



19 April 2022

Senior Planner: Brian Millard
Direct Phone: 4086 4657
Our Reference: MCU/22/0006
Your Reference: DA/22/0042

T Wallace
C/- Northern Building Approvals
3b Margherita Close
MAREEBA QLD 4880

Dear Applicant's

Decision Notice

Planning Act 2016

I refer to your application and advise that on 19 April 2022 under delegated authority, Council decided to approve the application in full subject to conditions.

Details of the decision are as follows:

APPLICATION DETAILS

Application No:	MCU/22/0006
Street Address:	231 Walsh Street, Mareeba
Real Property Description:	Lot 1 on RP708211
Planning Scheme:	Mareeba Shire Council Planning Scheme 2016

DECISION DETAILS

Type of Decision:	Approval
Type of Approval:	Development Permit for Material Change of Use - Multiple Dwelling
Date of Decision:	19 April 2022

CURRENCY PERIOD OF APPROVAL

The currency period for this development approval is six (6) years starting the day that this development approval takes effect. (Refer to Section 85 "Lapsing of approval at end of currency period" of the *Planning Act 2016*.)

INFRASTRUCTURE

Where conditions relate to the provision of infrastructure, these are non-trunk infrastructure conditions unless specifically nominated as a “*necessary infrastructure condition*” for the provision of trunk infrastructure as defined under Chapter 4 of the *Planning Act 2016*.

ASSESSMENT MANAGER CONDITIONS**(A) ASSESSMENT MANAGER’S CONDITIONS (COUNCIL)****(a) Development assessable against the Planning Scheme**

1. Development must be carried out generally in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, subject to any alterations:
 - found necessary by Council’s delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
 - to ensure compliance with the following conditions of approval.
2. Timing of Effect
 - 2.1 The conditions of the development permit must be complied with to the satisfaction of Council’s delegated officer prior to the commencement of the use except where specified otherwise in these conditions of approval.
 - 2.2 Prior to the commencement of use, the applicant must notify Council that all the conditions of the development permit have been complied with, except where specified otherwise in these conditions of approval.
3. General
 - 3.1 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.
 - 3.2 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council’s delegated officer.

REFERRAL AGENCIES

Not Applicable.

APPROVED PLANS

The following plans are Approved plans for the development:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
0486 WD00 B	Title Sheet	Gregory G Terzi	Oct 2018
0486 WD01 D	Site Plan	Gregory G Terzi	Oct 2018
0486 WD02 B	Detail Site Plan	Gregory G Terzi	Oct 2018
0486 WD03 D	Floor Plan	Gregory G Terzi	Oct 2018
0486 WD04 C	Unit-A Floor Plan	Gregory G Terzi	Oct 2018
0486 WD05 C	Unit-B Floor Plan	Gregory G Terzi	Oct 2018
0486 WD06 C	Set-Out Floor Plan & sqm areas	Gregory G Terzi	Oct 2018
0486 WD07 D	Slab and Footings Plan	Gregory G Terzi	Oct 2018
0486 WD08 A	Slab and Footings Details	Gregory G Terzi	Oct 2018
0486 WD09 C	Roof Structures Plan	Gregory G Terzi	Oct 2018
0486 WD10 C	Roof Details	Gregory G Terzi	Oct 2018
0486 WD11 B	Roof & Ceiling Plan	Gregory G Terzi	Oct 2018
0486 WD12 A	Separation Wall - fire & acoustics	Gregory G Terzi	Oct 2018
0486 WD13 A	Separation Wall - structural	Gregory G Terzi	Oct 2018
0486 WD14 C	Wall Plan and Wall Construction Spec.	Gregory G Terzi	Oct 2018
0486 WD15 A	Sections	Gregory G Terzi	Oct 2018
0486 WD16 B	Sections	Gregory G Terzi	Oct 2018
0486 WD17 A	Sections	Gregory G Terzi	Oct 2018
0486 WD20 B	Electrical Layout	Gregory G Terzi	Oct 2018
0486 WD40 C	Elevations -External sheet 1 of 2	Gregory G Terzi	Oct 2018
0486 WD41 C	Elevations -External sheet 2 of 2	Gregory G Terzi	Oct 2018
0486 WD42 C	Windows and External Door Schedule	Gregory G Terzi	Oct 2018
0486 WD101 A	"Structural notes" & Wind Rating Classification	Gregory G Terzi	Oct 2018
0486 WD102 B	Timber Roof Truss Tie-Downs	Gregory G Terzi	Oct 2018
0486 WD200 C	Architectural Design Notes and Safe Design Report	Gregory G Terzi	Oct 2018

ADVISORY NOTES

The following notes are included for guidance and information purposes only and do not form part of the assessment manager conditions:

(A) ASSESSMENT MANAGER'S ADVICE

- (a) A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.

- (b) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

- (c) Compliance with Acts and Regulations

The erection and use of the building must comply with the Building Act and all other relevant Acts, Regulations and Laws, and these approval conditions.

- (d) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.environment.gov.au.

- (e) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the "cultural heritage duty of care"). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.datsip.qld.gov.au.

PROPERTY NOTES

Not Applicable.

FURTHER DEVELOPMENT PERMITS REQUIRED

- Development Permit for Building Work
- Compliance Permit for Plumbing and Drainage Work

SUBMISSIONS

Not Applicable.

RIGHTS OF APPEAL

You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* is attached.

During the appeal period, you as the applicant may suspend your appeal period and make written representations to council about the conditions contained within the development approval. If council agrees or agrees in part with the representations, a "negotiated decision notice" will be issued. Only one "negotiated decision notice" may be given. Taking this step will defer your appeal period, which will commence again from the start the day after you receive a "negotiated decision notice".

OTHER DETAILS

If you wish to obtain more information about Council's decision, electronic copies are available on line at www.msc.qld.gov.au, or at Council Offices.

Yours faithfully



BRIAN MILLARD
SENIOR PLANNER

Enc: Approved Plans/Documents
Appeal Rights

Approved Plans/Documents

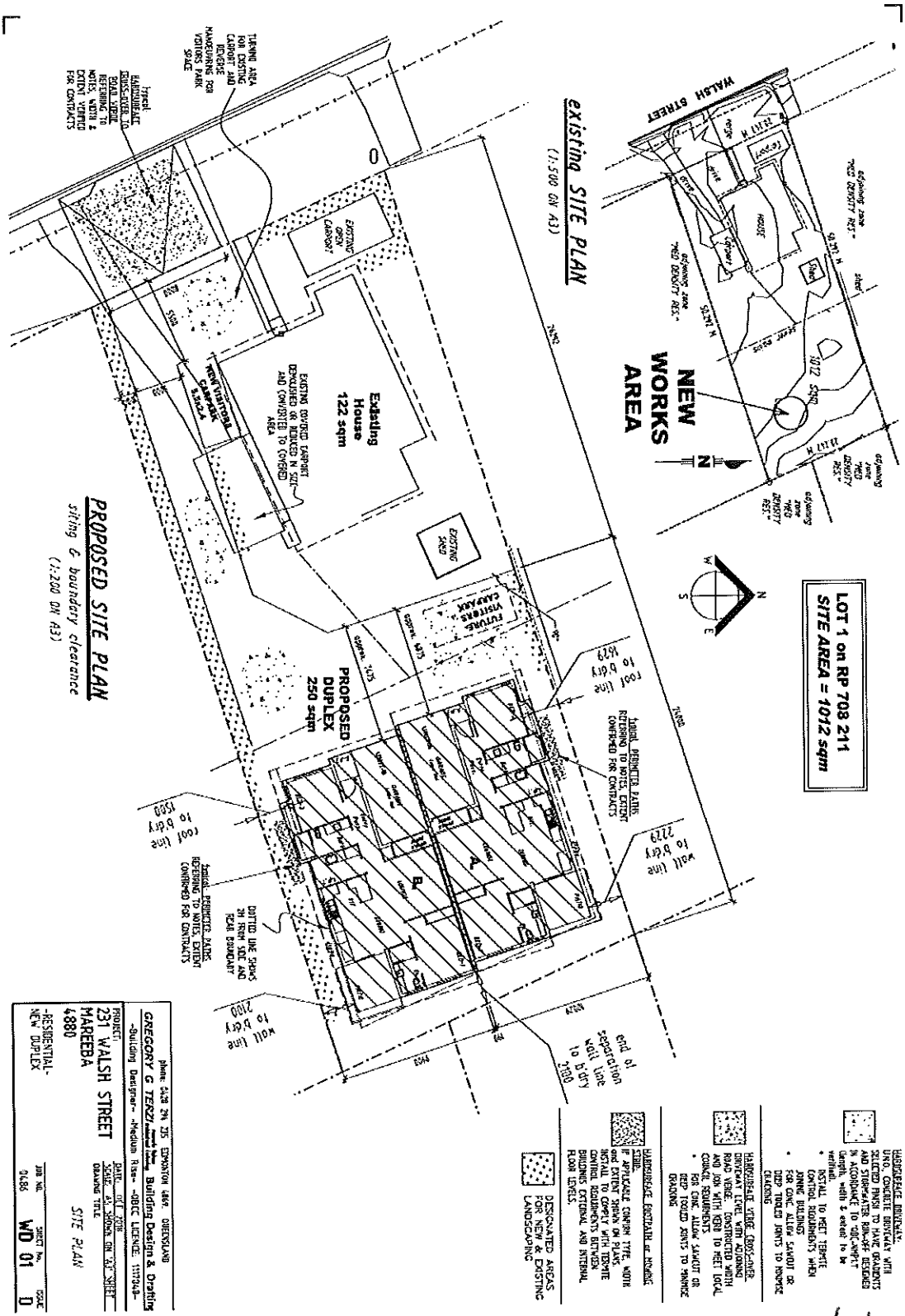
-NEW DUPLEX (class 1a)-
at
231 WALSH STREET
4880
MAREEBA

DRAWING SCHEDULE Sheet 5/23

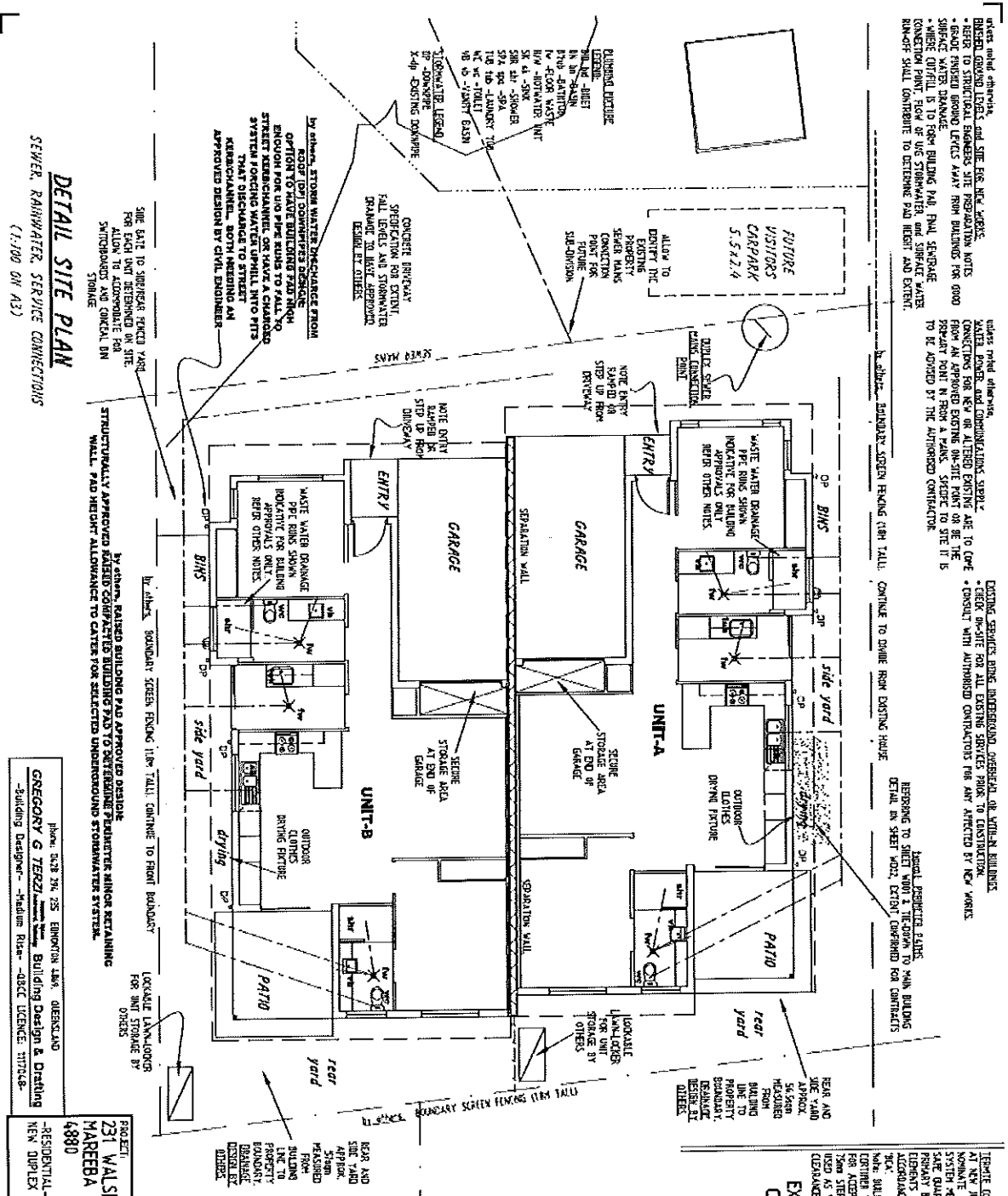
WD 00	TITLE SHEET (drawing schedule)	A3
WD 01	SITE PLANS	
WD 02	DETAIL SITE PLAN (sewer, rainwater, & service connections)	A3
WD 03	FLOOR PLAN	
WD 04	FLOOR PLAN MEASURE - UNIT A	
WD 05	FLOOR PLAN MEASURE - UNIT B	
WD 06	SET-OUT FLOOR PLAN	
WD 07	SLAB & FOOTINGS PLAN	
WD 08	FOOTINGS DETAILS	
WD 09	ROOF STRUCTURES PLAN	A3
WD 10	ROOF STRUCTURES DETAILS	
WD 11	ROOF and CEILING PLAN (includes gutters & dp)	
WD 12	SEPARATION WALL - fire, acoustic	
WD 13	SEPARATION WALL - structural	
WD 14	WALL SPECIFICATION PLAN - structural	
WD 15	SECTIONS	
WD 16	SECTIONS	
WD 17	SECTIONS	
WD 20	ELECTRICAL LAYOUT	A3
WD 40	ELEVATIONS -EXTERNAL	
WD 41	ELEVATIONS -EXTERNAL	A3
WD 42	WINDOWS & EXTERNAL DOOR SCHEDULE	
WD 101	"Structural Engineers Design Notes"	A3
WD 102	TIMBER TRUSS TIE-DOWNS	
WD 200	"Architectural Design Notes and Abbreviations"	
WD 200	DESIGNERS WHS REPORT	A3

Project: 231 WALSH STREET MAREEBA 4880		Date: 02/11/2021 Scale: AS SHOWN ON VP SHEET Drawing Title:	
Title Sheet		Job No: 19/4/2022 Date: 01/06/2022 Sheet No: WD 00 Scale: B	
Prepared by: GREGORY G TERRY Checked by: JENNIFER TERRY Drawing Designer: JENNIFER TERRY - DEC LICENCE: 119134-4			

19/4/2022
B. Terry



19/4/2022
S. N. [Signature]



Notes must reference:
 REBUILT GROUND LEVELS and SUE FIRE MCK WELLS
 REFER TO STRUCTURAL ENGINEER'S SITE PREPARATION NOTES
 GRADE FINISHED GROUND LEVELS AHEAD FROM BUILDING FOR GOOD SURFACE WATER DRAINAGE
 WHERE OFF-RILL IS TO FORM BUILDING PAW PAUL SEWERAGE CONNECTION POINT, FLOW OF USE STORMWATER AND SURFACE WATER RUN-OFF SHALL CONTRIBUTE TO DETERMINE PAW HEIGHT AND SYSTEM.

