

DELEGATED REPORT

SUBJECT: T WALLACE - MATERIAL CHANGE OF USE - MULTIPLE DWELLING - LOT 1 ON RP708211 - 231 WALSH STREET, MAREEBA - MCU/22/0006

DATE: 19 April 2022

REPORT OFFICER'S TITLE: Senior Planner

DEPARTMENT: Corporate and Community Services

APPLICATION DETAILS

APPLICATION		PREMISES	
APPLICANT	T Wallace	ADDRESS	231 Walsh Street, Mareeba
DATE LODGED	14 April 2022	RPD	Lot 1 on RP708211
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Material Change of Use - Multiple Dwelling		

FILE NO	MCU/22/0006	AREA	1012m2
LODGED BY	Northern Building Approvals	OWNER	T Wallace
PLANNING SCHEME	Mareeba Shire Council Planning Scheme 2016		
ZONE	Medium Density Residential zone		
LEVEL OF ASSESSMENT	Code Assessment (increased from <i>accepted development</i> , <i>subject to requirements</i> due to non compliance with AO3.2 of the Medium Density Residential zone code)		
SUBMISSIONS	n/a		

ATTACHMENTS: 1. Proposal Plan/s

EXECUTIVE SUMMARY

Council is in receipt of a development application described in the above application details.

The application is code assessable and was not required to undergo public notification.

It has been assessed against the relevant statutory planning instruments, including the Regional Plan and the Planning Scheme and does not conflict with any relevant planning instrument.

It is recommended that the application be approved in full with conditions.

OFFICER'S RECOMMENDATION

1. That in relation to the following development application:

APPLICATION		PREMISES	
APPLICANT	T Wallace	ADDRESS	231 Walsh Street, Mareeba
DATE LODGED	14 April 2022	RPD	Lot 1 on RP708211
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PROPOSED DEVELOPMENT	Material Change of Use - Multiple Dwelling		

and in accordance with the Planning Act 2016, the applicant be notified that the application for a development permit for the development specified in (A) is:

Approved by Council in accordance with the approved plans/documents listed in (B), subject to assessment manager conditions in (C), assessment manager's advice in (D), relevant period in (E), further permits in (F), and further approvals from Council listed in (G);

And

The assessment manager does not consider that the assessment manager's decision conflicts with a relevant instrument.

(A) APPROVED DEVELOPMENT: Development Permit for Material Change of Use - Multiple Dwelling

(B) APPROVED PLANS:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
0486 WD00 B	Title Sheet	Gregory G Terzi	Oct 2018
0486 WD01 D	Site Plan	Gregory G Terzi	Oct 2018
0486 WD02 B	Detail Site Plan	Gregory G Terzi	Oct 2018
0486 WD03 D	Floor Plan	Gregory G Terzi	Oct 2018
0486 WD04 C	Unit-A Floor Plan	Gregory G Terzi	Oct 2018
0486 WD05 C	Unit-B Floor Plan	Gregory G Terzi	Oct 2018
0486 WD06 C	Set-Out Floor Plan & sqm areas	Gregory G Terzi	Oct 2018
0486 WD07 D	Slab and Footings Plan	Gregory G Terzi	Oct 2018
0486 WD08 A	Slab and Footings Details	Gregory G Terzi	Oct 2018
0486 WD09 C	Roof Structures Plan	Gregory G Terzi	Oct 2018
0486 WD10 C	Roof Details	Gregory G Terzi	Oct 2018
0486 WD11 B	Roof & Ceiling Plan	Gregory G Terzi	Oct 2018
0486 WD12 A	Separation Wall - fire & acoustics	Gregory G Terzi	Oct 2018

0486 WD13 A	Separation Wall - structural	Gregory G Terzi	Oct 2018
0486 WD14 C	Wall Plan and Wall Construction Spec.	Gregory G Terzi	Oct 2018
0486 WD15 A	Sections	Gregory G Terzi	Oct 2018
0486 WD16 B	Sections	Gregory G Terzi	Oct 2018
0486 WD17 A	Sections	Gregory G Terzi	Oct 2018
0486 WD20 B	Electrical Layout	Gregory G Terzi	Oct 2018
0486 WD40 C	Elevations -External sheet 1 of 2	Gregory G Terzi	Oct 2018
0486 WD41 C	Elevations -External sheet 2 of 2	Gregory G Terzi	Oct 2018
0486 WD42 C	Windows and External Door Schedule	Gregory G Terzi	Oct 2018
0486 WD101 A	"Structural notes" & Wind Rating Classification	Gregory G Terzi	Oct 2018
0486 WD102 B	Timber Roof Truss Tie-Downs	Gregory G Terzi	Oct 2018
0486 WD200 C	Architectural Design Notes and Safe Design Report	Gregory G Terzi	Oct 2018

(C) ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)

(a) Development assessable against the Planning Scheme

1. Development must be carried out generally in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, subject to any alterations:
 - found necessary by Council's delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
 - to ensure compliance with the following conditions of approval.
2. Timing of Effect
 - 2.1 The conditions of the development permit must be complied with to the satisfaction of Council's delegated officer prior to the commencement of the use except where specified otherwise in these conditions of approval.
 - 2.2 Prior to the commencement of use, the applicant must notify Council that all the conditions of the development permit have been complied with, except where specified otherwise in these conditions of approval.
3. General
 - 3.1 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.

- 3.2 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.

(D) ASSESSMENT MANAGER'S ADVICE

- (a) A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.
- (b) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

- (c) Compliance with Acts and Regulations

The erection and use of the building must comply with the Building Act and all other relevant Acts, Regulations and Laws, and these approval conditions.

- (d) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.environment.gov.au.

- (e) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the "cultural heritage duty of care"). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.datsip.qld.gov.au.

(E) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Material Change of Use – six (6) years (starting the day the approval takes effect);

(F) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

- Development Permit for Building Work

(H) OTHER APPROVALS REQUIRED FROM COUNCIL

- Compliance Permit for Plumbing and Drainage Work

THE SITE

The subject site is situated at 231 Walsh Street, Mareeba and is described as Lot 1 on RP708211. The site is shaped like a parallelogram with skewed boundaries, has a total area of 1,012m² and is zoned Medium Density Residential under the Mareeba Shire Council Planning Scheme 2016. The site contains just over 20 metres of frontage to Walsh Street which is constructed to a bitumen sealed standard including kerb and channel for the entire frontage of the site. Access to the site is gained via a single unsealed crossover in the south-west corner.

The site is improved by a single dwelling, attached single bay carport and small garden shed. All urban services are connected to the allotment with Council's sewer main running generally through the centre of the allotment in a north-south direction. All surrounding lots are zoned Medium Density Residential and contain dwelling house uses.



Map Disclaimer:

Based on or contains data provided by the State of Queensland (Department of Environment and Resource Management) (2009). In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.



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BACKGROUND AND CONTEXT

Nil

PREVIOUS APPLICATIONS & APPROVALS

Development Approval RAL/19/0003 - Reconfiguring a lot - Subdivision (1 into 2 lots) issued on 26 March 2019. This development approval remains current until 26 March 2023 and is compatible with the current multiple dwelling application.

DESCRIPTION OF PROPOSED DEVELOPMENT

The development application seeks a Development Permit for Material Change of Use - Multiple Dwelling in accordance with the plans shown in **Attachment 1**.

The level of assessment for the proposed development has increased from *Accepted development, subject to requirements*, to Code Assessable, due to non compliance with Acceptable Outcome AO3.2 (siting) of the Medium Density Residential zone code.

All other requirements for accepted development can be met by the proposed development.

REGIONAL PLAN DESIGNATION

The subject site is included within the Urban Footprint land use category in the Far North Queensland Regional Plan 2009-2031. Mareeba is identified as a Major Regional Activity Centre

in the Regional Plan. The Regional Plan Map 3- 'Areas of Ecological Significance' does not identify the site as being of any significance.

PLANNING SCHEME DESIGNATIONS

Strategic Framework:	Land Use Categories <ul style="list-style-type: none"> Residential Area Transport Elements Local Collector Road
Zone:	Medium Density Residential Zone
Overlays:	Airport environs overlay Transport infrastructure overlay

Planning Scheme Definitions

The proposed use is defined as:-

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
<i>Multiple dwelling</i>	<i>Premises containing three or more dwellings for separate households.</i>	<i>Apartments, flats, units, townhouses, row housing, triplex</i>	<i>Rooming accommodation, dual occupancy, duplex, granny flat, residential care facility, retirement facility</i>

RELEVANT PLANNING INSTRUMENTS

Assessment of the proposed development against the relevant planning instruments is summarised as follows:-

(a) Far North Queensland Regional Plan 2009-2031

Separate assessment against the Regional Plan is not required because the Mareeba Shire Council Planning Scheme appropriately advances the Far North Queensland Regional Plan 2009-2031, as it applies to the planning scheme area.

(b) State Planning Policy

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

(c) Mareeba Shire Council Planning Scheme 2016

Relevant Development Codes

The following Development Codes are considered to be applicable to the development:

- 6.2.7 Medium density residential zone code
- 8.2.2 Airport environs overlay code

- 9.3.1 Accommodation activities code
- 9.4.2 Landscaping code
- 9.4.3 Parking and access code
- 9.4.5 Works, services and infrastructure code

Pursuant to sub-section 5.3.3(4)(b) of the Mareeba Shire Council Planning Scheme 2016, this application is assessed against the assessment benchmarks for the development application, limited to the subject matter of the required acceptable outcomes that were not complied with or were not capable of being complied with under sub-section 5.3.3(2).

Specifically, Performance Outcome PO3 of the Medium Density Residential zone code.

An officer assessment has found that the application satisfies the relevant performance outcome of the Medium Density Residential zone code.

