

8.2 RA FUNCTION SERVICES PTY LTD - OPERATIONAL WORKS (EXTERNAL ROADWORKS & ON-SITE CIVIL WORKS) ASSOCIATED WITH DEVELOPMENT PERMIT DA/16/0054 - LOT 1 ON RP745867 - FICHERA ROAD, MAREEBA - OPW/20/0003

Date Prepared: 4 May 2021

Author: Senior Planner

Attachments:

1. Proposal Plans - Internal Works
2. Proposal Plans - External Works

APPLICATION DETAILS

APPLICATION		PREMISES	
APPLICANT	RA Function Services Pty Ltd	ADDRESS	Fichera Road, Mareeba
DATE LODGED	18 September 2020	RPD	Lot 1 on RP745867
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Operational Works (external roadworks & on-site civil works) associated with Development Permit DA/16/0054		
FILE NO	OPW/20/0003	AREA	15.03 hectares
LODGED BY	Urban Sync Pty Ltd	OWNER	RA Function Services Pty Ltd
PLANNING SCHEME	Mareeba Shire Council Planning Scheme 2016		
ZONE	Rural zone		
LEVEL OF ASSESSMENT	Code Assessment		
SUBMISSIONS	n/a		

EXECUTIVE SUMMARY

Council is in receipt of a development application described in the above application details.

The application is code assessable and was not required to undergo public notification.

The application and supporting material have been assessed against the Mareeba Shire Council Planning Scheme 2016 and does not conflict with any relevant planning instrument.

Draft conditions were provided to the Applicant / care of their consultant and have been agreed.

It is recommended that the application be approved in full, with conditions.

OFFICER'S RECOMMENDATION

1. That in relation to the following development application:

APPLICATION		PREMISES	
APPLICANT	RA Function Services Pty Ltd	ADDRESS	Fichera Road, Mareeba
DATE LODGED	18 September 2020	RPD	Lot 1 on RP745867
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Operational Works (external roadworks & on-site civil works) associated with Development Permit DA/16/0054		

and in accordance with the Planning Act 2016, the applicant be notified that the application for a development permit for the development specified in (A) is:

Approved by Council in accordance with the approved plans/documents listed in (B), subject to assessment manager conditions in (C), assessment manager's advice in (D), relevant period in (E), further permits in (F), and further approvals from Council listed in (G);

And

The assessment manager does not consider that the assessment manager's decision conflicts with a relevant instrument.

(A) APPROVED DEVELOPMENT: Development Permit for Operational Works (external roadworks & on-site civil works) associated with Development Permit DA/16/0054

(B) APPROVED PLANS:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
Internal Works			
260361-CIAL-DRG-101	Drawing Index and Locality Plan	ARUP	19/06/2019
260361-CIAL-DRG-102	General Notes	ARUP	12/03/2021
260361-CIAL-DRG-103	Roads and Paths Typical Sections and Details	ARUP	12/03/2021
260361-CIAL-DRG-104	Existing Features/PUP and Overall Site Layout	ARUP	19/06/2019
260361-CIAL-DRG-105	Roads and Paths General Arrangements Sheet 1 of 2	ARUP	11/07/2019
260361-CIAL-DRG-106	Roads and Paths General Arrangements Sheet 2 of 2	ARUP	19/06/2019
260361-CIAL-DRG-107	MC01 Longitudinal Section	ARUP	19/06/2019
260361-CIAL-DRG-108	Annotated Cross Section Sheet 1 of 3	ARUP	19/06/2019
260361-CIAL-DRG-109	Annotated Cross Section Sheet 2 of 3	ARUP	19/06/2019
260361-CIAL-DRG-110	Annotated Cross Section Sheet 3 of 3	ARUP	19/06/2019
260361-CIAL-DRG-111	Internal Pathways Longitudinal Sections Sheet 1 of 2	ARUP	19/06/2019

260361-CIAL-DRG-112	Internal Pathways Longitudinal Sections Sheet 2 of 2	ARUP	19/06/2019
260361-CIAL-DRG-113	Internal Pathways Cross Sections Sheet 1 of 6	ARUP	19/06/2019
260361-CIAL-DRG-114	Internal Pathways Cross Sections Sheet 2 of 6	ARUP	19/06/2019
260361-CIAL-DRG-115	Internal Pathways Cross Sections Sheet 3 of 6	ARUP	19/06/2019
260361-CIAL-DRG-116	Internal Pathways Cross Sections Sheet 4 of 6	ARUP	19/06/2019
260361-CIAL-DRG-117	Internal Pathways Cross Sections Sheet 5 of 6	ARUP	19/06/2019
260361-CIAL-DRG-118	Internal Pathways Cross Sections Sheet 6 of 6	ARUP	19/06/2019
260361-CIAL-DRG-119	Stormwater Drainage General Arrangement Sheet 1 of 2	ARUP	2/03/2020
260361-CIAL-DRG-120	Stormwater Drainage General Arrangement Sheet 2 of 2	ARUP	12/03/2021
260361-CIAL-DRG-121	Stormwater Drainage Longitudinal Sections	ARUP	2/03/2020
260361-CIAL-DRG-122	Stormwater Catchment Plan	ARUP	19/06/2019
260361-CIAL-DRG-123	Stormwater Calculations Table	ARUP	2/03/2020
260361-CIAL-DRG-124	Water and Sewer Reticulation Plan 1 of 4	ARUP	19/06/2019
260361-CIAL-DRG-125	Water and Sewer Reticulation Plan 2 of 4	ARUP	19/06/2019
260361-CIAL-DRG-126	Water and Sewer Reticulation Plan 3 of 4	ARUP	19/06/2019
260361-CIAL-DRG-127	Water and Sewer Reticulation Plan 4 of 4	ARUP	19/06/2019
260361-CIAL-DRG-128	Water and Sewer Reticulation Details	ARUP	19/06/2019
260361-CIAL-DRG-129	Sewer Longitudinal Sections Sheet 1 of 3	ARUP	19/06/2019
260361-CIAL-DRG-130	Sewer Longitudinal Sections Sheet 2 of 3	ARUP	19/06/2019
260361-CIAL-DRG-131	Sewer Longitudinal Sections Sheet 3 of 3	ARUP	19/06/2019
260361-CIAL-DRG-132	Erosion and Sediment Control Strategy	ARUP	19/06/2019
260361-CIAL-DRG-133	Drainage Longitudinal Sections	ARUP	12/03/2021
External Works			
260361-CIAL-DRG-201	Drawing Index and Locality Plan	ARUP	19/07/2019
260361-CIAL-DRG-202	General Notes and Pavement Tables	ARUP	12/03/2021
260361-CIAL-DRG-211	Site A Typical Sections and Details	ARUP	12/03/2021
260361-CIAL-DRG-221	Site A General Arrangement	ARUP	19/07/2019

260361-CIAL-DRG-222	Site B General Arrangement and Typical Sections	ARUP	12/03/2021
260361-CIAL-DRG-223	Site C General Arrangement	ARUP	12/03/2021
260361-CIAL-DRG-224	Site B & C Alignment Tables	ARUP	12/03/2021
260361-CIAL-DRG-225	Drainage Longitudinal Sections	ARUP	12/03/2021
260361-CIAL-DRG-231	Site A Pavement Markings	ARUP	19/07/2019
260361-CIAL-DRG-301	Site A Cross Sections Sheet 1 of 2	ARUP	19/07/2019
260361-CIAL-DRG-302	Site A Cross Sections Sheet 2 of 2	ARUP	19/07/2019
260361-CIAL-DRG-303	Site B Cross Sections Sheet 1 of 3	ARUP	3/12/2021
260361-CIAL-DRG-304	Site B Cross Sections Sheet 2 of 3	ARUP	3/12/2021
260361-CIAL-DRG-305	Site B Cross Sections Sheet 3 of 3	ARUP	3/12/2021
260361-CIAL-DRG-306	Site C Cross Sections Sheet 1 of 4	ARUP	19/07/2019
260361-CIAL-DRG-307	Site C Cross Sections Sheet 2 of 4	ARUP	19/07/2019
260361-CIAL-DRG-308	Site C Cross Sections Sheet 3 of 4	ARUP	19/07/2019
260361-CIAL-DRG-309	Site C Cross Sections Sheet 4 of 4	ARUP	19/07/2019

(C) ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)

(a) General

- (i) All operational works must be designed and constructed in accordance with the standards and procedures as set out in the FNQROC Development Manual.
- (ii) Development must be carried out substantially in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, and subject to any alterations:
 - found necessary by the Council's Delegated Officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements;
 - to ensure the works comply in all respects with the requirements and procedures of the FNQROC Development Manual and good engineering practice; and
 - to ensure compliance with the following conditions of approval.
- (iii) Council's examination of the documents should not be taken to mean that the documents have been checked in detail and Council takes no responsibility for their accuracy. If during construction, inadequacies of the design are discovered,

it is the responsibility of the Principal Consulting Engineer to resubmit amended plans to Council for approval and rectify works accordingly.

- (iv) All driveways (retained and reinstated) must include bitumen or asphalt sealed flares in order to protect the road edge at driveway locations.
- (v) The landowners of all properties whose accesses will be affected by the operational works should be notified at least 1 month in advance of works commencing. Plans should be made available to them upon request.
- (vi) **Prior to the pre-start meeting occurring**, the applicant/developer provide a cross-section drawing and swept path diagrams of the winery access demonstrating compliance with Condition 4.1 of the Decision Notice Approval for MCU/16/0054, to the satisfaction of Council's delegated officer. All works must be carried out in accordance with any plan amendments that may result from compliance with this condition.

(b) Pre-start Meeting

- (i) Prior to the pre-start meeting occurring, the applicant/developer must ensure that Condition (a) (vi) has been complied with.
- (ii) In addition to the requirements of Clause CP1.07 and CP1.08 of the FNQROC Development Manual; after documentation has been approved by Council, a pre-start meeting is to be held on site prior to the commencement of work. Part 1 of the **attached** pre-start meeting pro-forma is to be completed and returned prior to the meeting including clause 1.u 'Request for Meeting' together with the prescribed Construction Monitoring Fee as set out in Council's Schedule of Fees.

(c) Inspections

- (i) Inspections are to be carried out as detailed in the FNQROC Manual unless advised otherwise at the pre-start meeting.

(d) Construction Security Bond and Defects Liability Bond

- (i) In addition to Clauses CP1.06 and CP1.20 of the FNQROC Development Manual; the Construction Security Bond and Defects Liability Bond shall each be a minimum of \$1000 and Bank Guarantees shall have no termination date.
- (ii) During the Defects Liability period, it is the responsibility of the developer to rectify any works found to be defective due to design faults and or found to exhibit faults attributed to the performance of the construction activities in terms of quality and conformance with design and specifications. The bond will be returned on satisfactory correction of any defective work and after expiration of the maintenance period. Failure to comply with a Council issued instruction to correct defective work may result in the call up of the bond to have the work completed.

(e) Hours of Work

- (i) Work involving the operation of construction plant and equipment of any description, shall only be carried out on site during the following times:
 - 7.00am to 6.00pm, Monday to Friday;
 - 7.00am to 1.00pm Saturdays;
 - No work is permitted on Sundays or Public Holidays.
- (ii) No variation to the above working hours is allowed unless otherwise agreed in writing by Council.

(f) Transportation of Soil

- (i) All soil transported to or from the site must be covered to prevent dust or spillage during transport. If soil is tracked or spilt onto the road pavement from works on the subject land, it must be removed no later than at the end of each working day. Sediment must not enter Council's stormwater drainage network.

(D) ASSESSMENT MANAGER'S ADVICE**(a) Compliance with applicable codes/policies**

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

(b) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.environment.gov.au.

(c) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the "cultural heritage duty of care"). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.datsip.qld.gov.au.

(E) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Two (2) years (starting the day the approval takes effect).

(F) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

- Nil

(G) OTHER APPROVALS REQUIRED FROM COUNCIL

- Nil

THE SITE

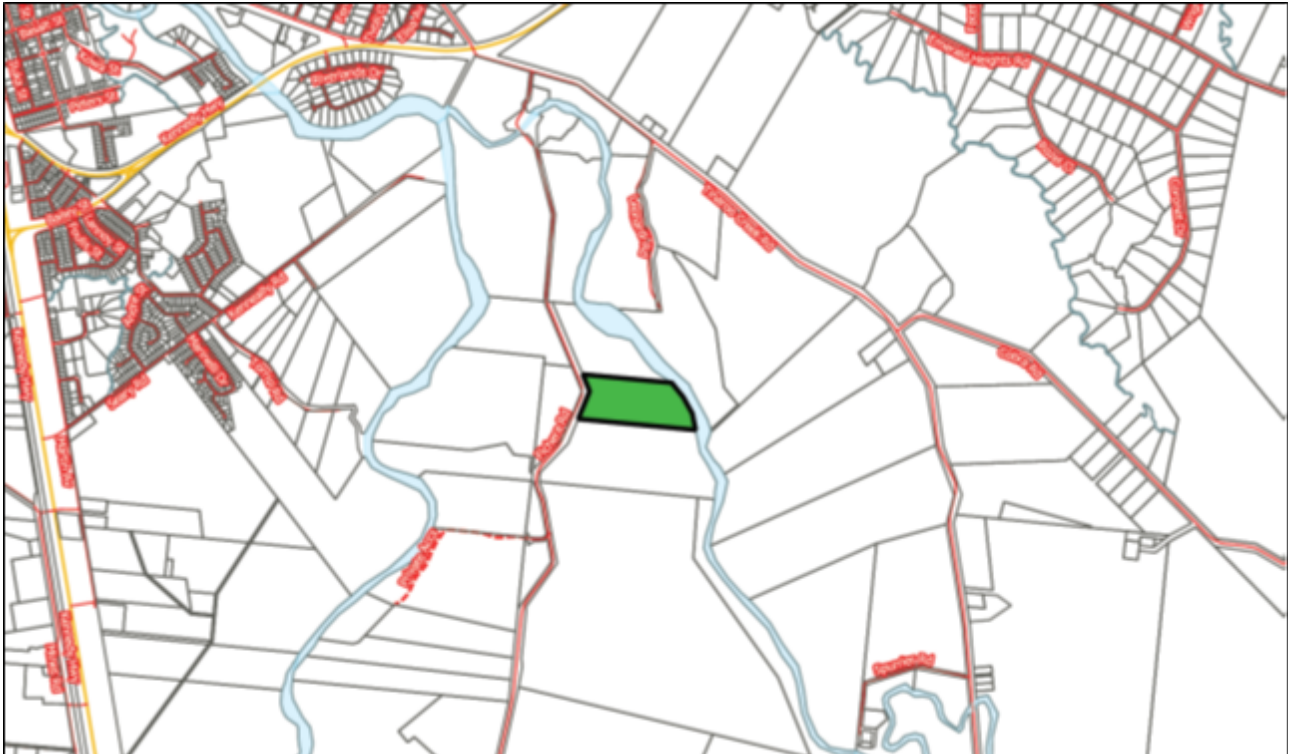
The subject site is situated at 189 Fichera Road, Mareeba and is described as Lot 1 on RP745867. The site is generally regular in shape with a total area of 15.03 hectares and is zoned *Rural* under the Mareeba Shire Council Planning Scheme 2016. The site contains approximately 267 metres of frontage to Fichera Road, which is constructed to a four (4) metre wide bitumen sealed standard with narrow gravel shoulders for the extent of the frontage. The site is currently accessed off Fichera Road via a single gravel/bitumen crossover.

The site is improved by de Brueys Boutique Winery. Infrastructure associated with the winery is clustered adjacent the southern boundary of the site and includes a cellar, wine production/storage areas, machinery shed, caretakers residence, greenhouse, wedding chapel/gazebo, two (2) indoor reception venues (100-120 seats), open air deck (120 seats) and associated catering facilities. Multiple mature fruit orchards are located across the site as well as a large dam situated behind the winery.



Map Disclaimer:

Based on or contains data provided by the State of Queensland (Department of Environment and Resource Management) (2009). In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.



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The site generally falls from the south-west to the north-east, draining into Tinaroo Creek which adjoins the eastern boundary. The majority of the land has been cleared with the exception of some mature vegetation retained towards the centre of the site and along Tinaroo Creek.

BACKGROUND AND CONTEXT

Nil

PREVIOUS APPLICATIONS & APPROVALS

Council, at its Ordinary Meeting on 21 December 2016 approved Development Application DA/16/0054, made by Urban Sync on behalf of CA Architects (acting for R.A. Function Services Pty Ltd) for a development permit for material change of use - short-term accommodation on land described as Lot 1 on RP745867, situated at 189 Fichera Road, Mareeba. The approval authorised the construction of 108 short-term accommodation units on-site for use as tourist accommodation.

Development Approval DA/16/0054 was issued subject to the following conditions, as amended 20 January 2021:

1. Development must be carried out substantially in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, subject to any alterations:

- found necessary by Council's delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
- to ensure compliance with the following conditions of approval.

2. Timing of Effect

- 2.1 The conditions of the development permit must be complied with to the satisfaction of Council's delegated officer prior to the commencement of the use except where specified otherwise in these conditions of approval.
- 2.2 Prior to the commencement of use, the applicant must demonstrate to Council that all the conditions of the development permit have been complied with, except where specified otherwise in these conditions of approval.

3. General

- 3.1 The development approval would not have been issued if not for the conditions requiring the construction of infrastructure or the additional payment condition/s within these conditions of approval.
- 3.2 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.
- 3.3 All payments or bonds required to be made to the Council pursuant to any condition of this approval must be made prior to commencement of the use and at the rate applicable at the time of payment.
- 3.4 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.
- 3.5 Noise Nuisance
 - 3.5.1 The applicant/developer must ensure the approved short term accommodation use is operated and managed (including noise generated by guests) to not exceed a maximum noise level of 3dB(A) above background levels as measured from noise sensitive locations.
 - 3.5.2 Refrigeration equipment, pumps, compressors and mechanical ventilation systems must be located, designed, installed and maintained to achieve a maximum noise level of 3dB(A) above background levels as measured from noise sensitive locations.

3.6 Waste Management

The applicant shall ensure there is no on site disposal of refuse associated with the approved use unless such refuse is disposed of in refuse bins provided in accordance with the following:

- (i) No refuse is to be stored on site outside the refuse bins at any time.
- (ii) On site refuse storage area for all refuse bins must be provided and be screened from view from adjoining properties and road reserve by a 1 metre wide landscaped screening buffer, 1.8m high solid fence or building.

3.7 Flood Immunity

All new habitable buildings must be located such that the freeboard of the floor levels of all habitable rooms are a minimum of 300mm above 100 ARI year level.

No filling or excavation is to occur below the Q100 flood hazard level.

3.8 Bushfire Management

A Bushfire Management Plan for the site, incorporating evacuation procedures for guests, must be prepared to the satisfaction of Council's delegated officer. The approved use must comply with the requirements of the Management Plan at all times.

3.8a Length of Stay

The maximum length of stay for guests must not typically exceed three (3) consecutive months, unless otherwise approved by Council's delegated officer.

3.9 Signage

- 3.9.1 No more than one (1) advertising sign for the approved development is permitted on the subject site.
- 3.9.2 The sign must not exceed a maximum sign face area of 6m² and must not move, revolve, strobe or flash.
- 3.9.3 The sign must be kept clean, in good order and safe repair for the life of the approval.
- 3.9.4 The sign must be removed when no longer required.
- 3.9.5 The erection and use of the advertisement must comply with the Building Act and all other relevant Acts, Regulations and these approval conditions.

3.10 Notification of Potential Rural Zone Impacts

The applicant is to erect a sign at or near the reception building advising guests that the subject land is zoned Rural under the Mareeba Shire Council Planning Scheme - July 2016 and is in a rural locality. The signage should generally state the following:

"Guest should take note:

- *The locality may be used for intensive rural uses;*
- *Guests may experience off site effects from rural activities, including noise, sprays and dust that may cause a loss of residential amenity. Existing and/or self-assessable agricultural and rural uses in the locality have a 'right to farm' or a right to legally continue the use."*

3.11 Slope Stability

For any building work proposed on a slope of 15% or greater, the applicant/developer must provide Council with a site specific geotechnical report prepared by a suitably qualified Registered Professional Engineer of Queensland (RPEQ) that certifies:

- the long term stability of the development site; and
- that the development site will not be adversely affected by land slide/slip activity originating on sloping land above the development site.

4. Infrastructure Services and Standards

4.1 Access

The site's existing access crossover must be upgraded/constructed (from the edge of Fichera Road to the property boundary) in accordance with FNQROC Development Manual standards, to the satisfaction of Council's delegated officer. The access must be widened to accommodate two directional traffic.

4.2 Roadworks – External Construction

Prior to the commencement of the use, the following sections of Fichera Road must be widened to a 6.5 metre bitumen sealed width (1.25m either side) in accordance with D1.4 (Road Class 100 - 999) of the FNQROC Development Manual:

- from the Fichera/Tinaroo Creek Road intersection kerbing to the point in which the existing sealed width reaches 6.5 metres approaching the Tinaroo Creek Bridge (approximate distance of 250 metres); and
- from a point approximately 20 metres north of the site access (where the pavement width falls below 6.5 metres) to a point approximately 500 metres north along Fichera Road (where the pavement width widens to 6.5 metres).

A second bitumen coat must be applied to the entire pavement width for the full length of the abovementioned road sections to bind the widening works with the existing bitumen.

Prior to works commencing, plans for the works described above must be approved as part of a subsequent application for operational works.

4.3 Stormwater Drainage/Water Quality

4.3.1 As part of any subsequent application for Operational Works, the applicant must submit a Stormwater Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual to the satisfaction of Council's delegated officer.

4.3.2 The Stormwater Management Plan must ensure a non-worsening effect on surrounding land as a consequence of the development, and must take all reasonable and practicable measures to ensure discharge occurs in compliance with the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual.

4.3.3 As part of any subsequent application for operational works the applicant must also provide a Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline to the satisfaction of Council's delegated officer.

4.3.4 The Stormwater Quality Management Plan must include an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia) to the satisfaction of Council's delegated officer.

4.3.5 The applicant/developer must construct the stormwater drainage infrastructure for the development in accordance with the approved Stormwater Management Plan and/or Stormwater Quality Management Plan and Report.

4.3.6 All stormwater drainage must be collected from site and discharged to an approved legal point of discharge.

4.4 Car Parking/Internal Driveways

4.4.1 The applicant/developer must ensure the development is provided with at least 104 on-site car parking spaces which are available solely for the parking of vehicles associated with the use of the premises.

- 4.4.2 The internal driveway servicing the development must be widened to a width of at least six (6) metres for its entire length and should include speed control devices to minimise dust nuisance.
- 4.4.3 All car parking spaces and internal roads must be surfaced to at least a compacted gravel standard, delineated, and appropriately drained prior to the commencement of the use, to the satisfaction of Council's delegated officer.
- 4.4.4 Prior to works commencing, the developer must submit engineering plans and specifications for the construction of proposed car parking facilities and internal driveways demonstrating:
- Compliance with Australian Standard AS2890:1 Off Street Parking – Car Parking Facilities;
 - Compliance with Australian Standard AS2890.3 Bicycle Parking Facilities (if required);
 - Compliance with Australian Standard AS1428:2001 – Design for Access and Mobility.

4.5 Landscape and Fencing

Prior to the commencement of the use, the applicant / developer must prepare and submit a landscape plan in accordance with Planning Scheme Policy 6 for consideration and approval by Council's Delegated Officer. The landscape plan must include the following:

- (i) A minimum three (3) metre wide landscape buffer along the Fichera Road frontage of the site, north of the site access to the north-west corner of the site.
- (ii) A minimum two (2) metre wide landscape strip along the Fichera Road frontage of the site, south of the site access and up to the existing fruit trees at the southern end of the site.
- (iii) a minimum three (3) metre wide landscape buffer along the northern boundary of the site for a length of 50m from the north-west corner of the site.
- (iv) a minimum two (2) metre wide landscape buffer along the northern boundary of the site starting from the edge of the three (3) metre buffer (as outlined above in (iii)) to a point adjacent the easternmost accommodation unit.
- (v) a minimum of one (1) shade tree for every six (6) parking spaces.
- (vi) any landscaping proposed amongst the 27 cabin blocks.

Landscaping associated with points (i), (ii), (iii) and (iv) should include ground cover, shrubs and trees that will grow to form an effective buffer of no less than six (6) metres in height. Existing mango trees are able to be used as part of the landscape buffers. **Landscaping associated with points (i), (ii), (iii) and (iv) must be planted, mulched and irrigated prior to 30 June 2021 or a later date where strictly agreed to by Council.**

All remaining Landscaping **associated with points (v) and (vi) must works shall** be undertaken prior to the commencement of the use. **and All Landscaping** must be mulched, irrigated and maintained for the life of the development and to the satisfaction of Council's Delegated Officer.

4.6 Lighting

Where outdoor lighting is required the developer shall locate, design and install lighting to operate from dusk to dawn within all areas where the public will be given access, which prevents the potential for light spillage to cause nuisance to neighbours and must be provided in accordance with Australian Standard 1158.1 – Lighting for Roads and Public Spaces.

Illumination resulting from direct, reflected or other incidental light emanating from the subject land does not exceed 8 lux when measured at any point 1.5m outside the property boundary of the subject site. The lighting fixtures installed on site must meet appropriate lux levels as documented within Australian Standard 4282 – Control of the Obtrusive Effects of Outdoor Lighting.

Note: The design is to integrate the principles of Crime Prevention through Environmental Design (CPTED) theory. Lighting design is to illuminate potential areas of concealment and is to project illumination so that a human face is easily discernible from 15 metres and there is to be sufficient night lighting, which renders people, colours, vegetation and objects correctly. i.e. 'white' light. Particular attention should be given to pathways, driveways and common external spaces.

4.7 Water Supply

- (i) The development must be provided with a potable water supply that satisfies the standards for drinking water set by the Australian Drinking Water Guidelines 2004 (National Health and Medical Research Council and the National Resource Management Ministerial Council).
- (ii) All non-potable water supplied to the development must be clearly labelled at each tap - Non Potable Water - not safe for Human Consumption.

4.8 On-Site Wastewater Management

All on site effluent disposal associated with the approved use must be in compliance with the latest version of On-Site Domestic Wastewater Management Standard (ASNZ1547) to the satisfaction of the Council's delegated officer.

Note: Any on-site wastewater treatment system with a total daily peak design capacity of at least 21 equivalent persons (EP) is an Environmentally Relevant Activity (ERA 63 - Sewerage Treatment) and an Environmental Authority is required.

4.9 Privacy Screening

4.9.1 Prior to the occupation of any top floor accommodation unit in Unit Blocks 5, 7, 9, 11 and 13, the applicant/developer must ensure directional privacy screening is installed external to the top floor balconies of Units contained in Unit Blocks 5, 7, 9, 11 and 13 to effectively screen from view the dwelling and immediate surrounding yard of northern adjoining Lot 2 on RP745867.

4.9.2 Once the landscape buffering required by Condition 4.5 has reached maturity and, in the opinion of Council's delegated officer is providing an effective visual buffer to protect the privacy and amenity of northern adjoining Lot 2 on RP745867, the privacy screening required by Condition 4.9.1 may be removed at the discretion of the applicant/developer.

5. Additional Payment Condition (section 650 of the Sustainable Planning Act 2009)

5.1 The additional payment condition has been imposed as the development will create additional demand on trunk infrastructure which will create additional trunk infrastructure costs for council.

5.2 The applicant/developer must pay \$85,845.00 as a contribution toward trunk infrastructure with the amount of the contribution increased on 1 July each year in accordance with the increase for the PPI index for the period starting on the day the development approval takes effect, adjusted by reference to the 3-yearly PPI index average to the date of payment.