Notes must reference:
 WATER COVER, and COMMUNICATIONS SUPPLY
 CONNECTIONS FOR NEW OR ALREADY EXISTING ARE TO COME FROM AN APPROVED EXISTING ON-SITE POINT OR BE THE PRELAP POINT IN FROM A PAW, SEWER TO SITE IT IS TO BE COVERED BY THE AUTHORIZED CONTRACTOR

EXISTING SERVICES ALONG UNDERGROUND OVERHEAD OR WITHIN BUILDINGS
 CHECK ON-SITE FOR ALL EXISTING SERVICES PRIOR TO CONSTRUCTION
 CONSULT WITH AUTHORIZED CONTRACTORS FOR ANY AFFECTED BY NEW WORKS

DETAIL SITE PLAN
 SEWER, RAINWATER, SERVICE CONNECTIONS
 (1:100 ON A3)

phone 0818 396 255 EMBERTON QLD, QUEENSLAND
GREGORY G TERRACON Building Design & Drafting
 -Building Designer- -Medium Rise- -DECC LICENCE: 1171748-

PROJECT
231 WALSH STREET
MAREEBA
4880
 -RESIDENTIAL-
 NEW DUPLEX

DATE: OCT 2018
 SCALE: AS SHOWN ON V.T. SHEET
 DRAWING TITLE: **DETAIL SITE PLAN**

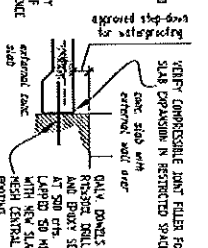
TAB NO: D486
 SHEET NO: **WD 02**
 ISSUE: **B**

SOIL INVESTIGATION REPORT
 By: Dirt Professionals
 Job Reference: 20485
 CLASS 'M'

NOTE: CONTRACTS TO FINAL NUMBER 1 POSITION ALLOCATED FOR BUILDING CONSTRUCTION ANY SHOWN ON PLANS

DOMESTIC WASTE WATER DRAINAGE
 WHERE SHOWN IS INDICATE ONLY AND FOR BUILDING APPROVAL INFORMATION ONLY. TO BE DESIGNER AT APPROVED CONTRACTORS AND DRAINAGE ENGINEER'S STRUCTURES
 STANDARD DRAINAGES ARE AND DISCHARGE DUE ELSE: refer to end plan for piping of the STORM WATER DRAINAGE SYSTEM ARE TO DISPERSE INTO NEW OR EXIST UNDERGROUND PIPE SYSTEM LEADING TO A LAUNCH POINT OR UNDERGROUND RIMS WHERE SHOWN ARE INDICATIVE FOR BUILDING APPROVAL INFORMATION ONLY. METALL UNDERGROUND PIPES TO SHIT SITE CONDITIONS - VERIFY NUMBER OF 5 PER PIPE RUN- DP FACED WITH SPACER CONNECTORS FOR CLEARANCE WITH WALLS FOR TRENCH HANDOVERS

EXTERNAL CONCRETE SLABS JOINING CONCRETE FOOTINGS OF CLASS 1a (driveways, paths)

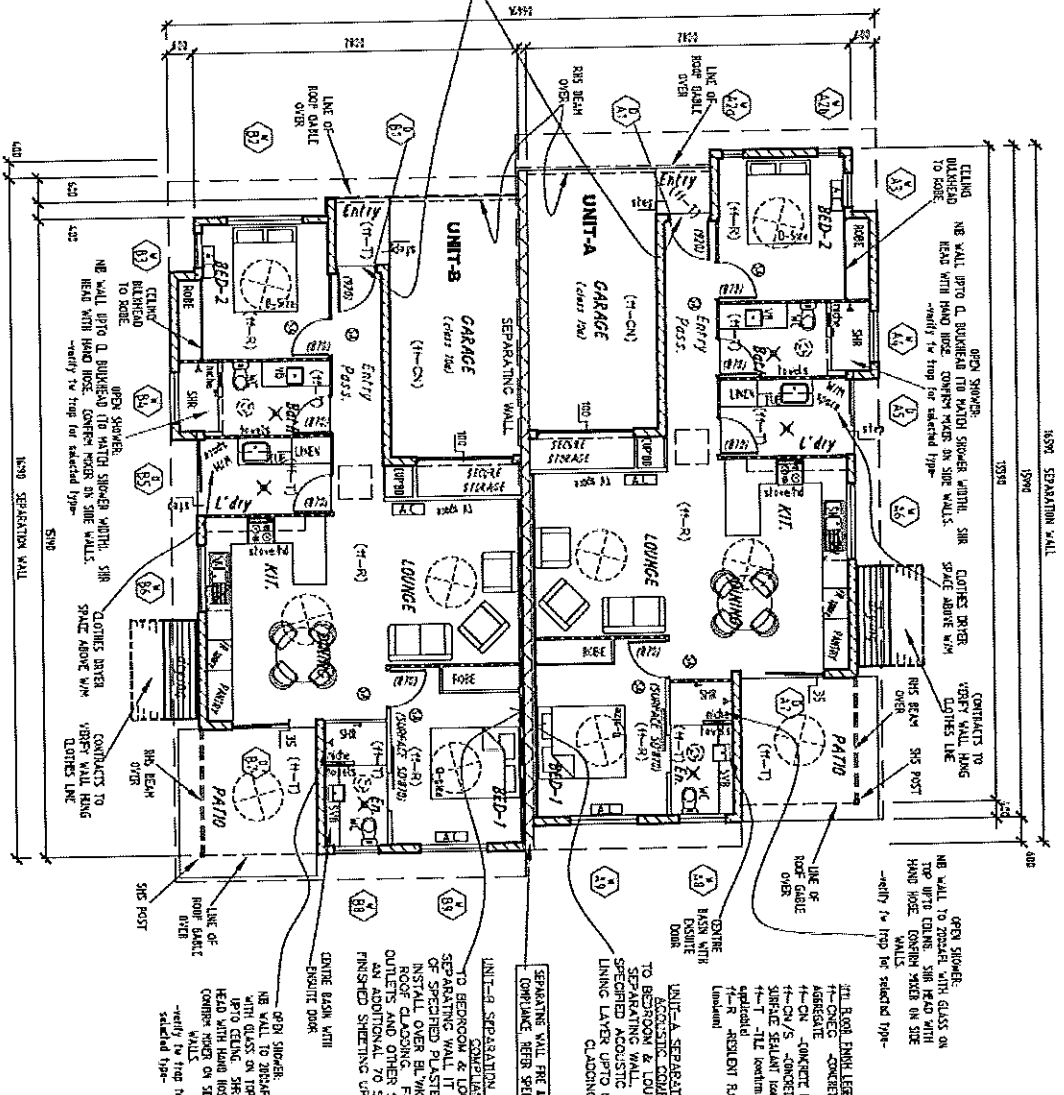


19/4/2022
 B. M. P.

APPROPRIATE DESIGN WORK
 ALL DRAWINGS TO BE SENT TO
 THE LOCAL AUTHORITY FOR
 APPROVAL AND TO BE
 APPROVED DESIGN WORK

AS CONSTRUCTION LACKS
 CONTRACTS TO COMPLY
 AS CONTRACTING APPLIES
 FOR CARPET INSTALL OR
 FOR A FUTURE PROVISION
 CHECK FOR ALL STAIRS FROM
 WITH THE STAIRS FROM
 THE STAIRS FROM
 A FUTURE PROVISION
 POSITION AND OF
 CONSTRUCTION PER
 THROUGH STRUCTURAL
 FLOOR
 DESIGN TO
 CONSTRUCTION PER
 POINT OF DISCHARGE

ALLOW HAND STEP
 TO SLAB LEVELS
 FOR PROPER
 IN RESIDENTIAL
 ENTRY THE HIGH
 AND ENTRY
 PASSAGE RESIDENT
 FLOORING
 FOR WEATHER
 PROOFING



FLOOR PLAN (1:100 OR A3)

FOR DIMENSIONED PLANS ON EACH UNIT OF
 DUPLEX, REFER SHEETS W004, W005
 FOR SLAB SETUP PLAN & floor areas
 measure, REFER COMPLEX SHEET -W000

⊗	TRIM	⊗	WALL CONTROL JOINT
⊗	ROOF	⊗	DOOR LEAF SIZE
⊗	CEILING	⊗	LEAF SIZE, UNLESS NOTED
⊗	FAN	⊗	INTERNAL WINDOW
⊗	ROOF EXHAUST	⊗	INTERNAL WINDOW
⊗	ROOF EXHAUST	⊗	INTERNAL WINDOW
⊗	ROOF EXHAUST	⊗	INTERNAL WINDOW
⊗	ROOF EXHAUST	⊗	INTERNAL WINDOW
⊗	ROOF EXHAUST	⊗	INTERNAL WINDOW
⊗	ROOF EXHAUST	⊗	INTERNAL WINDOW
⊗	ROOF EXHAUST	⊗	INTERNAL WINDOW

SEPARATING WALL
 FIRE RATING (FRL) 60/60/60
 equal to CONCRETE BLOCK MASONRY
 MASONRY (M20) 240x240x135 (7W 55)
 REFER DETAILS FOR EXTENT OF WALL
 HEIGHT AND TERMINATION WITH TOP
 OF ROOFS

SEPARATING WALL
 ACUSTIC Rm-C-w 50 min.
 equal to Gyproc System C02751
 which utilizes block wall system with
 an Rm value 541

UNIT-A SEPARATION WALL
 ACUSTIC COMPLIANCE
 TO BEDROOM & LOUNGE SIDE OF
 SEPARATING WALL. IT REQUIRES
 SPECIFIED ACUSTIC FRAMING AND
 LINING LAYER UP TO U/S OF ROOF
 CLADDING.

UNIT-B SEPARATION WALL
 ACUSTIC COMPLIANCE
 TO BEDROOM & LOUNGE SIDE OF
 SEPARATING WALL. IT REQUIRES
 SPECIFIED PLASTERBOARD DIRECT
 INSTALL OVER BLOCK UP TO U/S OF
 ROOF CLADDING. ALL OTHER SERVICES
 OUTLETS AND OTHER SERVICES INSTALL
 ANY ADDITIONAL TO STUO WALL WITH
 FINISHED SHEETING UP TO CEILING ONLY.

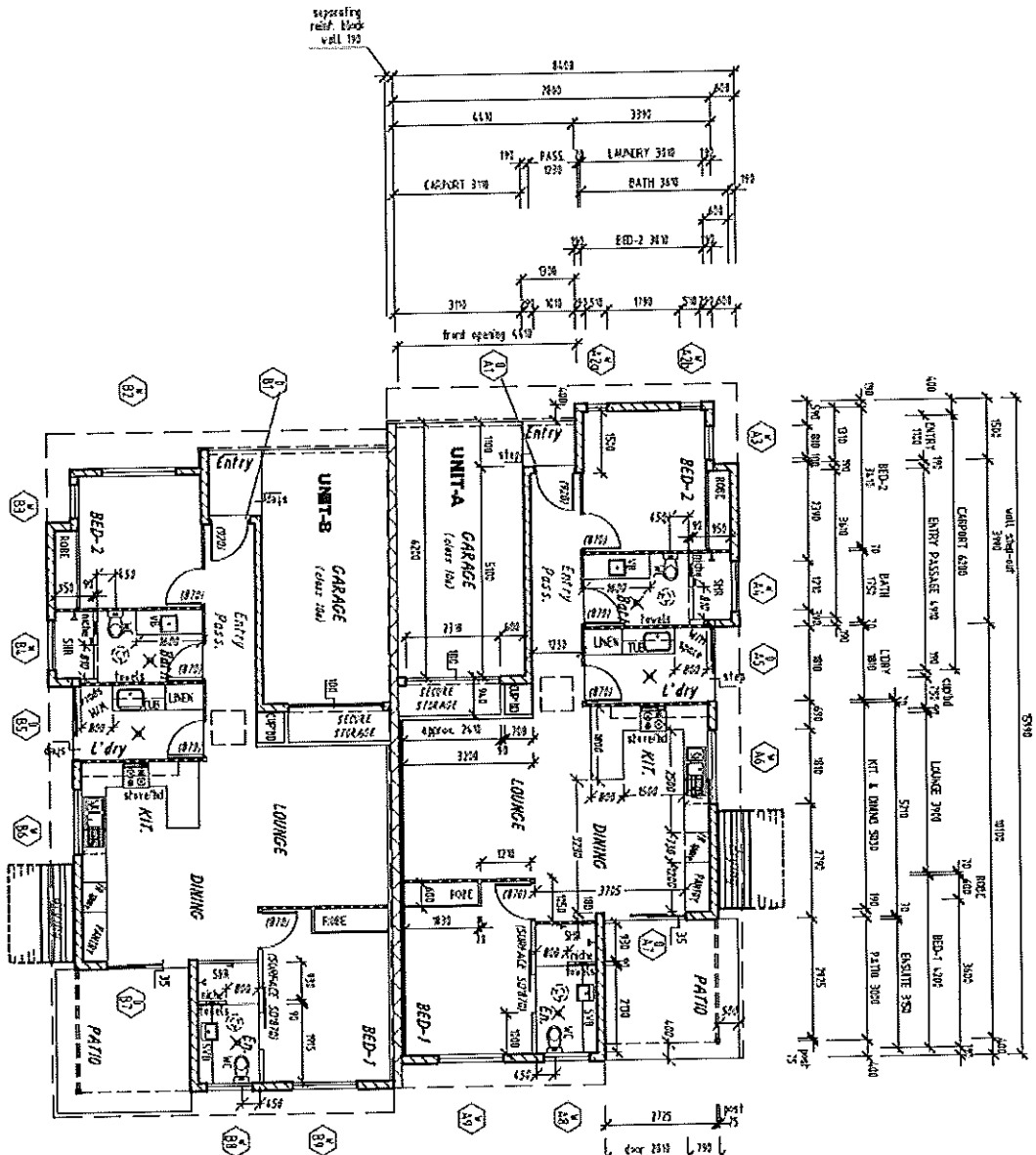
PROJECT: 231 WALSH STREET
 MAREEBA
 4880
 -RESIDENTIAL-
 NEW DUPLEX

DATE: 02/07/2022
 SHEET NO: WD 03
 D

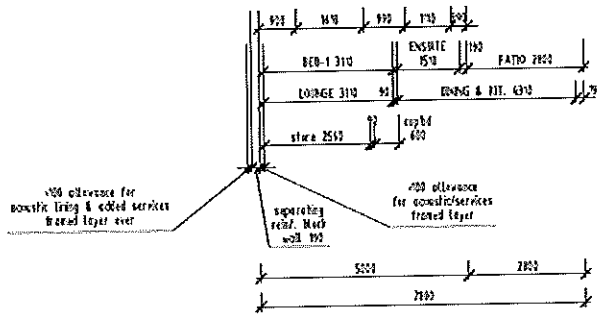
PREPARED BY: GREGORY G. TERRY
 BUILDING DESIGN & DRAFTING
 11/17/2021

DATE: 02/07/2022
 SHEET NO: WD 03
 D

19/4/2022
 B. W. O.