Relevant Codes	Comments
<p>Medium density residential zone code (PO3 only)</p> <p>PO3</p> <p><i>Development is sited in a manner that considers and respects:</i></p> <p>(a) <i>the siting and use of adjoining premises;</i></p> <p>(b) <i>access to sunlight and daylight for the site and adjoining sites;</i></p> <p>(c) <i>privacy and overlooking;</i></p> <p>(d) <i>opportunities for casual surveillance of adjoining public spaces;</i></p> <p>(e) <i>air circulation and access to natural breezes;</i></p> <p>(f) <i>appearance of building bulk; and</i></p> <p>(g) <i>relationship with road corridors.</i></p>	<p>The proposed development fails to satisfy Acceptable Outcome AO3.2 which calls for a 2 metre side and rear boundary setback.</p> <p>Assessment is therefore required against the higher order Performance Outcome PO3.</p> <p>The proposed setbacks are:</p> <ul style="list-style-type: none"> • 1.5m to southern boundary; • 1.629m to northern boundary; and • 1.5 metres to eastern boundary. <p>All proposed setbacks satisfy the QDC specified setbacks.</p> <p>Assessment against PO3 is as follows:</p> <p>(a) <i>the siting and use of adjoining premises;</i></p> <p>Adjoining premises contain dwelling houses generally setback 6 metres from their respective street frontage. Side boundary setbacks are generally QDC compliant, with several domestic outbuildings built to the boundary.</p> <p>(b) <i>access to sunlight and daylight for the site and adjoining sites;</i></p> <p>Most existing development on the site and adjoining premises is located close to the road frontages. The proposed units will be at the rear of the subject site, allowing significant separation distance between them and nearby dwelling houses. The proposed development will not adversely impact on sunlight and daylight.</p> <p>(c) <i>privacy and overlooking;</i></p> <p>A 1.8 metre high solid fence is erected around the units. There will be no impact on privacy and overlooking.</p> <p>(d) <i>opportunities for casual surveillance of adjoining public spaces;</i></p> <p>The only adjoining public space is Walsh Street. The setback to Walsh Street is compliant.</p> <p>(e) <i>air circulation and access to natural breezes;</i></p>

	<p>Most existing development on the site and adjoining premises is located close to the road frontages. The proposed units will be at the rear of the subject site, allowing significant separation distance between them and nearby dwelling houses. The proposed development will not adversely impact on air circulation and natural breezes.</p> <p><i>(f) appearance of building bulk; and</i></p> <p>The proposed buildings will have the appearance of a standard duplex and is consistent with the character intended for the Medium Density Residential zone.</p> <p><i>(g) relationship with road corridors.</i></p> <p>The proposed development exceeds the required road frontage setback.</p> <p>The application will satisfy performance outcome PO3.</p>
Airport environs overlay code	The application will satisfy the requirements for accepted development.
Accommodation activities code	The application will satisfy the requirements for accepted development.
Landscaping code	The application will satisfy the requirements for accepted development.
Parking and access code	The application will satisfy the requirements for accepted development.
Works, services and infrastructure code	The application will satisfy the requirements for accepted development.

(e) Planning Scheme Policies/Infrastructure Charges Plan

The following planning scheme policies are relevant to the application:

Planning Scheme Policy 4 - FNQROC Regional Development Manual

A condition will be attached to any approval requiring all development works be designed and constructed in accordance with FNQROC Development Manual standards.

REFERRALS

This application did not trigger referral to a referral agency.

Internal Consultation

Nil

PLANNING DISCUSSION

Nil

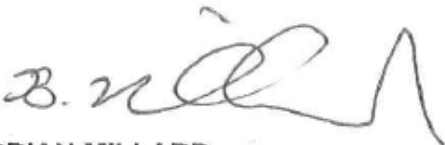
Date Prepared: 19 April 2022

DECISION BY DELEGATE

DECISION

Having considered the Senior Planner's report detailed above, I approve, as a delegate of Council, the application subject to the conditions listed in the report.

Dated the 19TH day of APRIL 2022



BRIAN MILLARD
SENIOR PLANNER

MAREEBA SHIRE
AS A DELEGATE OF THE COUNCIL

PROPOSAL PLANS

-NEW DUPLEX (class 1a)-
at

231 WALSH STREET
4880
MAREEBA

DRAWING SCHEDULE

Sheet size

WD 00	TITLE SHEET (drawing schedule)	A3
WD 01	SITE PLANS	
WD 02	DETAIL SITE PLAN (sewer, rainwater, & service connections)	A3
WD 03	FLOOR PLAN	
WD 04	FLOOR PLAN MEASURE –UNIT A	
WD 05	FLOOR PLAN MEASURE –UNIT B	
WD 06	SET-OUT FLOOR PLAN	
WD 07	SLAB & FOOTINGS PLAN	
WD 08	FOOTINGS DETAILS	A3
WD 09	ROOF STRUCTURES PLAN	
WD 10	ROOF STRUCTURES DETAILS	
WD 11	ROOF and CEILING PLAN (includes gutters & dp)	
WD 12	SEPARATION WALL –fire, acoustic	
WD 13	SEPARATION WALL –structural	
WD 14	WALL SPECIFICATION PLAN –structural	
WD 15	SECTIONS	
WD 16	SECTIONS	
WD 17	SECTIONS	
WD 20	ELECTRICAL LAYOUT	A3
WD 40	ELEVATIONS –EXTERNAL	
WD 41	ELEVATIONS –EXTERNAL	A3
WD 42	WINDOWS & EXTERNAL DOOR SCHEDULE	
WD 101	"Structural Engineers Design Notes"	
WD 102	TIMBER TRUSS TIE-DOWNS	A3
WD 200	"Architectural Design Notes and Abbreviations"	
WD 200	DESIGNERS WHS REPORT	A3

phone: 0418 794 735 EMBERTON 4880 QUEENSLAND GREGORY G TERZIAN Building Design & Drafting -Building Designer- -Medium Rise- -dccc LICENSE: 1110148-	PROJECT: 231 WALSH STREET MAREEBA 4880 -RESIDENTIAL- NEW DUPLEX	DATE: OCT 2018 SCALE: AS SHOWN ON A3 SHEET DRAWING TITLE: TITLE SHEET	JOB NO: 0486 SHEET NO: WD 00 ISSUE: B
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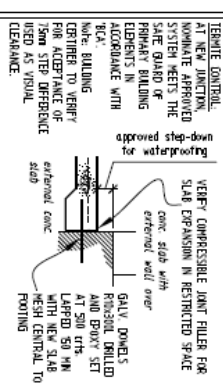
Unless noted otherwise
 BASED ON: GROUND LEVELS AND SITE PER MISC. WORKS.
 NEED TO STRUCTURAL ENGINEERS SITE PREPARATION NOTES.
 GRADE FINISH GROUND LEVELS MAY VARY FROM BUILDING PER GOOD SURFACE WATER DRAINAGE.
 WHERE CONTROL IS TO BE BUILT BUILDING PAD, FINAL SEWERAGE CONNECTION POINT, FROM THE SUB-STRUCTURE AND SURFACE WATER RAN-OFF SHALL DETERMINE TO DETERMINE PAD HEIGHT AND EXTENT.

unless noted otherwise
 WATER POWER AND COMMUNICATIONS SERVICE CONNECTIONS FOR NEW OR ALTERED EXISTING ARE TO COME FROM AN APPROVED EXISTING ON-SITE POINT OR BE THE PRIMARY POINT IN FROM A MAINS. SPECIFIC TO SITE IT IS TO BE ADVISED BY THE AUTHORIZED CONTRACTOR.

EXISTING SERVICES BEING UNDERGROUND COVERED, OR WITHIN BUILDINGS.
 CHECK ON-SITE FOR ALL EXISTING SERVICES PRIOR TO CONSTRUCTION.
 CONSULT WITH AUTHORIZED CONTRACTORS FOR ANY AFFECTED BY NEW WORKS.

REFER TO SHEET W01 & TIE-DOWN TO MAIN BUILDING DETAIL ON SHEET W02, EXTEND DOWNWARD FOR CONTRACTS TYPICAL REINFORCER PATTERN.

TERMINATE CONTROL AT NEW JUNCTION. MONOTONE APPROVED SYSTEM MEETS THE SATE BOARD OF EXPERTS IN BUILDING ACCORDANCE WITH REA. BUILDING CENTRE TO VERIFY FOR ACCEPTANCE OF 1500 STEP DIFFERENCE USED AS VISUAL CLEARANCE.



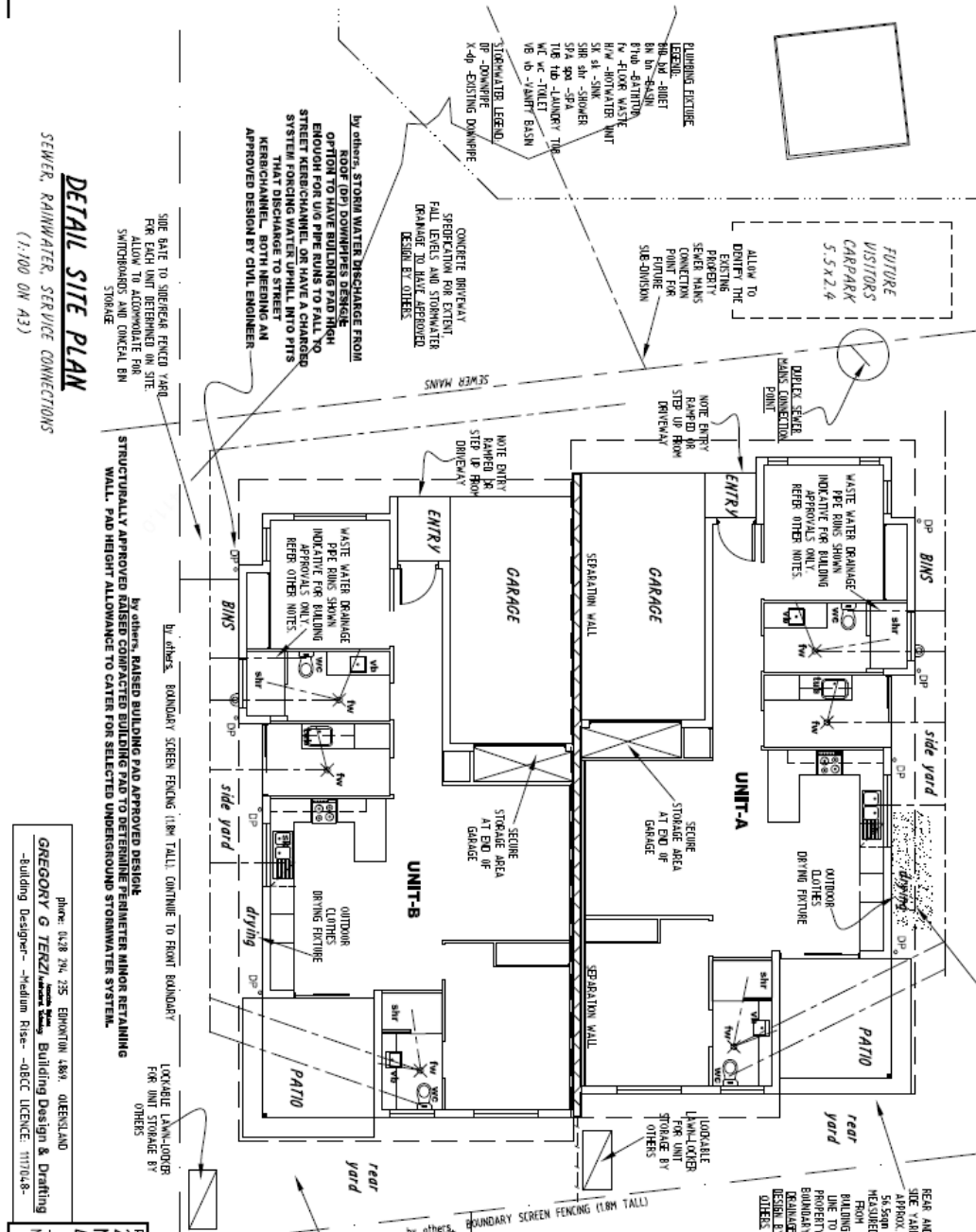
EXTERNAL CONCRETE SLABS JOINING CONCRETE FOOTINGS OF CLASS 1a (driveways, patios)

DOMESTIC WASTE WATER DRAINAGE
 WHERE SHOWN, INDICATE ONLY AND FOR BUILDING APPROVAL INFORMATION ONLY.
 PPE RINGS (and associated vents) TO BE DESIGNED BY AUTHORIZED PLUMBER FOR LAYOUT SUITING SITE CONDITIONS AND KNOWN RUTURE STRUCTURES.

