

Our Ref: 21-13/001001

Date: 20 May 2021

Chief Executive Officer
Mareeba Shire Council
PO Box 154
MAREEBA QLD 4880

Via: Email (info@msc.qld.gov.au)

Dear Sir,

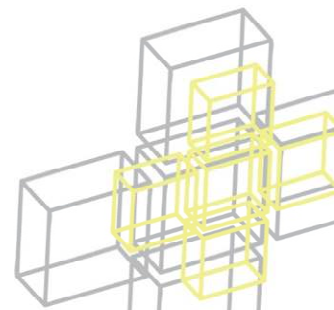
RE: APPLICATION FOR A DEVELOPMENT PERMIT FOR MATERIAL CHANGE OF USE FOR 'RURAL WORKERS ACCOMMODATION' OVER LAND AT 132 FUMAR ROAD, MUTCHILBA, DESCRIBED AS LOT 234 ON HG279

Planning Plus (QLD) Pty Ltd has been engaged by Romeo Farms Pty Ltd (the 'applicant') to prepare and lodge the abovementioned development application.

In support of the application, please find **attached**:

- Completed DA Form 1 (**Annexure 1**); and
- Payment for the relevant application fee of \$1,610.00 in accordance with Council's 2020/21 Schedule of Fees and Charges.

In addition to the above, the following submission has been prepared to assist Council and other relevant authorities with their assessment of the application.



1.0. Site Information

1.1. Site Details

The land that is subject of this application is situated at 132 Fumar Road, Mutchilba, and is formally described as Lot 234 on HG279. A Google Aerial Overlay and SmartMap of the site are included for reference as **Annexures 2 & 3**, respectively, and a copy of the Certificate of Title is included as **Annexure 4**.

The site covers an area of 40.241ha and comprises cropping land and several buildings including a dwelling, several small sheds and a large barracks which was historically used for the drying of tobacco but has been fitted out for workers accommodation over the years. An ablutions block exists to the south of the barracks. The site is bisected by Fumar Road, with all buildings being located on the western portion of the site.

We understand that the subject land is connected or is capable of being connected to the following infrastructure systems to enable the development to proceed:

- Reticulated electricity;
- Reticulated water supply;
- Telecommunications; and
- Local road network.

1.2. Site Characteristics

Key site characteristics include:

Topography:	Generally flat
Vegetation:	Generally clear (cropping land)
Wetlands:	None
Conservation Areas:	None
Waterways:	Horse Creek to the west, Spring Creek to the east of the site.
Road frontages:	Fumar Road
Existing use of site:	Farming

1.3. Planning Context

The planning context of the site includes:

Regional Plan designation:	Regional Landscape and Rural Production Area
Planning Scheme Local Plan Area:	N/A
Planning Scheme Zone:	Rural Zone
Planning Scheme Overlays:	Agricultural Land Overlay (Class A) Bushfire Hazard Overlay (Medium Potential Bushfire Intensity / Potential Impact Buffer) Flood Hazard Overlay (Potential Flood Hazard Area)

SARA DA Mapping:

- Water resources
 - Waterways for waterway barrier works
 - Regulated vegetation
-

2.0. Proposal

This application seeks a Development Permit for Material Change of Use for 'Rural Workers Accommodation'. The proposal is illustrated by the following plans prepared by Thirkell Consulting Engineers which are included as **Annexure 5**:

- Floor Plan
- Sections
- Elevations

The proposal seeks to establish a living quarters for 49 rural workers within a renovated barracks structure of approximately 800m² GFA, comprising:

- Four (4) bedrooms comprising double beds;
- 17 bedrooms comprising double bunk beds;
- Seven (7) bedrooms comprising single beds;
- 16 toilets and 16 showers;
- Communal kitchen and indoor dining and recreation areas;
- Gym and church; and
- Outdoor BBQ area.

The applicant confirms that workers residing onsite will work exclusively at Romeo Farms' table grapes farming operations on the subject site and nearby properties.

Onsite effluent disposal has been addressed as part of a hydraulic design package prepared by Gilboy Hydraulic Solutions which is included as **Annexure 6**. Based on the proposed system design, which includes separate greywater and blackwater systems, the daily peak design capacity of sewerage treatment works remains under 21 equivalent persons (EP), meaning referral to the Department of Environment and Science (DES) for ERA 63 is not required.

3.0. Legislative Considerations

3.1. Planning Act 2016

This section provides an overview of the legislative context of the application under the provisions of the *Planning Act 2016*.

3.1.1. Assessable Development

The proposed development is identified as 'assessable' under the *Planning Act 2016* due to the effect of the Mareeba Shire Planning Scheme.

3.1.2. Assessment Manager

The Assessment Manager for this development application is Mareeba Shire Council as determined by Schedule 8 of the *Planning Regulation 2017*.

3.1.3. Level of Assessment

The Level of Assessment of the proposal is outlined in the below table.

Planning Scheme Zone	Aspect of Development	Level of Assessment
Rural	Material Change of Use (Rural Workers Accommodation)	Code

3.1.4. Referral Agencies

A review of Schedule 10 of the *Planning Regulation 2017* indicates that the application does not trigger any State agency referrals.

3.1.5. Public Notification

This application is not subject to 'impact assessment' and therefore does not require Public Notification.

4.0. Assessment Benchmarks

This section assesses the application against all relevant assessment benchmarks.

4.1 State Planning Regulatory Provisions

No State Planning Regulatory Provisions are relevant to this application.

4.2 State Planning Policy

It is understood that all relevant State interests have been appropriately integrated into the Planning Scheme relevant to the site.

4.3 State Development Assessment Provisions (SDAP)

No State Development Assessment Provisions are identified as being applicable to the proposal.

4.4 Mareeba Shire Planning Scheme

Under the Mareeba Shire Planning Scheme, the subject site is included within the Rural Zone. Within this zone, the proposed Material Change of Use for 'Rural Workers Accommodation' is identified as being 'code-assessable' development.

4.4.1 Codes

The following codes are identified as being relevant to this development application:

- Rural Zone Code;
- Accommodation activities Code;
- Agricultural Land Overlay Code;
- Bushfire Hazard Overlay Code;
- Flood Hazard Overlay Code;
- Works, Services and Infrastructure Code; and
- Parking and Access Code.

A detailed assessment against the above codes is included as **Annexure 7** to this report.

5.0. Conclusion

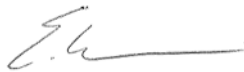
This submission supports an application by Romeo Farms Pty Ltd for a Development Permit for Material Change of Use for 'Rural Workers Accommodation' over land at 132 Fumar Road, Mutchilba, described as Lot 234 on HG279.

The submission has included an assessment of the proposal against the relevant statutory planning controls at both the Local and State level and included supporting information intended to address the likely concerns of Council and assessing authorities.

In summary, we submit that the proposed development is unlikely to have any significant impacts on the infrastructure, environment or community of the surrounding area that cannot be adequately controlled through the use of reasonable and relevant conditions.

We trust this information is sufficient for your purposes; however should you require any further details or clarification, please do not hesitate to contact the undersigned.

Yours Faithfully



Evan Yelavich
Director / Planner
Planning Plus QLD Pty Ltd

Annexure 1:	DA Form 1
Annexure 2:	Google Globe Aerial Image
Annexure 3:	SmartMap
Annexure 4:	Title Certificate
Annexure 5:	Proposal Plans
Annexure 6:	Gilboy Hydraulic Solutions Plans
Annexure 7:	Planning Scheme Code Assessment

Annexure 1: DA Form 1

DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Romeo Farms Pty Ltd C/- Planning Plus
Contact name (only applicable for companies)	Evan Yelavich
Postal address (P.O. Box or street address)	PO Box 399
Suburb	Redlynch
State	QLD
Postcode	4870
Country	
Contact number	(07) 40393409
Email address (non-mandatory)	Evan@planningplusqld.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application
 No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2, and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		132	Fumar Road	Mutchilba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4872	234	HG279	Mareeba Shire
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

In or adjacent to a water body or watercourse or in or above an aquifer
 Name of water body, watercourse or aquifer:

On strategic port land under the *Transport Infrastructure Act 1994*
 Lot on plan description of strategic port land:
 Name of port authority for the lot:

In a tidal area
 Name of local government for the tidal area (if applicable):
 Name of port authority for tidal area (if applicable):

On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*
 Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?
Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Rural Workers Accommodation (49 beds)
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.2) Provide details about the second development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.3) Additional aspects of development
<input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
<input checked="" type="checkbox"/> Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>
Rural workers accommodation	Rural workers accommodation	49 beds	800m ²

8.2) Does the proposed use involve the use of existing buildings on the premises?	
<input checked="" type="checkbox"/> Yes	
<input type="checkbox"/> No	

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	

9.2) What is the nature of the lot reconfiguration? <i>(tick all applicable boxes)</i>	
<input type="checkbox"/> Subdivision <i>(complete 10)</i>	<input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>
<input type="checkbox"/> Boundary realignment <i>(complete 12)</i>	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i>

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
<input type="checkbox"/> Yes – provide additional details below	
<input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:

Number of parts created			

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: _____		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots: _____
<input type="checkbox"/> No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ _____

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the *Planning Act 2016***:

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the **local government**:

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual

Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the *Transport Infrastructure Act 1994***:

Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)

Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)

Matters requiring referral to the **Chief Executive of the relevant port authority**:

Ports – Land within limits of another port (*below high-water mark*)

Matters requiring referral to the **Gold Coast Waterways Authority**:

Tidal works or work in a coastal management district (*in Gold Coast waters*)

Matters requiring referral to the **Queensland Fire and Emergency Service**:

Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

18) Has any referral agency provided a referral response for this development application?

Yes – referral response(s) received and listed below are attached to this development application

No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

Note: *By not agreeing to accept an information request I, the applicant, acknowledge:*

- *that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties*
- *Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.*

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

Yes – provide details below or include details in a schedule to this development application

No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
 No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
 No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 69: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
 No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

- Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- Yes – the relevant template is completed and attached to this development application
- No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
 No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title
- No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
 No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
 No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
 No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable

25) Applicant declaration

By making this development application, I declare that all information in this development application is true and correct

Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Annexure 2: Google Globe Aerial Image



Legend

Natural parcel boundary



Road parcel



Land parcel



Parcel

Easement parcel



Strata parcel



Volumetric parcel



Land parcel label

Road crossing



Bridge

Tunnel

Railway



Road

 Highway

 Main

 Local

 Private



Attribution

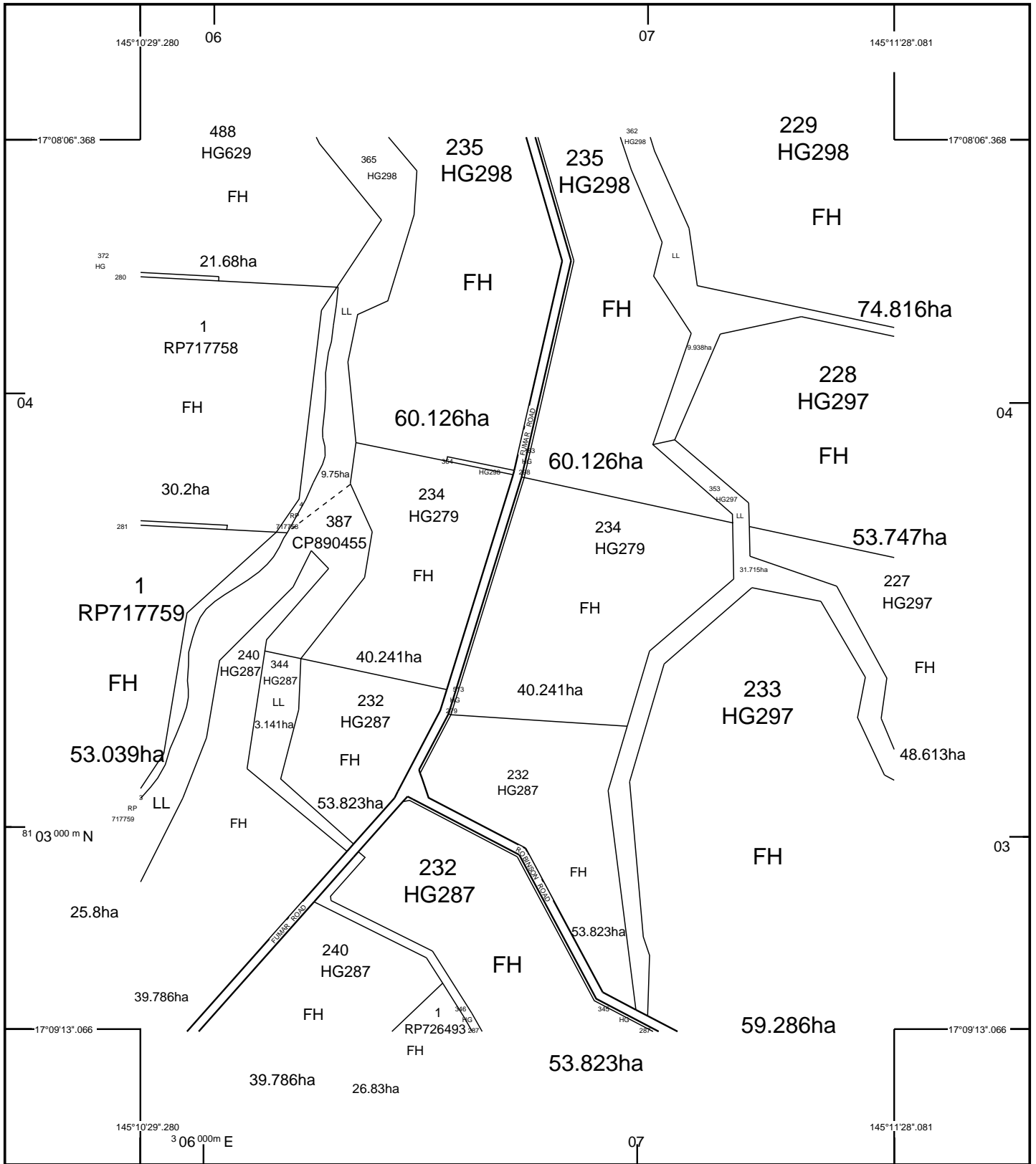
Maxar

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© State of Queensland (Department of Natural Resources, Mines and Energy) 2020

Annexure 3: SmartMap



STANDARD MAP NUMBER
7963-42412

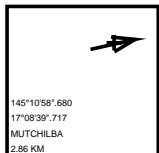


SmartMap

An External Product of
SmartMap Information Services

Based upon an extraction from the
Digital Cadastral Data Base

MAP WINDOW POSITION &
NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB	
Lot/Plan	234/HG279
Area/Volume	40.241ha
Tenure	FREEHOLD
Local Government	MAREEBA SHIRE
Locality	MUTCHILBA
Segment/Parcel	21461/64

CLIENT SERVICE STANDARDS

PRINTED (dd/mm/yyyy)	20/05/2021
DCDB	19/05/2021 (Lots with an area less than 1500m ² are not shown)
Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.	
Despite Department of Natural Resources, Mines and Energy (DNRME)'s best efforts, DNRME makes no representations or warranties in relation to the Information, and, to the extent permitted by law, exclude or limit all warranties relating to correctness, accuracy, reliability, completeness or currency and all liability for any direct, indirect and consequential costs, losses, damages and expenses incurred in any way (including but not limited to that arising from negligence) in connection with any use of or reliance on the Information	
For further information on SmartMap products visit https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps	



Queensland Government
(c) The State of Queensland,
(Department of
Natural Resources,
Mines and Energy) 2021.

Annexure 4: Title Certificate



Department of Resources
ABN 59 020 847 551

Title Reference: 20610090	Search Date: 17/05/2021 09:11
Date Title Created: 12/04/1961	Request No: 37225404
Creating Dealing:	

ESTATE AND LAND

Estate in Fee Simple

LOT 234 CROWN PLAN HG279
Local Government: MAREEBA

For exclusions / reservations for public purposes refer to Plan CP HG279

REGISTERED OWNER

Dealing No: 718171532 24/07/2017

ROMEO FARMS PTY LTD A.C.N. 610 279 386
UNDER INSTRUMENT 718171532

TRUSTEE

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 20610090 (POR 234)
2. MORTGAGE No 718171533 24/07/2017 at 16:11
WESTPAC BANKING CORPORATION A.B.N. 33 007 457 141

ADMINISTRATIVE ADVICES

NIL

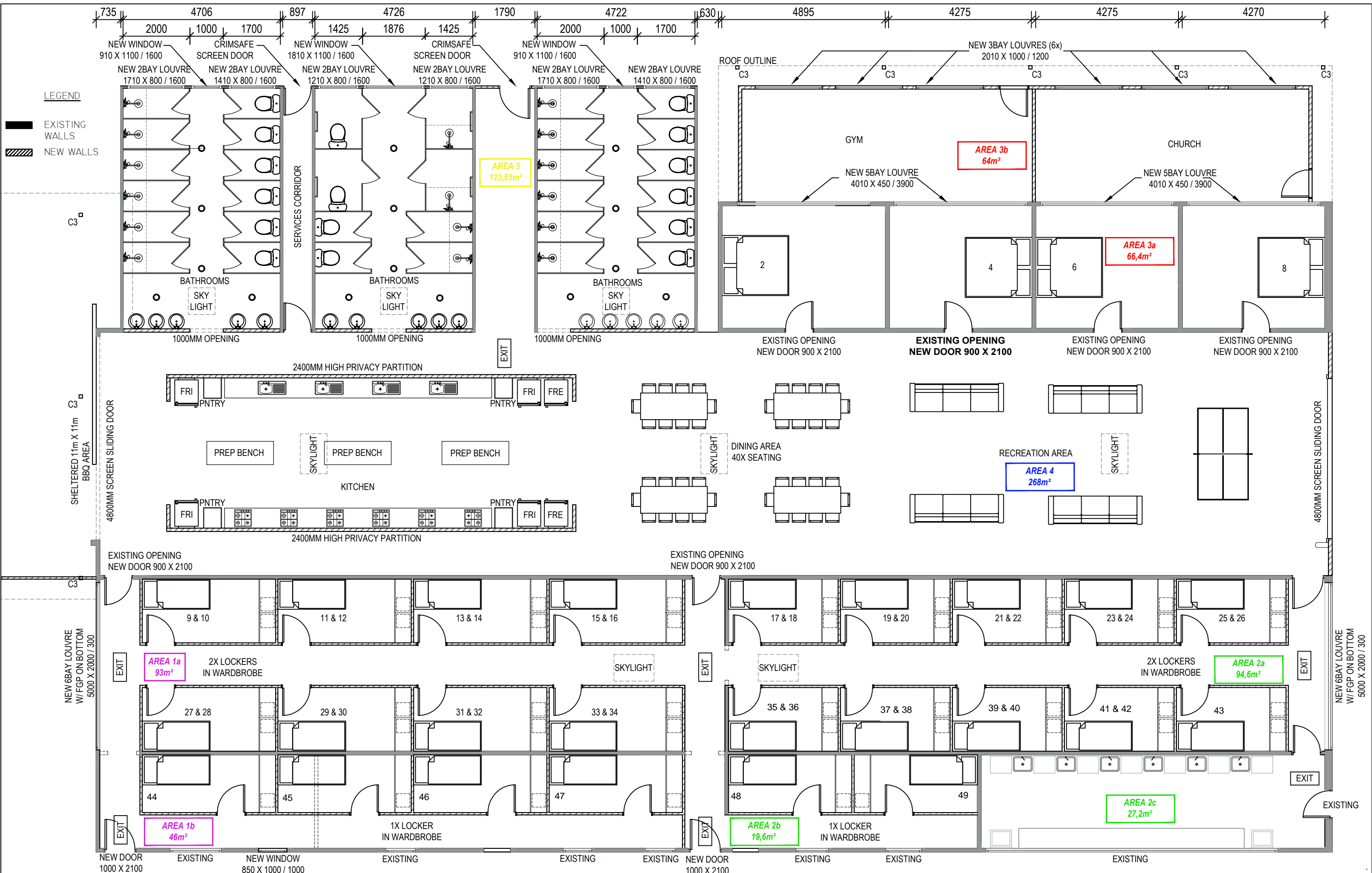
UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

Annexure 5: Proposal Plans



ABN 35144589426 MEDIUM RISE
 RPEQ 7279 MIEAust BSA 1211127
 PO BOX 952
 EDGE HILL
 CAIRNS QLD 4870
 TEL 40325335
 MOB 04 0417 1090
 FAX 40325431
 E-MAIL ADMIN@THIRKELL.COM.AU

REV	DESCRIPTION	DATE
A	BUILDING APPROVAL	22/04/2021
P1	PRELIMINARY	17/03/2021

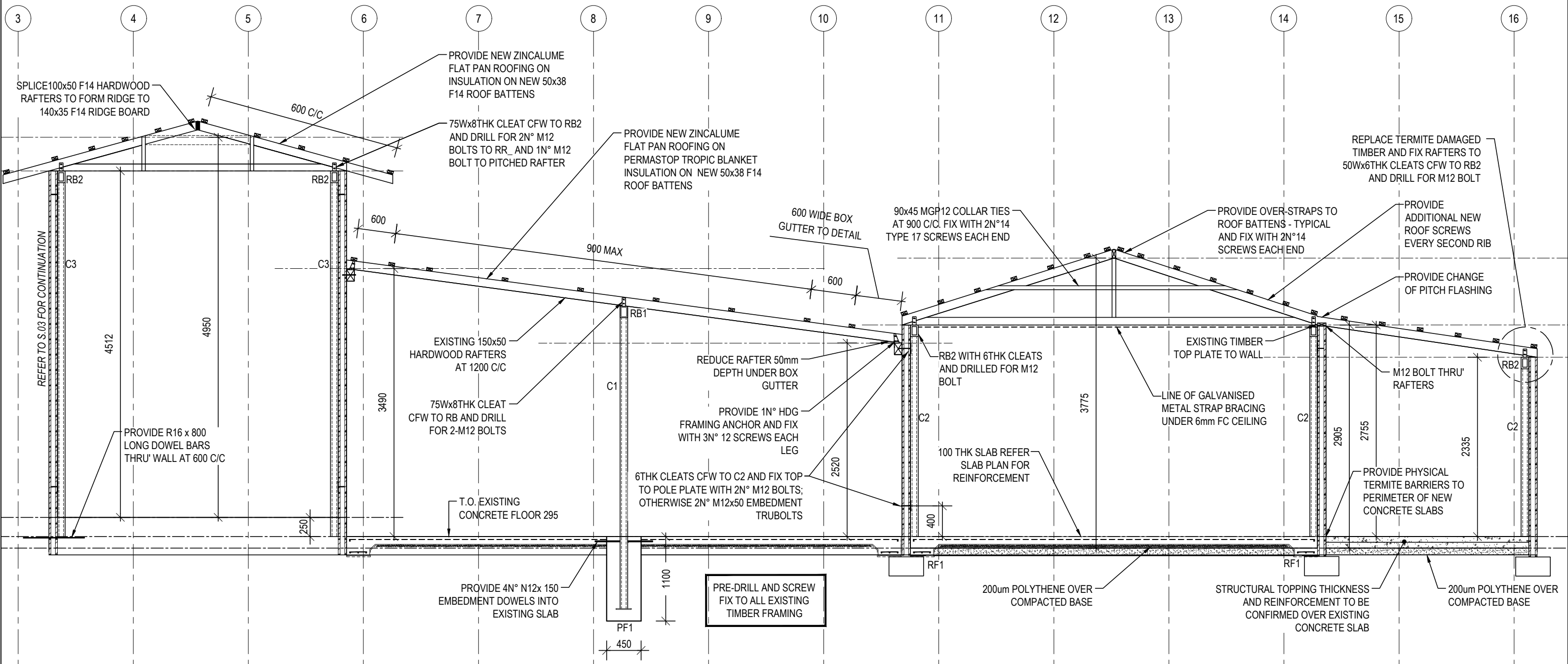
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PROJECT
 RENOVATION OF EXISTING BUILDING TO FARM WORKERS LODGE AT 130 - 132 FUMAR RD, MUTCHILBA QLD 4872

DRAWING TITLE
PROPOSED FLOOR PLAN

Scale 1:100 @ A3	Date APR 2021	Drawn RB/ML	Checked GT
Project No. 21-016	Dwg. No. BD.02	Rev A	



SECTION - A
SCALE 1:50



REDGATE BUILDING SOLUTIONS PL
ABN 35144589426
RPEQ 7279 MIEAust CP Eng NER
BSA 1211127 (med-rise)
PO BOX 952, EDGE HILL
CAIRNS QLD 4870
TEL (07) 40325335
E-MAIL ADMIN@THIRKELL.COM.AU

REV	DESCRIPTION	DATE
P1	PRELIMINARY - CLIENT REVIEW	01/04/2021

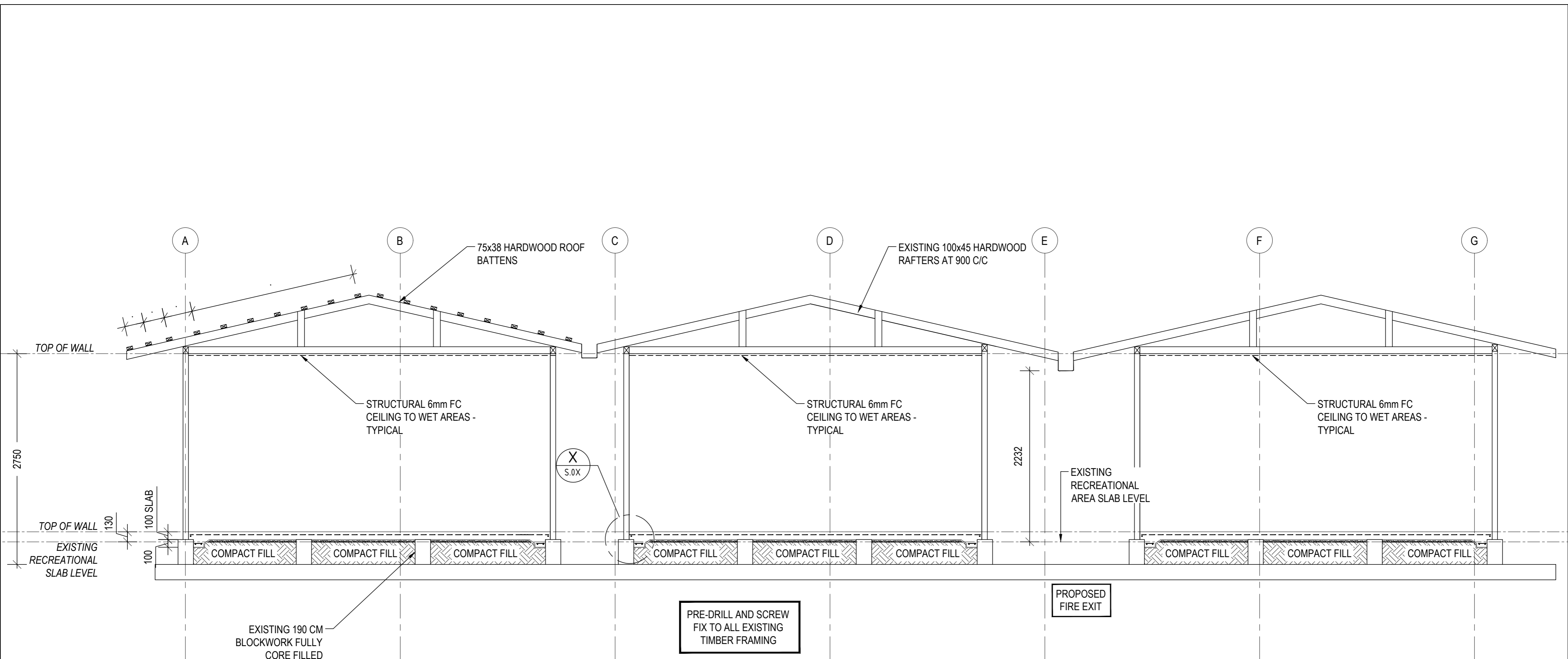
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PROJECT
RENOVATION OF EXISTING BUILDING TO FARM WORKERS LODGE AT 130 - 132 FUMAR RD, MUTCHILBA QLD 4872

DRAWING TITLE
SECTION - A

Scale AS SHOWN @A3	Date MAR 2021	Drawn CG	Checked
Project No. 21-016	Dwg. No. S.04	Rev P1	



SECTION - B
SCALE 1:50



REDGATE BUILDING SOLUTIONS PL
ABN 35144589426
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TEL (07) 40325335
E-MAIL ADMIN@THIRKELL.COM.AU