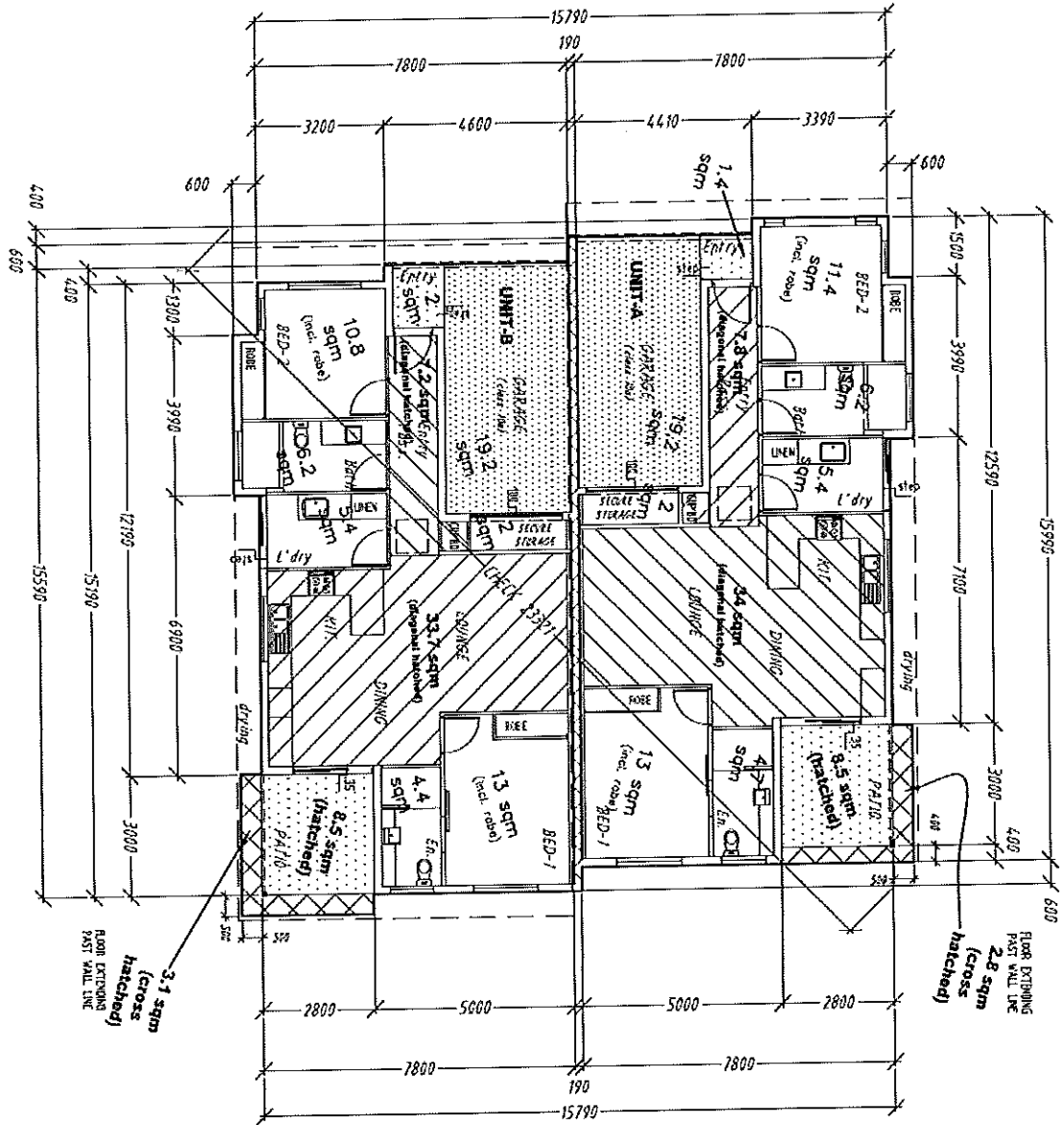


PROJECT: 231 WALSH STREET MAREEBA 4880 -RESIDENTIAL- NEW DUPLEX		DATE: OCT 2018 SCALE: AS SHOWN ON EACH SHEET DRAWING TITLE: UNIT-A FLOOR PLAN	
ARCHITECT: GREGORY G. TERZI ARCHITECT: MAREEBA ARCHITECT: MAREEBA		PHONE: 0428 274 255 235 EDINBURGH AVE., QUEENSLAND	
SHEET NO: WD 04 DATE: 04/06 DRAWING TITLE: UNIT-A FLOOR PLAN		DATE: OCT 2018 SCALE: AS SHOWN ON EACH SHEET DRAWING TITLE: UNIT-A FLOOR PLAN	



⊗	WALL CONTROL POINT	⊗	ROOM CONTROL POINT
⊗	SLIDING DOOR LEAF SIZE	⊗	ROOF CONTROL POINT
⊗	COMMON LEAF SIZE	⊗	ROOF CONTROL POINT
⊗	COMMON LEAF SIZE	⊗	ROOF CONTROL POINT
⊗	COMMON LEAF SIZE	⊗	ROOF CONTROL POINT
⊗	COMMON LEAF SIZE	⊗	ROOF CONTROL POINT
⊗	COMMON LEAF SIZE	⊗	ROOF CONTROL POINT

19/4/2022
B.n



BUILDING AREAS

- Footprint Area: 250 sqm
- Measure includes external walls.
- Measure includes area of outdoor floors projecting past wall face.
- Measure includes roof areas.

- UNIT-A Area: 123 sqm
- UNIT-B Area: 122 sqm

Measure: from inside face of separation wall (and accurate finishing) to the external face of exterior walls. Measure includes area of outdoor floors projecting past wall face.

CROSS REFERENCE ALL DIMENSIONS WITH CURRENT FLOOR PLAN. Given areas are for estimating purposes and need to be checked by trade contractor.

SET-OUT PLAN & Room Areas (sqm)
(1:100 ON A3)

PROJECT:	3106 1/2 2nd 255 EDINBURGH AVE, ADELSAND
CLIENT:	GREGORY & TERRY
DESIGNER:	Building Design & Drafting
DATE:	NOV 2018
DRAWN BY:	SCOTT AS SHOWN ON A3 SHEET
CHECKED BY:	SCOTT AS SHOWN ON A3 SHEET
DATE:	NOV 2018
PROJECT:	231 WALSH STREET
CLIENT:	MAREEBA
PROJECT:	4880
PROJECT:	RESIDENTIAL-NEW DUPLEX
TAB NO:	06
SHEET NO:	WD 06
ISSUE:	C

19/4/2022
B. Miller

EXISTING SEWER MAIN DEPTH AT APPROX. 1.8M BELOW NATURAL G.L. THIS DEPTH WILL INCREASE WITH NEW BUILDING FAC. REQUIRED PRE-ACTING CALCULATED DEPTH AND ITS ALIGNMENT USING SEWER PLANS PROVIDED BY COUNCIL. BURIED AND CHECK ON SITE FOR SEWER NETWORK UTILITIES. ENGINEER TO DECIDE ON ANY DEPTH VARIATIONS. FOOTINGS REQUIRED.

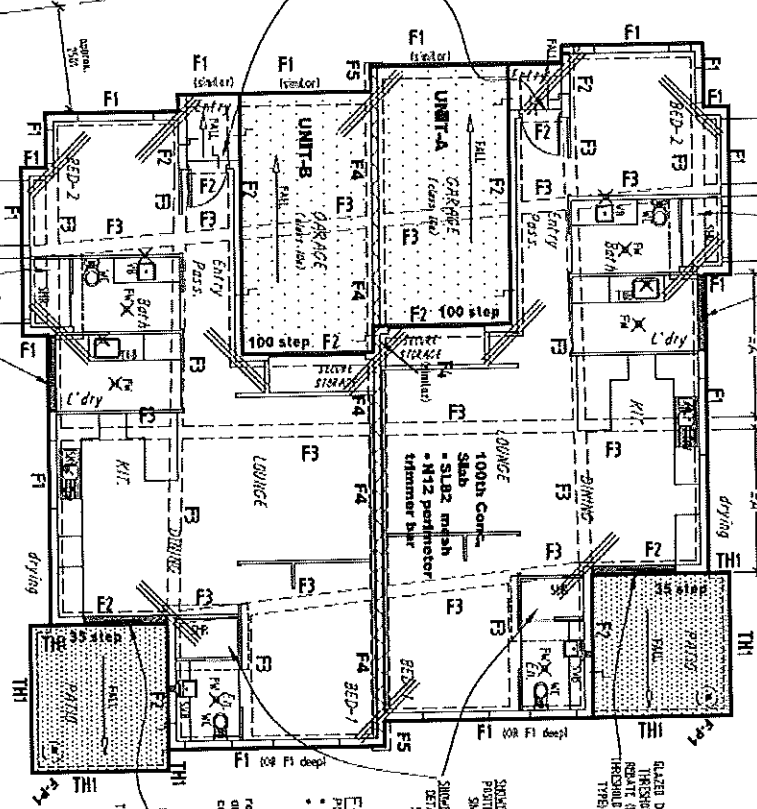
ALLOW HORN STEPS IN SLOPE LEVELS IN THRESHOLD AREA. RANDO STEPS. ENTRY, THE FIRST AND ENTRY PASSAGE RELIEF. FLOORING FOR VEHICLES PROHIBITED.

SLAB & FOOTING PLAN
(1:100 ON A3)

SEWER EA VENT TO TOP POSITION, NOT ABOVE THRESHOLD. REPAIR LOW PRESSURE. SEWER MAIN DEPTH AT APPROX. 1.8M BELOW NATURAL G.L. THIS DEPTH WILL INCREASE WITH NEW BUILDING FAC. REQUIRED PRE-ACTING CALCULATED DEPTH AND ITS ALIGNMENT USING SEWER PLANS PROVIDED BY COUNCIL. BURIED AND CHECK ON SITE FOR SEWER NETWORK UTILITIES. ENGINEER TO DECIDE ON ANY DEPTH VARIATIONS. FOOTINGS REQUIRED.

SEWER EA VENT TO TOP POSITION, NOT ABOVE THRESHOLD. REPAIR LOW PRESSURE. SEWER MAIN DEPTH AT APPROX. 1.8M BELOW NATURAL G.L. THIS DEPTH WILL INCREASE WITH NEW BUILDING FAC. REQUIRED PRE-ACTING CALCULATED DEPTH AND ITS ALIGNMENT USING SEWER PLANS PROVIDED BY COUNCIL. BURIED AND CHECK ON SITE FOR SEWER NETWORK UTILITIES. ENGINEER TO DECIDE ON ANY DEPTH VARIATIONS. FOOTINGS REQUIRED.

SEWER EA VENT TO TOP POSITION, NOT ABOVE THRESHOLD. REPAIR LOW PRESSURE. SEWER MAIN DEPTH AT APPROX. 1.8M BELOW NATURAL G.L. THIS DEPTH WILL INCREASE WITH NEW BUILDING FAC. REQUIRED PRE-ACTING CALCULATED DEPTH AND ITS ALIGNMENT USING SEWER PLANS PROVIDED BY COUNCIL. BURIED AND CHECK ON SITE FOR SEWER NETWORK UTILITIES. ENGINEER TO DECIDE ON ANY DEPTH VARIATIONS. FOOTINGS REQUIRED.



POST FOOTING
4500 x 900 min.
CAST THE POST
(OR STEEL POST)
OPTION: 750mm DIA
1500mm DIA
FOOTING
REFER TO SLAB FOOTING
FOUNDATION and see
details where required

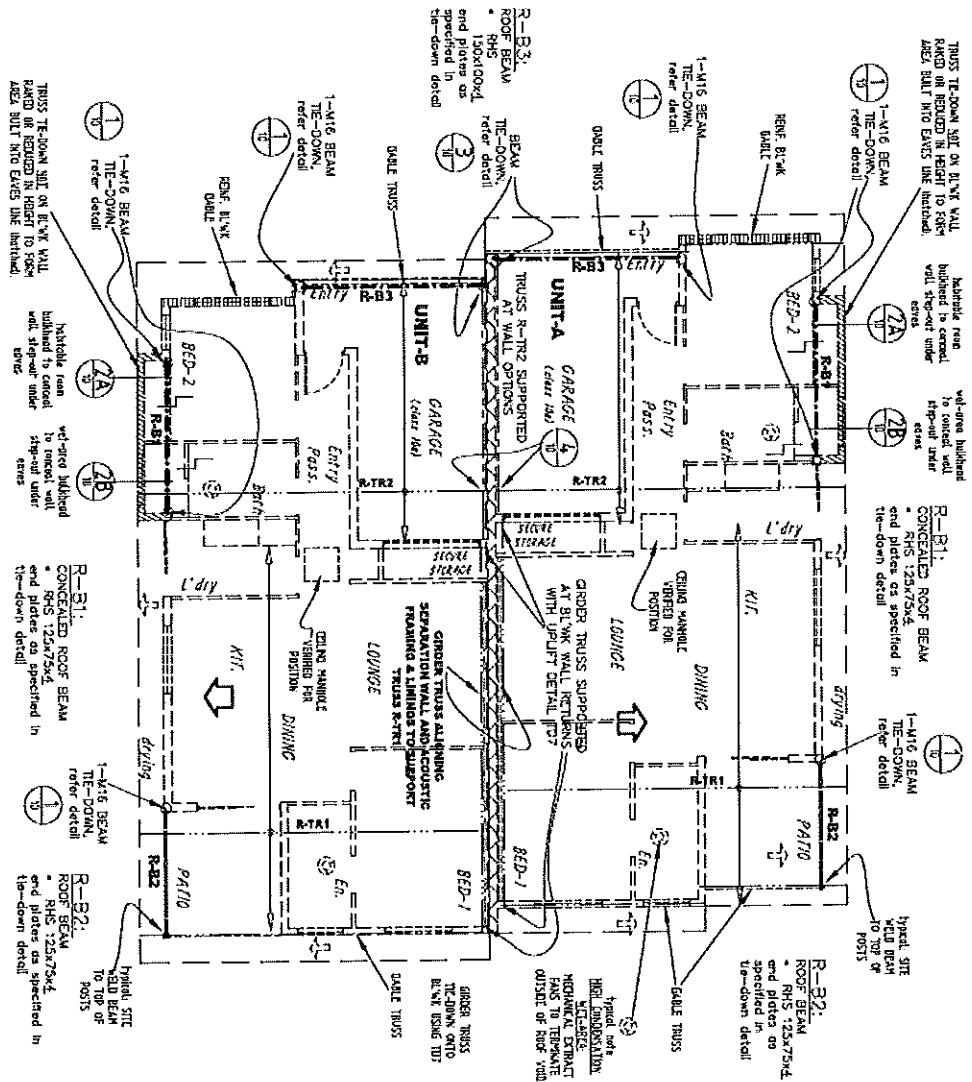
CONCRETE SLAB ON GROUND
APPROVED CONCRETE SLAB ON WATERPROOF HORNSHAE OVER AN APPROVED GASKETED RED (or other) membrane to be shown on drawings. This membrane film installed to meet (non-slip), non-slip, non-slip and SLAB INSTALLED TO STRUCTURAL ENGINEER'S DESIGN NOTES.
JOISTE EXTERN. AT GROUND LEVEL.
PORTLAND CEMENT, SANDS, PERMITS STAINS AND NOXIOUS CLEARANCE APPLY TO CONC. SLAB ON GROUND ACTING AS BARRIER. Steel insulation with non-slip or terra management.
SLAB FINISH WHEN SET-CURDLED THROUGH FROM AHEAD.
ALLOW CONCRETE SURFACE TO HAVE A GRADE OF ANTI-SLIP FOR THE REHABILITATION LEVEL OF BANWATER EXPOSURE. THIS INCLUDES possible coating of surface with slip resistant material and peeling off from the surface when it is SANDED.
SLAB FINISH: POLISHED, ENGRAINED GLOSS, OR POLISHED.
SLAB FINISH: POLISHED, ENGRAINED GLOSS, OR POLISHED.
SLAB FINISH: POLISHED, ENGRAINED GLOSS, OR POLISHED.

