROOF CLADDING U/S. REFER DETAILS FOR ALLOWED GAP WITH ROOF CLADDING

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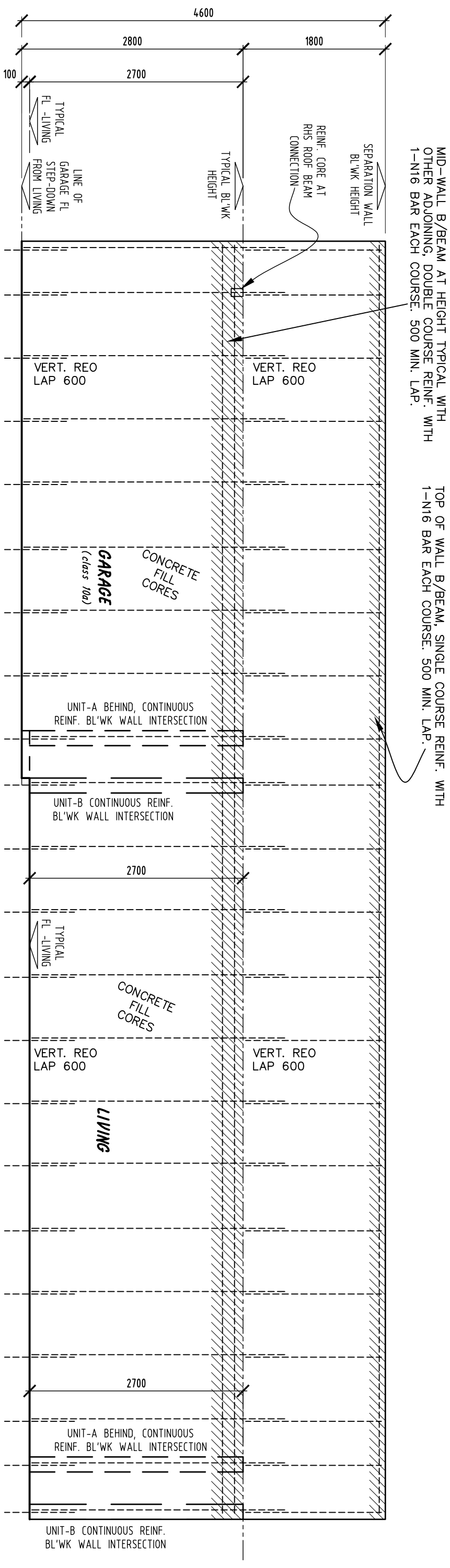
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PROJECT: **231 WALSH STREET**
MAREEBA
4880

-RESIDENTIAL-
 NEW DUPLEX

DATE: OCT 2018
 SCALE: AS SHOWN ON 'A3' SHEET
 DRAWING TITLE: **SEPARATION WALL**
 -fire & acoustics

JOB NO. **0486** SHEET No. **WD12** ISSUE **A**



MID-WALL B/B/EAM AT HEIGHT TYPICAL WITH OTHER ADJOINING, DOUBLE COURSE REINF. WITH 1-N16 BAR EACH COURSE. 500 MIN. LAP.

TOP OF WALL B/B/EAM, SINGLE COURSE REINF. WITH 1-N16 BAR EACH COURSE. 500 MIN. LAP.

STRUCTURAL ELEVATION - Separation Wall (1:50 ON A3)

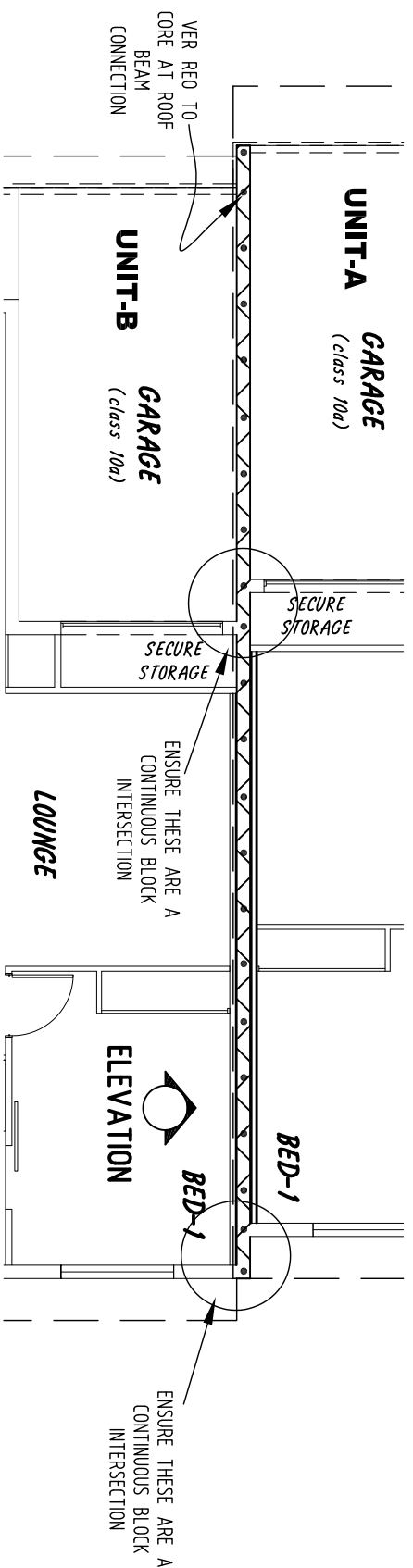
Reinf. Block Separation Walls Specification:

--refer structural engineers design notes for more information--

- FIRE RATING (FRL): 60/60/60**
 equal to CONCRETE BLOCK MASONRY MANF. 'ADBR'. TEST/OPINION NUMBER RR/05/3 943.Pp16 (Rw 55)
- 200series BLOCKS 20.01
 - CONCRETE FILL ALL BLOCK CORES AND BEDDING JOINTS (PERPS) TO BE SOLID FILLED.
 - NOTE TO CHECK USE OF 'H' OR 'U' CORE FILL BLOCKS.

- BOND-BEAM AT TOP**
 -AS SHOWN ON STRUCTURAL ELEVATION
 -RAKING BOND-BEAM UNLESS NOTED DIFFERENT ON PLANS, ALLOW TO MATCH TYPICAL
- BOND-BEAM MIDDLE**
 -AS SHOWN ON STRUCTURAL ELEVATION
- VERTICAL REO**
 -REINF WITH SPECIFIED VERTICAL MEMBERS AS SHOWN AND INCLUDING ENDS, CORNERS, INTERSECTIONS
 -STARTER BARS LAPPED 600 MIN. WITH VERTICAL REO.

REFER DETAILS FOR EXTENT OF WALL HEIGHT AND TERMINATION WITH TOP OF ROOFS

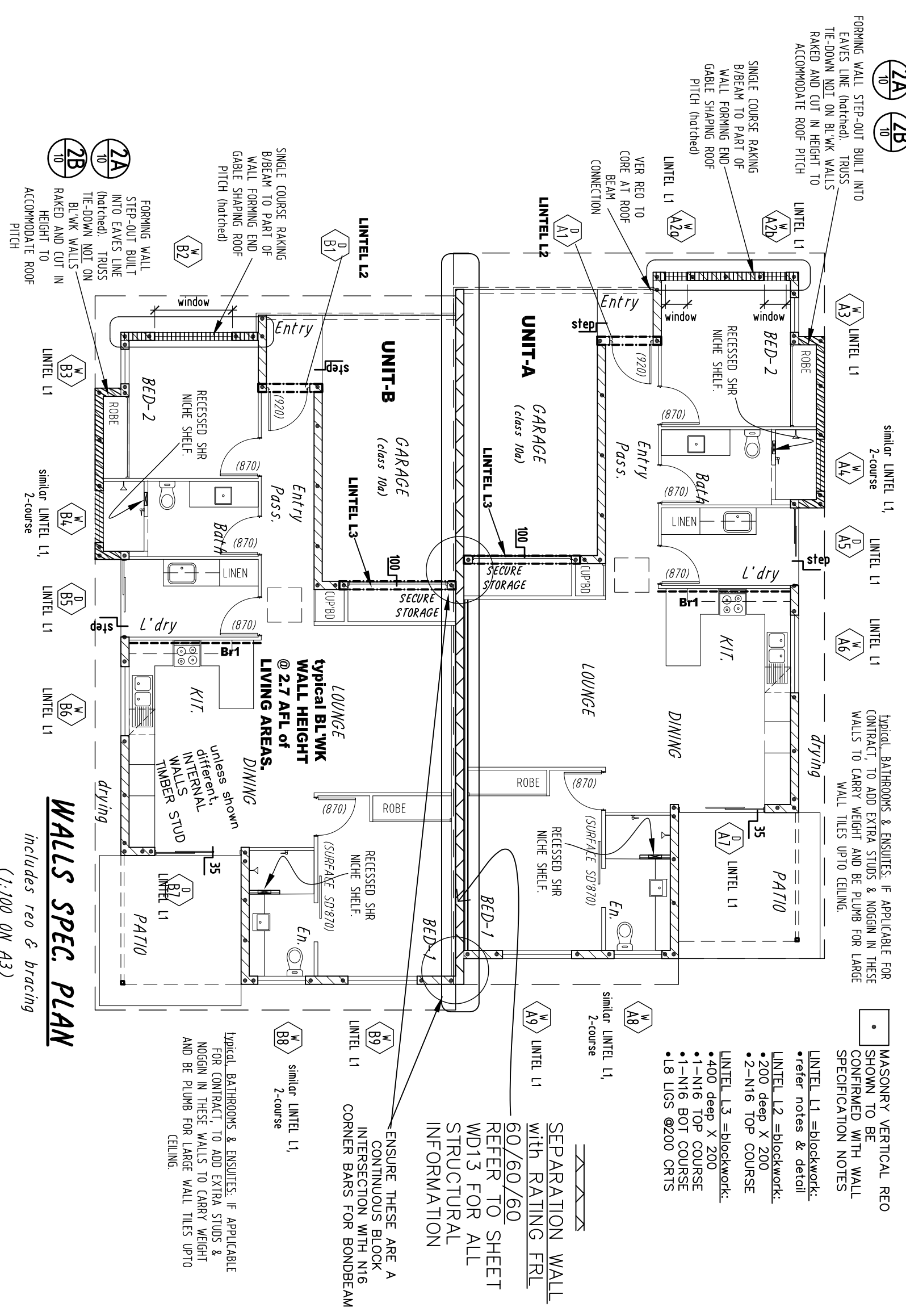


STRUCTURAL PLAN VIEW - Separation Wall (1:100 ON A3)

PROJECT: 231 WALSH STREET MAREEBA 4880 -RESIDENTIAL- NEW DUPLEX	DATE: OCT 2018 SCALE: AS SHOWN ON 'A3' SHEET DRAWING TITLE: SEPARATION WALL -structural	phone: 0428 294 235 GREGORY G TERZI Associate Diploma Architectural Technology Building Design & Drafting -Building Designer - Medium Rise - QBCC LICENCE: 1117048-	EDMONTON 4869, QUEENSLAND	JOB NO. 0486 SHEET No. WD13 ISSUE A
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2A
10

2B
10



similar LINTEL L1, 2-course

LINTEL L1

LINTEL L1

LINTEL L1

typical BATHROOMS & ENSUITES: IF APPLICABLE FOR CONTRACT TO ADD EXTRA STUDS & NOGIN IN THESE WALLS TO CARRY WEIGHT AND BE PLUMB FOR LARGE WALL TILES UP TO CEILING.

MASONRY VERTICAL REO SHOWN TO BE CONFIRMED WITH WALL SPECIFICATION NOTES

LINTEL L1 =blockwork:
•refer notes & detail

LINTEL L2 =blockwork:
•200 deep X 200
•2-N16 TOP COURSE

LINTEL L3 =blockwork:
•400 deep X 200
•1-N16 TOP COURSE
•1-N16 BOT COURSE
•L8 LGS @200 CRTS

SEPARATION WALL with RATING FRL 60/60/60
REFER TO SHEET WD13 FOR ALL STRUCTURAL INFORMATION

ENSURE THESE ARE A CONTINUOUS BLOCK INTERSECTION WITH N16 CORNER BARS FOR BONDBEAM

similar LINTEL L1, 2-course

typical BATHROOMS & ENSUITES: IF APPLICABLE FOR CONTRACT TO ADD EXTRA STUDS & NOGIN IN THESE WALLS TO CARRY WEIGHT AND BE PLUMB FOR LARGE WALL TILES UP TO CEILING.