REV	DESCRIPTION	DATE
A	FOR BUILDING APPROVAL	01/04/2021
P1	PRELIMINARY - CLIENT REVIEW	01/04/2021

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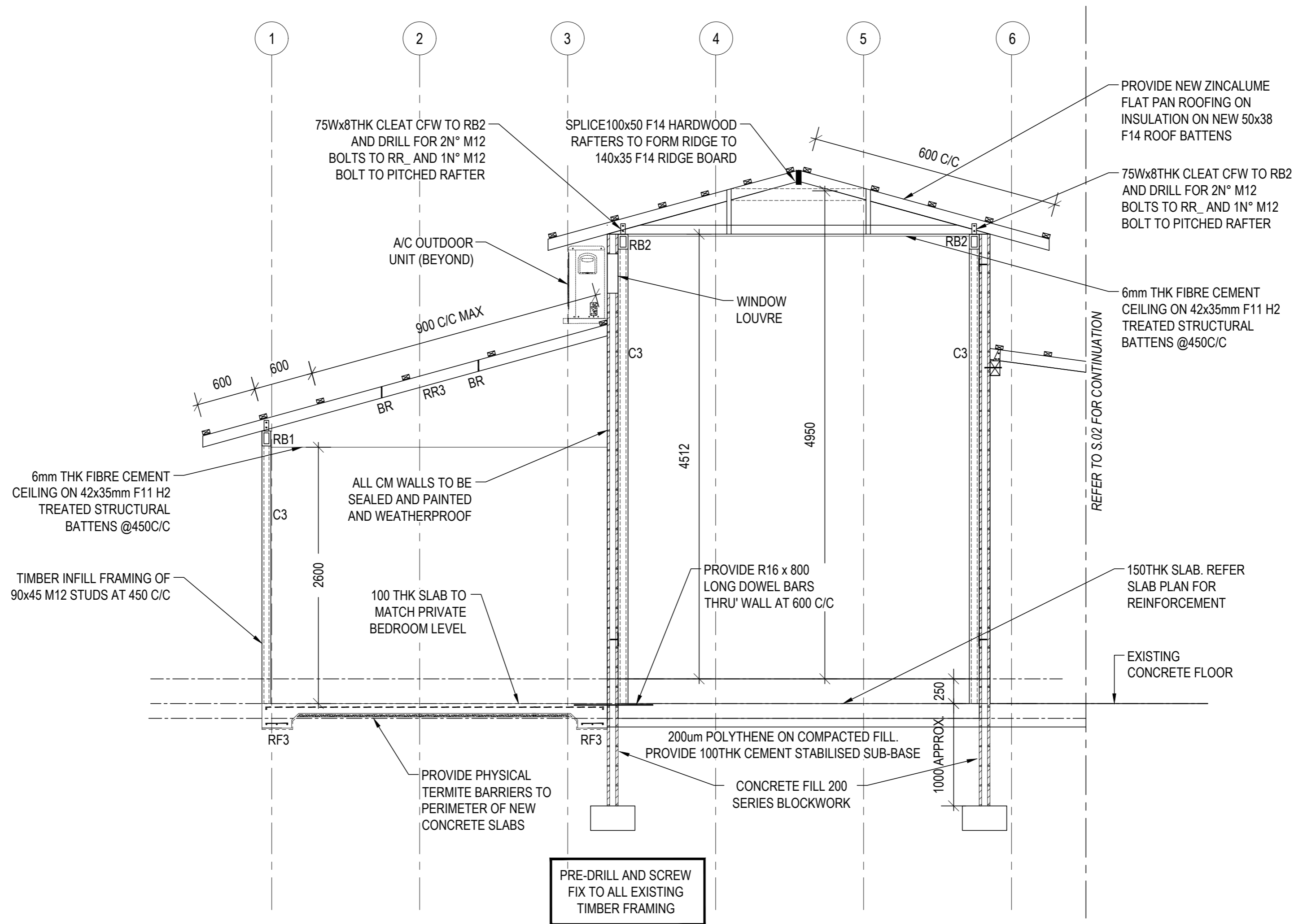
PROJECT
RENOVATION OF EXISTING BUILDING TO FARM WORKERS LODGE AT 130 - 132 FUMAR RD, MUTCHILBA QLD 4872

DRAWING TITLE
SECTION - B

Scale 1:50 @A3	Date MAR 2021	Drawn CG	Checked GT
Project No. 21-016		Dwg. No. S.05	Rev A

LEGEND

- C1: 100x4 C350 SHS POST
- C2: 75x4 C350 SHS POST
- C3: 89x4 C350 SHS POST
- RB1: 200x100x4 C350 RHS ROOF BEAM
- RB2: 125x75x4 C350 RHS ROOF BEAM
- RB3: 150x100x4 C350 RHS ROOF BEAM
- RR3: 100C19 RAFTERS WITH 2 ROWS OF BRIDGING



SECTION - C
SCALE 1:50



REDGATE BUILDING SOLUTIONS PL
ABN 35144589426
RPEQ 7279 MIEAust CP Eng NER
BSA 1211127 (med-rise)
PO BOX 952, EDGE HILL
CAIRNS QLD 4870
TEL (07) 40325335
E-MAIL ADMIN@THIRKELL.COM.AU

REV	DESCRIPTION	DATE
A	FOR BUILDING APPROVAL	01/04/2021
P1	PRELIMINARY - CLIENT REVIEW	01/04/2021

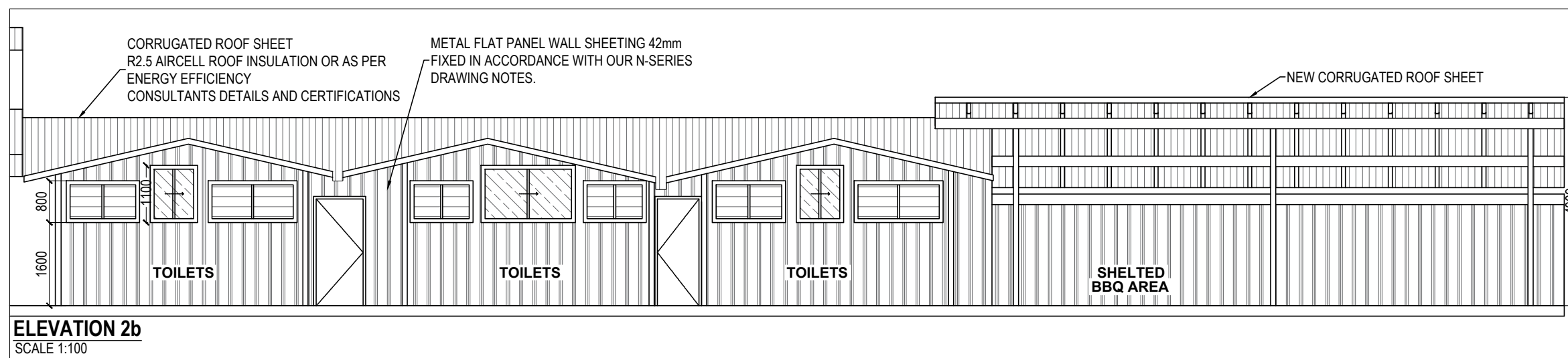
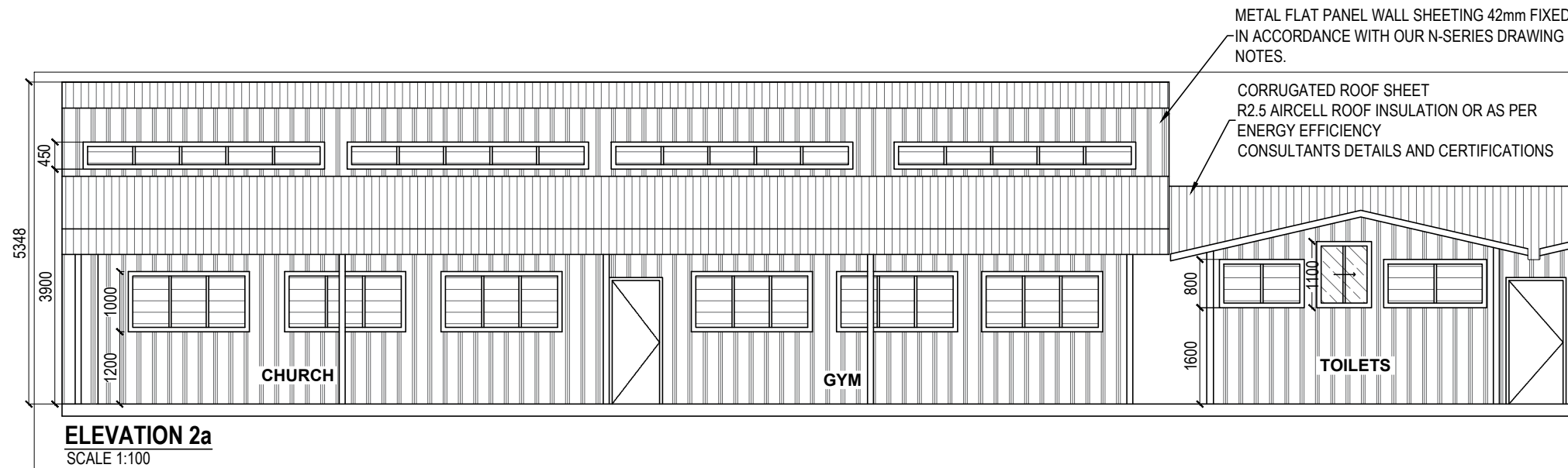
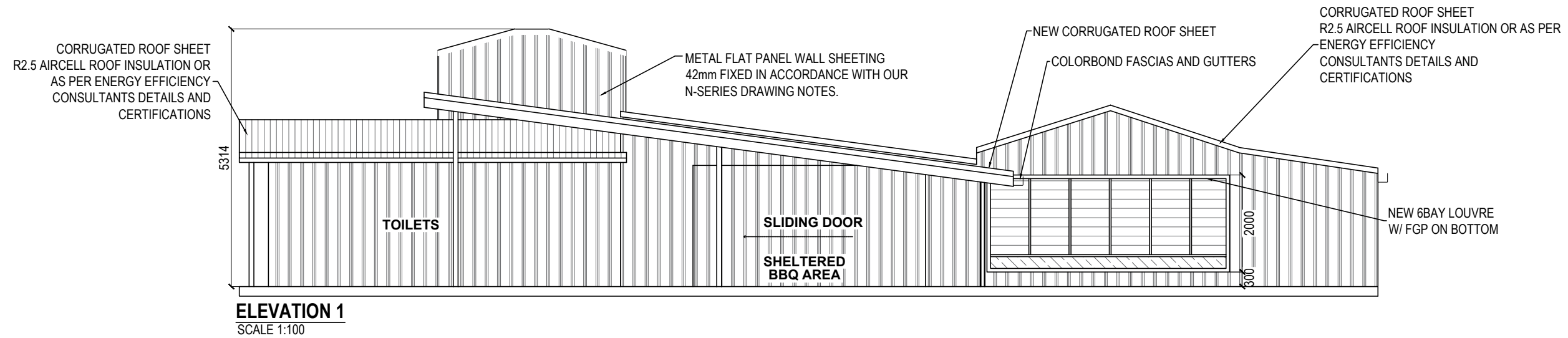
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PROJECT
RENOVATION OF EXISTING BUILDING TO FARM WORKERS LODGE AT 130 - 132 FUMAR RD, MUTCHILBA QLD 4872

DRAWING TITLE
SECTION - C

Scale	Date	Drawn	Checked
AS SHOWN @A3	MAR 2021	CG	GT
Project No.	Dwg. No.	Rev	
21-016	S.06	A	



ABN 35144589426 MEDIUM RISE
RPEQ 7279 MIEAust BSA 1211127
PO BOX 952
EDGE HILL
CAIRNS QLD 4870
TEL 40325335
MOB 04 0417 1090
FAX 40325431
E-MAIL ADMIN@THIRKELL.COM.AU

REV	DESCRIPTION	DATE
B	BUILDING APPROVAL	22/04/2021
A	BUILDING APPROVAL	14/04/2021

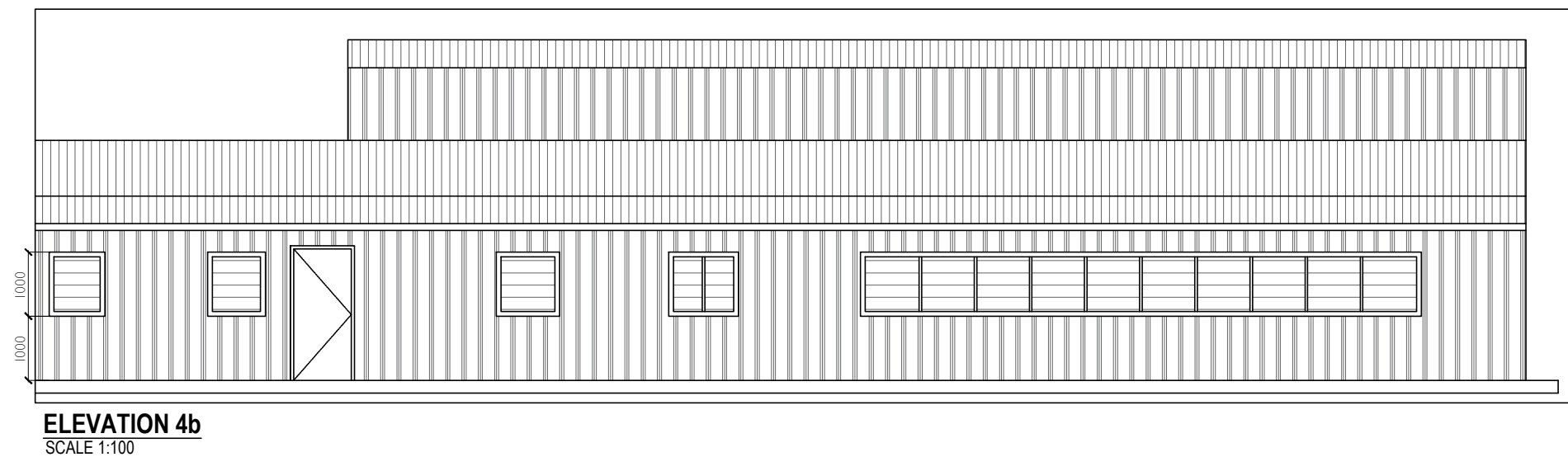
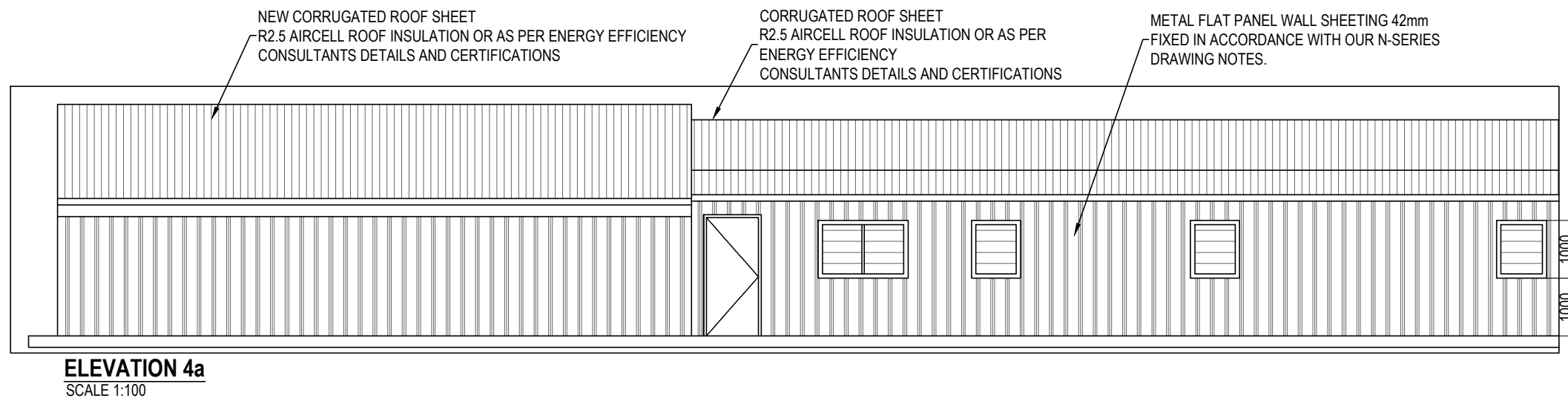
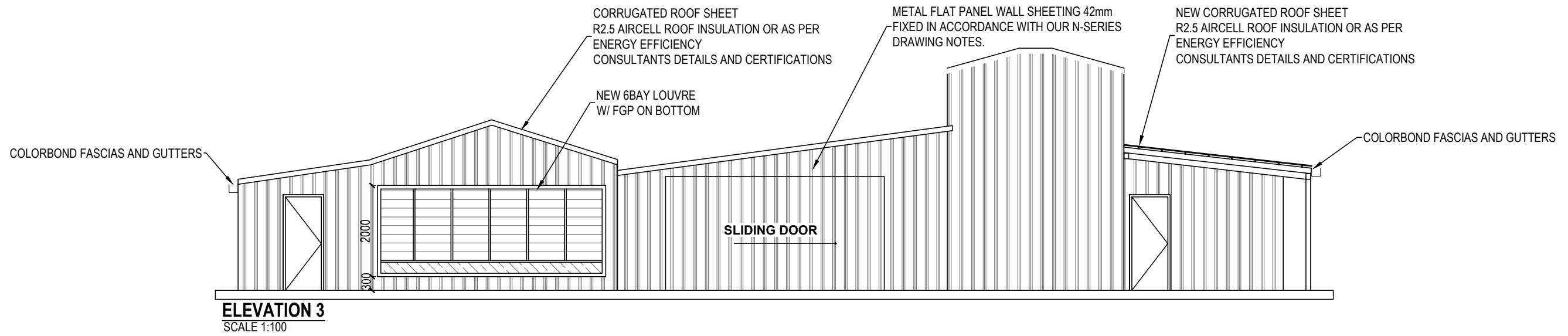
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PROJECT
RENOVATION OF EXISTING BUILDING TO FARM WORKERS LODGE AT 130 - 132 FUMAR RD, MUTCHILBA QLD 4872

DRAWING TITLE
ELEVATIONS

Scale	Date	Drawn	Checked
1:100 @ A3	APR 2021	RB	GT
Project No.	Dwg. No.	Rev	
21-016	S.09	B	



REV	DESCRIPTION	DATE
B	BUILDING APPROVAL	22/04/2021
A	BUILDING APPROVAL	14/04/2021

CLIENT	ROMEO'S BEST FARMS
PROJECT	RENOVATION OF EXISTING BUILDING TO FARM WORKERS LODGE AT 130 - 132 FUMAR RD, MUTCHILBA QLD 4872
DRAWING TITLE	ELEVATIONS
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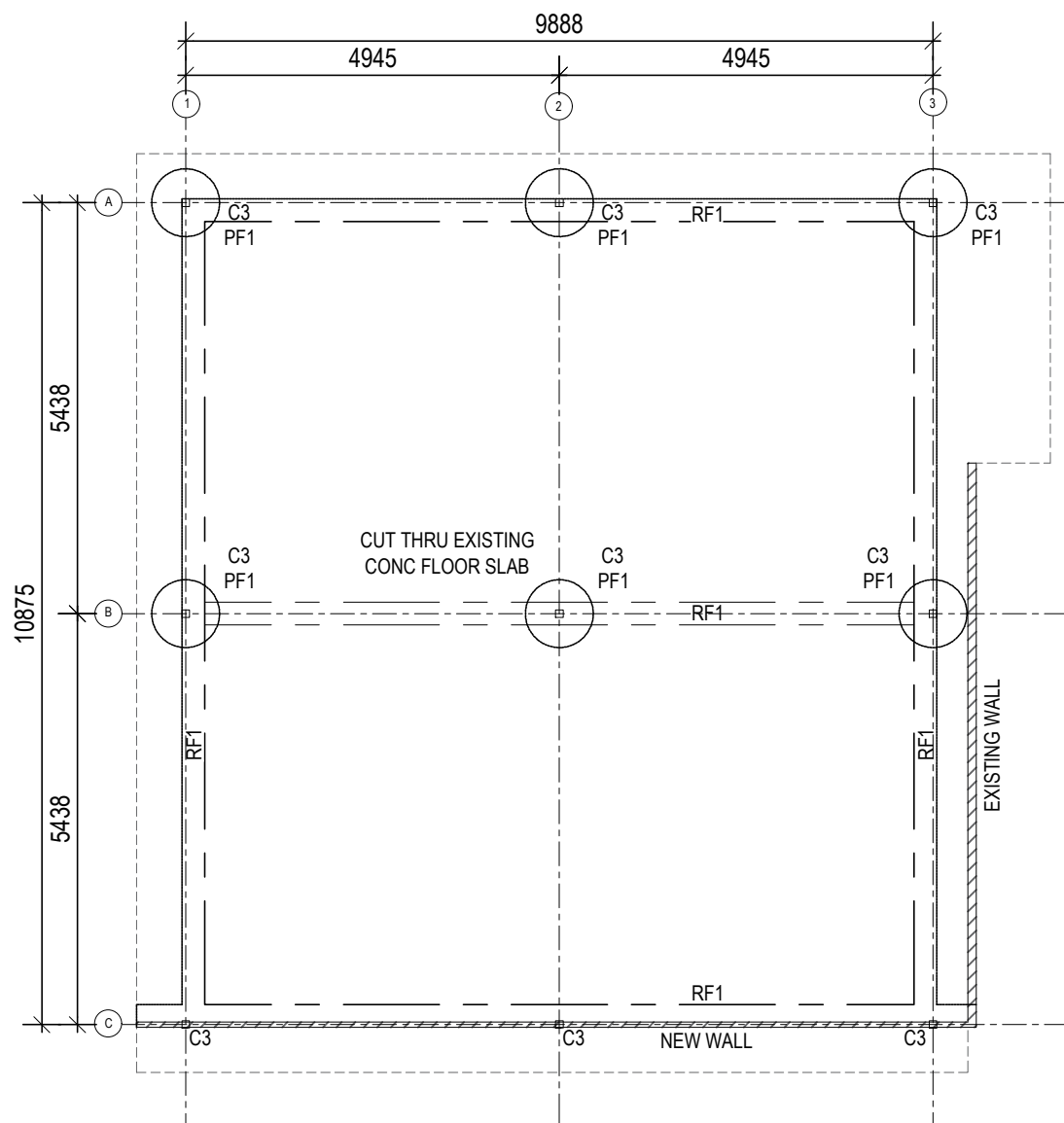
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Date	APR 2021
Drawn	RB
Checked	GT
Project No.	21-016
Dwg. No.	S.10
Rev	B

LEGEND

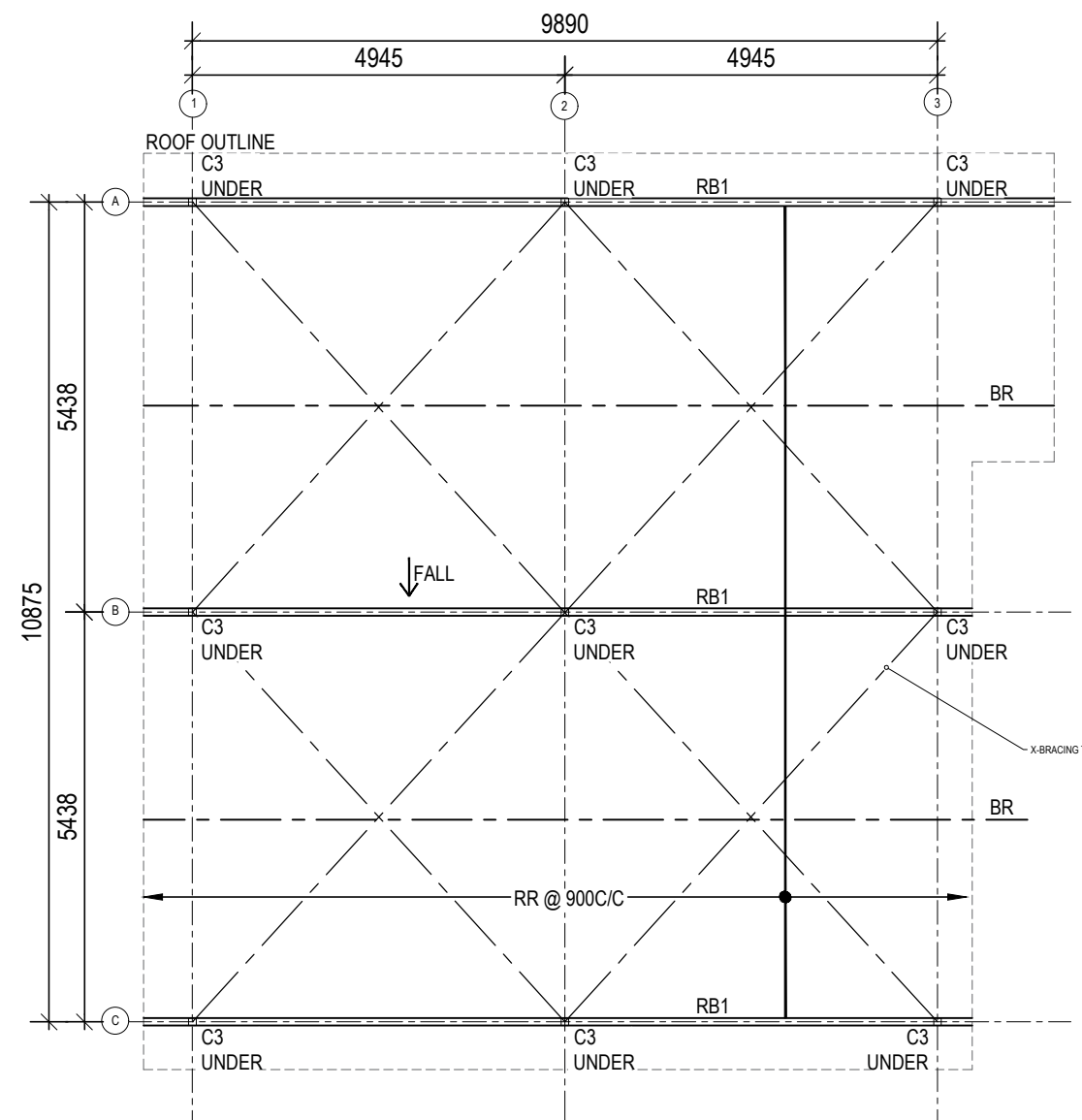
- C3: 100 x 4 C350 RHS
- RB1: 200x100x4 RHS
- RR: 200C15 ROOF RAFTER
W/ 1 ROW OF BRIDGING
- BR: BRIDGING
- PF1: 450ØX600 DP PIER FOOTING
- RF1: 300x300x600 DP FOOTING

NOTE:

ALL DIMENSIONS MUST BE CONFIRMED ON SITE BEFORE ORDERING MATERIALS OR THE COMMENCEMENT OF CONSTRUCTION.