50mm x 200mm LONG
TIMBER BARS TIE
TO USE OF SLAB

FOOTINGS DESIGNED WITH SOIL INVESTIGATION REPORT BY: DIRT PROFESSIONALS - Job Reference: 20485 - CLASS 'W'

19/4/2022
23. 2022

PROJECT:	231 WALSH STREET	MAREEBA	4880
RESIDENTIAL - NEW DUPLEX	SLAB and FOOTINGS PLAN	SHEET NO.	W1007
DATE:	11/07/2018	DRAWING TITLE:	
DATE:	11/07/2018	DRAWING TITLE:	
PROJECT:	231 WALSH STREET	MAREEBA	4880
RESIDENTIAL - NEW DUPLEX	SLAB and FOOTINGS PLAN	SHEET NO.	W1007

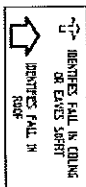


ROOF STRUCTURES PLAN

(1:100 ON A31)

phone 0428 724 255 EPOCH/04 144V, ODESS/LAND
GREGORY G TENZ/2022 Building Design & Drafting
 -Building Designer - Medium Rise - OBC LICENCE 111704-

PROJECT:	DATE: 01.12.2021
231 WALSH STREET	SCALE: AS SHOWN ON V.P. SHEET
MAREEBA	DRAWING TITLE:
4880	ROOF STRUCTURES PLAN
-RESIDENTIAL- NEW DUPLEX	DWG NO: 0486
	SHEET NO: WD 09
	ISSUE: C

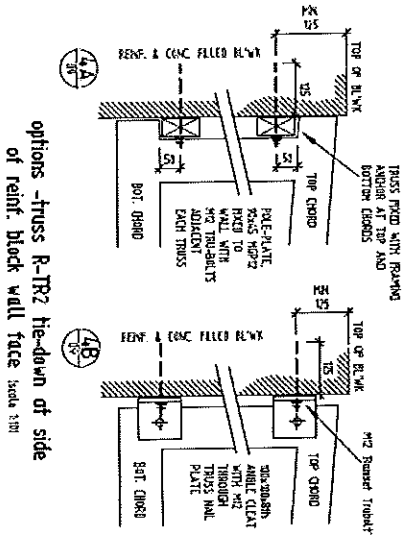
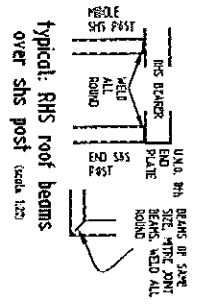
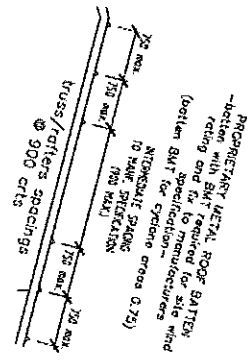


TRUSS - TIMBER
 R-TR1: TRUSS FIXED TO SEPARATION WALL WITH POLE PLATES
 R-TR2: TRUSS FIXED TO GIRDER TRUSS
 TRUSS - METAL
 PATTERNS - METAL
 PROPRIETARY ROOF PATTERNS - REFER DETAIL FOR SPACINGS

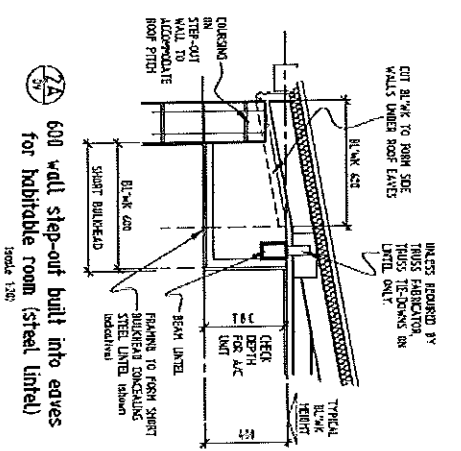
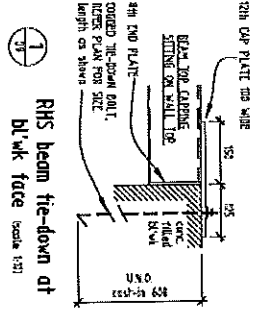
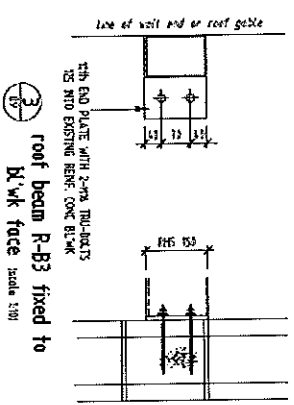
TRUSS - METAL
 R-B31: CONCEALED ROOF BEAM
 R-B32: CONCEALED ROOF BEAM
 R-B33: ROOF BEAM
 R-B34: ROOF BEAM
 R-B35: ROOF BEAM
 R-B36: ROOF BEAM
 R-B37: ROOF BEAM
 R-B38: ROOF BEAM
 R-B39: ROOF BEAM
 R-B40: ROOF BEAM
 R-B41: ROOF BEAM
 R-B42: ROOF BEAM
 R-B43: ROOF BEAM
 R-B44: ROOF BEAM
 R-B45: ROOF BEAM
 R-B46: ROOF BEAM
 R-B47: ROOF BEAM
 R-B48: ROOF BEAM
 R-B49: ROOF BEAM
 R-B50: ROOF BEAM
 R-B51: ROOF BEAM
 R-B52: ROOF BEAM
 R-B53: ROOF BEAM
 R-B54: ROOF BEAM
 R-B55: ROOF BEAM
 R-B56: ROOF BEAM
 R-B57: ROOF BEAM
 R-B58: ROOF BEAM
 R-B59: ROOF BEAM
 R-B60: ROOF BEAM
 R-B61: ROOF BEAM
 R-B62: ROOF BEAM
 R-B63: ROOF BEAM
 R-B64: ROOF BEAM
 R-B65: ROOF BEAM
 R-B66: ROOF BEAM
 R-B67: ROOF BEAM
 R-B68: ROOF BEAM
 R-B69: ROOF BEAM
 R-B70: ROOF BEAM
 R-B71: ROOF BEAM
 R-B72: ROOF BEAM
 R-B73: ROOF BEAM
 R-B74: ROOF BEAM
 R-B75: ROOF BEAM
 R-B76: ROOF BEAM
 R-B77: ROOF BEAM
 R-B78: ROOF BEAM
 R-B79: ROOF BEAM
 R-B80: ROOF BEAM
 R-B81: ROOF BEAM
 R-B82: ROOF BEAM
 R-B83: ROOF BEAM
 R-B84: ROOF BEAM
 R-B85: ROOF BEAM
 R-B86: ROOF BEAM
 R-B87: ROOF BEAM
 R-B88: ROOF BEAM
 R-B89: ROOF BEAM
 R-B90: ROOF BEAM
 R-B91: ROOF BEAM
 R-B92: ROOF BEAM
 R-B93: ROOF BEAM
 R-B94: ROOF BEAM
 R-B95: ROOF BEAM
 R-B96: ROOF BEAM
 R-B97: ROOF BEAM
 R-B98: ROOF BEAM
 R-B99: ROOF BEAM
 R-B100: ROOF BEAM

19/4/2022
 B. Will

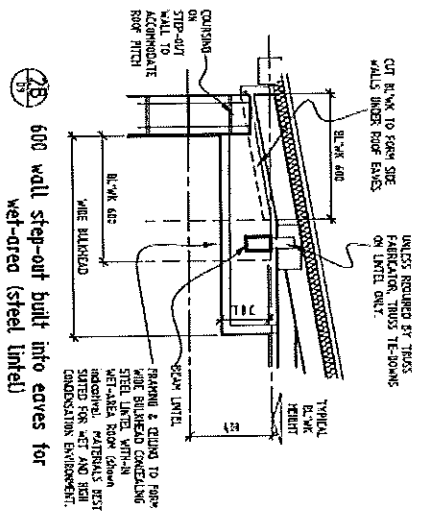
ROOF BATTENS - METAL.
over 900 spaced truss/rattens



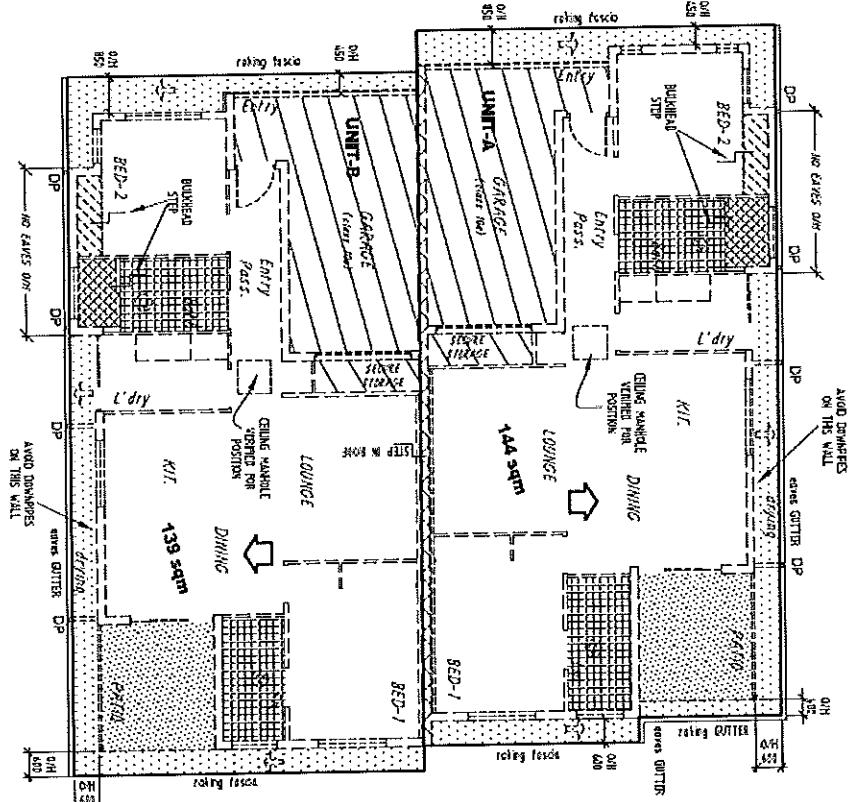
options -truss R-R2 tie-down of side of reinf. block wall face (scale 3/8)



19/4/2022
B. n. c.



GREGORY G 729271 <i>Senior Lecturer</i> Building Design & Drafting -Building Designer- Medium Rise - <i>arch</i> LICENSE: 111914-4	
PROJECT: 231 WALSH STREET MAREEBA 4880 -RESIDENTIAL- NEW DUPLEX	DATE: OCT 2018 SCALE: AS SHOWN ON 1/2" SHEET DRAWING TITLE: ROOF DETAILS JOB NO: 04-86 SHEET NO: WD 10 TOTAL SHEETS: 1



ROOF & CEILING PLAN
(1:100 ON A3)

XX sqm

ROOM AREAS SHOWN ON ITS PLAN WPA ONLY AND NOT THE FACE DIMENSIONS ARE APPROX. SIZE FOR BUILDING PURPOSES AND CALCULATION OF STORM WATER CATCHMENT CONTRACTORS TO VERIFY

- ↓ DOWNPIPES FALL IN CEILING OR EAVES SORT
- ↑ DOWNPIPES FALL IN CEILING ROOF
- ↑ DOWNPIPES FALL IN ROOF
- X-O-P EXISTING DOWNPIPE
- DP NEW DOWNPIPE
- DP/SPW NEW SPRAWLER WITH SPRAWLER

GUTTERS AND DPs, MCC Volume 2 Part 1.5.3 NUMBER OF THE DOWN PIPES CALCULATED USING A SPACED FACI MEAN RECTANGULAR GUTTER ASSUMING OVER MEAN DIAMETER FOUR CENTRE-TO-CENTRE AREA BASED ON 50% DRAINAGE RAINFALL INTENSITY FOR 10 YEARS AVERAGE RETURN PERIOD INTERVAL. 25mm GUTTER TO HAVE PIPES SPACED FOR EACH DOWNPIPE NOTE: NOTICULAR AND PROVIDE MAKE TO 2500V 2M PIPER SPECIFICATION

ROOF CLIMBERS PROFILE FIT TO ROOF RISE CALCULATED IN USING A CORRUGATED CLADDING PROFILE IN STEEP LAPPED OR EQUAL

CEILING LEGEND

- INTERNAL CEILING:
 - CONCRETE OR CORRUGATED STEEL
 - WALL-COAT PAINT FINISH UNLESS PRODUCT HAS A PROPRIETARY FINISH
 - FIRE COATING PRODUCTS TO COMPLY USE OF PINK STRAIGHT JOISTS
- ROOF EAVES SORT:
 - DOWNPIPE DOWNPIPE
 - DOWNPIPES, FIBRE CEMENT SHEETING OR PLASTERBOARD DOWN
- SP-ENCLOSED OUTDOOR AREA CEILING:
 - DOWNPIPE DOWNPIPE
 - DOWNPIPES, FIBRE CEMENT SHEETING OR PLASTERBOARD DOWN
 - DOWNPIPES, FIBRE CEMENT SHEETING OR PLASTERBOARD DOWN
- INTERNAL FINISHED OR EXTERIOR CEILING:
 - REFER TO CEILING PLAN FOR MORE SPECIFICATIONS FOR APPLICATIONS SUITED TO SITE CONDITIONS

Roof Thermal Insulation for metal roof sheeting:

- 100mm CLASS 3 INSULATION
- DIRECT UNDER METAL ROOF SHEETING AND CONTINUE TO EAVES, INSTALL TO VANE.
- INSULATION TO BE APPROVED THERMAL INSULATION LAYER WITH A REDUCED R-value.
- R-value of metal R1.8, is not added.
- BULK INSULATION SHOULD BE TYPICAL REFLECTIVE FOLIUM AND INSULATION PERFORMANCE.
- UNDER TO MATCH PINK HOUSE
- UNDER TO MATCH PINK HOUSE
- UNDER TO MATCH PINK HOUSE

DATE: OCT 2011
SCALE: AS SHOWN OR 1:50 SHEET
DRAWING TITLE: ROOF & CEILING PLAN

PROJECT: 231 WALSH STREET
MAREEBA
4880
RESIDENTIAL-NEW DUPLEX

DRAWN BY: MJD
CHECKED BY: MJD
DATE: 11 OCT 2011

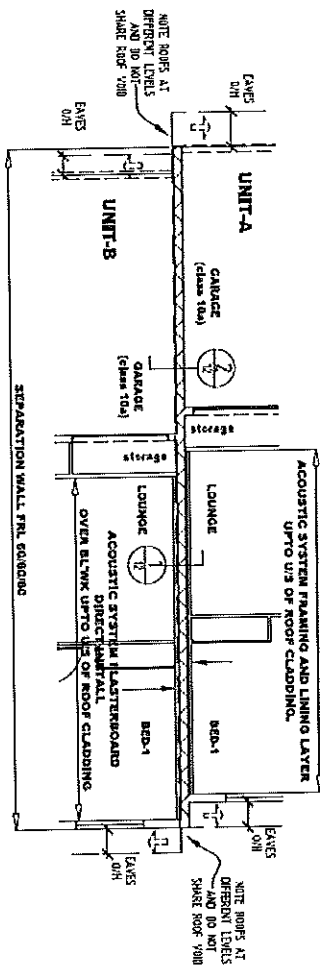
DESIGNED BY: MJD
DATE: 11 OCT 2011

PROJECT NO: 231 WALSH STREET
MAREEBA
4880

CLIENT: MAREEBA SHIRE COUNCIL

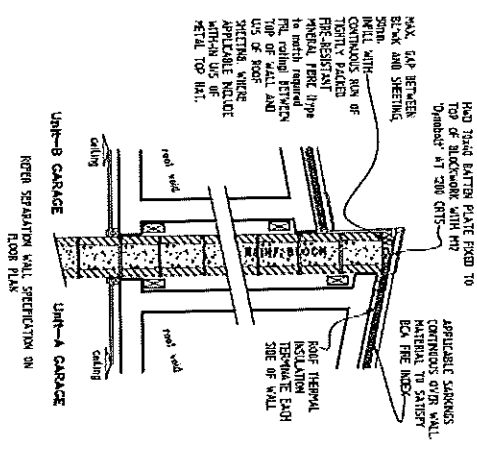
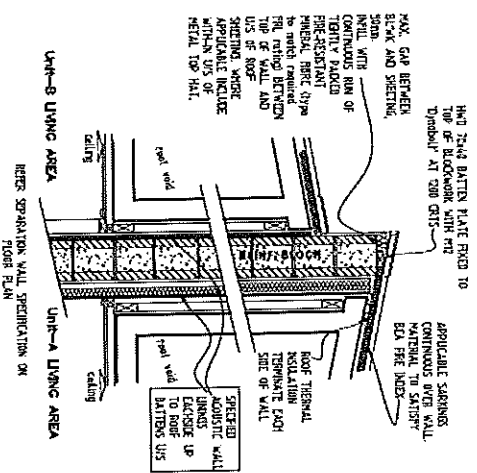
DESIGNER: GREGORY & TERZIO ARCHITECTS
BUILDING DESIGN & DRAFTING
BUILDING DESIGNER - MAREEBA SHIRE - ARCHITECT LICENSE 117074-03

9/4/2022
B. Walsh

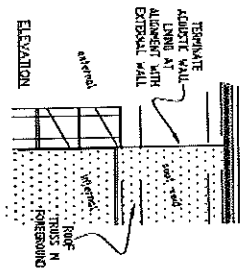


1 roof level separation wall for fire/acoustic between living areas -Detail (scale 1:20)

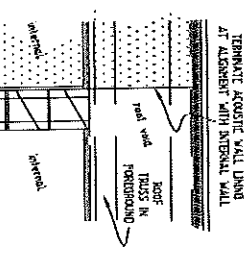
2 roof level separation wall for fire/acoustic between class 10a garages -Detail (scale 1:20)



3 indicative detail: acoustic lining extent of external wall



4 indicative detail: acoustic lining extent of internal wall



SEPARATING WALL:
FIRE RATING (FRL) 60/60/60
EQUAL TO CONCRETE BLOCK MASONRY MASON DESIGN TEST/SPRINK (Rw 55) NUMBERED 02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100

REFER DETAILS FOR EXTENT OF WALL HEIGHT AND TERMINATION WITH TOP OF ROOFS

- Note to check use of 'H' or 'U' core fill blocks.