WALLS SPEC. PLAN
includes reo & bracing (1:100 ON A3)

Timber Stud Walls Specification:

INTERNAL WALLS Non-loadbearing
70mm OR 90mm timber stud

- 1a. 70 STUDS - TIMBER 70x35 MGP10 @450 MAX. CRTS.
- NOGIN -TIMBER 70x35 @1350 MAX CRTS
- TOP and BOTTOM PLATES -MATCH WALL STUDS
- WALLS NOT TO EXCEED 3M IN HEIGHT.
- UPGRADE TO 90 STUD
- 1b. 90 STUDS -TIMBER 90x35 MGP10 @450 MAX. CRTS.
- NOGIN -TIMBER 90x35 @1350 MAX CRTS
- TOP and BOTTOM PLATES -MATCH WALL STUDS
- 90x35 MGP10 WALLS NOT TO EXCEED 3.3M IN HEIGHT

-refer structural engineers design notes for more information--
--TIMBERS TERMITE RISK MANAGEMENT IN ACCORDANCE TO CURRENT 'NCC'--

- 2. CONFIRM 'PPM' UNDER BOTTOM PLATES FOR STUD WALLS FIXED DIRECT OVER CONCRETE AND OR ALIGNING WET-AREAS
- 3. INTERNAL NON-LOADBEARING TIMBER FRAMED WALLS TOP FIXING TO TRUSS MUST SATISFY NCC PERFORMANCE REQUIREMENTS. WHERE ALTERNATIVE METHOD IS SUPPLIED BY STRUCTURAL ENGINEER THIS METHOD TO BE ACCEPTED BY CERTIFIER

STUD WALL BRACING

if applicable PLY SHEETING identified as type 'Br1'

- 1. REFER FLOOR PLAN FOR SIDE OF WALL BRACING SHEETS LOCATED. STRUCTURAL PLYWOOD BRACING FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND AS1684.3. DESIGN FOR 6.4kN/m RACKING RESISTANCE.
- 2. UNLESS NOTED DIFFERENT, PROVIDE M12 GALV. CYCLONE RODS AT EACH END OF BRACING WALL AND AT 1800 CTS MAX. BETWEEN. --note spacings for cyclone rods with-in the wall spec. for load bearing walls--
- 3. PROVIDE ANTI-RACKING CLEATS TO TOP OF BRACING WALLS IN ACCORDANCE WITH AS1684.3 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION - CYCLONIC

Reinf. block walls Specification:

--refer structural engineers design notes for more information--

typical WALLS SUPPORTING ROOF
reinforced 200-series blockwork

BOND-BEAM AT UNDER SIDE OF ROOF
-DOUBLE COURSE BOND-BEAM REINF. WITH 1-N16 BAR EACH COURSE, 500 MIN. LAP.
-RACKING BOND-BEAM UNLESS NOTED DIFFERENT ON PLANS, ALLOW TO MATCH TYPICAL WINDOW SILL BOND/BEAM

-SINGLE COURSE BOND/BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINF. WITH 1-N12. EXTEND BOND-BEAM 200 PAST EACH SIDE OF OPENING

LINTELS --unless noted different--
-TYPICAL LINTELS TO BE REINF. WITH 2-N12 OR 1-N16 BAR WITH L8 TIE BARS @ 400 MAX. CRTS

VERTICAL REO --unless noted different--
-REINF WITH VERTICAL OF M12 @1400 MAX. CRTS INCLUDING ENDS, CORNERS, INTERSECTIONS, AND AT EACH SIDE OF OPENINGS

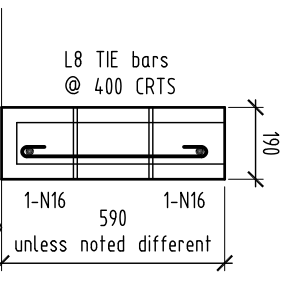
-PROVIDE ADDITIONAL N12 VERTICAL BARS TO CORES ADJACENT OPENINGS GREATER THAN 1800 WIDE.

CONCRETE FILL ALL CORES CONTAINING REINF. HOLDING DOWN BOLTS AND MASONRY ANCHORS
-STARTER BARS LAPPED 600 MIN. WITH VERTICAL REO.

M.C.I. -DENOTES WALL CONTROL JOINTS. unless noted otherwise, DRAWN REFER DETAIL

SEPARATION WALL
with FRL rating

REFER SHEET WD13 FOR DETAILS



typical 200series Lintel -L1 (scale 1:20)

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GREGORY G TERZI Associate Director **Building Design & Drafting**

-Building Designer - Medium Rise - QBC LICENCE: 1117048-

PROJECT: **231 WALSH STREET MAREEBA 4880**

-RESIDENTIAL-NEW DUPLEX

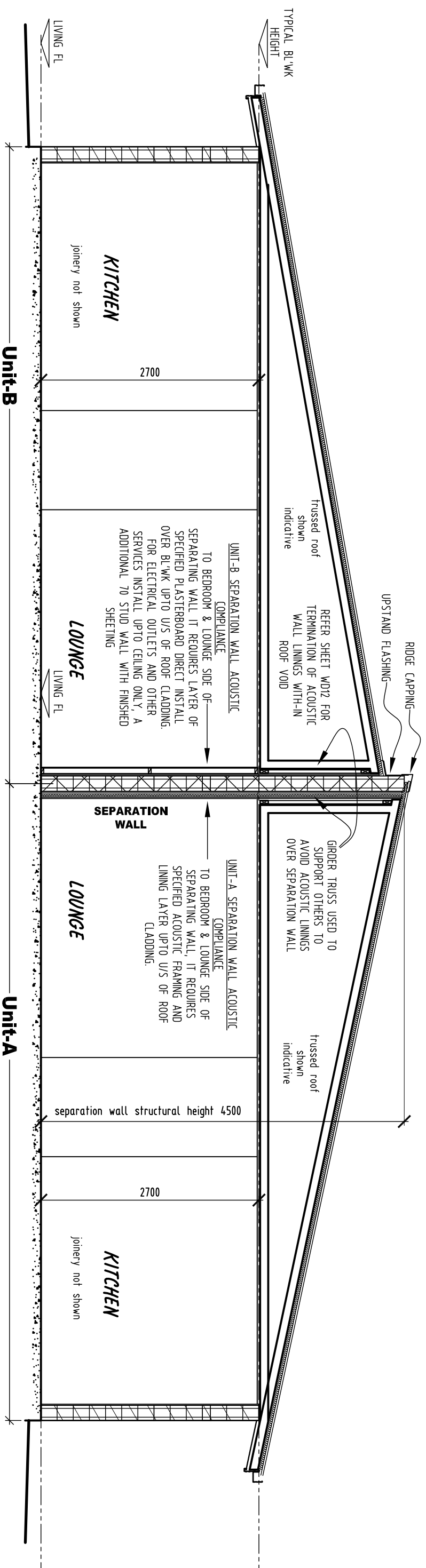
DATE: OCT 2018

SCALE: AS SHOWN ON 'A3' SHEET

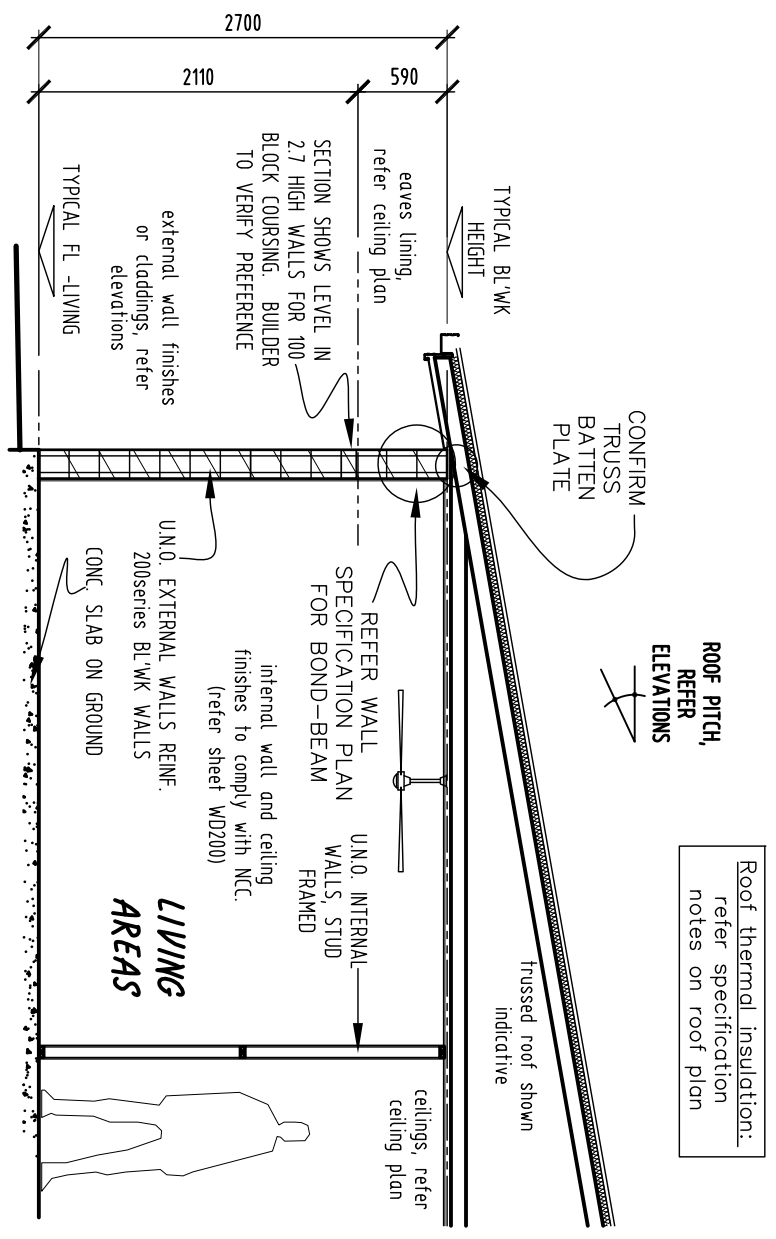
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JOB NO. SHEET NO. ISSUE

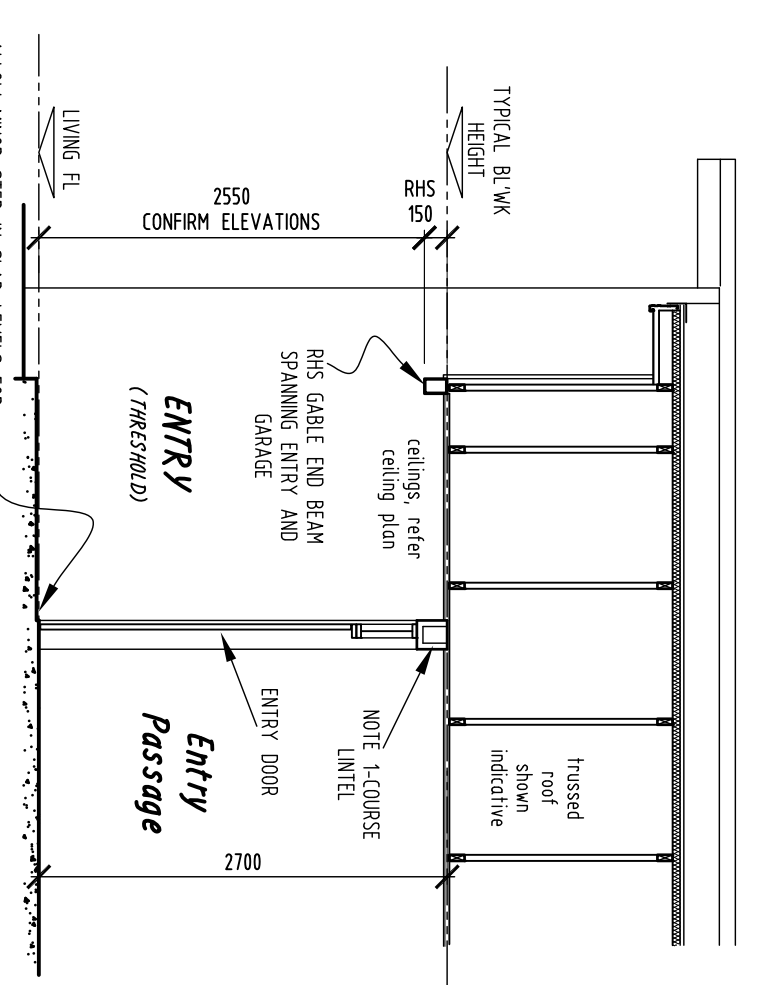
0486 **WD14** C



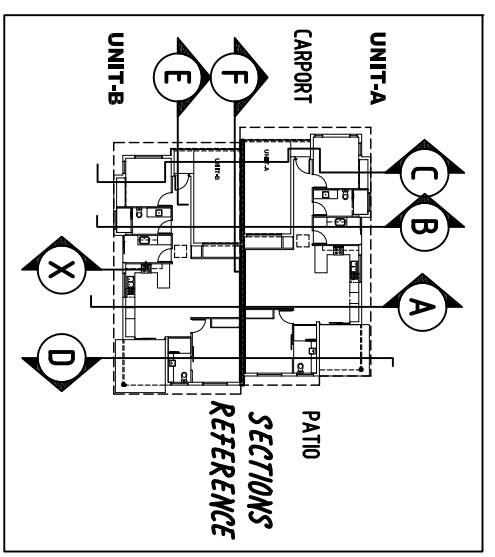
SECTION -A (1:50 ON A3)