5.3 The trunk infrastructure for which the payment is required is:

- The trunk transport network servicing the land (\$85,845.00)

5.4 The developer may elect to provide part of the trunk infrastructure instead of making the payment.

5.5 If the developer elects to provide part of the trunk infrastructure the developer must:

- Discuss with Council's delegated officer the part of the works to be undertaken;
- Obtain the necessary approvals for the part of the works;
- Indemnify the Council in relation to any actions, suits or demands relating to or arising from the works;
- Take out joint insurance in the name of the Council and the developer in the sum of \$20,000,000 in relation to the undertaking of the works;

- Comply with the reasonable direction of Council officers in relation to the completion of the works;
- Complete the works to the standards required by the Council; and
- Complete the works prior to endorsement of the plan of subdivision.

5.6 The value, as agreed by Council's delegated officer, of the external works required under Condition 4.2 will be credited towards the additional payment required under Condition 5.2. Any credit will not exceed \$85,845.00.

DESCRIPTION OF PROPOSED DEVELOPMENT

The development application seeks a Development Permit for Operational Works (external roadworks & on-site civil works) associated with Development Permit DA/16/0054 in accordance with the plans shown in **Attachment 1**.

The application is for works required under the following conditions of Development Permit DA/16/0054:

- 4.1 Access
- 4.2 Roadworks - External Construction
- 4.3 Stormwater Drainage/Water Quality
- 4.4 Car Parking/Internal Driveways
- 4.7 Water Supply
- 4.8 On-site Wastewater Management (*treatment plant assessed by the Dept of Environment and Science*)

REGIONAL PLAN DESIGNATION

The subject site is included within the Regional Landscape and Rural Production Area land use category in the Far North Queensland Regional Plan 2009-2031. The Regional Plan Map 3- 'Areas of Ecological Significance' also identifies the site is:

- *Wetland Area of General Ecological Significance*
- *Terrestrial Area of High Ecological Significance*
- *Terrestrial Area of General Ecological Significance*

PLANNING SCHEME DESIGNATIONS

Strategic Framework:	Land Use Categories • <i>Rural other</i>
Zone:	Rural zone
Overlays:	Agricultural land overlay Airport environs overlay Bushfire hazard overlay Environmental significance overlay Flood hazard overlay Hill and slope overlay Transport infrastructure overlay

RELEVANT PLANNING INSTRUMENTS

Assessment of the proposed development against the relevant planning instruments is summarised as follows:

(A) Far North Queensland Regional Plan 2009-2031

Separate assessment against the Regional Plan is not required because the Mareeba Shire Council Planning Scheme appropriately advances the Far North Queensland Regional Plan 2009-2031, as it applies to the planning scheme area.

(B) State Planning Policy

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

(C) Mareeba Shire Council Planning Scheme 2016

Relevant Developments Codes

The following Development Codes are considered to be applicable to the assessment of the application:

- 6.2.6 Rural zone code
- 9.4.5 Works, services and infrastructure code

An officer assessment has found that the application satisfies the relevant acceptable solutions (or probable solutions/performance criteria where no acceptable solution applies) of the relevant codes set out below, provided reasonable and relevant conditions are attached to any approval.

Relevant Codes	Comments
Rural zone code	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.
Works, services and infrastructure code	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.

(D) Planning Scheme Policies/Infrastructure Charges Plan

The following planning scheme policies are relevant to the application:

Planning Scheme Policy 4 - FNQROC Regional Development Manual

Drawings have been checked against the FNQROC Development Manual. Any non-compliance with the FNQROC Manual has been conditioned to comply.

REFERRAL AGENCY

This application did not trigger referral to a Referral Agency.

Internal Consultation

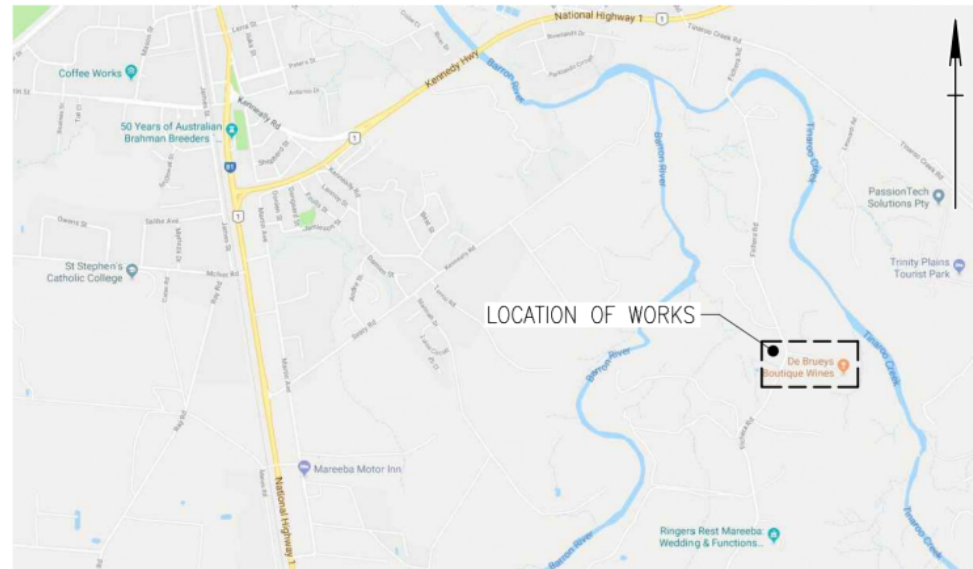
Technical Services

PLANNING DISCUSSION

Nil

DE BRUEYS WINERY UPGRADE

INTERNAL CIVIL DRAWINGS



LOCALITY PLAN

DRAWING INDEX	
DRAWING NUMBER	DRAWING NAME
260361-CIAL-DRG-101	DRAWING INDEX AND LOCALITY PLAN
260361-CIAL-DRG-102	GENERAL NOTES
260361-CIAL-DRG-103	ROADS AND PATHS TYPICAL SECTIONS AND DETAILS
260361-CIAL-DRG-104	EXISTING FEATURES/PUP AND OVERALL SITE LAYOUT
260361-CIAL-DRG-105	ROADS AND PATHS GENERAL ARRANGEMENT SHEET 1 OF 2
260361-CIAL-DRG-106	ROADS AND PATHS GENERAL ARRANGEMENT SHEET 2 OF 2
260361-CIAL-DRG-107	MCD1 LONGITUDINAL SECTION
260361-CIAL-DRG-108	ANNOTATED CROSS SECTION SHEET 1 OF 3
260361-CIAL-DRG-109	ANNOTATED CROSS SECTION SHEET 2 OF 3
260361-CIAL-DRG-110	ANNOTATED CROSS SECTION SHEET 3 OF 3
260361-CIAL-DRG-111	INTERNAL PATHWAYS LONGITUDINAL SECTIONS SHEET 1 OF 2
260361-CIAL-DRG-112	INTERNAL PATHWAYS LONGITUDINAL SECTIONS SHEET 2 OF 2
260361-CIAL-DRG-113	INTERNAL PATHWAYS CROSS SECTIONS SHEET 1 OF 6
260361-CIAL-DRG-114	INTERNAL PATHWAYS CROSS SECTIONS SHEET 2 OF 6
260361-CIAL-DRG-115	INTERNAL PATHWAYS CROSS SECTIONS SHEET 3 OF 6
260361-CIAL-DRG-116	INTERNAL PATHWAYS CROSS SECTIONS SHEET 4 OF 6
260361-CIAL-DRG-117	INTERNAL PATHWAYS CROSS SECTIONS SHEET 5 OF 6
260361-CIAL-DRG-118	INTERNAL PATHWAYS CROSS SECTIONS SHEET 6 OF 6
260361-CIAL-DRG-119	STORMWATER DRAINAGE GENERAL ARRANGEMENT SHEET 1 OF 2
260361-CIAL-DRG-120	STORMWATER DRAINAGE GENERAL ARRANGEMENT SHEET 2 OF 2
260361-CIAL-DRG-121	STORMWATER DRAINAGE LONGITUDINAL SECTIONS
260361-CIAL-DRG-122	STORMWATER CATCHMENT PLAN
260361-CIAL-DRG-123	STORMWATER CALCULATIONS TABLE
260361-CIAL-DRG-124	WATER AND SEWER RETICULATION PLAN 1 OF 4
260361-CIAL-DRG-125	WATER AND SEWER RETICULATION PLAN 2 OF 4
260361-CIAL-DRG-126	WATER AND SEWER RETICULATION PLAN 3 OF 4
260361-CIAL-DRG-127	WATER AND SEWER RETICULATION PLAN 4 OF 4
260361-CIAL-DRG-128	WATER AND SEWER RETICULATION DETAILS
260361-CIAL-DRG-129	SEWER LONGITUDINAL SECTIONS SHEET 1 OF 3
260361-CIAL-DRG-130	SEWER LONGITUDINAL SECTIONS SHEET 2 OF 3
260361-CIAL-DRG-131	SEWER LONGITUDINAL SECTIONS SHEET 3 OF 3
260361-CIAL-DRG-132	EROSION AND SEDIMENT CONTROL STRATEGY

ORIGIN OF SURVEY

LEVELS DATUM : AHD DER
 ORIGIN OF LEVELS : OPSM 94627
 RL 425.910
 MERIDIAN : MGA Zone 55
 ORIGIN OF CO-ORDINATES : E332393.097
 N8117804.320

ISSUE FOR CONSTRUCTION

Approved by:

 RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL	19/05/2021	ODD	JH	AWS



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 Cairns City, QLD, Australia
 Tel + 61(7) 4032 800 Fax +61(7) 4032 6001
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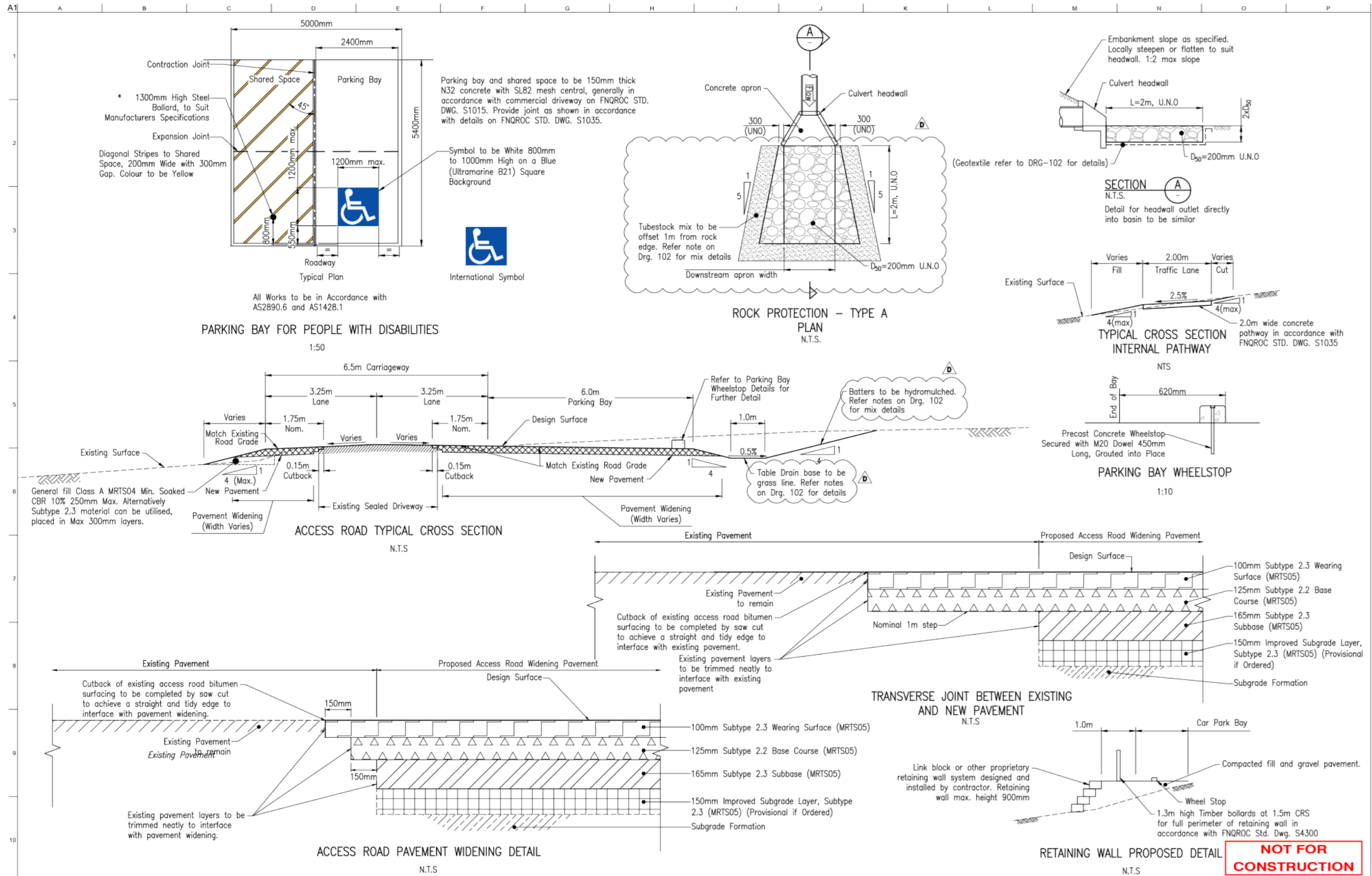
Client
 R.A. FUNCTION SERVICES PTY LTD



Job Title
 DE BRUEYS WINERY UPGRADE

DRAWING INDEX AND LOCALITY PLAN

Scale at A1 NOT TO SCALE
 Discipline CIVIL
 Job No 260361-00
 Drawing Status ISSUE FOR APPROVAL
 Drawing No 260361-CIAL-DRG-101
 Sheet A



Approved by:
Doug Walton
RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
D	ISSUED FOR APPROVAL	22/03/2021	JL	NG	DW
C	ISSUED FOR CONSTRUCTION	30/03/2020	JH	DW	DW
B	AMENDED AS CLOUDED	11/07/2018	OOD	JH	AWS
A	ISSUED FOR TENDER AND APPROVAL	19/06/2018	OOD	JH	AWS

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Client
R.A. FUNCTION SERVICES PTY LTD
Job Title
DE BRUEYS WINERY UPGRADE

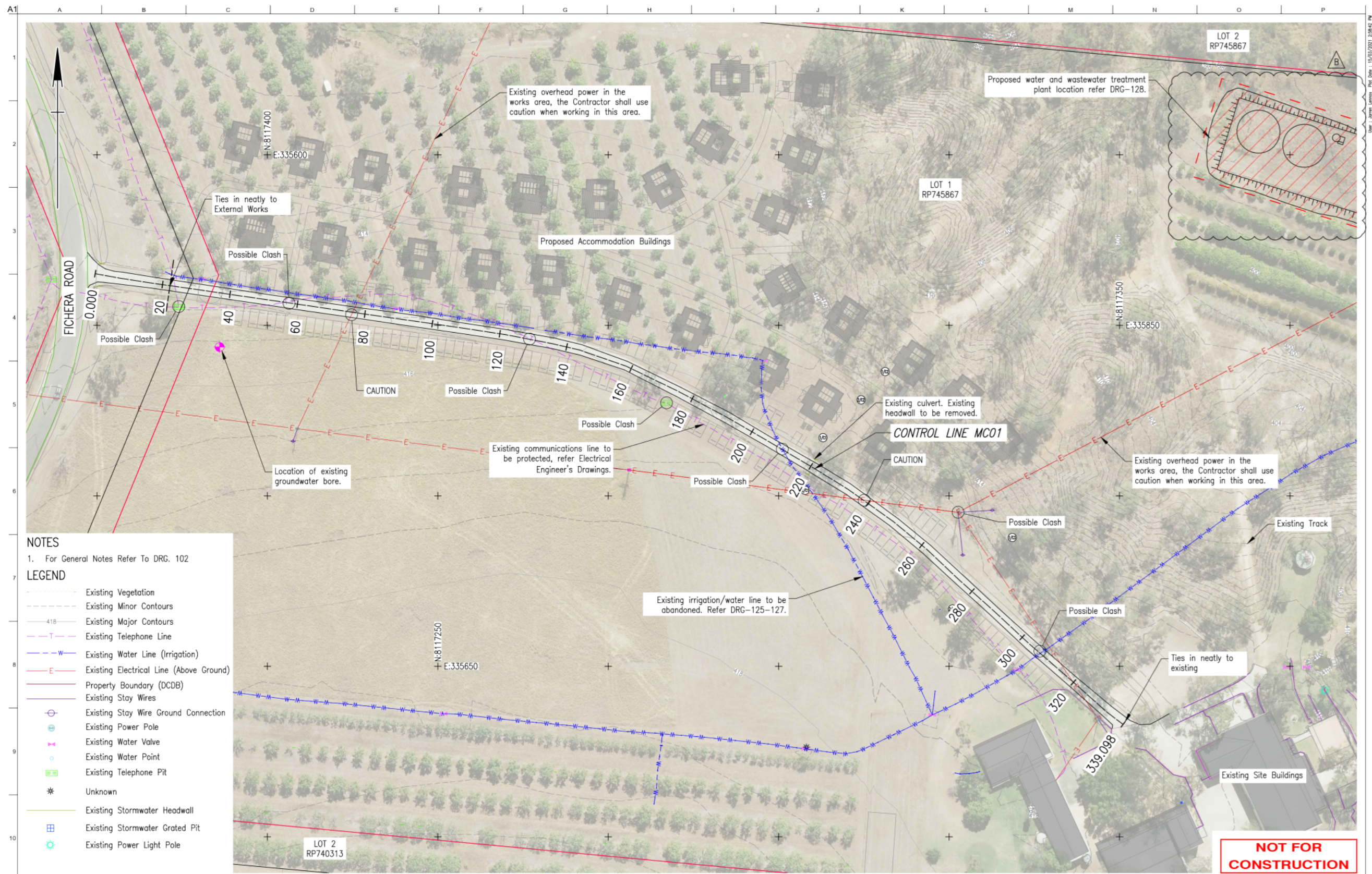
**ROADS AND PATHS
TYPICAL SECTIONS
AND DETAILS**

Scale at A1 AS SHOWN
Discipline CIVIL
Job No 260361-00
Drawing Status **ISSUE FOR APPROVAL**
Drawing No 260361-CIAL-DRG-103
Sheet **D**

NOT FOR CONSTRUCTION

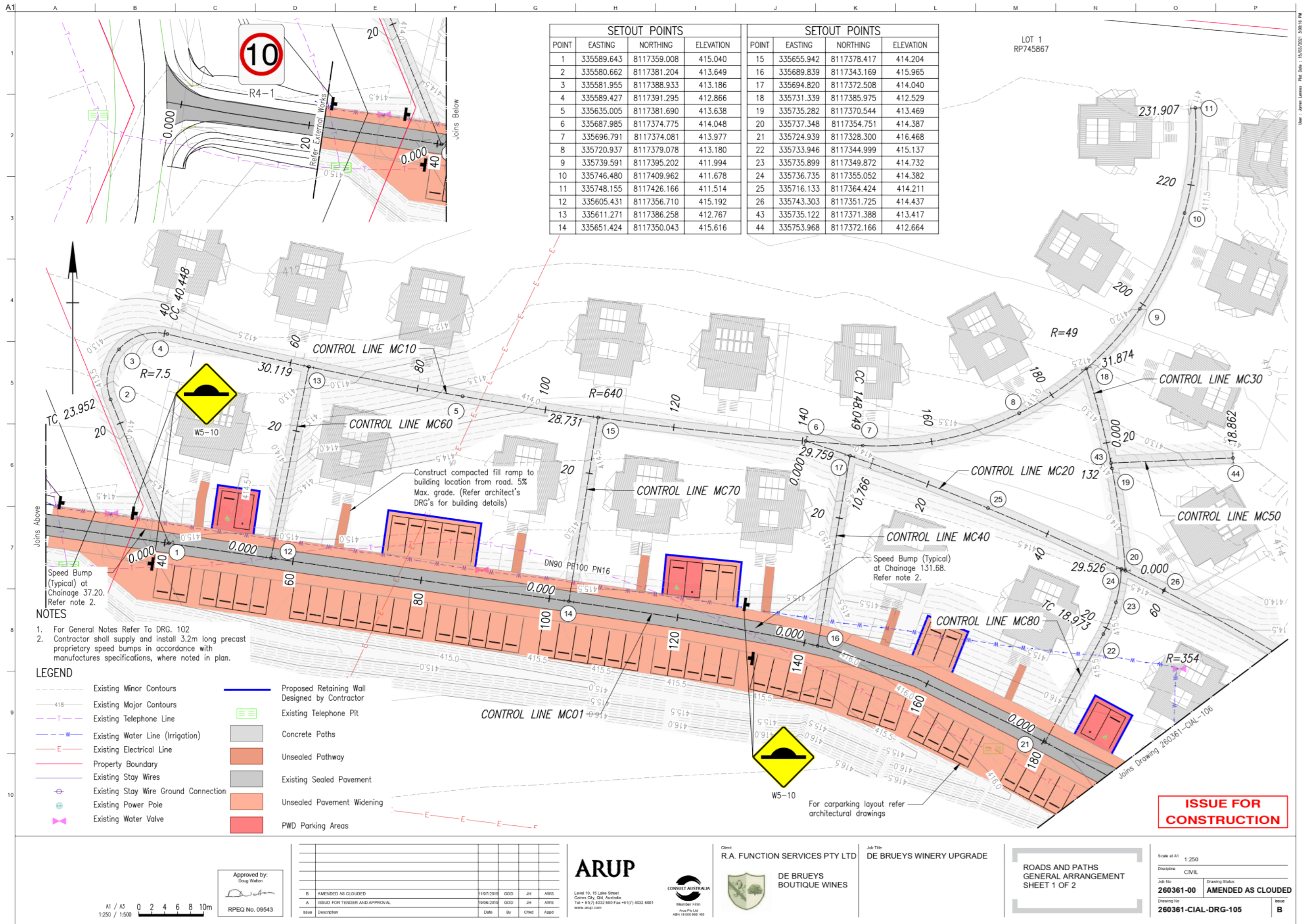
User: J. James Latham File Date: 11/05/2021 13:42:22 PM

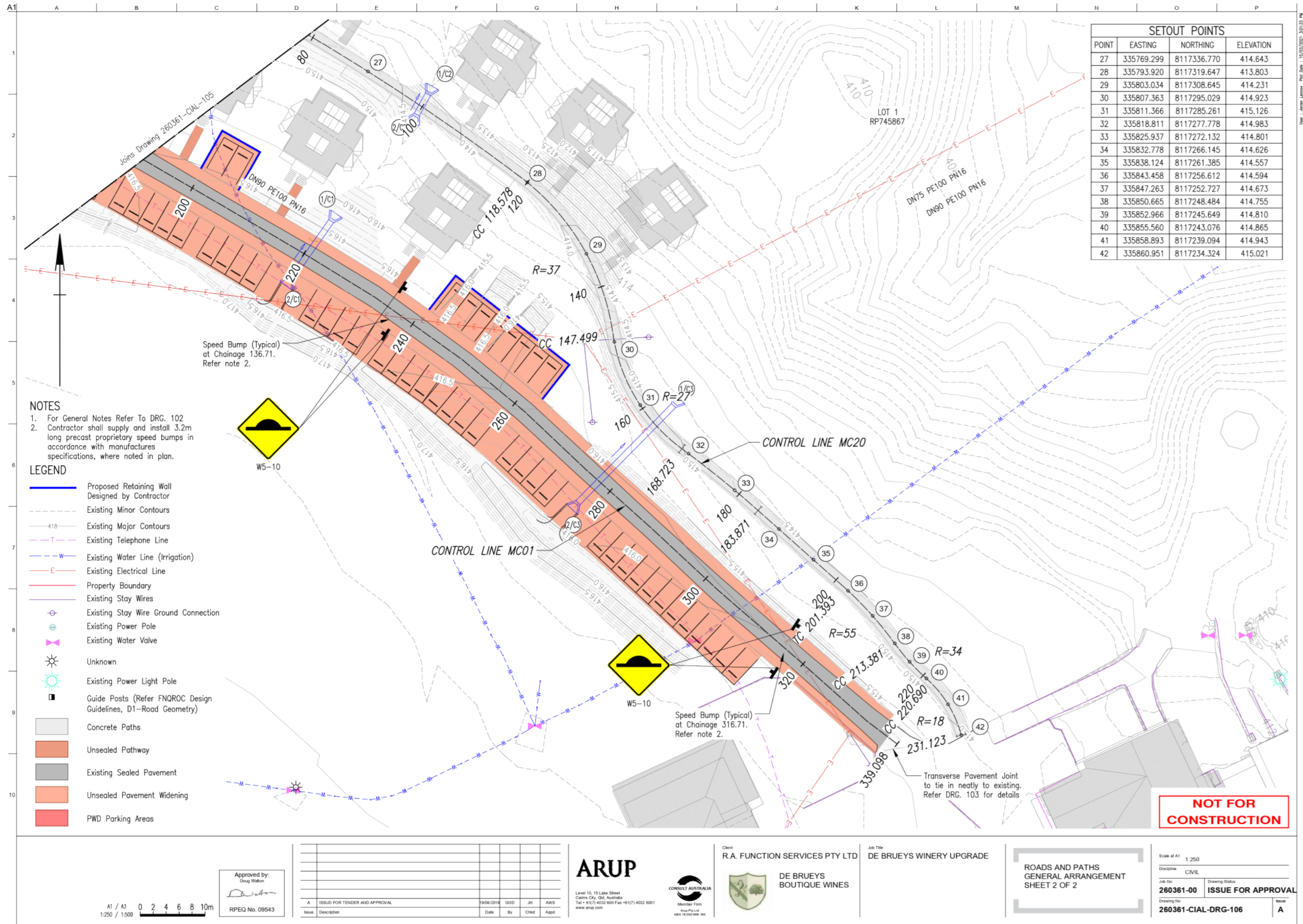
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- NOTES**
 1. For General Notes Refer To DRG. 102
- LEGEND**
- Existing Vegetation
 - Existing Minor Contours
 - 418 Existing Major Contours
 - Existing Telephone Line
 - Existing Water Line (Irrigation)
 - Existing Electrical Line (Above Ground)
 - Property Boundary (DCDB)
 - Existing Stay Wires
 - Existing Stay Wire Ground Connection
 - Existing Power Pole
 - Existing Water Valve
 - Existing Water Point
 - Existing Telephone Pit
 - Unknown
 - Existing Stormwater Headwall
 - Existing Stormwater Grated Pit
 - Existing Power Light Pole

<p>Approved by: Doug Walton</p> <p>RPEQ No. 09543</p>		<p>ARUP</p> <p>Level 10, 13 Lisle Street Cairns City, QLD, Australia Tel + 61(7) 4032 800 Fax +61(7) 4032 6001 www.arup.com</p>	<p>Client R.A. FUNCTION SERVICES PTY LTD</p> <p>Job Title DE BRUEYS WINERY UPGRADE</p>	<p>EXISTING FEATURES/PIP AND OVERALL SITE LAYOUT</p>	<p>Scale of A1 1:500</p> <p>Discipline CIVIL</p> <p>Job No 260361-00</p> <p>Drawing Status ISSUE FOR APPROVAL</p> <p>Drawing No 260361-CIAL-DRG-104</p> <p>Sheet A</p>
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SETOUT POINTS			
POINT	EASTING	NORTHING	ELEVATION
27	335769.299	8117336.770	414.643
28	335793.920	8117319.647	413.803
29	335803.034	8117308.645	414.231
30	335807.363	8117295.029	414.923
31	335811.366	8117285.261	415.126
32	335818.811	8117277.778	414.983
33	335825.937	8117272.132	414.801
34	335832.778	8117266.145	414.626
35	335838.124	8117261.385	414.557
36	335843.458	8117256.612	414.594
37	335847.263	8117252.727	414.673
38	335850.665	8117248.484	414.755
39	335852.966	8117245.649	414.810
40	335855.560	8117243.076	414.865
41	335858.893	8117239.094	414.943
42	335860.951	8117234.324	415.021

NOTES
 1. For General Notes Refer To DRG. 102.
 2. Contractor shall supply and install 3.2m long precast proprietary speed bumps in accordance with manufactures specifications, where noted in plan.

