

Your ref:
Our ref: 12552164

22 June 2021

Jennifer McCarthy
Director Corporate and community Services
Mareeba Shire Council
PO Box 154
Mareeba QLD 4880

Quill Street Mareeba – Development Application for Reconfiguration of a Lot

Dear Jennifer,

Please find enclosed one (1) copy of the Planning Report for a Development Application for a Reconfiguration of a Lot at Quill Street, Mareeba, described as Lot 22 on SP217220.

To assist Mareeba Shire Council (Council) with their assessment of the Development Application, the following information is attached:

- DA Form 1 – Development application details.

The Applicant will pay the associated application fees directly Council following lodgement. In this regard, we have calculated the application fees to be \$1,820 as per Council's Fees and Charges Schedule: Planning - Urban and Regional.

We trust the attached is sufficient for Council's purposes. Please don't hesitate to contact the undersigned on 0439 888 472 or at erin.campbell@ghd.com should you have any further questions.

Regards

Erin Campbell
Senior Planner
+61 7 47200434
erin.campbell@ghd.com

Encl. DA Form 1 – Development application details
Planning Report for Development Application for Reconfiguration of a Lot

DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Conmat Pty Ltd
Contact name (only applicable for companies)	C/- GHD Erin Campbell Senior Planner
Postal address (P.O. Box or street address)	Urban Corner, 71 Stanley Street
Suburb	Townsville
State	QLD
Postcode	4810
Country	Australia
Contact number	
Email address (non-mandatory)	erin.campbell@ghd.com
Mobile number (non-mandatory)	0439 888 472
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			Quill Street	Mareeba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4880	22	SP217220	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☒ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Reconfiguration of a Lot (1 lot into 4 lots)

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input checked="" type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input type="checkbox"/> No			

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
One (1)	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input checked="" type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created	4			
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input checked="" type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$	

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Mareeba Shire Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council:
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority:
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
Note: By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. Further advice about information requests is contained in the DA Forms Guide .

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☐ Yes – provide details below or include details in a schedule to this development application
☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:

Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			



Quill St, Mareeba

Development Application for Reconfiguration of a Lot

CONMAT Pty Ltd

22 June 2021

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1. Introduction

1.1 Purpose of this report

GHD Pty Ltd (GHD) has been engaged by CONMAT Pty Ltd to prepare a planning report to support a Development Application (herein referred to as 'application') for a Reconfiguration of a Lot (ROL) on Lot 22 on SP217220 in Mareeba. The proposed development includes a one (1) into four (4) lot subdivision.

The proposed ROL on the subject land is Code assessable in accordance with the Mareeba Shire Council Planning Scheme 2016 (Planning Scheme). Mareeba Shire Council (Council) will be the Assessment Manager for the application.

The following information is provided as part of this report:

- Site details including a description of the site (Section 2)
- An overview of the proposed development (Section 3)
- *Planning Act 2016* (PA 2016) framework (Section 4)
- Development assessment framework (Section 5)
- Council Planning Scheme assessment (Section 6)
- Conclusions and recommendations (Section 7).

1.2 Application summary

A summary of the application characteristics is provided in Table 1.

Table 1 *Application Summary*

Proposed development	Reconfiguration of a Lot
Real property description	Lot 22 on SP217220
Street address	Quill Street, Mareeba
Type of approval sought	Development Application for a Reconfiguration of a Lot (1 lot into 4 lots)
Level of assessment	Code assessment
Referral requirements	Nil
Applicant contact details	CONMAT Pty Ltd C/- GHD Erin Campbell (Senior Planner) PO Box 930, Townsville QLD 4810 E: erin.campbell@ghd.com P: 07 4724 0434 M: 0439 888 472

1.3 Scope and limitations

This report: has been prepared by GHD for CONMAT Pty Ltd and may only be used and relied on by CONMAT Pty Ltd for the purpose agreed between GHD and CONMAT Pty Ltd as set out in section 1.1 of this report.

GHD otherwise disclaims responsibility to any person other than CONMAT Pty Ltd arising in connection with this report. GHD also excludes implied warranties and conditions, to the extent legally permissible.

The services undertaken by GHD in connection with preparing this report were limited to those specifically detailed in the report and are subject to the scope limitations set out in the report.

The opinions, conclusions and any recommendations in this report are based on conditions encountered and information reviewed at the date of preparation of the report. GHD has no responsibility or obligation to update this report to account for events or changes occurring subsequent to the date that the report was prepared.

The opinions, conclusions and any recommendations in this report are based on assumptions made by GHD described in this report (refer section 1.4 of this report). GHD disclaims liability arising from any of the assumptions being incorrect.

1.4 Assumptions

The following assumptions were made by GHD in the development of this report:

- Site details as established through State and Commonwealth desktop assessments are correct and reflect the current site conditions
- The assessment presented in this report is based on the 4 Lot Subdivision Concept Layout prepared by GHD in conjunction with CONMAT.

2. Site Characteristics

The subject land is described as Lot 22 on SP217220 (herein referred to as 'the site') and is located at Quill Street, Mareeba. The location of the site is provided in Figure 1 – Locality Plan. The site is identified as being located in the Medium Density Residential zone of the Planning Scheme.



Figure 1 Locality Plan

2.1 Physical characteristics

The site is located in a fully serviced urban area and has a total site extent of 0.84 Ha. The site is located east of Mareeba CBD and west of the Barron River. The site has a total frontage of approximately 64 m to Quill Street which is a Council controlled road, with a fully constructed road and cul-de-sac. The site is currently a vacant allotment with a gravel access, including a small box culvert, which traverses the existing drainage easement. The site contains an easement – Easement A on SP217220, which extends from the southwest to the northeast of the site. Easement A has a total area of .17 Ha. Easement A is a drainage easement.

2.2 Site tenure

The site is held in fee simple (freehold) with the registered owner listed as CONMAT No. 1 Pty Ltd. A copy of the title document is provided in Appendix A. Easement A on SP217220 burdens the land to Mareeba Shire Council. The survey plan is provided in Appendix B.

2.3 Environmental Management Register & Contaminated Land Register

A search of the Environmental Management Register (EMR) and Contaminated Land Register (CLR) was undertaken and confirmed that the site is not listed on the EMR and is not listed on the CLR. A copy of the search is provided in Appendix C.

3. Proposal Overview

3.1 Proposed development

The proposed development involves a 1 lot into 4 lot residential ROL with lots sizes ranging from 0.18 Ha to 0.25 Ha. Access will be provided to the ROL reconfigured lots from the existing fully constructed cul-de-sac in Quill Street. An extract of the 4 Lot Subdivision Concept Layout is provided in Figure 2.

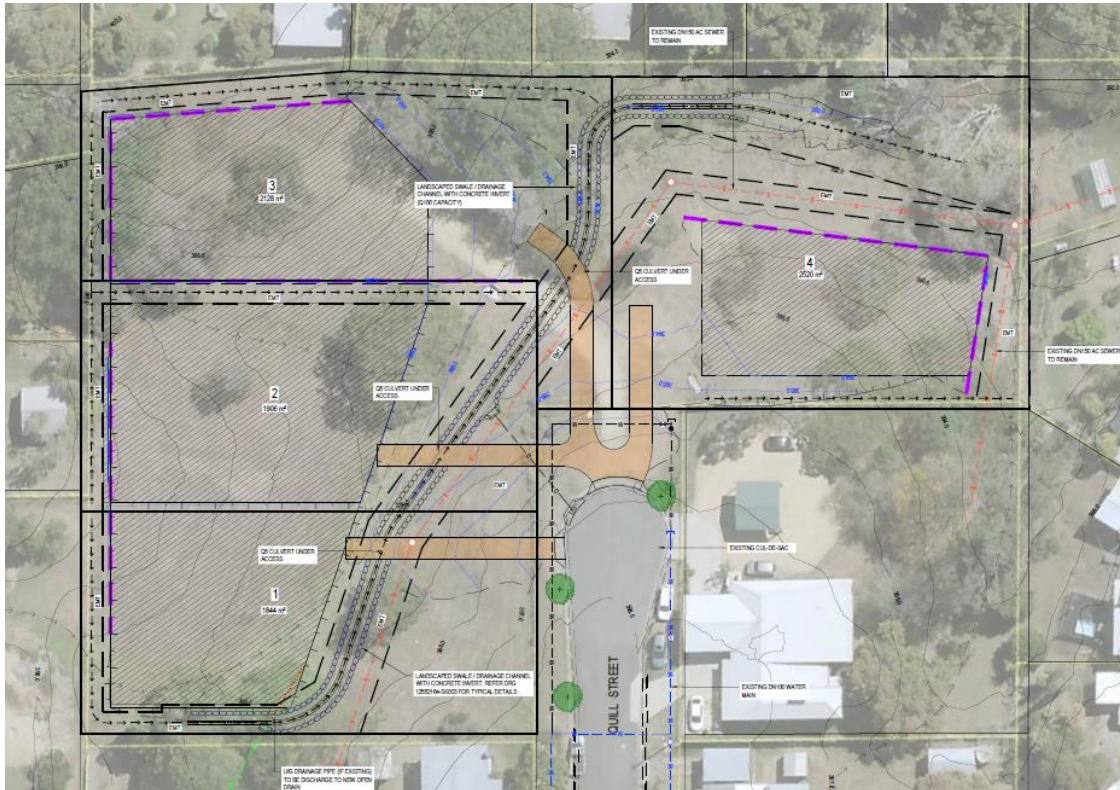


Figure 2 4 Lot Subdivision Concept Layout

The full suite of development sketches is provided in Appendix D. A summary of the development sketches is provided in Table 2.

Table 2 Summary of Development Plans

Sketch Type	Sketch No.	Sketch Date
Lot 22 on SP217220 4 Lot Subdivision Concept Layout	12552164-SK002, Rev C	14/06/2021
Lot 22 on SP217220 4 Lot Subdivision Concept Earthworks	12552164-SK003, Rev A	14/06/2021
Lot 22 on SP217220 4 Lot Subdivision Concept Water & Sewer	12552164-SK004, Rev A	14/06/2021

The Engineering Assessment provided in Appendix E includes a complete engineering assessment of the proposed ROL including:

- Earthworks, clearing and erosion and sediment control
- Stormwater
- Water
- Sewer reticulation
- Assessment in compliance with the following codes from the Planning Scheme:
 - Work, services and infrastructure code

4. Planning Act 2016

The PA 2016 is Queensland's principal planning legislation that coordinates planning at a local, regional and State level. The PA 2016 identifies the following hierarchy between planning documents:

- State Planning Policy 2017 (SPP)
- Regional Plans
- Local planning instruments
- Other statutory documents such as the Development Assessment Rules

The *Planning Regulation 2017* (PR 2017) supports the principal planning legislation by outlining the mechanics for the operation of the PA 2016 and includes matters such as:

- How development applications are categorised
- The Assessment Manager for the application
- The matters that trigger State interest.

4.1 Development application

The proposal requires the issue of a Development Permit for an ROL (1 lot into 4 lots). The application is Code assessable in accordance with the provisions of the Planning Scheme and is required to be assessed against the following applicable codes:

- Zone code
- Overlay codes
- Other development codes.

4.2 Assessment manager

In accordance with Schedule 8, Table 2, Item 1 of the PR 2017, Council is the Assessment Manager for the application for the ROL.

4.3 State assessment and referral agency (SARA)

The application for the ROL is not referable to SARA for matters of State interest.

5. Development Assessment Framework

The following State planning instruments apply to the development of the site.

5.1 SPP 2017

The SPP 2017 commenced on 3 July 2017. The SPP applies to Lot 22 on SP217220 as detailed in Figure 3. Specifically, the following State interests are applicable:

- Safety and resilience to hazards
 - Natural hazards risk and resilience
 - Flood hazard area – Level 1 – Queensland floodplain assessment overlay
 - Flood hazard area – Local Government flood mapping area

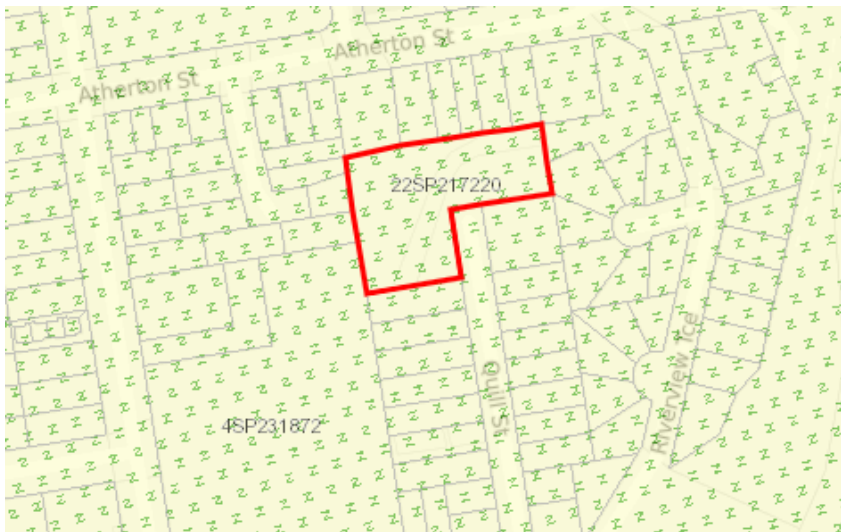


Figure 3 SPP interactive mapping

Where a State interest has been incorporated into the Planning Scheme, an assessment in compliance with the provisions of the SPP is not required. Council has incorporated the above State interest into the Planning Scheme.

5.2 Far North Queensland Regional Plan 2009-2031

The Far North Queensland Regional Plan 2009-2031 (FNQ Regional Plan) applies to the development of the site. Lot 22 on SP217220 is located in the Urban footprint of the FNQ Regional Plan. Figure 4 from the State Government's development assessment mapping systems (DAMS) refers.

The Urban footprint includes land to provide for the region's urban development needs to 2031. The Urban footprint includes existing urban areas, broadacre land and land suitable for urban development.

The development of the infill site for urban purposes, specifically residential development, is considered consistent with the intent of the Urban footprint and the provisions of the FNQ Regional Plan 2009-2031.

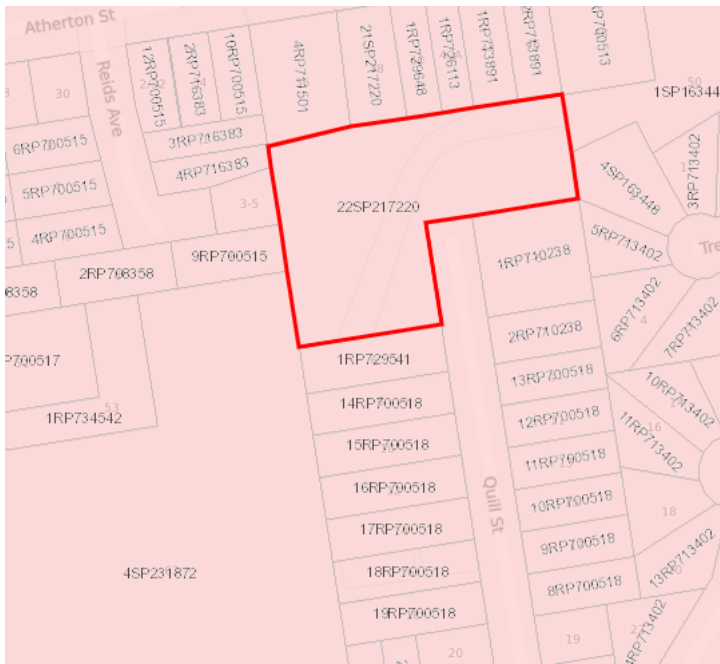


Figure 4 DAMS FNQ Regional Plan mapping

6. MSC Planning Scheme Assessment

The MSC Planning Scheme came into effect on 1 July 2016 and is the Planning Scheme for the whole of the MSC local government area (LGA).