SEPARATING WALL:
ACOUSTIC R-ROCK 50 min.
equal to GYROCK System CS8751 which utilize black wall system with on Rw value >41

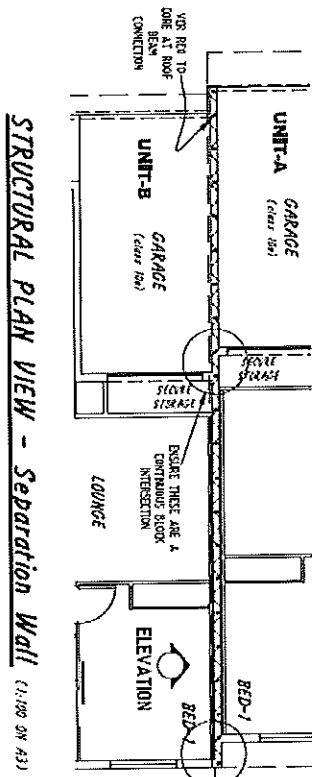
UNIT-A BED-1, LOUNGE
STORAGE: 32mm GYROCK plasterboard fixed direct to masonry

UNIT-B BED-1, LOUNGE
STORAGE: 12mm GYROCK plasterboard fixed to 12mm MIN. CAVITY BETWEEN MASONRY AND STUCCO. INSULATE BETWEEN STUDS WITH 75 CW 11kg INSULATION

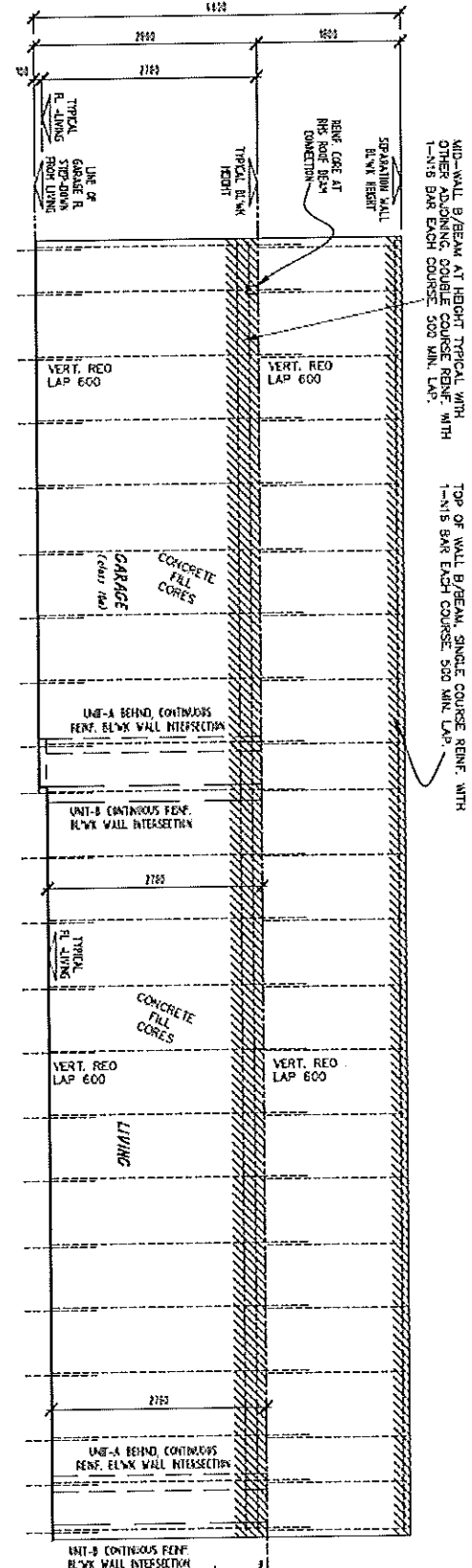
ACOUSTIC SYSTEM UP TO ROOF CLADDING U/S REFER DETAILS FOR ALLOWED GAP WITH ROOF CLADDING

PROJECT	PHONE 0428 246 265	EMPHANTON 480, ADELAIDE
DESIGNER	GREGORY & TERZANI	Building Design & Drafting
CLIENT	MAREEBA	231 WALSH STREET
ADDRESS	4880	NEW DORLEX
DATE	01/02/2021	
SCALE	A3: 1:100	
SHEET	MD12	
ISSUE	A	

19/4/2022
B. Will



STRUCTURAL ELEVATION - Separation Wall (1:150 ON A3)



19/4/2022
B.M.

Reinf. Block Separation Walls

Specification:

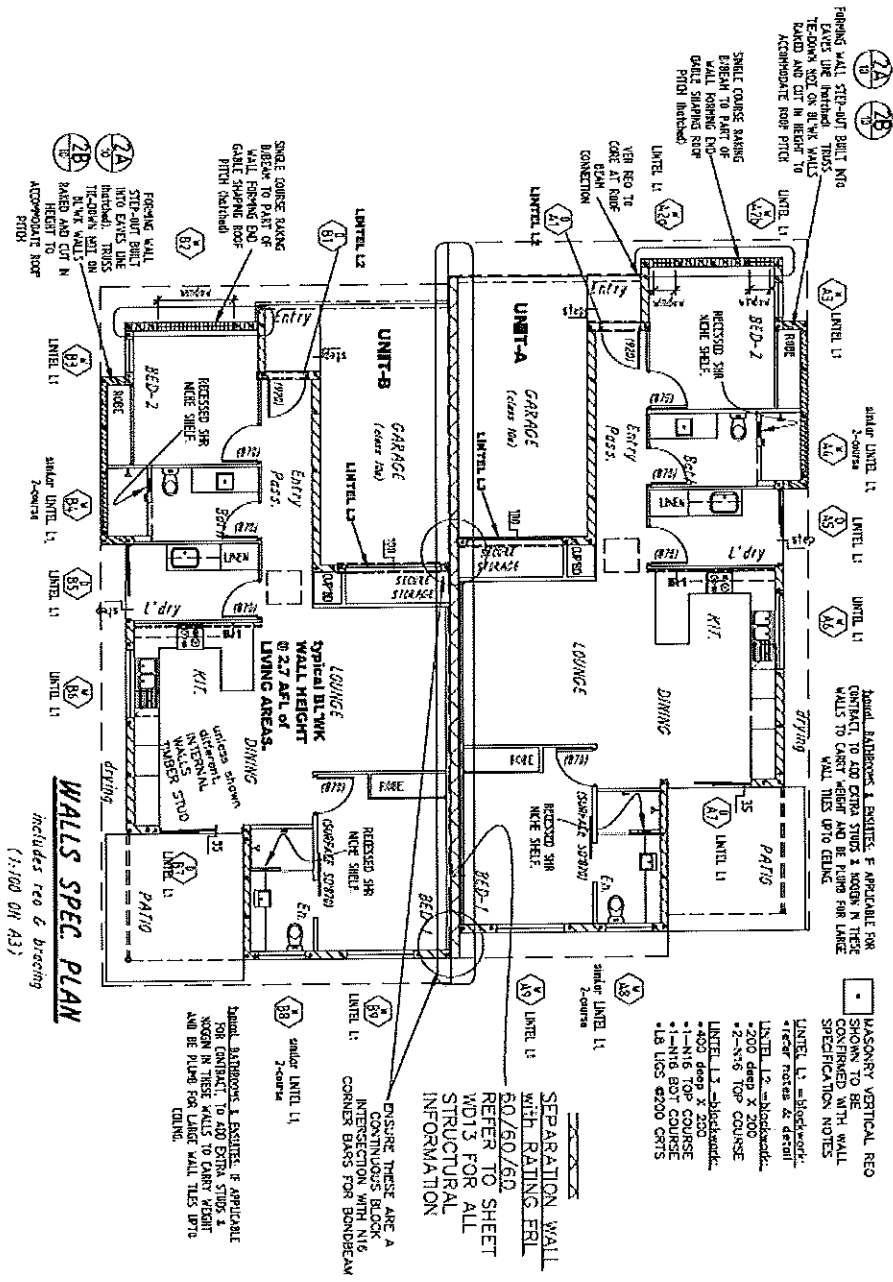
- For structural engineers design notes for more information-
- FIRE RATING (FR.L): 60/60/60
- equal to CONCRETE BLOCK MASONRY FRAME MOUNT
- TEST/STANDARD NUMBER: R12/S21 VERIFIED IN 531
- ZONING: BULKING ZONE
- CONCRETE FILL ALL B/L/W CORNER AND BEHIND
- NOTE TO CHECK USE OF 11 OR 12 CORE FILL BLOCKS.
- REIN. DETAILS FOR EXTENT OF WALL HEIGHT AND TERMINATION WITH TOP OF ROOF.
- BOND-BREAK AT TOP
- AS SHOWN ON STRUCTURAL ELEVATION
- REIN. BOND-BREAK B/L/W CORNER
- DIRECTION ON PLAN, ALLOW TO PARTIAL TYPICAL
- BOND-BREAK AT TOP
- AS SHOWN ON STRUCTURAL ELEVATION
- VERTICAL REO
- REIN. WITH SPOURED VERTICAL
- PENEBERS AS SHOWN AND INCLUDING EXOS. CORNERS, INTERSECTIONS
- STARTER BARS LAPPED 600 MIN. WITH VERTICAL REO.

PROJECT: 231 WALSH STREET
MAREEBA 4880
RESIDENTIAL-NEW DUPLEX

DATE: OCT 2018
SCALE: AS SHOWN ON 23 SHEET
DRAWING TITLE: SEPARATION WALL
-Structural

DESIGNED BY: WDJ
CHECKED BY: WDJ
ISSUE: A

PHONE: 0438 34 355
GREGORY G TERZAGLIA
Building Design & Drafting
Building Designer - Medium Rise - ARCH LICENCE: 1117145

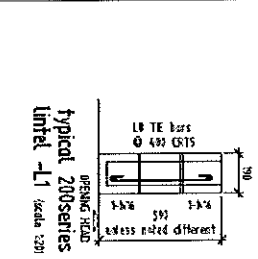


Timber Stud Walls Specification:

- INTERNAL WALLS - Non-loadbearing**
- 1. TO STUDS - OTHER THAN 100mm W/TH
 - 2. TO STUDS - OTHER THAN 100mm W/TH
 - 3. TO STUDS - OTHER THAN 100mm W/TH
- INTERNAL WALLS - Non-loadbearing**
- 1. TO STUDS - OTHER THAN 100mm W/TH
 - 2. TO STUDS - OTHER THAN 100mm W/TH
 - 3. TO STUDS - OTHER THAN 100mm W/TH

STUD WALL BEACONS

- 1. applicable PLY SHEETING identified as type 'B-1'
- 2. UNLESS NOTED OTHERWISE, PROVIDE 100mm x 100mm STUDS AT 400mm ON CENTER
- 3. PROVIDE ANTI-SUCKER CEATS TO TOP OF BEACON WALLS IN ACCORDANCE WITH AS/NZS 2601

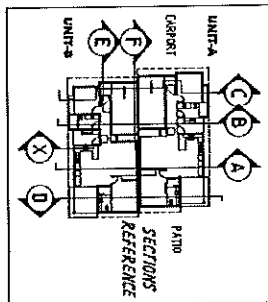
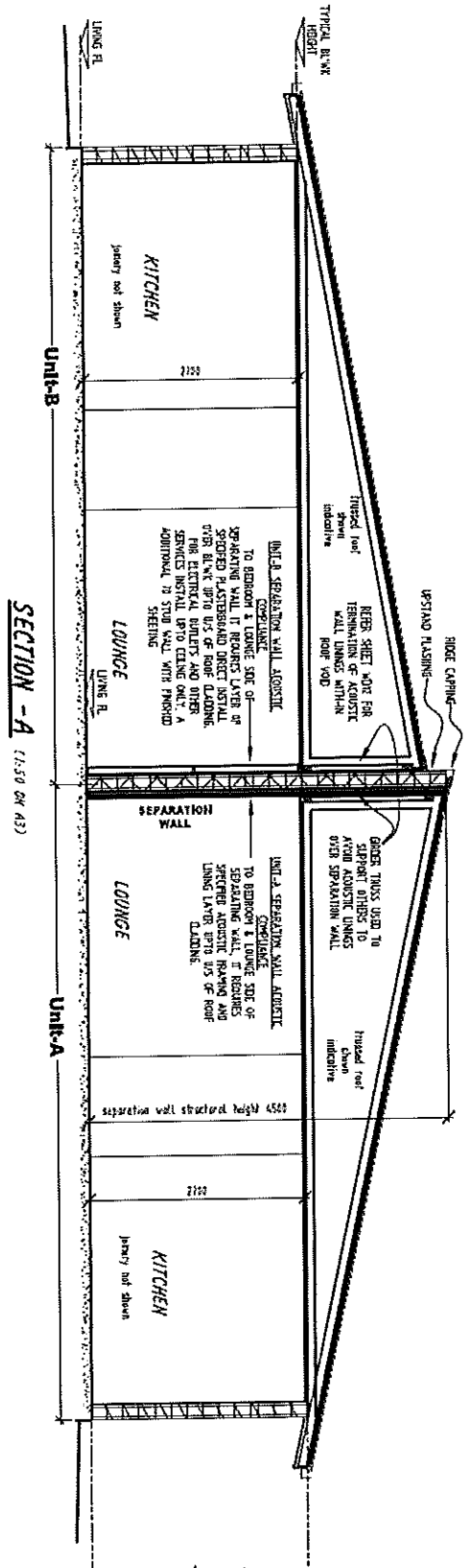
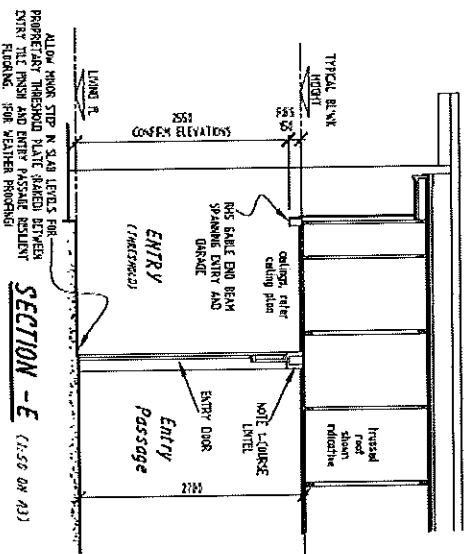
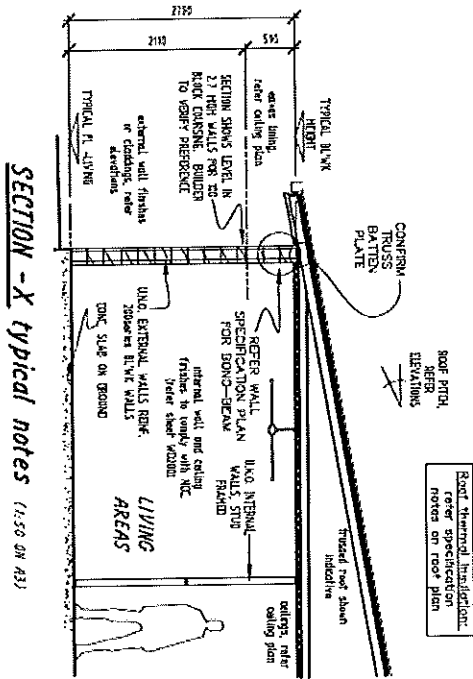