SECTION -X typical notes (1:50 ON A3)



SECTION -E (1:50 ON A3)



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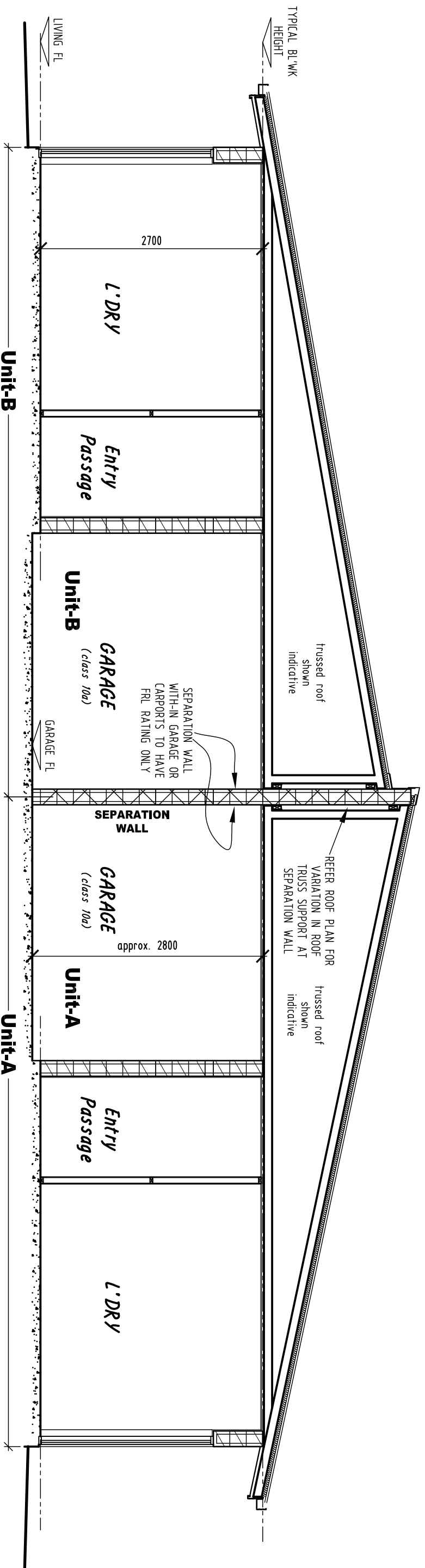
-Building Designer - -Medium Rise - -QBCC LICENCE: 1117048-

PROJECT: **231 WALSH STREET**
MAREEBA
4880

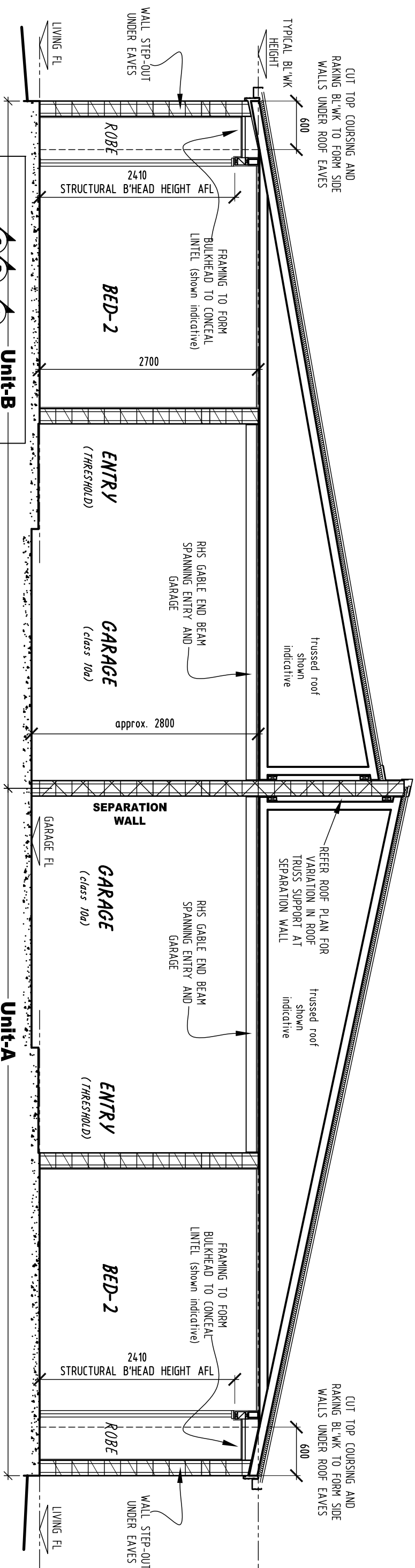
-RESIDENTIAL-
NEW DUPLEX

DATE: OCT 2018
 SCALE: AS SHOWN ON 'A3' SHEET
 DRAWING TITLE: **SECTIONS**

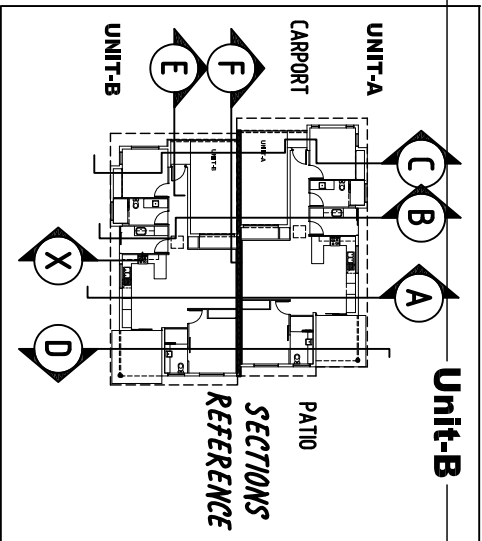
JOB NO. **0486** SHEET No. **WD15** ISSUE **A**



SECTION -B (1:50 ON A3)

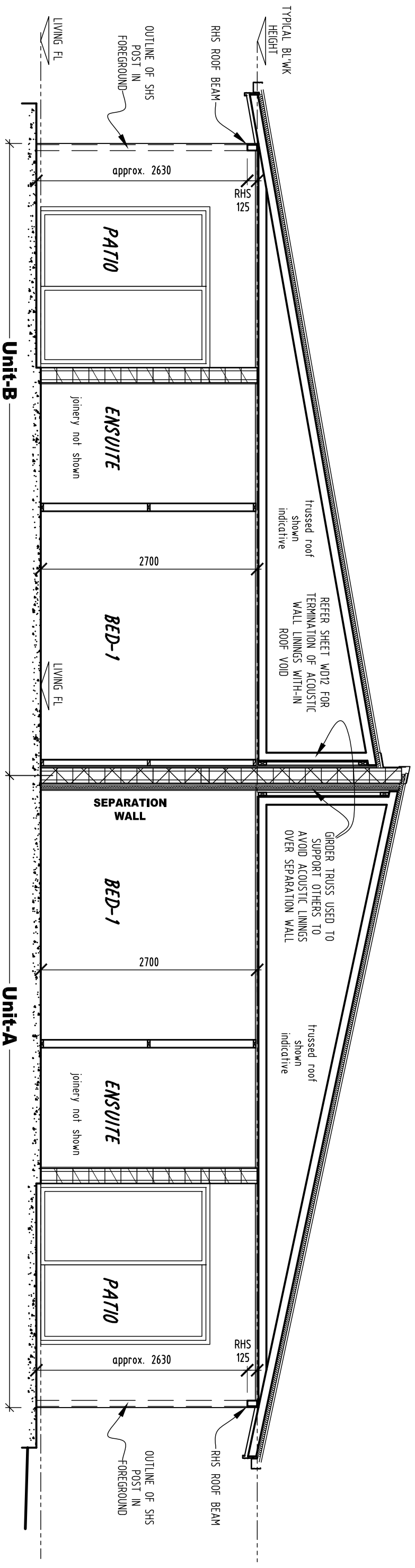


SECTION -C (1:50 ON A3)

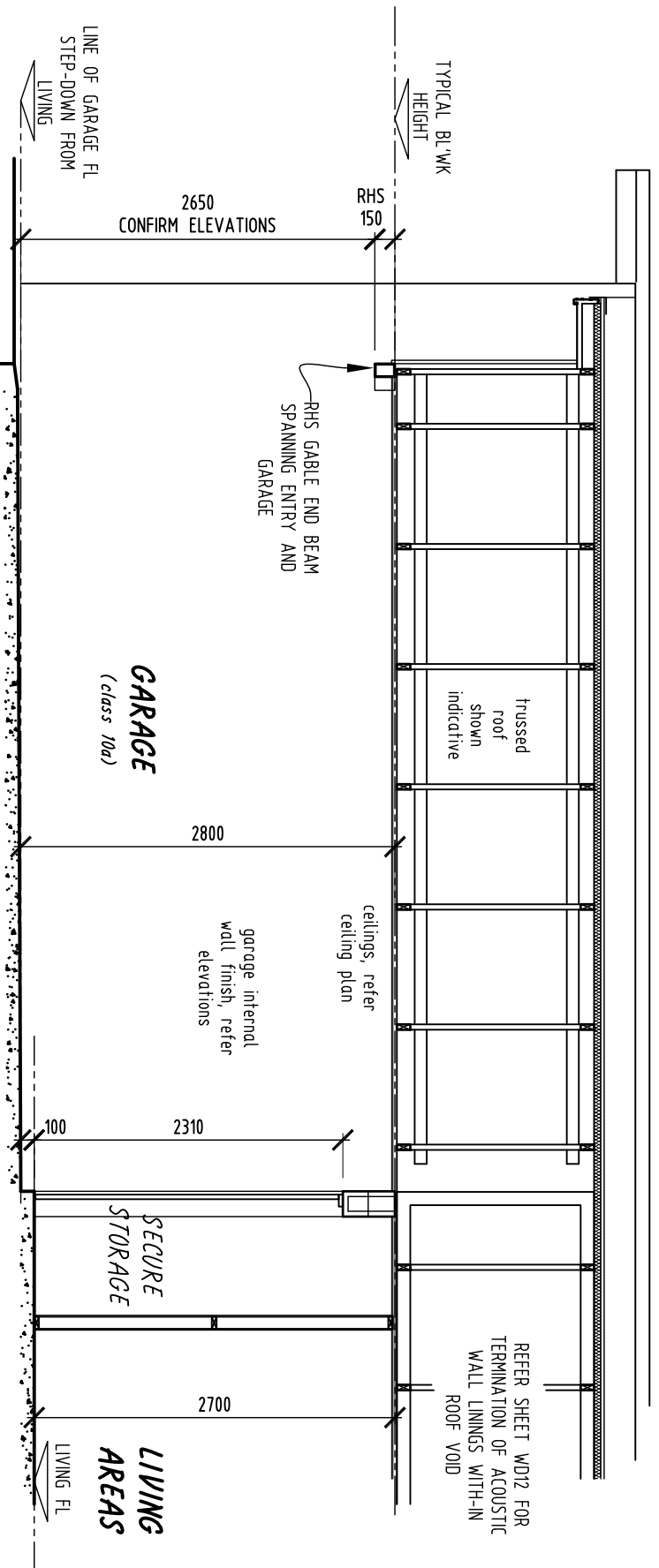


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 PROJECT: 231 WALSH STREET
 MAREEBA
 4880
 DATE: OCT 2018
 SCALE: AS SHOWN ON 'A3' SHEET
 DRAWING TITLE: SECTIONS

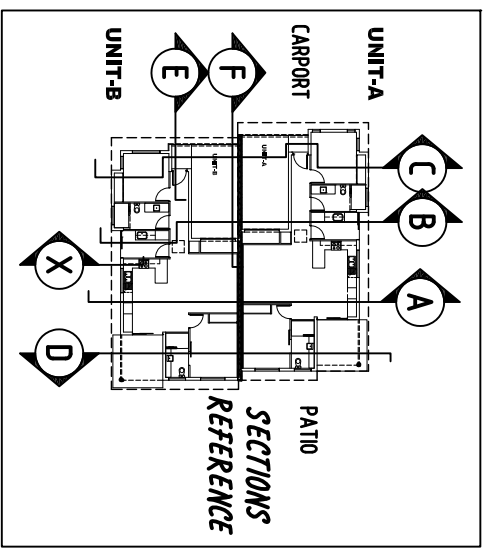
JOB NO. 0486 SHEET NO. WD16 ISSUE B



SECTION -D (1:50 ON A3)



SECTION -F (1:50 ON A3)