The application for the ROL requires an assessment in compliance with the following applicable codes contained in the Planning Scheme:

- Zone code
 - Medium density residential
- Overlay codes
 - Airport environs
 - Residential dwelling house and outbuildings
- Other development codes
 - Landscaping
 - Reconfiguring a lot
 - Works, services and infrastructure

6.1 Medium density residential zone code

To comply with the purpose of the Medium density residential zone code, the development proposal is required to comply with the Performance Outcomes of the code. The proposal's compliance with the relevant provisions of the code is provided in the following Table 3.

Table 3 Medium density residential zone code

Performance Outcome	Development Compliance
Height	
PO1 Building height takes into consideration and respects the following: <ol style="list-style-type: none"> the height of existing buildings on adjoining premises; the development potential, with respect to height, on adjoining premises; the height of buildings in the vicinity of the site; access to sunlight and daylight for the site and adjoining sites; privacy and overlooking; and site area and street frontage length. 	Able to comply. The proposed development involves an ROL of 1 lot into 4 lots specifically for the purposes of constructing a detached dwelling on each lot. A dwelling house on each of the four lots will be able to achieve a maximum building height of 8.5 m and two storeys above ground level.
Outbuildings and residential scale	
PO2 Domestic buildings: <ol style="list-style-type: none"> do not dominate the lot on which they are located; and are consistent with the scale and character of development in the Medium density residential zone. 	Able to comply. The construction or otherwise of outbuilding on each of the 4 lots will be a decision for the purchaser; however Council can reasonably address this matter through a building application. The scale and character of existing development in the locale does not represent Medium density residential development. The immediate locale is dominated by detached dwellings on medium to large residential allotments. Existing outbuildings appear to be in keeping with the character of existing development.
Siting	

Performance Outcome	Development Compliance
PO3 Development is sited in a manner that considers and respects: <ul style="list-style-type: none"> a. the siting and use of adjoining premises; b. access to sunlight and daylight for the site and adjoining sites; c. privacy and overlooking; d. opportunities for casual surveillance of adjoining public spaces; e. air circulation and access to natural breezes; f. appearance of building bulk; and g. relationship with road corridors. 	Complies. The site constraints including a drainage channel and sewer line which traverses the site has dictated the design and the yield of the ROL. The location of the building pad on each lot is considered appropriate to accommodate a dwelling house. The proposed ROL is entirely consistent with existing, surrounding residential development.
Accommodation density	
PO4 The density of Accommodation activities: <ul style="list-style-type: none"> a. contributes to housing choice and affordability; b. respects the nature and density of surrounding land use; c. does not cause amenity impacts beyond the reasonable expectation of accommodation density for the zone; and d. is commensurate to the scale and frontage of the site. 	Not applicable. The proposed ROL does not involve an accommodation activity.
Gross floor area	
PO5 Buildings and structures occupy the site in a manner that: <ul style="list-style-type: none"> a. makes efficient use of the land; b. is consistent with the bulk and scale of surrounding buildings; and c. appropriately balances built natural features. 	Able to comply. The site constraints including a drainage channel and sewer line which traverses the site has dictated the design and the yield of the ROL. The ROL has been designed for the specific purpose of building a detached dwelling on each of the lots. The design and location of the dwelling on each lot can be addressed through the building application.
Building design	
PO6 Building facades are appropriately designed to: <ul style="list-style-type: none"> a. include visual interest and architectural variation; b. maintain and enhance the character of the surrounds; c. provides opportunities for casual surveillance; d. include a human scale; and e. encourage occupation of outdoor space. 	Not applicable. The proposed development involves an ROL suitable for a detached dwelling on each lot and does not involve higher density development where visual interest, human scale and the encouragement of outdoor space is required. The proposed ROL is entirely consistent with existing and surrounding residential development in the locale.
PO7 Development complements and integrates with the established built character of the Medium density residential zone, having regard to: <ul style="list-style-type: none"> a. roof form to pitch; b. eaves and awnings; c. building materials, colours and textures; and d. window and door size and location. 	Not applicable. The subject site is located in the Medium density residential zone as is existing and surrounding development. Existing, surrounding development is represented by single detached dwellings on predominantly medium to large size lots. The design of a dwelling on each lot can be addressed through the building application. The proposed development is considered consistent with the scale and character of existing development and will not detract from nearby residential uses. The proposed development will facilitate residential development.

Performance Outcome	Development Compliance
Non-residential development	
PO8 Non-residential development: <ol style="list-style-type: none"> is consistent with the scale of existing development; does not detract from the amenity of nearby residential uses; directly supports the day to day needs of the immediate residential community; and does not impact on the orderly provision of non-residential development in other locations on the shire. 	Not applicable. The proposed development does not involve non-residential development.
Amenity	
PO9 Development must not detract from the amenity of the local area, having regard to: <ol style="list-style-type: none"> noise; hours of operation; traffic; advertising devices; visual amenity; privacy; lighting; odour; and emissions. 	Not applicable. The proposed development involves an ROL for single detached dwellings. The proposed ROL is located at the end of Quill Street off the existing cul-de-sac. The proposed ROL is entirely consistent with existing development in the locale.
PO10 Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to: <ol style="list-style-type: none"> noise; hours of operation; traffic advertising devices; visual amenity; privacy; lighting; odour; and emissions. 	Not applicable. Refer above.

The proposed development is considered to comply with the Performance Outcomes of the Medium density residential zone code having regard to the Acceptable Outcomes. It is considered that the development meets the purpose of the Code.

6.2 Overlay codes

The site is included in the following overlays:

- Airport environs
 - Bird and bat strike zones and light intensity (8-13 km)
- Residential dwelling house and outbuilding

6.2.1 Airport environs overlay code

To comply with the purpose of the Airport environs overlay code, the development proposal is required to comply with the Performance Outcomes of the code. The proposal's compliance with the relevant provisions of the code is provided in the following Table 4.

Table 4 Airport environs overlay code

Performance Outcome	Development Compliance
Protection of operational airspace	
PO1 Development does not interfere with movement of aircraft or the safe operation of an airport or aerodrome where within the: <ul style="list-style-type: none"> a. Airport environs: OLS area of the Mareeba Airport; or b. Airport environs: OLS area of Cairns airport; or c. 'Airport environs: Airport buffer – 1 kilometre' of an aerodrome; or d. 'Airport environs: Airport buffer – 3 kilometres' of an aerodrome. 	Not applicable. The proposed ROL is not located within the OLS of the Mareeba Airport, Cairns Airport, Airport buffer – 1 km or Airport buffer – 3 km.
Lighting	
PO2 Development does not include lighting that: <ul style="list-style-type: none"> a. has the potential to impact on the efficient and safe operation of Mareeba Airport or an aerodrome; or b. could distract or confuse pilots. 	Not applicable. The proposed ROL is not located within the 6 km light intensity band of the Mareeba Airport.
Noise exposure	
PO3 Development not directly associated with Mareeba Airport is protected from aircraft noise level that may cause harm or undue interference.	Not applicable. The proposed ROL is not located within the 20-25 ANEF area of the Mareeba Airport.
Public safety	
PO4 Development does not compromise public safety or risk to property.	Not applicable. The proposed development will not compromise public safety or risk to property. The proposed ROL represents residential development.
State significant aviation facilities associated with Mareeba Airport	
PO5 Development does not impair the function of state significant aviation facilities by creating: <ul style="list-style-type: none"> a. physical obstructions; or b. electrical elector-magnetic interference; or c. deflection of signals. 	Not applicable. The proposed ROL is not located in proximity to State significant aviation facilities.
Mareeba Airport	
Protection of operational airspace	
PO6 Development within the vicinity of Mareeba Airport or an aerodrome does not interfere with the: <ul style="list-style-type: none"> a. movement of aircraft; or b. safe operation of the airport facility. 	Not applicable. The proposed ROL is not located within operational airspace of the Mareeba Airport.
PO7 Development does not affect air turbulence, visibility or engine operation in the operational airspace of Mareeba Airport or regional aerodromes.	Not applicable. Refer above.

Performance Outcome	Development Compliance
Managing bird and bat strike hazard to aircraft	
PO8 Development in the environs of Mareeba Airport or an aerodrome does not contribute to the potentially serious hazard from wildlife (bird or bat) strike.	<p>Able to comply.</p> <p>The proposed ROL is located within the 8 km – 13 km zone for bird and bat strikes of the Mareeba Airport.</p> <p>The proposed ROL will accommodate single detached dwellings on each lot, which is unlikely to contribute to potentially serious hazard from bat and bird strike at the Mareeba Airport.</p>

The proposed development is considered to comply with the Performance Outcomes of the Airport environs overlay code having regard to the Acceptable Outcomes. It is considered that the development meets the purpose of the Code.

6.2.2 Residential dwelling house and outbuilding overlay code

To comply with the purpose of the Airport environs overlay code, the development proposal is required to comply with the Performance Outcomes of the code. The proposal's compliance with the relevant provisions of the code is provided in the following Table 5.

Table 5 Residential dwelling house and outbuilding overlay code

Performance Outcome	Development Compliance
Height	
<p>PO1 Building height takes into consideration and respects the following:</p> <ol style="list-style-type: none"> the height of existing buildings on adjoining premises; the development potential, with respect to height on adjoining premises; the height of buildings in the vicinity of the site; access to sunlight and daylight for the site and adjoining sites; privacy and overlooking; and site area and street frontage length. 	<p>Able to comply.</p> <p>The proposed development involves an ROL of 1 lot into 4 lots specifically for the purposes of constructing a detached dwelling on each lot.</p> <p>A dwelling house on each of the four lots will be able to achieve a maximum building height of 8.5 m and two storeys above ground level.</p>
Outbuildings and residential scale	
<p>PO2 Domestic outbuildings:</p> <ol style="list-style-type: none"> do not dominate the lot on which they are located; and are consistent with the scale and character of development in the zone in which the land is located. 	<p>Able to comply.</p> <p>The construction or otherwise of outbuilding on each of the 4 lots will be a decision for the purchaser; however Council can reasonably address this matter through a building application.</p> <p>The scale and character of existing development in the locale does not represent Medium density residential development. The immediate locale is dominated by detached dwellings on medium to large residential allotments. Existing outbuildings appear to be in keeping with the character of existing development.</p>
Gross floor area	
<p>PO3 Buildings and structures occupy the site in a manner that:</p> <ol style="list-style-type: none"> makes efficient use of the land; is consistent with the bulk and scale of surrounding buildings; and 	<p>Not applicable.</p> <p>The proposed involves an ROL of 1 lot into 4 lots capable of accommodating a single detached dwelling on each lot.</p>

Performance Outcome	Development Compliance
c. appropriately balances built and natural features.	
Secondary dwellings	
PO4 Where a Dwelling house involves a secondary dwelling, it is designed and located to: <ul style="list-style-type: none"> a. not dominate the site; b. remain subservient to the primary dwelling; and c. be consistent with the character of the surrounding area. 	Not applicable. The proposal involves an ROL of 1 lot into 4 lots. The ROL does involve a secondary dwelling.
Car parking	
PO5 Development provides sufficient car parking to accommodate the demand likely to be generated by the use, having regard to: <ul style="list-style-type: none"> a. nature of the use; b. location of the site; c. proximity to public transport services; d. availability of active transport infrastructure; and e. accessibility of the use to all members of the community. 	Not applicable. The proposal involves an ROL of 1 lot into 4 lots. Each lot is of sufficient size to be able to accommodate car parking associated with a single detached dwelling wholly within the lot.
Vehicle crossovers	
PO6 Vehicle crossovers are provided to: <ul style="list-style-type: none"> a. ensure safe and efficient access between the road and premises; b. minimise interference with the function and operation of roads; and c. minimise pedestrian to vehicle conflict. 	Able to comply. Vehicular crossovers to each lot will be designed and constructed in accordance with the Standard drawings in Planning Scheme Policy 4 – FNQROC Regional Development Manual.
PO7 Access, manoeuvring and car parking areas include appropriate pavement treatments having regard to: <ul style="list-style-type: none"> a. the intensity of anticipated vehicle movements; b. the nature of the use that they service; and c. the character of the surrounding locality. 	Not applicable. The proposal involves an ROL of 1 lot into 4 lots, capable of accommodating a single detached dwelling on each lot.
Water supply	
PO8 Each lot has an adequate volume and supply of water that: <ul style="list-style-type: none"> a. meets the needs of the user; b. is adequate for fire fighting purposes; c. ensures the health, safety and convenience of the community; and d. minimises adverse impacts on the receiving environment. 	Able to comply. The site is currently serviced by a 100 mm AC water main located on the eastern side of Quill Street. The proposed lengthening and reticulation of the water main to service the ROL is provided on 12552164-SK004 attached in Appendix D. An existing fire hydrant is located within serviceable proximity of the proposed ROL; however a second fire hydrant is proposed. Also refer to the Engineering Assessment provided in Appendix E.
Wastewater disposal	
PO9 Each lot provides for the treatment and disposal of effluent and other wastewater that: <ul style="list-style-type: none"> a. meets the needs of the users; 	Able to comply.