Reinf. block walls Specification:

- 1. REINFORCED CONCRETE WALL WITH RATING FRL 60/60/60
- 2. UNLESS NOTED OTHERWISE, PROVIDE 100mm x 100mm STUDS AT 400mm ON CENTER
- 3. PROVIDE ANTI-SUCKER CEATS TO TOP OF BEACON WALLS IN ACCORDANCE WITH AS/NZS 2601

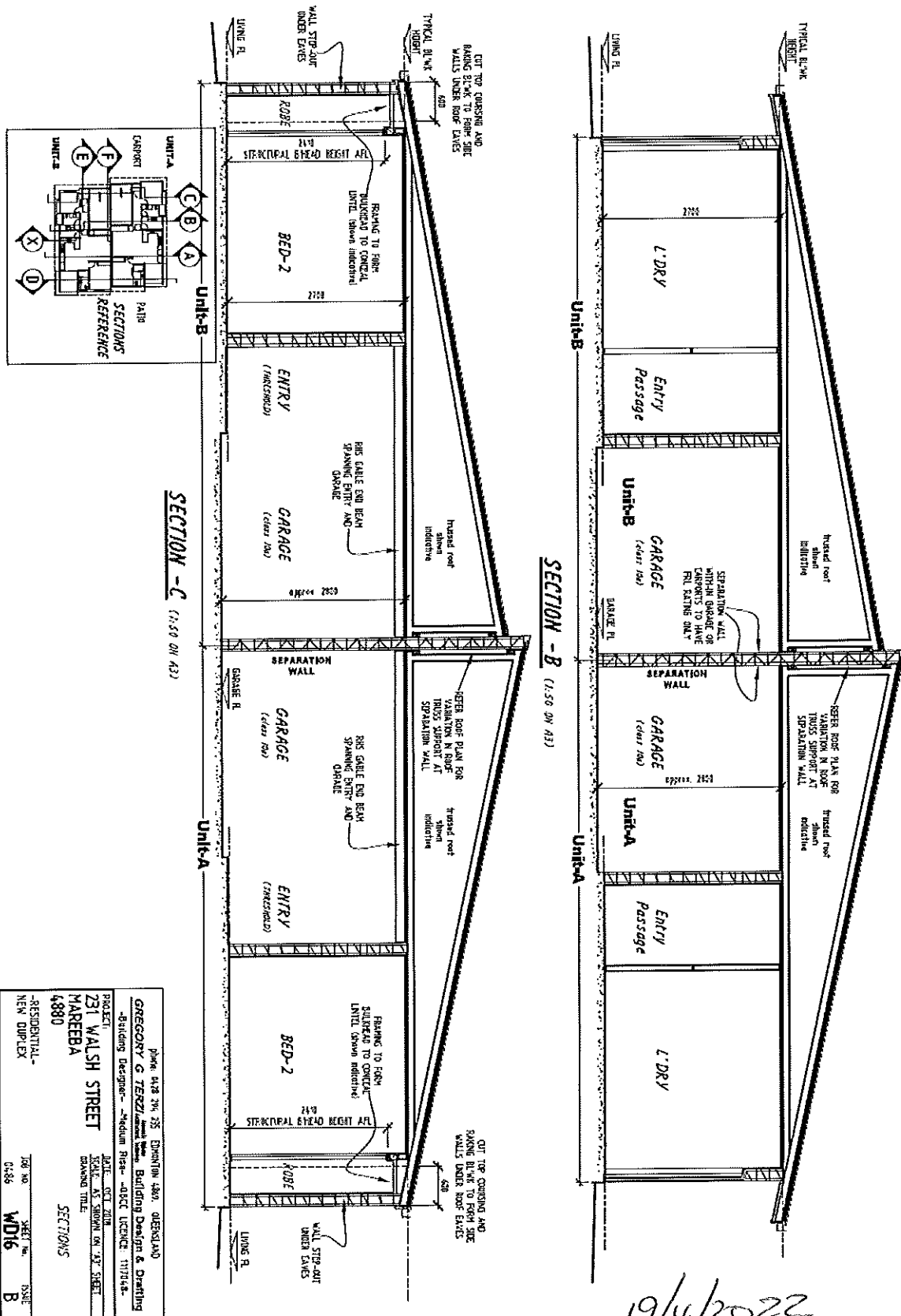
PROJECT	231 WALSH STREET	DATE	2022
CLIENT	MAREEBA	DRAWN BY	W.D.
DESCRIPTION	WALL PLAN AND WALL CONSTRUCTION SPEC	CHECKED BY	W.D.
ISSUE NO.	0001	ISSUE	C

19/4/2022
B. Will

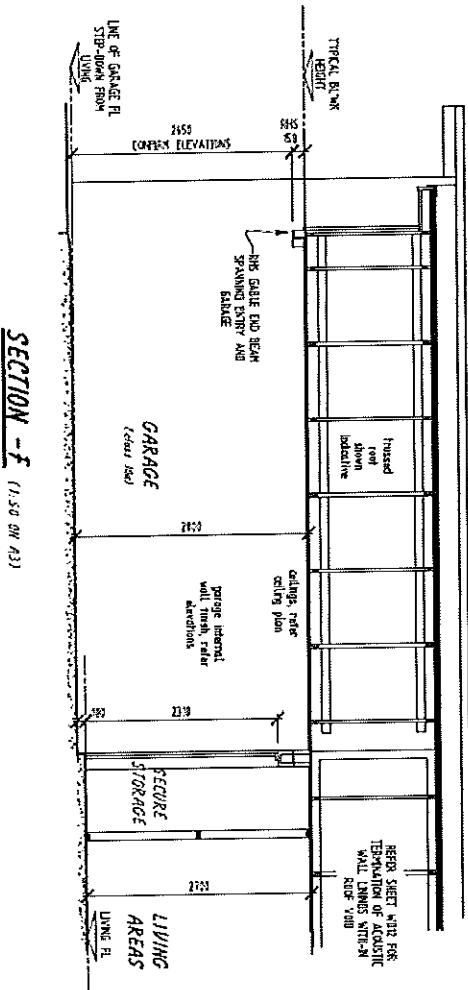


phone 0428 264 255 Eborac Drive, ABERDEEN	
PROJECT: GREGORY & TEBBZ/Building Design & Drafting	
PROJECT: -Building Designer-	-Medium Rise- -DCC LICENCE: 1171746-
231 WALSH STREET MAREEBA	
DATE: OCT 2018	
SCALE: AS SHOWN ON 'A' SHEET	
DRAWING TITLE: SECTIONS	
4880	1:50
-RESIDENTIAL- NEW DUPLEX	
TBR no: C-486	SHEET no: WDIS A

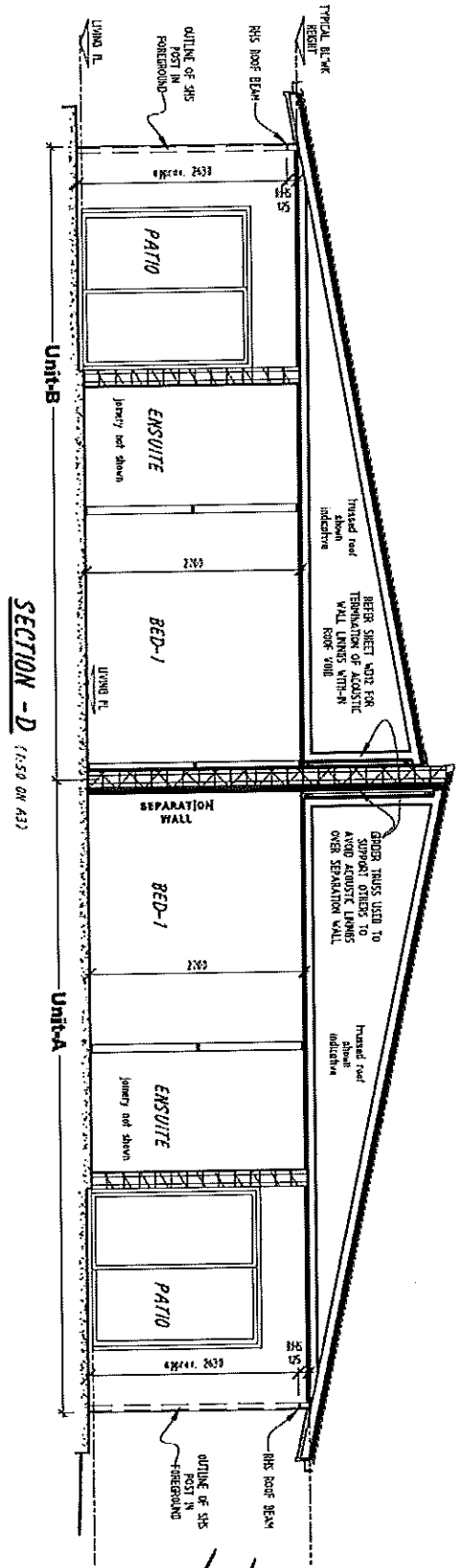
19/4/2022
B. n. Q.



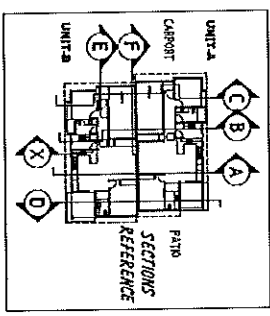
19/4/2022
B. Tenzel



SECTION - F (1:50 ON A3)



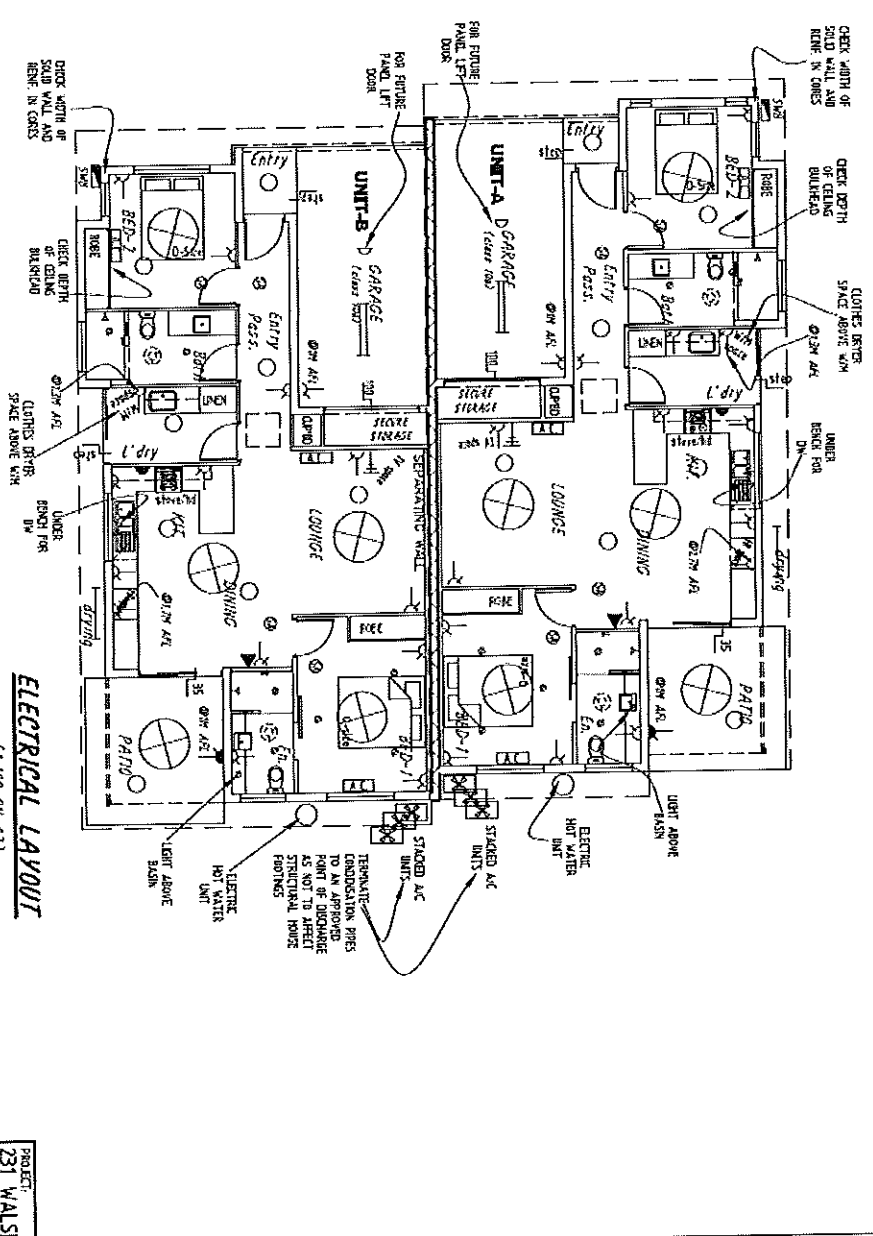
SECTION - D (1:50 ON A3)



phone: 0428 294 293 EIMONTON QLD, AUSTRALIA
GREGORY G TERZIO Building Designer & Drafting
 -Building Designer - -Architectural License: 111724-B
 PROJECT: 231 WALSH STREET
 MAREEBA
 4880
 DATE: OCT 2018
 SCALE: AS SHOWN ON 1/2" SHEET
 DRAWING TITLE: SECTIONS
 SHEET NO: **WD17**
 ISSUE: **A**

19/4/2022
 B. Terzio

ITEMS LISTED FOR QUOTING PURPOSES ONLY AND
REQUIRE FINAL CHECK FOR CONTRACTS



NOTE 1: WALL SWITCHES AND POWER POINT GANG NUMBERS DETERMINED BY CONTRACTOR AND CLIENT

NOTE 2: DOWNLIGHT ASSESSED TIER TYPE. THE AMOUNT SHOWN PER ROOM OR OUTDOOR USE TO BE VERIFIED BY INSTALLER FOR FITTING PURPOSES