STORAGE/REMOVABLE (DE) AND DISCHARGE DUE
 RINGS - refer to roof plan for string of or PPE RINGS. PPE RINGS ARE TO DISBURSE INTO NEW OR EXIST UNDERGROUND PIPE SYSTEM LEADING TO A LAUNDRY POINT OF DISCHARGE.
 UNDERGROUND RINGS WHERE SHOWN ARE INDICATIVE FOR BUILDING APPROVAL INFORMATION ONLY. INSTALL UNDERGROUND PPE'S TO SUIT SITE CONDITIONS. --ABEY--
 NUMBER OPS PER PIPE RING.
 DRILLING WITH SPACER CONDUCTORS FOR MAINTENANCE.

NOTE (LOCAL EXTERNAL WATER)
 CONTRACTS TO FINAL NUMBER & POSITION ALLOCATED FOR SHOWN ON PLANS

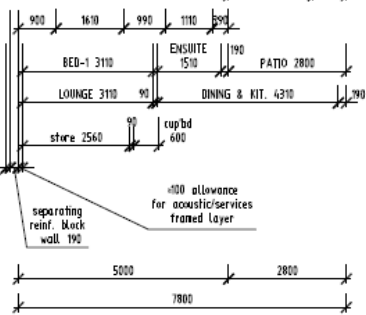
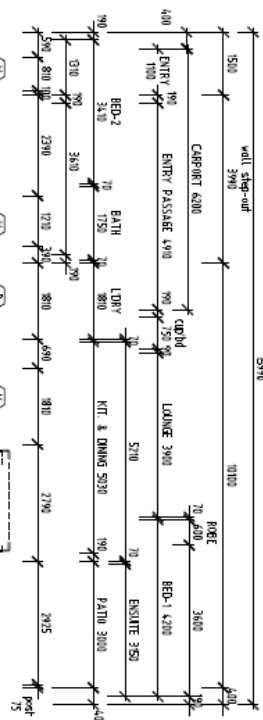
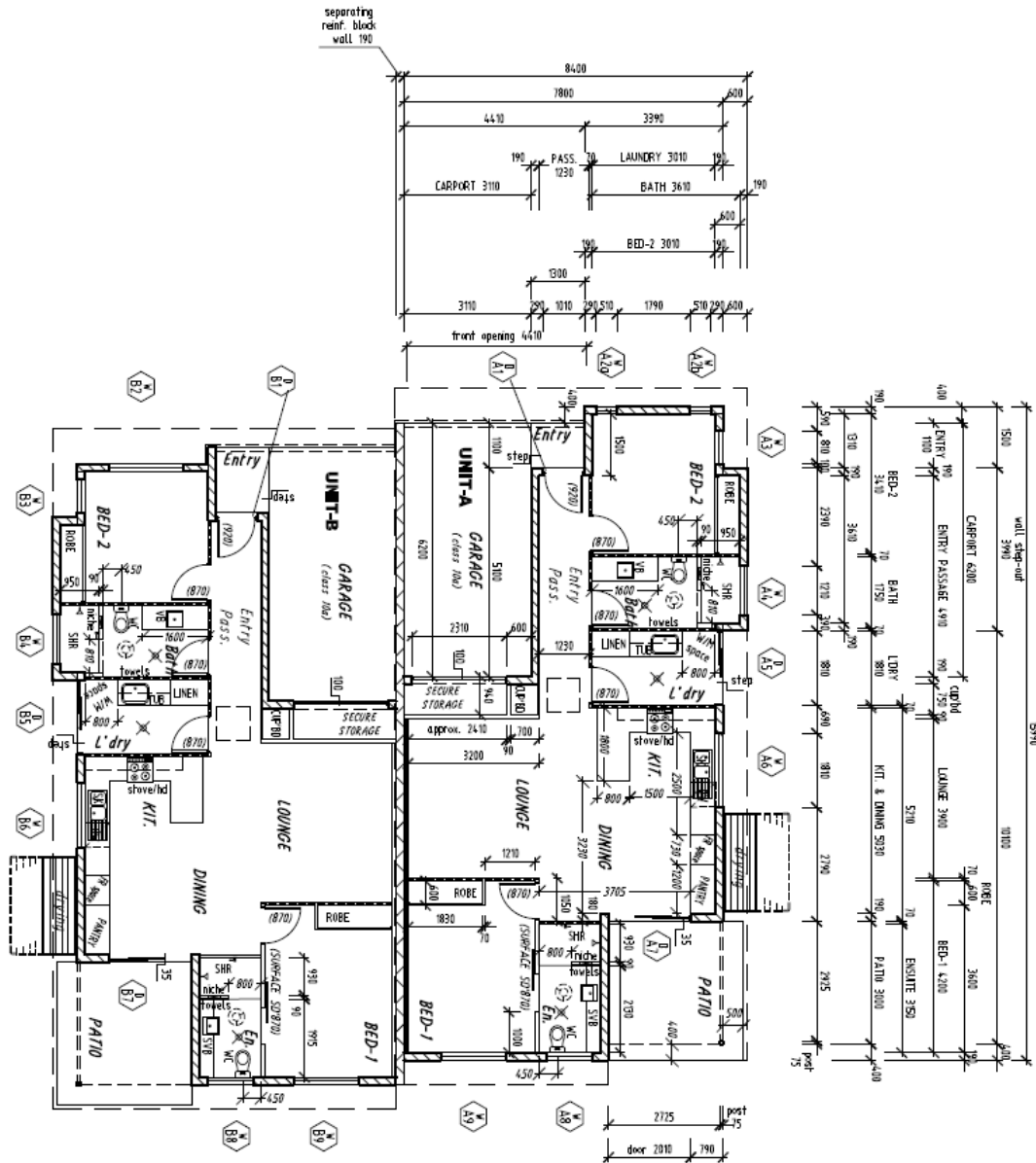
SOIL INVESTIGATION REPORT
 By: Dirt Professionals
 Job Reference: 20495
 CLASS 'M'



DETAIL SITE PLAN
 SEWER, RAINWATER, SERVICE CONNECTIONS
 (1:100 ON A3)

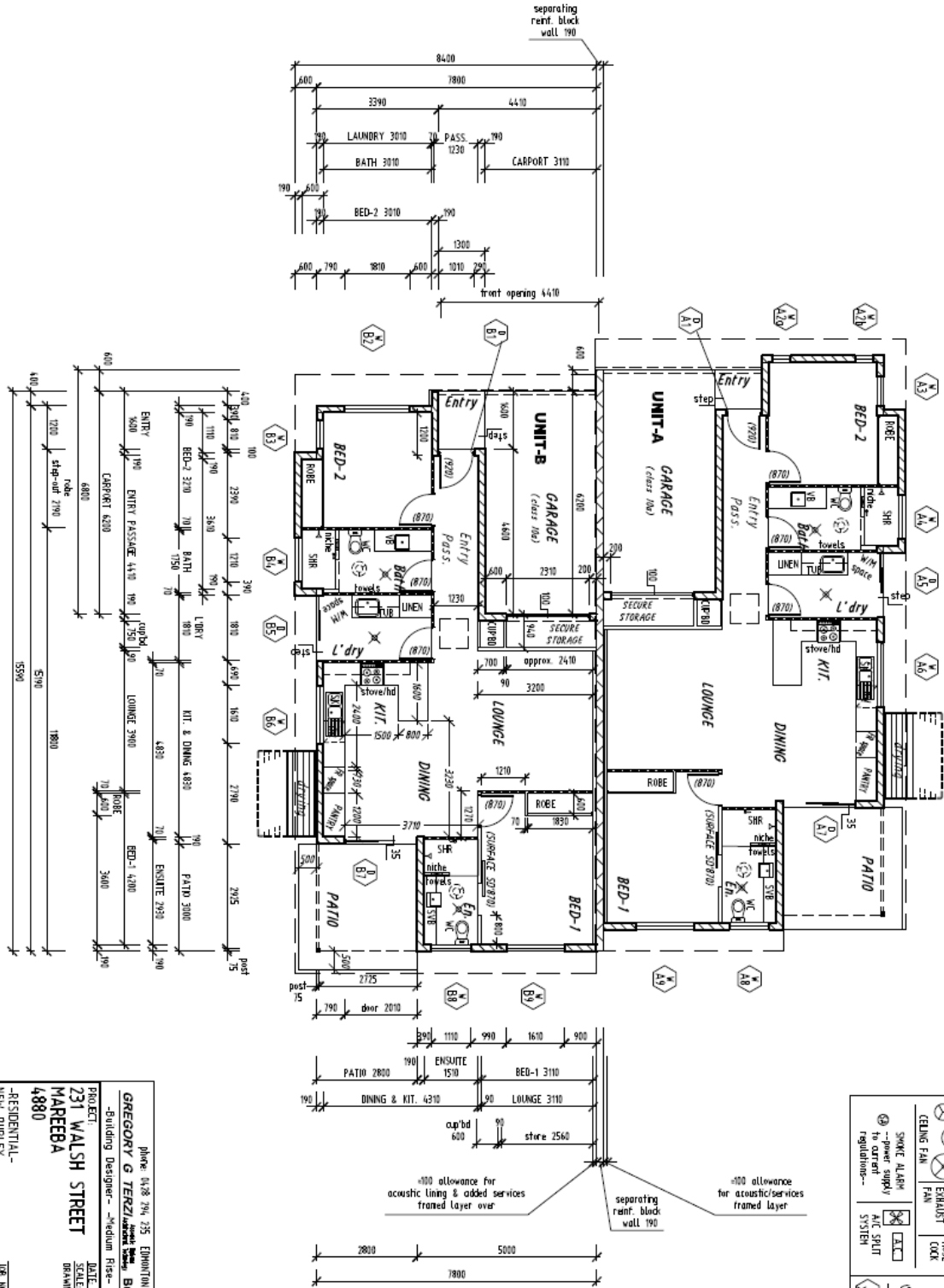
phone: 06-28 74 25, EDMONTON 489, QUEENSLAND
GREGORY G TENZLA *Senior Design* Building Design & Drafting
 -Building Designer- -Medium Rise- -DCC LICENSE: 1117048-