Performance Outcome	Development Compliance
<ul style="list-style-type: none"> b. is adequate for fire-fighting purposes; c. ensures the health, safety and convenience of the community; and d. minimises adverse impacts on the receiving environment. 	<p>The site is serviced by an existing 6-inch AC sewerage main running through the southwest corner of the site to the northeast corner.</p> <p>There are no changes proposed for the alignment of the sewer; extended house drain connections will service the building pads into the existing sewerage infrastructure.</p> <p>Sketch 12552164-SK004 provided in Appendix D refers. Also refer to the Engineering Assessment provided in Appendix E.</p>
Stormwater infrastructure	
<p>PO10 Stormwater infrastructure is designed and constructed to collect and convey the design storm event to a lawful point of discharge in a manner that mitigates impacts on life and property.</p>	<p>Able to comply.</p> <p>Site contours indicate that there is currently a drainage path running through the site, capturing external flow and conveying overland flow from the southwestern corner of the site to the north-eastern corner. The grass drainage channel has been formalised with a landscaped drainage channel with a concrete invert.</p> <p>Quill Street drainage currently discharges to the site via a small concrete-lined outlet. It is proposed to capture and pipe the minor flows, and the major flows will spill over and be captured in the formalised landscaped swale.</p> <p>Sketch 12552164-SK003 provided in Appendix D refers. Also refer to the Engineering Assessment provided at Appendix E.</p>
Electricity supply	
<p>PO11 Each lot is provided with an adequate supply of electricity.</p>	<p>Able to comply.</p> <p>Electrical pillar boxes are provided in Quill Street. Further electrical design will be undertaken during designed design and submitted with the Operational Works application.</p>
Telecommunications infrastructure	
<p>PO12 Each lot is provided with an adequate supply of telecommunication infrastructure.</p>	<p>Able to comply.</p> <p>NBN services are provided within the street. Further telecommunications design will be undertaken during detailed design and submitted with the Operational Works application.</p>
Existing public utility services	
<p>PO13 Development and associated works do not affect the efficient functioning of public utility mains, services or installations.</p>	<p>Complies.</p> <p>A DBYD was conducted and the DBYD indicated no public utilities were located in the area of works.</p>
Excavation and filling	
<p>PO14 Excavation or filling must not have an adverse impact on:</p> <ul style="list-style-type: none"> a. streetscape; b. scenic amenity; c. environmental values; d. slope stability; e. accessibility; or f. privacy of adjoining premises. 	<p>Able to comply.</p> <p>The earthworks are required to construct the building pads and allotment detailing / filling. The earth works will be predominantly undertaken around the back of boundaries of the lots.</p> <p>A preliminary bulk earthworks model with building pads has been developed. Preliminary earthworks volumes approximate 4,250 m³ of fill (extra fill required to be imported) and 1,250 m³ of cut.</p> <p>Refer to Sketch 12552164-SK003 provided in Appendix D for Concept Earthworks.</p> <p>A maximum cut height of just over 2 m will be present for only a small portion of the rear boundary of Lots 2 and 3. Given this cut is at the rear of the lots, there will be no adverse visual amenity issues as the properties to the west</p>

Performance Outcome	Development Compliance
	<p>won't see the cut, and views from other locations will be blocked by future house construction.</p> <p>To provide level building pads on this site, retaining walls have been included in the proposed design to reduce the need for batters. Details of the retaining walls will be submitted with the Operational Works application.</p> <p>Also please refer to the Engineering Assessment provided in Appendix E.</p>

6.3 Other development codes

The following Other development codes are applicable to the site:

- Landscaping code
- Reconfiguring a lot code
- Works, services and infrastructure code

6.3.1 Landscaping code

To comply with the purpose of the Landscaping code, the development proposal is required to comply with the Performance Outcomes of the code. The proposal's compliance with the relevant provisions of the code is provided in the following Table 6.

Table 6 Landscaping code

Performance Outcomes	Development Compliance
<p>PO1 Development, other than in the Rural zone, includes landscaping that:</p> <ol style="list-style-type: none"> a. contributes to the landscape character of the Shire; b. compliments the character of the immediate surrounds; c. provides an appropriate balance between built and natural elements; and d. provides a source of visual interest. 	<p>Able to comply.</p> <p>The ROL proposes formalising the grass drainage channel with a landscaped drainage channel with a concrete invert.</p> <p>Refer to Sketch 12552164-SK003 for landscaped swale / drainage swale typical cross section.</p> <p>Further three (3) street trees are proposed in the Quill Street cul-de-sac, adjacent to the ROL.</p>
<p>PO2 Development, other than in the Rural zone, includes landscaping along street frontages that:</p> <ol style="list-style-type: none"> a. creates an attractive streetscape; b. compliments the character of the immediate surrounds; c. assists to break up and soften elements of built form; d. screens areas of limited visual interest or servicing; e. provides shade for pedestrians; and f. includes a range and variety of planting. 	<p>Not applicable.</p> <p>The proposal involves an ROL of 1 lot into 4 lots to accommodate single detached housing. Landscaping to address street frontages as detailed in PO2 is not required.</p>

Performance Outcomes	Development Compliance
<p>PO3 Development includes landscaping and fencing along side and rear boundaries that:</p> <ul style="list-style-type: none"> a. screens and buffers land uses; b. assists to break up and soften elements of built form; c. screens areas of limited visual interest; d. preserves the amenity of sensitive land uses; and e. includes a range and variety of planting. 	<p>Able to comply.</p> <p>Fencing along side and rear boundaries will be the purchaser's responsibility.</p>
<p>PO4 Car parking areas are improved with a variety of landscaping that:</p> <ul style="list-style-type: none"> a. provides visual interest; b. provides a source of shade for pedestrians; c. assists to break up and soften elements; and d. improves legibility. 	<p>Not applicable.</p> <p>The proposed does not involve a car parking area.</p>
<p>PO5 Landscaping areas include a range and variety of planting that:</p> <ul style="list-style-type: none"> a. is suitable for the intended purpose and local conditions; b. contributes to the natural character of the Shire; c. includes native species; d. includes locally endemic species where practical; and e. does not include invasive plants or weeds. 	<p>Able to comply.</p> <p>Landscaping the drainage channel will be endemic to the region and capable of being submerged under water.</p> <p>The proposed street trees will be native species, endemic to the region.</p>
<p>PO6 Landscaping does not impact on the ongoing provision of infrastructure and services to the Shire.</p>	<p>Able to comply.</p> <p>Street trees will be located such that they do not interfere with infrastructure services.</p>
<p>PO7 Landscaping areas are designed to:</p> <ul style="list-style-type: none"> a. be easily maintained throughout the ongoing use of the site; b. allow sufficient area and access to sunlight and water for plant growth; c. not cause a nuisance to occupants of the site or members of the public; and d. maintain or enhance the safety of pedestrians through the use of Crime Prevention Through Environmental Design principles. 	<p>Not applicable.</p> <p>The proposal does not involve a development where landscaping is required to be maintained as part of greater development.</p>

The proposed development is considered to comply with the Performance Outcomes of the Landscaping code having regard to the Acceptable Outcomes. It is considered that the development meets the purpose of the Code.

6.3.2 Reconfiguring a lot code

To comply with the purpose of the Reconfiguring a lot code, the development proposal is required to comply with the Performance Outcomes of the code. The proposal's compliance with the relevant provisions of the code is provided in the following Table 7.

Table 7 Reconfiguring a lot code

Performance Outcome	Development Compliance
Area and frontage of lots	
PO1 Lots include an area and frontage that: <ol style="list-style-type: none"> is consistent with the design of lots in the surrounding area; allows the desired amenity of the zone to be achieved; is able to accommodate all buildings, structures and works associated with the intended land use; allows the site to be provided with sufficient access; considers the proximity of the land to: <ol style="list-style-type: none"> centres; public transport services; and open space; and allows for protection of environmental features; and accommodates site constraints. 	Able to comply. The site and existing surrounding development are included in the Medium density residential zone; however, includes a variety of lot sizes. The proposed ROL is entirely consistent with the existing development in the surrounding area.
Existing buildings and easements	
PO2 Reconfiguring a lot which contains existing land uses or existing buildings and structures ensures: <ol style="list-style-type: none"> new lots are of a sufficient area and dimensions to accommodate exiting land uses, buildings and structures; and any continuing use is not compromised by the reconfiguration. 	Not applicable. The site does not contain any existing land uses.
PO3 Reconfiguring a lot which contains an existing easement ensures: <ol style="list-style-type: none"> future buildings, structures and accessways are able to be sited to avoid the easement; and the reconfiguration does not compromise the purpose of the easement or the continued operation of any infrastructure contained within the easement. 	Complies. The existing easement which burdens the land to Mareeba Shire Council will remain. An easement will be registered burdening the land to Mareeba Shire Council for the existing sewer main running through the property.
Boundary realignment	
PO4 The boundary realignment retains all attendant and existing infrastructure connections and potential connections.	Not applicable. The proposed does not involve a boundary realignment.
Access and road network	
PO5 Access to a reconfigured lot (including driveways and paths) must not have an adverse impact on:	Able to comply.

Performance Outcome	Development Compliance
<ul style="list-style-type: none"> a. safety; b. drainage; c. visual amenity; d. privacy of adjoining premises; and e. service provision. 	<p>Access to each of the lots will be provided from Quill Street cul-de-sac and constructed in accordance with the Standard Drawings in Planning Scheme Policy 4 – FNQROC Regional Development Manual.</p> <p>Culverts under the accesses will be sized for Q5 flows and the drainage channel will be sized to contain the Q100 major storm flows.</p>
<p>PO6 Reconfiguring a lot ensures that access to a lot can be provided that:</p> <ul style="list-style-type: none"> a. is consistent with that provided in the surrounding area; b. maximises efficiency and safety; and c. is consistent with the nature of the intended use of the lot. 	<p>Able to comply.</p> <p>Proposed vehicle crossovers are consistent with that provided in the surrounding area and will be designed and constructed in accordance with the Standard Drawings in Planning Scheme Policy 4 – FNQROC Regional Development Manual.</p>
<p>PO7 Roads in the Industry zone are designed having regard to:</p> <ul style="list-style-type: none"> a. the intended use of the lots; b. the existing use of surrounding land; c. the vehicular servicing requirements of the intended use; and d. the movement and turning requirements of B-Double vehicles. 	<p>Not applicable.</p> <p>The site is not located in an Industry zone.</p>
Rear lots	
<p>PO8 Rear lots are designed to:</p> <ul style="list-style-type: none"> a. provide a high standard of amenity for residents and other users of the site; b. provide a high standard of amenity for adjoining properties; and c. not adversely affect the safety and efficiency of the road from which access is gained. 	<p>Not applicable.</p> <p>The proposed ROL does not include any rear lots.</p>
Crime prevention and community safety	
<p>PO9 Development includes design features which enhance public safety and seek to prevent opportunities for crime, having regard to:</p> <ul style="list-style-type: none"> a. sightlines; b. the existing and intended pedestrian movement network; c. the existing and intended land use pattern; and d. potential entrapment locations. 	<p>Complies.</p> <p>The Quill Street cul-de-sac is able to be viewed from each lot.</p>
Pedestrian and cycle movement network	
<p>PO10 Reconfiguring a lot must assist in the implementation of a Pedestrian and cycle movement network to achieve safe, attractive and efficient pedestrian and cycle networks.</p>	<p>Not applicable.</p> <p>Quill Street is nominated as an access place as it contains less than 25 lots (including the proposed 4 lots). There is no requirement for a footpath.</p>
Public transport network	
<p>PO11 Where a site includes or adjoins a future public transport corridor or future public transport site identified through a structure planning process, development:</p>	<p>Not applicable.</p>

Performance Outcome	Development Compliance
<ul style="list-style-type: none"> a. does not prejudice the future provision of the identified infrastructure; b. appropriately treats the common boundary with the future corridor; and c. provides opportunities to integrate with the adjoining corridor where it will include an element which will attract pedestrian movement. 	The site does not include or adjoins a future public transport corridor.
Residential subdivision	
PO12 Residential lots are: <ul style="list-style-type: none"> a. provides in a variety of sizes to accommodate housing choice and diversity; and b. located to increase variety and avoid large areas of similar lot sizes. 	Able to comply. The proposed ROL is entirely consistent with existing surrounding residential development. Site constraints including the drainage channel and the underground sewer line traversing the property limit the number of lots that can be developed on the site.
Rural residential zone	
PO13 New lots are only created in the Rural residential zone where land is located within the 4,000m ² precinct, the 1 hectare precinct or the 2 hectare precinct.	Not applicable. The proposed ROL is not located in the Rural residential zone.
Additional provisions for greenfield development	
PO14 The subdivision design provides the new community with a local identity by responding to: <ul style="list-style-type: none"> a. site context; b. site characteristics; c. setting; d. landmarks; e. natural features; and f. views. 	Not applicable. The site is not a greenfield site, rather an infill site.
PO15 The road network is designed to provide a high level of connectivity, permeability and circulation for local vehicles, public transport, pedestrians and cyclists.	Not applicable. Access to the proposed ROL is being provided via the existing road network.
PO16 The road network is designed to: <ul style="list-style-type: none"> a. minimise the number of cul-de-sacs; b. provide walkable catchments for all residents in the cul-de-sac; and c. include open cul-de-sac heads. 	Not applicable. Refer above.
PO17 Reconfiguring a lot provides safe and convenient access to the existing or future public transport network.	Not applicable. There is not an existing or future public transport network in the local surrounding streets.
PO18 The staging of the lot reconfiguration prioritises delivery of link roads to facilitate efficient bus routes.	Not applicable. The proposed ROL is not staged.
PO19 Provision is made for sufficient open space to: <ul style="list-style-type: none"> a. meet the needs of the occupiers of the lots and to ensure that the environmental and scenic values of the area are protected; 	Not applicable. The proposed ROL represents a 4 lot subdivision. Environmental values will not be impacted by the ROL and each lot is of sufficient area to accommodate open space requirements within each lot.

Performance Outcome	Development Compliance
<ul style="list-style-type: none"> b. retain riparian corridors, significant vegetation and habitat areas and provide linkages between those areas; and c. meet regional, district and neighbourhood open space requirements. 	

The proposed development is considered to comply with the Performance Outcomes of the Reconfiguring a lot code having regard to the Acceptable Outcomes. It is considered that the development meets the purpose of the Code.

6.3.3 Works, services and infrastructure code

The Works, services and infrastructure code has been addressed as part of the Engineering Services Report attached at Appendix E.

The proposed development is considered to comply with the Performance Outcomes of the Works, services and infrastructure code having regard to the Acceptable Outcomes. It is considered that the development meets the purpose of the Code.

7. Conclusions and Recommendations

The Development Application seeks a Development Permit for a Reconfiguration of a Lot (1 lot into 4 lots) on land described as Lot 22 on SP217220, located at Quill Street, Mareeba.

The development is Code Assessable in accordance with the provisions of the Mareeba Shire Council Planning Scheme 2016. There are no referral agencies for the application.

It is considered that Council can reasonably approve the application subject to reasonable and relevant conditions, on the following grounds:

- The proposed ROL is entirely consistent with the Planning Scheme
- The development is able to be connected to all infrastructure services
- The development sketches detail how building pads, water and sewer reticulation and stormwater infrastructure will be located within the ROL.

In accordance with the above, the proposal is hereby recommended to Mareeba Shire Council for its favourable consideration.