- LEGEND**
- Proposed Retaining Wall Designed by Contractor
 - Existing Minor Contours
 - Existing Major Contours
 - Existing Telephone Line
 - Existing Water Line (Irrigation)
 - Existing Electrical Line
 - Property Boundary
 - Existing Stay Wires
 - Existing Stay Wire Ground Connection
 - Existing Power Pole
 - + Existing Water Valve
 - ☼ Unknown
 - ☼ Existing Power Light Pole
 - Guide Posts (Refer FNQROC Design Guidelines, D1-Road Geometry)
 - Concrete Paths
 - Unsealed Pathway
 - Existing Sealed Pavement
 - Unsealed Pavement Widening
 - PWD Parking Areas

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Approved by:

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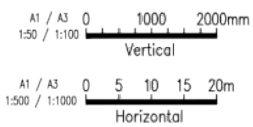
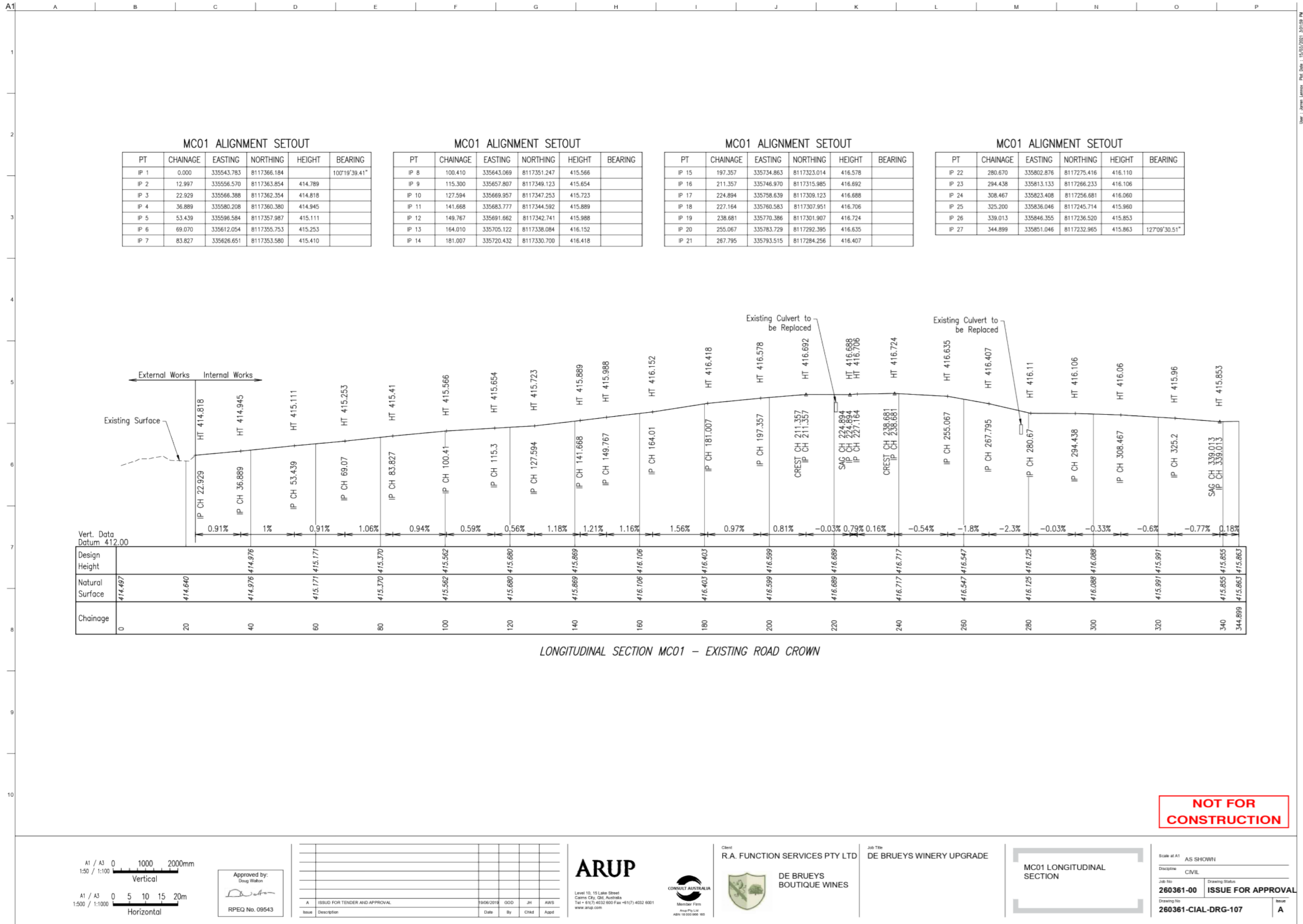
Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL	19/06/2016	ODD	JH	AWG



Client: R.A. FUNCTION SERVICES PTY LTD
 Job Title: DE BRUEYS WINERY UPGRADE

ROADS AND PATHS
 GENERAL ARRANGEMENT
 SHEET 2 OF 2

Scale of A1: 1:250
 Discipline: CIVIL
 Job No: 260361-00
 Drawing No: 260361-CIAL-DRG-106
 Drawing Status: ISSUE FOR APPROVAL
 Sheet: A



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Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL	19/06/2016	OOD	JH	AWS

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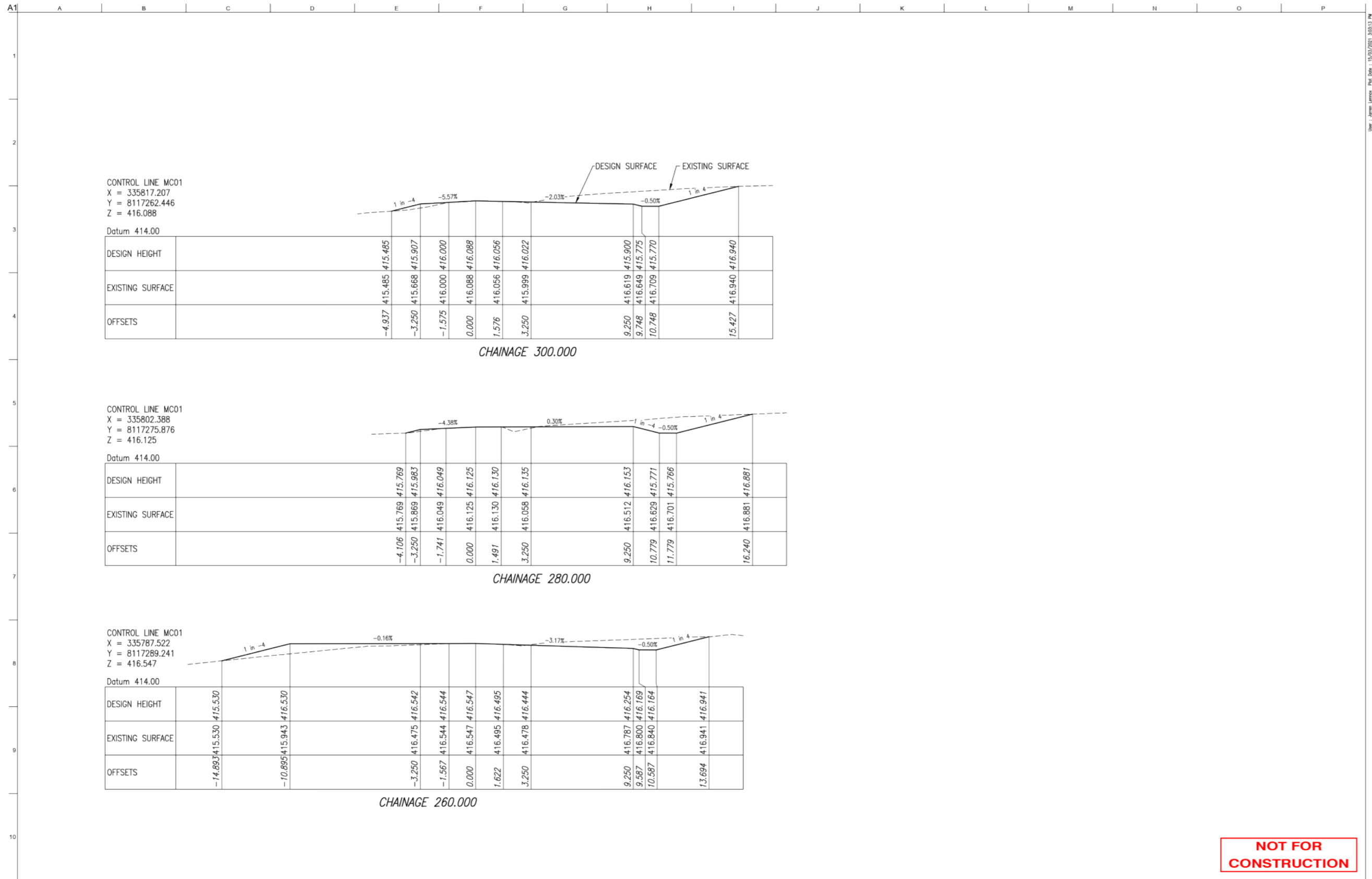
Job Title: DE BRUEYS WINERY UPGRADE

DE BRUEYS BOUTIQUE WINES

MC01 LONGITUDINAL SECTION

Scale of A1 AS SHOWN
Discipline: CIVIL
Job No: 260361-00
Drawing Status: ISSUE FOR APPROVAL
Drawing No: 260361-CIAL-DRG-107
Sheet: A

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A	ISSUED FOR TENDER AND APPROVAL	19/06/2016	OOD	JH	AWS
Issue	Description	Date	By	Chkd	Appd

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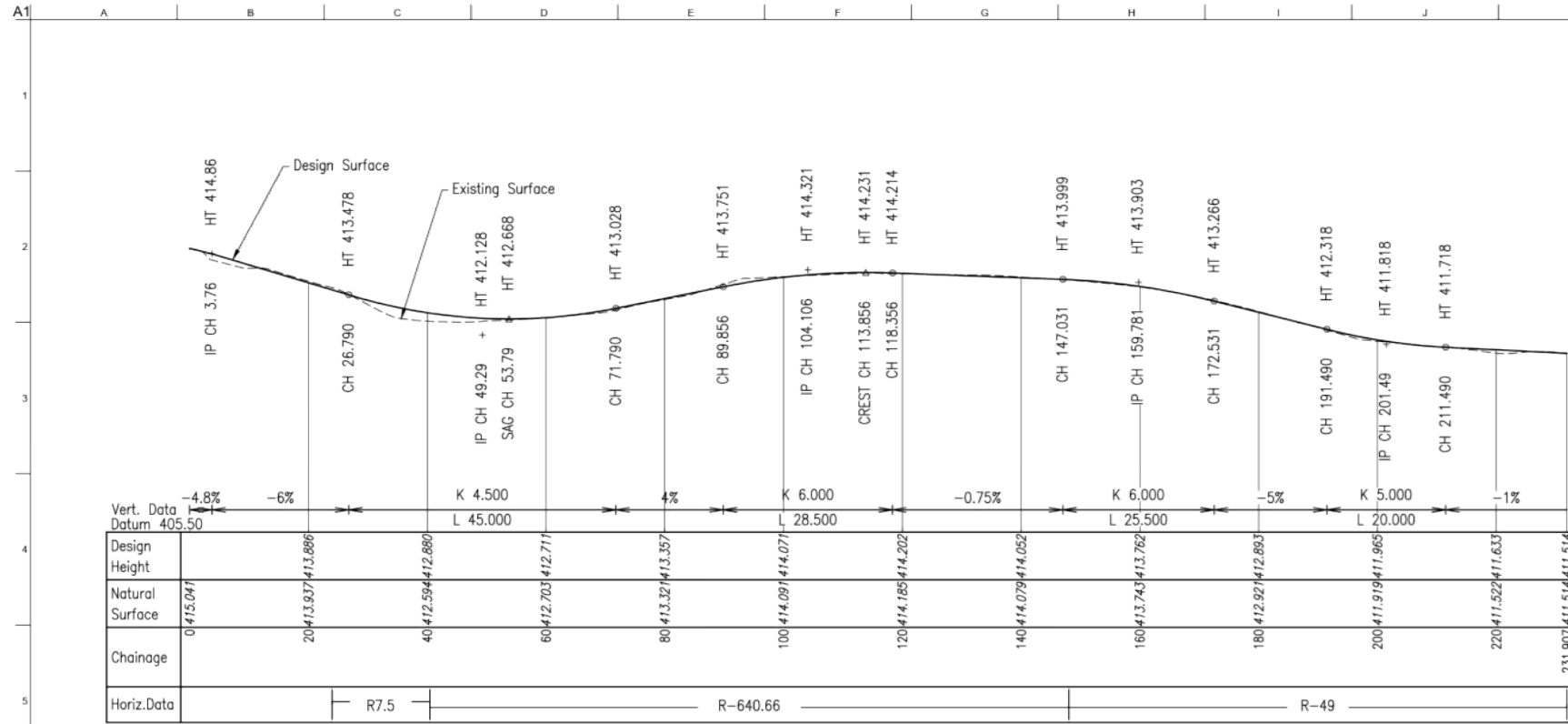
Client
R.A. FUNCTION SERVICES PTY LTD
 DE BRUEYS BOUTIQUE WINES

Job Title
DE BRUEYS WINERY UPGRADE

ANNOTATED CROSS SECTION
 SHEET 3 OF 3

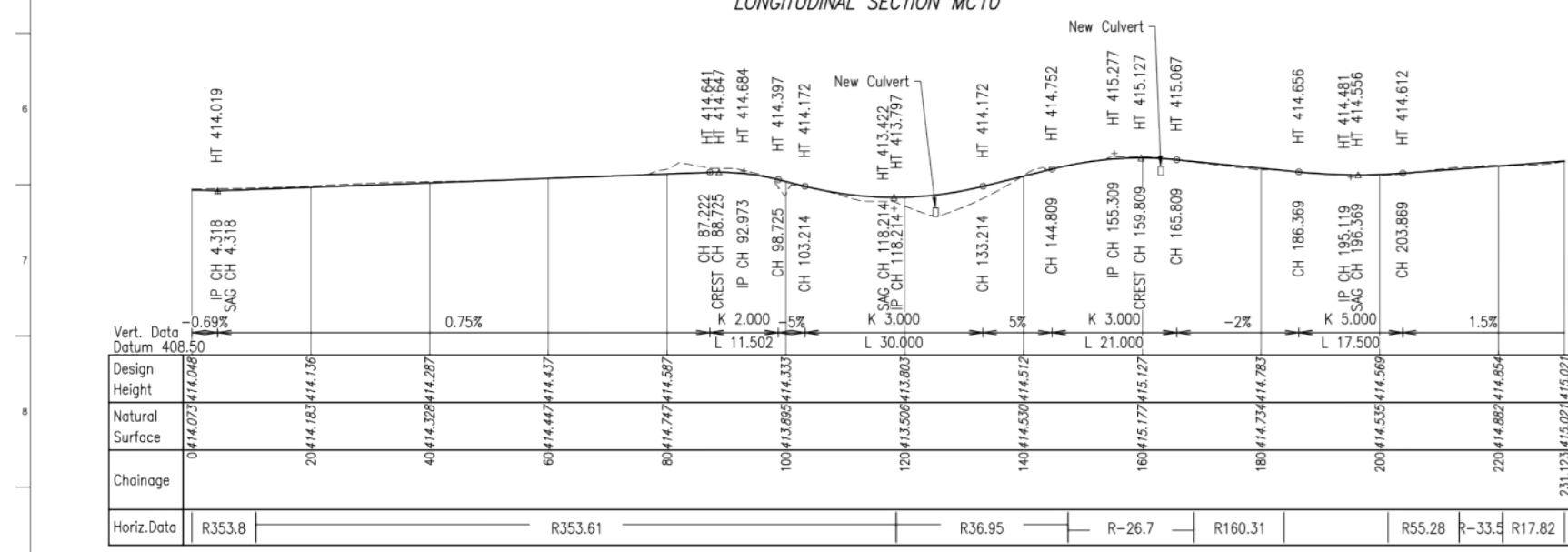
Scale of A1 1:1000
 Discipline CIVIL
 Job No 260361-00
 Drawing Status **ISSUE FOR APPROVAL**
 Drawing No 260361-CIAL-DRG-110
 Rev A

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MC10 ALIGNMENT SEOUT

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING	RAD/SPIRAL
IP 1	0.000	335589.645	8117359.001		337°58'14.49"	
TC	23.952	335580.661	8117381.204	413.649	337°58'14.49"	
IP 2	28.076	335578.937	8117385.466	413.403		R = 7.500
CC	32.200	335581.952	8117388.936	413.186	40°58'46.74"	
IP 3	36.324	335584.966	8117392.406	413.007		R = 7.500
CC	40.448	335589.427	8117391.295	412.866	103°59'18.99"	
IP 4	94.249	335641.755	8117378.259	413.911		R = -640.660
CC	148.049	335695.526	8117374.154	413.991	94°21'55.97"	
IP 5	189.978	335751.786	8117369.859	412.394		R = -49.000
IP 6	231.907	335748.155	8117426.166	411.514	356°18'36.09"	



MC20 ALIGNMENT SETOUT

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING	RAD/SPIRAL
IP 1	0.000	335687.985	8117374.775	414.048	107°45'43.10"	
IP 2	5.383	335693.111	8117373.133	414.026		R = 353.800
IP 3	10.766	335698.186	8117371.335	414.067		
IP 4	64.672	335749.396	8117353.197	414.472		R = 353.613
CC	118.578	335792.800	8117320.524	413.798	126°58'18.65"	
IP 5	133.039	335804.981	8117311.354	414.164		R = 36.951
CC	147.499	335807.152	8117296.262	414.875	171°48'59.23"	
IP 6	158.111	335808.747	8117285.168	415.122		R = -26.697
IP 7	168.723	335817.784	8117278.538	415.009		
IP 8	176.297	335823.896	8117274.054	414.857		R = 160.306
IP 9	183.871	335829.557	8117269.013	414.706		
TC	201.393	335842.643	8117257.361	414.581	131°40'55.12"	
IP 10	207.387	335847.137	8117253.359	414.665		R = 55.283
CC	213.381	335850.665	8117248.484	414.755	144°06'23.51"	
IP 11	217.036	335852.816	8117245.512	414.810		R = -33.500
CC	220.690	335855.560	8117243.076	414.865	131°36'20.63"	
IP 12	225.907	335859.576	8117239.510	414.943		R = 17.822
IP 13	231.123	335860.952	8117234.318	415.021	165°08'45.76"	

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Approved by:
Doug Walton
RPEQ No. 09543

A	Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL		19/06/2019	OOD	JH	AW5



DE BRUEYS BOUTIQUE WINES

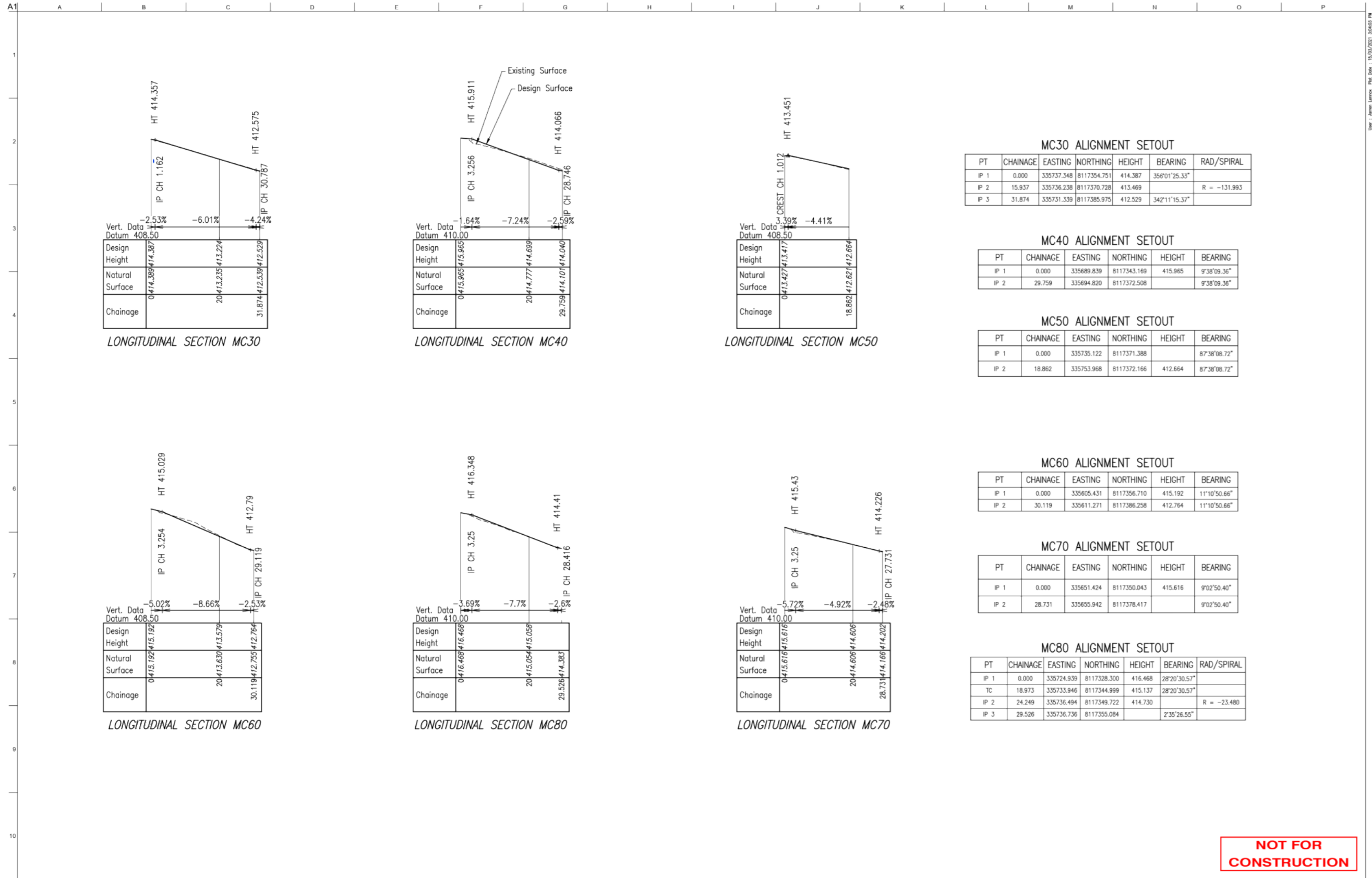
Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

INTERNAL PATHWAYS
LONGITUDINAL SECTIONS
SHEET 1 OF 2

Scale of A1: 1:1000

Discipline:	CIVIL
Job No:	260361-00
Drawing Status:	ISSUE FOR APPROVAL
Drawing No:	260361-CIAL-DRG-111
Sheet:	A

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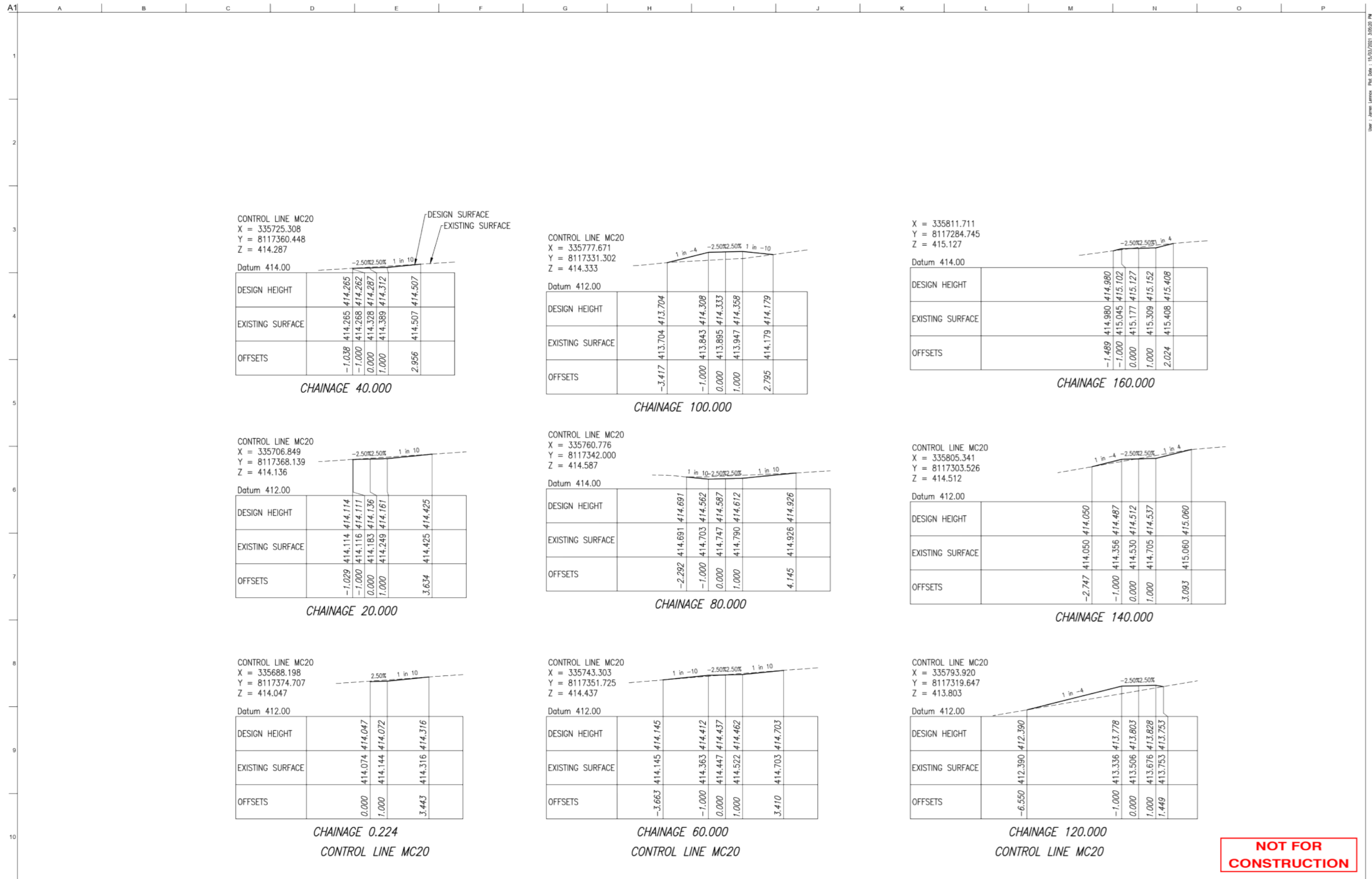
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Issue	Description	Date	By	Chkd	Appd



Client
R.A. FUNCTION SERVICES PTY LTD
DE BRUEYS WINERY UPGRADE

INTERNAL PATHWAYS
LONGITUDINAL SECTIONS
SHEET 2 OF 2

Scale of A1	1:1000
Discipline	CIVIL
Job No	260361-00
Drawing Status	ISSUE FOR APPROVAL
Drawing No	260361-CIAL-DRG-112
Sheet	A