BBQ AREA FOOTING + COLUMNS PLAN
SCALE 1:100



BBQ AREA ROOF FRAMING PLAN
SCALE 1:100



ABN 35144589426 MEDIUM RISE
RPEQ 7279 MIEAust BSA 1211127
PO BOX 952
EDGE HILL
CAIRNS QLD 4870
TEL 40325335
MOB 04 0417 1090
FAX 40325431
E-MAIL ADMIN@THIRKELL.COM.AU

REV	DESCRIPTION	DATE
B	BUILDING APPROVAL	22/04/2021
A	BUILDING APPROVAL	14/04/2021

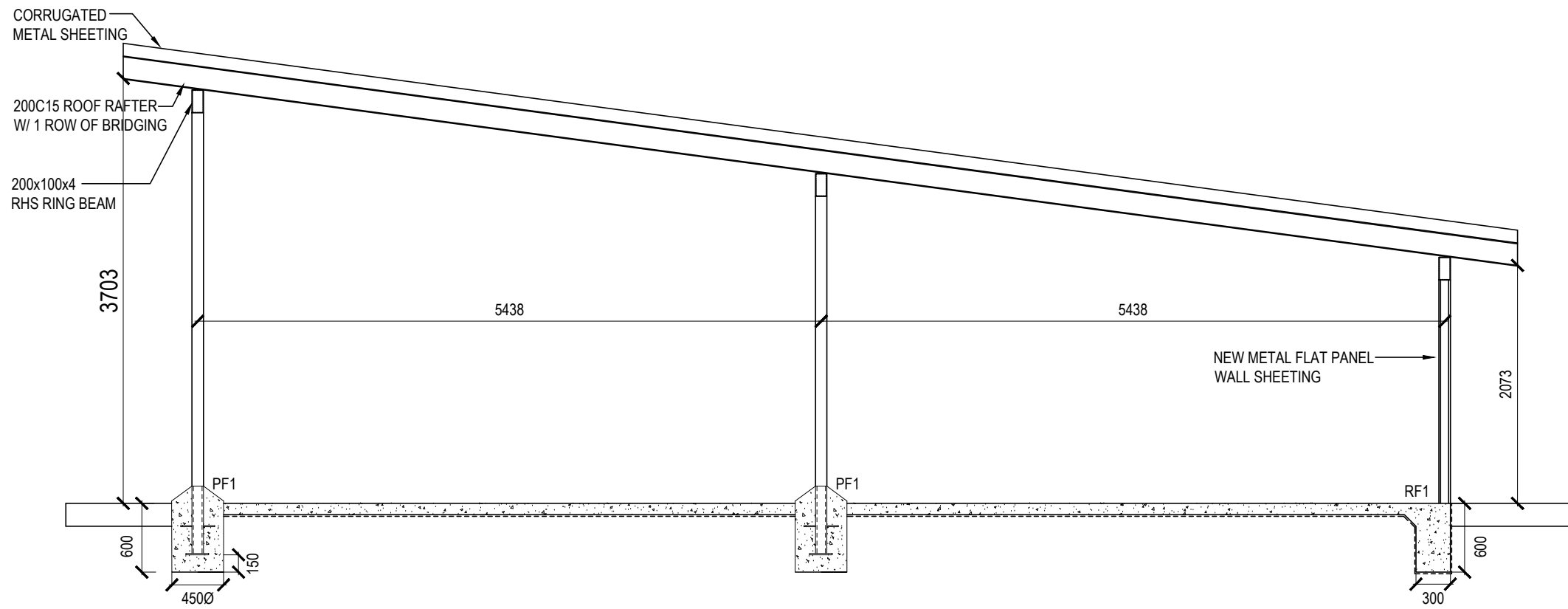
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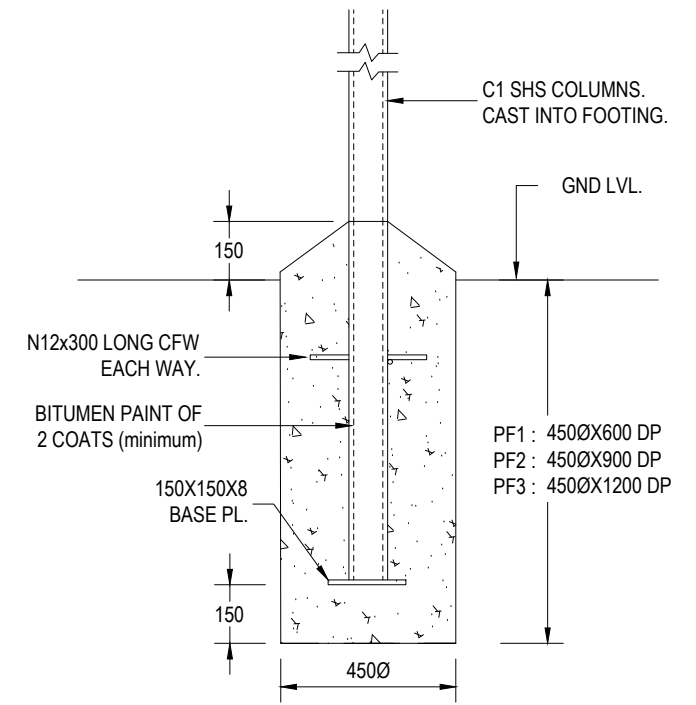
PROJECT
RENOVATION OF EXISTING BUILDING TO FARM WORKERS LODGE AT 130 - 132 FUMAR RD, MUTCHILBA QLD 4872

DRAWING TITLE
FOOTINGS AND ROOF FRAMING PLANS

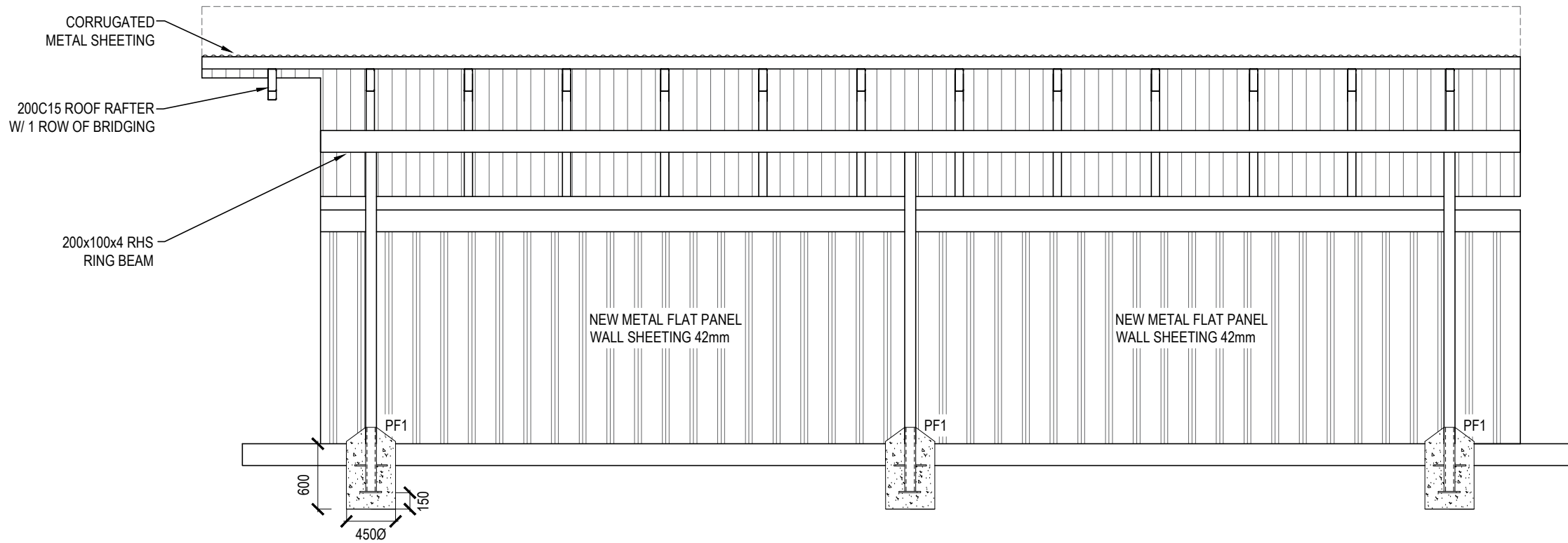
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Project No. 21-016	Dwg. No. S.11	Rev B	



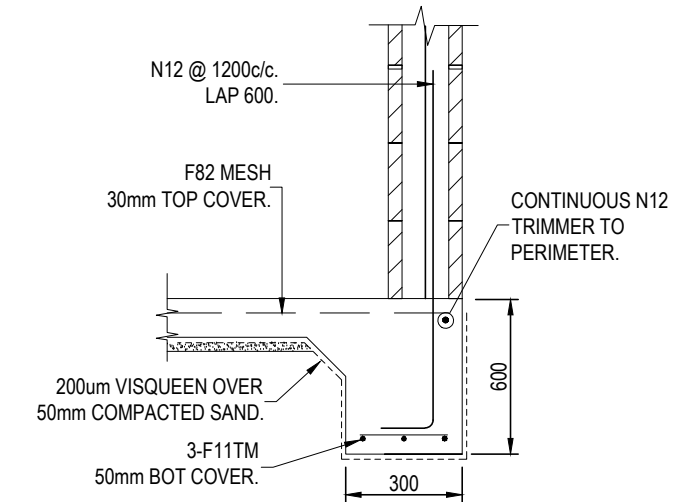
SECTION A - BBQ AREA
SCALE 1:50



PF1 - DETAIL
SCALE 1:20



SECTION B - BBQ AREA
SCALE 1:50



RF1 - DETAIL
SCALE 1:20



ABN 35144589426 MEDIUM RISE
RPEQ 7279 MIEAust BSA 1211127
PO BOX 952
EDGE HILL
CAIRNS QLD 4870
TEL 40325335
MOB 04 0417 1090
FAX 40325431
E-MAIL ADMIN@THIRKELL.COM.AU

REV	DESCRIPTION	DATE
A	BUILDING APPROVAL	22/04/2021

CLIENT
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PROJECT
RENOVATION OF EXISTING BUILDING TO FARM WORKERS LODGE AT 130 - 132 FUMAR RD, MUTCHILBA QLD 4872

DRAWING TITLE
BBQ AREA - SECTIONS & DETAILS

Scale	Date	Drawn	Checked
AS SHOWN @ A3	APR 2021	RB	GT
Project No.	Dwg. No.	Rev	
21-016	S.12	A	

Annexure 6: Gilboy Hydraulic Solutions Plans



GILBOY HYDRAULIC SOLUTIONS

GJ & TL GILBOY PTY LTD / ACN: 105 215 432 / ABN: 85 105 215 432

4/131 Scott Street, Bungalow.
PO Box 857N, North Cairns, 4870
Phone: (07) 4051 5116 Fax: (07) 4051 5016 Mobile: 0439 664623
Email: greg@gilboy.com.au

18th May 2021

Romeos Best Farms – Farm Workers Lodge
C/- APL Plumbing & Tanks
18 Raynolds Street,
Mareeba, QLD, 4880

Attention: Mr & Mrs. Fouche

LOT 234 ON HG279 **WASTEWATER DISPOSAL**

Attached please find a copy of our 'On-Site Wastewater Facility Report,' dated 18/05/2021, for the above property, for your information and submission to Mareeba Shire Council for approval.

The findings from this report and the results from the Dirt Professionals percolation and soil texture tests have proven that an Advanced Enviro-Septic (AES) system can be utilized for the disposal of blackwater on this site, along with a separate conventional bed greywater use facility for the disposal of the greywater generated from the proposed development.

In order to ensure that the daily peak design capacity for sewerage treatment works for the site remains under 21 equivalent persons (EP), it is imperative to separate Greywater from Blackwater for the proposed development.

The septic tank treatment of blackwater and AES system as detailed on drawing No.204281 – HS001, will provide the required treatment for the total blackwater generated from the proposed workers accommodation and complies with the current codes and regulations.

The conventional bed greywater use facility as detailed on drawing No.204281 – HS001, will provide the required treatment for the total greywater generated from the proposed workers accommodation and complies with the current codes and regulations.

It is a requirement under the design parameters for a grease interceptor trap to be fitted to the waste discharge line from the kitchen sink to extend the longevity of the greywater disposal system.

Results of our calculations for sizing of disposal areas using Australian Standard 1547:2012 equations, are attached for your information. Together with the Dirt Professionals report number **XXXXXXX** for information and identification of the soil category, design loading rate and design irrigation rate.

Prior to any of the works being carried out, notification and approval is required by the Mareeba Shire Council Plumbing and/or Engineering Department.

Should you require further information or clarification on this matter, please do not hesitate to contact our office in Cairns on 4051 5116.

Yours faithfully
GILBOY HYDRAULIC SOLUTIONS

.....
GREGORY J. GILBOY

"Always the BEST Option" until site and soil conditions rule it out.

Site Address	132 Fumar Road, Mutchilba	State	QLD	Post Code	4872
Client Name	Romeos Best Farms			Date of Site Visit	5/5/21
Designers Name	- Gilboy Hydraulic Solutions	Designers Ph Number	07 4051 5116	Designers Lic Number (as ORCC)	48859
Plumber Name		Plumber Ph Number		Plumb / Drainer Lic Number	p 10397
Council Area	Mareeba Shire Council	Designers AES Cert Number	744	Date	

This Calculator is a guide only, receiving soil classification, surface water, water tables and all other site constraints addressed by the qualified designer.

System Designers site and soil calculation data entry	IMPORTANT NOTES
meter loading rate, "30" for Advanced Secondary or "38" Secondary	38 >> <i>This design is for a SECONDARY system.</i>
Is this a new installation Y or N	y >> Minimum single vent size is 80mm or 2 x 50mm house vents
Number of person	50 >> a septic tank outlet filter is NOT RECOMMENDED
Daily Design Flow Allowance Litre/Person/Day	50
Number of rows required to suit site constraints	6 >> Longer AES runs are better than multiple short runs.
Soil Category as established by site and soil evaluation. CATEGORY	4 >> Category may require design considerations. Ref AS1547
Design Loading Rate based on site & soil evaluation DLR (mm/day)	20 >> Soil conditioning may be necessary. Ref AS1547 & Comments.
Bore log depth below system Basal area	600 >> Min depth below basal area is 600 mm to establish water table or re
Enter System footprint Slope in % for standard AES systems to calculate	2 >> Some Councils have minimum falls to Land application areas ?
Is this design a gravity system with no outlet filter? Y or N	N >> A HIGH and LOW vent are required on this AES system as well as a velocity diffuser

COMMENTS :- "The outcome must be important to everyone."

- Ripping of receiving surface is required in clay soil structures in Cat 4,5,6. In addition refer to AS 1547. Always excavate and rip parallel to the site slope/AES pipe
- Specialist soils advice and special design techniques will be required for clay dominated soil having dispersive or shrink/swell behaviour. Refer AS1547
- Designers need to be familiar with special requirements of Local Authorities. IE - Minimum falls from Septic tank outlets to Land application areas. etc
- Plumbers are reminded that good construction techniques as per AS1547 are especially important in these soil types. Refer AS1547 & AES installation Instructions

AES System Calculator Outcomes			AES dimensions		
Total System load - litres / day (Q).	2500	l/d		AES System	System Extension
Min Length of AES pipe rows to treat loading	11.0	lm	Lth m : (L)	12.6	12.6
Number of FULL AES Pipe lengths per row	4	lths	Width m:(W)	3.15	6.77
Total Capacity of AES System pipe in Litres	5088	ltr.	Sand Depth :	0.75	0.15
			Area m2	39.7	85.3

DO YOU WISH TO USE CUT LENGTHS OF PIPE IN THIS DESIGN? (ENTER Y)			Y
IF YOU WISH TO USE A TRENCH EXTENSION DESIGN OPTION ENTER "Y"		Y	Enter Custom Width in metre
AES INFILTRATION FOOT PRINT AREA - $L = Q / (DLR \times W)$	Length	Width	Minimum AES foot print required .
<i>for this Basic Serial design is</i>	12.6	x 9.92	= 125.0 m2 total

Code	AES System Bill of Materials.	Chankar Environmental Use Only
AES-PIPE	AES 3 mtr Lths required	24 lths
AESC	AESC Couplings required	18 ea
AESO	AESO Offset adaptors	12 ea
AESODV	AES Oxgen demand vent	2 ea
AES-IPB	AES 100mm Inspection point base	2 ea
AES Equ	AES Speed Flow Equaliser	ea
AES DESO	Double Offset Adaptors	ea
	TOTAL SYSTEM SAND REQUIRED (Guide Only)	51 m3

PLEASE email your AES CALC and Drawings to DESIGNREVIEW@ENVIRO-SEPTIC.COM.AU

Digitally signed by Steve Dennis
 DN: cn=Steve Dennis,
 o=Chankar Environmental,
 ou=Design Review,
 email=steve@enviro-septic.com.au,
 c=US
 Date: 2021.05.18 12:20:44 +10'00'
 Designreview@enviro-septic.com.au

> The AES Calculator is a design aid to allow checking of the AES components and configuration and is a guide only. Site and soil conditions referencing the AS 1547 standard are calculated and designed by a Qualified Designer.

> Chankar Environmental has no responsibility for the soil evaluation, loading calculations or DLR entered by the designer for this calculator.

> AES pipes can be cut to length on site. They are supplied in 3 meter lths only.

DISPOSAL SYSTEMS for WASTEWATER from DOMESTIC PREMISES A.S. 1547-2012
SIZING OF DISPOSAL AREA CALCULATIONS

(a) GREYWATER CONVENTIONAL BED

$$L = Q / (\text{DLR} \times W)$$

L = Trench length in metres

Q = Daily flow in litres per day

DLR = Design loading rate in mm/day

W = Width of trench in meters (1m minimum)

$$L = 50 \text{ persons} \times 90 \text{ litres} / (6 \times 1)$$

$$L = 4,500 / 6$$

$$L = 750\text{m of } 1.0\text{m wide conventional bed. (750m}^2)$$

(b) LENGTH OF CONVENTIONAL BED

$$L = 750\text{m} / W$$

L = trench length in metres (20m max)

W = Width of trench in meters

$$L = 750 / 4.2$$

$$L = 187.5\text{m of } 4,000\text{mm wide conventional bed}$$

(c) CONCLUSION

Area is available on-site for this amount of conventional bed plus 100% replacement.

Adopt 9x 4.0m wide x 21m long, totaling 189m in length (756m²)

DISPOSAL SYSTEMS for EFFLUENT from DOMESTIC PREMISES A.S. 1547-2012
SIZING OF DISPOSAL AREA CALCULATIONS

(a) IRRIGATION AREA

$$A_i = Q / \text{DIR}$$

A_i = irrigation area required

Q = Daily flow in litres per day

DIR = design irrigation rate in millimetres per day

$$A_i = 4,500 / 3$$

$A_i = 1,500\text{m}^2$ of landscaped irrigation area.

(b) CONCLUSION

Area is available on-site for this amount of irrigation plus 100% replacement.

Minimum 1,500m of 1.0m wide sub-surface irrigation totaling 1,500m².

All wastewater treated to primary stage must be disposed of by conventional bed, absorption or evapotranspiration means. Only secondary or advanced secondary stage treatment is to be used for sub-surface irrigation purposes.

PROJECT RENOVATION OF FARM WORKERS LODGE, 132 FUMAR ROAD, MUTCHILBA, QLD

HYDRAULIC SERVICES

DRAWING INDEX:

- 204281-HS001 COVER SHEET, NOTES, LEGEND & DETAILS
- 204281-HS002 SITE PLAN - ONSITE WASTEWATER DISPOSAL SYSTEMS
- 204281-HS003 SANITARY PLUMBING & DRAINAGE, WATER SERVICES RETICULATION

LEGEND:

PIPEWORK:

	BLACKWATER DRAINAGE
	GREYWATER DRAINAGE
	COLD WATER
	HOT WATER
	TEPID WATER
	VENT
	TRADE WASTE
	BOREWATER / FARM WATER SUPPLY
	RISING MAIN

SYMBOLS:

	CHECK VALVE
	DROPPER
	ARTICULATED JOINT
	FLOOR WASTE GULLY
	FIRE HOSE REEL
	FIXTURE OUTLET
	SEPTIC TANK
	GREASE INTERCEPTOR TRAP
	HOSE COCK
	INSPECTION OPENING
	INSPECTION OPENING TO SURFACE
	OVERFLOW RELIEF/DISCONNECTER GULLY
	REDUCED PRESSURE ZONE DEVICE
	RISER
	STACK / DOWNPIPE
	STOP VALVE
	STOP VALVE IN BOX IN GROUND
	T DROPPER
	TAPWARE OUTLET
	TEMPERING VALVE
	THERMOSTATIC MIXING VALVE
	TUNDISH
	WATER METER
	PUMP
	WATER FILTER
	U.V. FILTER

ABBREVIATIONS:

AC	AIR CONDITIONING
AFGL	ABOVE FINISHED GROUND LEVEL
AJ	ARTICULATED JOINT
AWC	AMBULANT WATER CLOSET
B	BASIN
CA	CEILING ABOVE
COM-MAIN	COMBINED MAIN (FHR & DOMESTIC)
CUP/B	CUPBOARD
CV	CHECK VALVE
CW	COLD WATER
DCV	DOUBLE CHECK VALVE
E/	EXISTING
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
FHR	FIRE HOSE REEL
FU	FIXTURE UNIT
FWG	FLOOR WASTE GULLY
HC	HOSE COCK
HDPE	HIGH DENSITY POLYETHYLENE
HW	HOT WATER
HWU	HOT WATER UNIT
IO	INSPECTION OPENING
IOS	INSPECTION OPENING TO SURFACE
NTS	NOT TO SCALE
ORG	OVERFLOW RELIEF GULLY
P/B	TRAP BASIN
POLY	POLYETHYLENE
PVC	POLYVINYL CHLORIDE
RPZD	REDUCED PRESSURE ZONE DEVICE
S	SINK
SHR	SHOWER
S/TRAY	SAFE TRAY
SV	STOP VALVE
TD	TUNDISH
TMV	THERMOSTATIC MIXING VALVE
TR	TO REMAIN
TUB	LAUNDRY TUB
TV	TEMPERING VALVE
TW	TEPID WATER
U/B	UNDERBENCH
U/G	UNDERGROUND
U.V.	ULTRAVIOLET
UPVC	UNPLASTICIZED POLYVINYL CHLORIDE
VP	VENT PIPE
VPR	VENT PIPE RISER
WC	WATER CLOSET
WM	WASHING MACHINE

GENERAL NOTES

- ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE QUEENSLAND PLUMBING & DRAINAGE ACT 2018, NATIONAL CONSTRUCTION CODE (BCA), PLUMBING CODE OF AUSTRALIA (PCA), AS 2441, AS 2444, AS 2445, AS 1221, AS1547, AS 3500 PARTS 1,2&4, MAREEBA SHIRE COUNCIL & ALL OTHER RELEVANT AUSTRALIAN STANDARDS AND CODES.
- CONTRACTOR TO CHECK INTERPRETATION OF BYLAWS WITH COUNCIL.
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE ARCHITECTS, CIVIL, MECHANICAL, ELECTRICAL, STRUCTURAL ENGINEERS & LANDSCAPE CONSULTANTS DRAWINGS & SPECIFICATIONS.
- CONTRACTOR TO VERIFY ALL SURFACE LEVELS, INVERT LEVELS & COVER OVER WASTE DRAINAGE LINES ARE CORRECT & OBTAINABLE BEFORE COMMENCEMENT OF WORK ON SITE.
- LOCATIONS OF EXISTING SERVICES ON SITE ARE ONLY APPROXIMATE & HAVE NOT BEEN VERIFIED. THE CONTRACTOR SHALL VERIFY LOCATIONS OF SERVICES BEFORE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOT WORK NEAR THESE SERVICES WITHOUT THE PERSONAL SUPERVISION OR THE WRITTEN PERMISSION OF THE RELEVANT AUTHORITIES.
- CONCEAL ALL PIPEWORK WHERE POSSIBLE.
- ALL PIPES LAID UNDER GROUND IN LANDSCAPING TO BE MINIMUM DEPTH OF 300mm TO OBVERT LEVEL.
- WATER SERVICE PIPEWORK SIZES SHOWN AS NOMINAL BORE. ANY ALTERNATIVES USED MUST EQUAL OR EXCEED THOSE SHOWN.
- CONTRACTOR TO PROVIDE AS CONSTRUCTED DOCUMENTS TO THE PRINCIPAL CONTRACTOR ON COMPLETION OF THE CONTRACT, AS CONSTRUCTED DOCUMENTS TO BE AUTOCAD DWG FORMAT ON SHEET SIZES TO MATCH CONTRACT DOCUMENTS. CONTRACTOR TO PROVIDE OPERATION & MAINTENANCE MANUALS TO COVER ALL HYDRAULIC SERVICES ITEMS ON COMPLETION OF PROJECT IN SENICAL PDF DIGITAL FORMAT.
- THE CONTRACTOR SHALL ALLOW FOR THE SUPPLY OF ALL LABOUR, MATERIALS & PLANT NECESSARY FOR THE INSTALLATION, TESTING & COMMISSIONING OF THE WORKS AS DESCRIBED ON THE DRAWINGS & IN THE SPECIFICATION. THE WORKS SHALL BE COMPLETE WITH FULL ALLOWANCE FOR ALL MINOR & INCIDENTAL ITEMS REQUIRED THOUGH NOT SPECIFICALLY MENTIONED OR DETAILED. THE CONTRACTOR SHALL ALSO ALLOW FOR ALL WORK REQUIRED TO MAKE GOOD.
- ALL MATERIALS SHALL BE NEW, PROVEN IN SERVICE & SUITABLE FOR THE INTENDED PURPOSE.
- TESTING & COMMISSIONING SHALL BE CARRIED OUT PRIOR TO PRACTICAL COMPLETION TO CLEARLY DEMONSTRATE & RECORD THAT THE WORKS EFFICIENTLY MEET THE SPECIFIED PERFORMANCES & HAVE BEEN SUCCESSFULLY COMMISSIONED AS A COMPLETE & INTEGRATED INSTALLATION.
- REFER TO ARCHITECTURAL DRAWINGS & SPECIFICATION FOR DETAILS OF TYPES & FINISHES OF SANITARY, FIXTURES, FITTINGS, TAPWARE & THE LIKE.
- EXISTING REDUNDANT SERVICES & PIPEWORK SHALL BE BLANKED OFF & REMOVED WHERE PRACTICABLE. MAKE GOOD TO ALL SERVICES.
- PREVENT GALVANIC CORROSION FROM OCCURRING DUE TO THE USE & CONNECTION OF DISSIMILAR METALS. ELECTRICALLY INSULATE DISSIMILAR METALS BY MEANS OF: BITUMINISED FELT, RUBBER GASKET, TEFLON TAPE, INSULATING UNION OR OTHER EQUIVALENT MEANS SUITED FOR THE DUTY, MATERIAL & ENVIRONMENTAL CIRCUMSTANCE.
- DO NOT SCALE FROM DRAWINGS.

HOT & COLD WATER

- PIPES LOCATED IN MASONRY WALLS OR CONCRETE SLABS ARE TO BE CONDUITED IN ACCORDANCE WITH AS 3500.
- LOCATIONS OF CONTROL VALVES ARE SHOWN DIAGRAMMATICALLY ONLY. LOCATE ON SITE IN ACCESSIBLE POSITIONS IN ACCORDANCE WITH AS 3500.
- VALVES TO BE SUPPORTED BY METAL PIPEWORK, OR WHERE PLASTIC PIPE IS USED, SHALL BE FIRMLY BRACKETED AT THE VALVE TO PREVENT MOVEMENT.
- HOT & COLD WATER PIPEWORK IS SHOWN DIAGRAMMATICALLY ONLY.
- ALL HOT & COLD WATER LINES TO INDIVIDUAL FIXTURES TO BE MINIMUM 15mm NOMINAL BORE & 20mm NOMINAL BORE TO TWO OR MORE FIXTURES OR AS SHOWN ON THE DRAWINGS.
- MATERIALS:
 - COLD WATER MAINS: POLYETHYLENE PN20 PIPE & FITTINGS TO AS 4130 OR EQUAL.
 - COLD WATER SERVICE: CROSS LINKED POLYETHYLENE TO AS 2492 / COPPER TYPE 'B' TO AS 1432 OR EQUAL.
 - HOT WATER SERVICE: CROSS LINKED POLYETHYLENE TO AS 2492 / COPPER TYPE 'B' TO AS 1432 LAGGED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS & SPECIFICATIONS & LOCAL AUTHORITY REQUIREMENTS.
- HOT WATER SUPPLY FOR PERSONAL HYGIENE PURPOSES IS TO BE STORED AT A MINIMUM OF 60°C & SUPPLIED TO SANITARY OUTLETS USED PRIMARILY FOR PERSONAL HYGIENE PURPOSES AT TEMPERATURES THAT SHALL NOT EXCEED:
 - 45°C FOR CHILD CARE CENTRES, SCHOOLS, NURSING HOMES OR DISABLED FACILITIES, VIA THERMOSTATIC MIXING VALVES.
 - 50°C IN ALL OTHER BUILDING CLASSES 1-4, VIA A TEMPERING VALVE TO SUIT THE HOT WATER SYSTEM TYPE.
- HOT WATER UNITS TO BE CAPABLE OF ATTAINING & MAINTAINING TEMPERATURES IN EXCESS OF THOSE REQUIRED AT THEIR POINT OF USE & INSTALLED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS - CONTINUOUS TARIFF.
- ALL HC'S SHALL BE FITTED WITH APPROVED BACKFLOW PREVENTION DEVICES.

SANITARY PLUMBING & DRAINAGE

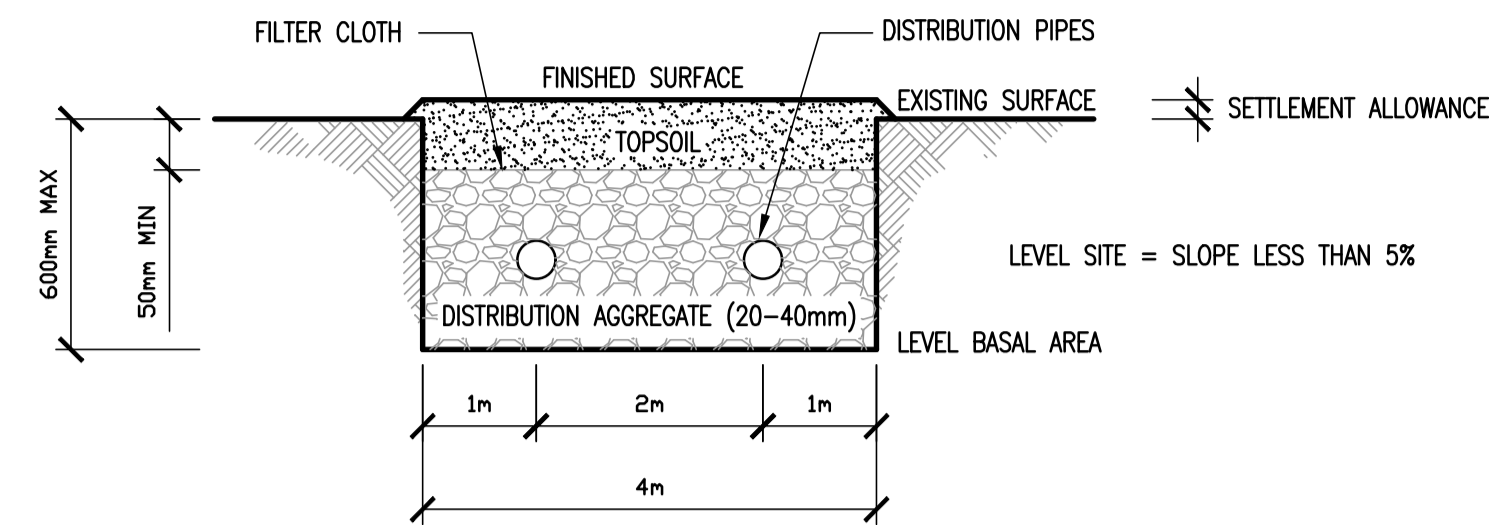
- ALL DRAINAGE SHALL BE 100mm DIA. UPVC RUN AT MINIMUM GRADE OF 1:60 U.N.O.
- ALL VENT PIPES TO TERMINATE IN ACCORDANCE WITH AS 3500.2 CLAUSE 6.9.4 WHERE NECESSARY OR AS DIRECTED.
- ALL I.O.'s UNDER CONCRETE TO BE TAKEN TO SURFACE LEVEL & FITTED WITH APPROVED BRASS SCREW CAP.
- ALL FWG'S SHALL HAVE MINIMUM 80mm DIA. RISER & ACCESSIBLE/REMOVABLE GRATE & BE OF A TYPE SUITABLE FOR THE ARCHITECTS/DESIGNERS NOMINATED FLOOR FINISH.
- FLOOR WASTE GULLIES RECEIVING DISCHARGES FROM TUBS OR WASHING MACHINES SHALL BE FITTED WITH AN APPROVED GRATE SEALING SYSTEM TO PREVENT FOAMING THROUGH FLOOR GRATES.
- ALL ORG RISERS SHALL EXTEND TO AN APPROVED REMOVABLE GRATE SET AT 150mm BELOW THE LOWEST FIXTURE CONNECTED TO THE DRAIN & BE 75mm ABOVE FINISHED GROUND LEVEL IN ACCORDANCE WITH AS 3500.2.
- WHERE PVC PIPES PENETRATE OR ARE BUILT INTO WALLS OR SLABS THE PIPES SHALL BE LAGGED WITH APPROVED MATERIAL IN ACCORDANCE WITH AS 3500.
- MAXIMUM DISTANCE OF UNVENTED BRANCH DRAIN TO FIXTURES, DC'S & ORG'S IS 10 METRES.
- MATERIALS:
 - WASTE & VENT PIPES & FITTINGS: UPVC CLASS 'DW' TO AS 1260 FITTED WITH FIRESTOP COLLARS AS REQUIRED.
 - HOUSE DRAINAGE: UPVC CLASS 'DW' TO AS 1260.
 - TRADE WASTE DRAINAGE: HIGH DENSITY POLYETHYLENE OR POLYPROPYLENE HIGH TEMPERATURE TO AS4401 & AS5065.
- ALL WC'S TO BE SCREW FIXED TO FLOOR WITH NYLON PLUGS & NON-CORROSIVE METAL SCREWS.
- ALL DISCHARGE PIPES RECEIVING CONDENSATE WASTE INCLUDING TRAPS SHALL BE INSULATED.
- WHERE REQUIRED:
 - HOT WATER UNITS TO BE LOCATED IN A NON-CORROSIVE SAFE TRAY WITH 50# WASTES IN ACCORDANCE WITH AS 3500.4 DISCHARGING AS SHOWN ON THE DRAWINGS, WITH SEPARATE RELIEF VALVE, TUNDISH IN ACCORDANCE WITH AS 3500.2.
 - ANY PIPE OR FITTING BUILT INTO A WALL OR FOOTING SHALL BE WRAPPED WITH A SUITABLE FLEXIBLE MATERIAL NOT LESS THAN 6mm THICK, OR PASS THROUGH A SLEEVE PROVIDING A CLEAR ANNUAL SPACE OF NOT LESS THAN 6mm RADIUS, TO PERMIT THE PIPE TO BE SEALED IN POSITION WITHOUT RESTRICTING ITS AXIAL MOVEMENT.
- WET AREAS REQUIRING CERTIFIED WATERPROOFING ELEMENTS WHICH HAVE PLUMBING PENETRATIONS THROUGH THE WATERPROOFING FINISHES ARE TO BE FITTED WITH APPROPRIATE MEANS TO ALLOW CORRECT BONDING OF MEMBRANE TO PIPEWORK TO MEET THE REQUIREMENTS OF THE NCC 2019.