NOTE 3: UNLESS SHOWN ON PLAN, CONTROL LOCATIONS FOR LIGHTS OR OUTLETS DETERMINED FOR CONTRACTS

AC STAIR SYSTEM UNIT SIZE AND THE POSITION OF OUTLET FROM INTERSECTION TO BE DETERMINED BY APPROVED CONTRACTOR

PROJECT: 231 WALSH STREET
MAREEBA
4880
RESIDENTIAL-
NEW DUPLEX

DATE: 02/02/2018
SCALE: AS SHOWN ON A3 SHEET
DRAWING TITLE: ELECTRICAL LAYOUT

ISSUE: WD 20 B

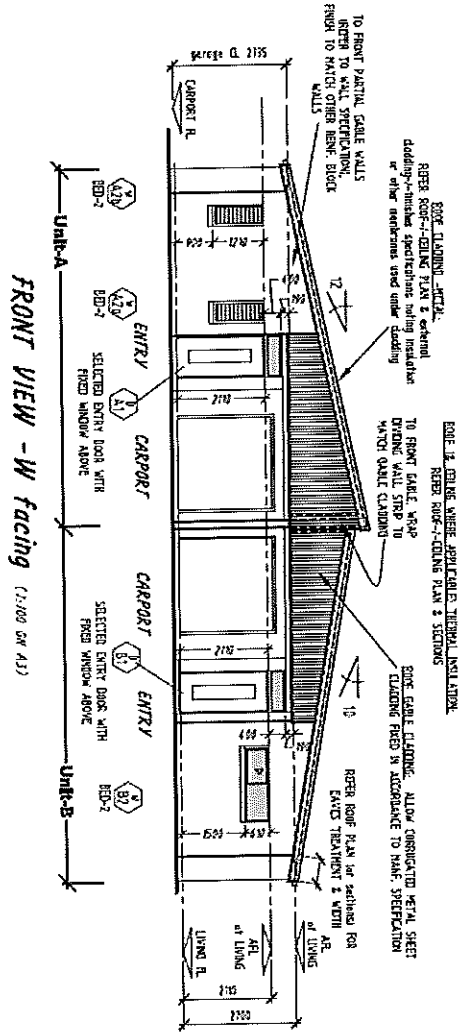
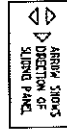
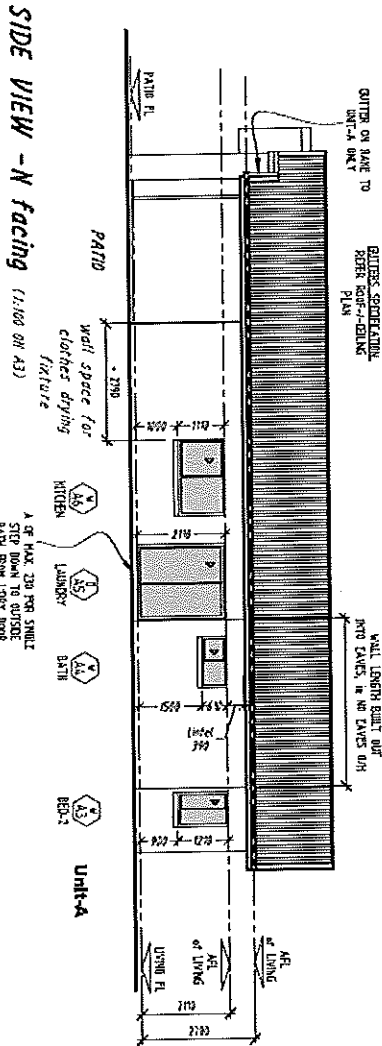
DESIGNER: GREGORY G TERRY
BUILDING DESIGNER & CONSULTING ARCHITECT
LICENCE: 11974-6

ELECTRICAL LAYOUT
(1:100 ON A3)

- Society:**
- ⊗ SMOKE ALARM - INTER MAIN FLOOR PLAN FOR DETAILS
- Power Schedule:**
- ⊖ SYMBOL: POWERPOINTS OVER AIR UNITS
 - ⊖ SYMBOL: NOTED DIFFERENT ON ABOVE BREAKDOWN
 - ⊖ SYMBOL: SINGLE POWERPOINT
 - ⊖ SYMBOL: WEATHER PROOF
 - ⊖ SYMBOL: DOUBLE POWERPOINT
 - ⊖ SYMBOL: WEATHER PROOF
 - ⊖ SYMBOL: COOLER OR OVER POWER SOURCE
 - ⊖ SYMBOL: CEILING POWER OUTLET FOR GARAGE DOOR
- Communications:**
- ⊖ SYMBOL: SYMBOL POWERPOINTS OVER AIR UNITS
 - ⊖ SYMBOL: NOTED DIFFERENT ON ABOVE BREAKDOWN
 - ⊖ SYMBOL: TELEPHONE POINT OR WIRE CONNECTION
 - ⊖ SYMBOL: DATA POINT
 - ⊖ SYMBOL: TV OUTLET
- Lighting & Ventilation Schedule:**
- ⊖ SYMBOL: MOTION SENSOR
 - ⊖ SYMBOL: SMOKE or DOUBLE ZERO LONG PATTERN FLUORESCENT LIGHT. COVER FITTING TO SUIT EXTERNAL OR INTERNAL LOCATION
 - ⊖ SYMBOL: INTERNAL WALL MOUNTED FLUORESCENT OR LED TYPE LIGHT OVER PERIMETER
 - ⊖ SYMBOL: INTERNAL CEILING MOUNTED LIGHT. Check for ceiling bulkhead
 - ⊖ SYMBOL: INTERNAL RECESSED DOWNLIGHT
 - ⊖ SYMBOL: EXTERNAL RECESSED CEILING LIGHT. UNLESS NOTED OTHERWISE ALONG AS RECESSED DOWNLIGHT
 - ⊖ SYMBOL: EXTERNAL WALL LIGHT
 - ⊖ SYMBOL: EXTERNAL SPOT LIGHT
 - ⊖ SYMBOL: SECURITY LIGHT. REFER PLAN FOR USE
 - ⊖ SYMBOL: EXTERNAL LIGHT. LIGHT BANG ROOM
 - ⊖ SYMBOL: CEILING FAN. REFER FLOOR PLAN FOR SIZE
 - ⊖ SYMBOL: EXTERNAL CEILING MOUNTED EXHAUST FAN
 - ⊖ SYMBOL: INDICATES PANNELED

19/4/2022
B. M. O.

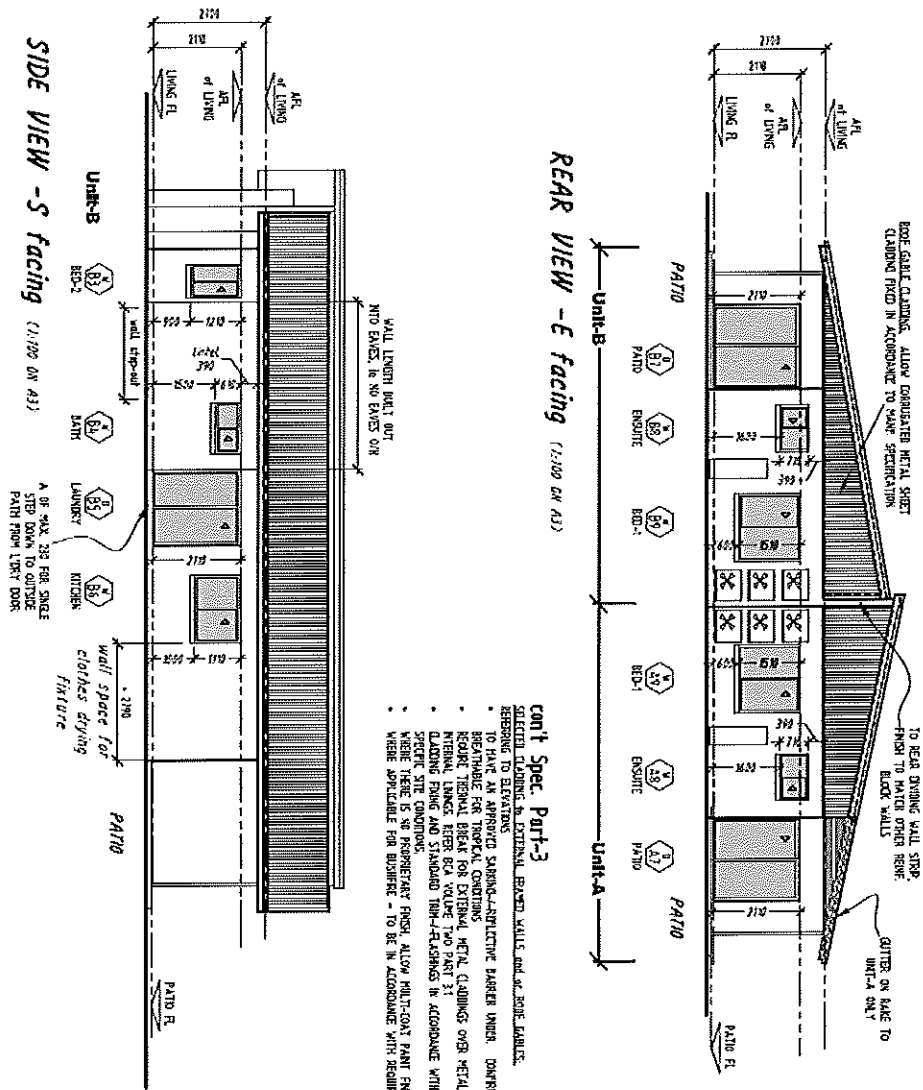
CROSS REFERENCE WINDOW & DOORS SIZING ON SHEET WD42



19/4/2022
B. Z. [Signature]

<p>PROJECT: 231 WALSH STREET MAREEBA 4880 -RESIDENTIAL- NEW DUPLEX</p>		<p>DATE: OCT 2020 SCALE: AS SHOWN ON 1/2 SHEET DRAWING TITLE: ELEVATIONS - EXTERNAL Sheet 1 of 2</p>	
<p>PROJECT: 231 WALSH STREET MAREEBA 4880 -RESIDENTIAL- NEW DUPLEX</p>		<p>DATE: OCT 2020 SCALE: AS SHOWN ON 1/2 SHEET DRAWING TITLE: ELEVATIONS - EXTERNAL Sheet 1 of 2</p>	
<p>PROJECT: 231 WALSH STREET MAREEBA 4880 -RESIDENTIAL- NEW DUPLEX</p>		<p>DATE: OCT 2020 SCALE: AS SHOWN ON 1/2 SHEET DRAWING TITLE: ELEVATIONS - EXTERNAL Sheet 1 of 2</p>	

CROSS REFERENCE WINDOW & DOORS SIZING ON SHEET WD42



cont Spec. Part-3

SELECTED CLADDINGS IN EXTERNAL BEAVED WALLS and/or BONE PARTIES.

REFERRING TO ELEVATIONS:

- TO FINISH AN APPROPRIATE SHINGLES-ADJECTIVE BARBER UNDER DOWNER TYPE TO BE
- RECOMMENDED FOR TERRACE CONCRETES
- INTERNAL TERRACE KEYS ON VALVE TAP ON CHART 31
- CLADDING FINISH AND STANDARDS FROM-REASONS IN ACCORDANCE WITH MARK SPEC AND
- SPECIFIC SITE CONDITIONS.
- WHERE THERE IS NO PROPRIETARY FINISH, ALLOW MULTI-COAT PAINT FINISH FOR SITE CONDITIONS.
- WHERE APPLICABLE FOR BUSINESS - TO BE IN ACCORDANCE WITH REQUIRED D.B. RATINGS

Exterior Claddings & Finishes: Spec

Part-1

TERRACE FINISHES

Water proofing different, ALLOW MULTI-COAT PAINT FINISH SYSTEM TO ALL VISIBLE ELEMENTS WHICH DO NOT HAVE A PROPRIETARY COLOR FINISH OR COATING, and/or approved

EXTERIOR WALLS:

- APPROVED FINISHES ALLOW THE FINAL FINISH BEST SUIT 800
- WEATHER EXPOSURE AND REGULATING WINDS
- NOTE: SITE OBTAINED FROM'S WARRANT

Exterior Claddings & Finishes: Spec

Part-2

SOFT CLADDINGS

- METAL SHEET CLADDINGS: ROOF PLANK AND SECTION FOR
- METAL SHEET CLADDINGS: ROOF PLANK AND SECTION FOR
- APPROVED REFLECTIVE SHINGLES UNDER SHEDDING AND NOTING
- ANY THERMAL INSULATION REQUIREMENT: REEL REEL THERMAL INSULATION SPECIFICATION
- SHEET RAIN LENGTHS, RIDGES AND PITCHES MADE TO BE IN ACCORDANCE TO MARK SPEC
- Eave overhang, minimum as required for site exposure rating
- Eave overhang, in the proprietary color/finish
- NOTE: TERRACE FINISHES

Exterior Claddings & Finishes: Spec

Part-3

WALLS EXTERNAL EDGE OF BONE BLOCKWORK

- U.N.O. SELECTED PROPRIETARY EXTERIOR TEXTURE COATING WITH MULTI-COAT PAINT FINISH
- CARBONATE SALT RESISTANT FINISH BE USED
- UNLESS FOR CONCRETE IS APPLIED FOR PORTLAND BLOCKWORK
- U.N.O. SELECTED PROPRIETARY EXTERIOR TEXTURE COATING MULTI-COAT PAINT FINISH
- BELOW WALLS CONCRETE SLAB EDGE ABOUT GROUND
- SURFACES MADE GOOD AND PREPARED FOR A MULTI-COAT PAINT FINISH SYSTEM

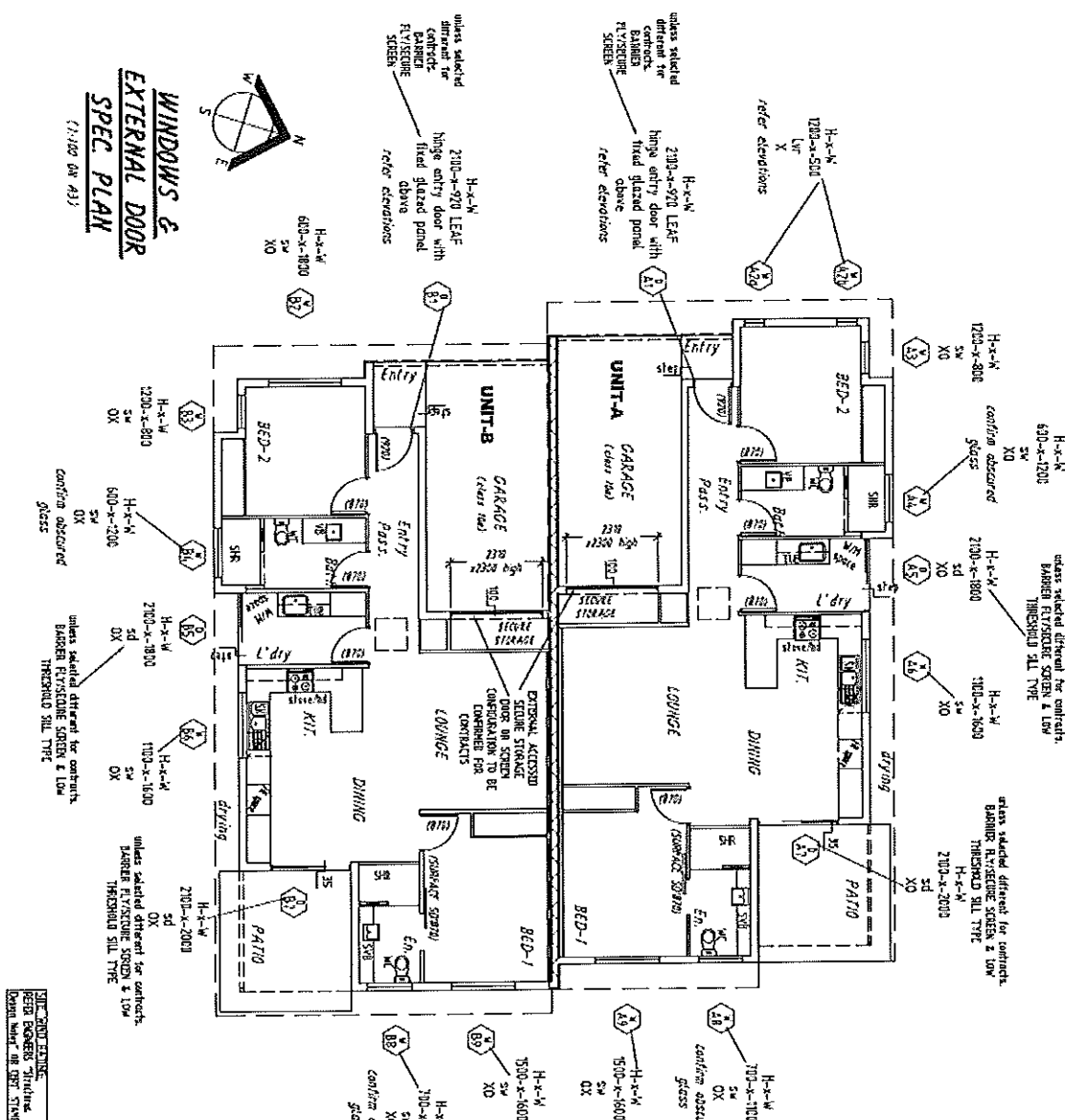
CONTINUATION OF TEXTURE OR ROOFER COATING WHERE TOPPING PREVENTION SYSTEMS ALLOWED.

where applicable - SHINGLES SAFE IN STEEP ROOFINGS. OUT OF GROUND BELOW FLOOR LEVEL.