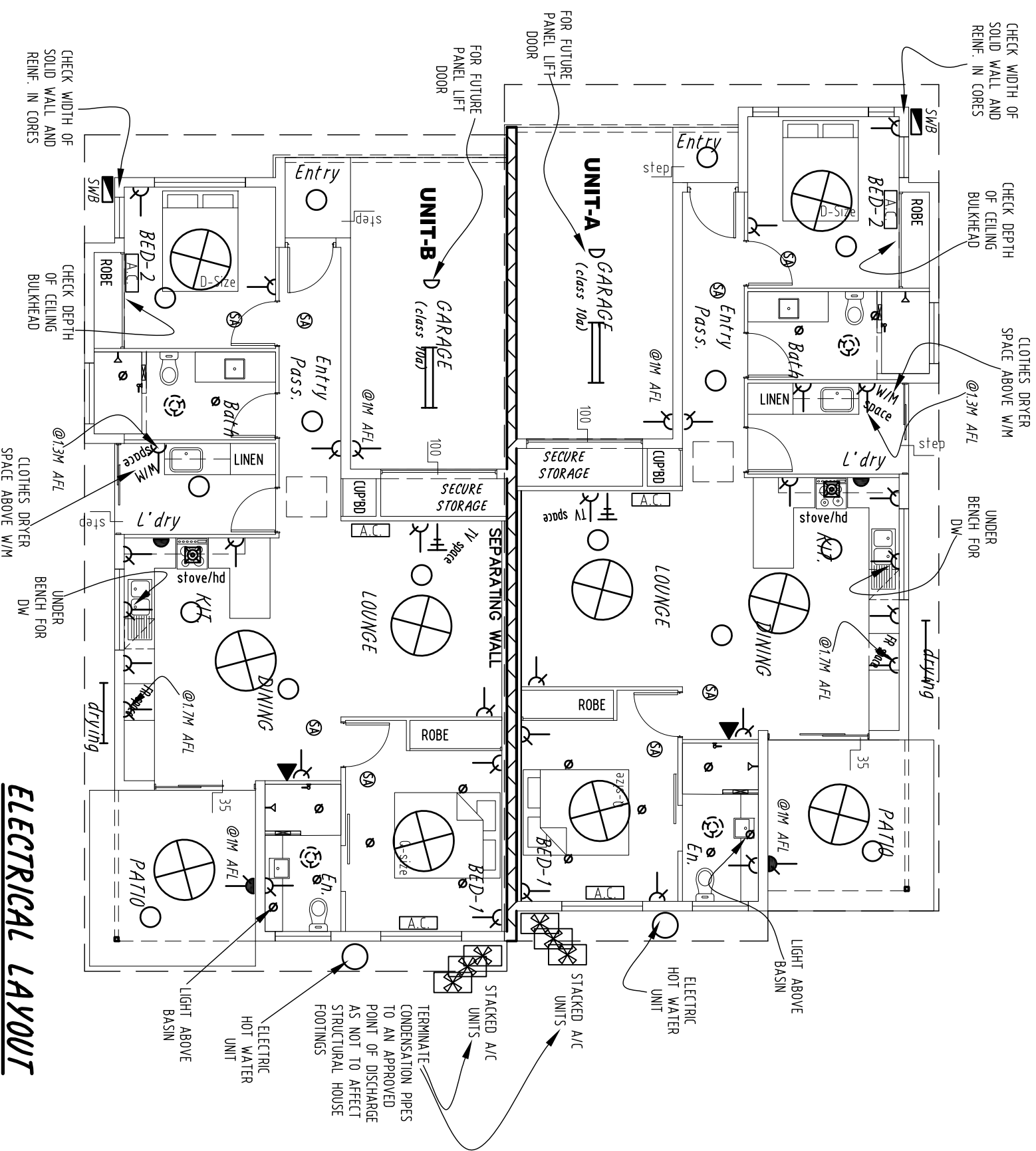
phone: 04 28 294 235 EDMONTON 4869, QUEENSLAND
GREGORY G TERZI Associate Diploma
Architectural Technology **Building Design & Drafting**
 -Building Designer - Medium Rise - QBCC LICENCE: 1177048-
 PROJECT: 231 WALSH STREET
 MAREEBA 4880
 DATE: OCT 2018
 SCALE: AS SHOWN ON 'A3' SHEET
 DRAWING TITLE: SECTIONS
 -RESIDENTIAL-
 NEW DUPLEX
 JOB NO. 0486 SHEET NO. WD17 ISSUE A

NOTE-1: WALL SWITCHES AND POWER POINT GANG NUMBERS DETERMINED BY CONTRACTOR AND CLIENT

NOTE-2: DOWNLIGHT -RECESSED 'LED' TYPE. THE AMOUNT SHOWN PER ROOM OR OUTDOOR USE TO BE VERIFIED BY INSTALLER FOR FITTING SUPPLIED

NOTE-3: UNLESS SHOWN ON PLANS, CONTROL LOCATION FOR CEILING OR WALL FITTING DETERMINED FOR CONTRACTS

A/C SPLIT SYSTEM UNIT SIZE AND THE POSITION OF OUTSIDE UNIT TO BE VERIFIED BY AUTHORISED CONTRACTOR



ELECTRICAL LAYOUT

(1:100 ON A3)

Safety:

☹ SMOKE ALARM -REFER MAIN FLOOR PLAN FOR DETAILS

Power Schedule:

typical: POWERPOINTS @500 AFL UNLESS NOTED DIFFERENT OR ABOVE BENCH/VANITY

- ☉ SINGLE POWERPOINT
- ☉ WEATHER PROOF
- ☉ DOUBLE POWERPOINT
- ☉ WEATHER PROOF
- ☉ COOKER OR OVEN POWER SOURCE
- ☉ CEILING POWER OUTLET FOR GARAGE DOOR

Communications:

typical: POWERPOINTS @500 AFL UNLESS NOTED DIFFERENT OR ABOVE BENCH/VANITY

- ▲ TELEPHONE POINT OR 'NBV' CONNECTION
- ▲ DATA POINT
- ⚡ TV OUTLET

Lighting & Ventilation Schedule:

- ⬇ MOTION SENSOR
- ⬇ SINGLE or DOUBLE 1200 long BATTEN FLUORESCENT LIGHT. COVER FITTING TO SUIT EXTERNAL OR INTERNAL LOCATION
- ⬇ INTERNAL WALL MOUNTED FLUORESCENT OR LED TYPE LIGHT OVER MIRROR
- INTERNAL CEILING MOUNTED LIGHT. (shown as circular fluorescent)
- INTERNAL RECESSED DOWNLIGHT
- ⊕ EXTERNAL SELECTED CEILING LIGHT. UNLESS NOTED DIFFERENT ALLOW AS RECESSED DOWNLIGHT
- ♀ EXTERNAL WALL LIGHT
- ⬇ EXTERNAL SPOT LIGHT
- ⬇ SPECIALITY LIGHT. REFER PLAN FOR USE
- PENDANT LIGHT. LIGHT HUNG FROM CEILING
- ⊗ CEILING FAN. REFER FLOOR PLAN FOR SIZE
- ⊙ INTERNAL CEILING MOUNTED EXTRACT FAN
- ⊙ INDICATES RANGEHOOD

PROJECT:

231 WALSH STREET

MAREEBA

4880

-RESIDENTIAL-
NEW DUPLEX

DATE: OCT 2018

SCALE: AS SHOWN ON 'A3' SHEET

DRAWING TITLE:

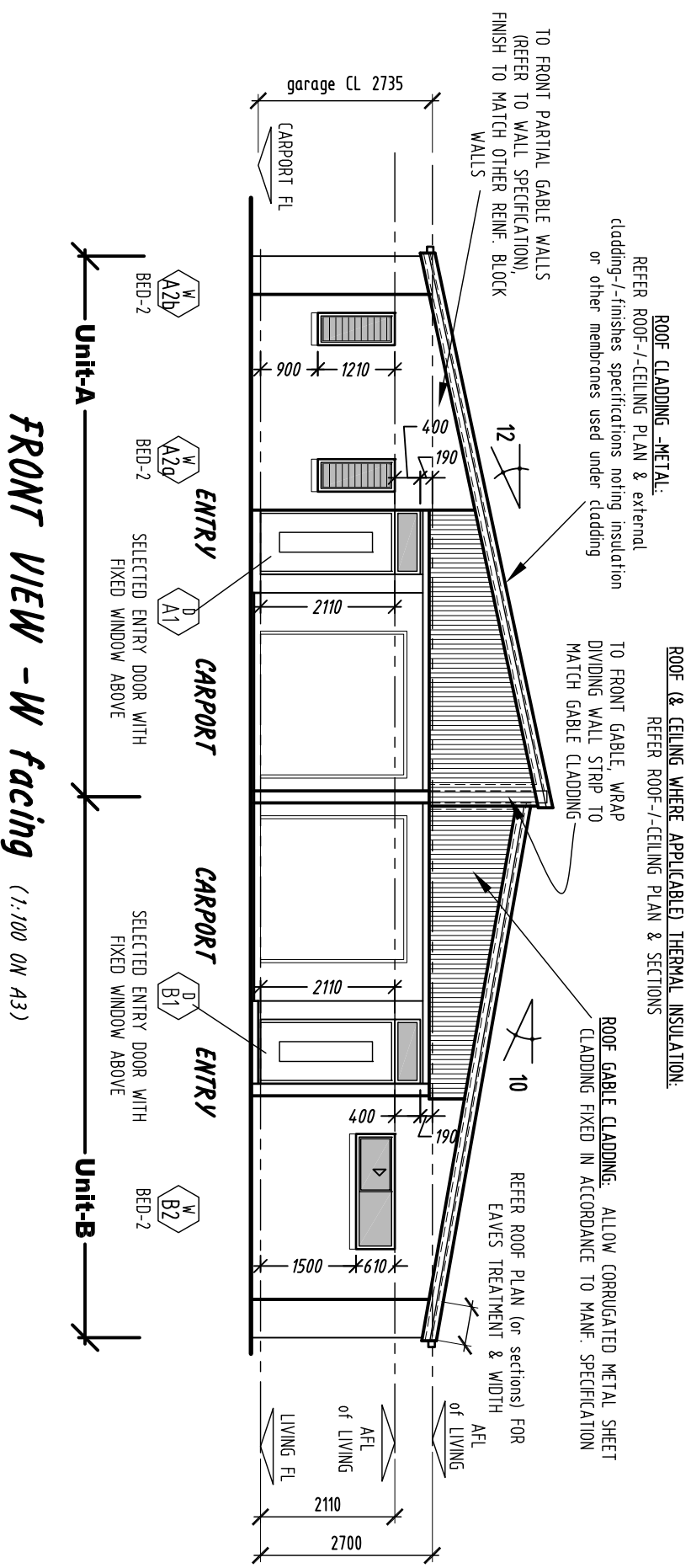
ELECTRICAL LAYOUT

JOB NO. SHEET No. ISSUE

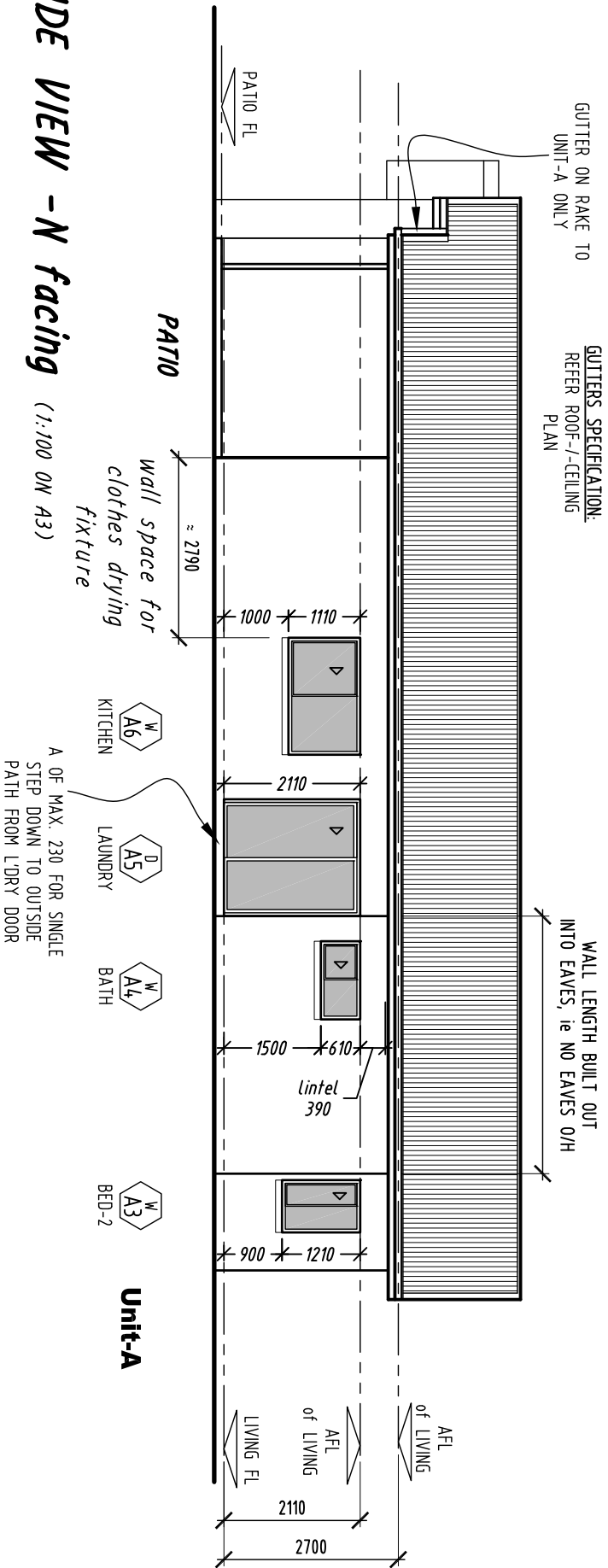
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-Building Designer- -Medium Rise- -OBSA LICENCE: 1117048-