NOT FOR CONSTRUCTION

A1 / A3 0 10 20 30 40m
1:1000 / 1:2000

Approved by:
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RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL	19/06/2016	ODD	JH	AWG

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Level 10, 13 Lark Street
Cairns City, QLD, Australia
Tel + 61(7) 4032 800 Fax +61(7) 4032 6001
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DE BRUEYS BOUTIQUE WINES

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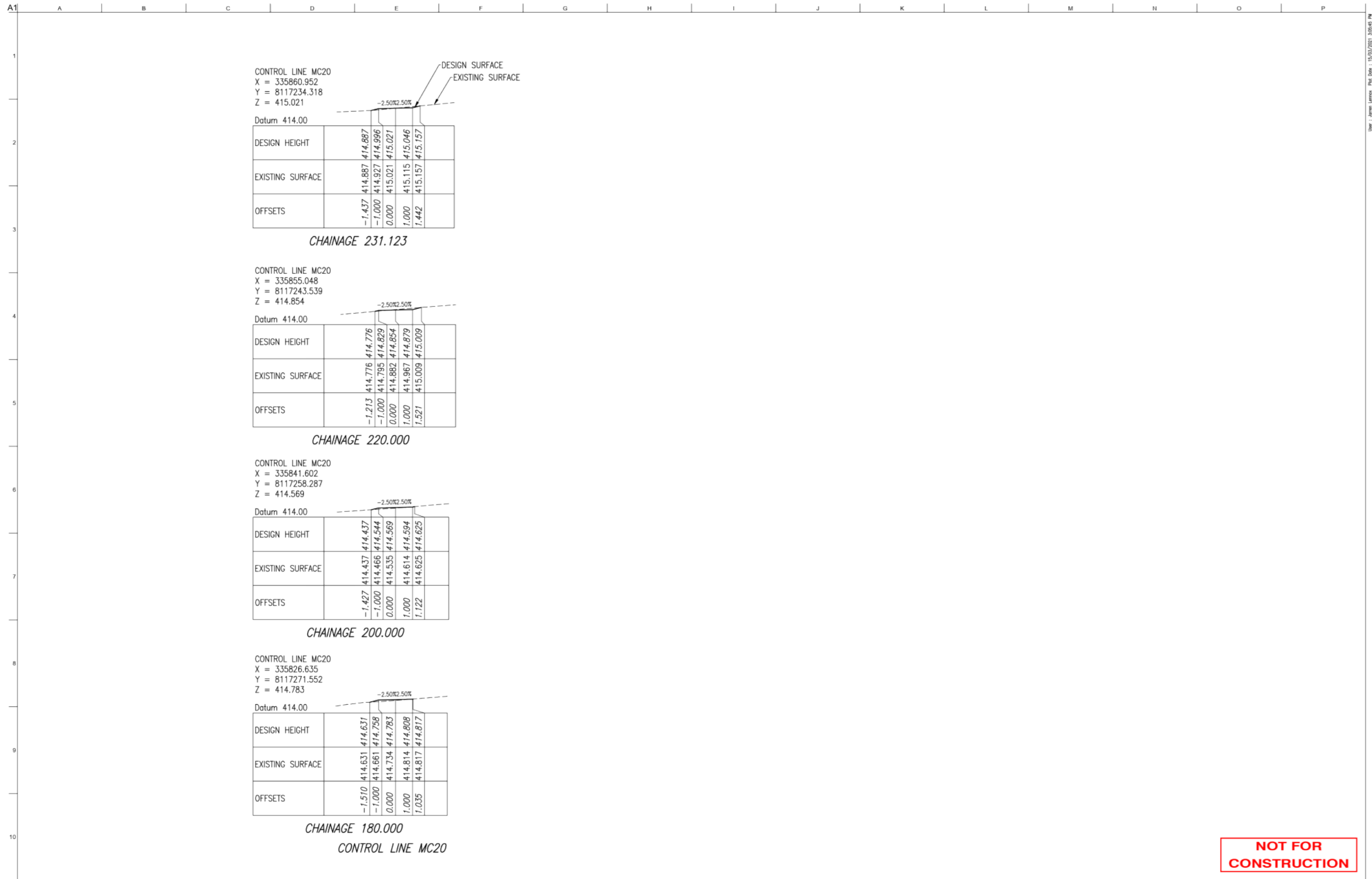
Job Title
DE BRUEYS WINERY UPGRADE

INTERNAL PATHWAYS
CROSS SECTIONS
SHEET 3 OF 6

Scale of A1 1:1000
Discipline CIVIL
Job No 260361-00
Drawing Status ISSUE FOR APPROVAL
Drawing No 260361-CIAL-DRG-115
Sheet A

User: J. Jones-Latham Plot Date: 11/05/2021 10:05:00 PM

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A	ISSUED FOR TENDER AND APPROVAL	19/06/2016	OOD	JH	AWS
Issue	Description	Date	By	Chkd	Appd

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Cairns City, Qld, Australia
Tel + 61(7) 4032 800 Fax +61(7) 4032 6001
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DE BRUEYS BOUTIQUE WINES

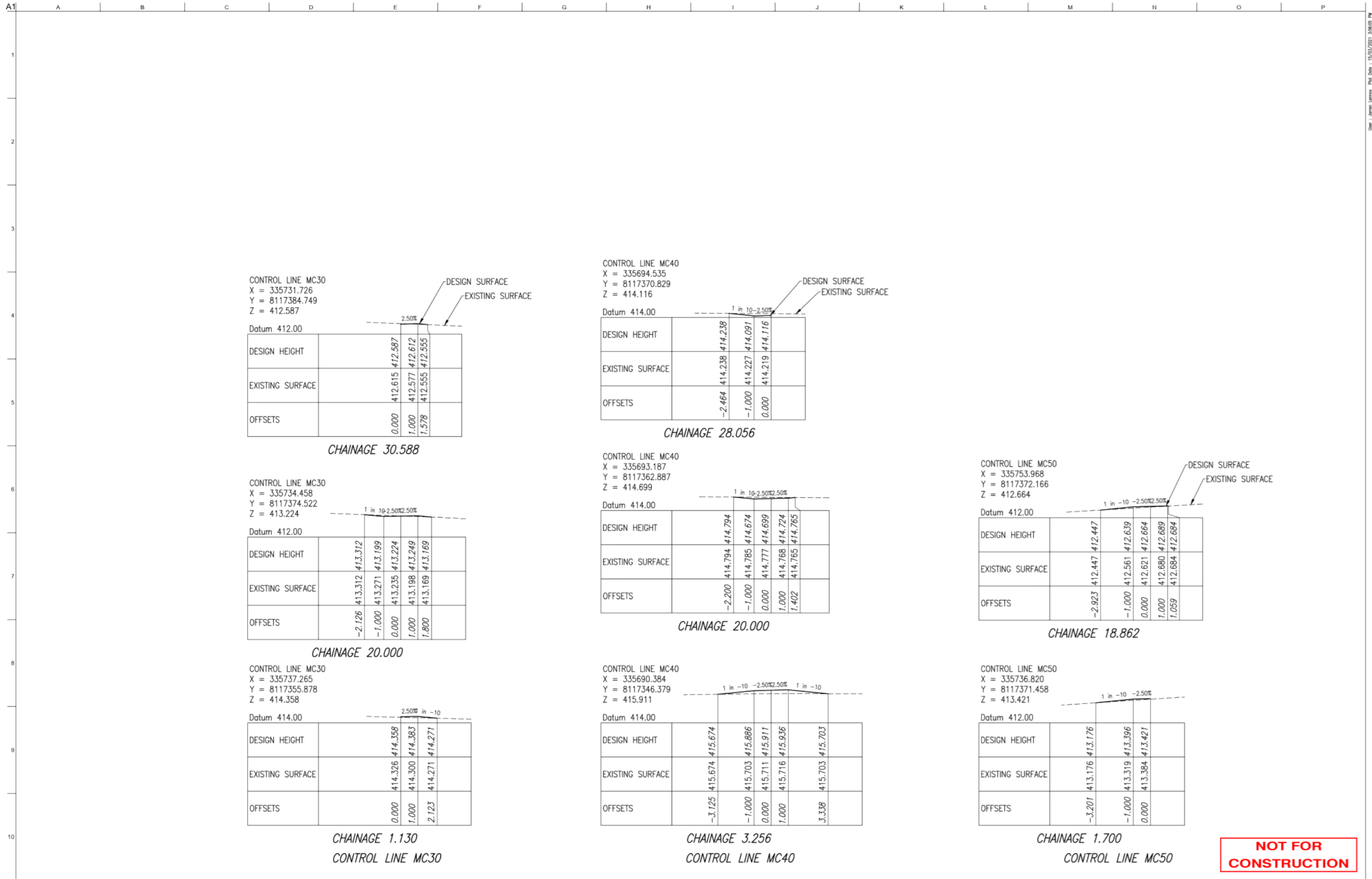
Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

INTERNAL PATHWAYS
CROSS SECTIONS
SHEET 4 OF 6

Scale of A1: 1:1000
Discipline: CIVIL
Job No: 260361-00
Drawing Status: ISSUE FOR APPROVAL
Drawing No: 260361-CIAL-DRG-116
Sheet: A

User: J. James Latham File Date: 11/05/2021 10:00:00 PM

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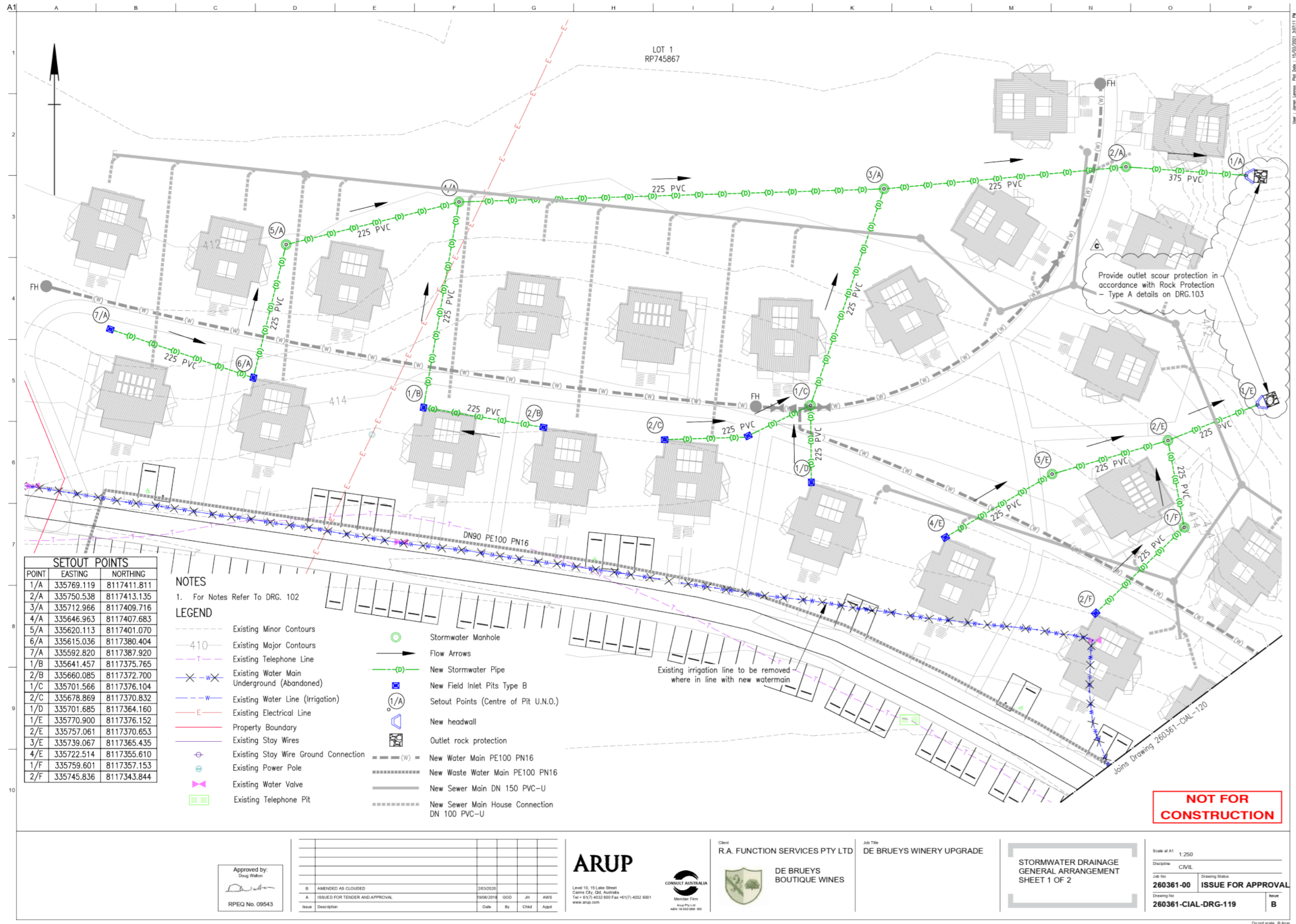
A	Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL		19/06/2019	OOD	JH	AWS



Client: R.A. FUNCTION SERVICES PTY LTD
 Job Title: DE BRUEYS WINERY UPGRADE

INTERNAL PATHWAYS
 CROSS SECTIONS
 SHEET 5 OF 6

Scale of A1: 1:1000
 Discipline: CIVIL
 Job No: 260361-00
 Drawing Status: ISSUE FOR APPROVAL
 Drawing No: 260361-CIAL-DRG-117
 Rev: A



SETOUT POINTS		
POINT	EASTING	NORTHING
1/A	335769.119	8117411.811
2/A	335750.538	8117413.135
3/A	335712.966	8117409.716
4/A	335646.963	8117407.683
5/A	335620.113	8117401.070
6/A	335615.036	8117380.404
7/A	335592.820	8117387.920
1/B	335641.457	8117375.765
2/B	335660.085	8117372.700
1/C	335701.566	8117376.104
2/C	335678.869	8117370.832
1/D	335701.685	8117364.160
1/E	335770.900	8117376.152
2/E	335757.061	8117370.653
3/E	335739.067	8117365.435
4/E	335722.514	8117355.610
1/F	335759.601	8117357.153
2/F	335745.836	8117343.844

NOTES
1. For Notes Refer To DRG. 102

- LEGEND**
- - - Existing Minor Contours
 - 410 - Existing Major Contours
 - T - Existing Telephone Line
 - w - Existing Water Main Underground (Abandoned)
 - - - w - Existing Water Line (Irrigation)
 - E - Existing Electrical Line
 - - - Property Boundary
 - - - Existing Stay Wires
 - - - Existing Stay Wire Ground Connection
 - - - Existing Power Pole
 - - - Existing Water Valve
 - - - Existing Telephone Pit
 - Stormwater Manhole
 - Flow Arrows
 - (D) - New Stormwater Pipe
 - New Field Inlet Pits Type B
 - 1/A Setout Points (Centre of Pit U.N.O.)
 - New headwall
 - Outlet rock protection
 - (W) - New Water Main PE100 PN16
 - - - New Waste Water Main PE100 PN16
 - - - New Sewer Main DN 150 PVC-U
 - - - New Sewer Main House Connection DN 100 PVC-U

Approved by:
Doug Walton
RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
B	AMENDED AS CLOUDED	20/3/2020			
A	ISSUED FOR TENDER AND APPROVAL	19/06/2019	OOD	JH	AWG

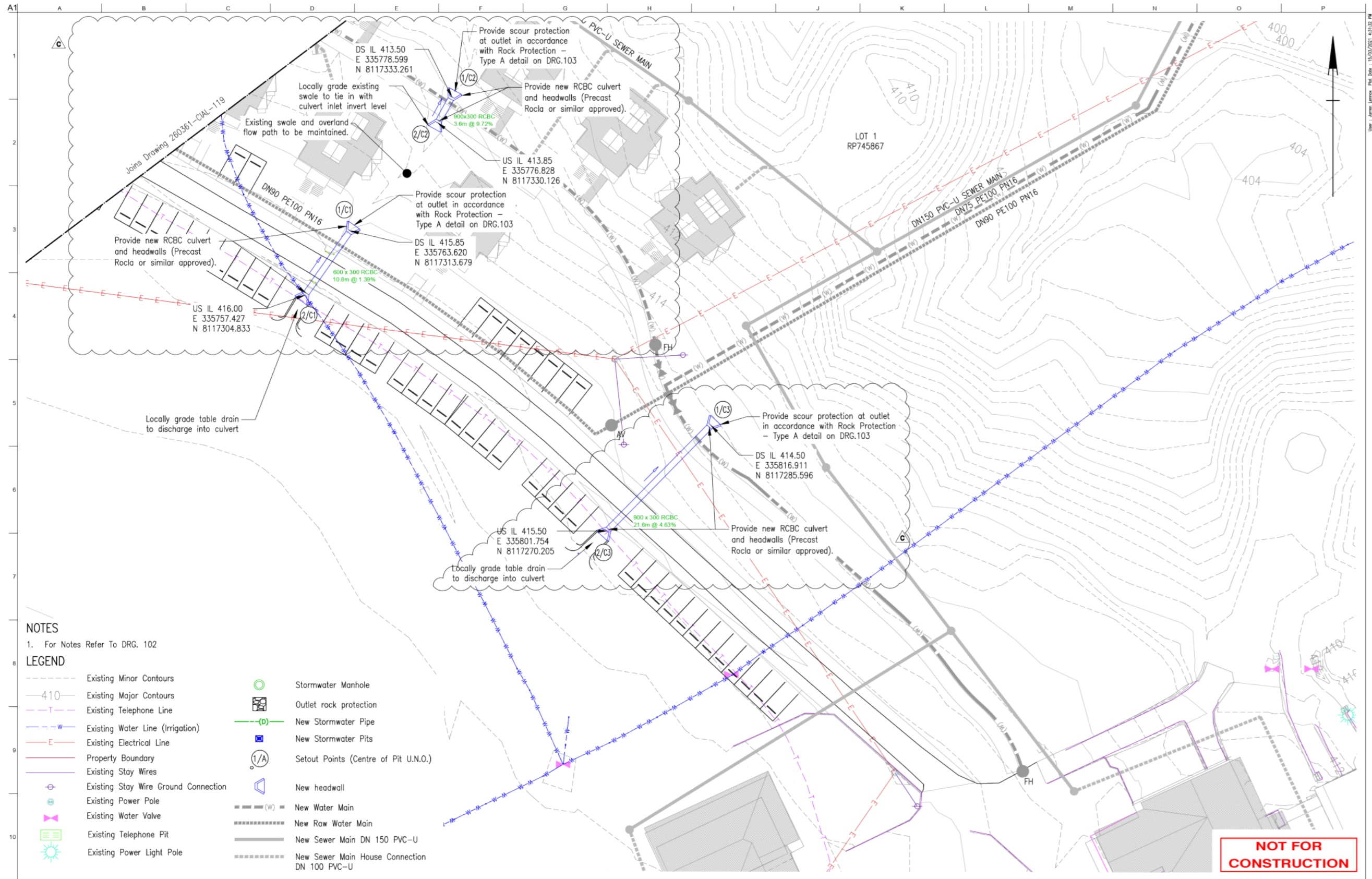


Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

STORMWATER DRAINAGE
GENERAL ARRANGEMENT
SHEET 1 OF 2

Scale of A1	1:250
Discipline	CIVIL
Job No	260361-00
Drawing No	260361-CIAL-DRG-119
Drawing Status	ISSUE FOR APPROVAL
Sheet	B

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User: J. Jervis-Larson File Date: 11/05/2021 03:32 PM

NOTES

1. For Notes Refer To DRG. 102

LEGEND

- Existing Minor Contours
- 410 --- Existing Major Contours
- - - Existing Telephone Line
- - - Existing Water Line (Irrigation)
- - - Existing Electrical Line
- - - Property Boundary
- - - Existing Stay Wires
- - - Existing Stay Wire Ground Connection
- - - Existing Power Pole
- - - Existing Water Valve
- - - Existing Telephone Pit
- - - Existing Power Light Pole
- Stormwater Manhole
- Outlet rock protection
- New Stormwater Pipe
- New Stormwater Pits
- Setout Points (Centre of Pit U.N.O.)
- New headwall
- (W) New Water Main
- New Raw Water Main
- New Sewer Main DN 150 PVC-U
- New Sewer Main House Connection DN 100 PVC-U

Approved by:
Doug Watson
RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
C	ISSUED FOR APPROVAL	22/03/2021	JL	NG	DW
B	ISSUED FOR CONSTRUCTION	19/03/2020	JH	SK	SK
A	ISSUED FOR TENDER AND APPROVAL	19/06/2019	ODD	JH	AWS



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Tel + 61(7) 4032 6000 Fax +61(7) 4032 6001
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Client
R.A. FUNCTION SERVICES PTY LTD



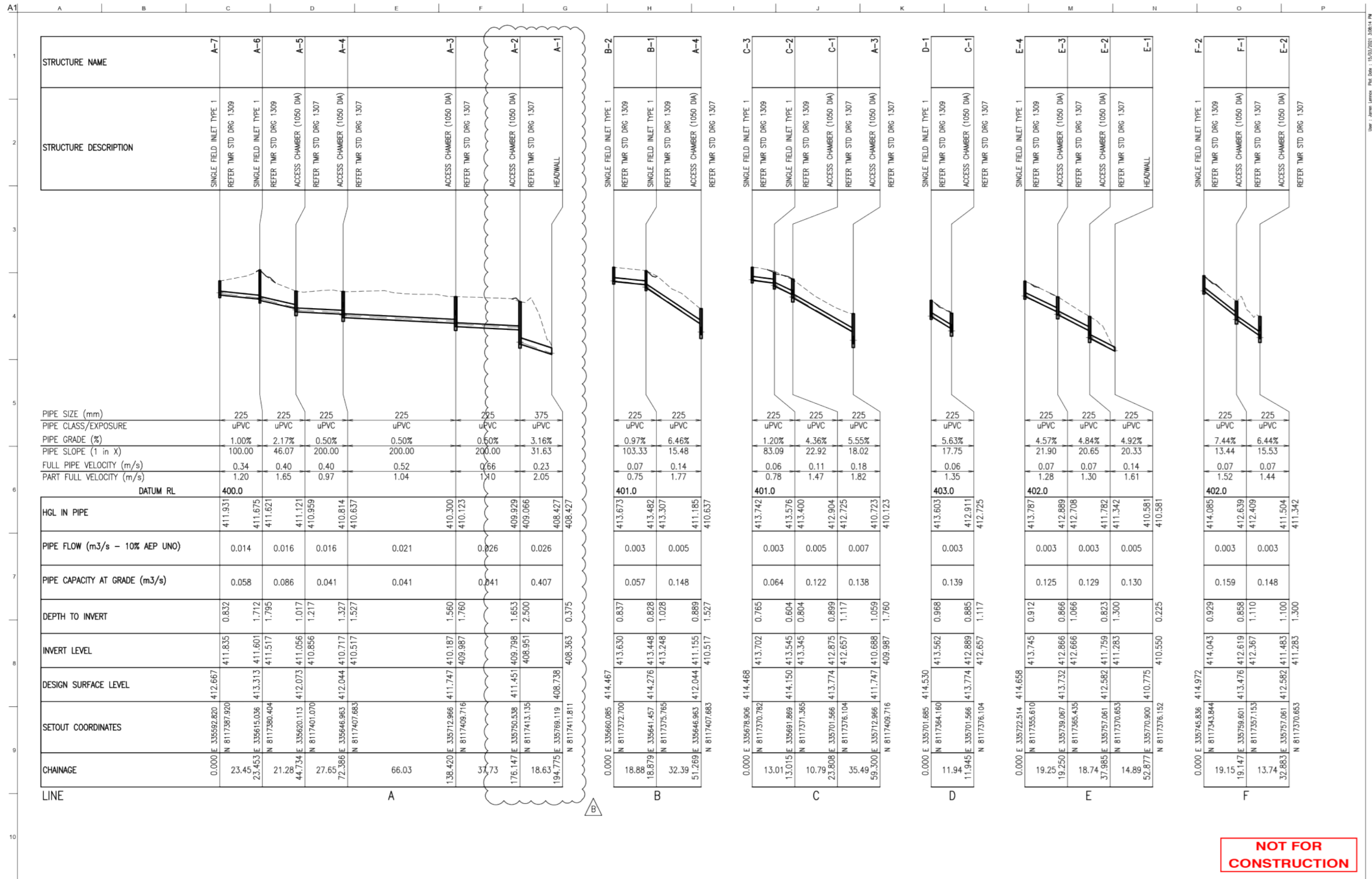
Job Title
DE BRUEYS WINERY UPGRADE

STORMWATER DRAINAGE
GENERAL ARRANGEMENT
SHEET 2 OF 2

Scale of A1	1:250
Discipline	CIVIL
Job No	260361-00
Drawing Status	ISSUE FOR APPROVAL
Drawing No	260361-CIAL-DRG-120
Sheet	C

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Approved by:
Doug Watson
RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
B	AMENDED AS CLOUDED	28/3/2020			
A	ISSUED FOR TENDER AND APPROVAL	19/06/2019	OOD	JH	AWB



Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

STORMWATER DRAINAGE
LONGITUDINAL SECTIONS

Scale of A1: 1:1000

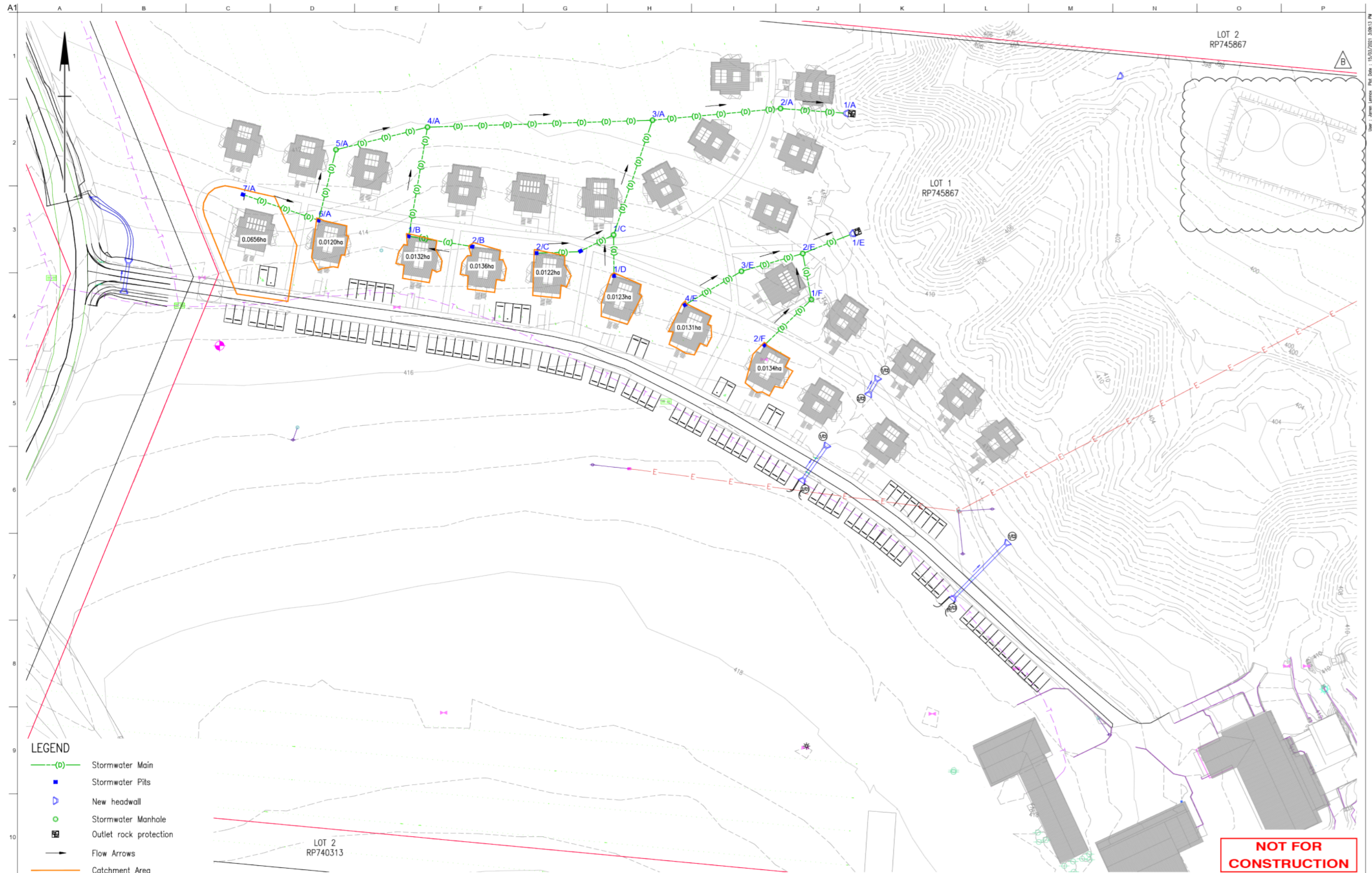
Discipline: CIVIL

Job No: 260361-00

Drawing Status: ISSUE FOR APPROVAL

Drawing No: 260361-CIAL-DRG-121

Sheet: B



- LEGEND**
- (o)--- Stormwater Main
 - Stormwater Pits
 - ▶ New headwall
 - Stormwater Manhole
 - Outlet rock protection
 - Flow Arrows
 - Catchment Area