WATER MANAGEMENT SYSTEM

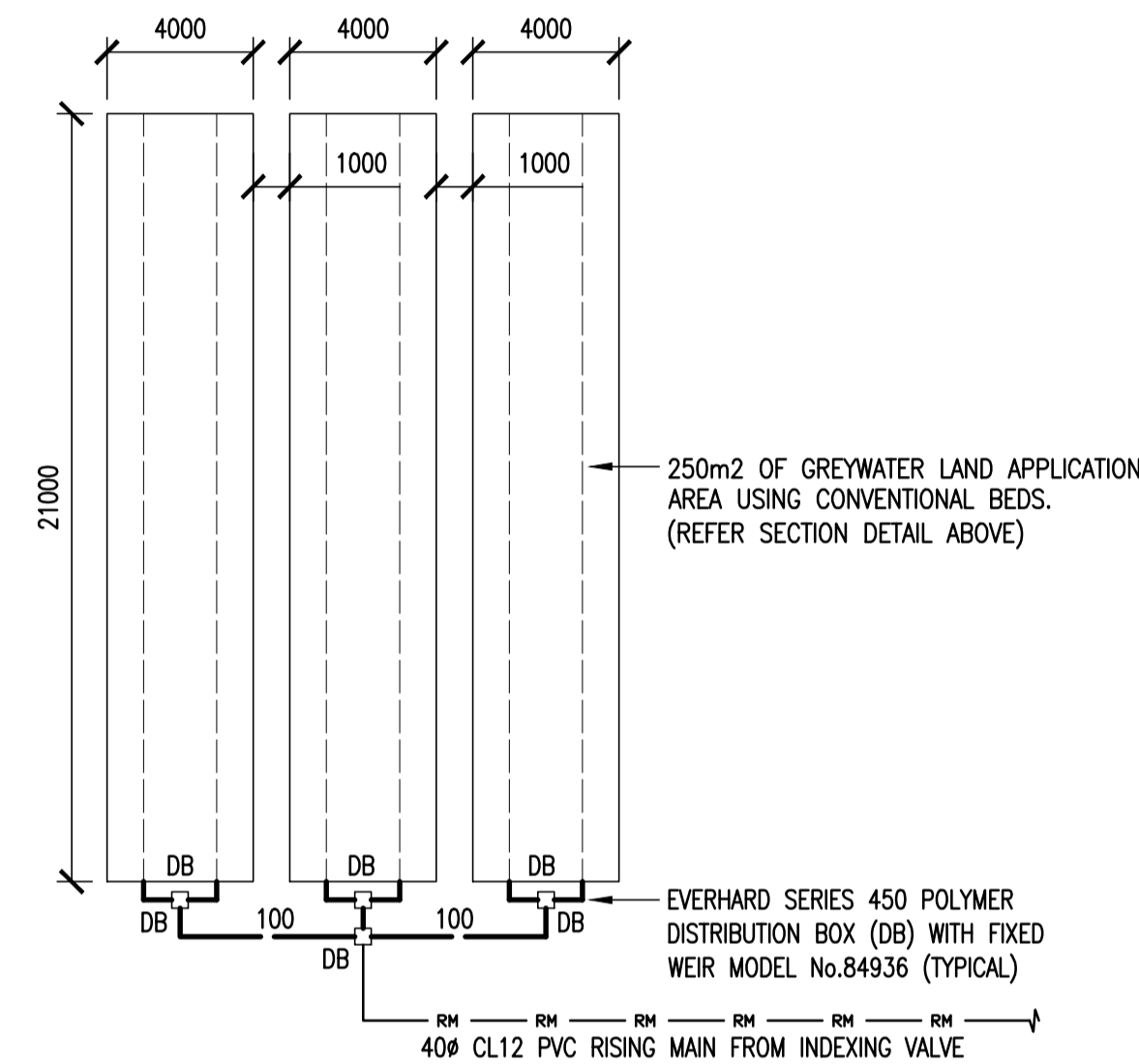
- ALL WC PANS SHALL BE FITTED WITH A 4.5/3 LITRE DUAL FLUSH TYPE CISTERN WITH A MINIMUM 4-STAR WELS RATING & BE COMPATIBLE WITH THE SIZE OF THE TOILET BOWL TO ALLOW FOR PROPER FUNCTION OF THE TOILET.
- ALL TAPWARE OUTLETS FOR SINKS, TUBS, TROUGHS & BASINS TO HAVE A NOMINATED MINIMUM 3-STAR WELS RATING & OPERATE AT AN AVERAGE FLOW RATE OF MORE THAN 7.5 LIT/MIN BUT NOT MORE THAN 9 LIT/MIN.
- ALL SHOWER OUTLETS TO BE FITTED WITH ROSES HAVING A NOMINATED MINIMUM 3-STAR OR HIGHER WELS RATING & OPERATE AT AN AVERAGE FLOW RATE OF MORE THAN 7.5 LIT/MIN BUT NOT MORE THAN 9 LIT/MIN.
- ALL WATER CONSERVATION & WATER SAVINGS TARGETS WILL BE CARRIED OUT IN ACCORDANCE WITH THE QUEENSLAND DEVELOPMENT CODE MP4.1, MP4.2 & MP4.3.

FIRE SERVICES

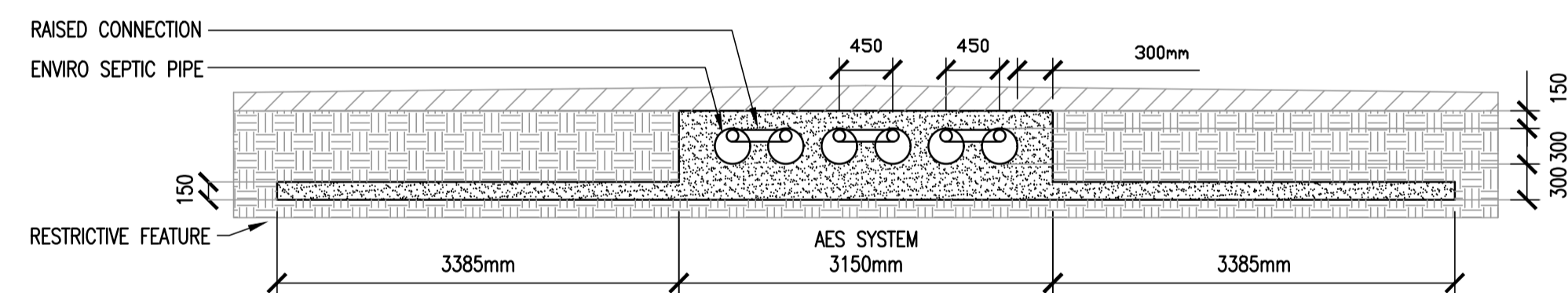
- FIRE HOSE REELS SHALL BE MOUNTED AT A SPINDLE HEIGHT SO THAT THE HAND CONTROL VALVE IS 1000mm AFFL & INSTALLED IN ACCORDANCE WITH AS 2441.
- FIRE HOSE REEL ASSEMBLIES SHALL COMPLY WITH AS 1221.
- MATERIALS:
 - FIRE HOSE REEL PIPEWORK INGROUND: PN20 PE100 POLYTHENE TO AS 4130.
 - FIRE HOSE REEL PIPEWORK INTERNALLY: COPPER TYPE 'B' TO AS 1432



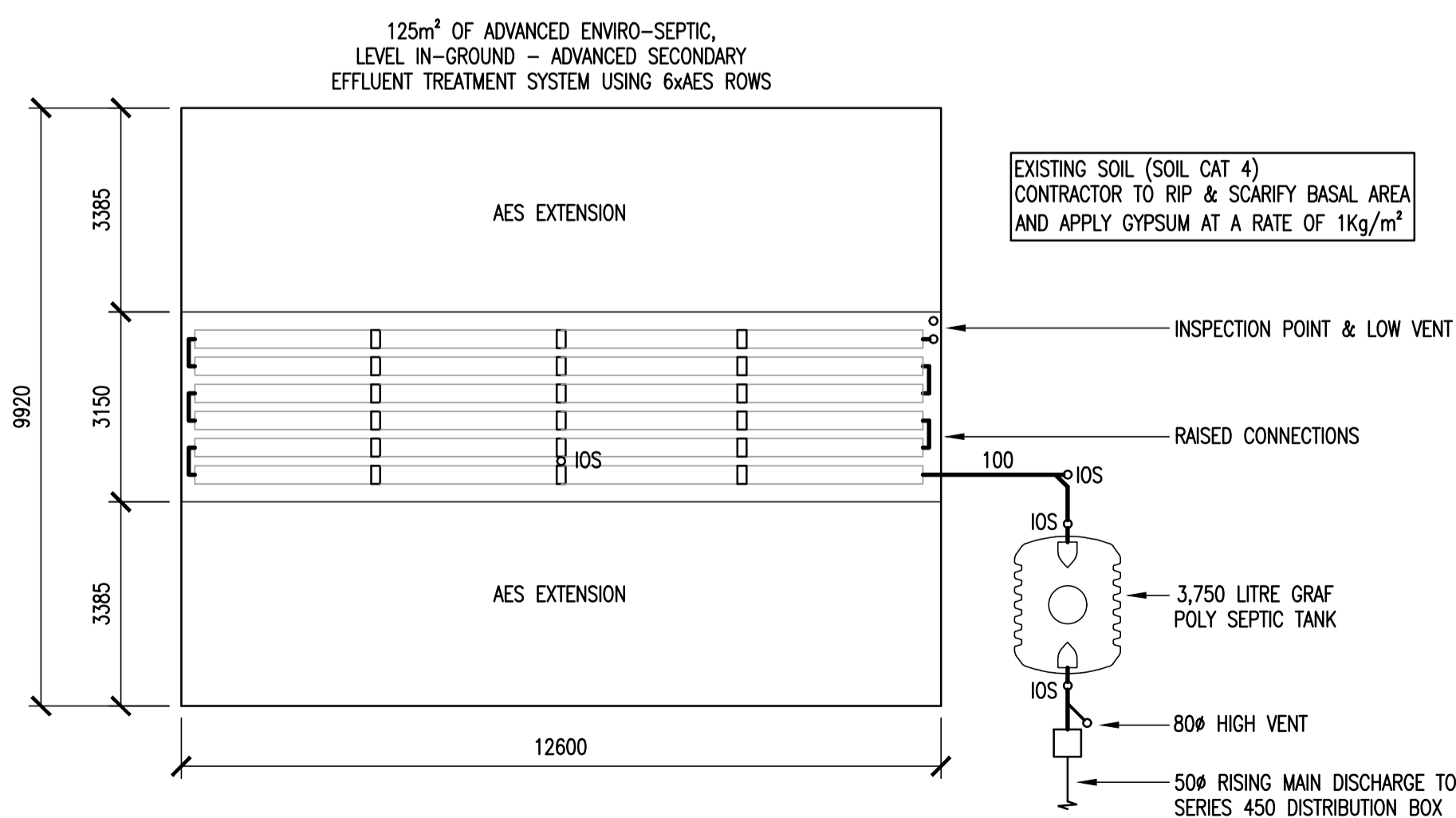
CONVENTIONAL BED SECTION DETAIL
NTS



CONVENTIONAL BED DETAIL (GREYWATER)
SCALE 1:200



ADVANCED ENVIRO-SEPTIC SECTION DETAIL (BLACKWATER)
SCALE 1:200



ADVANCED ENVIRO-SEPTIC TRENCH DETAIL (BLACKWATER)
SCALE 1:100

DRAINAGE ARTICULATION

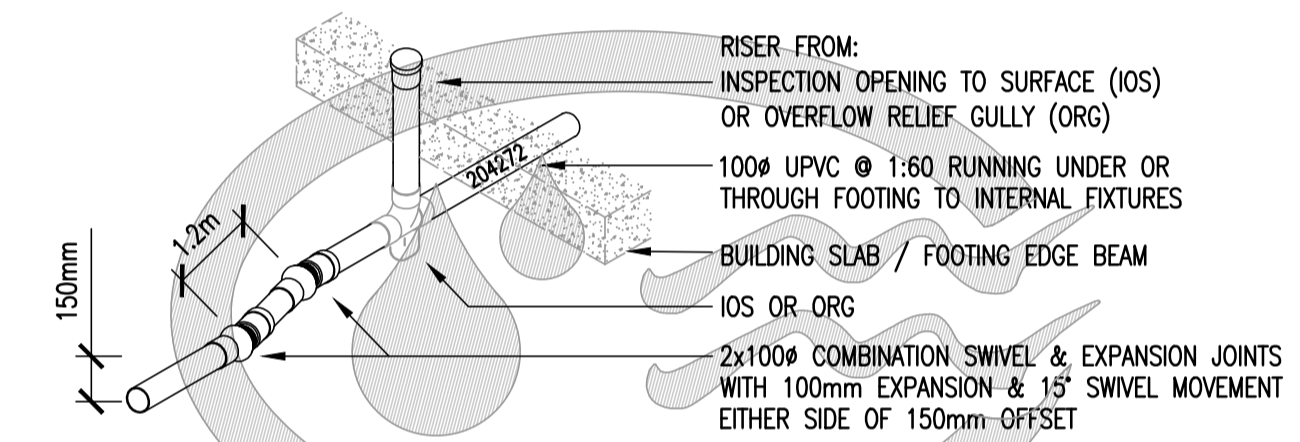
AS NO SOIL TEST OR REPORT IS AVAILABLE FOR SOIL CONDITIONS UNDER THE EXISTING BASEMENT SLAB, THE ARTICULATION SYSTEM HAS BEEN DESIGNED TO CATER FOR THE MAXIMUM POTENTIAL MOVEMENT THAT COULD BE EXPECTED FOR THE SITE (150mm), IN ACCORDANCE WITH QLD BUILDING & PLUMBING NEWSFLASH 569.
PLUMBER TO COMPLETE PLUMBING FORM 1 - SECTION 5, WITH NOTE:
"NO SOIL REPORT AVAILABLE, MAXIMUM ARTICULATION DESIGNED"

AS CONSTRUCTED DRAWINGS

- THE PLUMBING CONTRACTOR IS TO PROVIDE ONE ELECTRONIC COPY (USB) & ONE PAPER COPY OF THE 'AS CONSTRUCTED' HYDRAULIC PLANS TO THE PRINCIPAL CONTRACTOR IN THE ORIGINAL PLAN SIZE FORMAT AT COMPLETION OF PROJECT.
- THE ELECTRONIC COPY IS TO INCLUDE THE FOLLOWING DOCUMENTATION FORMATS:
 - AUTOCAD *.DWG - INCLUDING ASSOCIATED PEN STYLES FOR PLOTTING & X-REF'S ETC.
 - ADOBE ACROBAT *.PDF FORMAT AT ORIGINAL SIZE
- ALL AS CONSTRUCTED DRAWINGS ARE TO HAVE THE PLUMBING CONTRACTORS NAME & CONTACT DETAILS WITHIN THE TITLE BLOCK.

NOTE:

FIRE HOSE REELS SHOWN ON THIS DRAWING ARE FOR QUICK-RESPONSE USE BY OCCUPANTS FOR FIRE FIGHTING PURPOSES ONLY.
THE CONTRACTOR AND CLIENT IS TO LIAISE WITH THE BUILDING CERTIFIER TO ESTABLISH THE REQUIREMENT OF A FIRE HYDRANT SYSTEM DEPENDING ON THE SPECIFIC CONDITIONS OF THE DEVELOPMENT APPROVAL, SIZE AND CLASS OF BUILDING & RESPONSE TIME FROM THE LOCAL QFES BRIGADE.



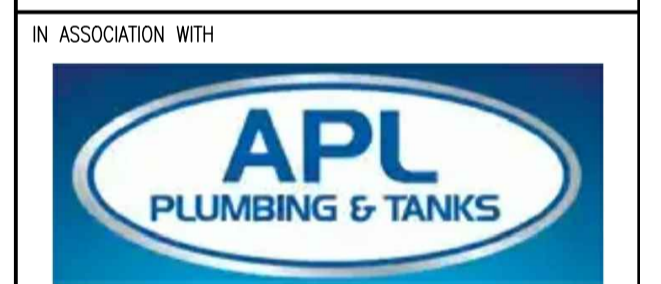
ARTICULATED JOINT SYSTEM FOR MAXIMUM
EXPECTED MOVEMENT (150mm)
NTS

A	PLUMBING APPROVAL	18/05/21
ISSUE	SUBJECT	DATE

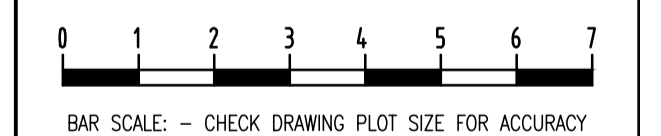
AMENDMENTS

PROJECT & ADDRESS
RENOVATION OF FARM WORKERS LODGE, 132 FUMAR ROAD, MUTCHILBA, QLD

LOT - PLAN
LOT 234 ON HG279



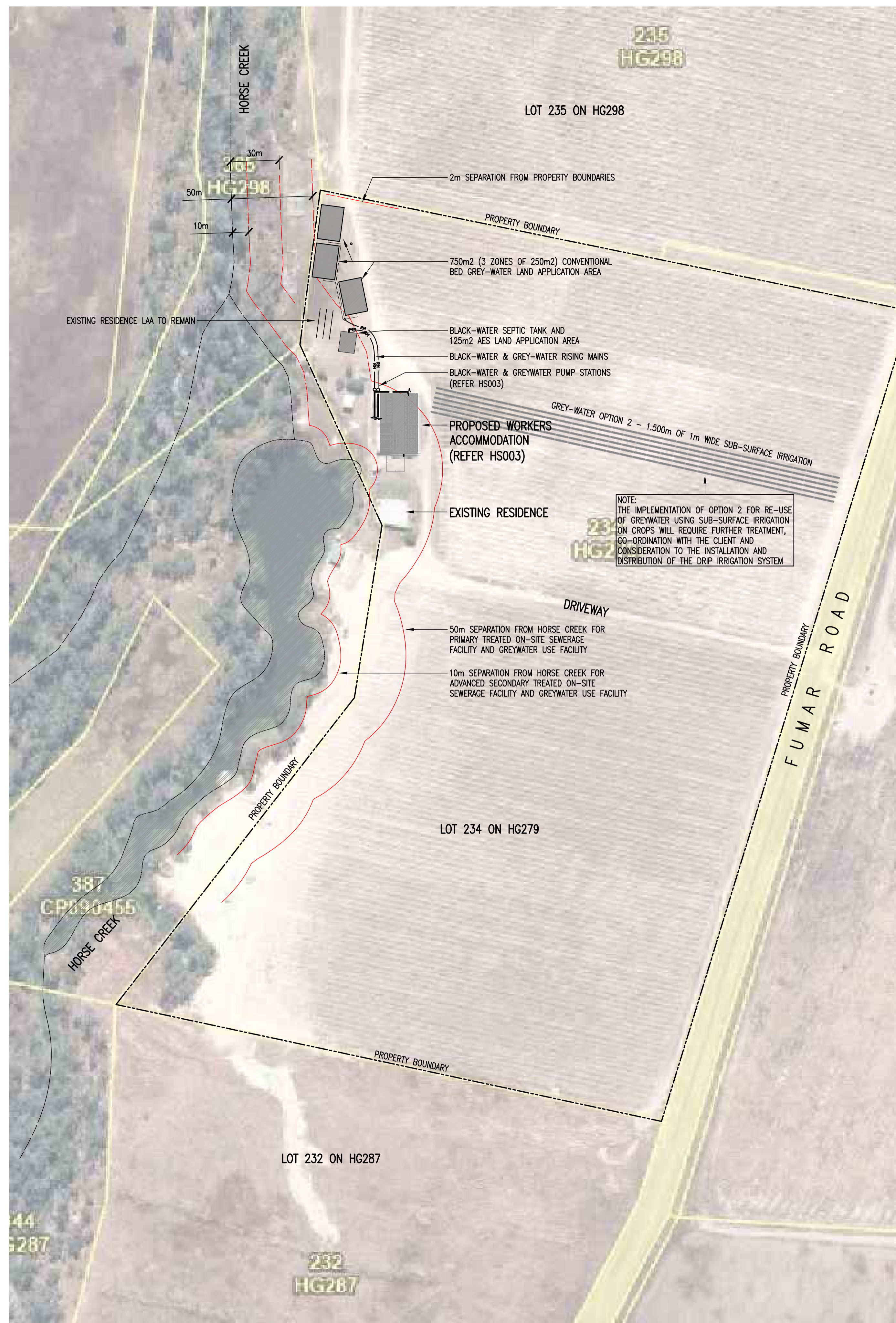
HYDRAULIC CONSULTANTS
GILBOY HYDRAULIC SOLUTIONS
BUILDING HYDRAULIC SERVICES DESIGN / ABRN 85 105 215 432
4/131 SCOTT STREET, BUNGALOW
P.O. BOX 857N, NORTH CAIRNS.
PHONE - (07) 4051 5116
EMAIL - greg@gilboy.com.au
QBCC - 1243525



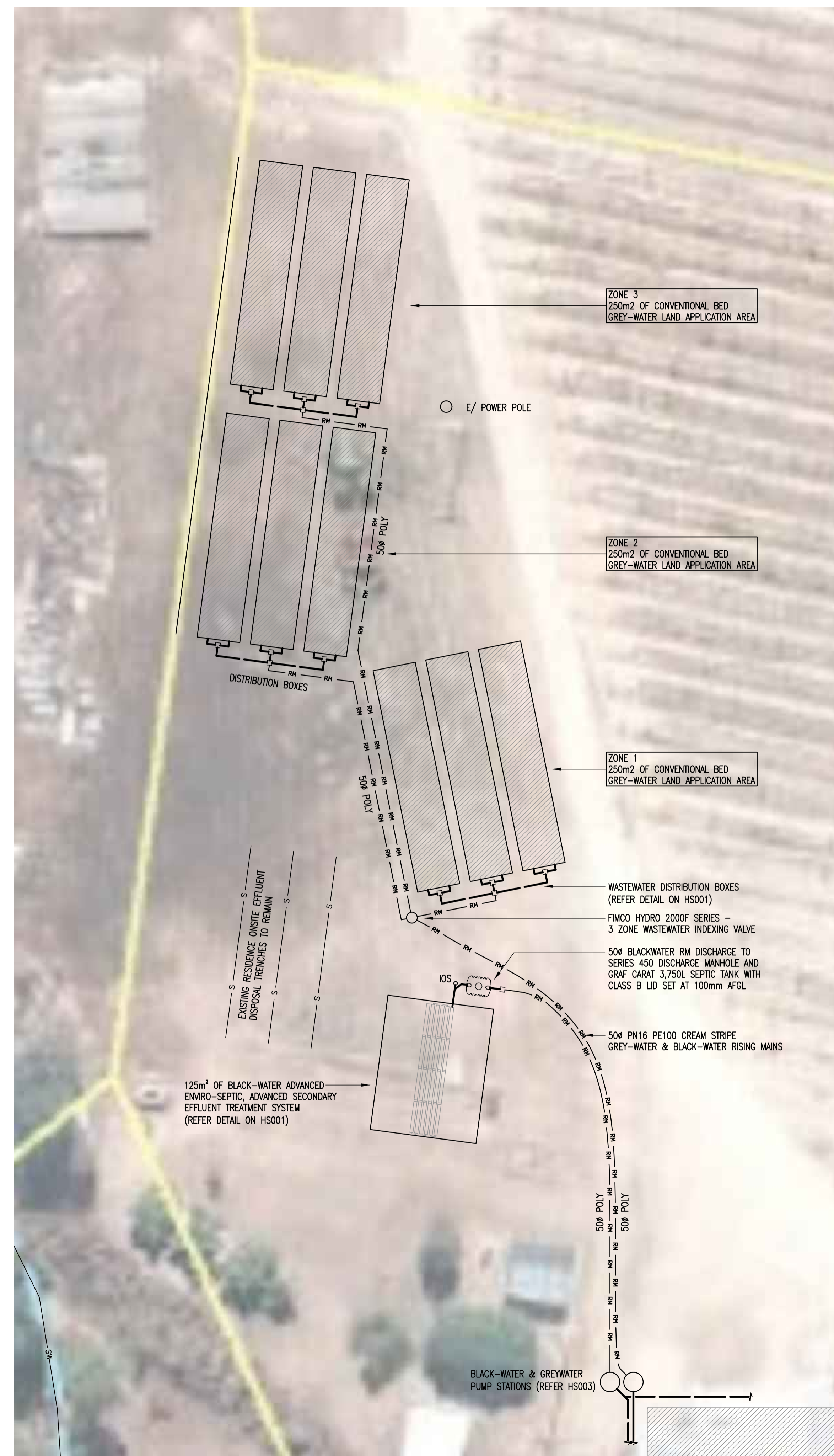
CLIENT
ROMEOS BEST

TITLE
HYDRAULIC SERVICES COVER SHEET, NOTES, LEGEND & DETAILS

DESIGNED	KKN	DRAWN	KKN	CHECKED	GJG
SCALE	AS SHOWN @ A1	DATE	MAY 2021		
JOB No./DWG. No./ISSUE				204281/HS001/A	



SITE SERVICES PLAN
SCALE 1:1500



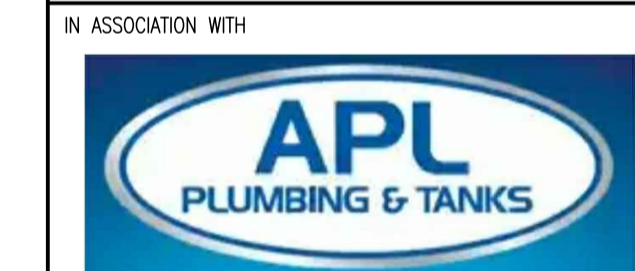
PART SITE PLAN - ONSITE WASTEWATER DISPOSAL SYSTEMS
SCALE 1:250

A	PLUMBING APPROVAL	18/05/21
ISSUE	SUBJECT	DATE

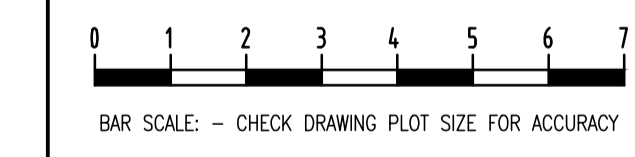
AMENDMENTS

PROJECT & ADDRESS
RENOVATION OF FARM WORKERS LODGE, 132 FUMAR ROAD, MUTCHILBA, QLD

LOT - PLAN
LOT 234 ON HG279



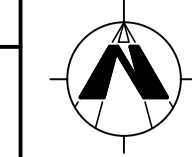
IN ASSOCIATION WITH
GILBOY HYDRAULIC SOLUTIONS
HYDRAULIC CONSULTANTS
BUILDING HYDRAULIC SERVICES DESIGN / ABN 85 105 215 432
4/131 SCOTT STREET, BUNGALOW
P.O. BOX 857N, NORTH CAIRNS.
PHONE - (07) 4051 5116
EMAIL - greg@gilboy.com.au
QBCC - 1243525