ITEMS LISTED FOR QUOTING PURPOSES ONLY AND REQUIRE FINAL CHECK FOR CONTRACTS



FRONT VIEW - W facing (1:100 ON A3)



SIDE VIEW - N facing (1:100 ON A3)

CROSS REFERENCE WINDOW & DOORS SIZING ON SHEET WD42

SITE WIND RATING:	
REFER ENGINEERS "Structures Design Notes" OR CRIT. STAMP	
EDMONTON 4869, QUEENSLAND	
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Building Design & Drafting	
-Building Designer - -Medium Rise- -QBCC LICENCE: 1117048-	
PROJECT:	DATE: OCT 2018
231 WALSH STREET	
MAREEBA	
4880	
-RESIDENTIAL- NEW DUPLEX	
JOB NO. 0486	SHEET No. WD 40
ISSUE C	
DRAWING TITLE: ELEVATIONS -EXTERNAL	
sheet 1 of 2	

Exterior Claddings & Finishes: Spec. Part-1

TYPICAL FINISHES
 unless noted different, ALLOW MULTI-COAT PAINT FINISH SYSTEM TO ALL VISIBLE ELEMENTS WHICH DO NOT HAVE A PROPRIETARY COLOUR FINISH (eg colorbond galvanised)
EXPOSED POSTS AND BEAMS
 • UNLESS NOMINATED ALLOW THE FINAL FINISH BEST SUITED FOR WEATHER EXPOSURE AND PREVAILING WINDS
 NOTE: STEEL GALVANISED MEMBERS WARRANTY

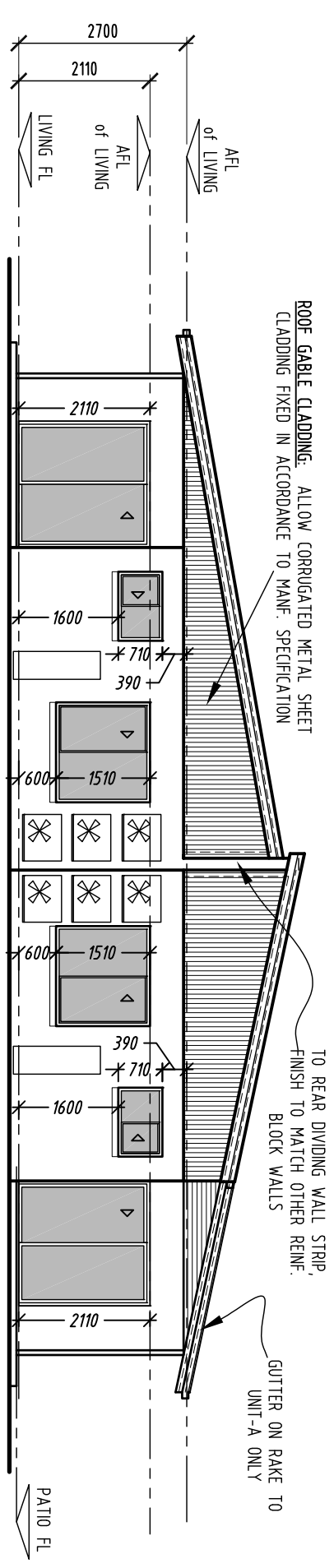
Exterior Claddings & Finishes: Spec. Part-2

ROOF CLADDING
 METAL: REFER ELEVATIONS, ROOF PLAN, AND SECTIONS FOR NOMINATED PROFILE
 • APPROVED REFLECTIVE SARKING UNDER SHEETING AND NOTING ANY THERMAL INSULATION REQUIREMENT. REFER ROOF THERMAL INSULATION SPECIFICATION
 • SHEET RUN LENGTHS, FIXINGS AND PITCHING ANGLE TO BE IN ACCORDANCE TO MANF. SPEC.
 • 'Base metal thickness' as required for site exposure rating. Metal colours in the proprietary 'colorbond' finish
ROOF TRIM & CAPPINGS
 METAL:
 • 'Base metal thickness' as required for site exposure rating. Metal colours in the proprietary 'colorbond' finish
RAINWATER GOODDS
 • TYPICAL PVC DOWNPIPES- APPLY MULTI-COAT PAINT FINISH SYSTEM.
 • FEATURE DOWNPIPES- WHERE APPLICABLE REFER ELEVATIONS
 • METAL GUTTERS & FASCIA WHERE APPLICABLE- Metal colours in the proprietary 'colorbond' finish
EXTERNAL SOFFITS AND EAVES
 • REFER CEILING PLAN or SECTIONS

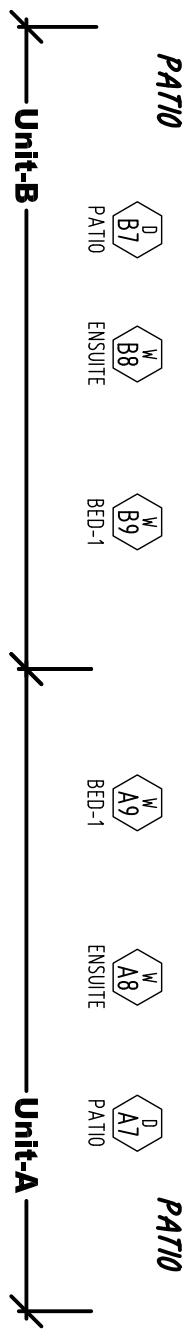
Exterior Claddings & Finishes: Spec. Part-3

WALLS EXTERNAL FACE OF REINF. BLOCKWORK
 • UNO, SELECTED PROPRIETARY EXTERIOR TEXTURE COATING WITH MULTI-COAT PAINT FINISH.
CARPORIT WALLS INTERNAL FACE OF REINF. BLOCKWORK
 • UNLESS FOR CONTRACTS ITS AGREED FOR POINTED BLOCKWORK, ALLOW A SELECTED PROPRIETARY EXTERIOR TEXTURE COATING
 • MULTI-COAT PAINT FINISH.

BELOW WALLS CONCRETE SLAB FACE ABOVE GROUND
 • SURFACES MAKE GOOD and PREPARE FOR A MULTI-COAT PAINT FINISH SYSTEM
 OR
 CONTINUATION OF TEXTURE OR RENDER COATING WHERE TERMITE PREVENTION SYSTEM ALLOWS.
 where applicable -BLOCKWORK FACE ON STRIP FOOTINGS OUT OF GROUND BELOW FLOOR LEVEL:
 • unless noted otherwise, CONTINUE TEXTURE OR RENDER COATINGS. VERIFY FOR TALL WALLS TO HAVE HORIZONTAL JOINT IN COATING AT FLOOR SLAB LEVEL.



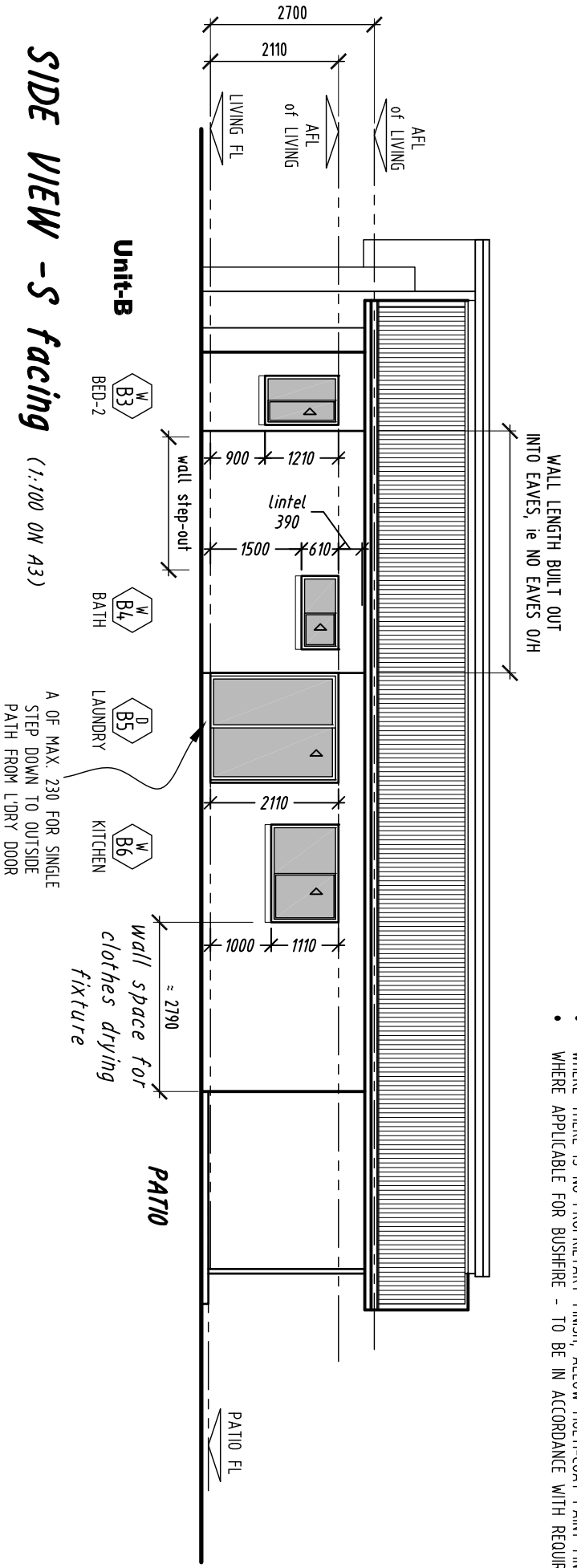
REAR VIEW - E facing (1:100 ON A3)



Cont' Spec. Part-3

SELECTED CLADDING to EXTERNAL FRAMED WALLS and or ROOF GABLES:
 REFERRING TO ELEVATIONS
 • TO HAVE AN APPROVED SARKING-/REFLECTIVE BARRIER UNDER. CONFIRM TYPE TO BE BREATHABLE FOR TROPICAL CONDITIONS
 • REQUIRE THERMAL BREAK FOR EXTERNAL METAL CLADDINGS OVER METAL FRAMING FROM INTERNAL LININGS. REFER BCA VOLUME TWO PART 3.1
 • CLADDING FIXING AND STANDARD TRIM-/FLASHINGS IN ACCORDANCE WITH MANF. SPEC. AND SPECIFIC SITE CONDITIONS.
 • WHERE THERE IS NO PROPRIETARY FINISH, ALLOW MULTI-COAT PAINT FINISH FOR SITE CONDITIONS.
 • WHERE APPLICABLE FOR BUSHFIRE - TO BE IN ACCORDANCE WITH REQUIRED BAL RATING

SIDE VIEW - S facing (1:100 ON A3)