Approved by:

 RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL	19/06/2016	ODD	JH	AWS

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 Level 10, 13 Lake Street
 Cairns City, Qld, Australia
 Tel + 61(7) 4032 800 Fax +61(7) 4032 8001
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DE BRUEYS BOUTIQUE WINES

Client
 R.A. FUNCTION SERVICES PTY LTD

Job Title
 DE BRUEYS WINERY UPGRADE

STORMWATER CATCHMENT PLAN

Scale of A1 1:500
 Discipline CIVIL
 Job No 260361-00
 Drawing Status **ISSUE FOR APPROVAL**
 Drawing No 260361-CIAL-DRG-122
 Sheet **A**

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LOCATION	SUB-CATCHMENT RUNOFF		INLET DESIGN			INLET		INLET		Qg		Qb	
STRUCTURE	DRAIN	TIME OF CONC.	RAINFALL	AREA	EQUIVALENT	DISCHARGE	(INC. BYPASS)	CAPACITY	TYPE	CURVE	INLET	FLOW	BYPASS
No.	SECTION	min	mm/h	AREA	AREA	L/s	L/s	L/s			L/s	L/s	STRUCTURE No.
A-7	A-7 to A-6	5	193.0	0.066	0.059	32.0	32.0	14.0	TMR SF1	SAG	14.0	18.0	
A-6	A-6 to A-5	5	193.0	0.012	0.011	6.0	6.0	51.0	TMR SF1	SAG	6.0	0.0	
A-5	A-5 to A-4								TMR MH1050				
A-4	A-4 to A-3								TMR MH1050				
A-3	A-3 to A-2								TMR MH1050				
A-2	A-2 to A-1								TMR MH1050				
A-1									HW				
B-2	B-2 to B-1	5	193.0	0.014	0.012	7.0	7.0	36.0	TMR SF1	SAG	7.0	0.0	
B-1	B-1 to A-4	5	193.0	0.013	0.012	6.0	6.0	31.0	TMR SF1	SAG	6.0	0.0	
C-3	C-3 to C-2	5	193.0	0.012	0.011	6.0	6.0	42.0	TMR SF1	SAG	6.0	0.0	
C-2	C-2 to C-1	5	193.0	0.010	0.009	5.0	5.0	80.0	TMR SF1	SAG	5.0	0.0	
C-1	C-1 to A-3								TMR MH1050				
D-1	D-1 to C-1	5	193.0	0.012	0.011	6.0	6.0	34.0	TMR SF1	SAG	6.0	0.0	
F-4	F-4 to F-3	5	193.0	0.013	0.012	6.0	6.0	42.0	TMR SF1	SAG	6.0	0.0	
F-3	F-3 to F-2								TMR MH1050				
F-2	F-2 to F-1								TMR MH1050				
F-1									HW				
F-2	F-2 to F-1	5	193.0	0.013	0.012	6.0	6.0	34.0	TMR SF1	SAG	6.0	0.0	
F-1	F-1 to E-2								TMR MH1050				

Q	L	S	VF=Q/A			Qcap	Vcap	Vt	HEAD LOSSES	Vf ² /2g	Ku	hu	Kw	hw	Sf	hf	PART FULL	DESIGN LEVELS							
PIPE	REACH	PIPE	PIPE	PIPE	FULL PIPE	CAPACITY	CAPACITY	TRAVEL	CHART(S)	VELOCITY	U/S HEAD LOSS	U/S	W.S.E	CHANGE	PIPE FRICTION	PIPE FRICTION	NORMAL	NORMAL	PIPE	PIPE	PIPE	PIPE	W.S.E	GRATE	STRUCTURE
FLOW	LENGTH	GRADE	SIZE	CLASS	VELOCITY	FLOW	VELOCITY	VELOCITY	USED	HEAD	COEFFICIENT	HEAD LOSS	COEFFICIENT	IN W.S.E	SLOPE	HEAD LOSS	DEPTH	DEPTH	U/S I.L.	D/S I.L.	U/S H.G.L	D/S H.G.L	LEVEL	LEVEL	No.
14.000	23.453	1.000	225.000	uPVC	0.350	58.000	1.470	1.200	G1	0.006	7.000	0.044	0.044	1.090	0.219	0.075	1.200	0.968	413.630	413.448	413.686	413.490	413.706	414.467	A-7
19.000	21.280	2.170	225.000	uPVC	0.480	86.000	2.160	1.740	T10	0.012	2.220	0.026	2.660	0.032	2.370	0.395	0.072	1.740	411.517	411.056	411.632	411.128	411.664	413.313	A-6
19.000	27.653	0.500	225.000	uPVC	0.470	41.000	1.040	1.010	19/T10	0.011	2.450	0.028	2.770	0.032	0.520	0.137	0.107	1.010	410.856	410.717	410.969	410.824	411.001	412.073	A-5
30.000	66.034	0.500	225.000	uPVC	0.770	41.000	1.040	1.140	16/T9	0.030	2.290	0.069	2.590	0.078	0.500	0.330	0.144	1.140	410.517	410.187	410.663	410.331	410.741	412.044	A-4
44.000	37.727	0.580	225.000	uPVC	1.090	41.000	1.040	1.170	17/T9	0.081	2.320	0.142	2.690	0.165	0.368	0.194	0.198	1.170	409.967	409.798	410.185	409.973	410.350	411.747	A-3
42.000	18.628	3.16	375.000	uPVC	0.380	407.000	3.690	2.370	T10	0.007	2.090	0.015	3.240	0.024	3.520	0.424	0.081	2.37	408.951	408.363	409.099	408.444	409.123	411.451	A-2
7.000	18.879	6.970	225.000	uPVC	0.160	57.000	1.440	0.960	G1	0.001	7.000	0.016	0.610	0.640	0.174	0.051	0.968	413.630	413.448	413.686	413.490	413.706	414.467	B-2	
13.000	32.390	6.460	225.000	uPVC	0.320	148.000	3.730	2.280	T10	0.005	2.290	0.012	2.660	0.014	6.610	1.910	0.045	2.280	413.248	411.155	413.340	411.200	413.354	414.276	B-1
6.000	13.015	1.200	225.000	uPVC	0.150	64.000	1.610	1.000	G1	0.001	7.000	0.008	0.008	0.008	1.330	0.143	0.046	1.000	413.702	413.545	413.764	413.592	413.772	414.468	C-3
11.000	10.793	4.360	225.000	uPVC	0.270	122.000	3.070	1.880	12/T14	0.004	2.250	0.008	0.008	0.008	4.730	0.361	0.045	1.880	413.345	412.875	413.430	412.919	413.438	414.150	C-2
16.000	35.492	5.550	225.000	uPVC	0.410	138.000	3.460	2.330	16/T9	0.009	2.410	0.021	2.700	0.023	5.700	1.787	0.052	2.330	412.657	410.688	412.763	410.740	412.786	413.774	C-1
6.000	11.945	5.630	225.000	uPVC	0.150	139.000	3.490	1.730	G1	0.001	7.000	0.008	0.008	0.008	5.890	0.572	0.032	1.730	413.562	412.889	413.625	412.921	413.633	414.530	D-1
6.000	19.250	4.570	225.000	uPVC	0.160	125.000	3.140	1.640	G1	0.001	7.000	0.009	0.009	0.009	4.720	0.794	0.034	1.640	413.745	412.866	413.810	412.901	413.819	414.658	E-4
6.000	18.735	4.840	225.000	uPVC	0.160	129.000	3.230	1.670	12/T15	0.001	0.550	0.001	0.001	0.001	5.010	0.818	0.034	1.670	412.666	411.759	412.731	411.793	412.731	413.732	E-3
13.000	14.892	4.920	225.000	uPVC	0.320	130.000	3.270	2.060	19/T10	0.005	2.160	0.011	2.680	0.014	5.220	0.594	0.047	2.060	411.283	410.550	411.374	410.597	411.388	412.582	E-2
6.000	19.147	7.440	225.000	uPVC	0.160	159.000	4.010	1.960	G1	0.001	7.000	0.009	0.009	0.009	7.620	1.286	0.031	1.960	414.043	412.619	414.108	412.650	414.118	414.972	F-2
6.000	13.736	6.440	225.000	uPVC	0.160	148.000	3.730	1.860	19/T10	0.001	2.250	0.003	2.710	0.004	6.680	0.764	0.032	1.860	412.367	411.483	412.432	411.514	412.435	413.476	F-1

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Approved by:
Doug Watson
RPEQ No. 09543

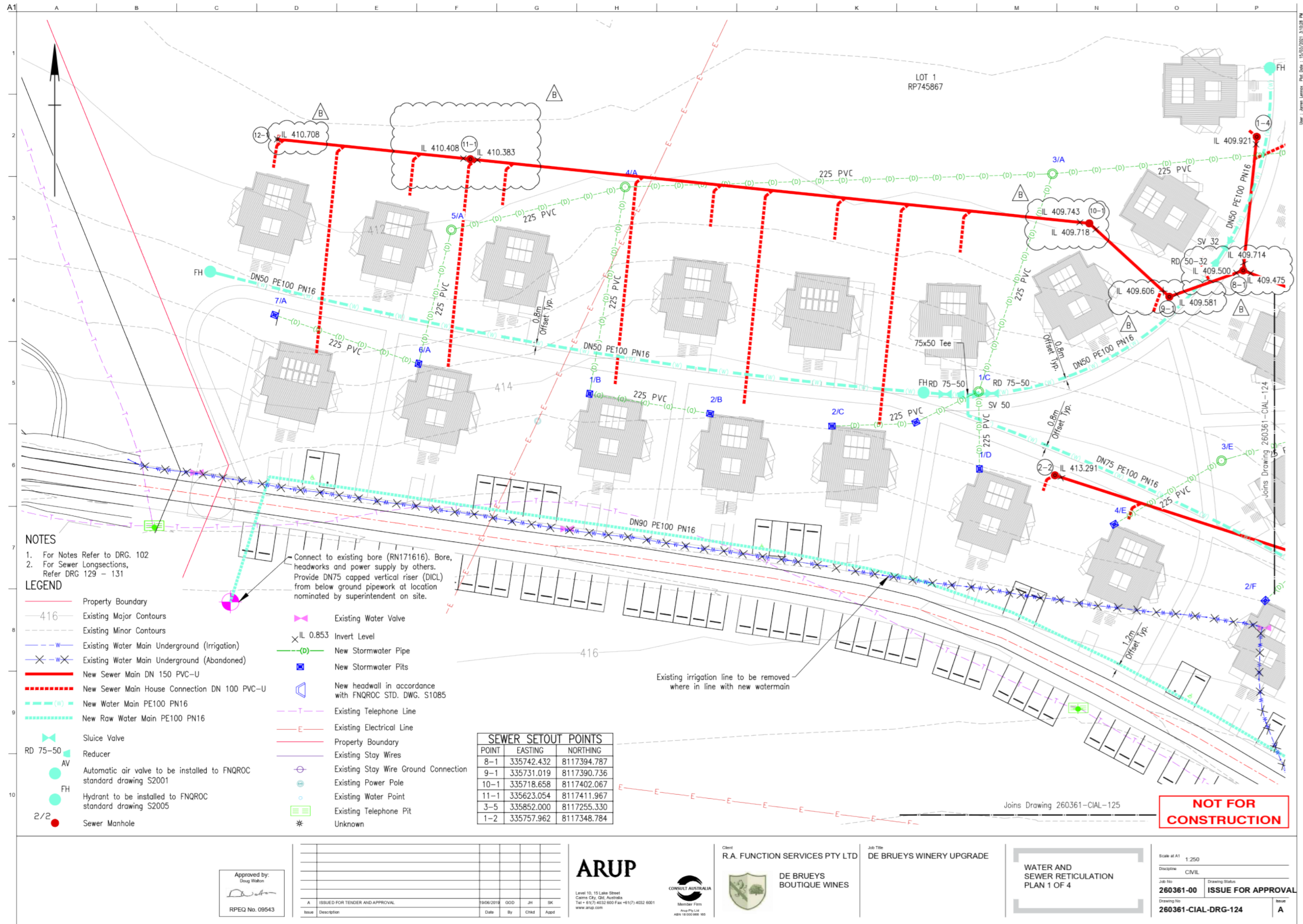
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B	AMENDED AS CLOUDED	20/3/2020			
A	ISSUED FOR TENDER AND APPROVAL	19/06/2019	OOD	JH	AWS



Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

STORMWATER CALCULATIONS TABLE

Scale of A1: NOT TO SCALE
Discipline: CIVIL
Job No: 260361-00
Drawing Status: ISSUE FOR APPROVAL
Drawing No: 260361-CIAL-DRG-123
Sheet: B



NOTES

- For Notes Refer to DRG. 102
- For Sewer Longsections, Refer DRG 129 - 131

LEGEND

- Property Boundary
- 416 Existing Major Contours
- Existing Minor Contours
- Existing Water Main Underground (Irrigation)
- Existing Water Main Underground (Abandoned)
- New Sewer Main DN 150 PVC-U
- New Sewer Main House Connection DN 100 PVC-U
- New Water Main PE100 PN16
- New Raw Water Main PE100 PN16
- Sluice Valve
- Reducer
- Automatic air valve to be installed to FNQROC standard drawing S2001
- FH Hydrant to be installed to FNQROC standard drawing S2005
- 2/2 Sewer Manhole
- Connect to existing bore (RN171616). Bore, headworks and power supply by others. Provide DN75 capped vertical riser (DICL) from below ground pipework at location nominated by superintendent on site.
- Existing Water Valve
- IL 0.853 Invert Level
- New Stormwater Pipe
- New Stormwater Pits
- New headwall in accordance with FNQROC STD. DWG. S1085
- Existing Telephone Line
- Existing Electrical Line
- Property Boundary
- Existing Stay Wires
- Existing Stay Wire Ground Connection
- Existing Power Pole
- Existing Water Point
- Existing Telephone Pit
- Unknown

NOT FOR CONSTRUCTION

Approved by:
Doug Watson
RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL	19/05/2021	ODD	JH	DK

ARUP
Level 10, 13 Laine Street
Cairns City, QLD, Australia
Tel + 61(7) 4032 6000 Fax +61(7) 4032 6001
www.arup.com

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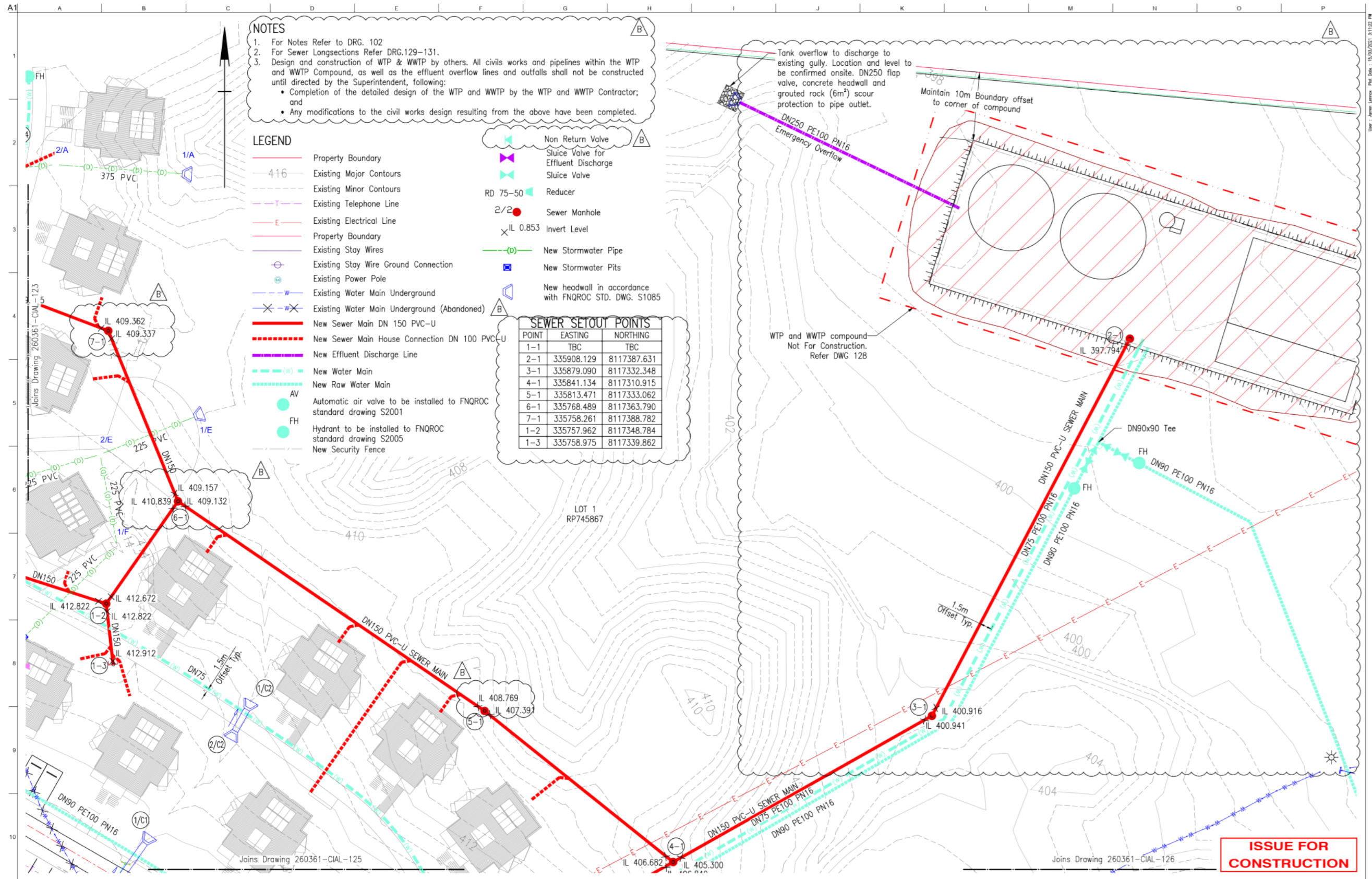
DE BRUEYS BOUTIQUE WINES

Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

WATER AND SEWER RETICULATION
PLAN 1 OF 4

Scale of A1: 1:250
Discipline: CIVIL
Job No: 260361-00
Drawing Status: ISSUE FOR APPROVAL
Drawing No: 260361-CIAL-DRG-124
Sheet: A

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Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL	19/05/2021	ODD	JH	DK

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Cairns City, QLD, Australia
Tel + 61(7) 4032 800 Fax +61(7) 4032 6001
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Job Title
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DE BRUEYS BOUTIQUE WINES

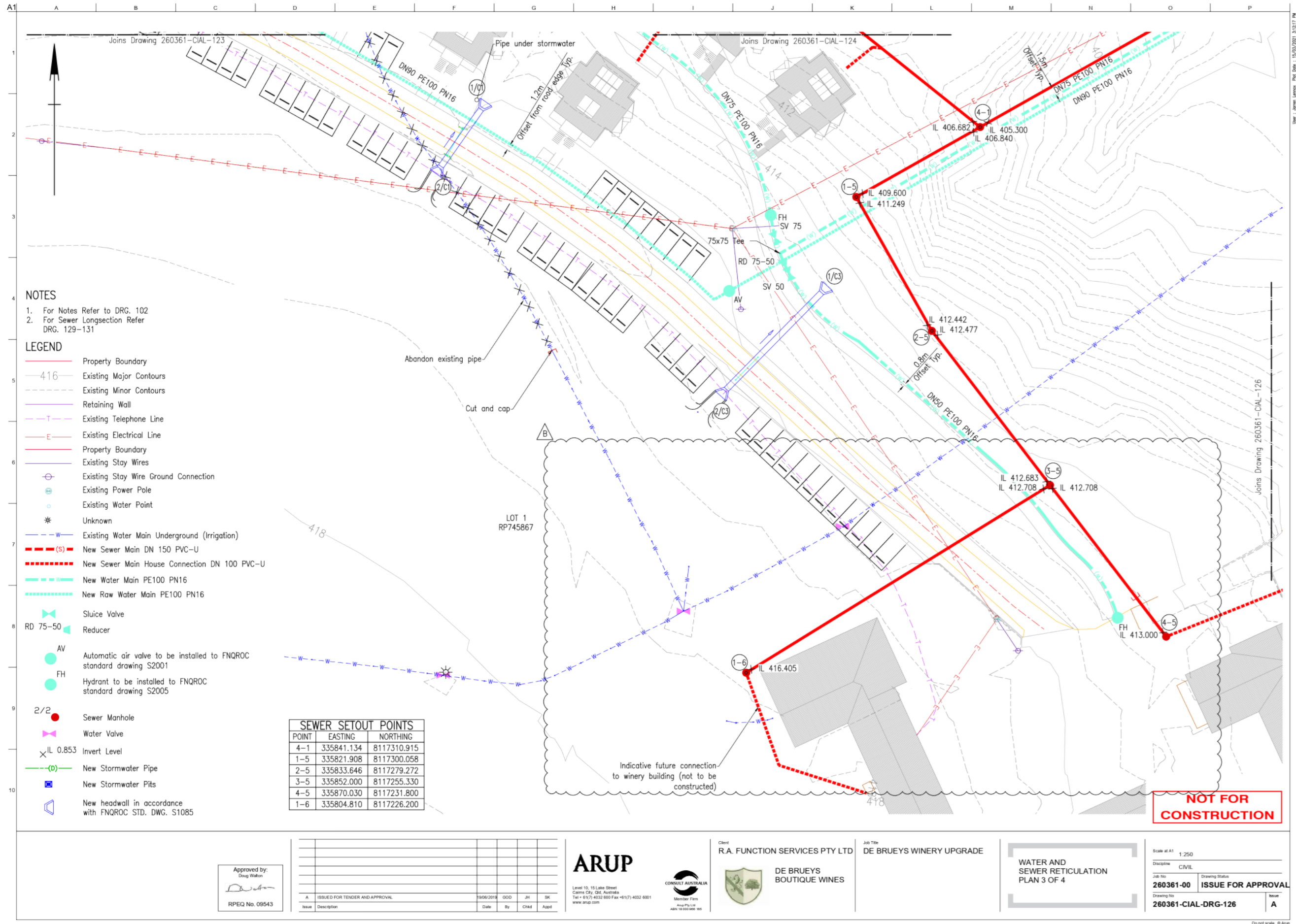
WATER AND SEWER RETICULATION PLAN 2 OF 4

Scale of A1 1:250

Discipline CIVIL

Job No **260361-00** Drawing Status **ISSUE FOR APPROVAL**

Drawing No **260361-CIAL-DRG-125** Sheet **A**



Approved by:
Doug Watson
RPEQ No. 09543

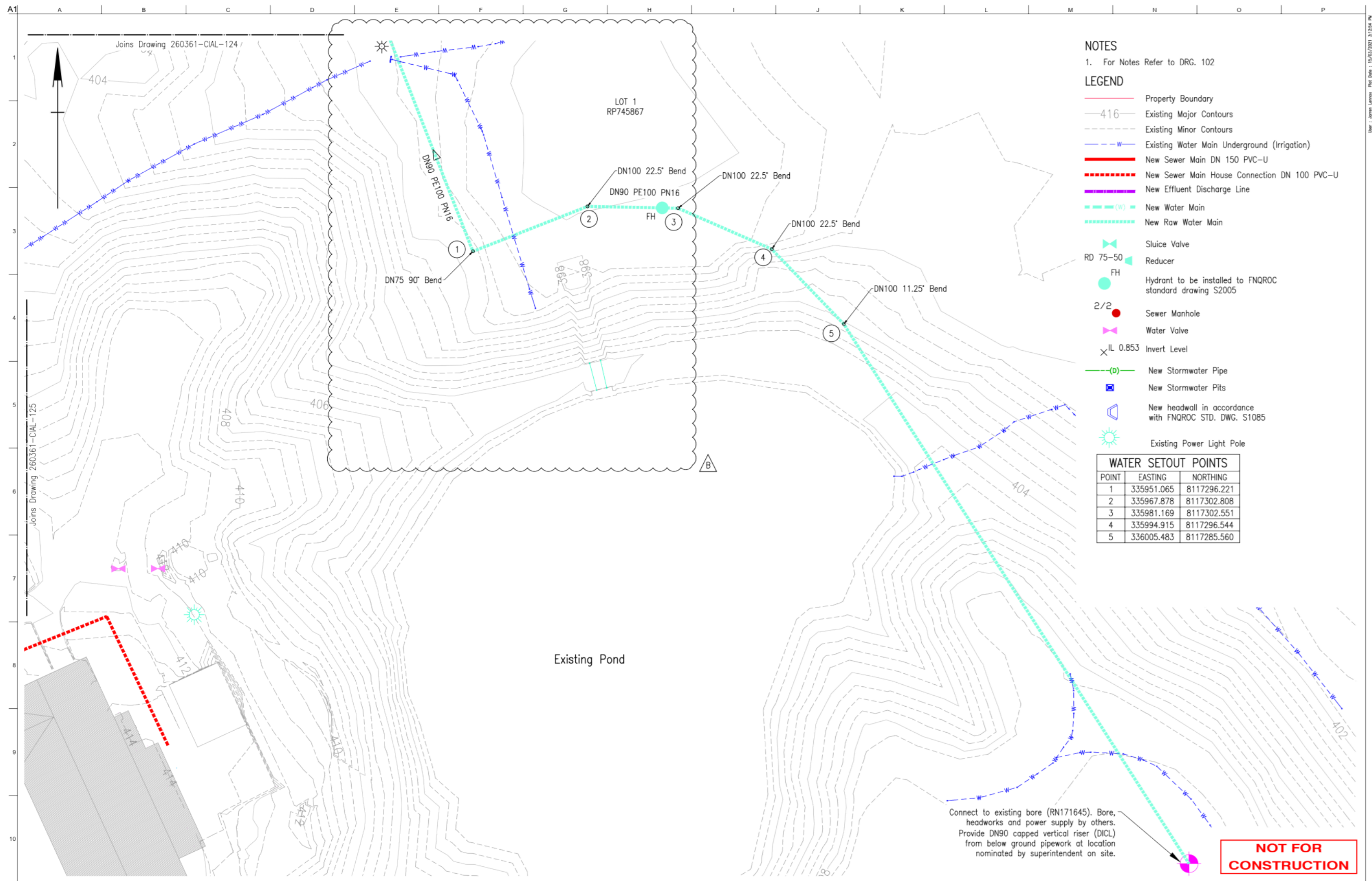
Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL	19/06/2016	OOD	JH	DK



Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

WATER AND SEWER RETICULATION
PLAN 3 OF 4

Scale of A1: 1:250
Discipline: CIVIL
Job No: 260361-00
Drawing Status: ISSUE FOR APPROVAL
Drawing No: 260361-CIAL-DRG-126
Sheet: A



Approved by:
Doug Watson
RPEQ No. 09543

A	ISSUED FOR TENDER AND APPROVAL	19/06/2016	OOD	JH	DK
Issue	Description	Date	By	Chkd	Appd



Level 10, 13 Laine Street
Cairns City, QLD, Australia
Tel + 61(7) 4032 600 Fax +61(7) 4032 6001
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Client
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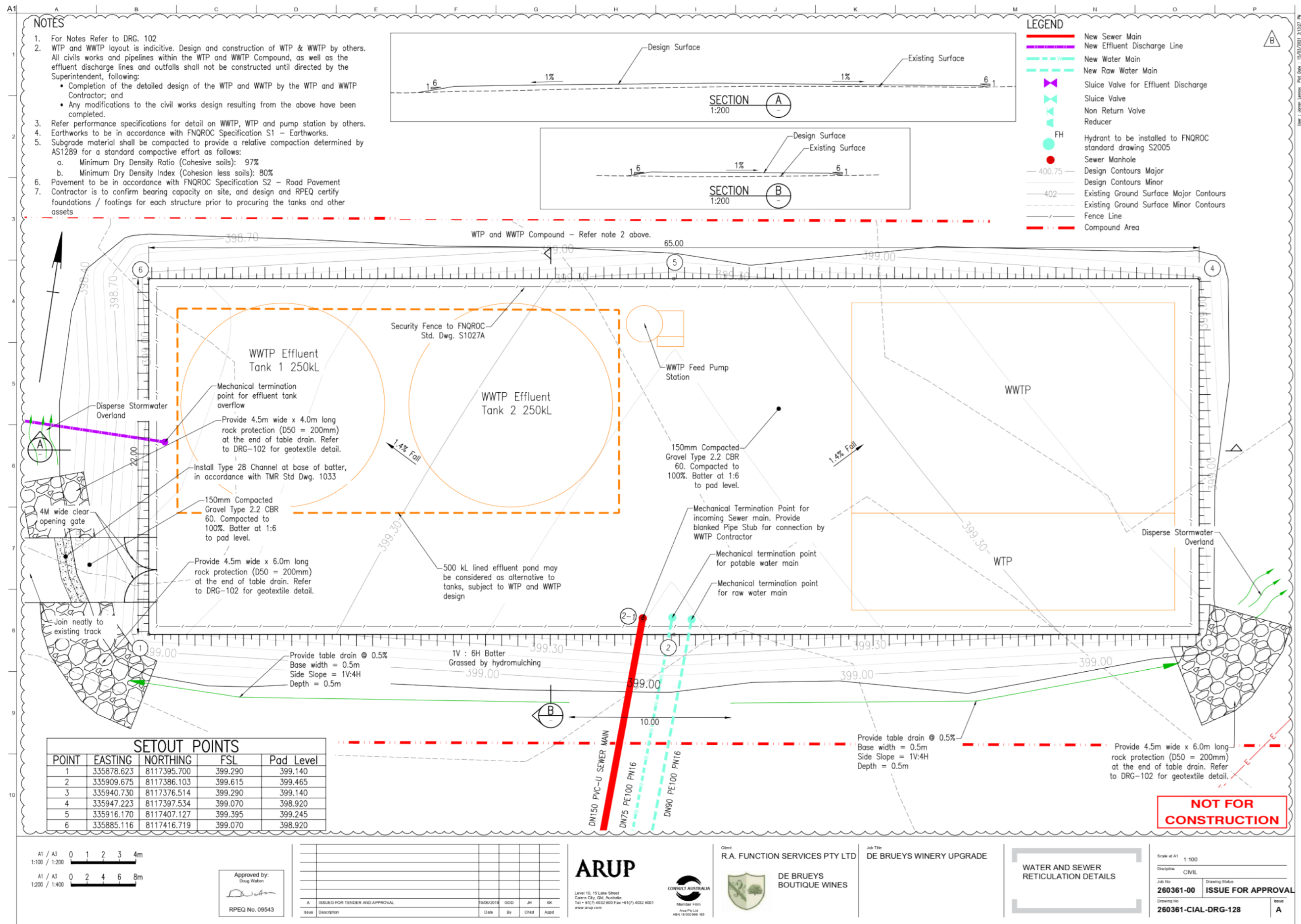


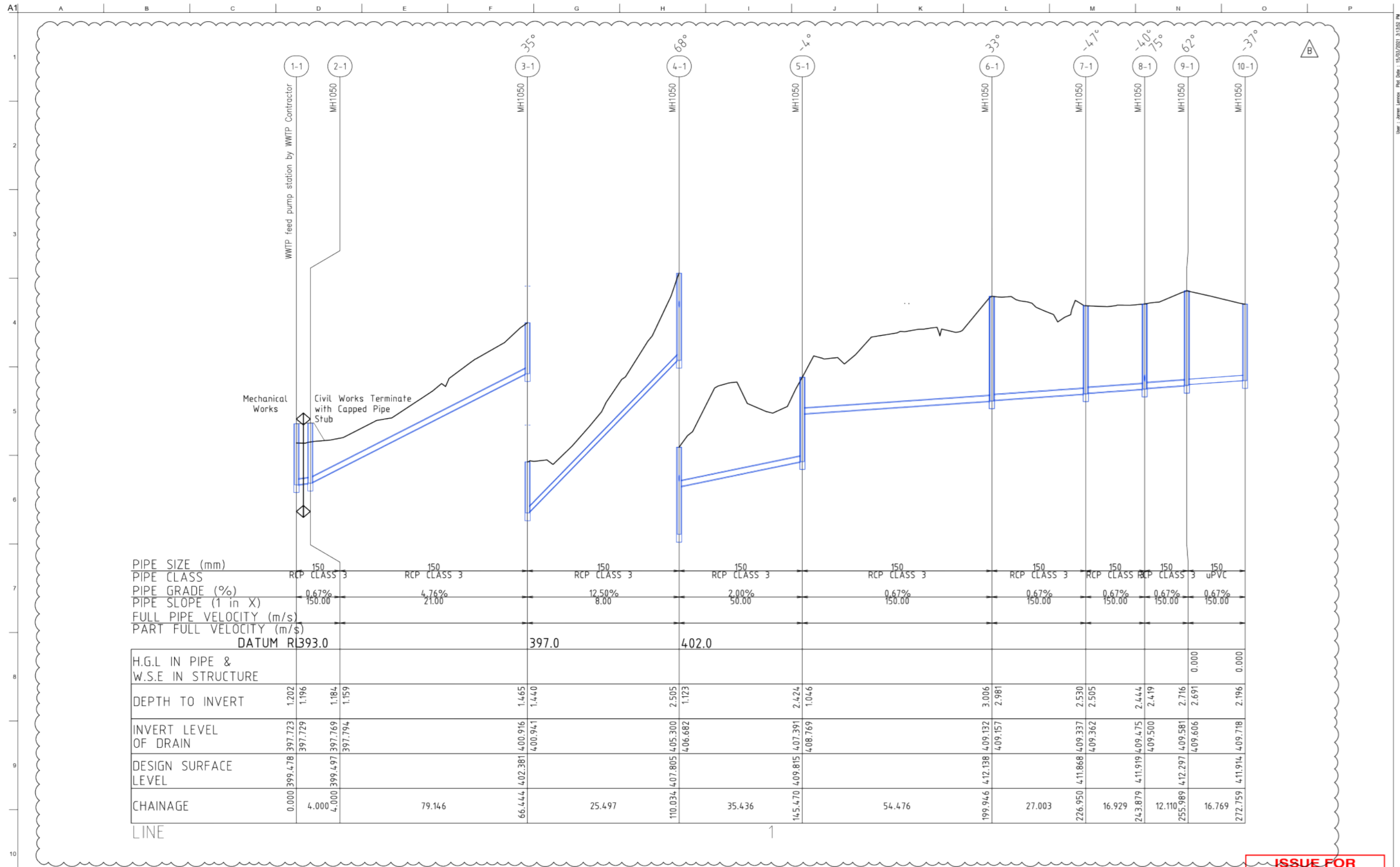
DE BRUEYS BOUTIQUE WINES

Job Title
DE BRUEYS WINERY UPGRADE

WATER AND SEWER RETICULATION
PLAN 4 OF 4

Scale of A1
1:250
Discipline
CIVIL
Job No
260361-00
Drawing Status
ISSUE FOR APPROVAL
Drawing No
260361-CIAL-DRG-127
Sheet
A





ISSUE FOR CONSTRUCTION

Approved by:
Doug Walton
RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL	19/06/2016	OOD	JH	DK

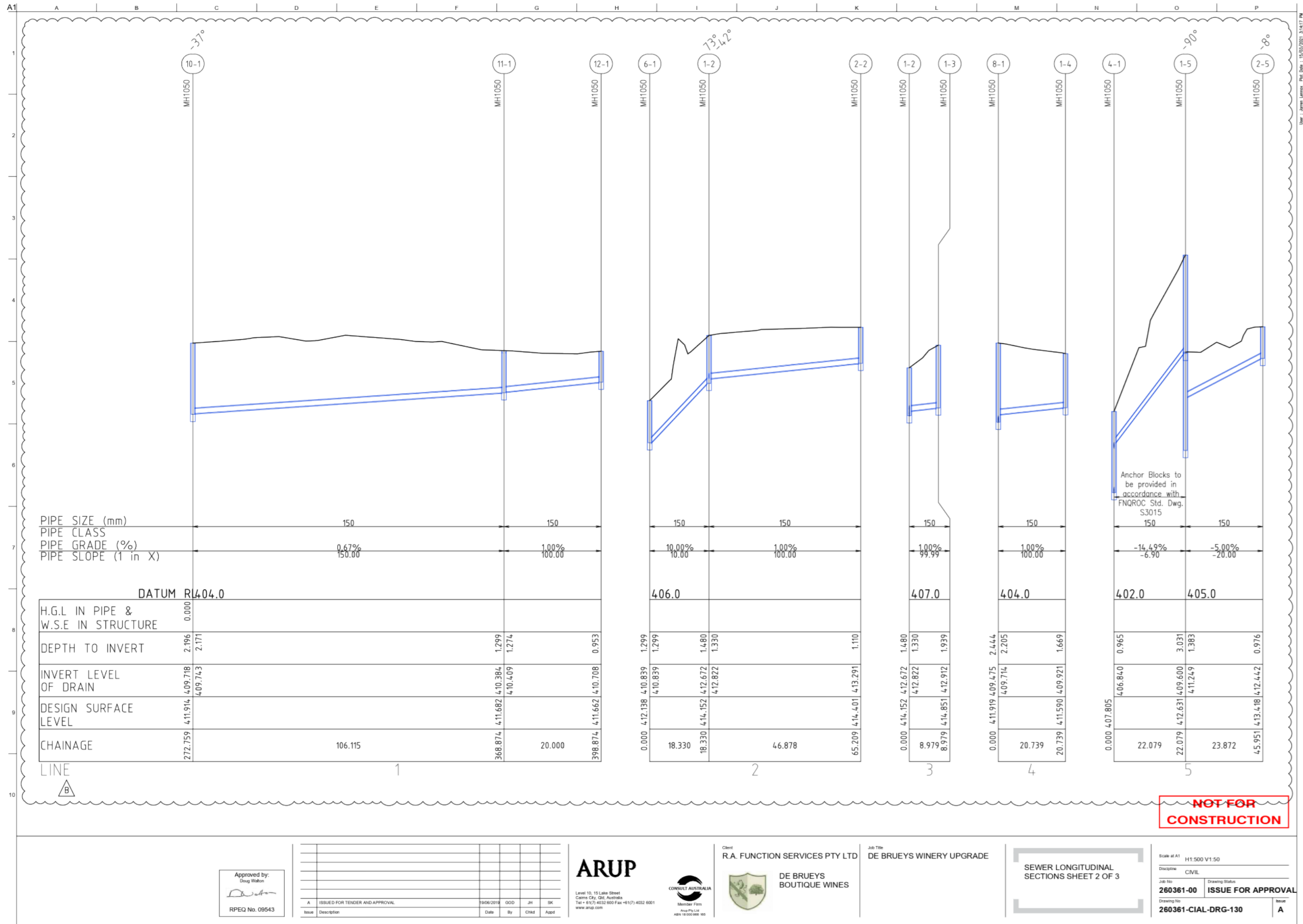


DE BRUEYS BOUTIQUE WINES

Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

SEWER LONGITUDINAL SECTIONS SHEET 1 OF 3

Scale of A1: H1-500 V1-50
Discipline: CIVIL
Job No: 260361-00
Drawing Status: ISSUE FOR APPROVAL
Drawing No: 260361-CIAL-DRG-129
Sheet: A



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Approved by:
Doug Watson
RPEQ No. 09543

A	ISSUED FOR TENDER AND APPROVAL	19/06/2019	OOD	JH	DK
Issue	Description	Date	By	Chkd	Appd

ARUP
Level 10, 13 Lark Street
Cairns City, QLD, Australia
Tel + 61(7) 4032 800 Fax +61(7) 4032 8001
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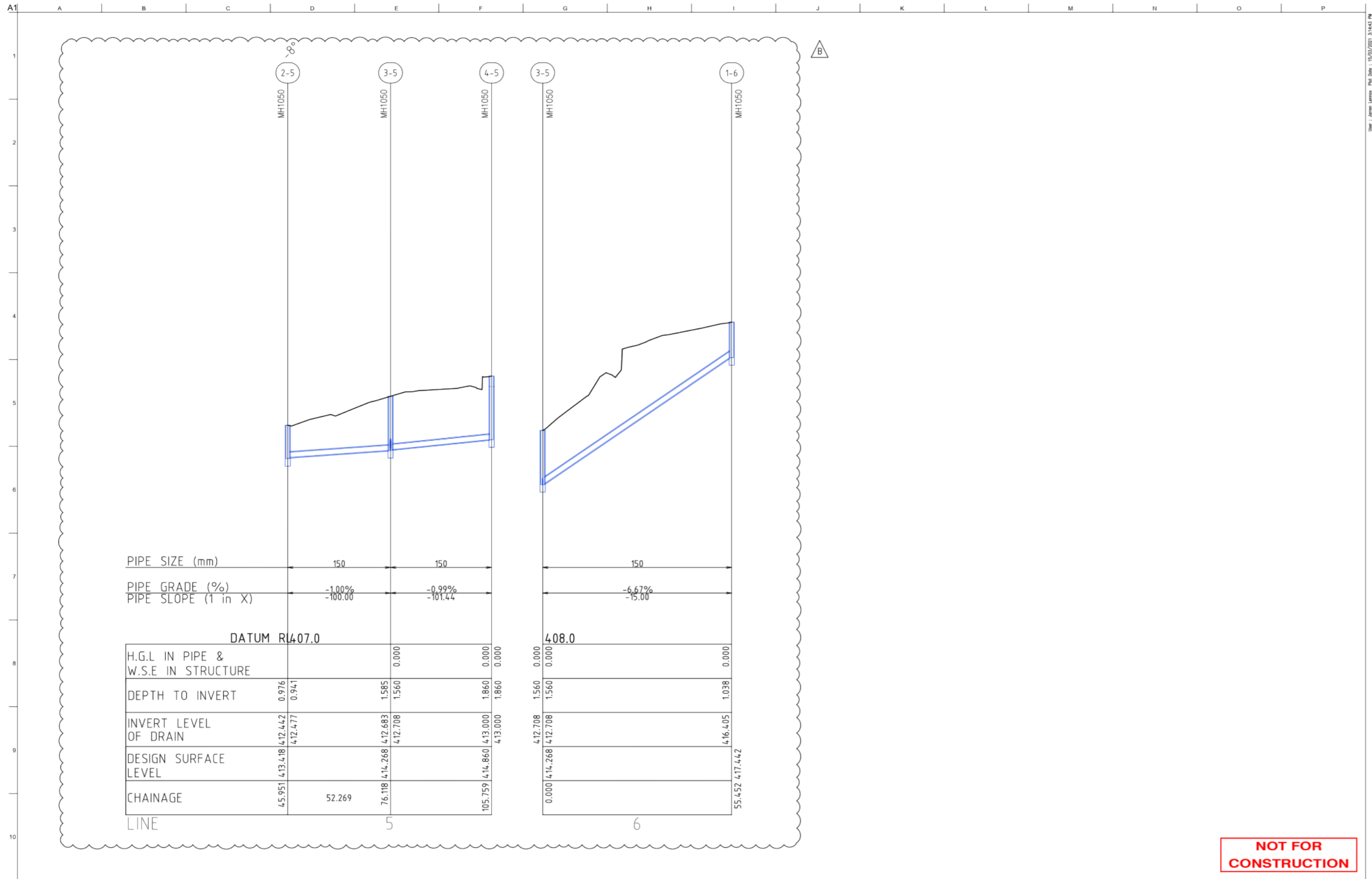


DE BRUEYS BOUTIQUE WINES

Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

SEWER LONGITUDINAL SECTIONS SHEET 2 OF 3

Scale of A1: H1-500 V1-50
Discipline: CIVIL
Job No: 260361-00
Drawing Status: ISSUE FOR APPROVAL
Drawing No: 260361-CIAL-DRG-130
Sheet: A



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Approved by:
Doug Walton
RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL	19/05/2016	OOD	JH	DK

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Tel + 61(7) 4032 800 Fax +61(7) 4032 8001
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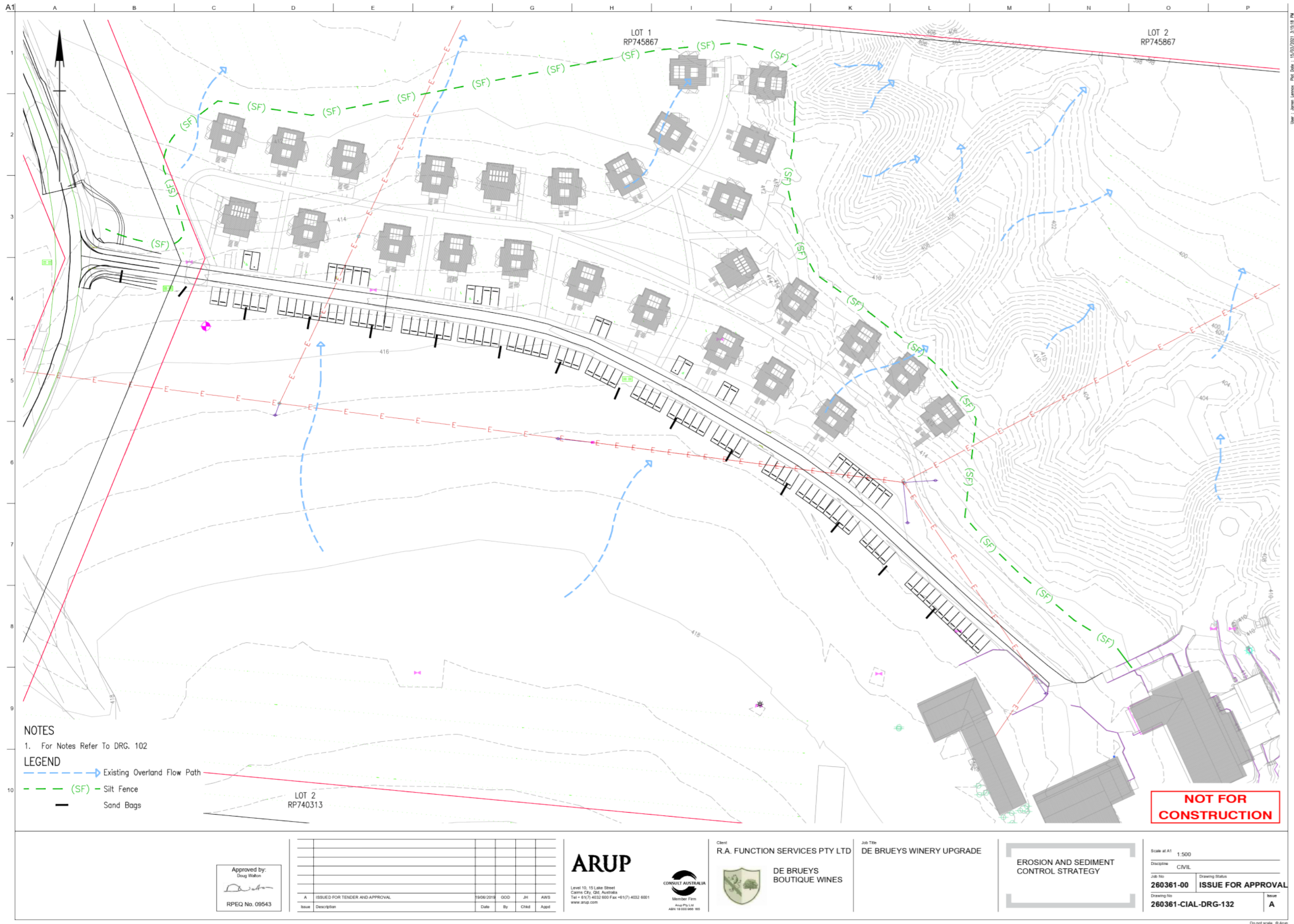


DE BRUEYS BOUTIQUE WINES

Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

SEWER LONGITUDINAL SECTIONS SHEET 3 OF 3

Scale of A1: H1:500 V1:50
Discipline: CIVIL
Job No: 260361-00
Drawing Status: ISSUE FOR APPROVAL
Drawing No: 260361-CIAL-DRG-131
Revised: A



Approved by:

 RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR TENDER AND APPROVAL	19/06/2016	ODD	JH	AWS

ARUP
 Level 10, 13 Laine Street
 Cairns City, Qld, Australia
 Tel + 61(7) 4032 800 Fax +61(7) 4032 6001
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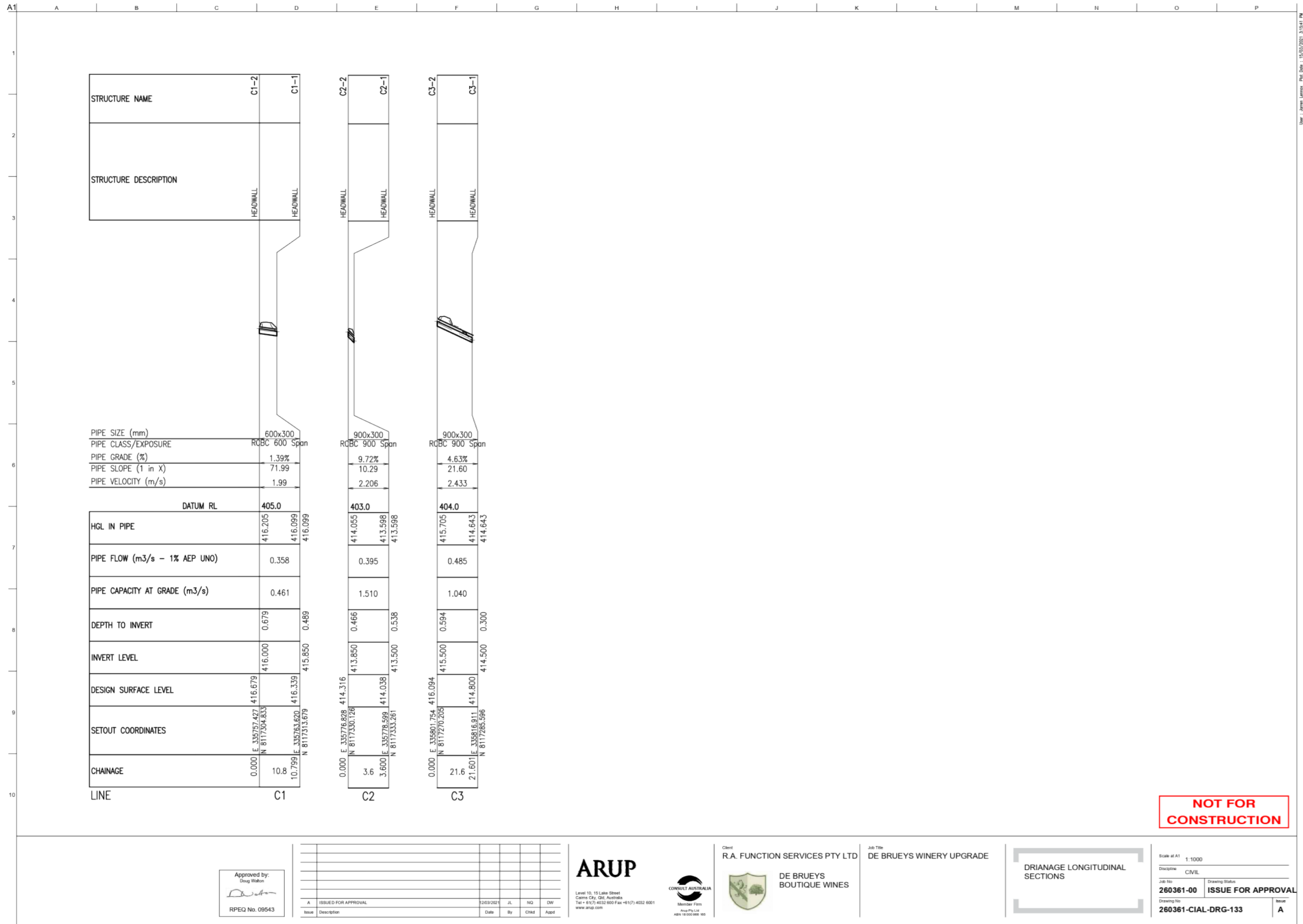
Client
R.A. FUNCTION SERVICES PTY LTD

Job Title
DE BRUEYS WINERY UPGRADE

EROSION AND SEDIMENT CONTROL STRATEGY

Scale of A1
 1:500
 Discipline
 CIVIL
 Job No
260361-00
 Drawing Status
ISSUE FOR APPROVAL
 Drawing No
260361-CIAL-DRG-132
 Sheet
A

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Approved by:
Doug Walton
RPEQ No. 09543

A	ISSUED FOR APPROVAL	22/03/2021	JL	NG	DW
Issue	Description	Date	By	Chkd	Appd

ARUP
Level 10, 13 Lark Street
Cairns City, QLD, Australia
Tel + 61(7) 4032 800 Fax +61(7) 4032 6001
www.arup.com

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DE BRUEYS BOUTIQUE WINES

Client
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Job Title
DE BRUEYS WINERY UPGRADE