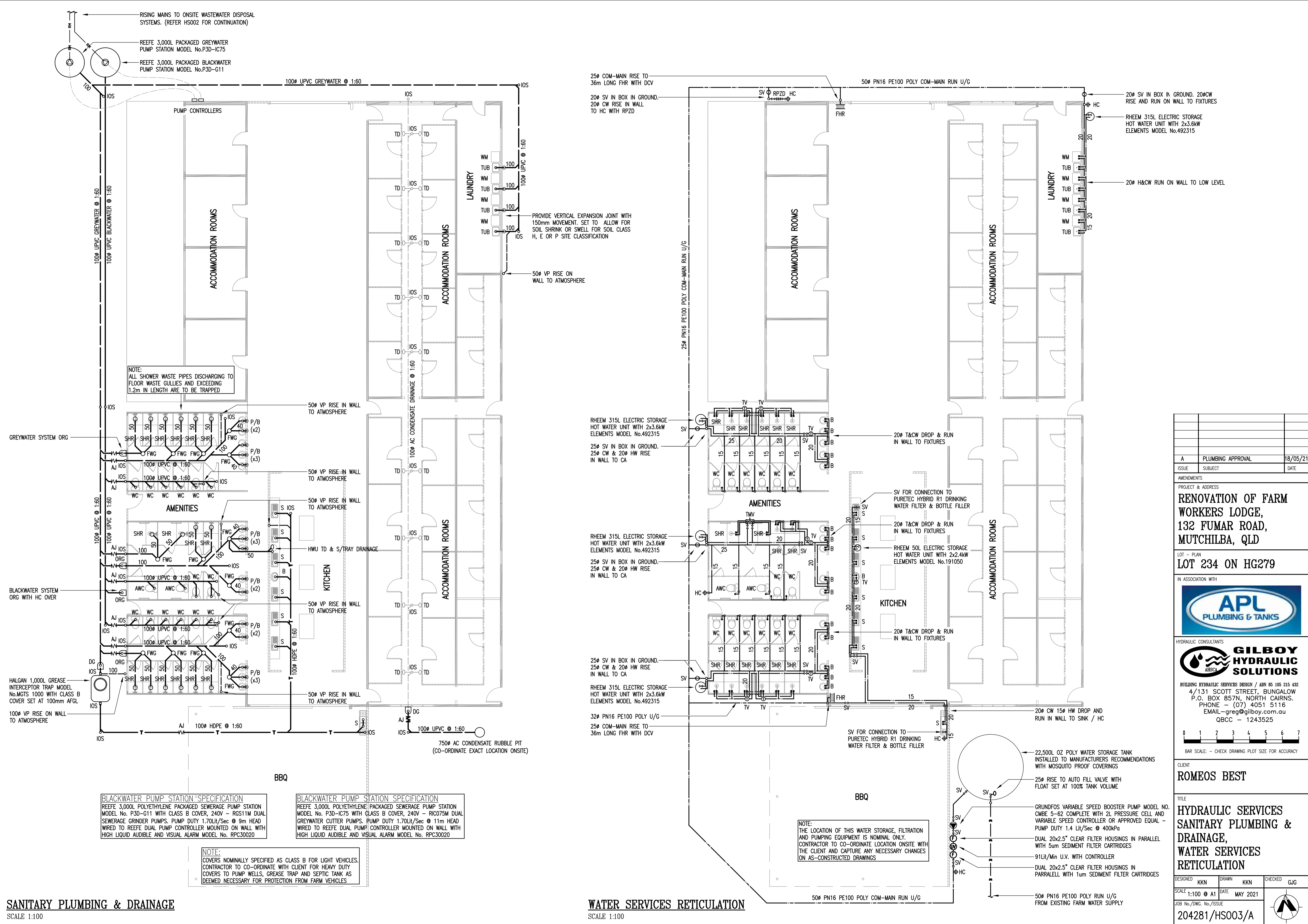


CLIENT
ROMEOS BEST

TITLE
HYDRAULIC SERVICES SITE PLAN - ONSITE WASTEWATER DISPOSAL SYSTEMS

DESIGNED	KKN	DRAWN	KKN	CHECKED	GJG
SCALE	AS SHOWN @ A1	DATE	MAY 2021		
JOB No./DWG. No./ISSUE					
204281/HS002/A					





NOTE:
ALL SHOWER WASTE PIPES DISCHARGING TO FLOOR WASTE GULLIES AND EXCEEDING 1.2m IN LENGTH ARE TO BE TRAPPED

BLACKWATER PUMP STATION SPECIFICATION
REEFE 3,000L POLYETHYLENE PACKAGED SEWAGE PUMP STATION MODEL No. P3D-G11 WITH CLASS B COVER, 240V - RGS11M DUAL SEWAGE GRINDER PUMPS, PUMP DUTY 1.70L/Sec @ 9m HEAD WIRED TO REEFE DUAL PUMP CONTROLLER MOUNTED ON WALL WITH HIGH LIQUID AUDIBLE AND VISUAL ALARM MODEL No. RPC30020

BLACKWATER PUMP STATION SPECIFICATION
REEFE 3,000L POLYETHYLENE PACKAGED SEWAGE PUMP STATION MODEL No. P3D-IC75 WITH CLASS B COVER, 240V - RGS11M DUAL GREYWATER CUTTER PUMPS, PUMP DUTY 1.70L/Sec @ 11m HEAD WIRED TO REEFE DUAL PUMP CONTROLLER MOUNTED ON WALL WITH HIGH LIQUID AUDIBLE AND VISUAL ALARM MODEL No. RPC30020

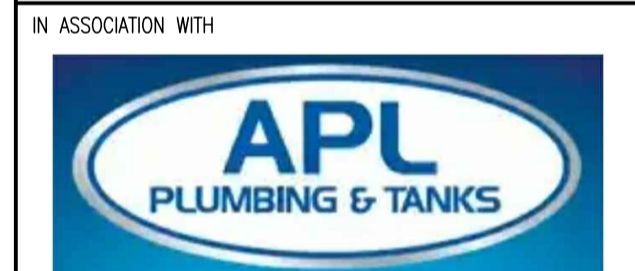
NOTE:
COVERS NOMINALLY SPECIFIED AS CLASS B FOR LIGHT VEHICLES. CONTRACTOR TO CO-ORDINATE WITH CLIENT FOR HEAVY DUTY COVER TO PUMP WELLS, GREASE TRAP AND SEPTIC TANK AS DEEMED NECESSARY FOR PROTECTION FROM FARM VEHICLES

NOTE:
THE LOCATION OF THIS WATER STORAGE, FILTRATION AND PUMPING EQUIPMENT IS NOMINAL ONLY. CONTRACTOR TO CO-ORDINATE LOCATION ON SITE WITH THE CLIENT AND CAPTURE ANY NECESSARY CHANGES ON AS-CONSTRUCTED DRAWINGS

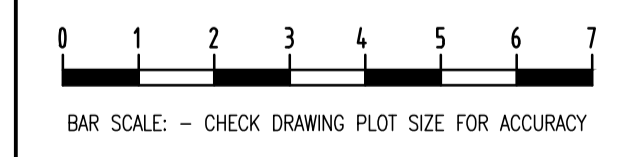
A	PLUMBING APPROVAL	18/05/21
ISSUE	SUBJECT	DATE

AMENDMENTS
PROJECT & ADDRESS
RENOVATION OF FARM WORKERS LODGE, 132 FUMAR ROAD, MUTCHILBA, QLD

LOT - PLAN
LOT 234 ON HG279



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CLIENT
ROMEOS BEST

TITLE
HYDRAULIC SERVICES SANITARY PLUMBING & DRAINAGE, WATER SERVICES RETICULATION

DESIGNED	KKN	DRAWN	KKN	CHECKED	GJC
SCALE	1:100 @ A1	DATE	MAY 2021		
JOB No./DWG./ISSUE	204281/HS003/A				



Annexure 7: Planning Scheme Code Assessment

6.2.9 Rural zone code

6.2.9.1 Application

- (1) This code applies to assessing development where:**
 - (a) located in the Rural zone; and**
 - (b) it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.**

6.2.9.2 Purpose

- (1) The purpose of the Rural zone code is to:**
 - (a) provide for rural uses including cropping, intensive horticulture, intensive animal industries, animal husbandry, animal keeping and other primary production activities;**
 - (b) provide opportunities for non-rural uses that are compatible with agriculture, the environmental features, and landscape character of the rural area where the uses do not compromise the long-term use of the land for rural purposes;**
 - (c) protect or manage significant natural resources and processes to maintain the capacity for primary production.**

- (2) Mareeba Shire Council's purpose of the Rural zone code is to recognise the importance of primary production to the economy of the region and to maintain and strengthen the range of primary industries which contribute to the rural economy.**

The purpose of the Rural zone code is to:

- (a) recognise the diversity of rural uses that exists throughout the region;**
- (b) protect the rural character of the region;**
- (c) provide facilities for visitors and tourists that are accessible and offer a unique experience;**
- (d) protect the infrastructure of the Mareeba-Dimbulah Irrigation Scheme Area from development which may compromise long term use for primary production;**
- (e) maintain distinct boundaries between the rural areas and the villages, towns and urban areas of the region;**
- (f) provide for a range of uses, compatible and associated with rural or ecological values including recreational pursuits and tourist activities;**
- (g) prevent adverse impacts of development on ecological values;**
- (h) preserve land in large holdings; and**

- (i) facilitate the protection of strategic corridors across the landscape which link remnant areas of intact habitat and transport corridors.

(3) The purpose of the Rural zone code will be achieved through the following overall outcomes:

- (a) Areas for use for primary production are conserved and fragmentation below economically viable lot sizes is avoided;
- (b) The establishment of a wide range of rural pursuits is facilitated, including cropping, intensive horticulture, forestry, intensive animal industries, animal husbandry and animal keeping and other compatible primary production uses;
- (c) The establishment of extractive industries, mining and associated activities and alternative forms of energy generation is appropriate where environmental impacts and land use conflicts are minimised;
- (d) Uses that require isolation from urban areas as a consequence of their impacts such as noise or odour may be appropriate where land use conflicts are minimised;
- (e) Development is reflective of and responsive to the environmental constraints of the land;
- (f) Residential and other development is appropriate only where directly associated with the rural nature of the zone;
- (g) Low-impact tourism and recreation activities do not compromise the long-term use of the land for rural purposes;
- (h) The viability of both existing and future rural uses and activities is protected from the intrusion of incompatible uses;
- (i) Visual impacts of clearing, building, materials, access ways and other aspects of development are minimised or appropriately managed;
- (j) Adverse impacts of development both on-site and from adjoining areas are avoided and any impacts are minimised through location, design, operation and management; and
- (k) Natural features such as creeks, gullies, waterways, wetlands and bushland are retained, managed, enhanced and separated from adjacent development.

6.2.9.3 Criteria for assessment

Table 6.2.9.3—Rural zone code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			

Performance outcomes	Acceptable outcomes	Complies	Comments
Height			
<p>PO1</p> <p>Building height takes into consideration and respects the following:</p> <ul style="list-style-type: none"> (a) the height of existing buildings on adjoining premises; (b) the development potential, with respect to height, on adjoining premises; (c) the height of buildings in the vicinity of the site; (d) access to sunlight and daylight for the site and adjoining sites; (e) privacy and overlooking; and (f) site area and street frontage length. 	<p>AO1.1</p> <p>Development, other than buildings used for rural activities, has a maximum building height of:</p> <ul style="list-style-type: none"> (a) 8.5 metres; and (b) 2 storeys above ground level. 	N/A	
	<p>AO1.2</p> <p>Buildings and structures associated with a rural activity including machinery, equipment, packing or storage buildings do not exceed 10 metres in height.</p>	✓	Building is existing and maximum height is approx. 5.3m.
Siting, where not involving a Dwelling house			
Note—Where for Dwelling house, the setbacks of the Queensland Development Code apply.			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO2</p> <p>Development is sited in a manner that considers and respects:</p> <ul style="list-style-type: none"> (a) the siting and use of adjoining premises; (b) access to sunlight and daylight for the site and adjoining sites; (c) privacy and overlooking; (d) air circulation and access to natural breezes; (e) appearance of building bulk; and (f) relationship with road corridors. 	<p>AO2.1</p> <p>Buildings and structures include a minimum setback of:</p> <ul style="list-style-type: none"> (a) 40 metres from a frontage to a State-controlled road; and (b) 10 metres from a boundary to an adjoining lot. 	✓	
	<p>AO2.2</p> <p>Buildings and structures, where for a Roadside stall, include a minimum setback of 0 metres from a frontage to a road that is not a State-controlled road.</p>	N/A	
	<p>AO2.3</p> <p>Buildings and structures, except where a Roadside stall, include a minimum setback of:</p> <ul style="list-style-type: none"> (a) 10 metres from a frontage to a sealed road that is not a State-controlled road; and (b) 100 metres from a frontage to any other road that is not a State-controlled road; 	✓	
Accommodation density			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO3</p> <p>The density of Accommodation activities:</p> <p>(a) respects the nature and density of surrounding land use;</p> <p>(b) is complementary and subordinate to the rural and natural landscape values of the area; and</p> <p>(c) is commensurate to the scale and frontage of the site.</p>	<p>AO3.1</p> <p>Residential density does not exceed one dwelling house per lot.</p>	N/A	
	<p>AO3.2</p> <p>Residential density does not exceed two dwellings per lot and development is for:</p> <p>(a) a secondary dwelling; or</p> <p>(b) Caretaker's accommodation and includes building work or minor building work with a maximum gross floor area of 100m²; or</p> <p>(c) Rural worker's accommodation.</p>	<p>Performance outcome</p>	<p>Density is significantly higher than the acceptable outcome, however the proposal will serve a need in the community and support the important agricultural function of the area. The proposal is also well separated from surrounding sensitive land uses and utilises an existing building, so impacts are considered to be acceptable.</p>
<p>For assessable development</p>			
<p>Site cover</p>			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO4</p> <p>Buildings and structures occupy the site in a manner that:</p> <ul style="list-style-type: none"> (a) makes efficient use of land; (b) is consistent with the bulk and scale of buildings in the surrounding area; and (c) appropriately balances built and natural features. 	<p>AO4</p> <p>No acceptable outcome is provided.</p>	<p>✓</p>	<p>Proposed site cover is minimal and existing building is utilised.</p>
<p>PO5</p> <p>Development complements and integrates with the established built character of the Rural zone, having regard to:</p> <ul style="list-style-type: none"> (a) roof form and pitch; (b) eaves and awnings; (c) building materials, colours and textures; and (d) window and door size and location. 	<p>AO5</p> <p>No acceptable outcome is provided.</p>	<p>✓</p>	<p>Existing building is utilised and renovations will retain the existing form.</p>
<p>Amenity</p>			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO6</p> <p>Development must not detract from the amenity of the local area, having regard to:</p> <ul style="list-style-type: none"> (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions. 	<p>AO6</p> <p>No acceptable outcome is provided.</p>	<p>✓</p>	<p>The proposal is well separated from surrounding sensitive land uses and utilises an existing building. Also the site is located in close proximity to Mareeba – Dimbulah Road so traffic impacts on the local road network will be minimal.</p>
<p>PO7</p> <p>Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to:</p> <ul style="list-style-type: none"> (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions. 	<p>AO7</p> <p>No acceptable outcome is provided.</p>	<p>✓</p>	<p>As above. Onsite waste disposal will be appropriately addressed in accordance with current environmental standards.</p>

9.3.1 Accommodation activities code

9.3.1.1 Application

This code applies to assessing development where:

involving Accommodation activities; and

it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

9.3.1.2 Purpose

The purpose of the Accommodation activities code is to facilitate the provision of Accommodation activities in appropriate locations throughout the shire.

The purpose of the code will be achieved through the following overall outcomes:

Accommodation activities are designed, located and operated to minimise any adverse impacts on the natural environment and amenity of surrounding uses;

Accommodation activities in the Centre zone are facilitated where they can integrate and enhance the fabric of the centre and are located behind or above commercial development;

Accommodation activities provide a high level of amenity and are reflective of the surrounding character of the area;

Accommodation activities are generally established in accessible, well-connected locations with access or future access to public transport, cycling and pedestrian networks;

Accommodation activities do not compromise the viability of the hierarchy and network of centres, namely:

Mareeba as a major regional activity centre, which accommodates the most significant concentrations of regional-scale business, retail, entertainment, government administration, secondary and tertiary educational facilities and health and social services within the shire;

Kuranda as a village activity centre, which accommodates services, arts and cultural facilities, sports and recreation facilities, business and employment uses to support the village and its constituent surrounding rural and rural residential communities;

Chillagoe and Dimbulah as Rural activity centres, which provide commercial and community services to their rural catchments; and

Biboohra, Irvinebank, Julatten, Koah, Mutchilba, Mt Molloy, Myola and Speewah as rural villages, that have limited centre activities and other non-residential activities; and

Accommodation activities are responsive to site characteristics and employ best practice industry standards.

9.3.1.3 Criteria for assessment

Table 9.3.1.3A—Accommodation activities code – For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
All Accommodation activities, apart from Dwelling house			
<p>PO1</p> <p>Accommodation activities are located on a site that includes sufficient area:</p> <p>to accommodate all buildings, structures, open space and infrastructure associated with the use; and</p> <p>to avoid adverse impacts on the amenity or privacy of nearby land uses.</p>	<p>AO1</p> <p>Development is located on a site which provides the applicable minimum site area and minimum road frontage specified in Table 9.3.1.3B.</p>	N/A	<p>Rural Workers Accommodation is not listed however site area is large at over 40ha.</p>
All Accommodation activities, apart from Tourist park and Dwelling house			
<p>PO2</p> <p>Accommodation activities are provided with on-site refuse storage areas that are:</p> <p>sufficient to meet the anticipated demand for refuse storage; and</p> <p>appropriately located on the site having regard to potential odour and noise impacts on uses on the site and adjoining sites.</p>	<p>AO2.1</p> <p>A refuse area is provided that:</p> <p>includes a water connection;</p> <p>is of a size and configuration to accommodate 2x240 litre bins per dwelling or accommodation unit where involving a use other than a residential care facility or retirement facility; and</p> <p>is of a size and configuration to accommodate a minimum of two bulk refuse bins where involving a residential care facility or retirement facility.</p>	✓	<p>Proposal will provide appropriate onsite refuse facilities.</p>
All Accommodation activities, except for Dwelling house			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO3</p> <p>Accommodation activities are designed to avoid overlooking or loss of privacy for adjoining uses.</p> <p>Note—These provisions apply to any adjoining use, both on an adjoining site and on the same site.</p>	<p>AO3</p> <p>The windows of habitable rooms:</p> <p>do not overlook the windows of a habitable room in an adjoining dwelling or accommodation unit; or</p> <p>are separated from the windows of a habitable room in an adjoining dwelling or accommodation unit by a distance greater than:</p> <p>2 metres at ground level; and</p> <p>8 metres above ground level; or</p> <p>are treated with:</p> <p>a minimum sill height of 1.5 metres above floor level; or</p> <p>fixed opaque glassed installed below 1.5 metres; or</p> <p>fixed external screens; or</p> <p>a 1.5 metre high screen fence along the common boundary.</p>	✓	<p>Proposal is not in view of adjoining uses.</p>
<p>PO4</p> <p>Accommodation activities are provided with sufficient private and communal open space areas which:</p> <p>accommodate a range of landscape treatments, including soft and hard landscaping;</p>	<p>AO4.1</p> <p>Development, except for Caretaker's accommodation, Dwelling house, Dual occupancy or Home based business, includes communal open space which meets or exceeds the minimum area, dimension and design parameters specified in Table 9.3.1.3C.</p>	✓	<p>Rural Workers Accommodation is not listed however proposal includes significant indoor open space facilities as well as access to significant outdoor open space.</p>

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>provide a range of opportunities for passive and active recreation;</p> <p>provide a positive outlook and high quality of amenity to residents;</p> <p>is conveniently located and easily accessible to all residents; and</p> <p>contribute to an active and attractive streetscape.</p>	<p>AO4.2</p> <p>Development includes private open space for each dwelling or accommodation unit which meets or exceeds the minimum area, dimension and design parameters specified in Table 9.3.1.3D.</p>	✓	Rural Workers Accommodation is not listed. Given the nature of the use, accommodation is temporary so communal facilities are sufficient.
	<p>AO4.3</p> <p>Clothes drying areas are provided at the side or rear of the site so that they are not visible from the street.</p>	✓	
	<p>AO4.4</p> <p>If for Dual occupancy, Multiple dwelling, Residential care facility or Retirement facility, development provides a secure storage area for each dwelling or accommodation unit which:</p> <p>is located to facilitate loading and unloading from a motor vehicle;</p> <p>is separate to, and does not obstruct, on-site vehicle parking or manoeuvring areas;</p> <p>has a minimum space of 2.4m² per dwelling or accommodation unit;</p> <p>has a minimum height of 2.1 metres;</p> <p>has minimum dimensions to enable secure bicycle storage;</p> <p>is weather proof; and</p> <p>is lockable.</p>	N/A	
If for Caretaker's Accommodation			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO5</p> <p>Caretaker's accommodation is of a scale and intensity which is consistent with that of the surrounding area.</p> <p>Note—Where Caretaker's Accommodation is assessable development additional assessment benchmarks are provided under "for assessable development".</p>	<p>AO5.1</p> <p>Only one caretaker's accommodation is established on the title of the non-residential use.</p>	N/A	
	<p>AO5.2</p> <p>In the Rural zone, Caretaker's accommodation has a maximum gross floor area of 200m².</p>	N/A	
If for Dwelling house			
<p>PO6</p> <p>Where a Dwelling house involves a secondary dwelling, it is designed and located to:</p> <p>not dominate the site;</p> <p>remain subservient to the primary dwelling; and</p> <p>be consistent with the character of the surrounding area;</p>	<p>AO6.1</p> <p>The secondary dwelling is located within:</p> <p>10 metres of the primary dwelling where on a lot that has an area of 2 hectares or less; or</p> <p>20 metres of the primary dwelling where on a lot that has an area of greater than 2 hectares.</p>	N/A	
	<p>AO6.2</p> <p>A secondary dwelling has a maximum gross floor area of 100m².</p>	N/A	
If for Dual occupancy			
<p>PO7</p> <p>Where establishing a Dual occupancy on a corner lot, the building is designed to:</p>	<p>AO7.1</p> <p>Where located on a corner allotment, each dwelling is accessed from a different road frontage.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>maximise opportunities for causal surveillance;</p> <p>provide for separation between the two dwellings; and</p> <p>provide activity and visual interest on both frontages.</p>	<p>AO7.2</p> <p>The maximum width of garage or carport openings that face a public street is 6 metres or 50% of the building width, whichever is the lesser.</p>	N/A	
If for Multiple dwelling, Residential care facility or Retirement facility			
<p>PO8</p> <p>Development is appropriately located within the Shire to:</p> <p>maximise the efficient utilisation of existing infrastructure, services and facilities; and</p> <p>minimise amenity impacts through the collocation of compatible uses.</p> <p>Note—Where Residential care facility or Retirement facility is assessable development additional assessment benchmarks are provided under “for assessable development”.</p>	<p>AO8</p> <p>Multiple dwelling, Residential care facility or Retirement facility uses are located on land within 800 metres of the boundary of land within the Centre zone.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO9</p> <p>Buildings are designed to:</p> <p>reduce the appearance of building bulk;</p> <p>provide visual interest through articulation and variation;</p> <p>be compatible with the embedded, historical character for the locality; and</p> <p>be compatible with the scale of surrounding buildings</p> <p>Note—Where Residential care facility or Retirement facility is assessable development additional assessment benchmarks are provided under “for assessable development”.</p>	<p>AO9.1</p> <p>External walls do not exceed 10 metres in continuous length unless including a minimum of three of the following building design features and architectural elements:</p> <p>a change in roof profile; or</p> <p>a change in parapet coping; or</p> <p>a change in awning design; or</p> <p>a horizontal or vertical change in the wall plane; or</p> <p>a change in the exterior finishes and exterior colours of the development.</p>	N/A	
	<p>AO9.2</p> <p>For a Multiple dwelling, Residential care facility or Retirement facility, the maximum width of a garage or carport opening that faces a road is 6 metres.</p>	N/A	
	<p>AO9.3</p> <p>For a Multiple dwelling, Residential care facility or Retirement facility, the building(s) include awnings with a minimum overhang of 600mm.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>AO9.4</p> <p>For a Multiple dwelling, Residential care facility or Retirement facility, roof forms include one or more of the following types:</p> <p>pyramidal;</p> <p>hip or hipped;</p> <p>gable;</p> <p>skillion.</p>	N/A	
If for Residential care facility or Retirement facility			
<p>PO10</p> <p>The layout and design of the site:</p> <p>promotes safe and easy pedestrian, cycle and mobility device movement;</p> <p>defines areas of pedestrian movement; and</p> <p>assists in navigation and way finding.</p> <p>Note—Where Residential care facility or Retirement facility is assessable development additional assessment benchmarks are provided under “for assessable development”.</p>	<p>AO10.1</p> <p>The development incorporates covered walkways and ramps on site for weather protection between all buildings.</p>	N/A	
	<p>AO10.2</p> <p>Pedestrian paths include navigational signage at intersections.</p>	N/A	
	<p>AO10.3</p> <p>Buildings, dwellings and accommodation units include identification signage at entrances.</p>	N/A	
	<p>AO10.4</p> <p>An illuminated sign and site map is provided at the main site entry.</p>	N/A	
	<p>AO10.5</p> <p>Buildings, structures and pathways associated with a Residential care facility or Retirement facility are not located on land with a gradient greater than 8%.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
If for Home based business			
<p>PO11</p> <p>Home based businesses are compatible with the built form, character and amenity of the surrounding area, having regard to:</p> <p>size and scale;</p> <p>intensity and nature of use;</p> <p>number of employees; and</p> <p>hours of operation.</p>	<p>AO11.1</p> <p>The Home based business is located within a dwelling house or outbuilding associated with a dwelling house.</p>	N/A	
	<p>AO11.2</p> <p>The Home based business does not occupy a gross floor area of more than 50m².</p>	N/A	
	<p>AO11.3</p> <p>No more than 1 person (other than the residents of the site) is employed by the Home based business at any one time.</p>	N/A	
	<p>AO11.4</p> <p>The Home based business, unless a home office, bed and breakfast or farm stay, does not operate outside the hours of 7.00 am and 6.00 pm.</p>	N/A	
	<p>AO11.5</p> <p>The Home based business does not involve the public display of goods external to the building.</p>	N/A	
	<p>AO11.6</p> <p>The Home based business does not involve the repair, cleaning or servicing of any motors, vehicles or other machinery.</p>	N/A	
	<p>AO11.7</p> <p>Any equipment or materials associated with the Home based business are screened from public view and adjacent properties by fencing or landscaping.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>AO11.8</p> <p>The business does not involve the use of power tools or similar noise generating devices.</p>	N/A	
<p>PO12</p> <p>Home based businesses involving accommodation activities are appropriately scaled and designed to avoid detrimental impacts on the amenity and privacy of surrounding residences.</p>	<p>AO12.1</p> <p>Home based businesses involving accommodation activities are limited to the scale specified in Table 9.3.1.3E.</p>	N/A	
	<p>AO12.2</p> <p>A farm stay dwelling or accommodation unit is located within 20 metres of the primary dwelling house.</p>	N/A	
	<p>AO12.3</p> <p>A farm stay is setback 100 metres from any property boundary.</p>	N/A	
	<p>AO12.4</p> <p>Entertainment and dining facilities associated with an accommodation activity are:</p> <p>located at least 5 metres from the bedrooms of adjoining residences; and</p> <p>located or screened so that they do not directly overlook private open space areas of adjoining properties.</p>	N/A	
If for Rural workers' accommodation			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO13</p> <p>The Rural workers' accommodation is directly associated with an agricultural based rural activity on the same premises and is commensurate with the scale of agricultural operations.</p>	<p>AO13.1</p> <p>A Rural workers' accommodation building is limited to the accommodation of:</p> <p>one rural worker for every 50 hectares; and</p> <p>a maximum of ten rural workers in total.</p>	Performance outcome	Proposal exceeds the acceptable outcome however will only service operations of the applicant in the area and is commensurate with the scale of those operations.
	<p>AO13.2</p> <p>The agricultural based rural activity is a minimum of 50 hectares in area.</p>	✓	
<p>PO14</p> <p>Rural workers' accommodation is provided with amenities commensurate with the: needs of the employees; and permanent or seasonal nature of the employment.</p>	<p>AO14.1</p> <p>The Rural workers' accommodation is:</p> <p>for permanent occupation; and fully self-contained.</p> <p>OR</p>	✓	
	<p>AO14.2</p> <p>The Rural workers' accommodation:</p> <p>is for seasonal occupation (up to 3 months);</p> <p>shares facilities with an existing Dwelling house or Caretaker's residence; and</p> <p>is located within 100 metres of the Dwelling house or Caretaker's residence.</p>	N/A	
For assessable development			
If for Caretaker's Accommodation			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO15</p> <p>The inclusion of Caretaker's accommodation on the site is necessary for the operation of the primary use, having regard to:</p> <p>hours of operation;</p> <p>nature of the use;</p> <p>security requirements;</p> <p>site location and access; and</p> <p>proximity to other land uses.</p>	<p>AO15</p> <p>No acceptable outcome is provided.</p>	N/A	
If for Residential care facility or Retirement facility			
<p>PO16</p> <p>Retirement facilities include a range of housing designs and types that:</p> <p>meet the needs of residents;</p> <p>allow for 'ageing in place';</p> <p>consider differing mobility needs;</p> <p>accommodate differing financial situations; and</p> <p>cater for different household types.</p>	<p>AO16</p> <p>No acceptable outcome is provided.</p>	N/A	
If for Tourist park			
<p>PO17</p> <p>The Tourist park is appropriately located to provide park users with convenient access to tourist attractions, community facilities and infrastructure.</p>	<p>AO17</p> <p>No acceptable outcome is provided.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO18</p> <p>The density of accommodation provided within the Tourist park:</p> <p>is commensurate with the size and utility of the site;</p> <p>is consistent with the scale and character of development in the surrounding area;</p> <p>ensures sufficient infrastructure and services can be provided;</p> <p>does not adversely impact on the existing amenity of nearby uses;</p> <p>ensures a high level of amenity is enjoyed by residents of the site; and</p> <p>does not place undue pressure on environmental processes in the surrounding area.</p>	<p>AO18.1</p> <p>Where park areas are proposed to exclusively accommodate caravans, motor homes, tents or cabins, accommodation site densities do not exceed:</p> <p>40 caravan or motor home sites per hectare of the nominated area(s); or</p> <p>60 tent sites per hectare of the nominated area(s); or</p> <p>10 cabins (maximum 30m² gross floor area per cabin) per hectare of the nominated area(s).</p>	N/A	
	<p>AO18.2</p> <p>Where park areas are proposed to be used for any combination of caravans, motor homes, tents or cabins, then the lowest applicable density identified by AO18.1 shall be applied to the nominated area(s).</p>	N/A	
<p>PO19</p> <p>Accommodation sites are designed and located:</p> <p>to provide sufficient land for necessary services and infrastructure;</p>	<p>AO19.1</p> <p>A minimum of 50% of provided caravan and motor home accommodation sites have a concrete slab with a minimum length of 6 metres and a minimum width of 2.4 metres.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>to achieve sufficient separation between land uses;</p> <p>is consistent with the scale and character of development in the surrounding area; and</p> <p>to prevent amenity and privacy impacts on nearby land uses.</p>	<p>AO19.2</p> <p>Caravan, motor home, tent and cabin accommodation sites are set back a minimum of:</p> <p>2 metres from an internal road; and</p> <p>1.5 metres from the side and rear boundaries of the site.</p>	N/A	
<p>PO20</p> <p>A Tourist park is provided with sufficient and appropriately located refuse collection areas.</p>	<p>AO20.1</p> <p>A central refuse collection area is provided to service all accommodation sites.</p>	N/A	
	<p>AO20.2</p> <p>The refuse collection area must be kept in a sanitary condition at all times with all refuse stored in weather-proof and securable receptacles to prevent them from attracting vermin and wildlife.</p>	N/A	
	<p>AO20.3</p> <p>The refuse collection area is constructed on an impervious surface such as a concrete slab.</p>	N/A	
	<p>AO20.4</p> <p>A water connection is provided within the refuse collection area to facilitate cleaning of receptacles and the collection area.</p>	N/A	
	<p>AO20.5</p> <p>Refuse collection areas are located a minimum of 10 metres from any recreational areas, communal cooking facilities and accommodation sites.</p>	N/A	