CROSS REFERENCE WINDOW & DOORS SIZING on SHEET WD42

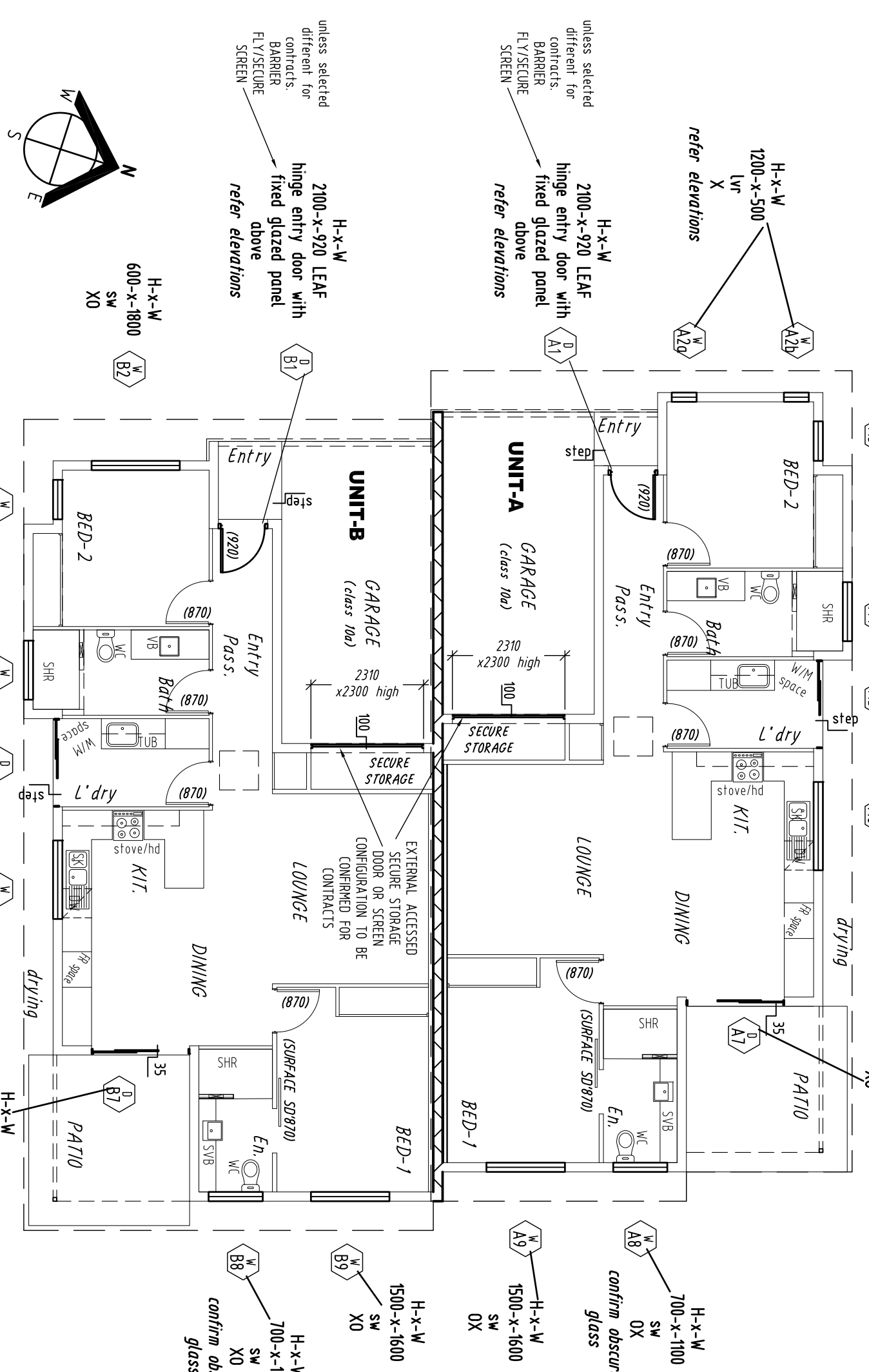
SITE WIND RATING: REFER ENGINEERS "Structures Design Notes" OR CRIT. STAMP	
phone: 0428 294 235 EDMONTON 4869, QUEENSLAND	GREGORY G TERZI <small>Associate Designer</small> Building Design & Drafting
PROJECT: 231 WALSH STREET MAREEBA 4880 -RESIDENTIAL- NEW DUPLEX	PROJECT: 231 WALSH STREET MAREEBA 4880 -RESIDENTIAL- NEW DUPLEX
DATE: OCT 2018 SCALE: AS SHOWN ON 'A3' SHEET DRAWING TITLE: ELEVATIONS -EXTERNAL <i>Sheet 2 of 2</i>	DATE: OCT 2018 SCALE: AS SHOWN ON 'A3' SHEET DRAWING TITLE: ELEVATIONS -EXTERNAL <i>Sheet 2 of 2</i>
JOB NO. 0486 SHEET No. WD 41 ISSUE C	JOB NO. 0486 SHEET No. WD 41 ISSUE C

Notes typical and inclusions for quote:

- Glazed assemblies (suite) in compliance to 'BCA' & referenced Aust. Standards
- FOR QUOTING PURPOSES unless noted otherwise, INCLUDE FLY SCREENING TO ALL EXTERNAL DOORS & WINDOWS. CONFIRM MESH MATERIAL
- FOR QUOTING PURPOSES unless noted otherwise, INCLUDE BARRIER SCREEN TO ALL SLIDING WINDOWS/SLIDING DOORS AND SINGLE HINGED DOORS BUT NOT INCLUDING FRONT ENTRY DOOR
- CHAINWINDER TO AWINING WINDOWS NOMINATED FOR SCREENING
- GLASS TINTING OR OBTURED TEXTURES ARE TO HAVE FURTHER CONFIRMATION WITH CLIENT AND THE ENERGY EFFICIENCY CERTIFICATION REPORT. INCLUDE FOR BATHROOM (& ENSUITE) WINDOWS TO HAVE OBTURED GLAZING.
- BUILDINGS REQUIRING A BUSHFIRE ATTACK LEVEL (BAL) ALL WINDOWS AND DOORS TO MEET Aust. STANDARD AS3959-2009

ITEMS LISTED FOR QUOTING PURPOSES ONLY AND REQUIRE FINAL CHECK FOR CONTRACTS

GLAZING CONFIGURATION LEGEND:
 facing window/door from outside
 H-x-W= height-x-width
 SW= sliding window
 sd= sliding door
 ssd= stacking slide door
 LVT= louvre suite
 dwn=awning window
 X= OPENING
 0= FIXED



WINDOWS & EXTERNAL DOOR SPEC. PLAN
 (1:100 ON A3)

SITE WIND RATING:
 REFER ENGINEERS "Structures Design Notes" OR CERT STAMP

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Building Design & Drafting
 -Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-
 PROJECT: 231 WALSH STREET
 MAREEBA
 4880
 -RESIDENTIAL-
 NEW DUPLEX
 DATE: OCT 2018
 SCALE: AS SHOWN ON 'A3' SHEET
 DRAWING TITLE:
WINDOWS and EXTERNAL DOOR SCHEDULE
 JOB NO. SHEET No. ISSUE
 0486 **WD 42** C

DESIGN LOADS:

WIND CLASSIFICATION-

C1

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING LOADING CODES-

AS 1170.1 - DEAD & LIVE LOADS & LOAD COMBINATIONS.
GENERAL AREA 15kPA.
LIVE LOADS - VERANDAHs & BALCONIES 3.0kPA.

WIND LOADING FOR WINDOWS and DOORS-

REFER MANF. SPECIFICATIONS

STRUCTURAL STEEL:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF AS 4100 AND AS 1554 EXCEPT WHERE VARIED BY THE CURRENT DOCUMENTS.
2. UNLESS NOTED OTHERWISE ALL STEEL SHALL BE IN ACCORDANCE WITH:
 - AS 1204 GRADE 250 FOR ROLLED SECTIONS
 - AS 1163 GRADE 350 FOR R.H.S SECTIONS
 - AS 1163 GRADE 200 FOR C.H.S SECTIONS
 - AS 1163 GRADE 350 FOR C.H.S SECTIONS
 - AS 1204 GRADE 350 FOR ALL HIGH STRENGTH STEEL
3. UNLESS NOTED OTHERWISE ALL WELDS SHALL BE CATEGORY SP IN ACCORDANCE WITH CLAUSE 13.2 AS 1554-PART 1.
4. UNLESS NOTED OTHERWISE ALL WELDS SHALL BE 6mm CONTINUOUS FILLET WELDS.
5. HIGH STRENGTH FRICTION GRIP BOLTS, NUTS AND WASHERS (8/8Tf) SHALL COMPLY WITH THE RELEVANT REQUIREMENTS OF AS 1252 AND SHALL BE TIGHTENED TO THE CORRECT TENSION USING APPROVED LOAD INDICATING WASHERS. CONTACT SURFACES OF ALL HIGH STRENGTH FRICTION GRIP BOLTED CONNECTIONS SHALL BE LEFT UNPAINTED OR AS SPECIFIED.
6. UNLESS NOTED OTHERWISE ALL BOLTS SHALL BE OF GRADE 4.6/5.
7. ALL DIMENSIONS SHALL BE CHECKED BY THE CONTRACTOR ON SITE PRIOR TO FABRICATION.
8. UNLESS STEEL PRE-FINISHED WITH PROPRIETARY GALV. (example Duragal) STEEL WORK IS TO BE SAND BLASTED (2.5) AND COATED WITH ZINC SILICATE STEEL PRIMER (OR AS SPECIFIED) BEFORE ERECTION. STEELWORK ENCASED IN CONCRETE IS NOT TO BE PAINTED.
9. CONCRETE ENCASED STEEL WORK SHALL BE WRAPPED WITH W4 WIRE AT 200mm CENTRES AND SHALL HAVE A MIN OF 50mm COVER UNLESS NOTED OTHERWISE.
10. THE STEEL FABRICATOR SHALL PROVIDE ALL BOLTS NECESSARY FOR THE ERECTION OF THE STEELWORK AND BOLTHOLES AND CLEATS NECESSARY FOR THE ERECTION OF TIMBER WORK WHETHER OR NOT DETAILED IN THE DRAWINGS.
11. ALL LAPS, FIXINGS AND ACCESSORIES TO PURLINS AND GIRTS TO BE STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.

LOAD BEARING MASONRY:

- ALL LOAD BEARING MASONRY WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE CURRENT EDITION OF AS 3700, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- BUILDER TO ALLOW CLEAN OUT OPENINGS AT THE BASE COURSE OF ALL REINFORCED CONCRETE MASONRY WALLS AS INDICATED, AND ALL CORERS TO BE RAKED CLEAN BEFORE FILLING WITH GROUT.

New Works Site Preparation:

- SITE PREPARATION SHALL GENERALLY CONSIST OF CLEARANCE FOLLOWED BY EXCAVATION OF TOPSOILS AND MATERIAL TO SUIT FINAL DESIGN LEVELS.
- PROVISION SHALL BE MADE FOR THE DEMOLITION OF ANY EXISTING BUILDINGS INCLUDING BREAKING UP AND REMOVAL OF ANY OLD FOOTINGS, SERVICE PIPES, SEPTIC TANKS ETC, AND EXISTING TREES (including stumps and roots) WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION. ANY SOIL DISTURBED BY DEMOLITION SHALL BE RECOMPACTED.
- IN THE PROPOSED ON GROUND FLOOR SLAB SUPPORT AND PAVEMENT AREAS, THE EXPOSED SUBGRADE SHALL BE UNIFORMLY COMPACTED TO ACHIEVE A DRY DENSITY RATIO OF NOT LESS THAN 98% OF THE MAXIMUM SATURATED VIBRATED DENSITY (AS 1289 TESTS 5.3.1 & 5.5.1). SUBGRADE COMPACTION SHALL BE ACCOMPANIED BY GENERAL INSPECTION TO ALLOW DETECTION AND RECTIFICATION OF ANY LOCALISED COMPRESSIBLE ZONES WHICH MAY EXIST.
- ANY FILLING PLACED IN THE BUILDING AND PAVEMENT AREAS SHALL BE UNIFORMLY COMPACTED IN LAYERS OF NOT MORE THAN 200mm FINAL THICKNESS. UNDER LEVEL 3 SUPERVISION (AS 3798-1990 GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS) TO THE MAX DRY DENSITY RATIO OF 98% SPOD (EXPRESSED AS A % OF THE MAXIMUM VIBRATED DENSITY ESTABLISHED BY TEST METHODS AS 1289 5.3.1, 5.4.1 AND 5.5.1 FOR COHESIONLESS (SAND) MATERIALS OR ALTERNATIVELY, STANDARD COMPACTION IF APPROPRIATE).
- ANY IMPORTED FILL SHALL COMPRISE LOW PLASTICITY GRANULAR MATERIAL WITH A PLASTICITY INDEX NOT MORE THAN 15%. SAND CUT FROM BASEMENT AREA SHOULD BE SUITABLE FOR REUSE AS FILLING.
- FILLING SHOULD BE RETAINED OR BATTERED TO A SLOPE OF NOT STEEPER THAN 2h:1v. ALL EXPOSED FILLING SHALL BE PROTECTED FROM EROSION
- CARE SHALL BE TAKEN TO ENSURE THAT ANY VIBRATORY ROLLING OR CONSTRUCTION ACTIVITIES DO NOT CAUSE DISTRESS (BY WAY OF INDUCED SETTLEMENT) TO ANY ADJACENT MOVEMENT-SENSITIVE FEATURES ETC.

Foundation Excavation:

- EXCAVATION FOR ALL FOOTINGS SHALL BE TAKEN TO THE DEPTHS SHOWN, OR TO A FOUNDATION STRATA CAPABLE OF SAFELY SUSTAINING A BEARING PRESSURE OF 100 kPa WHICHEVER IS THE DEEPER. ALL EXCAVATIONS SHALL BE FREE FROM LOOSE MATERIAL, MUD AND WATER. UNDERSIDE OF ALL FOOTINGS SHALL BE A MIN OF 100 mm BELOW NATURAL GROUND LEVEL UNLESS SHOWN OTHERWISE.
- EXCAVATIONS FOR BORED PIERS SHALL BE DONE BY MECHANICAL AUGER OR OTHER APPROVED MEANS. SIDES OF HOLES SHALL BE VERTICAL, AND SIDES AND BOTTOM SHALL BE FREE FROM LOOSE MATERIAL. CONCRETE SHALL BE PLACED IN EACH HOLE WITHIN 12 HOURS.