Appendix A

Title Search – Lot 22 on SP217220



Department of Resources
ABN 59 020 847 551

Title Reference:	51169445	Search Date:	16/06/2021 12:55
Date Title Created:	12/12/2018	Request No:	37566560
Previous Title:	20998051		

ESTATE AND LAND

Estate in Fee Simple

LOT 22 SURVEY PLAN 217220
Local Government: MAREEBA

REGISTERED OWNER

Dealing No: 720835026 02/06/2021
CONMAT NO. 1 PTY LTD A.C.N. 650 331 070

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 20137224 (ALLOT 2 SUBN SEC 2)
2. EASEMENT IN GROSS No 719132428 29/11/2018 at 10:50
burdening the land
MAREEBA SHIRE COUNCIL
over
EASEMENT A ON SP217220

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

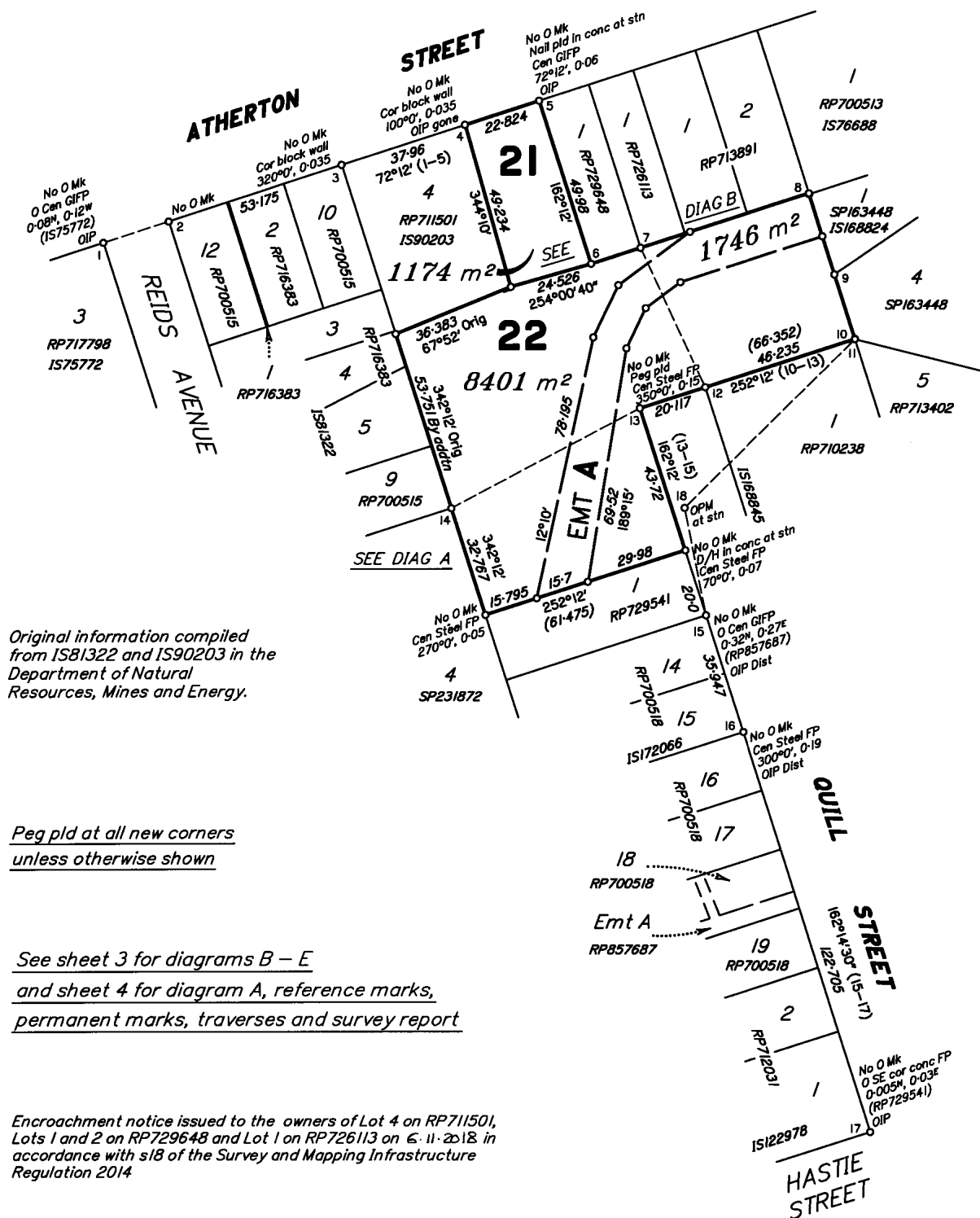
Appendix B

Survey Plan – Lot 22 on SP217220

CUT

Land Title Act 1994 ; Land Act 1994
Form 21 Version 4

SURVEY PLAN

Sheet
1 of
4

Original information compiled
from IS81322 and IS90203 in the
Department of Natural
Resources, Mines and Energy.

Peg pld at all new corners
unless otherwise shown

See sheet 3 for diagrams B – E
and sheet 4 for diagram A, reference marks,
permanent marks, traverses and survey report

Twine Surveys Pty Ltd ACN 109 476 422 hereby
certify that the land comprised in this plan was
surveyed by the corporation, by Brendan Peter Twine,
Registered Surveyor, for whose work the corporation
accepts responsibility, under the supervision of Ivan
Mervyn Luscombe, Cadastral Surveyor and that the
plan is accurate, that the said survey was performed
in accordance with the Survey and Mapping
Infrastructure Act 2003 and Surveyors Act 2003 and
associated Regulations and Standards and that the
said survey was completed on 26-10-2018.

Ivan Mervyn Luscombe
Ivan Mervyn Luscombe
Director and
Cadastral Surveyor

Roger Lloyd Twine
Roger Lloyd Twine
Director
Date: 5.11.2018

0 50m 100m 150m		State copyright reserved.	
Plan of Lots 21 & 22 & Easement A in Lot 22			
Cancelling Lot 2 on RP729648			
LOCAL	Mareeba	GOVERNMENT:	Shire Council
LOCALITY:		Mareeba	
Meridian:		RP729541	
Survey		Records No	
Scale:		1:1250	
Format:		STANDARD	
SP217220			

719132419

CS 400 NT

\$598.00
29/11/2018 10:49

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

Sheet 2 of 4

5. Lodged by

F HARVIE
PO BOX 25
MAREEBA Q 4880
Ph 0468 698 163
frankgavin50@hotmail.com

(Include address, phone number, reference, and Lodger Code)

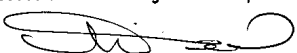
1. Certificate of Registered Owners or Lessees.

I/We Frank Gavin Harvie

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

* as Lessees of this land agree to this plan.

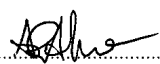

Signature of *Registered Owners *Lessees

* Rule out whichever is Inapplicable

2. Planning Body Approval.

* Mareeba Shire Council
hereby approves this plan in accordance with the :
% Planning Act 2016

Dated this 27th day of November 2018

 # Anthony Archie
Manager Development
& Governance

* Insert the name of the Planning Body. % Insert applicable approving legislation.
Insert designation of signatory or delegation

3. Plans with Community Management Statement :

CMS Number :
Name :

4. References :

Dept File :
Local Govt : RAL/18/0020
Surveyor : 18/8169

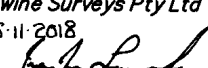
Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
20998051	Lot 2 on RP729648	21 & 22	-	Emt A

21 & 22 Allot 2 Subn Sec 2

Lots Orig

7. Orig Grant Allocation :

8. Passed & Endorsed :

By: Twine Surveys Pty Ltd
Date: 6-11-2018
Signed: 
Designation: Cadastral Surveyor

9. Building Format Plans only.

I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.
* Part of the building shown on this plan encroaches onto adjoining * lots and road

Cadastral Surveyor/Director * Date
* delete words not required

10. Lodgement Fees :

Survey Deposit \$
Lodgement \$
.....New Titles \$
Photocopy \$
Postage \$
TOTAL \$

11. Insert Plan Number
SP217220



Scale 1:500

Scale - 1:500

DIAGRAM E

Not to scale

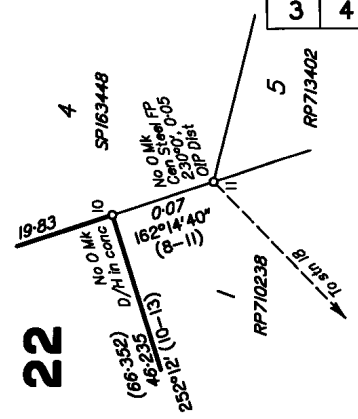


DIAGRAM D

Not to scale

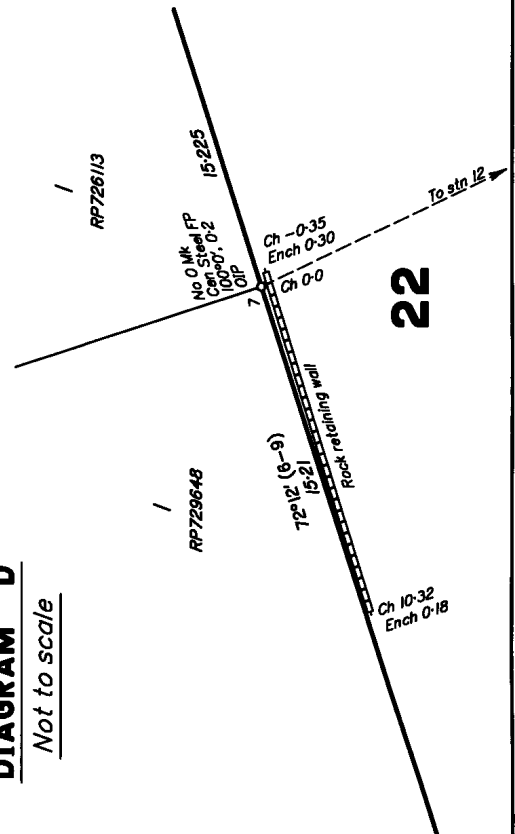
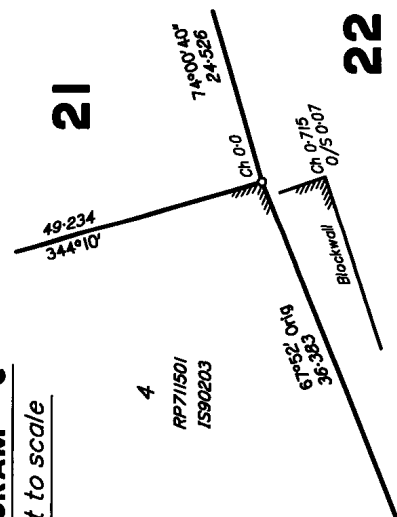


DIAGRAM C

Not to scale



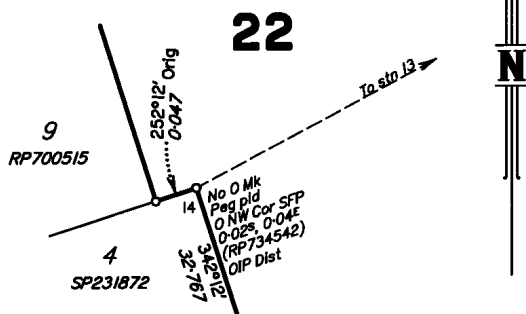
State copyright reserved.

Insert
Plan
Number

SP217220

DIAGRAM A

Not to scale



Traverses etc

Line	Bearing	Dist
1-2	72°12'	20.117
7-12	155°02'40"	45.11
13-14	242°05'50"	62.443
15-18	348°38'	32.04
18-11	45°19'20"	70.367

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST	
1	OIP	RP717798	72°12'	0.644	
2	Bolt in kerb		319°15'	4.211	
2	Drillhole in kerb		257°34'	5.962	
4	OIP Gone	RP729648	342°12'	1.006	
5	OIP	RP729648	342°12'	0.604	
5	Nail in kerb		280°45'	8.538	
7	OIP	RP729648	252°12'	1.0	
9	OIP	SP163448	106°11'40"	1.607	
11	OIP Dist	SP163448	15°57'	2.905	New Conn
14	OIP Dist	RP734542	167°27'	2.042	New Conn
15	OIP Dist	RP729541	71°40'	1.025	New Conn
15	Nail in kerb		84°31'	4.408	
16	OIP Dist	IS172066	73°0'	1.030	New Conn
17	OIP	RP729541	72°32'40"	1.02	
17	Nail in kerb		109°23'	5.607	

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO
18-OPM	SP163448	at stn		9892

SURVEY REPORT

Plan searched - IS75772, IS76688, IS81322, IS90203, IS122978, IS168824, IS168845, IS172066, RP710238, RP713891, RP716383, RP717798, RP726113, RP729541, RP729648, RP734542, RP857687, SP163448 and SP231872

The alignment of Atherton Street was reinstated by original reference at Stns 1 & 5. The distances between Stns 1 - 3 - 4 - 5 agree with IS90203. Stn 7 was reinstated by the OIP and the boundaries 5 - 6 - 7 coincided with the previous survey on RP729648.

The original reference marks at Stns 9, 17 & 18 coincided with the previous survey on SP163448. The OIP's at Stns 11, 15 & 16 have been noted with new connections. The distances between Stns 15 - 16 - 17 coincide with IS172066.

Stns 7 - 12 - 13 - 15 agree with the previous survey on RP729541. Stn 14 has been reinstated from the connection on RP734542 was adopted the same meridian on Atherton Street.

Appendix C

EMR & CLR Search – Lot 22 on SP217220



Department of Environment and Science (DES)
ABN 46 640 294 485
400 George St Brisbane, Queensland 4000
GPO Box 2454 Brisbane QLD 4001 AUSTRALIA
www.des.qld.gov.au

SEARCH RESPONSE
ENVIRONMENTAL MANAGEMENT REGISTER (EMR)
CONTAMINATED LAND REGISTER (CLR)

Transaction ID: 50694568 EMR Site Id: 16 June 2021
This response relates to a search request received for the site:
Lot: 22 Plan: SP217220

EMR RESULT

The above site is NOT included on the Environmental Management Register.

CLR RESULT

The above site is NOT included on the Contaminated Land Register.

ADDITIONAL ADVICE

All search responses include particulars of land listed in the EMR/CLR when the search was generated.
The EMR/CLR does NOT include:-

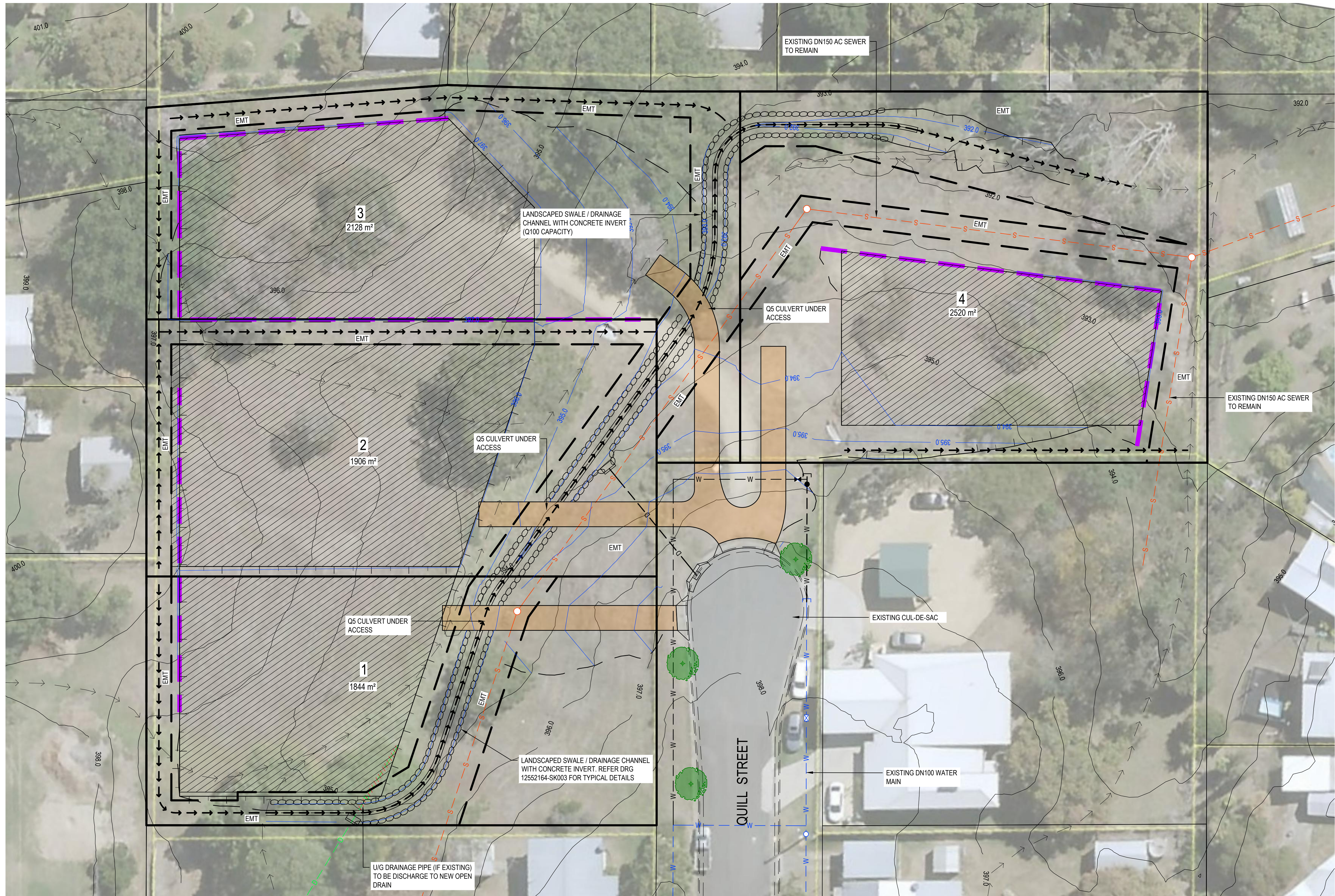
1. land which is contaminated land (or a complete list of contamination) if DES has not been notified
2. land on which a notifiable activity is being or has been undertaken (or a complete list of activities) if DES has not been notified