PROJECT: 231 WALSH STREET
 MAREEBA
 4880
 -RESIDENTIAL-
 NEW DUPLEX
 DATE: OCT 2018
 SCALE: AS SHOWN ON A3 SHEET
 DRAWING TITLE: **DETAIL SITE PLAN**
 SHEET No. **MD 02** ISSUE **B**
 JOB NO. 0486



THRU	ROBE	TRAP	WALL CONTROL JOINT
CEILING FAN	ROOM	CEILING EXHAUST FAN	DOOR LEAF SIZE
SINK ALARM	HOSE COCK	power supply to cabinet	SLIDING DOOR LEAF SIZE
AC SYSTEM	COCK	AC SYSTEM	centric slide type unless noted
			DOOR / WINDOW
			HIGH WINDOW

phone: (438) 294 235, EMMINGTON 4889, QUEENSLAND
GREGORY G TENZIL
 -Building Designer- Medium Rise- Building Design & Drafting
 -DECC LICENCE: 117048-
231 WALSH STREET
MAREEBA
4880
 -RESIDENTIAL-
 NEW DUPLEX
 DATE: OCT 2018
 SCALE: AS SHOWN ON A3 SHEET
 DRAWING TITLE:
UNIT-A
FLOOR PLAN
 JOB NO: 0486
 SHEET NO: **WD 04**
 ISSUE: **C**



TRUSS	ROBE	WALL CONTROL JOINT
CEILING FAN	ROOM EXHAUST FAN	DOOR LEAF SIZE
SOUND ALARM (power supply to control requirement)	KITCHEN EXHAUST SYSTEM	SLIDING DOOR LEAF SIZE
		centric slide type unless noted
		DOOR / WINDOW
		HIGH WINDOW

phone: 0428 294 235, EMMITTON 4889, QUEENSLAND

GREGORY G TENZLI REGISTERED ARCHITECT, Building Design & Drafting

PROJECT: Building Designer - Medium Rise - DEC LICENCE: 117048-

231 WALSH STREET

MAREEBA

4880

DATE: OCT 2018

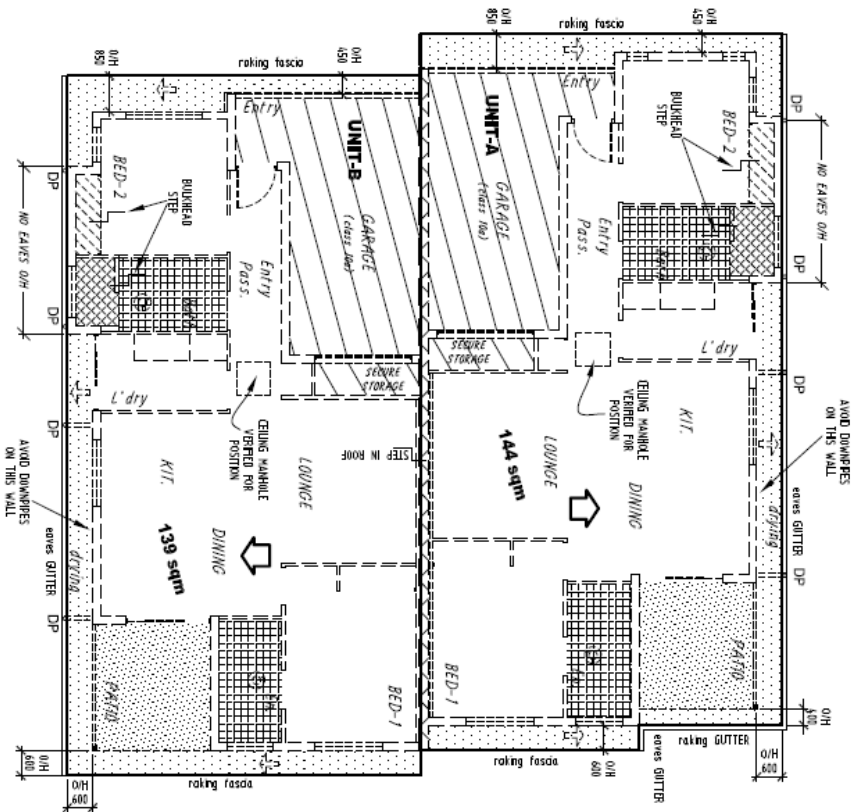
SCALE: AS SHOWN ON 43' SHEET

DRAWING TITLE: **UNIT-B FLOOR PLAN**

JOB NO: 0486

SHEET NO: **WD 05**

ISSUE: **C**



ROOF & CEILING PLAN
(1:100 ON A3)

phone: 0438 244 755 EPOWORTH 4849 ODEENSLAND
GREGORY G TERZILIO *Architect* Building Design & Drafting
 -Building Designer- -Medium Rise- -DCCC LICENCE: 1117048-

PROJECT: 231 WALSH STREET
 MAREEBA
 4880
 -RESIDENTIAL-
 NEW DUPLEX
 DATE: OCT 2018
 SCALE: AS SHOWN ON 43' SHEET
 DRAWING TITLE: **ROOF & CEILING PLAN**
 SHEET NO. **WD 11** ISSUE **B**
 JOB NO. 0486

GUTTERS AND DIPS, VIC Volume-2 Part 353
 NUMBER OF RISE DOWN PIPES CALCULATED USING A
 SLOTTED FACE METHOD RECTANGULAR GUTTER ASSUMED ON
 CROSS SECTION DRAINING 45MM ROOF CATCHMENT AREA
 BASED ON 5mm URAVIAN RAINFALL INTENSITY FOR 100
 YEARS AVERAGE RETURN PERIOD INTERVAL. *When
 GUTTER TO HAVE FLASH SPACES FOR REAR OVERTLOW
 NOTE: INSTALLER AND PRODUCT NAME TO VERIFY THE
 MEASURE
 PRODUCT SPECIFICATION

XX sqm
 ROOF AREAS WEATHERED ON ITS PLAN VIEW
 ONLY AND NOT THE FACE. THIS IS AN
 APPROX. SIZE FOR QUOTING PURPOSES AND
 CALCULATION OF STEEP WATER CATCHMENT
 CONTRACTORS TO VERIFY

ENTRIES FALL IN CEILING
 OR EAVES SHEET

ENTRIES FALL IN
 EXISTING ROOF

ENTRIES FALL IN
 ROOF

X-DIP EXISTING DOWNSPIPE
 NEW DOWNSPIPE

DP NEW DOWNSPIPE
 DP/SIP WITH SPREADERS

Roof Thermal Insulation for metal roof sheeting:

- FORMING CLASS 2 BUILDING ENVELOPE
- INSULATION TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND APPROVED THERMAL INSULATION LAYER WITH A REDUCED R-VALUE OF 0.1m² K/W IS NOT ADDED
- E-QUALITY PREFORMED PRODUCT TO BE OF BUILT INSULATION BONDED BETWEEN PERFECTIVE FOIL AND BREATHER MEMBRANE
- VENDOR OF OUTDOOR LIVING ROOF
- USAN TO MATCH MAIN ROUSE
- GARAGE TRO
- USAN TO MATCH MAIN ROUSE

INTERNAL CEILING:
 unless otherwise different
 internal BATTENS, FIBRE CEMENT SHEETING OR WHERE PROTECTED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATION A WATER RESISTANT PLASTERBOARD CEILING application suited to site conditions

INTERNAL BULKHEAD OR BENCH:
 unless otherwise different
 internal BATTENS, FIBRE CEMENT SHEETING OR WHERE PROTECTED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATION A WATER RESISTANT PLASTERBOARD CEILING application suited to site conditions

INTERNAL CEILING:
 unless otherwise different
 internal BATTENS, FIBRE CEMENT SHEETING OR WHERE PROTECTED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATION

INTERNAL CEILING:
 unless otherwise different
 internal BATTENS, FIBRE CEMENT SHEETING OR WHERE PROTECTED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATION

INTERNAL CEILING:
 unless otherwise different
 internal BATTENS, FIBRE CEMENT SHEETING OR WHERE PROTECTED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATION

CEILING LEGEND

TYPICAL WHITE CEILING AND SURFACES:

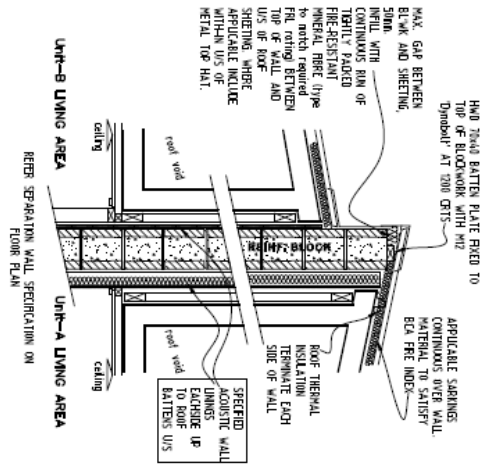
- CONCRETE CORNER TRIM (CONCRETE) STYLE
- MULTI-COAT PAINT FINISH UNLESS PRODUCT HAS A PROPRIETARY FINISH
- A FIRE RATED PRODUCT TO COVER USE OF PVC STRAIGHT JAMBES

INTERNAL CEILING:
 unless otherwise different
 internal BATTENS, FIBRE CEMENT SHEETING OR WHERE PROTECTED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATION

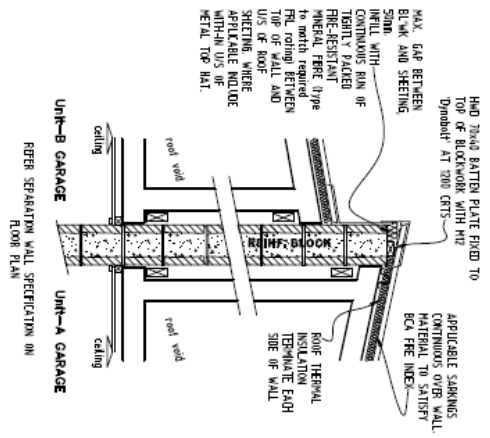
INTERNAL CEILING:
 unless otherwise different
 internal BATTENS, FIBRE CEMENT SHEETING OR WHERE PROTECTED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATION

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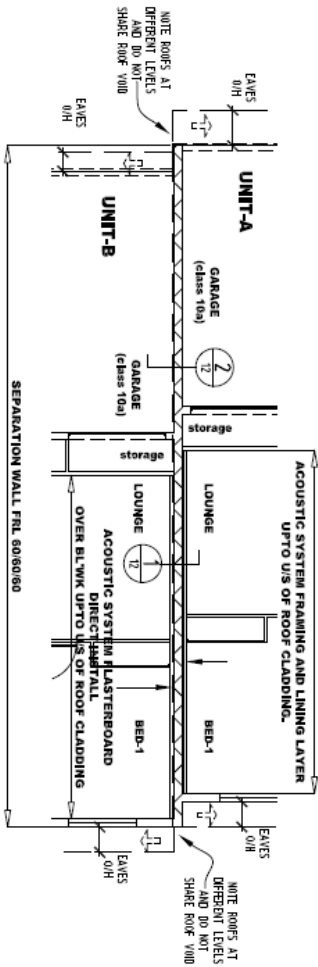
INTERNAL CEILING:
 unless otherwise different
 internal BATTENS, FIBRE CEMENT SHEETING OR WHERE PROTECTED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATION



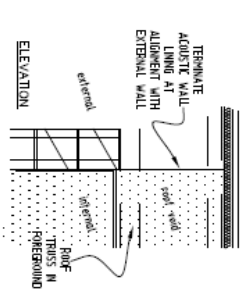
1 roof level separation wall for fire/acoustic between living areas -Detail (scale 1:20)



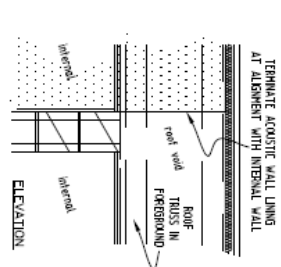
2 roof level separation wall for fire/acoustic between class 10d garages -Detail (scale 1:20)



PLAN VIEW - Separation Wall (1:100 ON A3)



3 indicative detail: acoustic wall lining extent at external wall

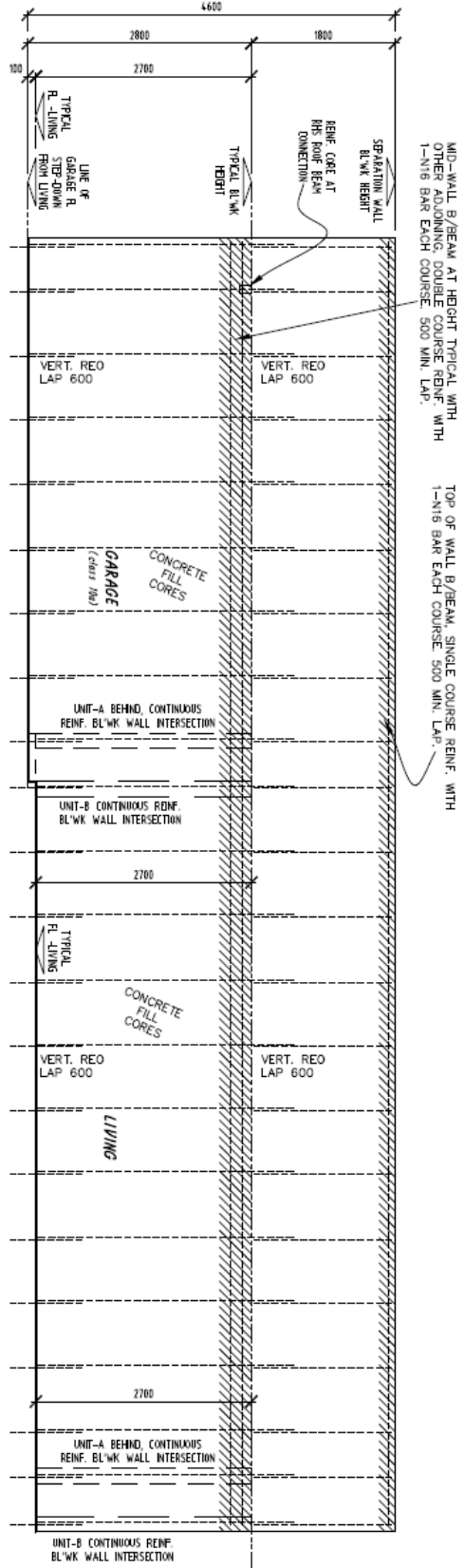


4 indicative detail: acoustic wall lining extent at internal wall

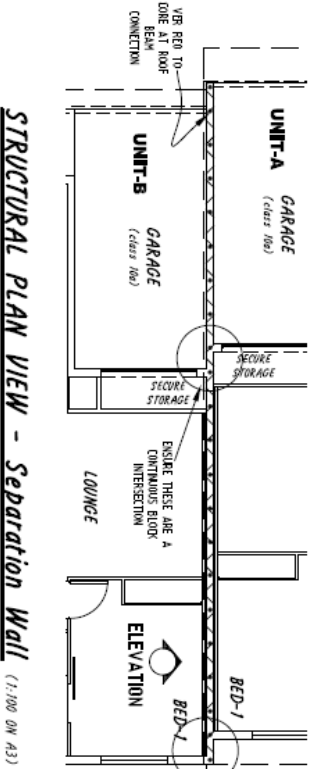
SEPARATING WALL:
 PRE RATING (FRL) 60/60/60
 equal to CONCRETE BLOCK MASONRY
 MAF1 - AOB1 - TEST/OPINION (4w 55)
 NUMBER/REV/DATE/ISSUE (4w 55)
 • Concrete all cell block cores and bedding joints (pmps) to be solid filled.
 • Note to check use of 'H' or 'U' core fill blocks.
 REFER DETAILS FOR EXTENT OF WALL HEIGHT AND TERMINATION WITH TOP OF ROOFS

SEPARATING WALL:
 ACOUSTIC R1w+Cw 50 min.
 equal to CYPROCK System CSR761
 13mm CYPROCK wall system with
 13mm CYPROCK storage
 • Unit-A, BED-1, LOUNGE
 • Unit-B, BED-1, LOUNGE
 • Unit-A, BED-1, LOUNGE
 • Unit-B, BED-1, LOUNGE
 Soundlock plasterboard fixed to ground level masonry and stud INSULATE BETWEEN STUDS WITH 75 GW 11kg INSULATION
 ACOUSTIC SYSTEM UP TO ROOF CLADDING U/S. REFER DETAILS FOR ALLOWED GAP WITH ROOF CLADDING

phone: 0428 294 255	EMPHINSTON 4889	QUEENSLAND
GREGORY G TERZILIO <small>REGISTERED ARCHITECT</small> Building Design & Drafting		
-Building Designer- -Medium Rise- -DECT LICENCE: 1170418-		
PROJECT:	DATE: OCT 2018	
231 WALSH STREET	SCALE: AS SHOWN ON 4/2 SHEET	
MAREEBA	DRAWING TITLE:	
4880	SEPARATION WALL	
	-fire & acoustics	
-RESIDENTIAL- NEW DUPLEX	JOB NO: 0486	SHEET NO: WD12 ISSUE: A



STRUCTURAL ELEVATION - Separation Wall (1:50 ON A3)

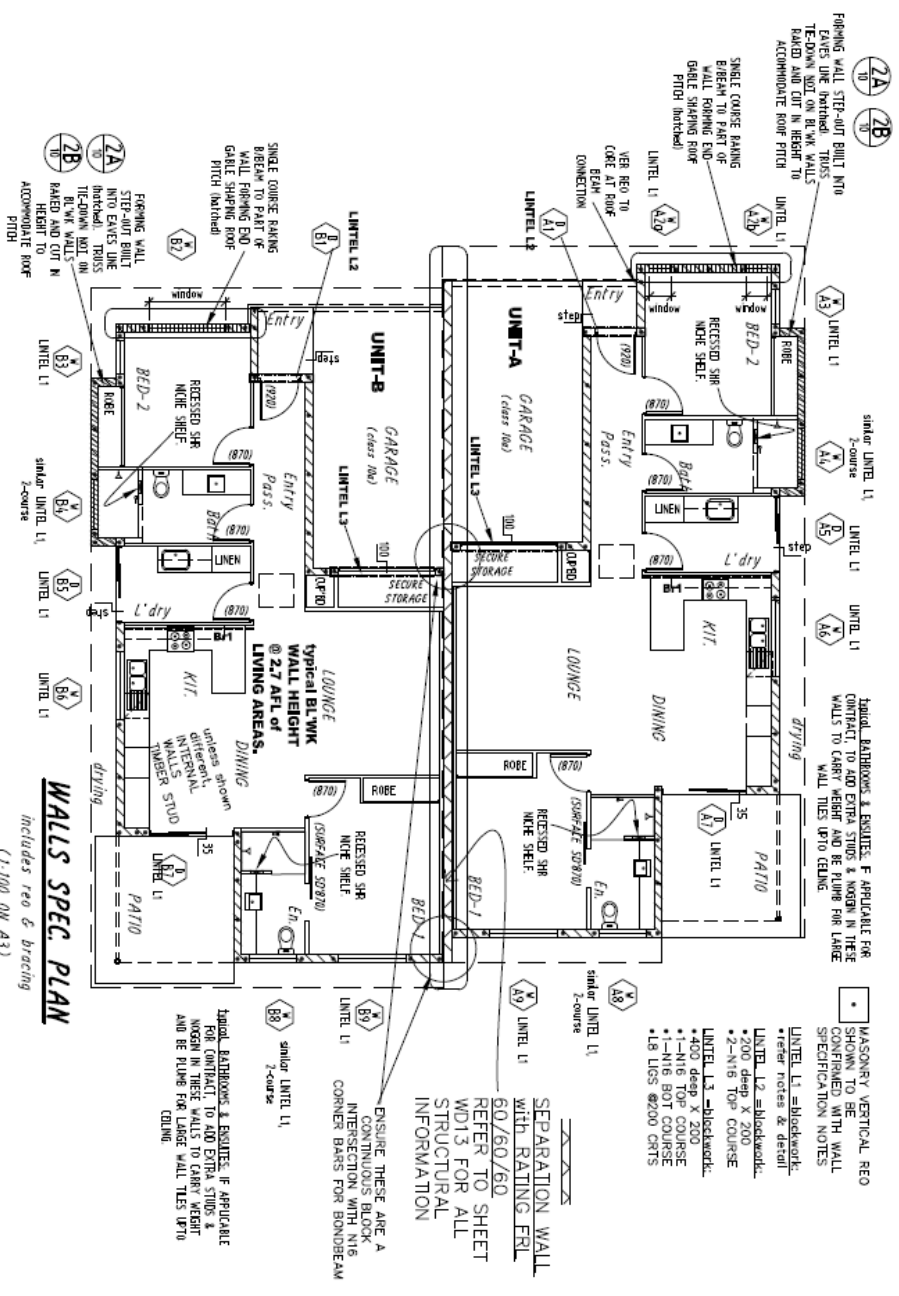


STRUCTURAL PLAN VIEW - Separation Wall (1:100 ON A3)