CONCRETE:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF AS 3600 AND AS 1379, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
2. CONCRETE QUALITY

ELEMENT	CONCRETE GRADE	SUMP	MAX. SIZE AGGREGATE	CEMENT TYPE
Ground Slab	N25	80	20	GP
Suspended Slabs	N32	80	20	GP
CORE FILL	S20	250	10	GP
3. ALL CONCRETE TO BE ADEQUATELY VIBRATED.
4. NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. PIPES OR ELECTRICAL CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER. THE CONCRETE COVER TO EMBEDDED PIPES OR CONDUITS SHALL BE A MIN OF 20mm.
5. CONSTRUCTION JOINTS SHALL BE MADE ONLY WHERE SHOWN ON THE DRAWINGS OR WHERE APPROVED BY THE ENGINEER.
6. BEAM DEPTHS ARE DESIGNATED FIRST AND INCLUDE SLAB THICKNESS, IF ANY.
7. UNDERPINNING WHERE NOT SHOWN ON DRAWINGS MUST BE APPROVED BY THE ENGINEER. FOR UNDERPINNING ONLY, $f_c = 15MPa$.
8. ALL CONCRETE SURFACES SHALL BE CURED BY AN APPROVED METHOD FOR SEVEN DAYS IMMEDIATELY THE CONCRETE IS SET.
9. ALL FORMWORK AND PROPPING TO SUSPENDED SLABS AND BEAMS SHALL REMAIN IN POSITION FOR 14 DAYS AFTER PLACING CONCRETE UNLESS SPECIFIED OTHERWISE. SUCH FLOOR SHALL REMAIN UNLOADED FOR 28 DAYS.
10. FLOOR SLABS ON GROUND :
ALL TOP SOIL AND UPPER STRATA CONTAINING ORGANIC MATTER IS TO BE REMOVED AND REPLACED BY AN APPROVED FILLING MATERIAL COMPACTED AS FOLLOWS:-
COHESIONLESS SOILS - MINIMUM DENSITY INDEX = 85%
COHESIVE SOILS - (MAX P.I. = 15%) = 98% STANDARD COMPACTION.
11. BUILDER TO PROVIDE MORTAR UNDER STEEL COLUMNS, BASEPLATES AS SPECIFIED.
12. ALL REINFORCEMENT TO COMPLY WITH THE CURRENT EDITIONS OF AS 1302, AS 1303, AS 1304 AND SHALL BE DESIGNATED THUS :
 - N DEFORMED BARS
 - Y HOT ROLLED DEFORMED BARS
 - R PLAIN ROUND BARS
 - F WELDED WIRE FABRIC
 - W STEEL WIRE, PLAIN AND DEFORMED.ALL FABRIC SHALL BE SUPPLIED IN FLAT SHEETS.
13. WELDING OF THE REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE DRAWINGS.

- GROUT MIX TO FILL CAVITY OR REINFORCED CONCRETE MASONRY WALLS TO HAVE A MINIMUM CHARACTERISTIC COMPRESSION STRENGTH OF 20 MPa(f_c). MAXIMUM SLUMP 250mm AND MAXIMUM AGGREGATE SIZE 10mm.
- UNREINFORCED CONCRETE MASONRY AND BRICKWORK SUPPORTING SLABS AND BEAMS SHALL HAVE A LAYER OF MORTAR PLACED ON TOP AND TROWELLED SMOOTH WITH TWO LAYERS OF BITUMENOUS FELT BETWEEN THIS SURFACE AND THE CONCRETE.

Structural ABBREVIATION LEGEND:

ABL	ABOVE FLOOR LINE	H.D.	HOLDING DOWN BOLT
BL/WK	BLOCKWORK	S	SNUG TIGHT
BR/WK	BRICKWORK	SL	SLAB LEVEL
CONC	CONCRETE	SSL	STRUCTURAL SLAB LEVEL
COS	CHECK ON SITE	T.B.C	TO BE CONFIRMED
MANF.	MANUFACTURER	T/F	TENSION FRICTION
		U.N.O.	UNLESS NOTED OTHERWISE

REINFORCEMENT COVER	EXPOSED TO WEATHER	NOT EXPOSED TO WEATHER
ELEMENT	REINF-T COVER (mm)	REINF-T COVER (mm)
PILECAPS, PAD & STRIP FOOTINGS	65	65
BORED PIERS	75	75
STAIRS	40	20
SUSPENDED SLABS	40	20
BEAMS	40	40
COLUMNS	40	40
SLAB ON GROUND	40	20

REO BAR LAP LENGTHS

UNLESS SHOWN OTHERWISE IN THE DRAWINGS. MINIMUM LAP LENGTHS SHALL BE AS FOLLOWS:

BAR	LAP LENGTH	BAR	LAP LENGTH
N12	600	N28	1350
N16	750	N32	1600
N20	950	N36	1900
N24	1150		

PROJECT:

231 WALSH STREET

MAREEBA

4880

-RESIDENTIAL-
NEW DUPLEX

DATE: OCT 2018

SCALE: AS SHOWN ON 'A3' SHEET

DRAWING TITLE:

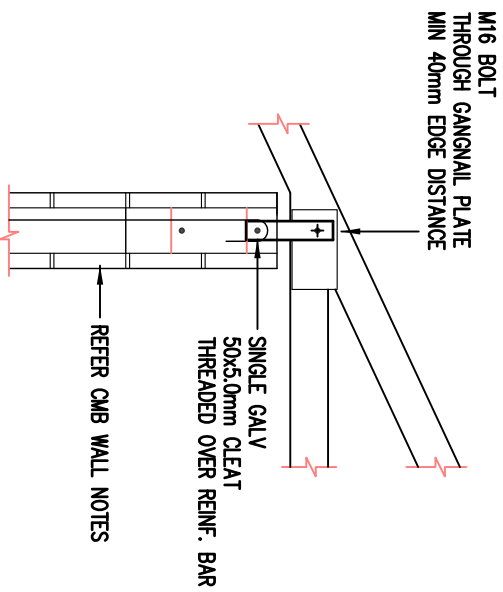
"Structural notes" & Wind

Rating Classification

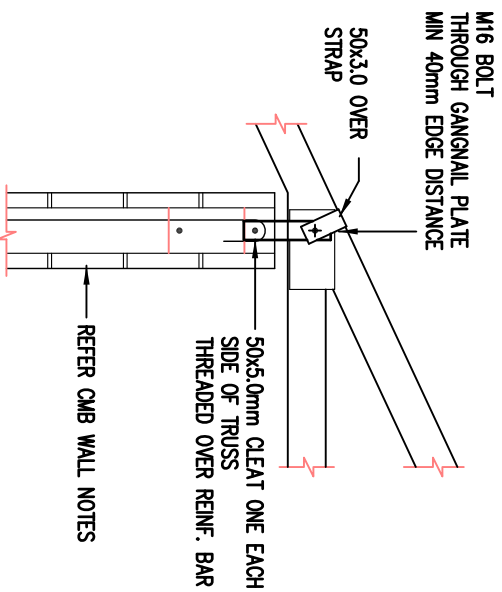
JOB NO.

0486 WD 101 A

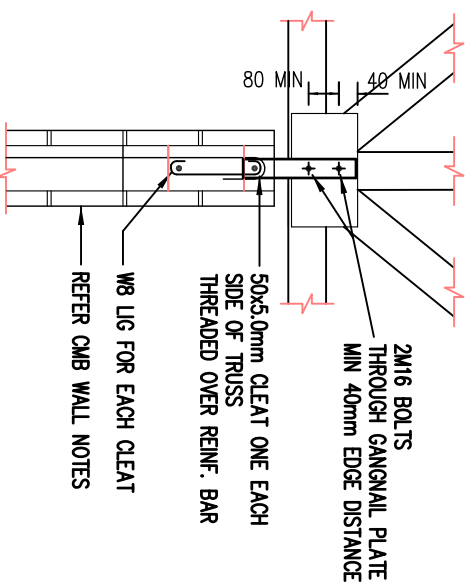
SHEET No. ISSUE



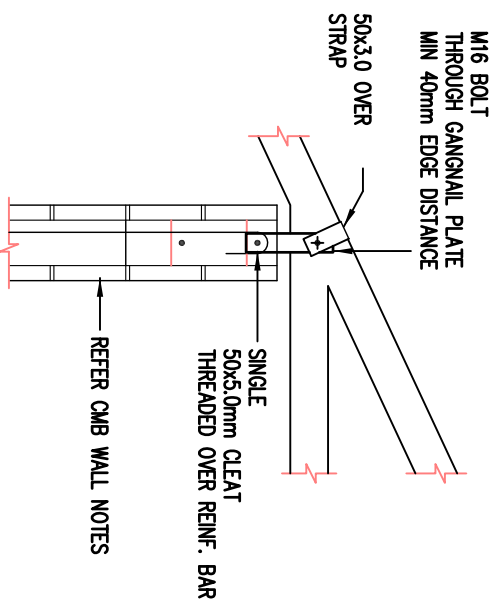
TD1



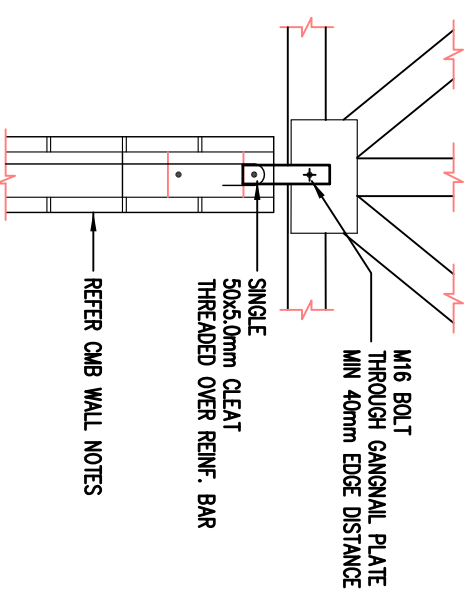
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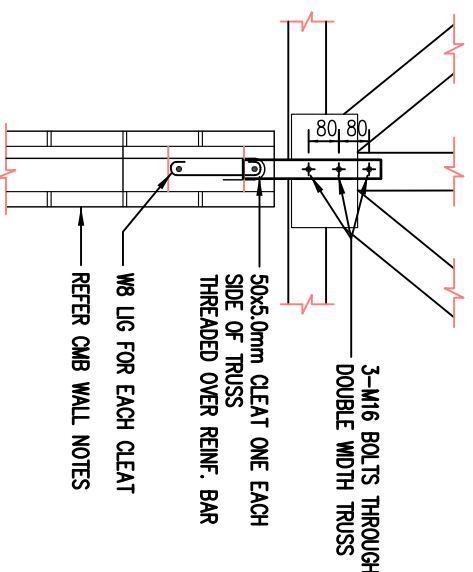
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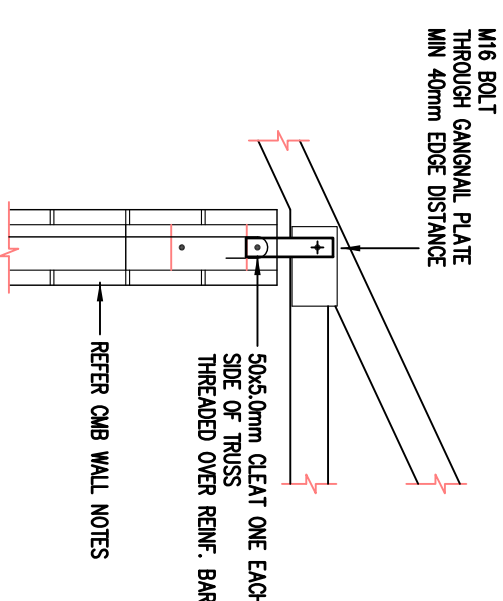
TD2



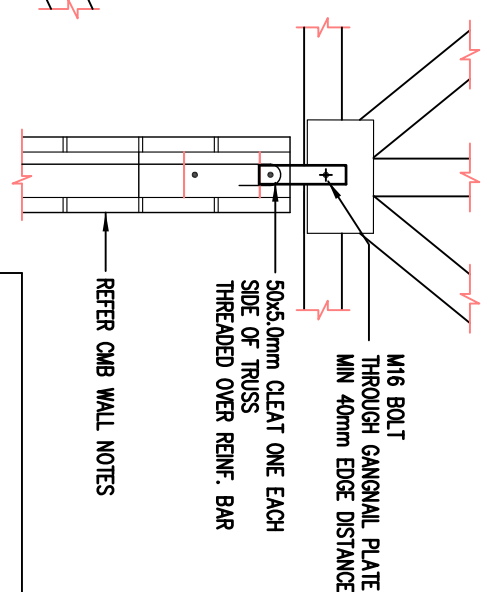
TD5



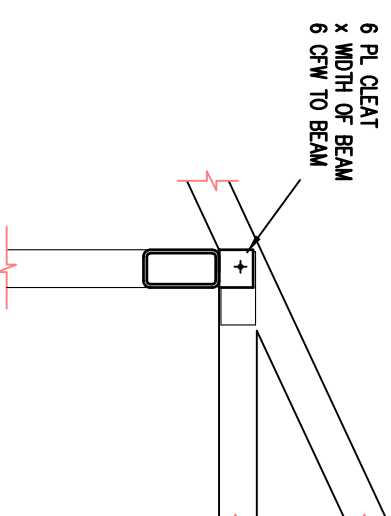
TD8



TD3



TD6



NOTE: UPLIFT RESISTANCE SAME AS TD1 - TD8 CONFIGURATION WITH ANGLES REPLACED BY CLEAT PLATES

TRUSS MANUFACTURER'S NOTE:
NOTE: MANUFACTURER IS TO SUBMIT TRUSS LAYOUT & REACTIONS REPORT TO THE ENGINEER FOR CONFIRMATION OF SIZES OF UNTELS AND THAT THE TIE-DOWNS ARE ADEQUATE BEFORE INSTALLATION.