If you have any queries in relation to this search please phone 13QGOV (13 74 68)

Administering Authority

Appendix D

Development Sketches



LEGEND

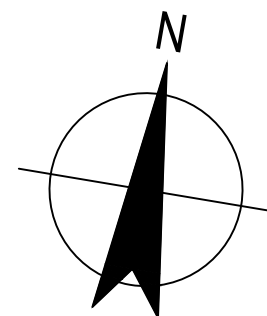
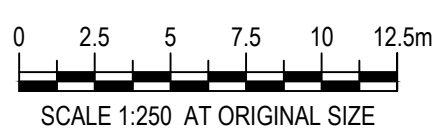
- PROPOSED BUILDING PAD
- PROPOSED DRIVEWAY
- PROPOSED STREET TREE
- PROPOSED SURFACE CONTOUR (1m INTERVAL)
- EXISTING SURFACE CONTOUR (1m INTERVAL)
- PROPOSED RETAINING WALL (2.2m MAX HEIGHT)
- PROPOSED WATER MAIN
- PROPOSED DRAINAGE LINE
- PROPOSED DRAINAGE PATH
- EXISTING DRAINAGE PATH
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING DRAINAGE LINE
- EXISTING SERVICE TO BE REMOVED

NOTE

LAYOUTS AND CONTOURS SHOWN ARE INDICATIVE ONLY AND NOT BASED ON DETAILED SURVEY INFORMATION. THIS SKETCH HAS BEEN PREPARED FOR DISCUSSION PURPOSES ONLY

PLAN
SCALE 1:250

Rev	Description	App'd	Date
C	ISSUED FOR DA APPROVAL	GA*	14/06/21
B	ISSUED FOR CLIENT COMMENT	GA*	08/06/21
A	ISSUED FOR CLIENT COMMENT	GA*	28/05/21



Level 8, 15 Lake Street, Cairns QLD 4870 Australia
PO Box 819, Cairns QLD 4870
T 61 7 4044 2222 F 61 7 4044 2288
E cnsmail@ghd.com.au W www.ghd.com.au



www.ghd.com
Scale
for A1

Status code
Project No.
12552164

CONMAT PTY LTD
QUILL STREET, MAREEBA
LOT 22 ON SP217220
4 LOT SUBDIVISION
CONCEPT LAYOUT

Sketch no.
12552164-SK002

Size
A1

Rev no.
C

CUT / FILL DEPTH RANGE TABLE

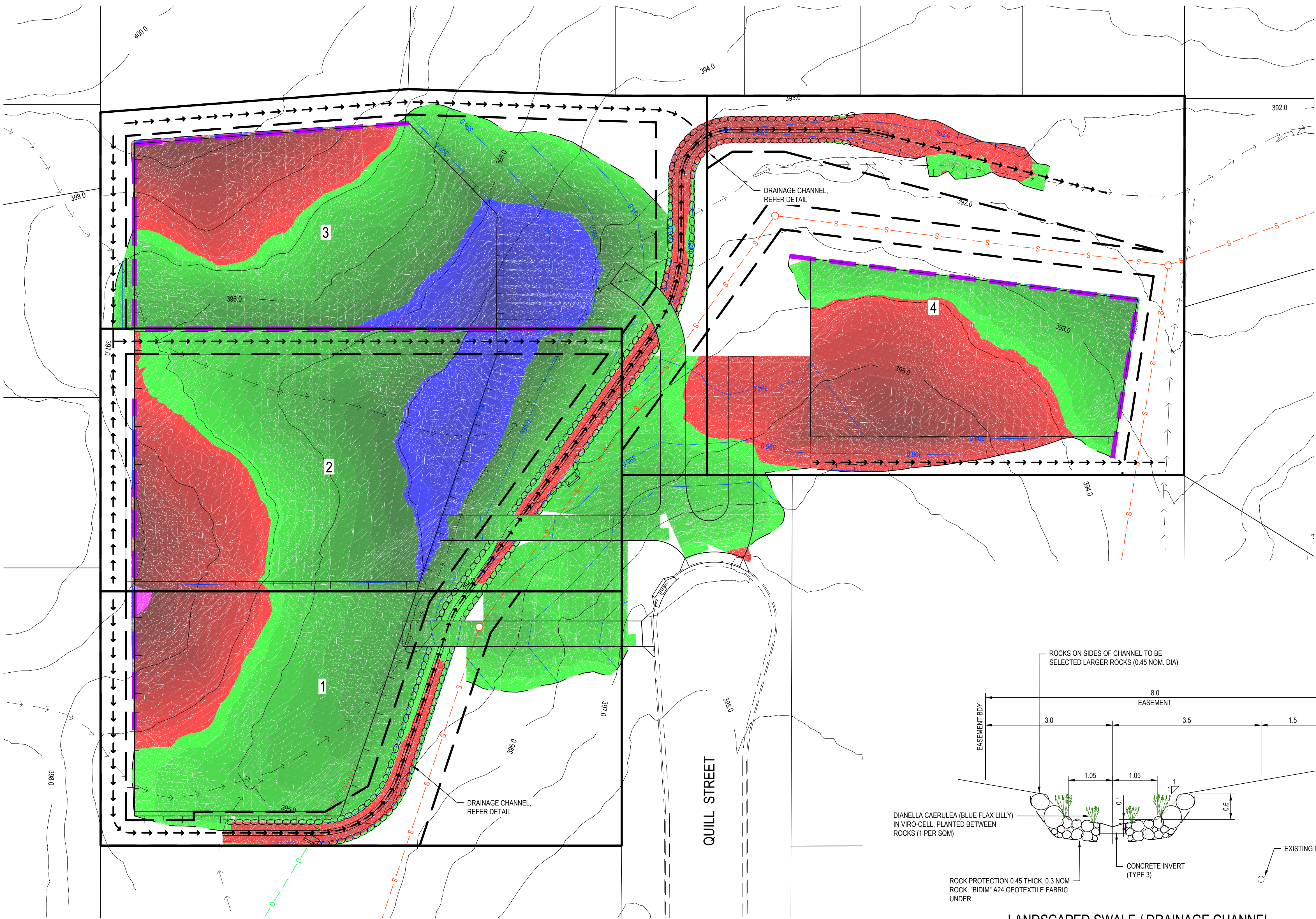
-2.2 to -2.0 m		CUT
-2.0 to -1.8 m		
-1.8 to -1.6 m		
-1.6 to -1.4 m		
-1.4 to -1.2 m		
-1.2 to -1.0 m		
-1.0 to -0.8 m		
-0.8 to -0.6 m		
-0.6 to -0.4 m		
-0.4 to -0.2 m		
-0.2 to 0.0 m		
0.0 to 0.2 m		FILL
0.2 to 0.4 m		
0.4 to 0.6 m		
0.6 to 0.8 m		
0.8 to 1.0 m		
1.0 to 1.2 m		
1.2 to 1.4 m		
1.4 to 1.6 m		
1.6 to 1.8 m		
1.8 to 2.0 m		
2.0 to 2.2 m		
2.2 to 2.4 m		
2.4 to 2.6 m		
2.6 to 2.8 m		
2.8 to 3.0 m		
3.0 to 3.2 m		
3.2 to 3.4 m		
3.4 to 3.6 m		

LEGEND

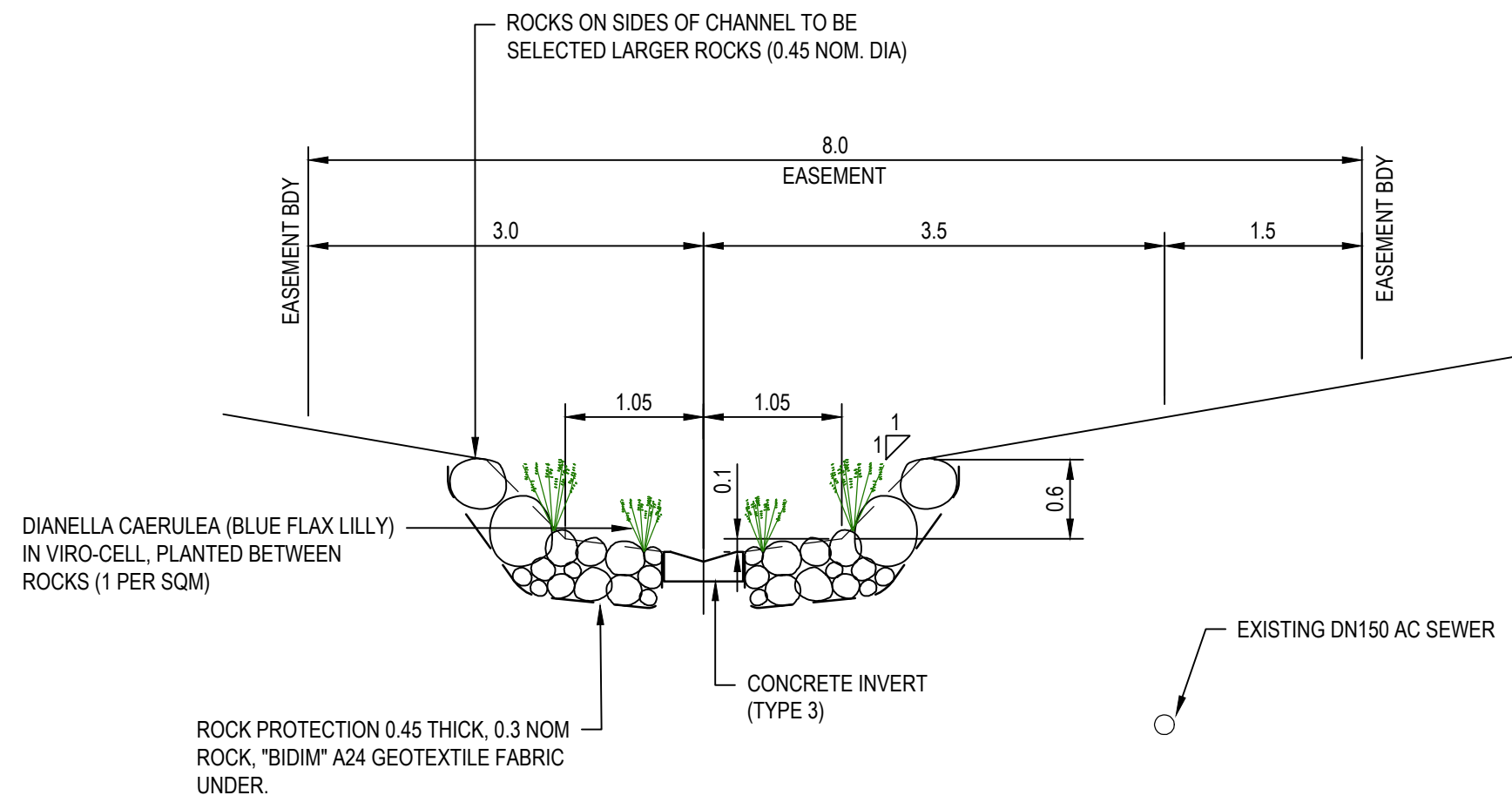
- 396.0 PROPOSED SURFACE CONTOUR (1m INTERVAL)
- 396.0 EXISTING SURFACE CONTOUR (1m INTERVAL)
- PROPOSED RETAINING WALL (2.2m MAX HEIGHT)
- PROPOSED DRAINAGE PATH
- EXISTING DRAINAGE PATH

NOTE

LAYOUTS AND CONTOURS SHOWN ARE INDICATIVE ONLY AND NOT BASED ON DETAILED SURVEY INFORMATION. THIS SKETCH HAS BEEN PREPARED FOR DISCUSSION PURPOSES ONLY



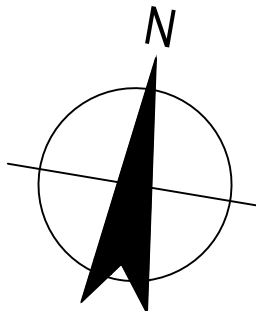
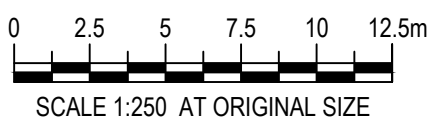
PLAN
SCALE 1:250