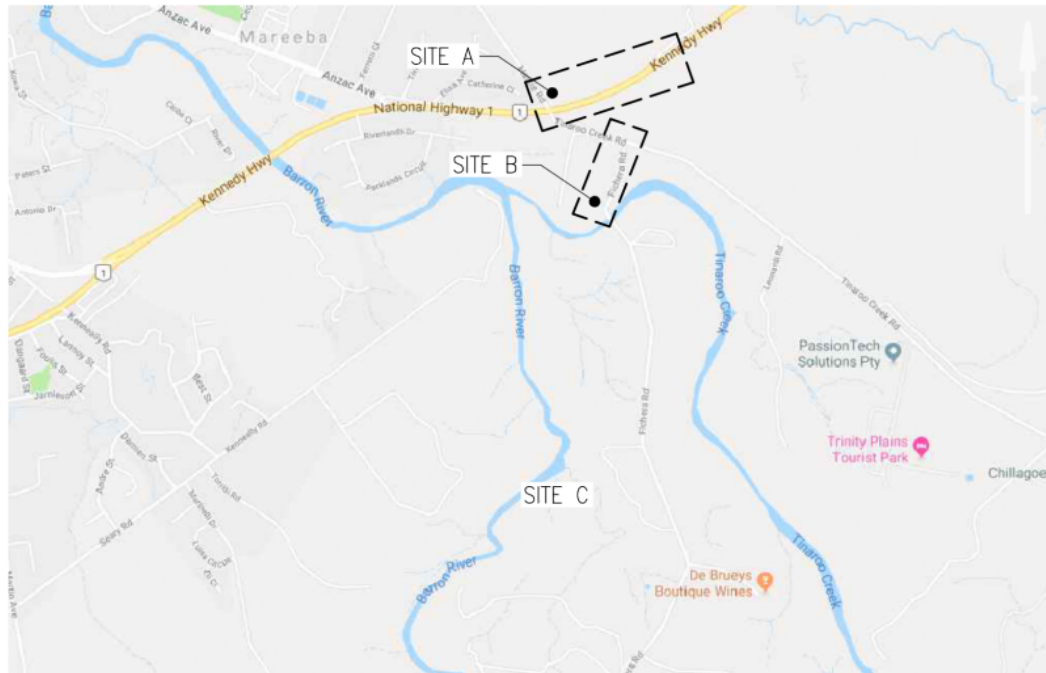
DRAINAGE LONGITUDINAL SECTIONS

Scale of A1 1:1000
Discipline CIVIL
Job No 260361-00
Drawing Status ISSUE FOR APPROVAL
Drawing No 260361-CIAL-DRG-133
Sheet A

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DE BRUEYS WINERY UPGRADE

EXTERNAL CIVIL DRAWINGS



LOCALITY PLAN

DRAWING INDEX		
DRAWING NUMBER	SITE	DRAWING NAME
260361-CIAL-DRG-201	ALL	DRAWING INDEX AND LOCALITY PLAN
260361-CIAL-DRG-202	ALL	GENERAL NOTES AND PAVEMENT TABLES
260361-CIAL-DRG-211	A	SITE A TYPICAL SECTIONS AND DETAILS
260361-CIAL-DRG-221	A	SITE A GENERAL ARRANGEMENT
260361-CIAL-DRG-222	B/C	SITE B GENERAL ARRANGEMENT AND SITE B/C TYPICAL SECTIONS
260361-CIAL-DRG-223	C	SITE C GENERAL ARRANGEMENT
260361-CIAL-DRG-224	B/C	SITE B&C ALIGNMENT TABLES
260361-CIAL-DRG-231	A	SITE A PAVEMENT MARKINGS
260361-CIAL-DRG-301	A	SITE A CROSS SECTIONS SHEET 1 OF 2
260361-CIAL-DRG-302	A	SITE A CROSS SECTIONS SHEET 2 OF 2
260361-CIAL-DRG-303	B	SITE B CROSS SECTIONS SHEET 1 OF 3
260361-CIAL-DRG-304	B	SITE B CROSS SECTIONS SHEET 2 OF 3
260361-CIAL-DRG-305	B	SITE B CROSS SECTIONS SHEET 3 OF 3
260361-CIAL-DRG-306	C	SITE C CROSS SECTIONS SHEET 1 OF 4
260361-CIAL-DRG-307	C	SITE C CROSS SECTIONS SHEET 2 OF 4
260361-CIAL-DRG-308	C	SITE C CROSS SECTIONS SHEET 3 OF 4
260361-CIAL-DRG-309	C	SITE C CROSS SECTIONS SHEET 4 OF 4

ORIGIN OF SURVEY

LEVELS DATUM : AHD DER
 ORIGIN OF LEVELS : OPSPM 94627
 RL 425.910
 MERIDIAN : MGA Zone 55
 ORIGIN OF CO-ORDINATES : E332393.097
 N8117804.320

NOT FOR CONSTRUCTION

Approved by:

 RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR APPROVAL	19/07/19	OOD	JH	AWS
T1	ISSUED FOR TENDER AND APPROVAL	19/11/18	OOD	JH	AWS

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Client
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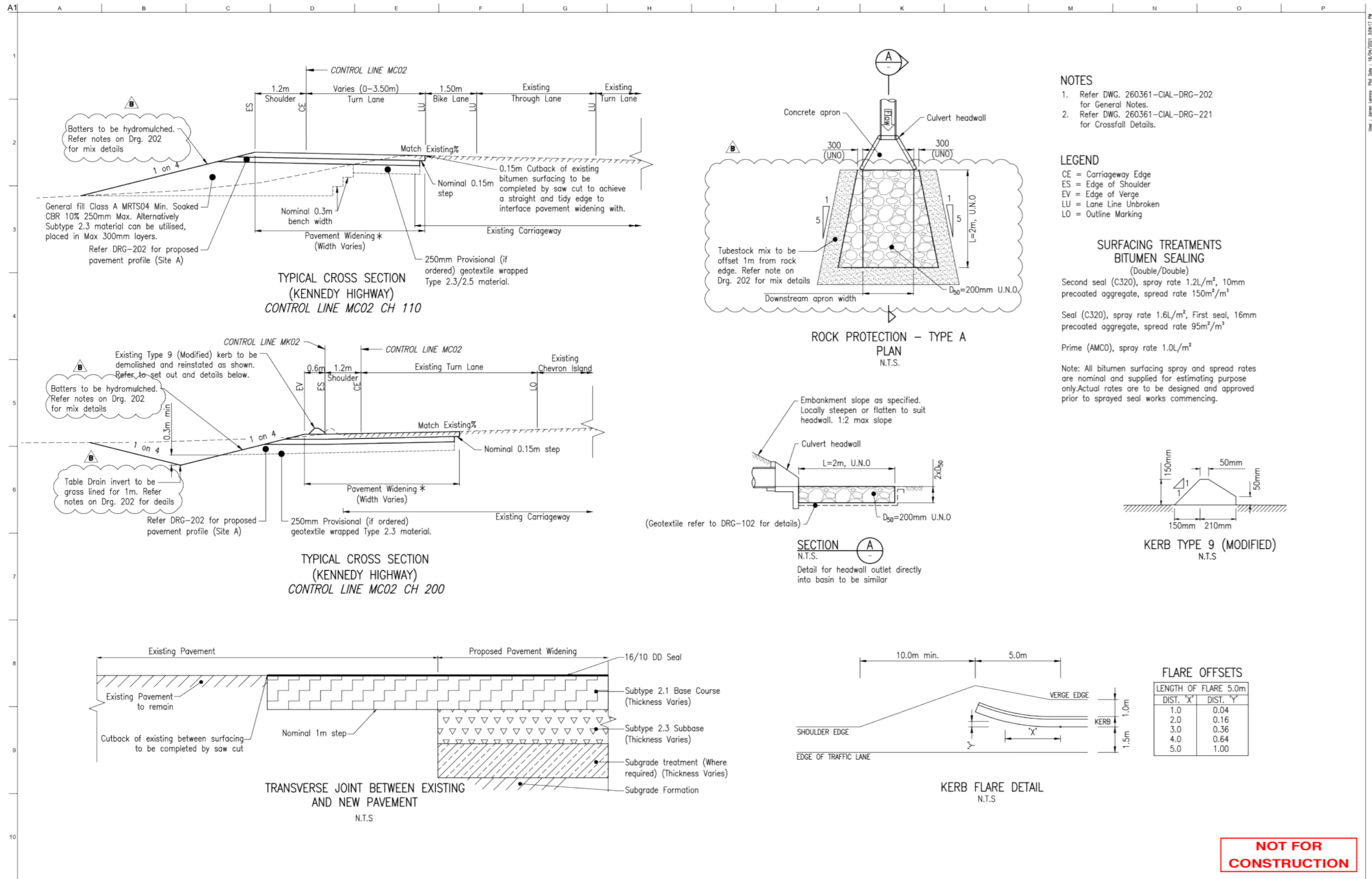


DE BRUEYS BOUTIQUE WINES

Job Title
DE BRUEYS WINERY UPGRADE

DRAWING INDEX AND LOCALITY PLAN

Scale of A1 NOT TO SCALE
 Discipline CIVIL
 Job No **260361-00**
 Drawing Status **ISSUE FOR APPROVAL**
 Drawing No **260361-CIAL-DRG-201**
 Sheet **A**



NOTES
 1. Refer DWG. 260361-CIAL-DRG-202 for General Notes.
 2. Refer DWG. 260361-CIAL-DRG-221 for Crossfall Details.

LEGEND
 CE = Carriageway Edge
 ES = Edge of Shoulder
 EV = Edge of Verge
 LU = Lane Line Unbroken
 LO = Outline Marking

SURFACING TREATMENTS BITUMEN SEALING
 (Double/Double)
 Second seal (C320), spray rate 1.2L/m², 10mm pre-coated aggregate, spread rate 150m²/m³
 Seal (C320), spray rate 1.6L/m², First seal, 16mm pre-coated aggregate, spread rate 95m²/m³
 Prime (AMC0), spray rate 1.0L/m²
 Note: All bitumen surfacing spray and spread rates are nominal and supplied for estimating purpose only. Actual rates are to be designed and approved prior to sprayed seal works commencing.

NOT FOR CONSTRUCTION

Approved by:

 RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR APPROVAL	18/07/19	OOD	JH	AWG
T1	ISSUED FOR TENDER AND APPROVAL	19/11/18	OOD	JH	AWG

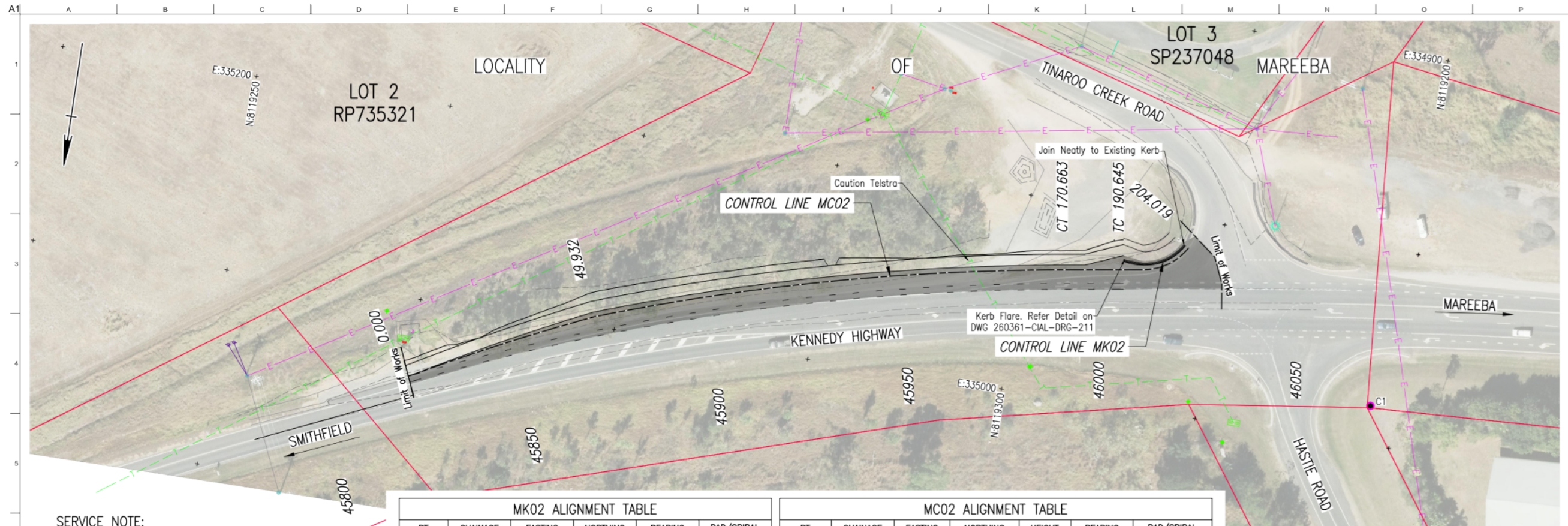
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Client: R.A. FUNCTION SERVICES PTY LTD
 Job Title: DE BRUEYS WINERY UPGRADE
 DE BRUEYS BOUTIQUE WINES

SITE A
 TYPICAL SECTIONS
 AND DETAILS

Scale of A1: 1:20
 Discipline: CIVIL
 Job No: 260361-00
 Drawing Status: ISSUE FOR APPROVAL
 Drawing No: 260361-CIAL-DRG-211
 Sheet: A



SERVICE NOTE:
Caution Telstra. Exact Location to be Determined on Site.

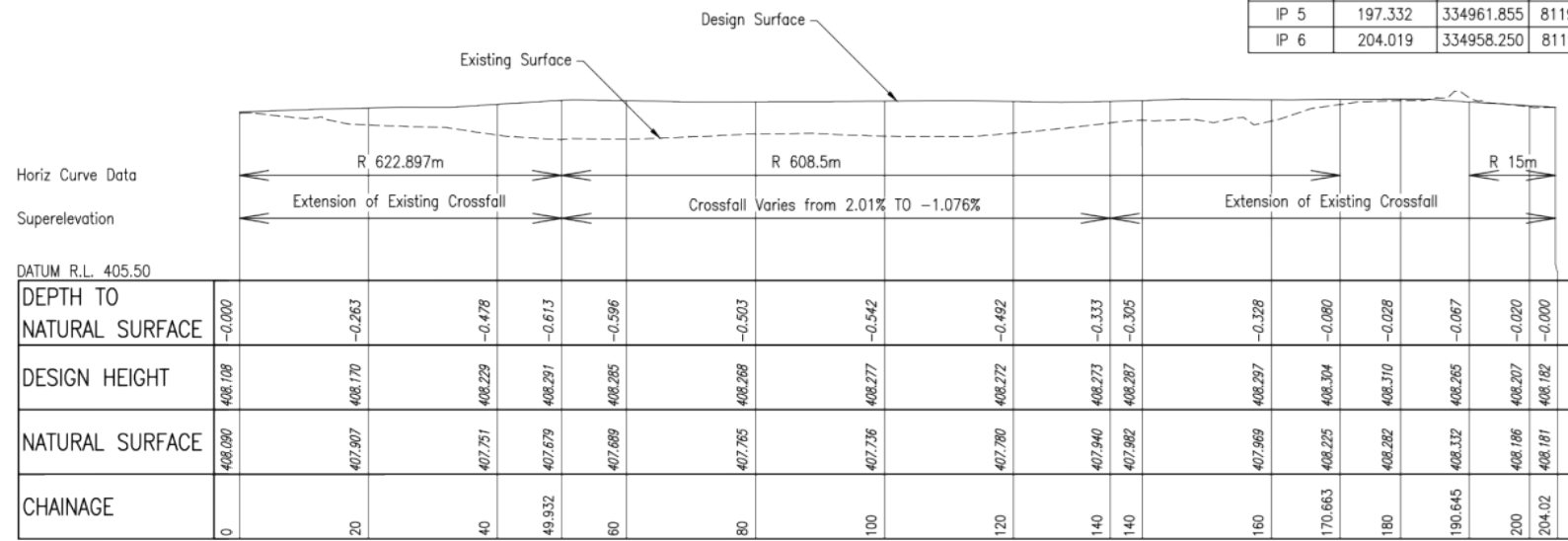
MK02 ALIGNMENT TABLE					
PT	CHAINAGE	EASTING	NORTHING	BEARING	RAD/SPIRAL
IP 1	0.000	334974.156	8119263.099	281°56'06.75"	
CT	5.069	334969.122	8119263.338		
IP 3	11.297	334962.411	8119262.628		R = -13.042
IP 4	17.526	334959.114	8119256.739	209°14'11.74"	

MC02 ALIGNMENT TABLE						
PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING	RAD/SPIRAL
IP 1	0.000	335150.134	8119319.764		241°16'09.15"	
IP 2	24.966	335128.230	8119307.757	408.182		R = 622.897
IP 3	49.932	335105.435	8119297.542	408.291		
IP 4	110.297	335048.556	8119276.739	408.285		R = 608.500
CT	170.663	334988.692	8119267.555	408.304	261°16'40.94"	
TC	190.645	334968.940	8119264.524	408.265	261°16'40.94"	
IP 5	197.332	334961.855	8119263.437	408.223		R = -15.000
IP 6	204.019	334958.250	8119257.241		210°11'31.24"	

Survey Control				
Point	Easting	Northing	Elevation	Description
C1	334906.267	8119290.006	408.356	OPSM 54838

- NOTES**
- Refer DWG. 260361-CIAL-DRG-202 for General Notes.
 - Refer DWG. 260361-CIAL-DRG-211 & 212 for Typical Sections & Details.

- LEGEND**
- Existing Minor Contours
 - 418 Existing Major Contours
 - Permanent Survey Mark (OPSM)
 - Property Boundary (DCDB)
 - Existing Electrical Line (Above Ground)
 - Existing Transformer
 - Existing Stay Wires
 - Existing Stay Wire Ground Connection
 - Existing Power Pole
 - Existing Light Pole
 - Existing Electrical Manhole
 - Existing Electrical Marker
 - Existing Electrical Box
 - Existing Telephone Pit
 - Existing Telecom Line
 - Existing Telecom Misc
 - Existing Telecom Pillar
 - Survey Control Point



LONGITUDINAL SECTION MC02

NOT FOR CONSTRUCTION

Approved by: Doug Walton					
RPEQ No. 09543					
A	ISSUED FOR APPROVAL	18/07/19	OOD	JH	AWG
T1	ISSUED FOR TENDER AND APPROVAL	19/11/19	OOD	JH	AWG
Issue	Description	Date	By	Chkd	Appd

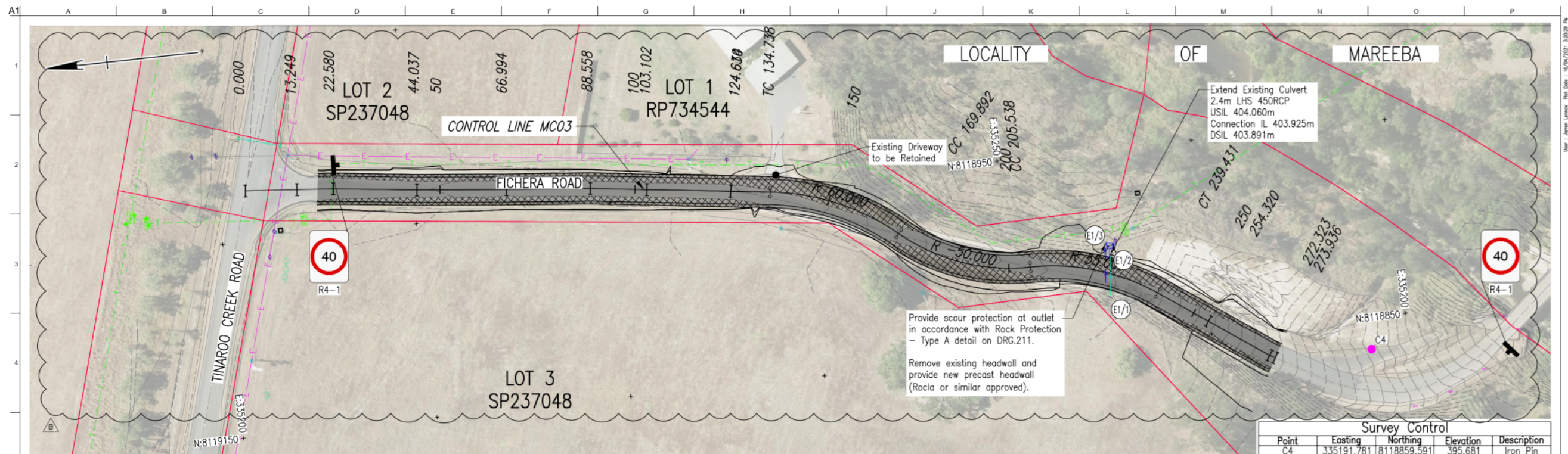


Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

SITE A
GENERAL ARRANGEMENT

Scale at A1	H1:500 V1:50
Discipline	CIVIL
Job No	260361-00
Drawing Status	ISSUE FOR APPROVAL
Drawing No	260361-CIAL-DRG-221
Sheet	A

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SERVICE NOTE:

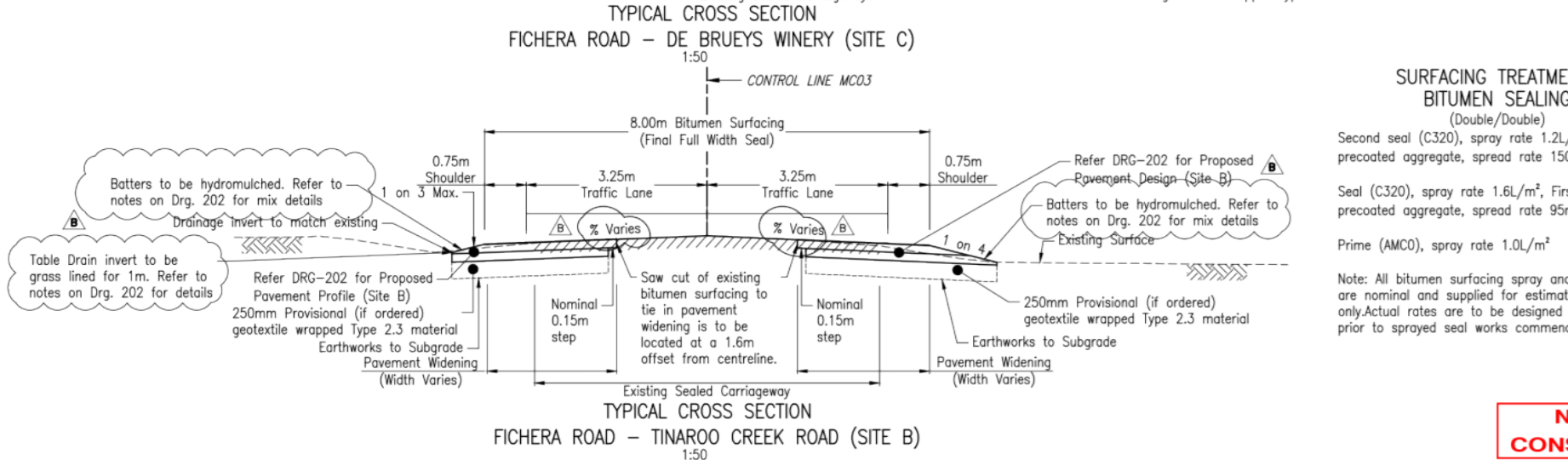
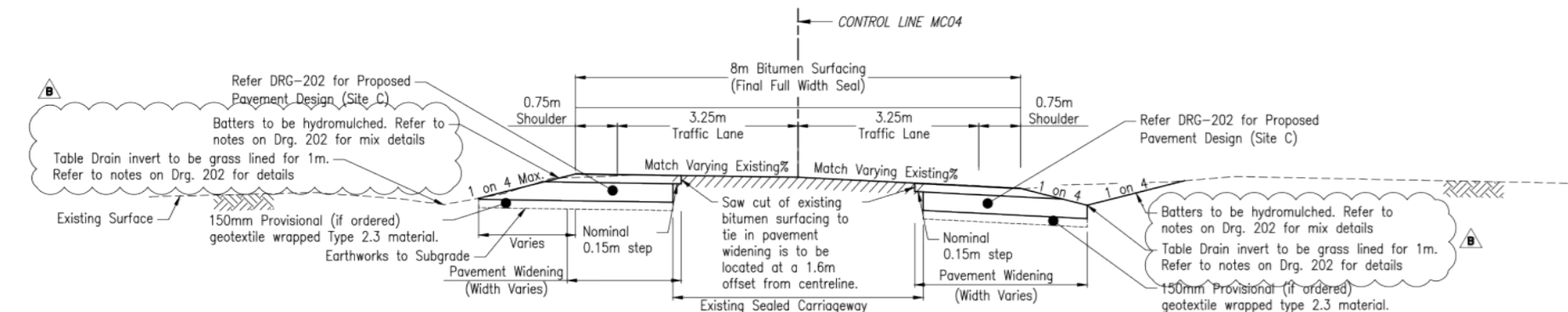
Caution Telstra. Exact Location to be Determined on Site.

NOTES

1. Refer DWG. 260361-CIAL-DRG-202 for General Notes.
2. Existing Seal to be Confirmed During Construction.
3. Refer DWG. 224 for alignment table.

LEGEND

- Final Sealed Width
- Pavement Widening
- New Sign
- Batter Tick
- Existing Minor Contours
- Existing Major Contours
- Permanent Survey Mark (OPSM)
- Property Boundary (DCDB)
- Existing Electrical Line (Above Ground)
- Existing Transformer
- Existing Stay Wires
- Existing Stay Wire Ground Connection
- Existing Power Pole
- Existing Light Pole
- Existing Electrical Manhole
- Existing Electrical Marker
- Existing Electrical Box
- Existing Telephone Pit
- Existing Telecom Line
- Existing Telecom Misc
- Existing Telecom Pillar
- Survey Control Point

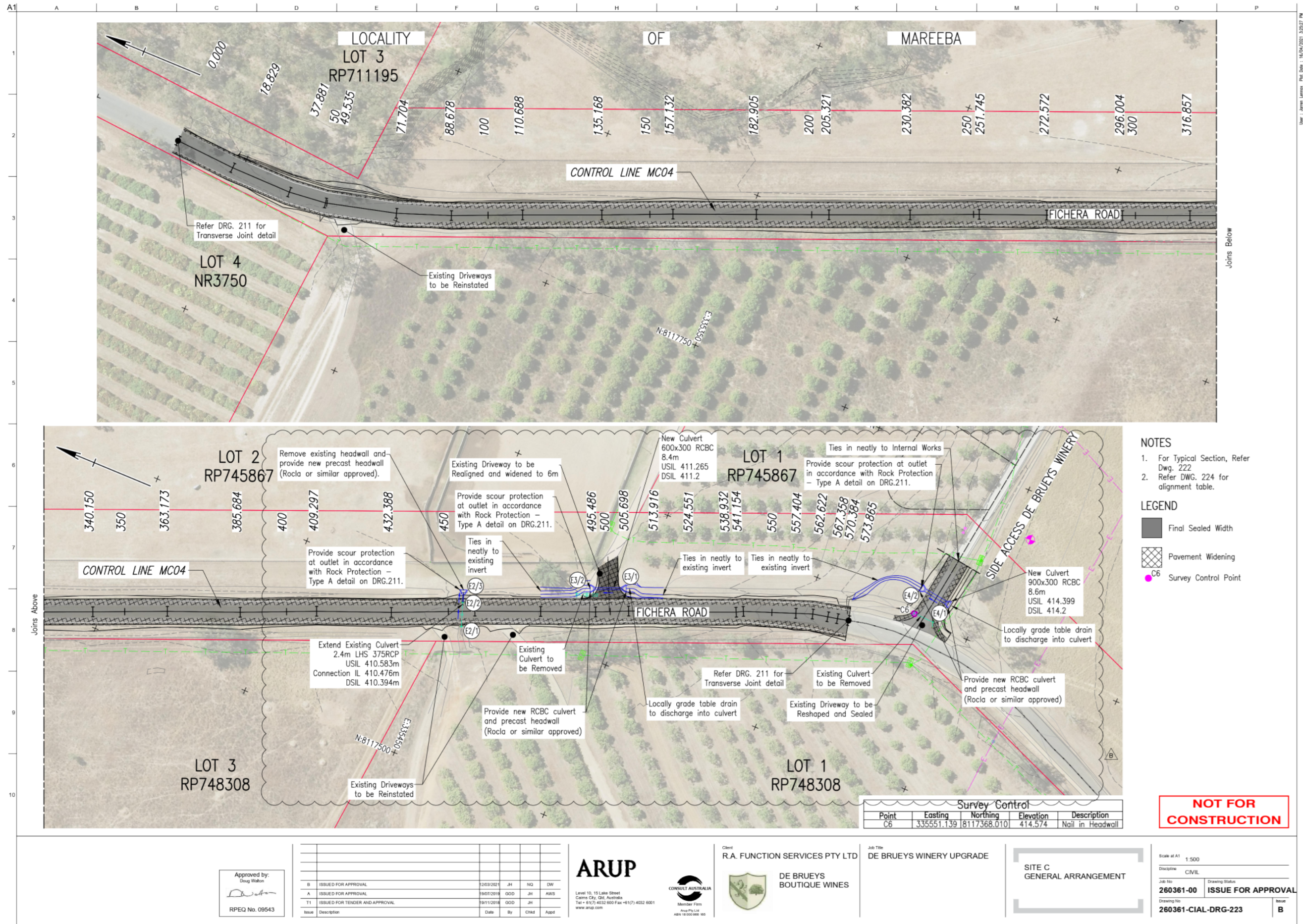


SURFACING TREATMENTS BITUMEN SEALING

- (Double/Double)
 - Second seal (C320), spray rate 1.2L/m², 10mm precoated aggregate, spread rate 150m²/m³
 - Seal (C320), spray rate 1.6L/m², First seal, 16mm precoated aggregate, spread rate 95m²/m³
 - Prime (AMCO), spray rate 1.0L/m²
- Note: All bitumen surfacing spray and spread rates are nominal and supplied for estimating purpose only. Actual rates are to be designed and approved prior to sprayed seal works commencing.