Table 9.3.1.3B – Minimum site area and minimum site frontage

Use	Minimum site area	Minimum frontage
Dual occupancy	600m ² in the Medium density residential zone; or 1,000m ² in the Low density residential zone; or 600m ² in the Centre zone.	20 metres
Home based business	600m ²	-
Multiple dwelling	800m ²	20 metres
Residential care facility	2,000m ²	30 metres
Retirement facility	2,000m ²	30 metres
Rooming accommodation	800m ²	20 metres
Short-term accommodation	800m ²	20 metres
Tourist park	1 hectare	50 metres
Caravan and motor home sites	100m ² including sufficient area for the parking of a motor vehicle.	10 metres to an internal road
Tent sites	40m ² including sufficient area for the parking of a motor vehicle.	6 metres to an internal road
Cabin sites	130m ² including sufficient area for the parking of a motor vehicle.	10 metres to an internal road

Table 9.3.1.3C – Communal open space

Use	Minimum area	Minimum dimension	Design elements
Multiple dwelling	50m ²	5 metres	Provides for clothes drying and recreational facilities; One continuous area; and

Use	Minimum area	Minimum dimension	Design elements
			Separated from any habitable room by a minimum of 3 metres.
Retirement facility or Residential care facility	Indoor communal space and communal open space as specified below.		
Rooming accommodation	Rate of 5m ² per resident	5 metres	One continuous area; 20% shaded; and 10% of the provided area is screened for use for clothes drying.
Indoor communal space	Rate of 1m ² per resident and 40m ²	-	Located centrally; and Provides a range of facilities.
Communal open space	30% site area and 50m ²	5 metres	Provided at ground level.
Short-term accommodation	50m ² and 20% site area	5 metres	Located at ground level; One continuous area; and 10% of the provided area is screened for use for clothes drying.
Tourist park	Includes at least each of the below communal facilities.		Located within 100 metres of the sites they serve (unless private recreation facilities are provided); and Separated from any site by a minimum of 10 metres.
Covered cooking area	50m ²	-	Including barbeque and dish washing facilities
Laundry	-	-	Including clothes drying facilities.
Recreational open space	Rate of 5m ² per site	-	Including a children's playground.

Note—Provision of communal open space for a Multiple dwelling is not required by Table 9.3.1.3C where more than 75% have access to ground floor private open space.

Note—For a Tourist park, the calculation of recreational open space is inclusive of pool areas, sporting facilities, such as football fields and tennis courts, and any unobstructed grassed areas having a minimum dimension of 3 metres that are provided in addition to accommodation sites for recreational purposes. Planted landscape areas and vegetated areas are excluded from the calculation.

Note—Indoor communal space may include lounge areas, a library / reading room, a TV/games/recreation room, meeting space/s, hairdresser or a convenience store.

Table 9.3.1.3D – Private open space

Use	Minimum area per dwelling or accommodation unit	Minimum dimension	Design elements
Caretaker's accommodation	As specified below.		
Ground level	50m ²	5 metres	Provided as unobstructed area; and Directly accessible from the main living area.
Above ground level	15m ²	2.5 metres	Provided as a balcony.
Outdoor service court	5m ²	-	Provided for clothes drying
Dual occupancy	40m ²	3 metres	Located at ground level. 20% shaded; and Accessed from the main living area of the dwelling.
Dwelling house	40m ²	3 metres	Located at ground level; 20% shaded; and Accessed from the main living area of the dwelling.

Use	Minimum area per dwelling or accommodation unit	Minimum dimension	Design elements
Home based business	40m ²	3 metres	Located at ground level; 20% shaded; and Accessed from the main living area of the dwelling.
Ground level	15m ²	3 metres	20% shaded; and Directly accessible from the main living area.
Above ground level	10m ²	3 metres	Directly accessible from the main living area.
Multiple dwelling	As specified below.		
Ground level	35m ²	3 metres	20% shaded; and Directly accessible from the main living area.
Above ground level	15m ²	3 metres	Directly accessible from the main living area.
Residential care facility	6m ²	2 metres	Provided as a shaded courtyard or balcony; and Directly accessible from the main living area.
Retirement facility	As specified below.		
Ground level	20m ²	3 metres	Provided as a courtyard or similar space; Grade does not exceed 5%; and Directly accessible from the main living area at ground level.
Above ground level	6m ²	2 metres	Provided as a balcony or similar space; and Directly accessible from the main living area.

Use	Minimum area per dwelling or accommodation unit	Minimum dimension	Design elements
Rooming accommodation	As specified below.		
Short-term accommodation	As specified below.		
Ground level	15m ²	3 metres	20% shaded; and Directly accessible from the main living area.
Above ground level	10m ²	3 metres	Directly accessible from the main living area.

Note—For Caretaker's accommodation, the outdoor service court may form part of the provided private open space.

Table 9.3.1.3E – Maximum scale of accommodation activities associated with a Home based business

Design	Maximum number of rooms	Maximum number of guests
Bed and breakfast	3 rooms for guest accommodation	6 guests at any one time
Farm stay	1 farm stay dwelling or accommodation unit in addition to the primary dwelling	10 guests at any one time

8.2.1 Agricultural land overlay code

8.2.1.1 Application

- (1) This code applies to assessing development where:
 - (a) land the subject of development is located within the agricultural land areas identified on the **Agricultural land overlay maps (OM-001a-n)**; and
 - (b) it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

Note—Agriculture is appropriately reflected in Overlay Map 1 and is required to be mapped by State Government in response to Economic Growth State Interests.

8.2.1.2 Purpose

- (1) The purpose of the Agricultural land overlay code is to protect or manage important agricultural areas, resources, and processes which contribute to the shire's capacity for primary production.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) The alienation, fragmentation or reduction in primary production potential of land within the 'Class A' area or 'Class B' area is avoided, except where:
 - (i) an overriding need exists for the development in terms of public benefit,
 - (ii) no suitable alternative site exists; and
 - (iii) the fragmentation or reduced production potential of agricultural land is minimised;
 - (b) 'Class A' areas and 'Class B' areas continue to be used primarily for more intensive agricultural activities which utilise the land quality provided in these areas;
 - (c) Grazing on very large land holdings is maintained as the dominant rural activity in the 'Broadhectare rural' area; and
 - (d) Land with the 'Broadhectare rural' area is maintained in its current configuration.

8.2.1.3 Criteria for assessment

Table 8.2.1.3 – Agricultural land overlay code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
<p>PO1</p> <p>The fragmentation or loss of productive capacity of land within the 'Class A' area or 'Class B' area identified on the Agricultural land overlay maps (OM-001a-n) is avoided unless:</p> <p>(a) an overriding need exists for the development in terms of public benefit;</p> <p>(b) no suitable alternative site exists; and</p> <p>(c) loss or fragmentation is minimised to the extent possible.</p>	<p>AO1</p> <p>Buildings and structures are not located on land within the 'Class A' area or 'Class B' area identified on the Agricultural land overlay maps (OM-001a-n) unless they are associated with:</p> <p>(a) animal husbandry; or</p> <p>(b) animal keeping; or</p> <p>(c) cropping; or</p> <p>(d) dwelling house; or</p> <p>(e) home based business; or</p> <p>(f) intensive animal industry (only where for feedlotting); or</p> <p>(g) intensive horticulture; or</p> <p>(h) landing; or</p> <p>(i) roadside stalls; or</p> <p>(j) winery.</p>	<p>✓</p>	<p>Proposal utilises an existing structure will serve a need associated with the agricultural industry.</p>
For assessable development			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO2</p> <p>Sensitive land uses in the 'Class A' area, 'Class B' area or the 'Broadhectare rural' area identified on the Agricultural land overlay maps (OM-001a-n) are designed and located to:</p> <p>(a) avoid land use conflict;</p> <p>(b) manage impacts from agricultural activities, including chemical spray drift, odour, noise, dust, smoke and ash;</p> <p>(c) avoid reducing primary production potential; and</p> <p>(d) not adversely affect public health, safety and amenity.</p>	<p>AO2</p> <p>No acceptable outcome is provided.</p>	✓	<p>Proposal utilises an existing structure, therefore is limited to this location. Notwithstanding, the nature of the use is such that accommodation is temporary and will only be occupied at night when farming operations are not occurring.</p>
<p>PO3</p> <p>Development in the 'Class A' area or 'Class B' area identified on the Agricultural land overlay maps (OM-001a-n):</p> <p>(a) ensures that agricultural land is not permanently alienated;</p> <p>(b) ensures that agricultural land is preserved for agricultural purposes; and</p> <p>(c) does not constrain the viability or use of agricultural land.</p>	<p>AO3</p> <p>No acceptable outcome is provided.</p>	✓	<p>Proposal utilises an existing structure and will not comprise the continued use of surrounding land for agriculture.</p>
If for Reconfiguring a lot			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO4</p> <p>The 'Broadhectare rural area' identified on the Agricultural land overlay maps (OM-001a-n) is retained in very large rural holdings viable for broad scale grazing and associated activities.</p>	<p>AO4</p> <p>Development does not involve the creation of a new lot within the 'Broadhectare rural' area identified on the Agricultural land overlay maps (OM-001a-n).</p>	<p>N/A</p>	
<p>PO5</p> <p>Reconfiguring a lot in the 'Class A' area, 'Class B' area or the 'Broadhectare rural' area identified on the Agricultural land overlay maps (OM-001a-n) that is severed by a gazetted road occurs only where it does not fragment land used for agricultural purposes.</p>	<p>AO5</p> <p>No acceptable outcome is provided.</p>	<p>N/A</p>	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO6</p> <p>Any Reconfiguring a lot in the 'Class A' area, 'Class B' area or the 'Broadhectare rural' area identified on the Agricultural land overlay maps (OM-001a-n), including boundary realignments, only occurs where it:</p> <p>(a) improves agricultural efficiency;</p> <p>(b) facilitates agricultural activity; or</p> <p>(c) facilitates conservation outcomes; or</p> <p>(d) resolves boundary issues where a structure is built over the boundary line of two lots.</p>	<p>AO6</p> <p>No acceptable outcome is provided.</p>	<p>✓ / x</p>	

8.2.3 Bushfire hazard overlay code

8.2.3.1 Application

- (1) This code applies to assessing development where:
 - (a) land the subject of development is located within a Bushfire hazard area and Potential impact buffer (100 metres) identified on the **Bushfire hazard overlay maps (OM-003a-o)**; and
 - (b) it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

Note—Natural hazards are appropriately reflected in Overlay Maps 3, 6 and 8 and are required to be mapped by State Government in response to Hazard and Safety State Interests.

8.2.3.2 Purpose

- (1) The purpose of the Bushfire hazard overlay code is to minimise the threat of bushfire to people and property.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development in a Bushfire hazard area is compatible with the nature of the hazard;
 - (b) The number of people and properties subject to bushfire hazards are minimised through appropriate building design and location;
 - (c) Development does not result in a material increase in the extent, duration or severity of bushfire hazard; and
 - (d) Appropriate infrastructure is available to emergency services in the event of a bushfire.

8.2.3.3 Criteria for assessment

Table 8.2.3.3—Bushfire hazard overlay code — For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
Water supply for fire-fighting purposes			
PO1 Development where within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) maintains the safety of people and	Where within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) AO1.1 Where in a reticulated water service area, the on-site water	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>property by providing an adequate, accessible and reliable water supply for fire-fighting purposes which is safely located and has sufficient flow and pressure characteristics.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>supply has flow and pressure characteristics of 10 litres a second at 200 kPa.</p> <p>OR</p>		
	<p>A01.2</p> <p>Where access to the reticulated water network is not available, a minimum on site water storage of 5,000 litres is provided that must comprise:</p> <ul style="list-style-type: none"> (a) a separate tank; or (b) a reserve section in the bottom part of the main water supply tank; or (c) a dam; or (d) a swimming pool. <p>Note—Where a water tank is provided for fire-fighting purposes it is fitted with standard rural fire brigade fittings and the tank is provided with a hardstand area for heavy vehicles.</p>	✓	Refer to Gilboy hydraulic plans.
For assessable development			
Land use			
<p>PO2</p> <p>Development within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) is appropriate to the bushfire hazard risk having regard to the:</p>	<p>A02</p> <p>All buildings, structures, infrastructure and facilities associated with the following uses are located outside any area of the site located within a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o):</p> <ul style="list-style-type: none"> (a) child care centre; or 	✓	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>(a) the bushfire risk compatibility of development;</p> <p>(b) the vulnerability of and safety risk to persons associated with the use; and</p> <p>(c) consequences of bushfire in regard to impacts on essential infrastructure, buildings and structures.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>(b) community care centre; or</p> <p>(c) correctional facility; or</p> <p>(d) educational establishment; or</p> <p>(e) emergency services; or</p> <p>(f) hospital; or</p> <p>(g) residential care facility; or</p> <p>(h) retirement facility; or</p> <p>(i) rooming accommodation; or</p> <p>(j) shopping centre; or</p> <p>(k) tourist park; or</p> <p>(l) tourist attraction.</p>		
Lot design			
<p>PO3</p> <p>Reconfiguring a lot within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) minimises the potential adverse impacts of bushfire on the safety of people, property and the environment through lot design that:</p> <p>(a) is responsive to the nature and extent of bushfire risk; and</p> <p>(b) allows efficient emergency access to buildings for fire-fighting appliances.</p>	<p>Where within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o)</p> <p>A03.1</p> <p>No new lots are created.</p> <p>OR</p> <p>A03.2</p> <p>All lots include a building envelope that achieves a radiant heat flux level of 29kW/m² at the perimeter of the building envelope.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>Note—Where a radiant heat flux of 29kW/m² is achieved and this relies on cleared or maintained land external to the land the subject of the development application it must be demonstrated that land external to the site will be maintained to a standard that does not exceed the level of bushfire hazard identified in a Bushfire hazard management plan.</p>		
Firebreaks and access			
<p>PO4</p> <p>In a ‘Bushfire hazard area’ and ‘Potential impact buffer (100 metres)’ identified on the Bushfire hazard overlay maps (OM-003a-o), vehicular access is designed to mitigate against bushfire hazard by:</p> <ul style="list-style-type: none"> (a) ensuring adequate access for fire-fighting and other emergency vehicles; (b) ensuring adequate access for the evacuation of residents and emergency personnel in an emergency situation, including alternative safe access routes should access in one direction be blocked in the event of a fire; and 	<p>AO4.1</p> <p>In a ‘Bushfire hazard area’ and ‘Potential impact buffer (100 metres)’ identified on the Bushfire hazard overlay maps (OM-003a-o), roads are designed and constructed:</p> <ul style="list-style-type: none"> (a) with a maximum gradient of 12.5%; (b) to not use cul-de-sacs; and (c) a constructed road width and weather standard complying with Planning Scheme Policy 4 - FNQROC Regional Development Manual. 	✓	
	<p>AO4.2</p> <p>In a ‘Bushfire hazard area’ and ‘Potential impact buffer (100 metres)’ identified on the Bushfire hazard overlay maps (OM-003a-o), firebreaks are provided:</p> <ul style="list-style-type: none"> (a) consisting of a perimeter road that separates lots 	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>(c) providing for the separation of developed areas and adjacent bushland.</p> <p>Note—Where it is not practicable to provide firebreaks in accordance with A04.2 Fire Maintenance Trails are provided in accordance with the following:</p> <ul style="list-style-type: none"> i. located as close as possible to the boundaries of the lot and the adjoining hazardous vegetation; ii. the minimum cleared width not less than 6 metres; iii. the formed width is not less than 2.5 metres; iv. the formed gradient is not greater than 15%; v. vehicular access is provided at both ends; vi. passing bays and turning areas are provided for fire-fighting appliances located on public land. <p>Note— A Bushfire hazard management plan must be</p>	<p>from areas of bushfire hazard;</p> <p>(b) a minimum cleared width of 20 metre;</p> <p>(c) a maximum gradient of 12.5%; and</p> <p>(d) a constructed road width and weather standard complying with Planning Scheme Policy 4 - FNQROC Regional Development Manual.</p>		

Performance outcomes	Acceptable outcomes	Complies	Comments
prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.			
Hazardous materials			
<p>PO5</p> <p>Public safety and the environment are not adversely affected by the detrimental impacts of bushfire of hazardous materials manufactured or stored in bulk.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>A05</p> <p>The processing or storage of dangerous goods or hazardous materials is not undertaken in a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o).</p>	N/A	
Landscaping			
<p>PO6</p> <p>Landscaping within a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) does not result in a material increase in the extent, duration or severity of bushfire hazard having regard to:</p> <ul style="list-style-type: none"> (a) fire ecology; (b) slope of site; and (c) height and mix of plant species. 	<p>A06</p> <p>No acceptable outcome is provided.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>Note—Frost hollows and the associated grass kill facilitates a rapid curing of fuel and exacerbates bushfire hazard.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>			
Infrastructure			
<p>PO7</p> <p>Infrastructure services located in a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) are protected from damage or destruction in the event of a bushfire.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>A07</p> <p>The following infrastructure services are located below ground:</p> <ul style="list-style-type: none"> (a) water supply; (b) sewer; (c) electricity; (d) gas; and (e) telecommunications 	N/A	
Private driveways			
<p>PO8</p> <p>All premises located in a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) are</p>	<p>A08</p> <p>Private driveways:</p> <ul style="list-style-type: none"> (a) do not exceed a length of 60 metres from the street frontage; 	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>provided with vehicular access that enables safe evacuation for occupants and easy access by fire-fighting appliances.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<ul style="list-style-type: none"> (b) do not exceed a gradient of 12.5%; (c) have a minimum width of 3.5 metres; (d) have a minimum vertical clearance of 4.8 metres; (e) accommodate turning areas for fire-fighting appliances in accordance with the Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and (f) serve no more than three dwellings or buildings. 		

8.2.6 Flood hazard overlay code

8.2.6.1 Application

This code applies to assessing development where:

land the subject of development is located within a Flood hazard area identified on the Flood hazard overlay maps (OM-006a-o); and

it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

Note—Natural hazards are appropriately reflected in Overlay Maps 3, 6 and 8 and are required to be mapped by State Government in response to Hazard and Safety State Interests.

Note—where new information, including flood studies or flood modelling supersedes the Flood hazard overlay maps (OM-006a-o) Council may have regard to this new information in the application of the Flood hazard overlay code in the interests of the precautionary principle and the safety of persons and property.

8.2.6.2 Purpose

The purpose of the Flood hazard overlay code is to manage development outcomes in flood hazard areas identified on the Flood hazard overlay maps (OM-006a-o) so that risk to life, property, community and the environment during flood events is minimised, and to ensure that development does not increase the potential for flood damage on site or to other property.

The purpose of the code will be achieved through the following overall outcomes:

Development in the 'Extreme flood hazard area':

maintains and enhances the hydrological function of the land;

does not involve filling (earthworks) or changes to existing landform or drainage lines that results in a loss of the flood conveyance and flood storage capacity of the land;

is limited to:

flood proofed Sport and recreation activities;

Rural activities where for Animal husbandry, Cropping or Permanent plantation;

flood proofed Utility installations, Substations or Major electricity infrastructure;

conservation and natural area management; and

replacement of existing lawful development, including Accommodation activities where habitable rooms are elevated above the defined flood level and include freeboard;

Where there is no increase to the number of persons at risk of flood and where development reduces existing or potential risks to life and property.

Development in the 'High flood hazard area':

maintains the hydrological function of the land;

does not involve filling (earthworks) or changes to the existing landform or drainage lines that results in a loss of the flood conveyance and flood storage capacity of the land;

is limited to:

flood proofed Sport and recreation activities and Club uses;

Non-resident workforce accommodation, Relocatable home park, Resort complex, Rooming accommodation, Short term accommodation and Tourist park uses where these uses comprise permanent on-site management and a flood evacuation management plan ensures the health and safety of persons during a flood event;

a Dwelling house only where the lot existed or had a lawful reconfiguring a lot approval at the commencement of the planning scheme and the land is included in a Residential zone or the Centre zone or where for minor intensification of existing Dwelling houses;

Rural activities where for Animal husbandry, Cropping or Permanent plantation;

Industrial activities and Commercial activities where it is accepted development that flood damage is incurred as an operational cost and where flood sensitive elements of the development or use are elevated above the defined flood level, including freeboard;

flood proofed Utility installations, Substations or Major electricity infrastructure;

conservation and natural area management; and

replacement of existing lawful development;

where there is no increase to the number of persons at risk of flood and where development reduces existing or potential risks to life and property.

protects surrounding land and land uses from increased flood hazard impacts;

elevates habitable rooms for all accommodation activities (including where for minor building work) above the defined flood level, including freeboard.

Development in the 'Significant flood hazard area':

minimises risk to life and property from flood events;

involves changes to the existing landform and drainage lines in this area only where detrimental impacts to the flood hazard risk of surrounding areas is avoided;

is limited to:

Sport and recreation activities;

Industrial activities and Commercial activities where it is accepted development that flood damage is incurred as an operational cost and where flood sensitive elements of the development or use are elevated above the defined flood level, including freeboard;

Rural activities;

Accommodation activities, excluding Residential care facility and Retirement facility;

flood proofed Community activities, excluding Child care centre, Hospital and Community use where a flood emergency evacuation plan ensures the safety of people during a flood event;

flood proofed Utility installations, Substations or Major electricity infrastructure;

conservation and natural area management;

locates habitable rooms for all accommodation activities above the defined flood level, including freeboard; and

locates the minimum floor level for all buildings other than accommodation activities, industrial activities and business activities above the defined flood level.

Development in the 'Low flood hazard area':

minimises risk to life and property from flood events;

locates habitable rooms for all Accommodation activities above the defined flood level, including freeboard; and

locates the minimum floor level for all buildings other than Accommodation activities above the defined flood level, including freeboard.

Development in the 'Potential flood hazard area':

maintains the safety of people on the development site from flood events and minimises the potential damage from flooding to property;

does not result in adverse impacts on people's safety, the environment or the capacity to use land within the floodplain;

locates habitable rooms for all Accommodation activities above a 1% Annual Exceedance Probability (AEP), including freeboard; and

locates the minimum floor level for all building work other than Accommodation activities above the 1% AEP flood level, including freeboard.