- masses noted otherwise, CONTINUE TEXTURE OR ROOFER COATING VERY FOR WALL WALLS TO HAVE HORIZONTAL JOINT IN COATING AT FLOOR SLAB LEVEL.

PROJECT: 231 WALSH STREET MAREEBA 4880		DATE: OCT 2018	DATE: OCT 2018
RESIDENTIAL-NEW DUPLEX		DRAWN BY: A.S. SHOWN ON A3 SHEET	SHEET NO: WD 41
GREGORY G TERRY Building Design & Drafting		CHECKED BY: C. JAMES	DATE: 11/18/2018
3/24/2018		BY: G. TERRY	DATE: 11/18/2018
SITE VISIT DETAILS: 231 WALSH STREET MAREEBA			

19/4/2022
B. Hill



WINDOWS & EXTERNAL DOOR SPEC PLAN
(1:100 OR A3)

ITEMS LISTED FOR QUOTING PURPOSES ONLY AND REQUIRE FINAL CHECK FOR CONTRACTS

- Notes typical and inclusions for quote:
- Glazed assemblies unless in compliance to SEC 2 referenced Aust Standards
 - FOR QUOTING PURPOSES unless noted otherwise, INCLUDE F.V. SCHEDING TO ALL EXTERNAL DOORS & WINDOWS. DOUBLE RESSI INTERNAL
 - FOR QUOTING PURPOSES unless noted otherwise, INCLUDE EXTERNAL SCREEN NOT INCLUDING FRONT ENTRY DOOR
 - CHAMPANER TO AROUND WINDOWS MOUNTED FOR SCREENING
 - GLASS DRING OR OBTSCURED TEXTURES ARE TO HAVE PARTNER CONSULTATION WITH CLIENT AND THE ENERGY EFFICIENCY CERTIFICATION REPORT. INCLUDE FOR BATHROOM IS EXCLUDE WINDOWS TO HAVE OBTSCURED GLAZING.
 - BUILDING REQUIRING A DISPERSE ATTACK LEVEL (BAL), ALL WINDOWS AND DOORS TO BEET AUST. STANDARD ASS599-2019

19/4/2022
B. Will

PROJECT	321 WALSH STREET MAREEBA 4880
DATE	OCT 2018
DRAWING TITLE	WINDOWS and EXTERNAL DOOR SCHEDULE
JOB NO	13-86
SHEET NO	MD 42
ISSUE	C

DESIGN LOADS:

C1

VAND CLASSIFICATION

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING LOADING CODES:

- AS 1170 - DEAD & LIVE LOADS & LOAD COMBINATIONS
AS 1170.1 - DEAD LOADS - RESIDENTIAL
AS 1170.2 - LIVE LOADS - RESIDENTIAL
AS 1170.3 - WIND LOADS - RESIDENTIAL

NEED VAND SPECIFICATIONS

STRUCTURAL STEEL:

- 1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF AS 4300 AND AS 5135 EXCEPT WHERE VARIOUS BY THE CURRENT DOCUMENTS.
2. UNLESS NOTED OTHERWISE ALL STEEL SHALL BE IN ACCORDANCE WITH:
AS 4300 GRADE 250 FOR ROLLED SECTIONS
AS 4300 GRADE 350 FOR RAS SECTIONS
AS 4300 GRADE 350 FOR CHS SECTIONS
AS 4300 GRADE 350 FOR ALL HIGH STRENGTH STEEL

CONCRETE:

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF AS 1582 AND AS 3703 EXCEPT WHERE VARIOUS BY THE CONTRACT DOCUMENTS.
2. CONCRETE QUALITY
3. UNLESS SPECIFIED OTHERWISE ALL CONCRETE SHALL BE SUPPLIED TO THE SITE FROM A MANUFACTURER WHOSE CONCRETE IS NOT TO BE PAINTED.
4. UNLESS SPECIFIED OTHERWISE ALL CONCRETE SHALL BE SUPPLIED TO THE SITE FROM A MANUFACTURER WHOSE CONCRETE IS NOT TO BE PAINTED.

TIMBERS:

- 1. ALL WORK SHALL COMPLY WITH THE RELEVANT BUILDING ACT AND ALL CODES REFERRED TO HEREIN.
2. ALL STRUCTURAL TIMBER SHALL BE GRADE P10 (PROCESSED) UNLESS NOTED OTHERWISE.
3. THE DESIGN, ERECTION AND BRACING OF PERMANENT ROOF TRUSSES SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS UNLESS NOTED OTHERWISE.
4. ALL BRACING AND CONNECTION DETAILS SHALL BE IN ACCORDANCE WITH ASSOCIATED RESIDENTIAL TIMBERS - BRACING CONNECTIONS - CLADDING.

LOAD BEARING MASONRY:

- 1. ALL LOAD BEARING MASONRY WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE CURRENT EDITION OF AS 3700. EXCEPT WHERE VARIOUS BY THE CONTRACT DOCUMENTS.

New Works Site Preparation:

- 1. SITE PREPARATION SHALL GENERALLY CONSIST OF CLEARANCE OF VEGETATION FOLLOWED BY EXCAVATION OF TRENCHES AND MATERIAL TO SUIT FINAL DESIGN LEVELS.
2. PROVISION SHALL BE MADE FOR THE REMOVAL OF ANY EXISTING BUILDINGS INCLUDING BRACING UP AND REMOVAL OF ANY OLD FOUNDATIONS, SERVICE PIPES, SEWER TRENCHES AND EXISTING TREES INCLUDING STUMP AND ROOTS WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION. ANY SOIL DISTURBED BY DESTRUCTION SHALL BE RECOMPACTED.
3. IN THE PROPOSED ON GRADE FLOOR SLAB SUPPORT AND PAVEMENT AREAS, THE EXPOSED SURFACES SHALL BE UNWEIGHTED EXCEPT TO ACCEPT A TOP DENSITY RATIO OF NOT LESS THAN 98% OF THE TARGET DENSITY.
4. THE PROPOSED FLOOR SLAB SHALL BE RECOMPACTED TO A MINIMUM OF 98% OF THE TARGET DENSITY.
5. ANY FILLING PLACED IN THE BUILDING AND PAVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE TARGET DENSITY.
6. ALL EXCAVATION SHALL BE TO A MINIMUM OF 100mm BELOW FINISH LEVEL.
7. ALL EXCAVATION SHALL BE TO A MINIMUM OF 100mm BELOW FINISH LEVEL.
8. ALL EXCAVATION SHALL BE TO A MINIMUM OF 100mm BELOW FINISH LEVEL.

Foundation Excavation:

- 1. EXCAVATION FOR ALL FOOTINGS SHALL BE TAKEN TO THE DESIGN SHOWN OR TO A FOUNDATION STRAIN CAPABLE OF SAFELY SUSTAINING A DESIGN INCREASE OF 50% TO THE WORKERS 15 THE DESIGN. ALL EXCAVATIONS SHALL BE FIRM FIRM LOOSE MATERIAL, AND ALL WATER IN EXCESS OF 10% SHALL BE REMOVED. EXCAVATION SHALL BE TO A MINIMUM OF 100mm BELOW FINISH LEVEL UNLESS OTHERWISE NOTED.
2. EXCAVATING THE EXISTING FLOOR SHALL BE DONE BY REMOVAL OF ALL OTHER EXISTING WORK, DEBRIS OF FLOOR SHALL BE REMOVED, AND STIFF AND BRITTLER SHALL BE FIRM FIRM LOOSE MATERIAL. EXCAVATION SHALL BE FIRM FIRM LOOSE MATERIAL.

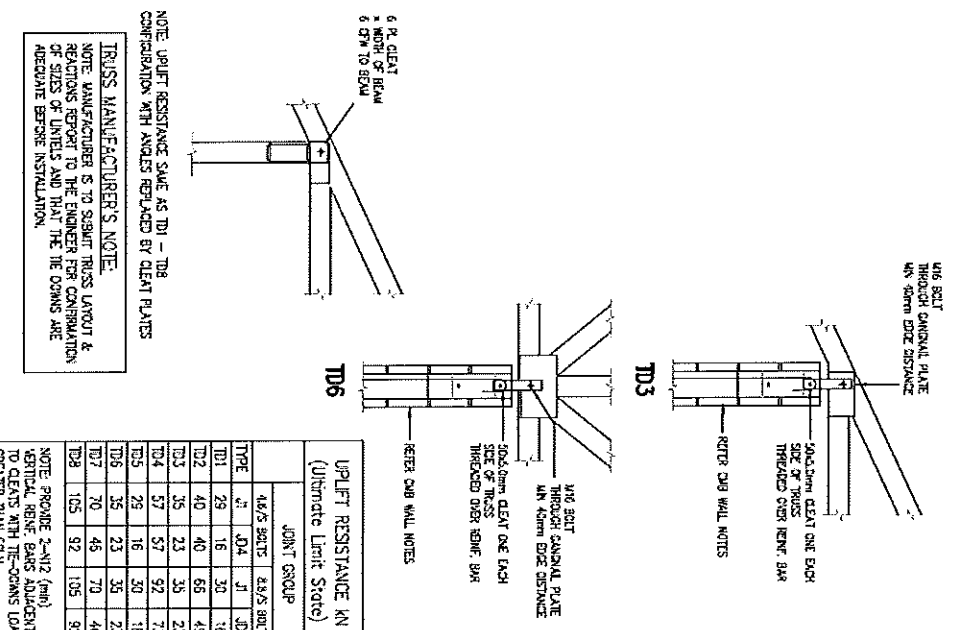
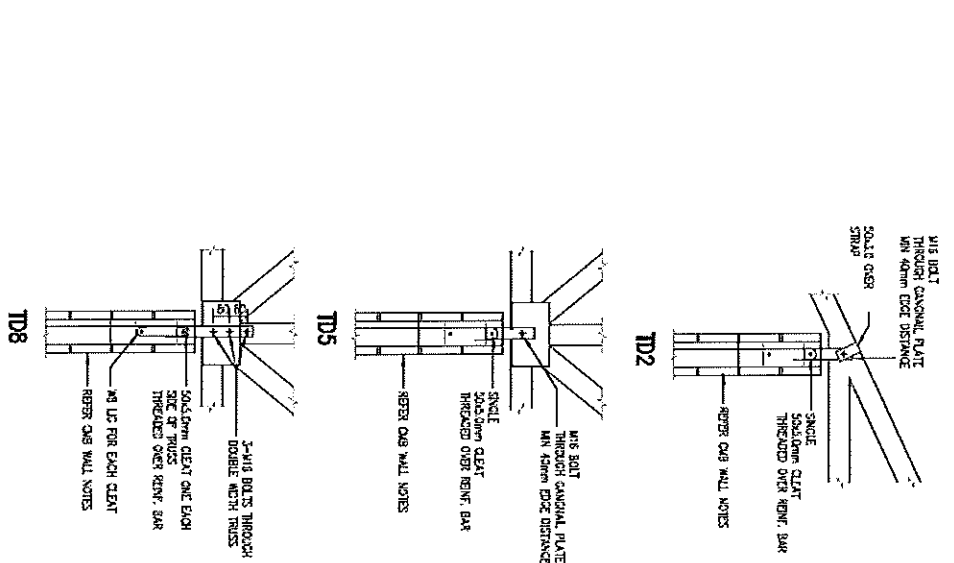
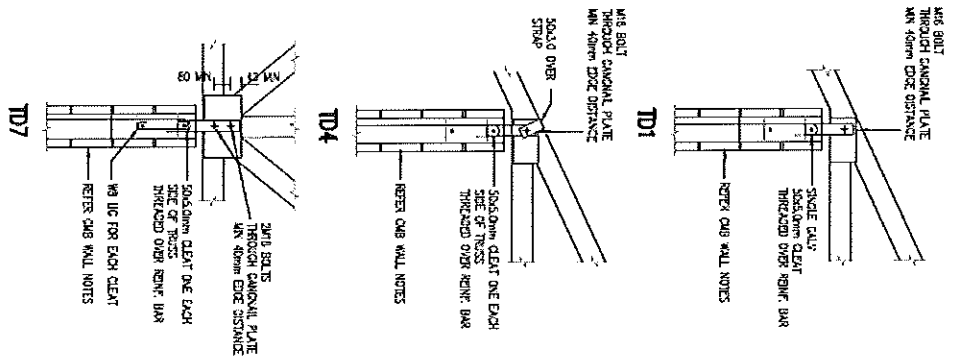
Structural ABBREVIATION LEGEND: Table with columns for material name, unit, and abbreviation. Includes items like concrete, brick, steel, etc.

REINFORCEMENT COVER: Table with columns for element type, minimum cover, and maximum cover. Includes items like slabs, beams, columns, etc.

PROJECT: 231 WALSH STREET, MAREEBA

DATE: 19/4/2022, SHEET NO: 101

Handwritten signature and date: 19/4/2022, B. Z. [Signature]



NOTE: UPLIFT RESISTANCE SAME AS TD1 - TD8 CONFIGURATION WITH ANGLES REPLACED BY CLEANT PLATES

TRUSS MANUFACTURER'S NOTE:
NOTE: MANUFACTURER IS TO SUBMIT TRUSS LAYOUT & REACTION REPORT TO THE ENGINEER FOR CONTRIBUTION OF SIZES OF UNITS AND THAT THE TIE DOWNS ARE ADEQUATE BEFORE INSTALLATION.

UPLIFT RESISTANCE kN (Ultimate Limit State)

JOINT GROUP	4x5 BOLTS			2x5 BOLTS		
	TD	JD4	J1	JD4	J1	JD4
TD1	29	16	30	16		
TD2	40	40	66	49		
TD3	35	23	35	23		
TD4	37	57	92	73		
TD5	25	16	30	16		
TD6	35	23	35	23		
TD7	70	49	70	46		
TD8	105	92	105	92		

TRUSS TIE DOWN-DETAILS

THE ENGINEERING ENGINEERING 100/1000 100/1000		PROJECT 231 WALSH STREET MAREEBA 4880 -RESIDENTIAL- NEW DUPLEX	
phone: 0438 746 235 Email: info@tdc.com.au Gregoire G. Terzani Building Designer & Drafting -Building Designer- -Medium Rise- -DCC LICENSED- 11111111		DATE: OCT 2018 SCALE: AS SHOWN ON 1/3 SHEET DRAWING TITLE: TRUSS TIE DOWN-DETAILS 1/3 SHEET NO. 102 ISSUE: B	

19/4/2022
B. Will

Appeal Rights

PLANNING ACT 2016 & THE PLANNING REGULATION 2017

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 of the Planning Act 2016 states –
- (a) Matters that may be appealed to –
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) The person-
 - (i) who may appeal a matter (**the appellant**); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.

(Refer to Schedule 1 of the Planning Act 2016)

- (2) An appellant may start an appeal within the appeal period.
- (3) The **appeal period** is –
- (a) for an appeal by a building advisory agency – 10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal – at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises – 20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against an infrastructure charges notice – 20 business days after the infrastructure charges notice is given to the person; or
 - (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given – 30 business days after the applicant gives the deemed approval notice to the assessment manager; or
 - (f) for any other appeal – 20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note –

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.

- (6) To remove any doubt. It is declared that an appeal against an infrastructure charges notice must not be about-
- (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund-
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that-
- (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to –
- (a) the respondent for the appeal ; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, table 1, item 1 – each principal submitter for the development application; and
 - (d) for an appeal about a change application under schedule 1, table 1, item 2 – each principal submitter for the change application; and
 - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
 - (f) for an appeal to the P&E Court – the chief executive; and
 - (g) for an appeal to a tribunal under another Act – any other person who the registrar considers appropriate.
- (4) The *service period* is –
- (a) if a submitter or advice agency started the appeal in the P&E Court – 2 business days after the appeal has started; or
 - (b) otherwise – 10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section –

decision includes-

- (a) conduct engaged in for the purpose of making a decision; and
- (b) other conduct that relates to the making of a decision; and
- (c) the making of a decision or failure to make a decision; and
- (d) a purported decision ; and
- (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter-

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the Judicial Review Act 1991 or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with the rules of the P&E Court.