UPLIFT RESISTANCE kN (Ultimate Limit State)	JOINT GROUP			
	4.6/S BOLTS	8.8/S BOLTS	8.8/S BOLTS	8.8/S BOLTS
TD1	J1	JD4	J1	JD4
TD2	29	16	30	16
TD3	40	40	66	49
TD4	35	23	35	23
TD5	57	57	92	73
TD6	29	16	30	16
TD7	35	23	35	23
TD8	70	46	70	46
	105	92	105	92

NOTE: PROVIDE 2-N12 (min) VERTICAL REINF. BARS ADJACENT TO CLEATS WITH TIE-DOWNS LOADS GREATER THAN 50kN

TRUSS TIE-DOWN-DETAILS

SITE WIND RATING:
REFER ENGINEERS "Structures Design Notes" OR CERT. STAMP
phone: 0428 294 235
EDMONTON 4869. QUEENSLAND
GREGORY G TERZI Associate Diploma Architectural Technology
Building Design & Drafting
-Building Designer - Medium Rise - QBCC LICENCE: 1177048-

PROJECT:
231 WALSH STREET
MAREEBA
4880
-RESIDENTIAL-
NEW DUPLEX
DATE: OCT 2018
SCALE: AS SHOWN ON 'A3' SHEET
DRAWING TITLE:
TIMBER ROOF TRUSS
TIE-DOWNS
JOB NO. 0486 SHEET No. **WD 102** ISSUE **B**

ARCHITECTURAL DESIGN NOTES

TYPICAL NOTES:

- Verify all dimensions and levels on site before commencing any works or preparation of fabricators shop drawings.
- Take figured dimensions in preference to scaled. All discrepancies shall be referred to the author before proceeding of works.
- ANY CONSTRUCTION TO VARY FROM PROJECT DOCUMENTATION PACKAGE, IS TO BE APPROVED BY ITS DESIGN AUTHOR or IF BEING A STRUCTURAL ELEMENT, THE ENGINEER**

- NATIONAL CONSTRUCTION CODE (BUILDING CODE OF AUSTR.) WORKS TO COMPLY WITH CURRENT 'NCC' OR THE YEAR ISSUE BUILDING APPROVAL WAS GIVEN.
- TERMITE MANAGEMENT

TERMITE PROTECTION TO MEET CURRENT 'BCA', METHODS BEST USED IN LOCAL AREA ACCEPTED BY AUTHORISED BUILDING CERTIFIER, AND INCORPORATES ANY TERMITE CONTROL NOTES ON DRAWINGS. Durable notices within building to state protection type and date

- SUSTAINABLE BUILDINGS NOTES -electrical & plumbing
- TO BE IN COMPLIANCE WITH CURRENT "Queensland Development Codes"
- WATER SAVING TARGETS -**RAINWATER HARVESTING FOR PLUMBING FIXTURES** (when applicable to subject regional council area)
- MATERIALS & PROPRIETARY ITEMS (ie. tradename products) ALL PRODUCTS AND MATERIALS USED AND INSTALLED IN ACCORDANCE TO MANF. SPEC.

- FURNITURE AND VEHICLES WHERE SHOWN
- NOT INCLUDED. SHOWN FOR INFORMATION PURPOSES REGARDING A ROOM SIZE AND OR TO LOCATE ELECTRICAL FITTINGS, etc, etc

WORK, HEALTH, and SAFETY

WORK HEALTH AND SAFETY ACT 2011

-DESIGNERS SAFETY REPORT

- EXTRACT FROM 'WHS regulation 2011' -"The designer of a structure or any part of a structure that is to be constructed must give the person conducting a business or undertaking who commissioned the design a written report that specifies the hazards relating to the design of the structure that, so far as the designer' is reasonably aware."
- Where the report can identify high risk construction work and other activities with a possible risk, it is understood for all general and specialised activity which may not be mentioned need to comply with 'Workplace Health and Safety Queensland' CODE OF PRACTICE publication, WHS Act, WHS Regulation and the contractors own trade standards.

REPORT READ IN CONJUNCTION WITH DRAWINGS & DOCUMENTS AT TIME OF ISSUE

- DRAWINGS LISTED ON TITLE SHEET WD00

SITE SPECIFIC REPORT EXCLUSION

- EXTERNAL HARDSCAPE, BUILDING PAD, DRIVEWAYS, PATHS, FENCING, AND RETAINING WALLS, STORM WATER.

SITE WIND CLASSIFICATION -C1

INTERNAL WALL FLOOR & CEILINGS:

- SELECTED SUBSTRATES AND FINAL FINISHES TO SATISFY CURRENT 'BCA' IN REGARDS TO THE STRUCTURES CLASSIFICATION
 - SEAL TO MINIMISE AIR LEAKAGE FORMING THE EXTERNAL FABRIC OF A CONDITIONED SPACE.
 - UNO. -WET AREAS AND SELECTED SPLASHBACKS TO WATER VESSELS TO COMPLY WITH CURRENT 'BCA' FOR WATER-PROOF OR WATER RESISTANT.
- NOTE: unless noted otherwise, verify bench or water vessel splashback extent
- NOTE: Multi-coat paint finishes are to suit material and location use exposure

STRUCTURES CLASS 1 -SMOKE ALARM:

- IF NOT SHOWN ON DRAWINGS, NEW SMOKE ALARMS IN ACCORDANCE WITH NCC AND Aust. Standards.

STRUCTURES CLASS 1 & 10a -TOILET ROOM DOORS:

- HINGED DOORS TO HAVE LIFT-OFF HINGES WHERE INWARD SWING WILL NOT HAVE THE SPECIFIED CLEARANCE WITH TOILET PAN. REFER TO CURRENT 'BCA' FOR MEASURE.

FUTURE MAINTENANCE:

- MATERIALS AND PROPRIETARY PRODUCTS - FOLLOW GUIDELINES AND LITERATURE NOTED OR AS FURTHER REFERENCED BY THE MANUFACTURER or SUPPLIER. INCLUDES GALVANISING OR OTHER PROPRIETARY PROTECTION COATINGS TO PRODUCTS.

AIR CONDITIONING:

- TERMINATE A/C CONDENSATION PIPES TO AN APPROVED POINT OF DISCHARGE AND CLEAR FROM FOOTINGS. BUILDING CERTIFIER TO VERIFY

ENERGY EFFICIENCY ASSESSMENT for CLASS 1:

AN ASSESSMENT AND CERTIFICATION FORMS REQUIRED FOR BUILDING APPLICATION WHERE A CLASS 1 STRUCTURE ARE THE FOLLOWING:

- NEW DWELLINGS
- AN EXTENSION (incl. alterations) IS APPROX. 50% THE SIZE OF EXISTING HABITABLE AREAS AND LINKED BY INTERNAL OPENINGS. AN ASSESSMENT FOR BOTH EXISTING AND NEW TOGETHER IS REQUIRED.
- A SEPARATE ADDITION IS APPROX. 50% THE SIZE OF EXISTING HABITABLE AREAS

NOTE LEVEL OF ASSESSMENT REQUIRED FOR ALL EXTENSIONS OR ADDITIONS TO BE CONFIRMED BY BUILDING CERTIFIER

FOR DOCUMENTED WORKS OR STRUCTURE AS IDENTIFIED "HIGH RISK CONSTRUCTION WORK"

- DEMOLITION:
 - NIL
 - ASBESTOS:
 - NIL
 - HAZARDS WITH ELECTRICAL SERVICES ADJACENT OR ON-SITE
 - NIL
 - EARTHWORKS:
Includes work carried out in or near a shaft or trench with excavated depth greater than 1.5m
 - NIL
 - STRUCTURAL alterations or repairs that require temp. support
 - NIL
 - STRUCTURAL pre-cast or tilt-up concrete
 - NIL
 - WORKING AT HEIGHTS
NEW ROOF EAVES AND UPPER FLOOR WALLS AT HEIGHTS GREATER THAN 2m ABOVE ADJACENT GROUND AND OR BUILDING FLOOR LEVEL.
- Specific to site notes:
- New slab on ground, suspended studs or framed floors with tied platforms -utilise as hard base to set-up level working platforms to reach heights internally
 - Ground line majority with-in close proximity to building footprint considered level after the forming earth platform for slab on ground- Check stability for use as hard base to set-up approved level working platforms to reach heights externally.
 - With various roof edge heights above 2M and above 3M from surface below -roof top working conditions require fall prevention system. **Roof pitch between 10° and 15°**

--Typical note: where possible, components for this structure should be pre-fabricated off-site or at ground level to minimise the risk of falling. Where construction requires working at heights listed, provide approved barriers, fall arrest systems, and level working platforms suitable and approved for each task--

- CONFINED SPACE
- NIL
- WORKS CARRIED OUT IN OR NEAR WATER THAT INVOLVES RISK OF DROWNING
- NIL

GENERAL ABBREVIATION LEGEND:

AFEL	ABOVE FLOOR LINE	DWG	DRAWING or DRAWING SHEET	NIS	NOT TO SCALE
AFEL	ABOVE FINISHED FLOOR LINE	EXIST	EXISTING	O/A	OVERALL
BAL	BAULSTRADE	FCE	FIBRE CEMENT	O/H	OVERHANG or OVERHEAD
BLWK	BLOCKWORK	FEE	FURNITURE, FIXTURES, & EQUIPMENT	OV	OVEN
BRWK	BRICKWORK, clay	FL	FLOOR	PI, BD	PLASTERBOARD
BN	BASIN	FR	FRIIDGE UPRIGHT space	PT	PAINT
BDRY	BOUNDARY	FZ	FREEZER UPRIGHT space	SHR	SHOWER
ChestFZ	CHEST FREEZER space	GL	GROUND LINE	SK	SINK
CL	CEILING LINE	HC	HOSE COCK	SSL	STRUCTURAL SLAB LEVEL
CMC	CONCRETE	H/W	HOTWATER UNIT	T.B.C.	TO BE CONFIRMED
COS	CHECK ON SITE	INFO	INFORMATION	UN.O.	UNLESS NOTED OTHERWISE
CUPBD	CUPBOARD	KIT	KITCHEN	US	UNDERSOE
DP	DOWNPIPE (rainwater)	LTRY	LAUNDRY	VB	VAINTY BASIN
DP	DOWNPIPE SPREADER	MANF.	MANUFACTURER	WC	WATER CLOSET
DAMP	DAMP PROOF MEMBRANE	MW	MICROWAVE space	W/M	WASHING MACHINE space
DW	DISHWASHER MACHINE space	N.I.C.	NOT INCLUDED IN CONTRACT		

NCC 'National Construction Code' series BCA 'Building Code of Australia' AS 'Australian Standard'

FOR DOCUMENTED WORKS OR STRUCTURE AS IDENTIFIED "LOW RISK CONSTRUCTION WORK"

- EARTHWORKS:
EXCAVATION FOR PLUMBING, DRAINAGE PIPE RUNS & OR PIER FOOTINGS
- Note where holes or trench are greater than 1.5m in depth, these areas shall be upgraded to "High Risk Construction Work".
Approved safety action by builders to be enforced.

Typical 'WHS' PUBLIC ACCESS

- Work sites with public access being of construction, demolition or under general maintenance will require warning signs and barriers suited for site specific in accordance to 'WHS regulations'. Secure barriers to prevent any unauthorised access will be site specific. Where electrical installations, excavations, plant or loose materials are present, should be secured when not supervised by leading contractor
 - EXISTING SERVICES BEING UNDERGROUND.
 - OVERHEAD OR WITH-IN BUILDINGS
- Check on-site for all existing services prior to construction. Consult with authorised personal for any affected by new works.
- MATERIALS and PROPRIETARY PRODUCTS FUTURE MAINTENANCE
- As listed by manufacturers recommendations and other specifications

phone: 04/28 294 235 EDMONTON 4869. QUEENSLAND

GREGORY G TERZI Associate Diploma **Building Design & Drafting**

-Building Designer--Medium Rise--QBCC LICENCE: 1117048-

PROJECT: DATE: OCT 2018

231 WALSH STREET SCALE: AS SHOWN ON 'A3' SHEET

MAREEBA DRAWING TITLE: *Architectural Design*

4880 *Notes and SAFE DESIGN*

-RESIDENTIAL- REPORT

NEW DUPLEX SHEET No. ISSUE

JOB NO. 0486 WD 200 C