LANDSCAPED SWALE / DRAINAGE CHANNEL
TYPICAL DETAIL

SCALE 1:50

Rev	Description	App'd	Date
A	ISSUED FOR DA APPROVAL	GA*	14/06/21



Level 8, 15 Lake Street, Cairns QLD 4870 Australia
PO Box 819, Cairns QLD 4870
T 61 7 4044 2222 F 61 7 4044 2288
E cnsmail@ghd.com.au W www.ghd.com.au



www.ghd.com
Scale
for A1

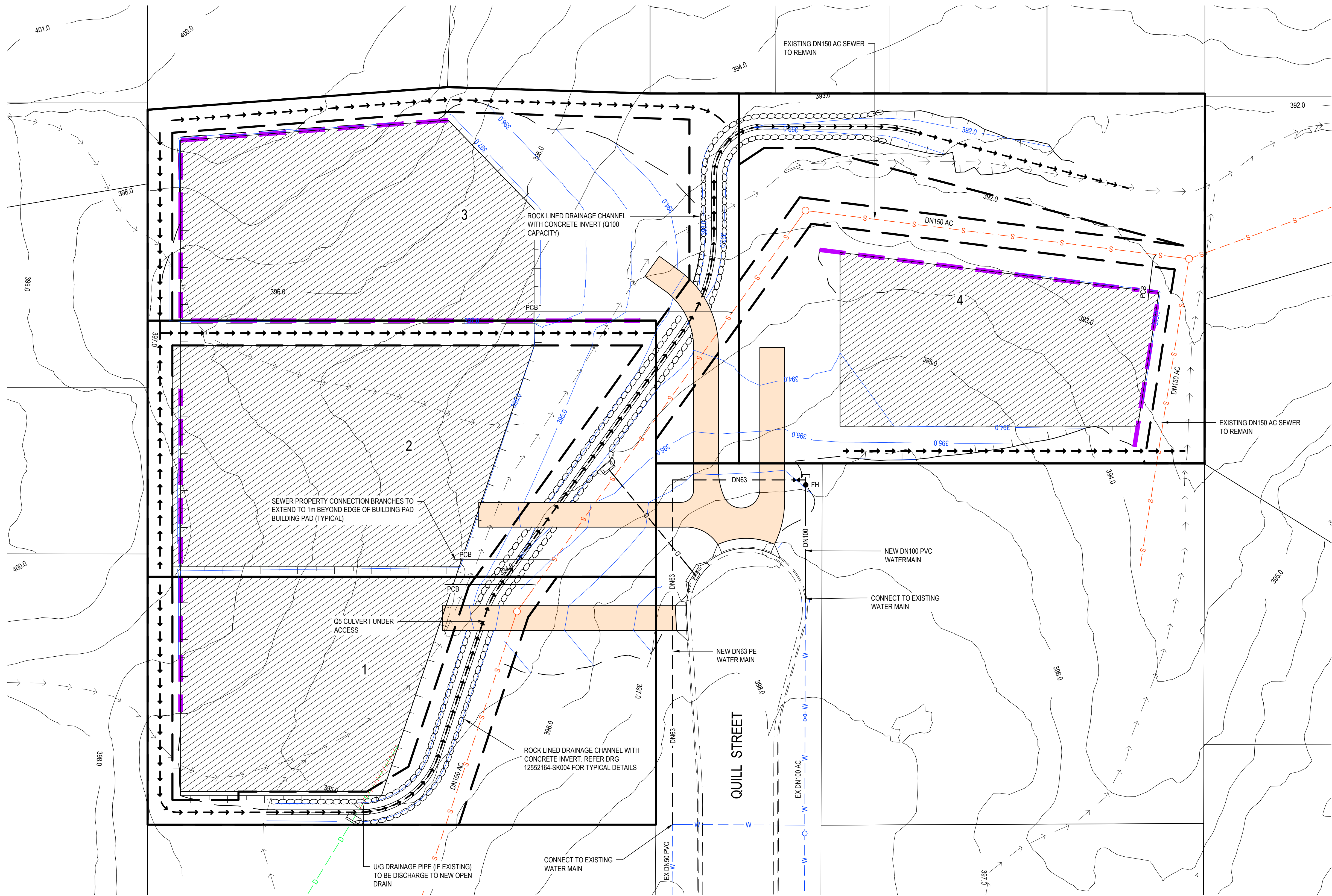
Status code
Project No.
12552164

CONMAT PTY LTD
QUILL STREET, MAREEBA
LOT 22 ON SP217220
4 LOT SUBDIVISION
CONCEPT EARTHWORKS PLAN

Sketch no.
12552164-SK003

Size
A1

Rev no.
A



LEGEND

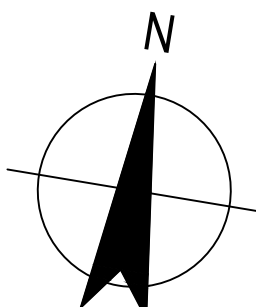
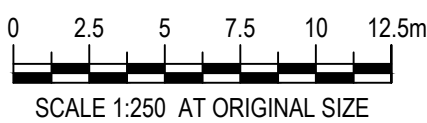
- PROPOSED BUILDING PAD
- PROPOSED DRIVEWAY
- PROPOSED RETAINING WALL (2.2m MAX HEIGHT)
- PROPOSED WATER MAIN (DN100 PVC)
- PROPOSED WATER MAIN (DN63 PE)
- PROPOSED SEWER CONNECTION BRANCH
- PROPOSED DRAINAGE LINE
- PROPOSED DRAINAGE PATH
- EXISTING DRAINAGE PATH
- EXISTING SEWER MAIN
- EXISTING WATER MAIN

NOTE

LAYOUTS AND CONTOURS SHOWN ARE INDICATIVE ONLY AND NOT BASED ON DETAILED SURVEY INFORMATION. THIS SKETCH HAS BEEN PREPARED FOR DISCUSSION PURPOSES ONLY

PLAN
SCALE 1:250

Rev	Description	App'd	Date
A	ISSUED FOR DA APPROVAL	GA*	14/06/21



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Scale for A1

Status code Project No.
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CONMAT PTY LTD
QUILL STREET, MAREEBA
LOT 22 ON SP217220
4 LOT SUBDIVISION
CONCEPT WATER & SEWER LAYOUT

Sketch no.
12552164-SK004

Size
A1
Rev no.
A

Appendix E

Engineering Assessment

Our ref: 12552164

22 June 2021

Chief Executive Officer
Mareeba Shire Council
65 Rankin St
Mareeba QLD 4880

Quill Street Subdivision Development Application – Engineering Assessment

Dear Sir

1. Introduction

This engineering assessment report has been prepared to support the Application for a Development Permit for Reconfiguring a lot (1 into 4) located at 2-4 Quill Street, Mareeba.

This report examines the required proposed general civil engineering development works and whether the development is code compliant in terms of civil engineering requirements under the Mareeba Shire Council (MSC) codes of:

- Works, services, and infrastructure Code

2. The site

The site, described as Lot 22 SP 217220, has an area of 0.84 Ha and is located east of the Mareeba CBD and west of the Barron River, shown in Figure 1 below. The site is zoned Medium Density Residential and is currently a vacant allotment with a gravel access, including a small box culvert, which traverses the existing drainage easement. The access to the lots is from the local government-controlled road of Quill Street, which is a fully constructed cul de sac and road. The site currently contains easement ASP217220, which extends from southwest to northeast of the site.



Conmat Pty Ltd proposes to reconfigure the site from the current one lot into four residential lots as shown on the preliminary plans included in Appendix A. The proposed lots will be accessed via the existing fully constructed cul de sac of Quill Street.

There are no changes proposed for the existing sewer; however, new house drain connections from this line will be required to service the proposed lots. Some minor filling of less than 1 m is proposed above part of the existing sewer line between HM 51/7 and MH 51/6, with the depth to invert not exceeding 3 m.

➔ The Power of Commitment

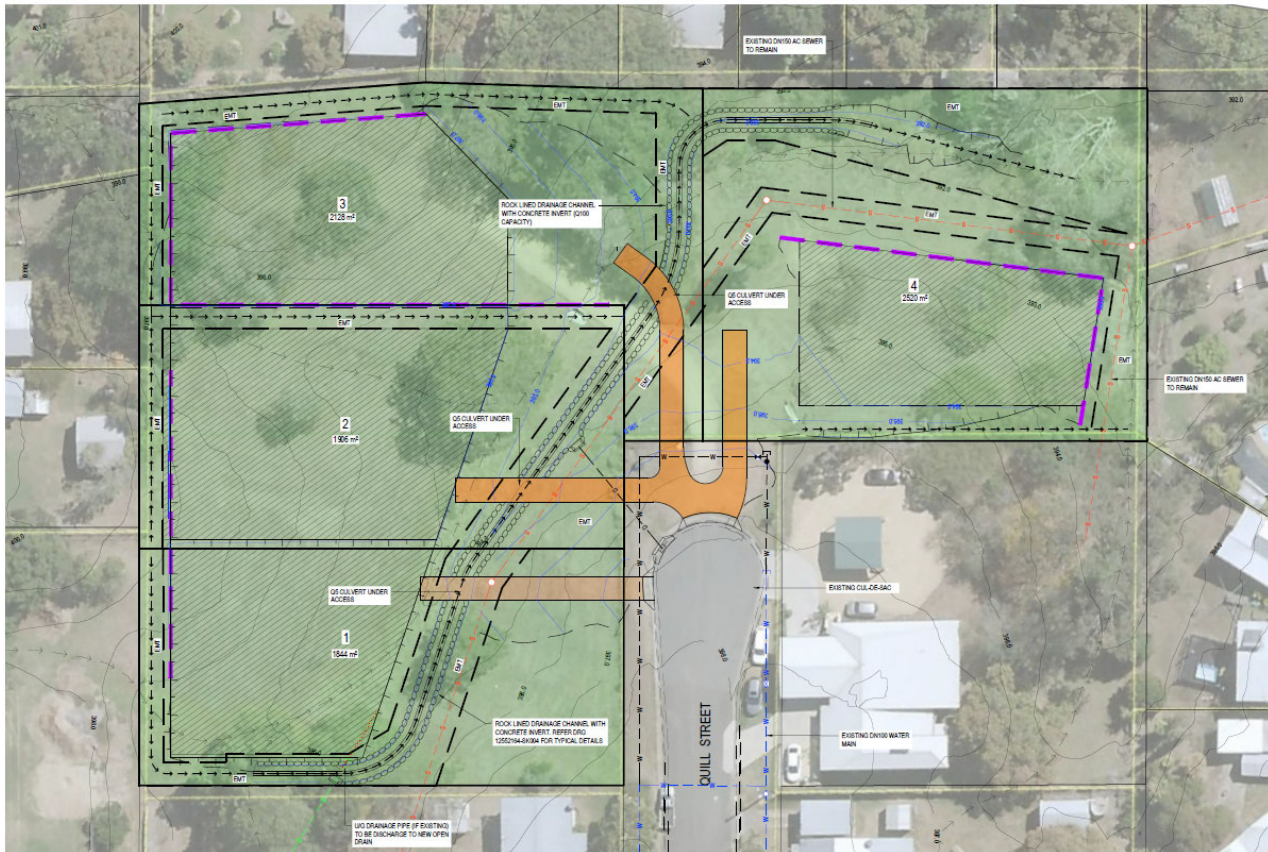


Figure 2 Proposed concept layout

4. Engineering assessment

4.1 Earthworks, clearing and ESC

The clearing, earthworks, and erosion sediment control works associated with this development will consist of earthworks to produce flat building pads and minor allotment reshaping to realign the existing drainage path.

4.1.1 Earthworks

A preliminary bulk earthworks model with building pads has been developed, maximising the building pad footprints while allowing for continuity of existing overland flow.

Preliminary earthworks volumes approximate 4,250 m³ of fill and 1,250 m³ of cut, resulting in a need to import fill. A maximum cut height of just over 2 m will be present for only a small portion of the rear boundary of lots 2 and 3. Given this is cut at the rear of the lots, there will be no adverse visual amenity issue as the properties to the west won't see the cut, and views from other locations will be blocked by future house construction.

To provide level building pads on this site, retaining walls have been included in the proposed design to reduce the need for batters. Details of the retaining walls to be provided in the submission of the operational works.

Refer to Sketch 12552164 SK003 in Appendix A for the Concept Earthworks.

4.1.2 Erosion and sediment control

During construction, best practice will be undertaken for erosion and sediment control across the site, such as to maintain clean water discharge from the site, and an erosion and sediment control plan will form part of the operation works submission. The use of sediment fencing and coir logs around stockpiles and filling works and placement of check dams in swale drains until the grass is established are typical standard practices that will manage the site.

Once earthworks and building works are completed, landscaping to a high standard will be undertaken across the entire site.

4.1.3 Clearing

The site is currently cleared over the majority of its area, with a few larger trees mainly located near the existing fence lines. Given the site will be developed into smaller residential lots the majority of the existing vegetation will be removed.

4.2 Stormwater

Site contours indicate that there is currently a drainage path running through the site, capturing external flows and conveying overland flow from the south-western to north-eastern corners of the site. A landscaped drainage channel will formalise the grass drainage channel with a low flow concrete invert. This will minimise the overland flow width to maximise the building pad areas.

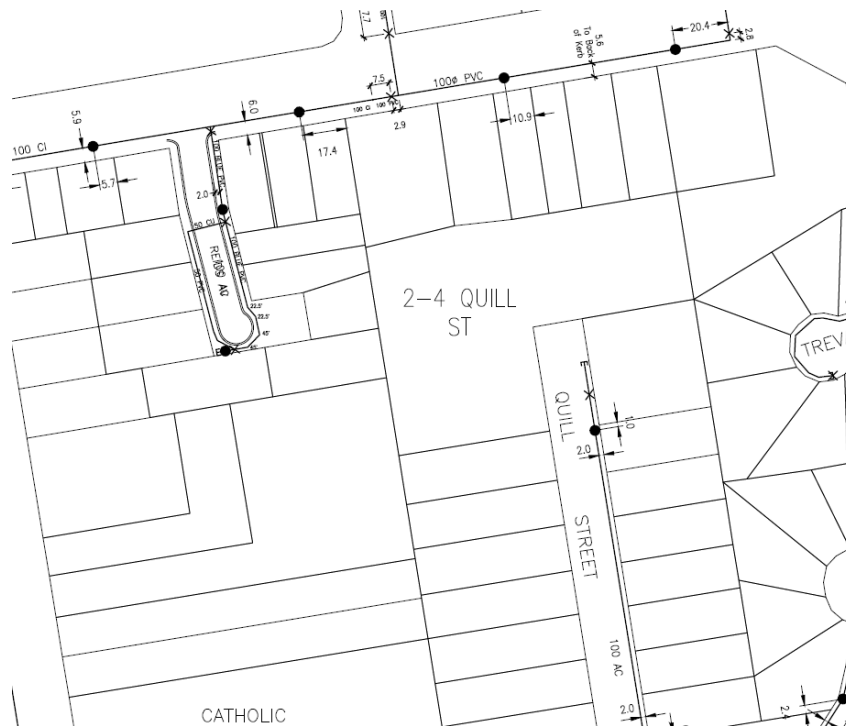
The culverts under the lot accesses will be sized for Q5 flows, and the drainage channel will be sized to contain the Q100 major storm flows. The formalised landscaped swale has rock-lined roughening elements to eliminate erosion, and the Q5 sized culverts will provide some minor detention of Q100 flows to increase the time of concentration, limiting the post-development flows off the site. In addition, the outlet of the formalised landscaped swale ties into the existing overland flow path around 40 m from the neighbouring boundary to ensure flows return to their normal flow regime and aren't concentrated to the adjoining property.

Quill Street drainage currently discharges to the site via a small concrete-lined outlet which a standard gully pit will replace with a piped outlet connected to the proposed landscaped drainage channel. This arrangement will be further detailed at the operational work submission stage.

Refer to Sketch 12552164 SK003 in Appendix A for the Concept Earthworks Layout including drainage arrangement.

4.3 Water

The site is currently serviced by a 100 mm AC water main located on the eastern side of Quill Street, as shown below in Figure 3. The proposed lengthening and reticulation of the water main alignment to service additional lots has been provided in 12552164-SK004 attached in Appendix A. A fire hydrant is located within serviceable proximity to the proposed development; however, it is proposed to include a second fire hydrant to service all lots as an added measure.



4.4 Sewer reticulation

The site is serviced by an existing 150 mm diameter AC sewerage main running through the southwest corner to the northeast corner shown below in Figure 4. There are no changes proposed for the alignment of the sewer, and the sewer has sufficient depth to control all proposed building pads; extended house drain connections will be cut into the existing main to service the building.

Refer to Sketch 12552164 SK004 in Appendix A for the Concept Water and Sewer Layout.