8.2.6.3 Criteria for assessment

Table 8.2.6.3A - Flood hazard overlay code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
All flood hazard areas			
<p>PO1</p> <p>Development prevents the carriage or dispersal of contaminants or pollutants into the receiving environment.</p>	<p>AO1</p> <p>The processing or storage of dangerous goods or hazardous materials is:</p> <p>not undertaken in a flood hazard area identified on the Flood hazard overlay maps (OM-006a-o); or</p> <p>is located above the defined flood level plus 0.3 metre freeboard.</p>	✓	
<p>PO2</p> <p>Essential community infrastructure is able to function effectively during and immediately after flood events.</p>	<p>AO2</p> <p>Design levels for buildings must comply with the flood immunity standards specified in Table 8.2.6.3.B and Table 8.2.6.3.C where within a flood hazard area identified on the Flood hazard overlay maps (OM-006a-o).</p>	✓	<p>Existing building is located on the very edge of the Potential Flood Hazard Area mapping and is situated on a raised building pad. It is submitted that the proposal includes appropriate flood immunity.</p>
Extreme flood hazard area			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO3</p> <p>Development, where involving a Material change of use within an 'Extreme flood hazard area' on the Flood hazard overlay maps (OM006a-o), is appropriate to the flood hazard risk having regard to the:</p> <p>likelihood and frequency of flooding;</p> <p>flood risk acceptability of development;</p> <p>vulnerability of and safety risk to persons associated with the use;</p> <p>associated consequences of flooding in regard to impacts on proposed buildings, structures, and supporting infrastructure; and</p> <p>associated consequences of flooding in respect to undue burden on disaster response recovery capacity and capabilities.</p>	<p>AO3.1</p> <p>Uses within the following activity groups are not located within an 'Extreme flood hazard area identified' on the Flood hazard overlay maps (OM006a-o):</p> <p>Accommodation activities;</p> <p>Commercial activities;</p> <p>Community activities except where for a Club with a maximum gross floor area of 100m²;</p> <p>Industrial activities;</p> <p>Rural activities, except where for Animal husbandry, Cropping, or Permanent plantation.</p>	<p>N/A</p>	
	<p>AO3.2</p> <p>Sport and recreation activities are not located within an 'Extreme flood hazard area' identified on the Flood hazard overlay maps (OM006a-o) except where for:</p> <p>Environment facility;</p> <p>Park; or</p> <p>Outdoor sport and recreation (excluding the provision of ancillary facilities or amenities conducted within a building).</p>	<p>N/A</p>	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO4</p> <p>Development is located and designed to:</p> <p>maintain and enhance the flood conveyance capacity of the premises;</p> <p>not increase the number of people calculated to be at risk from flooding;</p> <p>not increase the flood impact on adjoining premises;</p> <p>ensure the safety of all persons by ensuring that development levels are set above the defined flood level;</p> <p>reduce property damage; and</p> <p>provide flood immune access to buildings.</p> <p>Note—Buildings may be constructed from flood</p>	<p>AO4.1</p> <p>Buildings, including extensions to existing buildings, are:</p> <p>not located within an 'Extreme flood hazard area' identified on the Flood hazard overlay maps (OM006a-o); or</p> <p>elevated above the defined flood level, with 0.3 metres freeboard from the defined flood level provided for habitable rooms within a dwelling.</p>	N/A	
	<p>AO4.2</p> <p>All building work must be high set and retains the flood storage and conveyance capacity of the premises.</p> <p>Note—Building work must be certified by a qualified structural engineer to be flood proof including the ability to withstand damage from floodwater and debris.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>resistant, waterproof materials below the defined flood level where certified by a qualified structural engineer to be flood proof (including the ability to withstand damage from floodwater and debris) and where an alternative outcome to AO4.1-AO4.4 is also demonstrated.</p> <p>Note—In the event that a lawful building or structure is destroyed by flood or other event the building may be replaced in situ where there is no increase in:</p>	<p>AO4.3</p> <p>New buildings are provided with flood free pedestrian and vehicle evacuation access between the building and a flood safe accessible road.</p> <p>Note—A flood safe accessible road includes a road where identified as outside a flood hazard area or within a ‘Low flood hazard area’, ‘Potential flood hazard area’ or ‘Significant flood hazard area’ on the Flood hazard overlay maps (OM006a-o).</p>	N/A	
<p>gross floor area; or</p> <p>the number of dwellings or bedrooms on the premises.</p>	<p>AO4.4</p> <p>Development does not increase the number of lots in the ‘Extreme flood hazard area’ identified on the Flood hazard overlay maps (OM006a-o) except where for the purposes of public open space.</p>	N/A	
<p>PO5</p> <p>Development involving earthworks in a Flood hazard area below the defined flood level must protect life and property on premises and off premises through maintaining:</p> <p>flood storage capacity of land;</p> <p>flood conveyance function of land;</p> <p>flood and drainage channels; overland flow paths; and</p> <p>flood warning times.</p>	<p>AO5</p> <p>Filling above ground level is not undertaken in the ‘Extreme flood hazard area’ identified on the Flood hazard overlay maps (OM006a-o).</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
High flood hazard area			
<p>PO6</p> <p>Development, where for a Material change of use within a 'High flood hazard area' identified on the Flood hazard overlay maps (OM-006a-o), is appropriate to the flood hazard risk having regard to the:</p> <p>likelihood and frequency of flooding;</p> <p>flood risk acceptability of development;</p> <p>vulnerability of and safety risk to persons associated with the use;</p> <p>associated consequences of flooding in regard to impacts on proposed buildings, structures and supporting infrastructure; and</p> <p>associated consequences of flooding in respect to undue burden on disaster response recovery capacity and capabilities.</p>	<p>AO6.1</p> <p>Uses within the following activity groups are not located within a 'High flood hazard area' identified on the Flood hazard overlay maps (OM006a-o):</p> <p>Accommodation activities, except where for Dwelling house and only where the lot existed or had a lawful reconfiguring a lot approval at the commencement of the planning scheme and the land is included in a Residential zone or the Centre zone;</p> <p>Community activities except where for a Club with a maximum gross floor area of 100m²;</p> <p>Rural activities, except where for Animal husbandry, Cropping or Permanent plantation.</p>	N/A	
	<p>AO6.2</p> <p>Sport and recreation activities are not located within a 'High flood hazard area' identified on the Flood hazard overlay maps (OM006a-o) except where for:</p> <p>Environment facility;</p> <p>Park; or</p> <p>Outdoor sport and recreation (excluding the provision of ancillary facilities or amenities conducted within a building).</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO7</p> <p>Development is located and designed to:</p> <p>maintain hydrological function of the premises;</p> <p>not increase the number of people calculated to be at risk from flooding;</p> <p>minimises the flood impact on adjoining premises;</p> <p>ensure the safety of all persons by ensuring that an appropriate proportion of buildings are set above the defined flood level;</p> <p>reduce the carriage of debris in flood waters;</p> <p>reduce property damage; and</p> <p>provide flood immune access to buildings.</p> <p>Note—Buildings may be constructed from flood resistant, waterproof materials below the defined flood level where certified by a qualified structural engineer to be flood proof (including the ability to withstand damage from floodwater and debris) and where an alternative outcome to AO8.1-AO8.9 is also demonstrated.</p>	<p>AO7.1</p> <p>Buildings, including extensions to existing buildings are:</p> <p>not located within the 'High flood hazard area' identified on the Flood hazard overlay maps (OM006a-o); or</p> <p>elevated above the defined flood level, with 0.3 metres freeboard from the defined flood level provided for habitable rooms within a dwelling.</p> <p>OR</p>	N/A	
	<p>AO7.2</p> <p>Buildings used for Commercial activities or Industrial activities include a minimum floor level of 0.3 metres above the defined flood where for the following components of the use:</p> <p>administrative areas; or</p> <p>services, plant and equipment associated with the building.</p> <p>Note—AO8.2 accepts that the cost of flood impact is an operational cost of the Commercial activity or Industrial activity.</p> <p>Note—Building work must be certified by a qualified structural engineer to be flood proof including the ability to withstand damage from floodwater and debris.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>AO7.3</p> <p>All building work below the defined flood level must be high set (comprising pier and beam construction) and retains the flood storage and conveyance capacity of the premises.</p>	N/A	
	<p>AO7.4</p> <p>New buildings are provided with flood free pedestrian and vehicle evacuation access between the building and a flood safe accessible road.</p> <p>Note—A flood safe accessible road includes a road where identified as outside a flood hazard area or within a ‘Low flood hazard area’, ‘Potential flood hazard area’ or ‘Significant flood hazard area’ on the Flood hazard overlay maps (OM006a-o).</p>	N/A	
	<p>AO7.5</p> <p>New temporary, relocatable or impermanent buildings and structures are to be anchored with the ability to withstand transportation by floodwater.</p> <p>Note—Building work must be certified by a qualified structural engineer.</p>	N/A	
	<p>AO7.6</p> <p>Dwellings do not exceed four bedrooms.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>AO7.7</p> <p>Building work on an existing dwelling does not comprise additional bedrooms.</p>	N/A	
	<p>AO7.8</p> <p>Building work on an existing dwelling is limited to a maximum increase of 20 percent of the lawfully approved gross floor area of the existing dwelling.</p>	N/A	
	<p>AO7.9</p> <p>Development does not increase the number of lots in the 'High flood hazard area; as identified on the Flood hazard overlay maps (OM006a-o) except where for the purposes of public open space.</p>	N/A	
<p>PO8</p> <p>Development involving earthworks in a Flood hazard area below the defined flood level must protect life and property on premises and off premises through maintaining:</p> <p>flood storage capacity of land;</p> <p>flood conveyance function of land;</p> <p>flood and drainage channels; overland flow paths; and</p> <p>flood warning times.</p>	<p>AO8</p> <p>Filling above ground level is not undertaken in the 'High flood hazard area' identified on the Flood hazard overlay maps (OM006a-o).</p>	N/A	
Significant flood hazard area			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO9</p> <p>Development, involving a Material change of use, within a 'Significant flood hazard area' on the Flood hazard overlay maps (OM006a-o) is appropriate to the flood hazard risk having regard to the:</p> <p>likelihood and frequency of flooding;</p> <p>flood risk acceptability of development;</p> <p>vulnerability of and safety risk to persons associated with the use;</p> <p>associated consequences of flooding in regard to impacts on proposed buildings, structures and supporting infrastructure; and</p> <p>associated consequences of flooding in respect to undue burden on disaster response recovery capacity and capabilities.</p>	<p>AO9</p> <p>The following uses are not located within a 'Significant flood hazard area' identified on the Flood hazard overlay maps (OM006a-o):</p> <p>Residential care facility;</p> <p>Retirement facility;</p> <p>Child care centre;</p> <p>Hospital; or</p> <p>Community use.</p>	<p>N/A</p>	
<p>Significant flood hazard area, Low flood hazard area or Potential flood hazard area</p>			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO10</p> <p>Development, where involving a Material change of use or Building work, is located and designed to:</p> <p>maintain hydrological function of the premises;</p> <p>not increase the number of people calculated to be at risk from flooding;</p> <p>minimises the flood impact on adjoining premises;</p> <p>ensure the safety of all persons by ensuring that a proportion of buildings are set above the defined flood level;</p> <p>reduce the carriage of debris in flood waters;</p> <p>reduce property damage; and</p> <p>provide flood immune access to buildings.</p> <p>Note—Where the development is located in a 'Potential flood hazard area' identified on the Flood hazard overlay maps (OM006a-o) and there is no defined flood level a hydraulic (flood hazard assessment) report prepared by a RPEQ is required in substantiation of an alternative outcome is required or the defined flood level from the adjacent</p>	<p>AO10.1</p> <p>Buildings, including extensions to existing buildings are:</p> <p>elevated above the defined flood level; and</p> <p>the defined flood event does not exceed a depth of 600mm; and</p> <p>elevated above the defined flood level plus 0.3 metres freeboard where for habitable rooms within a dwelling.</p> <p>OR</p>	✓	Existing building is located on the very edge of the Potential Flood Hazard Area mapping and is situated on a raised building pad. It is submitted that the proposal includes appropriate flood immunity.
	<p>AO10.2</p> <p>Buildings used for Commercial activities or Industrial activities include a minimum floor level of 0.3 metres above the defined flood where for the following components of the use:</p> <p>administrative areas; or</p> <p>services, plant and equipment associated with the building.</p> <p>Note—AO10.2 accepts that the cost of flood impact is an operational cost of the Commercial activity or Industrial activity.</p> <p>Note—Building work must be certified by a qualified structural engineer to be flood proof including the ability to withstand damage from floodwater and debris.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>representative hazard zone is used.</p>	<p>AO10.3</p> <p>All building work below the defined flood level must be high set (comprising pier and beam construction) and retains the flood storage and conveyance capacity of the premises.</p> <p>Note—Building work must be certified by a qualified structural engineer to be flood proof including the ability to withstand damage from floodwater and debris.</p>	<p>N/A</p>	
<p>PO11</p> <p>Development involving earthworks in a Flood hazard area below the defined flood level must protect life and property on premises and off premises through maintaining:</p> <p>flood storage capacity of land;</p> <p>flood conveyance function of land;</p> <p>flood and drainage channels; overland flow paths; and</p> <p>flood warning times.</p>	<p>AO11</p> <p>Development does not involve in excess of 50m³ of fill above ground level per 1,000m² of site area.</p>	<p>N/A</p>	
<p>For assessable development</p>			
<p>Where for Material change of use or Reconfiguring a lot that involves new gross floor area or increases the number of persons living, working or residing in the Extreme flood hazard area, High flood hazard area or Significant flood hazard area other than a Dwelling house.</p>			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO12</p> <p>Flood risk management minimises the impact on property and appropriately protects the health and safety of persons at risk of Extreme, high or significant flood hazard, and:</p> <p>indicates the position and path of all safe evacuation routes off the site; and</p> <p>if the site contains or is within 100 metres of a flood hazard area, hazard warning signage and depth indicators are provided at key hazard points, such as at floodway crossings.</p> <p>Note—A Material change of use or Reconfiguring a lot that involves new gross floor area or increases the number of persons living, working or residing in the 'Extreme flood hazard area' identified on the Flood hazard overlay map (OM006a-o) is supported by a Flood Emergency Evacuation Plan prepared by suitably qualified persons having regard to Floodplain Management in Australia: Best Practice Principles and Guidelines (2000), prepared by Standing Committee on Agriculture and Resource Management (SCARM), CSIRO.</p>	<p>AO12</p> <p>No acceptable outcome is provided.</p>	<p>N/A</p>	
<p>Significant flood hazard area, Low flood hazard area or Potential flood hazard area</p>			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO13</p> <p>Development, where involving Reconfiguring a lot, is located and designed to:</p> <p>maintain hydrological function of the premises;</p> <p>not increase the number of people calculated to be at risk from flooding;</p> <p>minimises the flood impact on adjoining premises;</p> <p>ensure the safety of all persons by ensuring that a proportion of buildings are set above the defined flood level;</p> <p>reduce the carriage of debris in flood waters;</p> <p>reduce property damage; and</p> <p>provide flood immune access to buildings.</p> <p>Note—Where the development is located in a ‘Potential flood hazard area’ identified on the Flood hazard overlay maps (OM006a-o) and there is no defined flood level a hydraulic (flood hazard assessment) report prepared by a RPEQ is required in substantiation of an alternative outcome is required or the defined flood level from the adjacent representative hazard zone is used.</p>	<p>AO13</p> <p>No acceptable outcome is provided.</p>	<p>N/A</p>	

Table 8.2.6.3B Flood immunity levels

Development Category	Minimum design floor or pavement levels (mAHD)
Category A	1% AEP + 0.5 metres
Category B	1% AEP + 0.3 metres
Category C	1% AEP
Category D	1% AEP
Category E	2% AEP

Note—Refer Table 8.2.6.3D for building classification by Category.

Table 8.2.6.3C Community infrastructure flood immunity levels

Development Type	Minimum design floor or pavement levels (mAHD)
Emergency services, where for:	
Emergency Shelters	0.1% AEP
Police facilities	0.5% AEP
Other Emergency services	0.1% AEP + 0.5 metres
Hospital	0.1% AEP+ 0.5 metres
Community use (where for the storage of valuable records or items of historic or cultural significance including libraries and museums)	0.5% AEP
Special industry (where for power station)	0.5% AEP
Substations	0.5% AEP
Utility installation (where for a sewage treatment plant)	Defined flood level
Utility installation (where for a water treatment plant)	0.5% AEP
Utility installation (other)	Alternative outcome required.
Air services	Alternative outcome required.

Table 8.2.6.3D Development category

Building Code of Australia Building classification(1)	Development types and design levels, assigned design floor or pavement levels	Category – refer to Table 8.2.6.3B for flood planning levels
Class 1–4	Habitable room	Category A
	Non-habitable room including patio and courtyard	Category B
	Non-habitable part of a Class 2 or Class 3 building excluding the essential services(2) control room	Category B
	Parking located in the building undercroft of a multiple dwelling	Category C
	Carport, unroofed car park; vehicular manoeuvring area	Category D
	Essential electrical services(2) of a Class 2 or Class 3 building only	Category A
	Basement parking entry	Category C + 0.3 metres
Class 5, Class 6, or Class 8	Building floor level	Category C
	Garage or car park located in the building undercroft	Category C
	Carport or unroofed car park	Category D
	Vehicular access and manoeuvring areas	Category D
	Basement parking entry	Category C
	Essential electrical services(2)	Class 8 – Category Class 5 & 6 – Category A
Class 7a	Refer to the relevant building class specified in this table	
Class 7b	Building floor level	Category C
	Vehicular access and manoeuvring area	Category D
	Essential electrical services(2)	Category C
Class 9	Building floor level	Category A
	Building floor level for habitable rooms in Class 9a or 9c where for a Residential care facility	0.2% AEP flood

Building Code of Australia Building classification(1)	Development types and design levels, assigned design floor or pavement levels	Category – refer to Table 8.2.6.3B for flood planning levels
	Building floor level for habitable rooms in Class 9b where involving children, such as a child care centre	0.2% AEP flood
	Garage or car park located in the building undercroft	Category C
	Carport or unroofed car park	Category D
	Vehicular access and manoeuvring areas	Category D
	Essential electrical services(2)	Category A
Class 10a	Car parking facility	Refer to the relevant building class specified in this table
	Shed or the like	Category D
Class 10b	Swimming pool	Category E
	Associated mechanical and electrical pool equipment	Category C
	Other structures	Flood planning levels do not apply

(1) Refer to the Building Code of Australia for definitions of building classifications.

(2) Essential electrical services include any area or room used for fire control panel, telephone PABX, sensitive substation equipment including transformers, low voltage switch gear, high voltage switch gear, battery chargers, protection control and communication equipment, low voltage cables, high voltage cables, and lift or pump controls.

9.4.3 Parking and access code

9.4.3.1 Application

This code applies to assessing development where it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

9.4.3.2 Purpose

The purpose of the Parking and access code is to ensure:

parking areas are appropriately designed, constructed and maintained;

the efficient functioning of the development and the local road network; and

all development provides sufficient parking, loading/service and manoeuvring areas to meet the demand generated by the use.

The purpose of the code will be achieved through the following overall outcomes:

Land uses have a sufficient number of parking and bicycle spaces designed in a manner to meet the requirements of the user;

Parking spaces and associated manoeuvring areas are safe, functional and provide equitable access;

Suitable access for all types of vehicles likely to utilise a parking area is provided in a way that does not compromise the safety and efficiency of the surrounding road network;

Premises are adequately serviced to meet the reasonable requirements of the development; and

End of trip facilities are provided by new major developments to facilitate alternative travel modes.

9.4.3.3 Criteria for assessment

Table 9.4.3.3A—Parking and access code – For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
Car parking spaces			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO1</p> <p>Development provides sufficient car parking to accommodate the demand likely to be generated by the use, having regard to the:</p> <p>nature of the use;</p> <p>location of the site;</p> <p>proximity of the use to public transport services;</p> <p>availability of active transport infrastructure; and</p> <p>accessibility of the use to all members of the community.</p>	<p>AO1</p> <p>The number of car parking spaces provided for the use is in accordance with Table 9.4.3.3B.</p> <p>Note—Car parking spaces provided for persons with a disability are to be considered in determining compliance with AO1.</p>	✓	<p>Proposal is capable of providing car parking as required, although farm workers will largely utilise shared transport.</p>
Vehicle crossovers			
<p>PO2</p> <p>Vehicle crossovers are provided to::</p> <p>ensure safe and efficient access between the road and premises;</p> <p>minimize interference with the function and operation of roads; and</p> <p>minimise pedestrian to vehicle conflict.</p>	<p>AO2.1</p> <p>Vehicular access to/from Council roads is designed and constructed in accordance with the Standard drawings in Planning Scheme Policy 4 - FNQROC Regional Development Manual.</p>	✓	
	<p>AO2.2</p> <p>Development on a site with two or more road frontages provides vehicular access from:</p> <p>the primary frontage where involving Community activities or Sport and recreation activities, unless the primary road frontage is a State-controlled road;</p> <p>or</p> <p>from the lowest order road in all other instances.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
	AO2.3 Vehicular access for particular uses is provided in accordance with Table 9.4.3.3E.	✓	
PO3 Access, manoeuvring and car parking areas include appropriate pavement treatments having regard to: the intensity of anticipated vehicle movements; the nature of the use that they service; and the character of the surrounding locality.	AO3 Access, manoeuvring and car parking areas include pavements that are constructed in accordance with Table 9.4.3.3C.	✓	
For assessable development			
Parking area location and design			
PO4 Car parking areas are located and designed to: ensure safety and efficiency in operation; and be consistent with the character of the surrounding locality.	AO4.1 Car parking spaces, access and circulation areas have dimensions in accordance with AS/NZS 2890.1 Off-street car parking.	✓	
	AO4.2 Disabled access and car parking spaces are located and designed in accordance with AS/NZS 2890.6 Parking facilities - Off-street parking for people with disabilities.	✓	
	AO4.3 The car parking area includes designated pedestrian routes that provide connections to building entrances.	✓	

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>AO4.4</p> <p>Parking and any set down areas are:</p> <p>wholly contained within the site;</p> <p>visible from the street where involving Commercial activities, Community activities, Industrial activities or a use in the Recreation and open space zone;</p> <p>are set back behind the main building line where involving a Dual occupancy, Multiple dwelling, Residential care facility or Retirement facility; and</p> <p>provided at the side or rear of a building in all other instances.</p>	✓	
Site access and manoeuvring			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO5</p> <p>Access to, and manoeuvring within, the site is designed and located to:</p> <p>ensure the safety and efficiency of the external road network;</p> <p>ensure the safety of pedestrians;</p> <p>provide a functional and convenient layout; and</p> <p>accommodate all vehicles intended to use the site.</p>	<p>AO5.1</p> <p>Access and manoeuvrability is in accordance with :</p> <p>AS28901 – Car Parking Facilities (Off Street Parking); and</p> <p>AS2890.2 – Parking Facilities (Off-street Parking) Commercial Vehicle Facilities.</p> <p>Note—Proposal plans should include turning circles designed in accordance with AP34/95 (Austroads 1995) Design Vehicles and Turning Path Templates.</p>	<p>✓</p>	
	<p>AO5.2</p> <p>Vehicular access has a minimum sight distance in accordance with Part 5 of AUSTROADS.</p>	<p>✓</p>	
	<p>AO5.3</p> <p>Vehicular access is located and designed so that all vehicles enter and exit the site in a forward gear.</p>	<p>✓</p>	

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>AO5.4</p> <p>Pedestrian and cyclist access to the site:</p> <p>is clearly defined;</p> <p>easily identifiable; and</p> <p>provides a connection between the site frontage and the entrance to buildings and end of trip facilities (where provided).</p>	✓	
<p>PO6</p> <p>Development that involves an internal road network ensures that it's design:</p> <p>ensure safety and efficiency in operation;</p> <p>does not impact on the amenity of residential uses on the site and on adjoining sites, having regard to matters of:</p> <p>hours of operation;</p> <p>noise</p> <p>light; and</p> <p>odour;</p> <p>accommodates the nature and volume of vehicle movements anticipated to be generated by the use;</p> <p>allows for convenient access to key on-site features by pedestrians, cyclists and motor vehicles; and</p> <p>in the Rural zone, avoids environmental degradation.</p>	<p>AO6.1</p> <p>Internal roads for a Tourist park have a minimum width of:</p> <p>4 metres if one way; or</p> <p>6 metres if two way.</p>	N/A	
	<p>AO6.2</p> <p>For a Tourist park, internal road design avoids the use of cul-de-sacs in favour of circulating roads, where unavoidable, cul-de-sacs provide a full turning circle for vehicles towing caravans having:</p> <p>a minimum approach and departure curve radius of 12 metres; and</p> <p>a minimum turning circle radius of 8 metres.</p>	N/A	
	<p>AO6.3</p> <p>Internal roads are imperviously sealed and drained, apart from those for an Energy and infrastructure activity or Rural activity.</p>	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>AO6.4</p> <p>Speed control devices are installed along all internal roads, apart from those for an Energy and infrastructure activity or Rural activity, in accordance with Complete Streets.</p>	N/A	
	<p>AO6.5</p> <p>Internal roads, apart from those for an Energy and infrastructure activity or Rural activity, are illuminated in accordance with AS 4282 (as amended) - Control of Obtrusive effects of outdoor lighting.</p>	N/A	
	<p>AO6.6</p> <p>Where involving an accommodation activity, internal roads facilitate unobstructed access to every dwelling, accommodation unit, accommodation site and building by emergency services vehicles.</p>	✓	
	<p>AO6.7</p> <p>For an Energy and infrastructure activity or Rural activity, internal road gradients:</p> <p>are no steeper than 1:5; or</p> <p>are steeper than 1:5 and are sealed.</p>	✓	
Servicing			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO7</p> <p>Development provides access, maneuvering and servicing areas on site that:</p> <p>accommodate a service vehicle commensurate with the likely demand generated by the use;</p> <p>do not impact on the safety or efficiency of internal car parking or maneuvering areas;</p> <p>do not adversely impact on the safety or efficiency of the road network;</p> <p>provide for all servicing functions associated with the use; and</p> <p>are located and designed to minimise their impacts on adjoining sensitive land uses and streetscape quality.</p>	<p>AO7.1</p> <p>All unloading, loading, service and waste disposal areas are located:</p> <p>on the site;</p> <p>to the side or rear of the building, behind the main building line;</p> <p>not adjacent to a site boundary where the adjoining property is used for a sensitive use.</p>	✓	
	<p>AO7.2</p> <p>Unloading, loading, service and waste disposal areas allow service vehicles to enter and exit the site in a forward gear.</p>	✓	
	<p>AO7.3</p> <p>Development provides a servicing area, site access and maneuvering areas to accommodate the applicable minimum servicing vehicle specified in Table 9.4.3.3B.</p>	✓	
Maintenance			
<p>PO8</p> <p>Parking areas are used and maintained for their intended purpose.</p>	<p>AO8.1</p> <p>Parking areas are kept and used exclusively for parking and are maintained in a suitable condition for parking and circulation of vehicles.</p>	✓	

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>AO8.2</p> <p>All parking areas will be compacted, sealed, drained, line marked and maintained until such time as the development ceases.</p>	✓	
End of trip facilities			
<p>PO9</p> <p>Development within the Centre zone; Industry zone or Emerging community zone provides facilities for active transport users that:</p> <p>meet the anticipated demand generated from the use;</p> <p>comprise secure and convenient bicycle parking and storage; and</p> <p>provide end of trip facilities for all active transport users.</p>	<p>AO9.1</p> <p>The number of bicycle parking spaces provided for the use is in accordance with Table 9.4.3.3D.</p>	N/A	
	<p>AO9.2</p> <p>End of trip facilities are provided in accordance with Table 9.4.3.3D.</p>	N/A	
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park			
<p>PO10</p> <p>The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.</p>	<p>AO10</p> <p>A traffic impact report is prepared by a suitably qualified person that identifies:</p> <p>the expected traffic movements to be generated by the facility;</p> <p>any associated impacts on the road network; and</p> <p>any works that will be required to address the identified impacts.</p>	N/A	
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO11</p> <p>The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.</p>	<p>AO11</p> <p>A traffic impact report is prepared by a suitably qualified person that identifies:</p> <ul style="list-style-type: none"> the expected traffic movements to be generated by the facility; any associated impacts on the road network; and any works that will be required to address the identified impacts. 	<p>N/A</p>	

Table 9.4.3.3B—Vehicle Parking and Service Vehicle Space Requirements

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Adult store	<p>Inside the Centre zone:</p> <p>One space per 50m² or part thereof of GFA up to 400m² GFA, and one space per 20m² or part thereof of GFA above 400m².</p> <p>Outside the Centre zone:</p> <p>One space per 25m² or part thereof of GFA up to 400m² GFA, and one space per 10m² or part thereof of GFA above 400m².</p>	One SRV space.
Agricultural supplies store	<p>Inside the Centre zone:</p> <p>One space per 50m² or part thereof of GFA up to 400m² GFA, and one space per 15m² or part thereof of GFA above 400m².</p> <p>Outside the Centre zone:</p> <p>One space per 30m² or part thereof of GFA up to 400m² GFA, and one space per 10m² or part thereof of GFA above 400m².</p> <p>Queuing for 3 vehicles should be supplied where a GFA is greater than 600m².</p>	One HRV space.
Air services	<p>If accepted development subject to requirements development:</p> <p>One space per 90m² or part thereof of net lettable area; or</p> <p>If Assessable development:</p> <p>As determined by Council.</p>	<p>If accepted development subject to requirements:</p> <p>One space per 200m² or part thereof of net lettable area.</p> <p>If assessable development:</p> <p>As determined by Council.</p>

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Animal husbandry	<p>If accepted development subject to requirements :</p> <p>One space.</p> <p>If assessable development:</p> <p>As determined by Council.</p>	<p>If accepted development subject to requirements:</p> <p>Nil.</p> <p>If assessable development:</p> <p>As determined by Council.</p>
Animal keeping	Minimum of three spaces or one space per 200m ² of use area, whichever is greater.	One SRV space.
Aquaculture	<p>If accepted development subject to requirements:</p> <p>In the rural or rural residential zones - two spaces; or</p> <p>Enclosed within a building - one space per 90m² of net lettable area.</p> <p>If assessable development:</p> <p>As determined by Council.</p>	<p>If accepted development subject to requirements:</p> <p>Nil.</p> <p>If assessable development:</p> <p>As determined by Council.</p>
Brothel	As determined by Council.	As determined by Council.
Bulk landscape supplies	Minimum of five spaces or one space per 250m ² of use area, whichever is greater.	<p>One AV if the site has an area of greater than 2,000m²; or</p> <p>One HRV space.</p>
Car wash	Minimum of two parking spaces plus 1 car queuing space for each car wash or service bay and parking at rates applicable to ancillary use/s.	One AV space.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Caretaker's accommodation	One space per dwelling unit.	Nil.
Cemetery	As determined by Council.	As determined by Council.
Child care centre	A minimum of 3 spaces will be required to be used for setting down and picking up of children, plus one space per 10 children for staff parking.	One SRV space.
Club	Minimum of 5 spaces per use or one space per 25m ² or part thereof of GFA, whichever is greater.	One SRV space; and One HRV space if greater than 500m ² .
Community care centre	Minimum of 5 spaces per use or one space per 25m ² or part thereof of GFA, whichever is greater.	One SRV space.
Community residence	Three spaces.	Nil.
Community use	Minimum of 5 spaces per use or one space per 50m ² or part thereof of GFA, whichever is greater.	One SRV space if greater than 500m ² GFA.
Crematorium	One space per 30m ² GFA or part thereof.	As determined by Council.
Cropping	If accepted development subject to requirements: Two spaces. If assessable development: As determined by Council.	If accepted development subject to requirements: Nil. If assessable development: As determined by Council.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Detention facility	As determined by Council.	As determined by Council.
Dual occupancy	One covered space per dwelling; and One visitor space.	Nil.
Dwelling house	One covered space per dwelling house. One space per secondary dwelling.	Nil.
Dwelling unit	One covered space per dwelling unit. A minimum of 0.25 spaces per dwelling is to remain in common property for visitor use.	Nil
Educational establishment	For all establishments: 1 space per every 10 students plus 1 space per employee, and Provision for 3 vehicles for loading and unloading of passengers in addition to the requirements above.	For accepted development subject to requirements: One HRV space; and One SRV space; and A minimum of 3 Bus / coach parking / set down areas. For assessable development: As determined by Council.
Emergency services	Minimum of 5 spaces per use or one space per 25m ² or part thereof of GFA, whichever is greater.	As determined by Council.
Environment facility	As determined by Council.	As determined by Council.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Extractive industry	As determined by Council.	As determined by Council.
Food and drink outlet	<p>Accepted in an existing building within the Centre zone.</p> <p>Inside the Centre zone:</p> <p>One space per 50m² or part thereof of GFA up to 400m² GFA and one space per 15m² or part thereof of GFA above 400m².</p> <p>Outside the Centre zone:</p> <p>One space per 25m² or part thereof of GFA up to 400m² GFA and one space per 10m² or part thereof of GFA above 400m².</p> <p>Drive-through:</p> <p>Queuing spaces for 6 passenger vehicles within the site boundaries.</p> <p>One service vehicle space per use or one service vehicle space per 1,000m² GFA, whichever is greater.</p>	One HRV space.
Function facility	One space per 30m ² or part thereof of GFA.	One SRV space.
Funeral parlour	<p>Accepted in an existing building within the Centre zone.</p> <p>Inside the Centre zone:</p> <p>One space per 20m² or part thereof of GFA up to 400m² GFA, and one space per 10m² or part thereof of GFA above 400m².</p> <p>Outside the Centre zone:</p> <p>One space per 25m² or part thereof of GFA up to 400m² GFA, and one space per 15m² or part thereof of GFA above 400m².</p>	One SRV space.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Garden centre	<p>A minimum of 5 spaces for customer parking or one space per 150m² or part thereof of use area, whichever is greater.</p> <p>One service vehicle space per use or one service vehicle space per 800m² use area, whichever is greater.</p>	One AV if the site has an area of greater than 2,000m ² , otherwise One HRV space.
Hardware and trade supplies	<p>Accepted in an existing building within the Centre zone.</p> <p>Inside the Centre zone:</p> <p>One space per 50m² or part thereof of GFA up to 400m² GFA, and one space per or part thereof of GFA above 400m².</p> <p>Outside the Centre zone:</p> <p>One space per or part thereof of GFA up to 400m² GFA, and one space per 15m² or part thereof of GFA above 400m².</p>	One AV if the site has an area of greater than 2,000m ² , otherwise One HRV space.
Health care services	<p>Accepted in an existing building within the Centre zone.</p> <p>Inside the Centre zone:</p> <p>One space per 40m² or part thereof of net lettable area.</p> <p>Outside the Centre zone:</p> <p>One space per 20m² of or part thereof of net lettable area.</p>	One SRV space per 500m ² GFA.
High impact industry	One space per 90m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Home based business	<p>Bed and breakfasts:</p> <p>One space per guest room.</p> <p>Other home based business:</p> <p>One space for home based business and one covered space for the dwelling.</p>	Nil.
Hospital	<p>One space per 6 residential care beds.</p> <p>One space per 4 hostel unit beds.</p> <p>Visitor parking at 30% of resident parking requirements.</p>	<p>One HRV space.</p> <p>One SRV for every 800m² of GFA and part thereof; and</p> <p>One space for an emergency vehicle.</p>
Hotel	<p>One space per 10m² or part thereof of GFA per bar, beer garden and other public area.</p> <p>One space per 50m² or part thereof of GFA per bulk liquor sales area.</p> <p>One space per guest room.</p>	One HRV space.
Indoor sport and recreation	<p>If accepted development subject to requirements:</p> <p>One space per 25m² of net lettable area.</p> <p>If assessable development:</p> <p>As determined by Council.</p>	<p>An internal bus set down and pick up area that enables the bus to be in a forward motion at all times whilst onsite</p> <p>Internal dedicated taxi bays provided within 200 metres of the site entrance.</p>