Reinf. Block Separation Walls
Specification:

- refer structural engineer's design notes for more information--
- FIRE RATING (FRL):** 60/60/60 equal to CONCRETE BLOCK MASONRY WALL - ADAPT. TESTIFICATION NUMBER RB/05/3 943 R16 (Rw 55) 200SERIES BLOCKS 2000
- CONCRETE FILL, ALL BLOCK CORERS AND BEDDING
- CORERS (REPS) TO BE SLOTTED INTO CONCRETE FILL
- MESH TO CHECK OUT OF 10 OR 10 CORE FILL BLOCKS.
- REEF DETAILS FOR EXTENT OF WALL HEIGHT AND TERMINATION WITH TOP OF ROOFS
- BOND-BEAM AT TOP**
 - AS SHOWN ON STRUCTURAL ELEVATION
 - HEADING BOND-BEAM UNLESS NOTED OTHERWISE ON PLANS, ALLOW TO MATCH
- BOND-BEAM MIDDLE**
 - VERTICAL REEF ON STRUCTURAL ELEVATION
 - REFE WITH SPECIFIED VERTICAL HENKERS AS SHOWN INCLUDING ENDS, CORNERS, INTERSECTIONS
 - STARTER BARS LAPPED 600 MIN. WITH VERTICAL REEF

phone: 0428 294 735 EPPINGTON 489 QLD/ENSLAND GREGORY G TERZL <small>REGISTERED ARCHITECT</small> Building Design & Drafting -Building Designer- -Medium Rise- -DPRC LICENCE: 1117048-	
PROJECT 231 WALSH STREET MAREEBA 4880 -RESIDENTIAL- NEW DUPLEX	DATE: OCT 2018 SCALE: AS SHOWN ON A3 SHEET DRAWING TITLE: SEPARATION WALL -STRUCTURAL- JOB NO: 0486 SHEET No: WD13 ISSUE: A



Timber Stud Walls Specification:

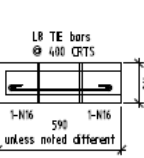
- INTERNAL WALLS Non-loadbearing**
70mm OR 90mm timber stud
- 1. 2x STUDS - THREE 70x35 H9070 @150 MAX CRTS
 - MASON - THREE 70x35 @150 MAX CRTS
 - TOP AND BOTTOM PLATES - MATCH WALL STUDS
 - WALLS NOT TO EXCEED 2M IN HEIGHT
 - LEADBACK TO 90 STUD
2. CONCRETE TYPICAL BOTTOM PLATES FOR STUD WALLS FIXED DIRECT OVER CONCRETE AND OVER ALIGNED MET-AREAS
3. INTERNAL WALL-LOADBEARING THREE FRAMED WALLS TO BE FINED TO THUS MUST SATISFY NCC PERFORMANCE REQUIREMENTS WHERE ALTERNATIVE METHOD IS SUPPLIED BY STRUCTURAL ENGINEER THIS METHOD TO BE ACCEPTED BY CERTIFIER

STUD WALL BRACING

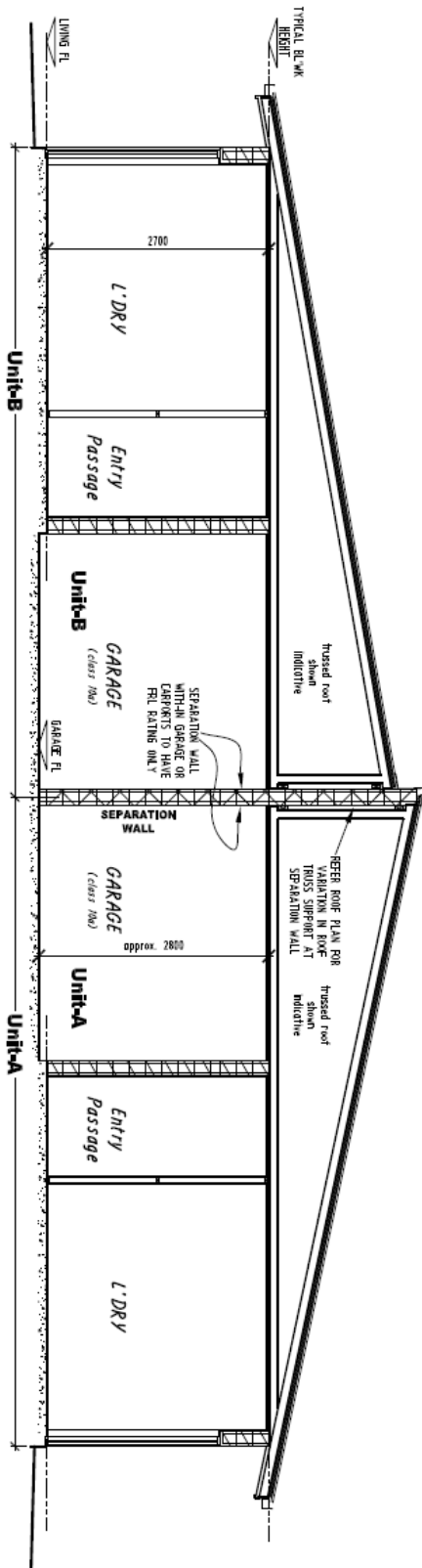
1. IF APPLICABLE PLY SHEETING IDENTIFIED AS TYPE 'B'-1' REFER FLOOR PLAN FOR SIZE OF WALL BRACING SHEETS LOCATION. STRUCTURAL PLANNING BRACING FIELD IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND AS1684.3 DESIGN FOR SKILLION BRACING RESISTANCE
2. UNLESS NOTED OTHERWISE PROVIDE THE FOLLOWING: BRACING AT EACH END OF BRACING WALL AND AT 900 CRTS MAX BETWEEN UNLESS SPECIFIED OTHERWISE IN THE WALL SPEC FOR LOAD BEARING WALLS--
3. PROVIDE ANTI-RATCHING DETAILS TO TOP OF BRACING WALLS IN ACCORDANCE WITH AS1684.3 RESIDENTIAL. THREE-FRAME CONSTRUCTION - CYCLONE

Reinf. block walls Specification:

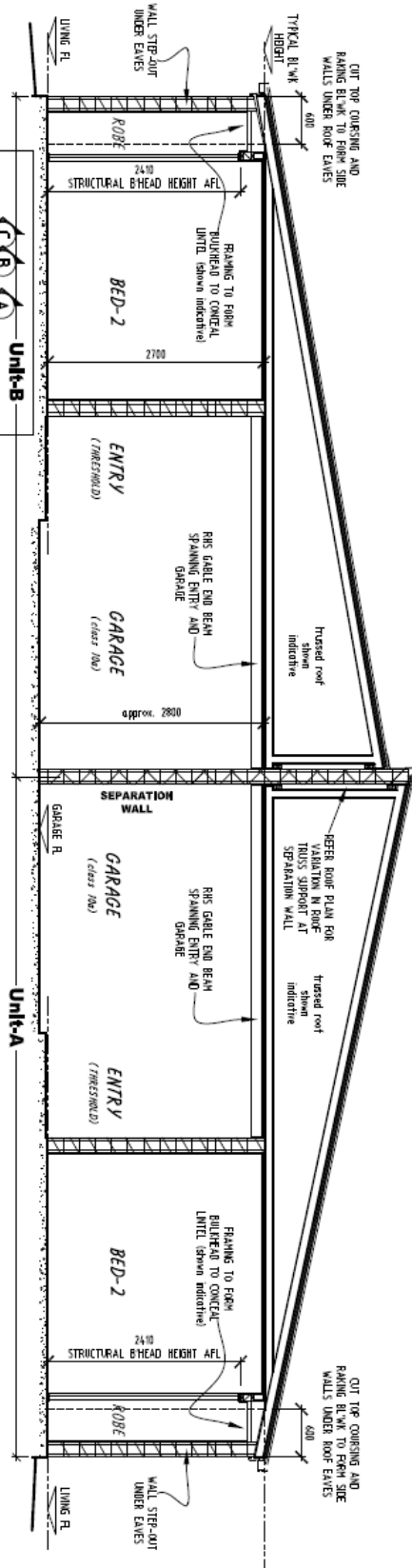
- REFER STRUCTURAL ENGINEERS DESIGN NOTES FOR MORE INFORMATION--
- Typical WALLS SUPPORTING ROOF**
reinforced 200-series Blockwork
- BOND-BEAM AT OTHER SIDE OF ROOF**
EACH CORNER SHALL BE REINFORCED WITH 2x16 BAR EACH CORNER UNLESS NOTED OTHERWISE ON PLANS. ALLOW TO MATCH TYPICAL WINDOW SILL BOND-BEAM
- SINGLE COURSE BOND-BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINFC WITH 1x12 EXTEND BOND-BEAM 200 PAST EACH SIDE OF OPENING
- LINTELS - unless noted different--
-TYPICAL LINTELS TO BE BOND WITH 2x12 OR 2x16 BAR WITH 18 TE BARS @ 400 MAX CRTS
- VERTICAL REO - unless noted different--
-REINFC WITH VERTICAL OF M12 @ 600 MAX CRTS INCLUDING ENDS, CORNERS, INTERSECTIONS, AND AT EACH SIDE OF OPENINGS
- PROVIDE ADDITIONAL VERTICAL BARS TO CORERS ADJACENT OPENINGS GREATER THAN 800 WIDE
- CONCRETE SILL ALL CROSS CORNER/JUNCTION REINFC. ANCHOR DOWN BARS AND MASONRY ANCHORS
- STARTER BARS LAPPED 600 MM WITH VERTICAL REO
- W.C.A. -REINOTES WALL CONTROL JOINTS UNLESS NOTED OTHERWISE. DRAWN REFER DETAIL
- SEPARATION WALL**
WITH FRL Rating
REFER SHEET W02 FOR DETAILS