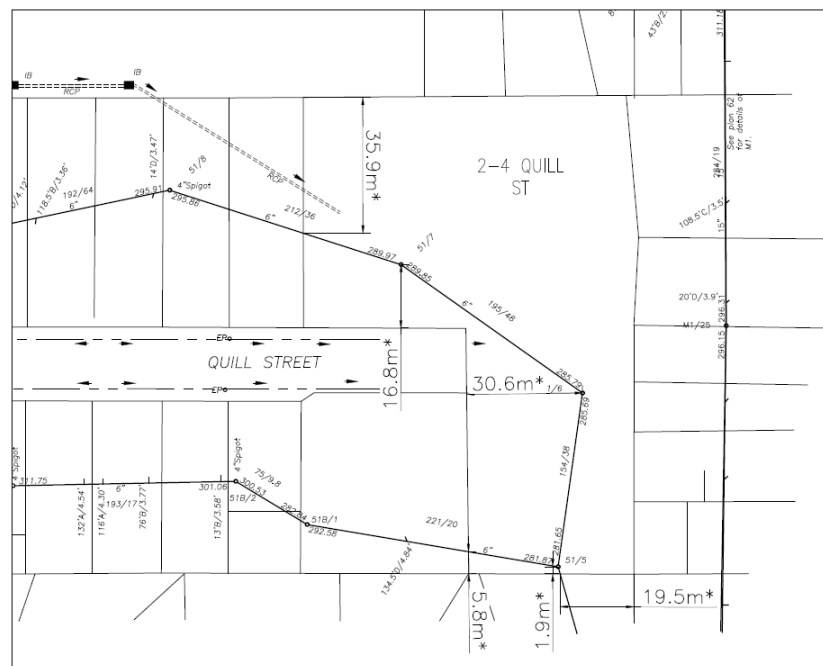


Figure 4 Existing Sewerage Connection

5. Engineering code assessment (MSC)

Works, services and infrastructure code – For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Response
For accepted development subject to requirements and assessable development		
Water supply		
<p>PO1 Each lot has an adequate volume and supply of water that:</p> <ul style="list-style-type: none"> (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment. 	<p>AO1.1 Development is connected to a reticulated water supply system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated water supply service area. <p>AO1.2 Development, where located outside a reticulated water supply service area and in the Conservation zone, Rural zone or Rural residential zone is provided with:</p> <ul style="list-style-type: none"> (c) a bore or bores are provided in accordance with the Design Guidelines set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; or (d) on-site water storage tank/s: <ul style="list-style-type: none"> (iv) with a minimum capacity of 90,000L; (v) fitted with a 50mm ball valve with a camlock fitting; and <p>which are installed and connected prior to the occupation or use of the development.</p>	<p>Complies with AO1.1 and FNQROC, water reticulation is provided to Quill Street and will be utilised in this reconfiguration. Given the extent of works (4 lots) and no change in zoning, we assume the supply provided by MSC is adequate for this development, and no modelling is required.</p>

Wastewater disposal		
<p>PO2 Each lot provides for the treatment and disposal of effluent and other waste water that:</p> <ul style="list-style-type: none"> (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment. 	<p>AO2.1 Development is connected to a reticulated sewerage system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated sewerage service area. <p>AO2.2 An effluent disposal system is provided in accordance with AS/NZS 1547 On-Site Domestic Wastewater Management (as amended) where development is located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and <p>outside a reticulated sewerage service area.</p>	<p>Complies with AO2.1 and FNQROC, sewerage infrastructure is located within the proposed subdivision at sufficient depth to control proposed future house pads and will be utilised in this reconfiguration.</p>
Stormwater infrastructure		
<p>PO3 Stormwater infrastructure is designed and constructed to collect and convey the design storm event to a lawful point of discharge in a manner that mitigates impacts on life and property.</p>	<p>AO3.1 Where located within a Priority infrastructure area or where stormwater infrastructure is available, development is connected to Council's stormwater network in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.</p> <p>AO3.2 On-site drainage systems are constructed:</p> <ul style="list-style-type: none"> (a) to convey stormwater from the premises to a lawful point of discharge; and <p>in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.</p>	<p>Stormwater works on site are designed to not worsen the post-development flow via roughening elements and minor detention within the formalised landscaped swale.</p> <p>Landscaped swale to pipe the Q5 flows and contain the Q100 flows.</p>

Electricity supply		
PO4 Each lot is provided with an adequate supply of electricity	A04 The premises: (d) is connected to the electricity supply network; or (e) has arranged a connection to the transmission grid; or (f) where not connected to the network, an independent energy system with sufficient capacity to service the development (at near average energy demands associated with the use) may be provided as an alternative to reticulated electricity where: (iv) it is approved by the relevant regulatory authority; and (v) it can be demonstrated that no air or noise emissions; and (vi) it can be demonstrated that no adverse impact on visual amenity will occur.	Electrical pillar boxes provided within the street, further electrical design to be undertaken during operational works submission.
Telecommunications infrastructure		
PO5 Each lot is provided with an adequate supply of telecommunication infrastructure	A05 Development is provided with a connection to the national broadband network or telecommunication services.	NBN services provided within the street, further electrical design to be undertaken during operational works submission.
Existing public utility services		
PO6 Development and associated works do not affect the efficient functioning of public utility mains, services or installations.	A06 Public utility mains, services are relocated, altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Complies, DBYD completed and indicated no public utilities located in the area of works.

Excavation or filling		
<p>PO7 Excavation or filling must not have an adverse impact on the:</p> <ul style="list-style-type: none"> (g) streetscape; (h) scenic amenity; (i) environmental values; (j) slope stability; (k) accessibility; or <p>privacy of adjoining premises.</p>	<p>A07.1 Excavation or filling does not occur within 1.5 metres of any site boundary.</p> <p>A07.2 Excavation or filling at any point on a lot is to be no greater than 1.5 metres above or below natural ground level.</p> <p>A07.3 Earthworks batters:</p> <ul style="list-style-type: none"> (f) are no greater than 1.5 metres in height; (g) are stepped with a minimum width 2 metre berm; (h) do not exceed a maximum of two batters and two berms (not greater than 3.6 metres in total height) on anyone lot; (i) have a slope no greater than 1 in 4; and are retained. <p>A07.4 Soil used for filling or spoil from excavation is not stockpiled in locations that can be viewed from:</p> <ul style="list-style-type: none"> (c) adjoining premises; or <p>a road frontage, for a period exceeding 1 month from the commencement of the filling or excavation.</p> <p>A07.5 All batters and berms to be constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC</p> <p>A07.6 Retaining walls have a maximum height of 1.5 metres and are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.</p> <p>A07.7 Excavation or filling at any point on a lot is to include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.</p>	<p>Complies, filling required to construct building pads within lots and shape for stormwater conveyance. No adverse impacts on those listed in PO7. Building pads set back from the street to maintain surrounding amenity. Lots filled to levels below surrounding properties.</p> <p>A maximum cut height of just over 2 m will be present for only a small portion of the rear boundary of lots 2 and 3. Given this is cut at the rear of the lots there will be no adverse visual amenity issue as the properties to the west won't see the cut and views from other locations will be blocked by future house construction.</p> <p>Retaining walls exceeding 1 m will have a structural and geotechnical assessment to inform the construction requirements.</p>

For assessable development		
Transport network		
PO8 The development has access to a transport network of adequate standard to provide for the safe and efficient movement of vehicles, pedestrians and cyclists.	A08.1 Vehicle access, crossovers, road geometry, pavement, utilities and landscaping to the frontage/s of the site are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual. A08.2 Development provides footpath pavement treatments in accordance with Planning Scheme Policy 9 – Footpath Paving.	Quill Street has been constructed above an access place standard; which can adequately service 25 lots. Total lots serviced by Quill Street is below 25 therefore Quill Street is adequate.
Public infrastructure		
PO9 The design, construction and provision of any infrastructure that is to be dedicated to Council is cost effective over its life cycle and incorporates provisions to minimise adverse impacts.	A09 Development is in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Not applicable.
Stormwater quality		
PO10 Development has a non-worsening effect on the site and surrounding land and is designed to: <ul style="list-style-type: none"> (a) optimise the interception, retention and removal of waterborne pollutants, prior to the discharge to receiving waters; (b) protect the environmental values of waterbodies affected by the development, including upstream, on-site and downstream waterbodies; (c) achieve specified water quality objectives; (d) minimise flooding; (e) maximise the use of natural channel design principles; (f) maximise community benefit; and (g) minimise risk to public safety. 	AO10.1 The following reporting is prepared for all Material change of use or Reconfiguring a lot proposals: <ul style="list-style-type: none"> (a) a Stormwater Management Plan and Report that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; and (b) an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia), including: <ul style="list-style-type: none"> (i) drainage control; (ii) erosion control; (iii) sediment control; and (iv) water quality outcomes. AO10.2 For development on land greater than 2,500m ² or that result in more than 5 lots or more than 5 dwellings or accommodation units, a	The residential nature of the lot remains unchanged. Complies with PO10, no additional impact on stormwater quality, earthworks during construction will include ESC measures.

	<p>Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) is prepared that demonstrates that the development:</p> <ul style="list-style-type: none"> (a) meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline; (b) is consistent with any local area stormwater water management planning; (c) accounts for development type, construction phase, local climatic conditions and design objectives; and <p>provides for stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosivity.</p>	
<p>PO11 Storage areas for stormwater detention and retention:</p> <ul style="list-style-type: none"> (a) protect or enhance the environmental values of receiving waters; (b) achieve specified water quality objectives; (c) where possible, provide for recreational use; (d) maximise community benefit; and (e) minimise risk to public safety. 	<p>AO11 No acceptable outcome is provided.</p>	<p>Not applicable, no requirement for and detention or storage. Some minor detention during major events will be achieved by the proposed driveway culverts and this will be contained within the drainage channel.</p>

Excavation or filling		
PO12 Traffic generated by filling or excavation does not impact on the amenity of the surrounding area.	AO12.1 Haul routes used for transportation of fill to or from the site only use major roads and avoid residential areas. AO12.2 Transportation of fill to or from the site does not occur: (a) within peak traffic times; and (b) before 7am or after 6pm Monday to Friday; (c) before 7am or after 1pm Saturdays; and on Sundays or Public Holidays.	Complies, traffic required will move within the times nominated in AO12.2
PO13 Air pollutants, dust and sediment particles from excavation or filling, do not cause significant environmental harm or nuisance impacts.	AO13.1 Dust emissions do not extend beyond the boundary of the site. AO13.2 No other air pollutants, including odours, are detectable at the boundary of the site. AO13.3 A management plan for control of dust and air pollutants is prepared and implemented.	Complies, water carts will be used during filling and earthworks occur to mitigate dust. No odour related works are occurring.
PO14 Access to the premises (including driveways and paths) does not have an adverse impact on: (a) safety; (b) drainage; (c) visual amenity; and (d) privacy of adjoining premises.	AO14 Access to the premises (including all works associated with the access): (a) must follow as close as possible to the existing contours; (b) be contained within the premises and not the road reserve, and (c) are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Complies, access via Quill Street, shaker grid to be installed during construction.
Weed and pest management		
PO15 Development prevents the spread of weeds, seeds or other pests into clean areas or away from infested areas.	AO15 No acceptable outcome is provided.	Not applicable.

Contaminated land		
PO16 Development is located and designed to ensure that users and nearby sensitive land uses are not exposed to unacceptable levels of contaminants	AO16 Development is located where: (a) soils are not contaminated by pollutants which represent a health or safety risk to users; or (b) contaminated soils are remediated prior to plan sealing, operational works permit, or issuing of building works permit.	Not applicable.
Fire services in developments accessed by common private title		
PO17 Fire hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.	AO17.1 Fire hydrants are located in accessways or private roads held in common private title at a maximum spacing of: (a) 120 metres for residential development; and (b) 90 metres for any other development. AO17.2 Fire hydrants are located at all intersections of accessways or private roads held in common private title.	Hydrant provided within compliant distance from proposed lots.

6. Conclusion

The reconfiguration of 1 lot into four at 2-4 Quill Street Mareeba presents no issues from an engineering construction viewpoint. Bulk earthworks, water, sewer connections and stormwater will be design and managed to enhance rather than compromise or impact the surrounding properties.

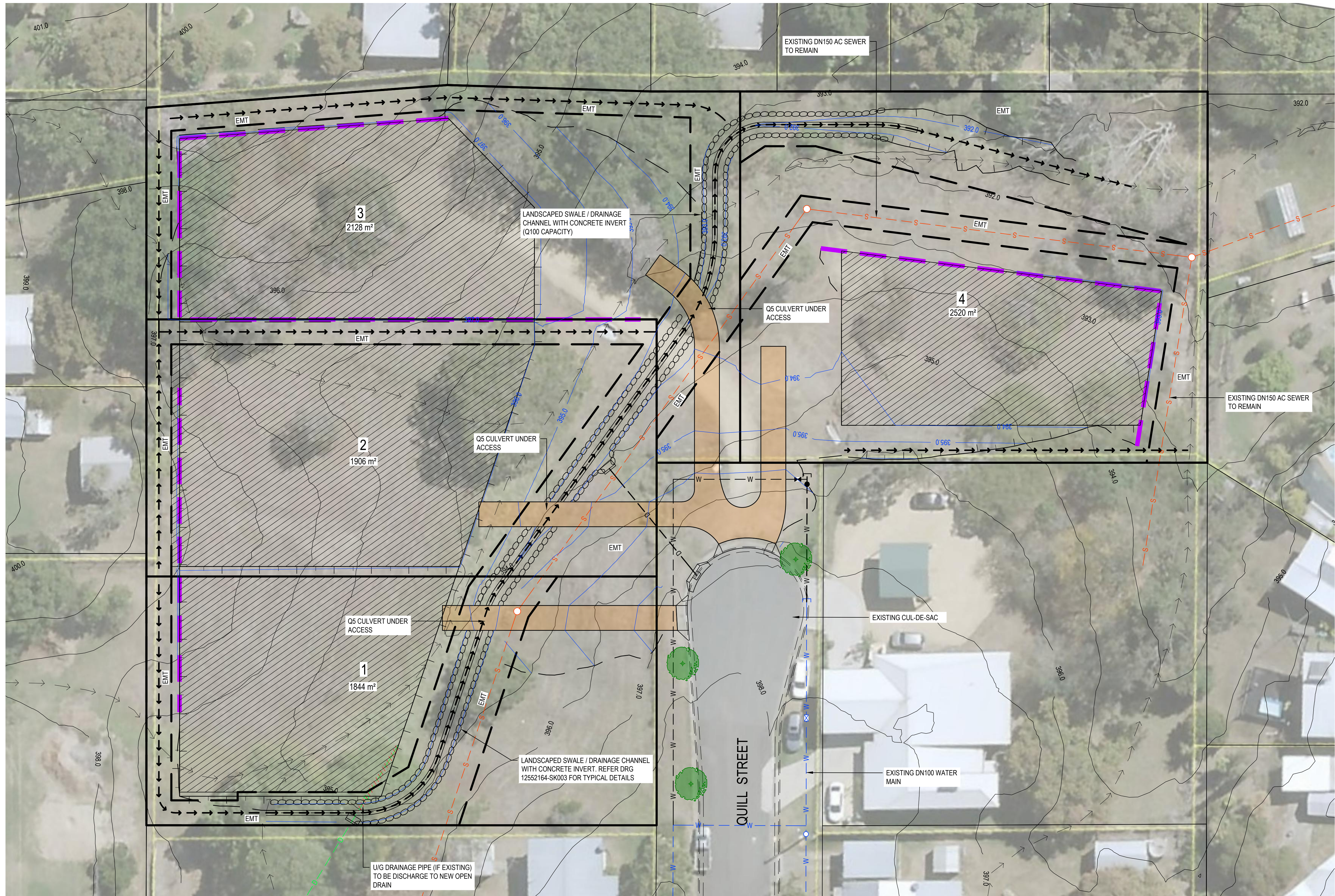
Regards



Joshua Handley
Civil Engineer
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Appendix A