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Intensive animal industries	<p>If accepted development subject to requirements: Two spaces.</p> <p>If assessable development: As determined by Council.</p>	One SRV space.
Intensive horticulture	<p>If accepted development subject to requirements: Two spaces.</p> <p>If assessable development: As determined by Council.</p>	<p>If accepted development subject to requirements: Nil.</p> <p>If assessable development: As determined by Council.</p>
Landing	As determined by Council.	As determined by Council.
Low impact industry	One space per 90m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.
Major electricity infrastructure	As determined by Council.	As determined by Council.
Major sport, recreation and entertainment facility	As determined by Council.	As determined by Council.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Marine industry	One space per 90m ² GFA or part thereof.	One HRV space if the site has an area greater than 1,000m ² , otherwise One SRV space.
Market	As determined by Council.	As determined by Council.
Medium impact industry	One space per 90m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.
Motor sport facility	As determined by Council.	As determined by Council.
Multiple dwelling	<p>One covered space per dwelling.</p> <p>One dedicated vehicle wash-down bay for premises containing 5 or more dwellings.</p> <p>A minimum of 0.25 spaces per dwelling is to remain in common property for visitor use.</p>	Nil.
Nature-based tourism	One space per dwelling; or 0.75 spaces per guest room if in dormitory or shared facilities.	As determined by Council.
Nightclub entertainment facility	One space per 60m ² GFA or part thereof.	Nil.
Non-resident workforce accommodation	One space per dwelling unit.	Nil.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Office	<p>Accepted in an existing building within the Centre zone.</p> <p>Inside the Centre zone: One space per 20m² or part thereof of GFA up to 400m² GFA, and one space per 10m² or part thereof of GFA above 400m².</p> <p>Outside the Centre zone: One space per 25m² or part thereof of GFA up to 400m² GFA, and one space per 15m² or part thereof of GFA above 400m².</p>	One SRV space.
Outdoor sales	<p>A minimum of 5 spaces for customer parking or one space per 150m² of use area, whichever is greater.</p> <p>One service vehicle space per use or one service vehicle space per 800m², whichever is greater.</p>	One AV if the site has an area of greater than 2,000m ² , otherwise One HRV space.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Outdoor sport and recreation	<p>Coursing, horse racing, pacing or trotting: One space per five seated spectators; plus One space per 5m² of other spectator areas.</p> <p>Football: 50 spaces per field.</p> <p>Lawn bowls: 30 spaces per green.</p> <p>Swimming pool: 15 spaces; plus One space per 100m² of useable site area.</p> <p>Tennis or other Court: Four spaces per court.</p> <p>Golf Course: Four spaces per tee on the course; plus One space per 50m² of net lettable area.</p> <p>Any other use: As determined by council.</p>	<p>An internal bus set down and pick up area that enables the bus to be in a forward motion at all times whilst onsite</p> <p>Internal dedicated taxi bays provided within 200 metres of the site entrance.</p>
Park	As determined by Council.	As determined by Council.
Parking station	Not applicable	Nil.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Permanent plantation	<p>If accepted development subject to requirements: Two spaces.</p> <p>If assessable development: As determined by Council.</p>	<p>If accepted development subject to requirements: Nil.</p> <p>If assessable development: As determined by Council.</p>
Place of worship	Minimum of 5 spaces per use or one space per 25m ² or part thereof of GFA, whichever is greater.	One SRV space.
Port services	As determined by Council.	As determined by Council.
Relocatable home park	One space for each home site plus 1 space for each 5 home sites or part thereof for visitors.	One HRV space.
Renewable energy facility	As determined by Council.	As determined by Council.
Research and technology industry	One space per 90m ² GFA or part thereof.	One HRV space if the site has an area greater than 1,000m ² , otherwise One SRV space.
Residential care facility	<p>One space per 4 hostel unit beds.</p> <p>Visitor parking at 30% of resident parking requirements.</p>	<p>One SRV space; and</p> <p>One space for an emergency vehicle.</p>
Resort complex	As determined by Council.	As determined by Council.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Retirement facility	One covered space per unit and 0.5 spaces for visitors parking.	One SRV space; and One space for an emergency vehicle.
Roadside stall	One space per stall.	Nil.
Rooming accommodation	Inside the Centre zone: One space per 15 beds. Outside the Centre zone: One space per 8 beds.	One SRV space. One space for a 20 seater bus.
Rural industry	One space per 90m ² GFA or part thereof.	One AV space.
Rural workers' accommodation	If accepted development subject to requirements: Nil If Assessable development: As determined by Council.	If accepted development subject to requirements: Nil If Assessable development: As determined by Council.
Sales office	One space per 25m ² GFA or part thereof.	Nil.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Service industry	<p>Accepted where in an existing building within the Centre zone.</p> <p>Inside the Centre zone:</p> <p>One space per 50m² or part thereof of GFA up to 400m² GFA, and one space per 10m² or part thereof of GFA above 400m².</p> <p>Outside the Centre zone:</p> <p>One space per 25m² or part thereof of GFA up to 400m² GFA, and one space per 15m² or part thereof of GFA above 400m².</p>	One HRV space if the site is greater than 2,000m ² , otherwise One SRV space.
Service station	Minimum of four spaces plus car parking at rates applicable to ancillary use/s.	One AV space.
Shop	<p>Accepted where in an existing building within the Centre zone.</p> <p>Inside the Centre zone:</p> <p>One space per 50m² or part thereof of GFA up to 400m² GFA, and one space per 10m² or part thereof of GFA above 400m².</p> <p>Outside the Centre zone:</p> <p>One space per 25m² or part thereof of GFA up to 400m² GFA, and one space per 15m² or part thereof of GFA above 400m².</p>	One HRV space if the site is greater than 2,000m ² , otherwise One SRV space.
Shopping centre	<p>Inside the Centre zone:</p> <p>One space per 50m² or part thereof of GFA up to 400m² GFA and one space per 25m² or part thereof of GFA above 400m².</p> <p>Outside the Centre zone:</p> <p>One space per 25m² or part thereof of GFA up to 400m² GFA and one space per 15m² or part thereof of GFA above 400m².</p>	<p>One AV space per 1,000m²; and</p> <p>One SRV space per 500m²; or</p> <p>One SRV space per every 2 specialty uses, whichever the greater.</p>

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Short-term accommodation	One space per unit.	One HRV space if involves the serving of food or beverage; otherwise One SRV space.
Showroom	Accepted in an existing building within the Centre zone. Inside the Centre zone: One space per 25m ² or part thereof of GFA up to 400m ² GFA, and one space per 10m ² or part thereof of GFA above 400m ² . Outside the Centre zone: One space per 50m ² or part thereof of GFA up to 400m ² GFA, and one space per 15m ² or part thereof of GFA above 400m ² .	One AV space and One SRV space if the site is greater than 2,000m ² ; or One HRV space; and One SRV Space.
Special industry	One space per 90m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.
Substation	If assessable development: As determined by Council.	As determined by Council.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Telecommunications facility	<p>If accepted development subject to requirements: Nil.</p> <p>If assessable development: As determined by Council.</p>	<p>If accepted development subject to requirements: Nil.</p> <p>If assessable development: As determined by Council.</p>
Theatre	One space per 15m ² or part thereof of net lettable area, or one space per 5 seated spectators whichever is the greater.	One SRV space.
Tourist attraction	As determined by Council.	As determined by Council.
Tourist park	<p>One space within each accommodation site plus 1 additional visitor space per 10 accommodation sites.</p> <p>Queuing for 2 vehicles towing caravans and 1 holding bay for a vehicle towing a caravan plus additional queuing for 1 vehicle towing a caravan per 40 accommodation sites.</p>	One HRV space.
Transport depot	One space per 125m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.

Definition	Minimum number of Car parking spaces	Minimum Service Vehicle Space Provision
Utility installation	<p>If accepted development subject to requirements: Nil.</p> <p>If assessable development: As determined by Council.</p>	<p>If accepted development subject to requirements: Nil.</p> <p>If assessable development: As determined by Council.</p>
Veterinary services	<p>Accepted in an existing building within the Centre zone.</p> <p>Inside Centre zone: One space per 40m² or part thereof of net lettable area.</p> <p>Outside Centre zone: One space per 20m² or part thereof of net lettable area.</p>	<p>One HRV space if greater than 500m² GFA; and One SRV space per 500m² GFA.</p>
Warehouse	One space per 90m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.
Wholesale nursery	As determined by Council.	As determined by Council.
Winery	As determined by Council.	As determined by Council.

Note—Any use not herein defined - as determined by Council.

Table 9.4.3.3C—Pavement Standards for Access, Manoeuvring and Car Parking areas

Zone	Compacted Gravel Base (minimum thickness)	Surfacing Options
All development other than dwelling house		
All zones other than the Conservation zone or the Rural zone	75mm	Reinforced concrete with a minimum thickness of: 100mm for parking areas; and 150mm for access ways.
	150mm	Asphalt with a minimum thickness of 25mm
	150mm	Two coat sprayed bitumen seal
	150mm	Concrete pavers
Conservation zone or Rural zone	Not applicable	Minimum 150mm thickness compacted gravel suitable for all weather and dust free
Dwelling house		
All zones	75mm	Reinforced concrete with a minimum thickness of: 100mm for parking areas; and 150mm for access ways.
	150mm	Asphalt with a minimum thickness of 25mm
	150mm	Two coat sprayed bitumen seal
	150mm	Concrete pavers
	Not applicable	Minimum 150mm thickness compacted gravel suitable for all weather and dust free

Note—Where more than one surfacing option is listed, any one of the treatments listed may be provided.

Table 9.4.3.3D—Bicycle Parking and End of Trip Facility Requirements

Definition	Minimum number of bicycle parking spaces	Minimum end of trip facilities
Commercial activities	<p>New or redeveloped commercial activities buildings (other than a shopping centre), provide:</p> <p>For employees - secure bicycle storage for 8% of building staff (based on one person per 60m² Gross leasable area). Secure bicycle parking involves a bicycle locker or bicycle rail in a locked compound/cage; and</p> <p>visitor facilities:</p> <ul style="list-style-type: none"> - one bicycle rack space per 750m² NLA or part thereof; and - bicycle parking, signposted; and adjacent to a major public entrance to the building. 	<p>New or redeveloped commercial activities buildings (other than a shopping centre), provide the following employee facilities, which are continually accessible to employees:</p> <p>accessible showers at the rate of one shower per 10 bicycle spaces provided or part thereof;</p> <p>changing facilities adjacent to showers; and</p> <p>secure lockers in the changing facilities for 20% of building staff (based on one person per 60m² GLA to cater for walkers, cyclists and other active users.</p>
Community use	Four spaces per 1,500m ² GFA.	As determined by Council.

Definition	Minimum number of bicycle parking spaces	Minimum end of trip facilities
Educational establishment	<p>New or redeveloped education facilities, provide:</p> <p>For employees - secure bicycle storage for 8% of building staff (based on one person per 75m2 GLA). Secure bicycle parking involves a bicycle locker or bicycle rail in a locked compound/cage; and</p> <p>For students:</p> <ul style="list-style-type: none"> - minimum of 8% of the peak number of students using the building at any one time (with 75% occupancy); and - bicycle storage within 100m of the building front entrance(s); or added to the campus central bicycle storage area. 	<p>New or redeveloped education facilities, provide the following employee facilities, which are continually accessible to employees:</p> <p>accessible showers at the rate of one per 10 bicycle spaces provided or part thereof;</p> <p>changing facilities adjacent to showers; and</p> <p>secure lockers in changing facilities for 20% of building staff (based on one person per 75m2 GLA) to cater for cyclists, walkers and other active users.</p>
Food & drink outlet	One space per 100m2 GFA.	As determined by Council.
Function facility	One space per 300m2 GFA.	As determined by Council.

Definition	Minimum number of bicycle parking spaces	Minimum end of trip facilities
Health care services	<p>New or redeveloped healthcare facilities, provide the following facilities:</p> <p>For employees - secure bicycle storage for 5% of building staff (based on one person per 75m² GLA). Secure bicycle parking involves a bicycle locker or bicycle rail in a locked compound/cage; and</p> <p>For visitors:</p> <ul style="list-style-type: none"> - facilities with in-patient accommodation provide one space per each 30 beds; - facilities without in-patient accommodation provide one space per each 4 practitioners; - aged care facilities provide one space per each 60 beds; - In every instance above, provide a minimum of 5 bicycle parking spaces; and - bicycle parking provided: in an accessible location, signposted and within 10m a major public entrance to the building. 	<p>New or redeveloped healthcare facilities, provide the following employee facilities, which are continually accessible to employees:</p> <p>accessible showers at the rate of one per 10 bicycle spaces provided or part thereof;</p> <p>changing facilities adjacent to showers; and</p> <p>secure lockers in changing facilities for 20% of building staff (based on one person per 75m² GLA) to cater for cyclists, walkers and other active users.</p>
Hospital	As determined by Council.	As determined by Council.
Indoor sport and recreation	One space per employee plus 1 space per 200m ² GFA	As determined by Council.
Park	As determined by Council.	As determined by Council.

Definition	Minimum number of bicycle parking spaces	Minimum end of trip facilities
Rooming accommodation	One space per 4 letting rooms.	As determined by Council.
Short term accommodation	One space per 4 letting rooms.	As determined by Council.
Shop or Shopping centre	<p>New or redeveloped shopping centres, provide:</p> <p>For employees - secure bicycle storage for 8% of building staff (based on one person per 60m² Gross leasable area). Secure bicycle parking involves a bicycle locker or bicycle rail in a locked compound/cage; and</p> <p>visitor facilities:</p> <ul style="list-style-type: none"> - one space per 500m² GLA or part thereof for centres under 30,000m²; or - one space per 750m² GLA or part thereof for centres between 30,000m² and 50,000m²; and - bicycle parking is signposted and within 10m of a major public entrance to the building. 	<p>New or redeveloped shopping centres, provide the following employee facilities, which are continually accessible to employees:</p> <ul style="list-style-type: none"> accessible showers at the rate of one shower per 10 bicycle spaces provided or part thereof; changing facilities adjacent to showers; and secure lockers in the changing facilities for 20% of building staff (based on one person per 60m² GLA to cater for walkers, cyclists and other active users.
Theatre	One space per 100m ² GFA.	As determined by Council.

Table 9.4.3.3E—Vehicular Access for Specific Uses

Use	Design
Dwelling house	A secondary dwelling shares a vehicle crossover with the Dwelling house.
Car wash	Site access involves:

Service station	a maximum width of 9 metres of any vehicle crossover across a footpath; a minimum separation of 12 metres between any vehicle crossover and a road intersection; a separate entrance and exit; and a minimum separation between vehicle crossovers of 14 metres.
Industrial activities	Each lot is provided with no more than one access point every 15 metres.
Roadside stall	A single vehicular access point is provided to the site.
Tourist park	a single vehicular access point is provided to the site; and no accommodation site has individual vehicular access.

9.4.5 Works, services and infrastructure code

9.4.5.1 Application

- (1) This code applies to assessing development where it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

9.4.5.2 Purpose

- (1) The purpose of the Works, services and infrastructure code is to ensure that all development is appropriately serviced by physical infrastructure, public utilities and services and that work associated with development is carried out in a manner that does not adversely impact on the surrounding area.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development provides an adequate, safe and reliable supply of potable, fire-fighting and general use water in accordance with relevant standards;
 - (b) Development provides for the treatment and disposal of wastewater and ensures there are no adverse impacts on water quality, public health, local amenity or ecological processes;
 - (c) Development provides for the disposal of stormwater and ensures that there are no adverse impacts on water quality or ecological processes;
 - (d) Development connects to the road network and any adjoining public transport, pedestrian and cycle networks while ensuring no adverse impacts on the safe, convenient and efficient operation of these networks;
 - (e) Development provides electricity and telecommunications services that meet its desired requirements;
 - (f) Development is connected to a nearby electricity network with adequate capacity without significant environment, social or amenity impact;
 - (g) Development does not affect the efficient functioning of public utility mains, services or installations;
 - (h) Infrastructure dedicated to Council is cost effective over its life cycle;
 - (i) Work associated with development does not cause adverse impacts on the surrounding area; and
 - (j) Development prevents the spread of weeds, seeds or other pests.

9.4.5.3 Criteria for assessment

Table 9.4.5.3 - Works, services and infrastructure code – For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
For accepted development subject to requirements and assessable development			
Water supply			
<p>PO1</p> <p>Each lot has an adequate volume and supply of water that:</p> <ul style="list-style-type: none"> (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and 	<p>AO1.1</p> <p>Development is connected to a reticulated water supply system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated water supply service area. 	N/A	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>(d) minimises adverse impacts on the receiving environment.</p>	<p>AO1.2</p> <p>Development, where located outside a reticulated water supply service area and in the Conservation zone, Rural zone or Rural residential zone is provided with:</p> <ul style="list-style-type: none"> (a) a bore or bores are provided in accordance with the Design Guidelines set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; or (b) on-site water storage tank/s: <ul style="list-style-type: none"> (i) with a minimum capacity of 90,000L; (ii) fitted with a 50mm ball valve with a camlock fitting; and (iii) which are installed and connected prior to the occupation or use of the development. 	<p>✓</p>	<p>Refer to Gilboy hydraulic plans.</p>
<p>Wastewater disposal</p>			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO2</p> <p>Each lot provides for the treatment and disposal of effluent and other waste water that:</p> <ul style="list-style-type: none"> (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment. 	<p>AO2.1</p> <p>Development is connected to a reticulated sewerage system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated sewerage service area. 	<p>N/A</p>	
	<p>AO2.2</p> <p>An effluent disposal system is provided in accordance with ASNZ 1547 On-Site Domestic Wastewater Management (as amended) where development is located:</p> <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated sewerage service area. 	<p>✓</p>	<p>Refer to Gilboy hydraulic plans.</p>
<p>Stormwater infrastructure</p>			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO3</p> <p>Stormwater infrastructure is designed and constructed to collect and convey the design storm event to a lawful point of discharge in a manner that mitigates impacts on life and property.</p>	<p>AO3.1</p> <p>Where located within a Priority infrastructure area or where stormwater infrastructure is available, development is connected to Council's stormwater network in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.</p>	<p>N/A</p>	
	<p>AO3.2</p> <p>On-site drainage systems are constructed:</p> <ul style="list-style-type: none"> (a) to convey stormwater from the premises to a lawful point of discharge; and (b) in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual. 	<p>✓</p>	<p>Refer to Gilboy hydraulic plans.</p>
<p>Electricity supply</p>			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO4</p> <p>Each lot is provided with an adequate supply of electricity</p>	<p>AO4</p> <p>The premises:</p> <p>(a) is connected to the electricity supply network; or</p> <p>(b) has arranged a connection to the transmission grid; or</p> <p>(c) where not connected to the network, an independent energy system with sufficient capacity to service the development (at near average energy demands associated with the use) may be provided as an alternative to reticulated electricity where:</p> <p style="padding-left: 40px;">(i) it is approved by the relevant regulatory authority; and</p> <p style="padding-left: 40px;">(ii) it can be demonstrated that no air or noise emissions; and</p> <p style="padding-left: 40px;">(iii) it can be demonstrated that no adverse impact on visual amenity will occur.</p>	<p>✓</p>	
<p>Telecommunications infrastructure</p>			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO5</p> <p>Each lot is provided with an adequate supply of telecommunication infrastructure</p>	<p>A05</p> <p>Development is provided with a connection to the national broadband network or telecommunication services.</p>	✓	
Existing public utility services			
<p>PO6</p> <p>Development and associated works do not affect the efficient functioning of public utility mains, services or installations.</p>	<p>A06</p> <p>Public utility mains, services are relocated, altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.</p>	✓	
Excavation or filling			
<p>PO7</p> <p>Excavation or filling must not have an adverse impact on the:</p> <p>(a) streetscape;</p> <p>(b) scenic amenity;</p> <p>(c) environmental values;</p> <p>(d) slope stability;</p>	<p>A07.1</p> <p>Excavation or filling does not occur within 1.5 metres of any site boundary.</p>	✓	
	<p>A07.2</p> <p>Excavation or filling at any point on a lot is to be no greater than 1.5 metres above or below natural ground level.</p>	✓	

Performance outcomes	Acceptable outcomes	Complies	Comments
(e) accessibility; or (f) privacy of adjoining premises.	<p>A07.3</p> <p>Earthworks batters:</p> <p>(a) are no greater than 1.5 metres in height;</p> <p>(b) are stepped with a minimum width 2 metre berm;</p> <p>(c) do not exceed a maximum of two batters and two berms (not greater than 3.6 metres in total height) on any one lot;</p> <p>(d) have a slope no greater than 1 in 4; and</p> <p>(e) are retained.</p>	<p>✓</p>	
	<p>A07.4</p> <p>Soil used for filling or spoil from excavation is not stockpiled in locations that can be viewed from:</p> <p>(a) adjoining premises; or</p> <p>(b) a road frontage, for a period exceeding 1 month from the commencement of the filling or excavation.</p>	<p>✓</p>	
	<p>A07.5</p> <p>All batters and berms to be constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.</p>	<p>✓</p>	

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>A07.6</p> <p>Retaining walls have a maximum height of 1.5 metres and are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.</p>	✓	
	<p>A07.7</p> <p>Excavation or filling at any point on a lot is to include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.</p>	✓	
For assessable development			
Transport network			
<p>PO8</p> <p>The development has access to a transport network of adequate standard to provide for the safe and efficient movement of vehicles, pedestrians and cyclists.</p>	<p>A08.1</p> <p>Vehicle access, crossovers, road geometry, pavement, utilities and landscaping to the frontage/s of the site are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.</p>	✓	

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>AO8.2</p> <p>Development provides footpath pavement treatments in accordance with Planning Scheme Policy 9 – Footpath Paving.</p>	N/A	
Public infrastructure			
<p>PO9</p> <p>The design, construction and provision of any infrastructure that is to be dedicated to Council is cost effective over its life cycle and incorporates provisions to minimise adverse impacts.</p>	<p>AO9</p> <p>Development is in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.</p>	✓	
Stormwater quality			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO10</p> <p>Development has a non-worsening effect on the site and surrounding land and is designed to:</p> <ul style="list-style-type: none"> (a) optimise the interception, retention and removal of waterborne pollutants, prior to the discharge to receiving waters; (b) protect the environmental values of waterbodies affected by the development, including upstream, on-site and downstream waterbodies; (c) achieve specified water quality objectives; (d) minimise flooding; (e) maximise the use of natural channel design principles; 	<p>AO10.1</p> <p>The following reporting is prepared for all Material change of use or Reconfiguring a lot proposals:</p> <ul style="list-style-type: none"> (a) a Stormwater Management Plan and Report that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; and (b) an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia), including: <ul style="list-style-type: none"> (i) drainage control; (ii) erosion control; (iii) sediment control; and (iv) water quality outcomes. 	<p>✓</p>	<p>Refer to Gilboy hydraulic plans.</p>

Performance outcomes		Acceptable outcomes	Complies	Comments
(f)	maximise community benefit; and	<p>AO10.2</p> <p>For development on land greater than 2,500m² or that result in more than 5 lots or more than 5 dwellings or accommodation units, a Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) is prepared that demonstrates that the development:</p> <p>(a) meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline;</p> <p>(b) is consistent with any local area stormwater water management planning;</p> <p>(c) accounts for development type, construction phase, local climatic conditions and design objectives; and</p> <p>(d) provides for stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosivity.</p>	✓	Refer to Gilboy hydraulic plans.
(g)	minimise risk to public safety.			

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO11</p> <p>Storage areas for stormwater detention and retention:</p> <ul style="list-style-type: none"> (a) protect or enhance the environmental values of receiving waters; (b) achieve specified water quality objectives; (c) where possible, provide for recreational use; (d) maximise community benefit; and (e) minimise risk to public safety. 	<p>AO11</p> <p>No acceptable outcome is provided.</p>	<p>N/A</p>	
Excavation or filling			
<p>PO12</p> <p>Traffic generated by filling or excavation does not impact on the amenity of the surrounding area.</p>	<p>AO12.1</p> <p>Haul routes used for transportation of fill to or from the site only use major roads and avoid residential areas.</p>	<p>N/A</p>	
	<p>AO12.2</p> <p>Transportation of fill to or from the site does not occur:</p> <ul style="list-style-type: none"> (a) within peak traffic times; and (b) before 7am or after 6pm Monday to Friday; (c) before 7am or after 1pm Saturdays; and (d) on Sundays or Public Holidays. 	<p>N/A</p>	

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>PO13</p> <p>Air pollutants, dust and sediment particles from excavation or filling, do not cause significant environmental harm or nuisance impacts.</p>	<p>AO13.1</p> <p>Dust emissions do not extend beyond the boundary of the site.</p>	✓	
	<p>AO13.2</p> <p>No other air pollutants, including odours, are detectable at the boundary of the site.</p>	✓	
	<p>AO13.3</p> <p>A management plan for control of dust and air pollutants is prepared and implemented.</p>	N/A	
<p>PO14</p> <p>Access to the premises (including driveways and paths) does not have an adverse impact on:</p> <p>(a) safety;</p> <p>(b) drainage;</p> <p>(c) visual amenity; and</p> <p>(d) privacy of adjoining premises.</p>	<p>AO14</p> <p>Access to the premises (including all works associated with the access):</p> <p>(a) must follow as close as possible to the existing contours;</p> <p>(b) be contained within the premises and not the road reserve, and</p> <p>(c) are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.</p>	✓	
Weed and pest management			
<p>PO15</p> <p>Development prevents the spread of weeds, seeds or other pests into clean areas or away from infested areas.</p>	<p>AO15</p> <p>No acceptable outcome is provided.</p>	✓	

Performance outcomes	Acceptable outcomes	Complies	Comments
Contaminated land			
<p>PO16</p> <p>Development is located and designed to ensure that users and nearby sensitive land uses are not exposed to unacceptable levels of contaminants</p>	<p>AO16</p> <p>Development is located where:</p> <ul style="list-style-type: none"> (a) soils are not contaminated by pollutants which represent a health or safety risk to users; or (b) contaminated soils are remediated prior to plan sealing, operational works permit, or issuing of building works permit. 	✓	
Fire services in developments accessed by common private title			
<p>PO17</p> <p>Fire hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.</p>	<p>AO17.1</p> <p>Fire hydrants are located in accessways or private roads held in common private title at a maximum spacing of:</p> <ul style="list-style-type: none"> (a) 120 metres for residential development; and (b) 90 metres for any other development. 	N/A	
	<p>AO17.2</p> <p>Fire hydrants are located at all intersections of accessways or private roads held in common private title.</p>	N/A	