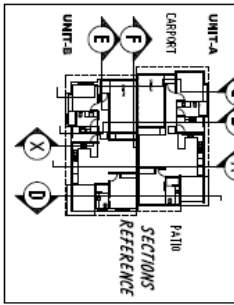
phone: 0438 246 255	EMPHATHION 4889	QUEENSLAND
GREGORY & TERNI	Building Design & Drafting	
Building Designer	Medium Rise	-DEC LICENCE 1170148-
231 WALSH STREET	DATE: OCT 2018	
MAREEBA	SCALE: AS SHOWN ON 43 SHEET	
4880	DRAWING TITLE:	
RESIDENTIAL-	WALL PLAN and WALL CONSTRUCTION SPEC	
NEW DUPLEX	SHEET NO. WD14	ISSUE C
	0486	



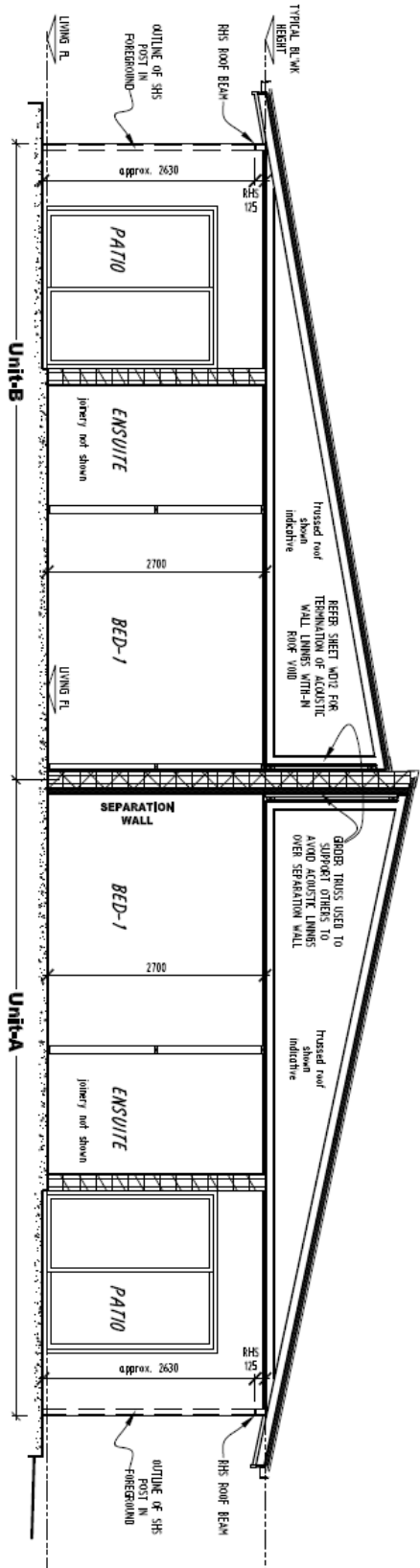
SECTION - B (1:50 ON A3)



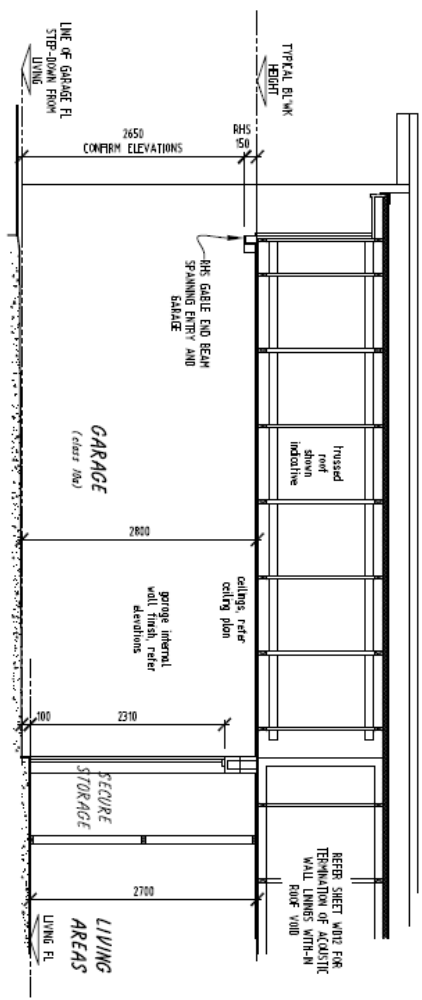
SECTION - C (1:50 ON A3)



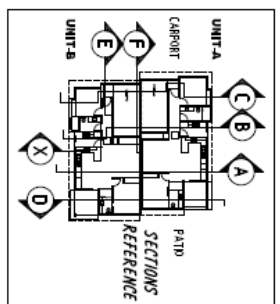
phone: (07) 294 255, EPMUNTON 4889, QUEENSLAND	
PROJECT: GREGORY G TERZILIANO Building Designer & Drafting	
-Building Designer- -Medium Rise- -DECC LICENCE: 1170148-	
DATE: OCT 2018	
SCALE: AS SHOWN ON EACH SHEET	
DRAWING TITLE: 231 WALSH STREET	
SECTION: MAREEBA	
SHEET NO: 4880	
JOB NO: WD16	
ISSUE: B	



SECTION - D (1:50 ON A3)

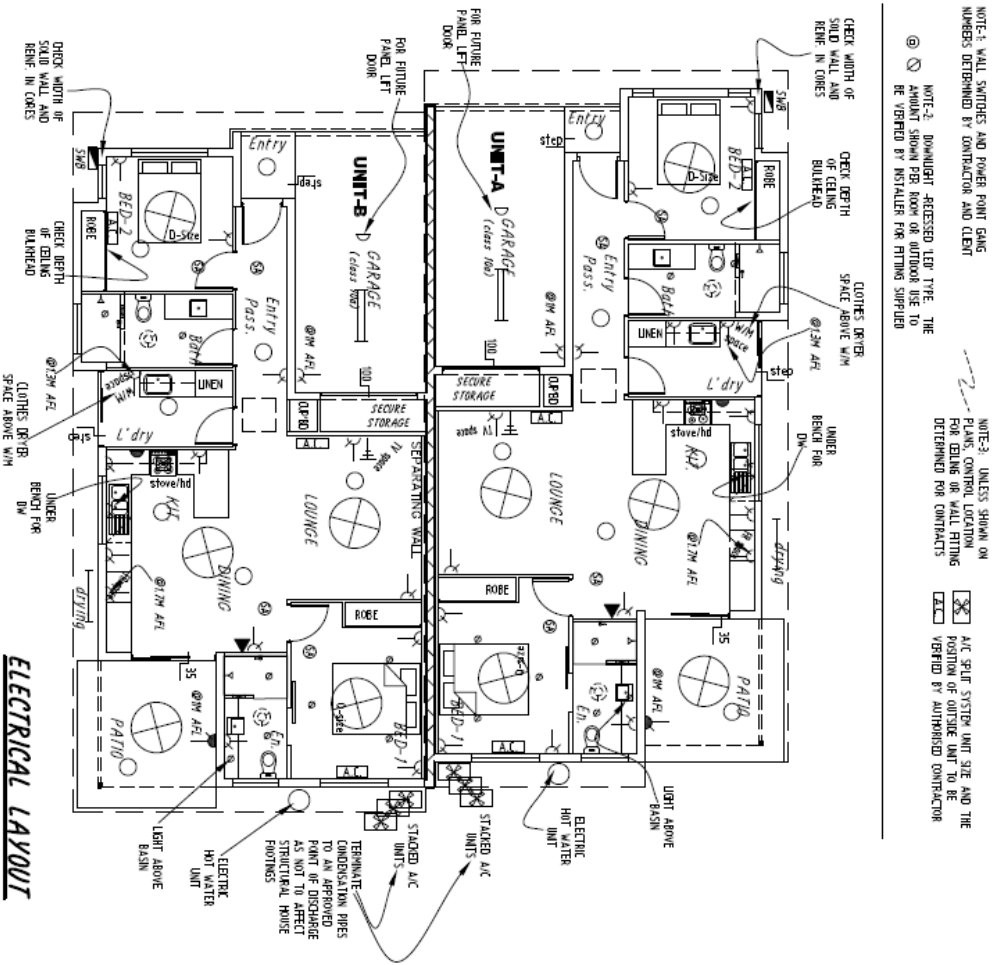


SECTION - F (1:50 ON A3)



phone: 0428 294 255, EPMUNTON 4889, QUEENSLAND	
GREGORY G TENZLACHER <small>REGISTERED ARCHITECT</small> , Building Design & Drafting	
-Building Designer- -Medium Rise- -DECT LICENCE: 1170148-	
PROJECT:	DATE: OCT 2018
231 WALSH STREET	
MAREEBA	
4880	SCALE: AS SHOWN ON A3 SHEET
DRAWING TITLE: SECTIONS	
-RESIDENTIAL- NEW DUPLEX	JOB NO: 0486
SHEET NO: WD17	ISSUE: A

ITEMS LISTED FOR QUOTING PURPOSES ONLY AND
REQUIRE FINAL CHECK FOR CONTRACTS



ELECTRICAL LAYOUT
(1:100 ON A3)

phone: 0428 244 355 EPOWORTH 1489 OBERLAND
GREGORY G TERZIAN Building Design & Drafting
 -Building Designer- Medium Rise -085A LICENCE: 117048-

PROJECT: 231 WALSH STREET MAREEBA
 4880
 -RESIDENTIAL-
 NEW DUPLEX
 DATE: OCT 2018
 SCALE: AS SHOWN ON A3 SHEET
 DRAWING TITLE: ELECTRICAL LAYOUT
 SHEET NO: WD 20 B
 ISSUE: 0486

Safety:

⊕ SMOKE ALARM - REFER MAIN FLOOR PLAN FOR DETAILS

Power Schedule:

- ⊕ Typical POWERPOINTS @300 AIR UNLESS NOTED DIFFERENT OR ABOVE BRACKED/INVERTED
- ⊖ SINGLE POWERPOINT
- ⊕ WEATHER PROOF
- ⊖ WEATHER PROOF
- ⊕ DOUBLE POWERPOINT
- ⊖ WEATHER PROOF
- ⊕ COVER OR OVEN POWER SOURCE
- ⊖ CEILING POWER OUTLET FOR GARAGE DOOR