Preliminary Sketch's



LEGEND

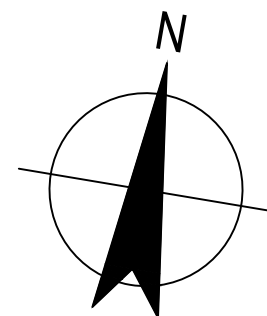
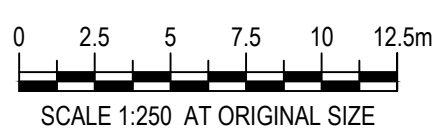
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- PROPOSED DRIVEWAY
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- EXISTING SURFACE CONTOUR (1m INTERVAL)
- PROPOSED RETAINING WALL (2.2m MAX HEIGHT)
- PROPOSED WATER MAIN
- PROPOSED DRAINAGE LINE
- PROPOSED DRAINAGE PATH
- EXISTING DRAINAGE PATH
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING DRAINAGE LINE
- EXISTING SERVICE TO BE REMOVED

NOTE

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PLAN
SCALE 1:250

Rev	Description	App'd	Date
C	ISSUED FOR DA APPROVAL	GA*	14/06/21
B	ISSUED FOR CLIENT COMMENT	GA*	08/06/21
A	ISSUED FOR CLIENT COMMENT	GA*	28/05/21



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CONMAT PTY LTD
QUILL STREET, MAREEBA
LOT 22 ON SP217220
4 LOT SUBDIVISION
CONCEPT LAYOUT

Sketch no.
12552164-SK002

Size
A1

Rev no.
C

CUT / FILL DEPTH RANGE TABLE

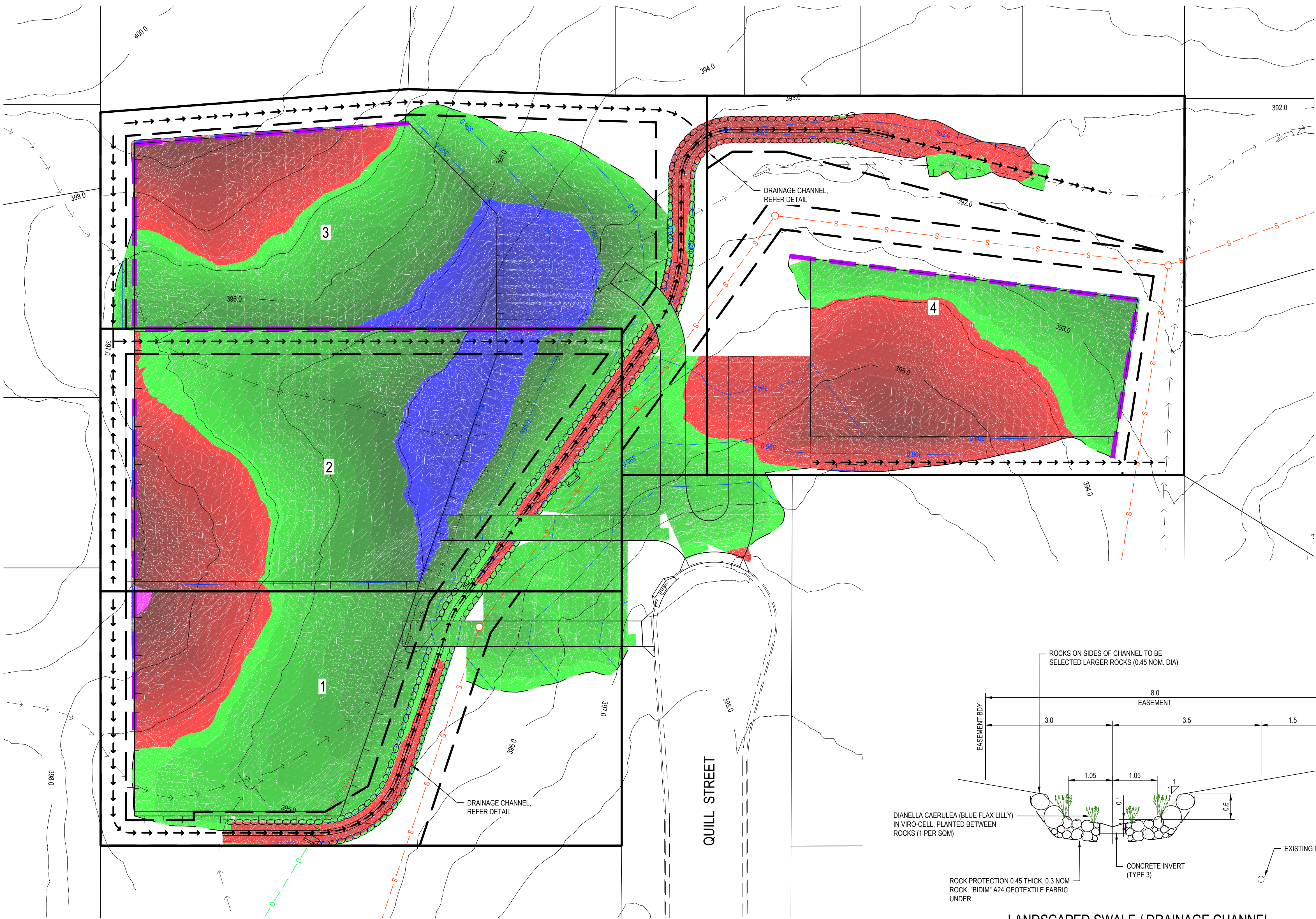
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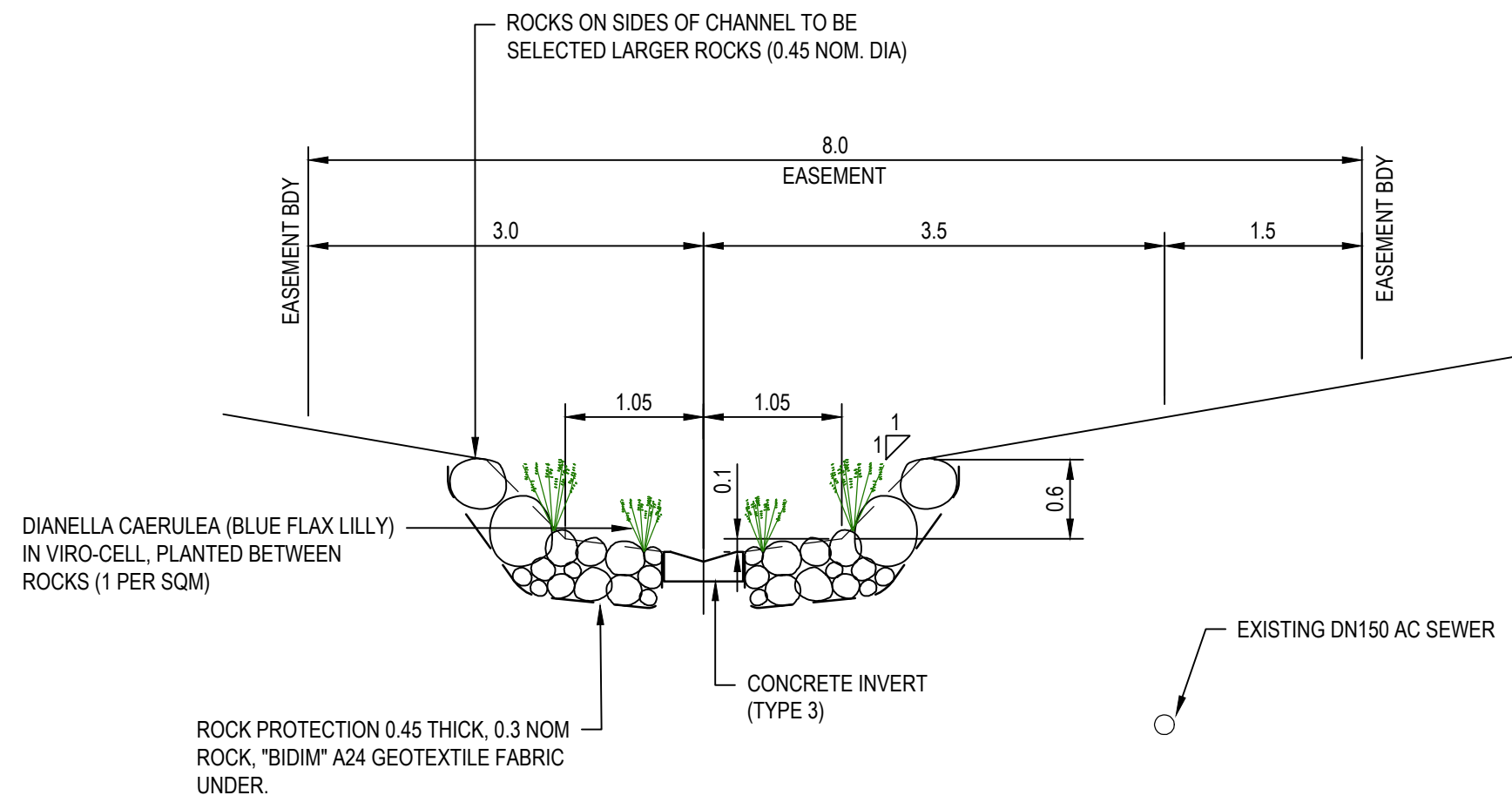
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PLAN
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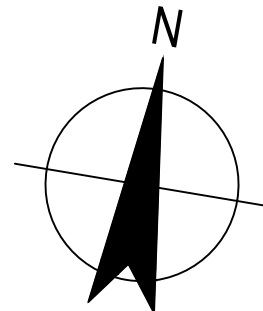


LANDSCAPED SWALE / DRAINAGE CHANNEL
TYPICAL DETAIL

SCALE 1:50

Rev	Description	App'd	Date
A	ISSUED FOR DA APPROVAL	GA*	14/06/21

0 2.5 5 7.5 10 12.5m
SCALE 1:250 AT ORIGINAL SIZE



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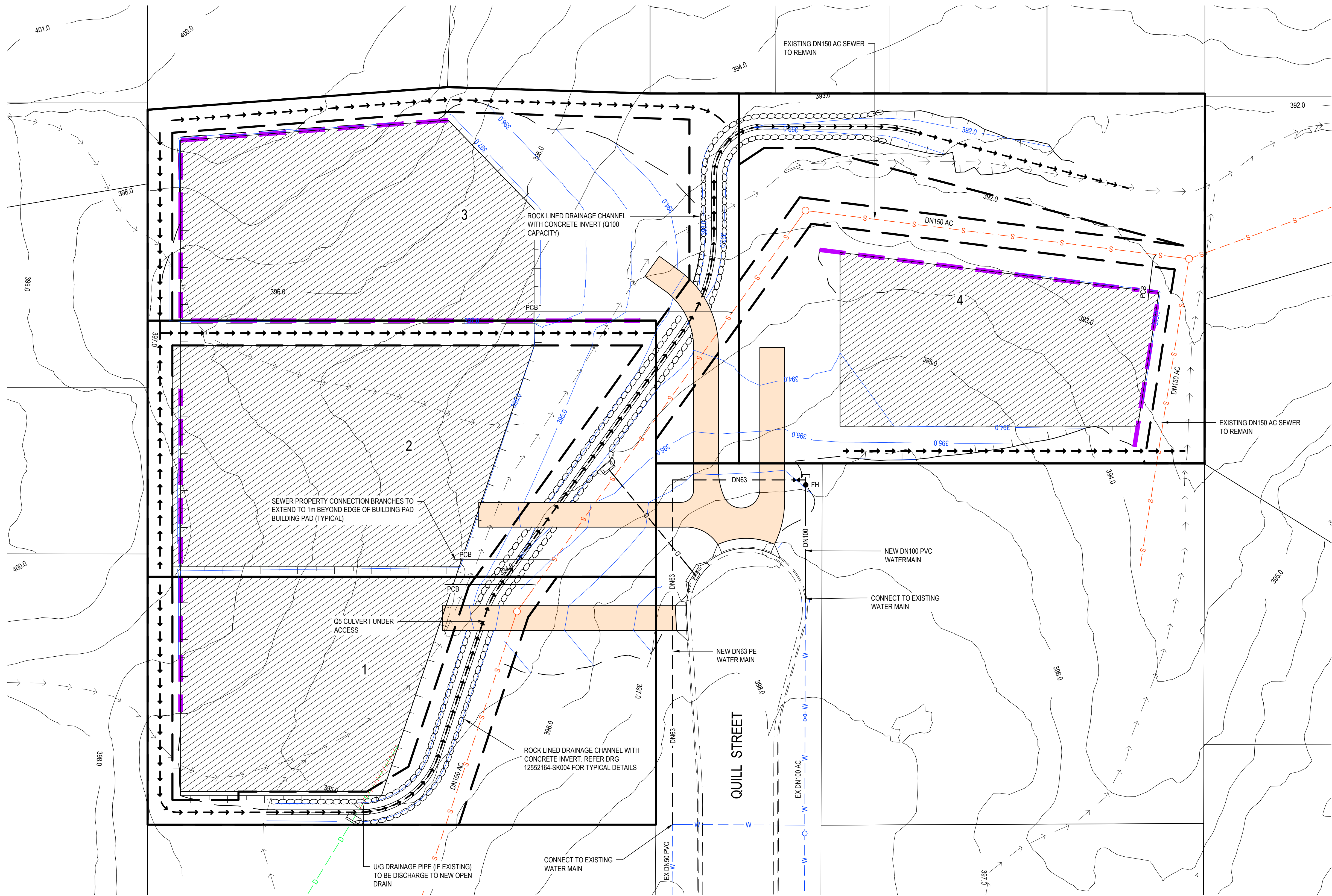
www.ghd.com
Scale
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Size
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LEGEND

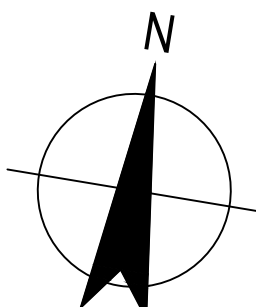
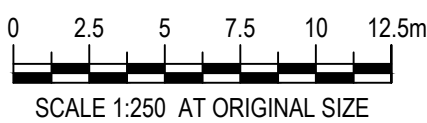
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- PROPOSED WATER MAIN (DN63 PE)
- PROPOSED SEWER CONNECTION BRANCH
- PROPOSED DRAINAGE LINE
- PROPOSED DRAINAGE PATH
- EXISTING DRAINAGE PATH
- EXISTING SEWER MAIN
- EXISTING WATER MAIN

NOTE

LAYOUTS AND CONTOURS SHOWN ARE INDICATIVE ONLY AND NOT BASED ON DETAILED SURVEY INFORMATION. THIS SKETCH HAS BEEN PREPARED FOR DISCUSSION PURPOSES ONLY

PLAN
SCALE 1:250

Rev	Description	App'd	Date
A	ISSUED FOR DA APPROVAL	GA*	14/06/21



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Scale for A1

Status code
Project No.
12552164

CONMAT PTY LTD
QUILL STREET, MAREEBA
LOT 22 ON SP217220
4 LOT SUBDIVISION
CONCEPT WATER & SEWER LAYOUT

Sketch no.
12552164-SK004

Size
A1
Rev no.
A



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