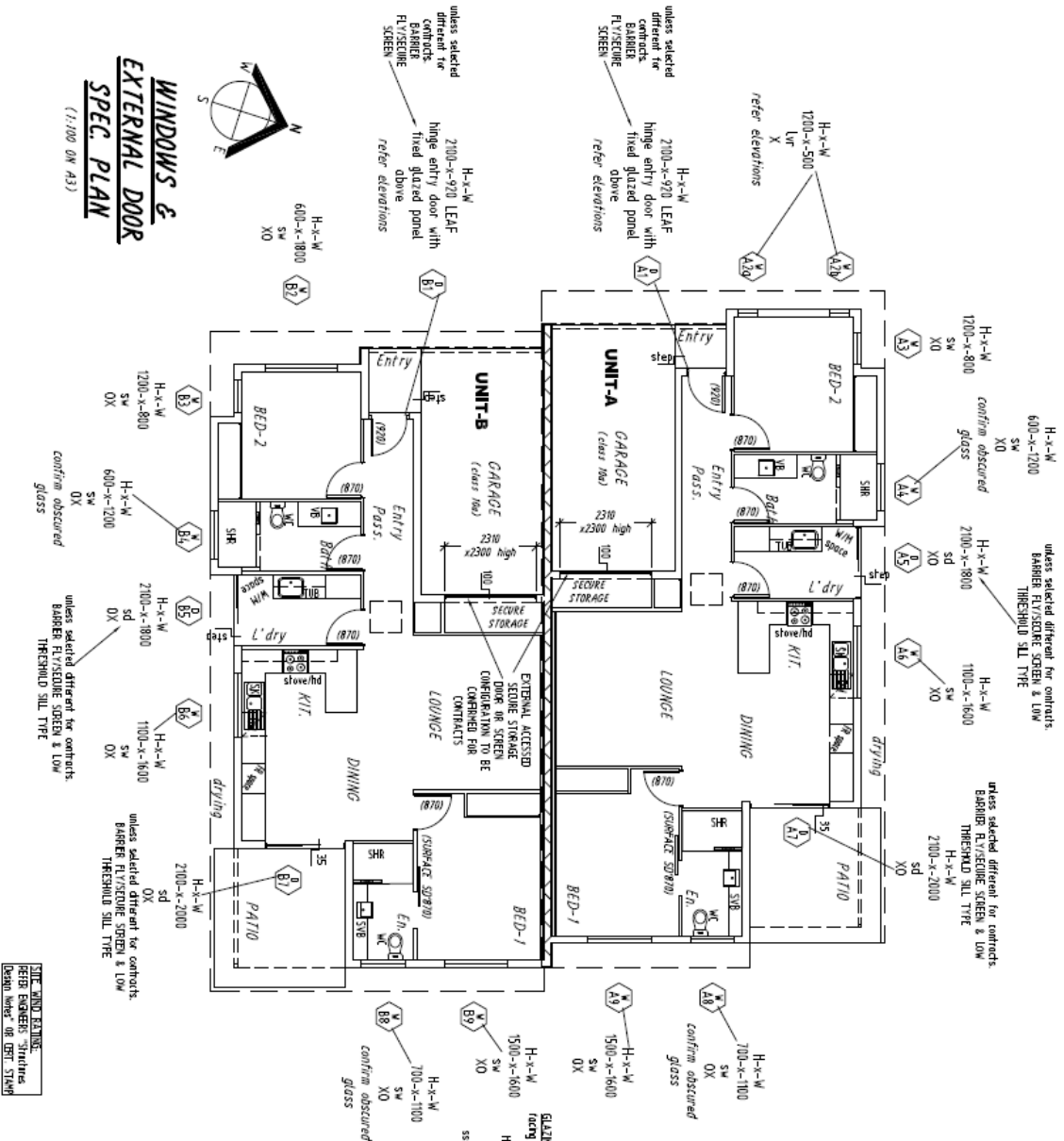
Communications:

- ⊕ Typical POWERPOINTS @300 AIR UNLESS NOTED DIFFERENT OR ABOVE BRACKED/INVERTED
- ⊖ TELEPHONE POINT OR 'NBN' CONNECTION
- ⊖ DATA POINT
- ⊖ TV OUTLET

Lighting & Ventilation Schedule:

- ⊕ MOTION SENSOR
- ⊕ SINGLE or DOUBLE 700mm LONG BATTERY FLUORESCENT LIGHT - COVER FITTING TO SUIT EXTERNAL OR INTERNAL LOCATION
- ⊖ INTERNAL WALL MOUNTED FLUORESCENT OR LED TUBE LIGHT OVER MIRROR
- ⊕ INTERNAL CEILING MOUNTED LIGHT (shown as circular fluorescent)
- ⊖ INTERNAL RECESSED DOWNLIGHT
- ⊕ EXTERNAL SELECTED CEILING LIGHT - UNLESS NOTED DIFFERENT ALLOW AS RECESSED DOWNLIGHT
- ⊖ EXTERNAL WALL LIGHT
- ⊕ EXTERNAL SPOT LIGHT
- ⊖ SPECIALTY LIGHT - REFER PLAN FOR USE
- ⊕ EXHAUST LIGHT - LIGHT HINGE ROOM CEILING
- ⊖ CEILING FAN - REFER FLOOR PLAN FOR SIZE
- ⊕ INTERNAL CEILING MOUNTED EXTRACT FAN
- ⊖ INDICATES RANGEROOD

WINDOWS & EXTERNAL DOOR SPEC. PLAN
(1:100 ON A3)



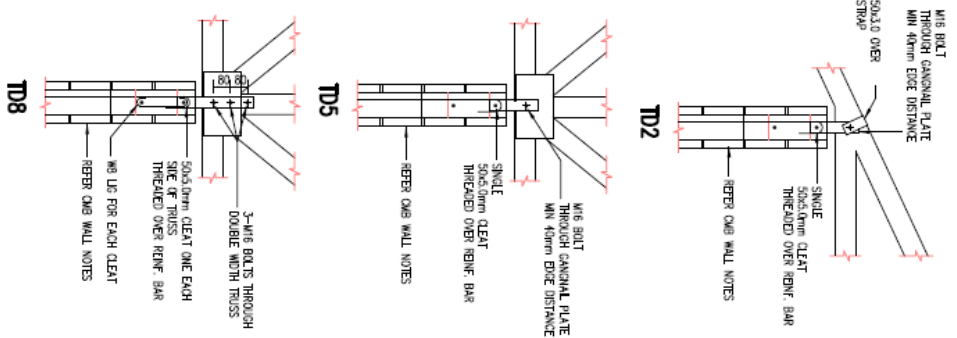
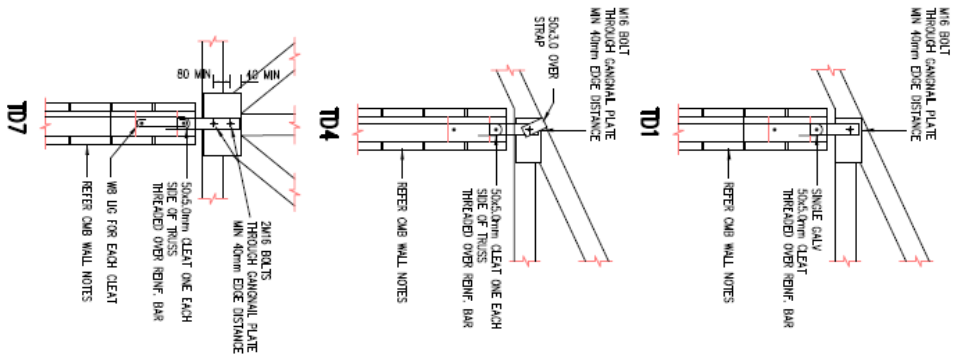
ITEMS LISTED FOR QUOTING PURPOSES ONLY AND REQUIRE FINAL CHECK FOR CONTRACTS

- Notes typical and inclusions for quote:
 Guard assemblies (incl) in compliance to EBC & referenced Aust. Standards
 • FOR QUOTING PURPOSES unless noted otherwise, INCLUDE FLY SCREENING TO ALL EXTERNAL DOORS & WINDOWS, CONFRM WESH MATERIAL FOR TIGHTING PURPOSES unless noted otherwise, INCLUDE BARBER SCREEN TO ALL SLIDING WINDOW/SLIDING DOORS AND SINGLE HIBED DOORS BUT NOT INCLUDING FRONT ENTRY DOOR
 • GRABHANDLES TO ALL WINDOW/SLIDING DOORS
 • CONFRMATION WITH DESIGN AND THE ENERGY EFFICIENCY CERTIFICATION OBSERVED GLAZING
 • WINDOWS REQUIRING A BURSTING ATTACK LEVEL (BAL), ALL WINDOWS AND DOORS TO MEET AUST. STANDARD AS3984:2009

GLAZING CONSERVATION LEVELS

- H-x-W: height-x-width
- sld: sliding window
- sld: sliding door
- lvr: louvre window
- lvr: louvre door
- X: OPENING OR FIXED

phone: 0428 294 255	EDMONTON 4889	QUEENSLAND
GREGORY G JERZINSKI	Building Designer & Drafting	
PROJECT: 231 WALSH STREET	DATE: OCT 2018	SCALE: AS SHOWN ON A3 SHEET
MAREBEA	BRANING TITLE:	
4880	WINDOWS and EXTERNAL DOOR SCHEDULE	
-RESIDENTIAL-NEW DUPLEX	SHEET NO: 0486	SHEET NO: WD 42 ISSUE: C



TRUSS TIE-DOWN-DETAILS

NOTE: UPLIFT RESISTANCE SAME AS TD1 - TD8
 NOTE: MANUFACTURER IS TO SUBMIT TRUSS LAYOUT & REACTIONS REPORT TO THE ENGINEER FOR CORRELATION OF SIZES OF LINTELS AND THAT THE TIE-DOWNS ARE ADEQUATE BEFORE INSTALLATION.

TRUSS MANUFACTURER'S NOTE:

TYPE	JOINT GROUP	
	4/6/5 BOLTS	4/6/5 BOLTS
TD1	40	30
TD2	40	66
TD3	35	35
TD4	57	92
TD5	29	30
TD6	35	23
TD7	70	46
TD8	105	92

NOTE: PROVIDE 2-M12 (min) VERTICAL REINFC. BARS ADJACENT TO CLEATS WITH TIE-DOWNS LOADS GREATER THAN 50kN

SITE: WIND TESTING
 RPT# CHANGES: Structures
 DRAWING NO: 04-101-STR-10
 phone: 04-28 744 755 EPOKTON 489 OTERSLAND
GREGORY G TERZLAVICH Building Design & Drafting
 -Building Designer- -Medium Rise- -DPC Licence: 1117048-

PROJECT: 231 WALSH STREET
 MAREEBA
 4880
 -RESIDENTIAL-
 NEW DUPLEX
 DATE: OCT 2018
 SCALE: AS SHOWN ON 43' SHEET
 DRAWING TITLE: TIMBER ROOF TRUSS
 THE-DOWNS
 JOB NO: 0486
 SHEET NO: **WD 102**
 ISSUE: **B**