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<p>Approved by: Doug Watson</p> <p>RPEQ No. 09543</p>	<table border="1"> <thead> <tr> <th>Issue</th> <th>Description</th> <th>Date</th> <th>By</th> <th>Chkd</th> <th>Appd</th> </tr> </thead> <tbody> <tr> <td>B</td> <td>ISSUED FOR APPROVAL</td> <td>22/03/2021</td> <td>JH</td> <td>NG</td> <td>DW</td> </tr> <tr> <td>A</td> <td>ISSUED FOR APPROVAL</td> <td>19/07/2019</td> <td>OOD</td> <td>JH</td> <td>AWS</td> </tr> <tr> <td>T1</td> <td>ISSUED FOR TENDER AND APPROVAL</td> <td>19/11/2018</td> <td>OOD</td> <td>JH</td> <td></td> </tr> </tbody> </table>	Issue	Description	Date	By	Chkd	Appd	B	ISSUED FOR APPROVAL	22/03/2021	JH	NG	DW	A	ISSUED FOR APPROVAL	19/07/2019	OOD	JH	AWS	T1	ISSUED FOR TENDER AND APPROVAL	19/11/2018	OOD	JH		<p>ARUP</p> <p>Level 10, 13 Laine Street Cairns City, QLD, Australia Tel + 61(7) 4032 800 Fax +61(7) 4032 8001 www.arup.com</p>	<p>Client R.A. FUNCTION SERVICES PTY LTD</p> <p>Job Title DE BRUEYS WINERY UPGRADE</p>	<p>DE BRUEYS BOUTIQUE WINES</p>	<p>SITE B GENERAL ARRANGEMENT AND TYPICAL SECTIONS</p>	<p>Scale of A1 1:500</p> <p>Discipline CIVIL</p> <p>Job No 260361-00</p> <p>Drawing Status ISSUE FOR APPROVAL</p> <p>Drawing No 260361-CIAL-DRG-222</p> <p>Sheet B</p>
Issue	Description	Date	By	Chkd	Appd																									
B	ISSUED FOR APPROVAL	22/03/2021	JH	NG	DW																									
A	ISSUED FOR APPROVAL	19/07/2019	OOD	JH	AWS																									
T1	ISSUED FOR TENDER AND APPROVAL	19/11/2018	OOD	JH																										



Approved by:
Doug Walton
RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
B	ISSUED FOR APPROVAL	22/03/2021	JH	NG	DW
A	ISSUED FOR APPROVAL	19/07/2018	OOD	JH	AWS
T1	ISSUED FOR TENDER AND APPROVAL	19/11/2016	OOD	JH	AWS

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Client: **R.A. FUNCTION SERVICES PTY LTD**
 Job Title: **DE BRUEYS WINERY UPGRADE**

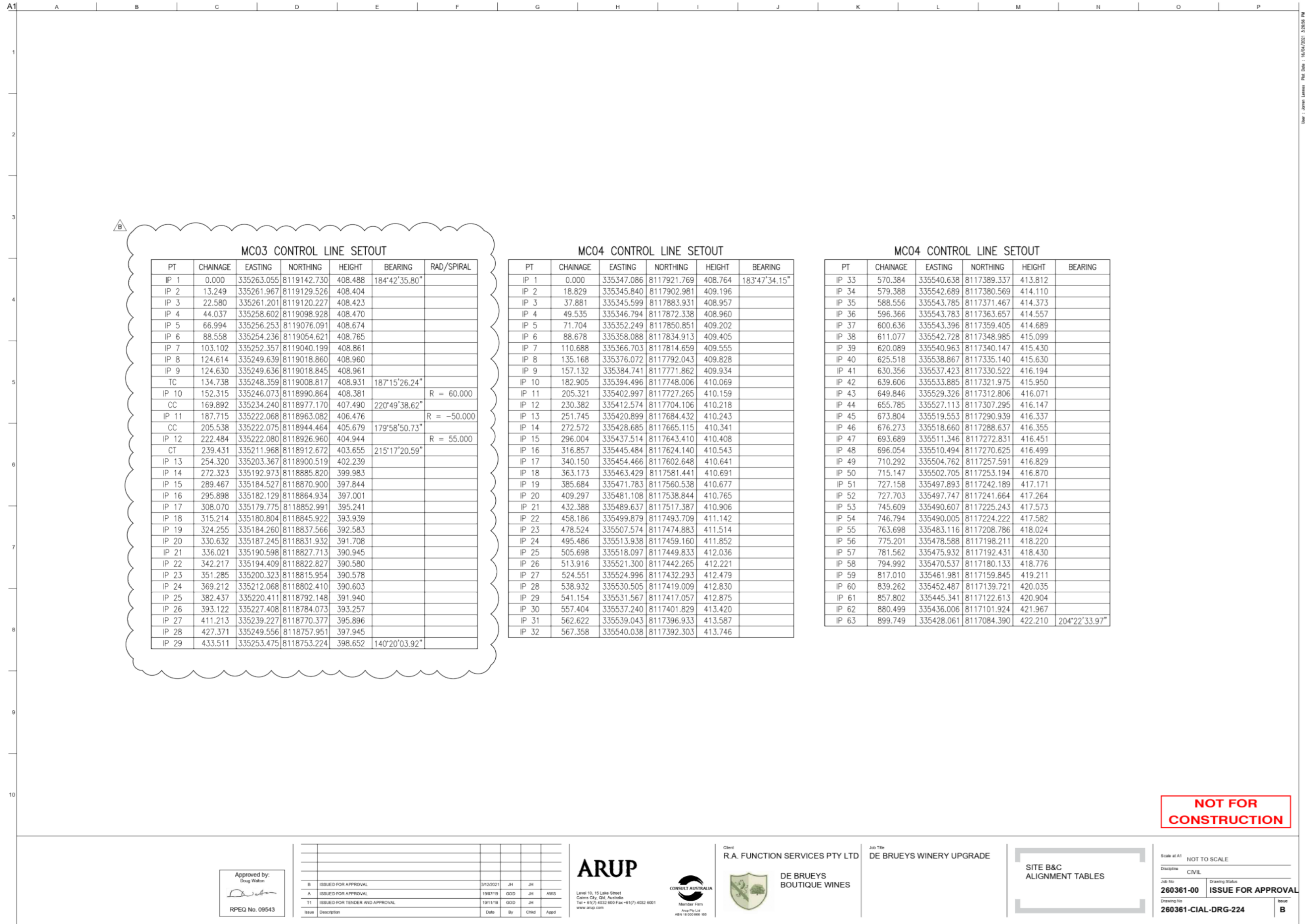


DE BRUEYS BOUTIQUE WINES

SITE C GENERAL ARRANGEMENT

Scale of A1: 1:500
 Discipline: CIVIL
 Job No: 260361-00
 Drawing Status: **ISSUE FOR APPROVAL**
 Drawing No: 260361-CIAL-DRG-223
 Sheet: **B**

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Approved by:
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RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
B	ISSUED FOR APPROVAL	31/2021	JH	JH	
A	ISSUED FOR APPROVAL	18/07/19	OOD	JH	AWS
T1	ISSUED FOR TENDER AND APPROVAL	19/11/18	OOD	JH	

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DE BRUEYS BOUTIQUE WINES

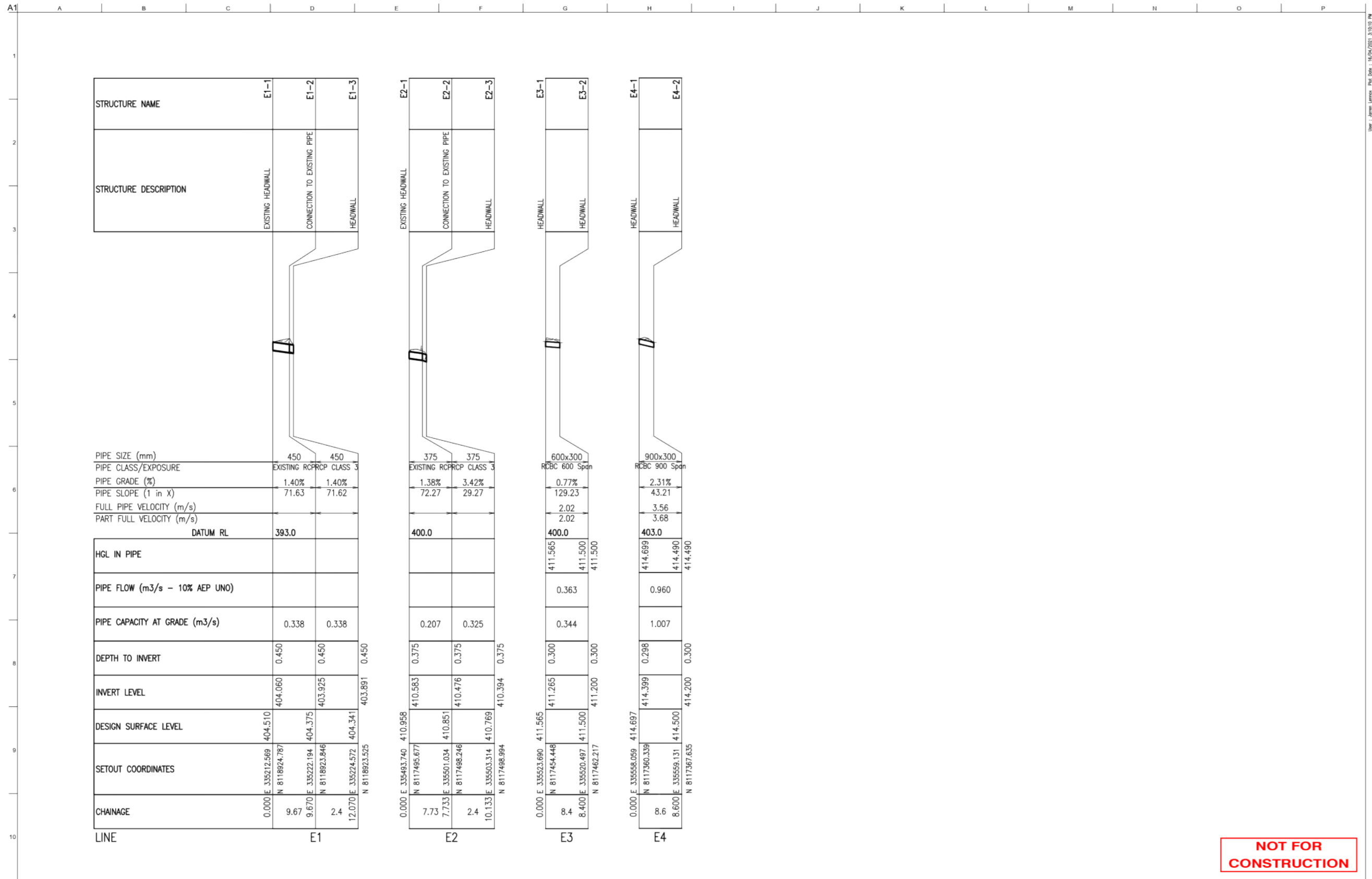
Client
R.A. FUNCTION SERVICES PTY LTD

Job Title
DE BRUEYS WINERY UPGRADE

SITE B&C
ALIGNMENT TABLES

Scale of A1
NOT TO SCALE
Discipline
CIVIL
Job No
260361-00
Drawing Status
ISSUE FOR APPROVAL
Drawing No
260361-CIAL-DRG-224
Sheet
B

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Approved by:
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RPEQ No. 09543

A	ISSUED FOR APPROVAL	22/03/2021	JL	NG	DW
Issue	Description	Date	By	Chkd	Appd



Client
R.A. FUNCTION SERVICES PTY LTD

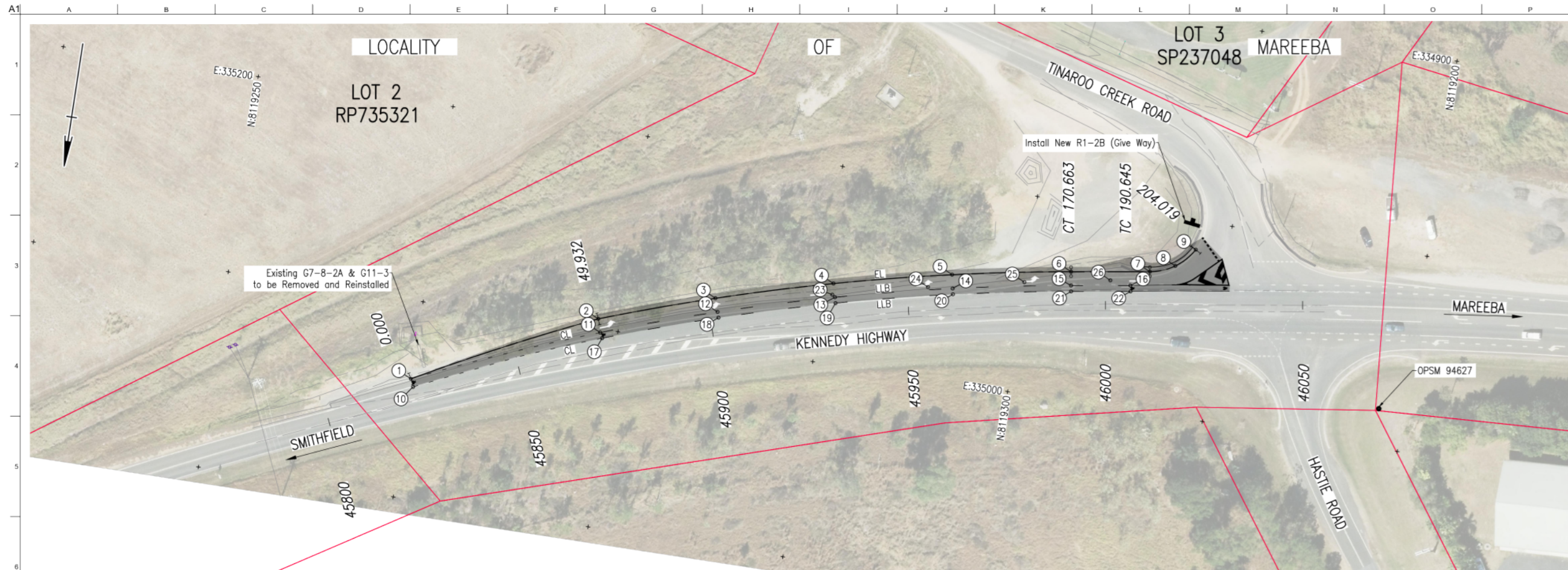
Job Title
DE BRUEYS WINERY UPGRADE

DRIANAGE LONGITUDINAL SECTIONS

Scale of A1 1:1000
Discipline CIVIL
Job No 260361-00
Drawing Status ISSUE FOR APPROVAL
Drawing No 260361-CIAL-DRG-225
Sheet A

User: J. Jones-Latham File Date: 18/05/2021 3:10:03 PM

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PAVEMENT MARKING SETOUT

POINT No.	EASTING	NORTHING
1	335150.134	8119319.764
2	335105.434	8119297.547
3	335076.843	8119287.881
4	335047.808	8119279.651
5	335018.400	8119272.869
6	334988.692	8119267.555
7	334968.940	8119264.524
8	334962.770	8119262.095
9	334958.250	8119257.241
10	335149.264	8119321.694
11	335104.418	8119300.902
12	335075.779	8119291.221
13	335046.912	8119283.039
14	335017.732	8119276.310
15	334988.166	8119271.015
16	334973.292	8119268.733
17	335103.719	8119302.244
18	335075.329	8119292.634
19	335046.528	8119284.489
20	335017.451	8119277.753
21	334987.937	8119272.497
22	334973.040	8119270.212
23	335047.684	8119282.488
24	335024.000	8119276.889
25	335000.008	8119271.975
26	334978.506	8119268.209

NOTE

- All Pavement Marking and Signage to be in Accordance with (MUTCD) Manual of Uniform Traffic Control Devices, Unless Specified Otherwise.
- Retroreflective Raised Pavement Markers (RRPM's) are to be Installed in Accordance with (MUTCD) Manual of Uniform Traffic Control Devices, Unless Specified Otherwise.
- All Dimensions to be Confirmed on Site Prior to Linemarking.
- No RRPM's in Diagonal Marking, for High Angle Left Turn Markings.
- All REGP's are to be Removed and Reinstalled.

GENERAL LEGEND

- CL --- Continuity Line, 150mm Wide Dashed, White (WB), Yellow Uni-Directional RRPMs @ 24m crs
- - - LLB - - - Lane Line Broken, 150mm Wide Dashed, White (WB), Yellow Uni-Directional RRPMs @ 24m crs
- EL — Edge Line, 150mm Wide White (WB), Red Uni-Directional RRPMs @ 24m crs
- New Sign and Support – Single Post
- Existing Sign and Support – Double Post
- Setout Point
- Left Turn Arrow

NOT FOR CONSTRUCTION

Approved by:
Doug Watson
RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR APPROVAL	18/07/19	OOD	JH	AWS
T1	ISSUED FOR TENDER AND APPROVAL	19/11/19	OOD	JH	AWS

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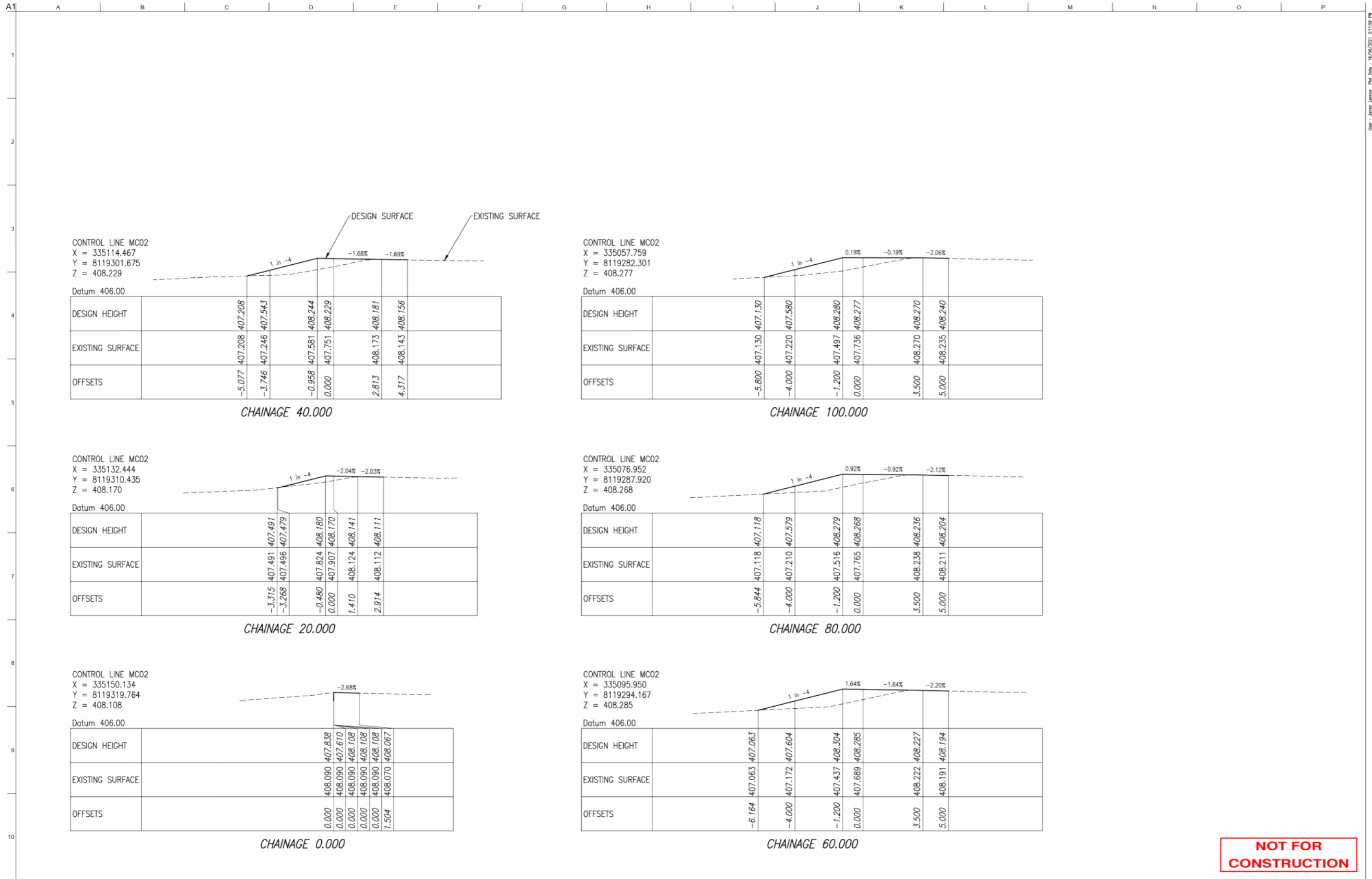
DE BRUEYS BOUTIQUE WINES

Job Title
DE BRUEYS WINERY UPGRADE

SITE A
PAVEMENT MARKINGS

Scale of A1	NOT TO SCALE
Discipline	CIVIL
Job No	260361-00
Drawing Status	ISSUE FOR APPROVAL
Drawing No	260361-CIAL-DRG-231
Sheet	A

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Approved by:
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Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR APPROVAL	19/07/19	OOD	JH	AWS
T1	ISSUED FOR TENDER AND APPROVAL	19/11/18	OOD	JH	

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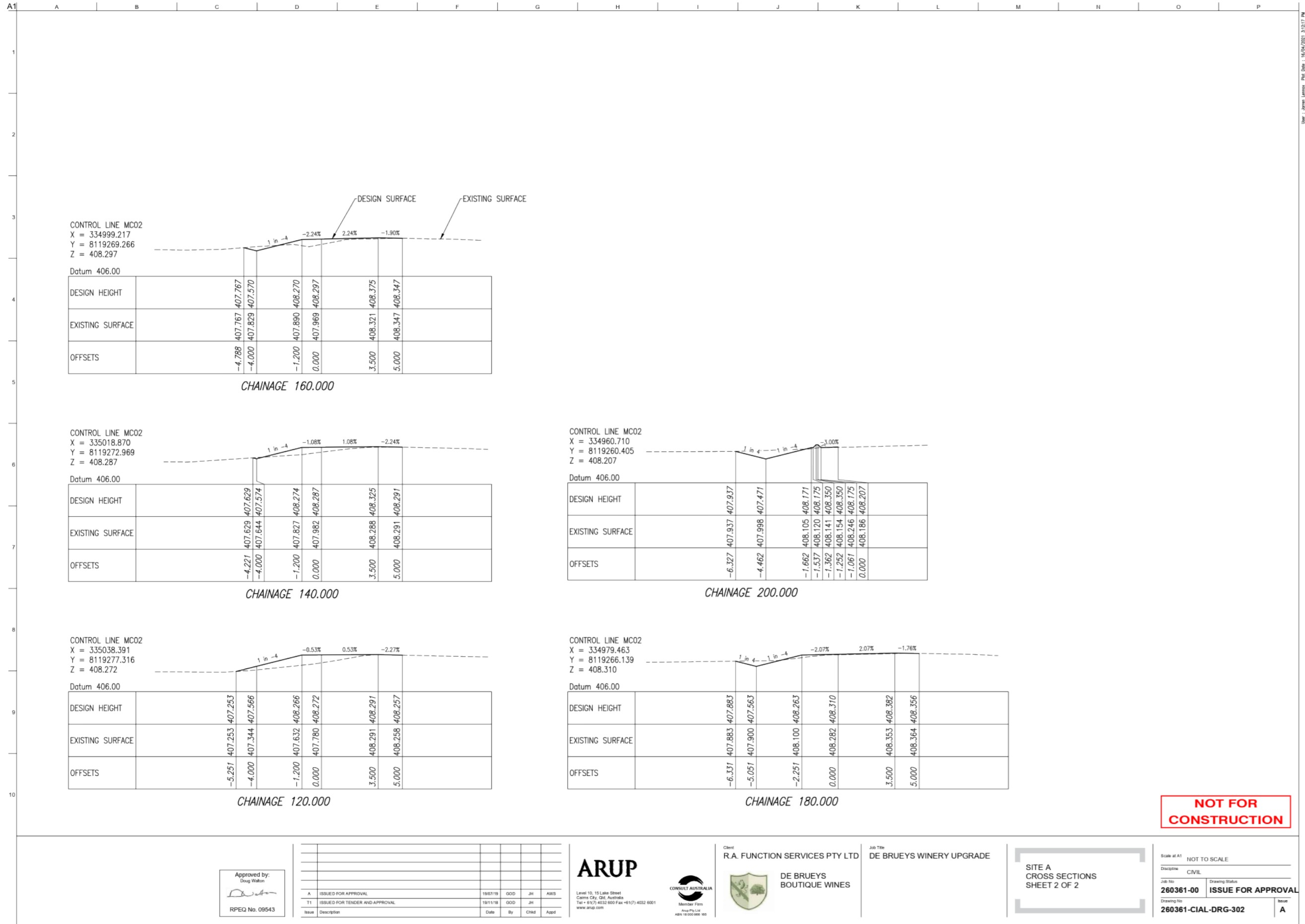


Job Title
DE BRUEYS WINERY UPGRADE

**SITE A
CROSS SECTIONS
SHEET 1 OF 2**

Scale of A1	NOT TO SCALE
Discipline	CIVIL
Job No	260361-00
Drawing Status	ISSUE FOR APPROVAL
Drawing No	260361-CIAL-DRG-301
Sheet	A

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Approved by:
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RPEQ No. 09543

A	ISSUED FOR APPROVAL	19/07/19	OOD	JH	AWS
T1	ISSUED FOR TENDER AND APPROVAL	19/11/19	OOD	JH	AWS
Issue	Description	Date	By	Chkd	Appd

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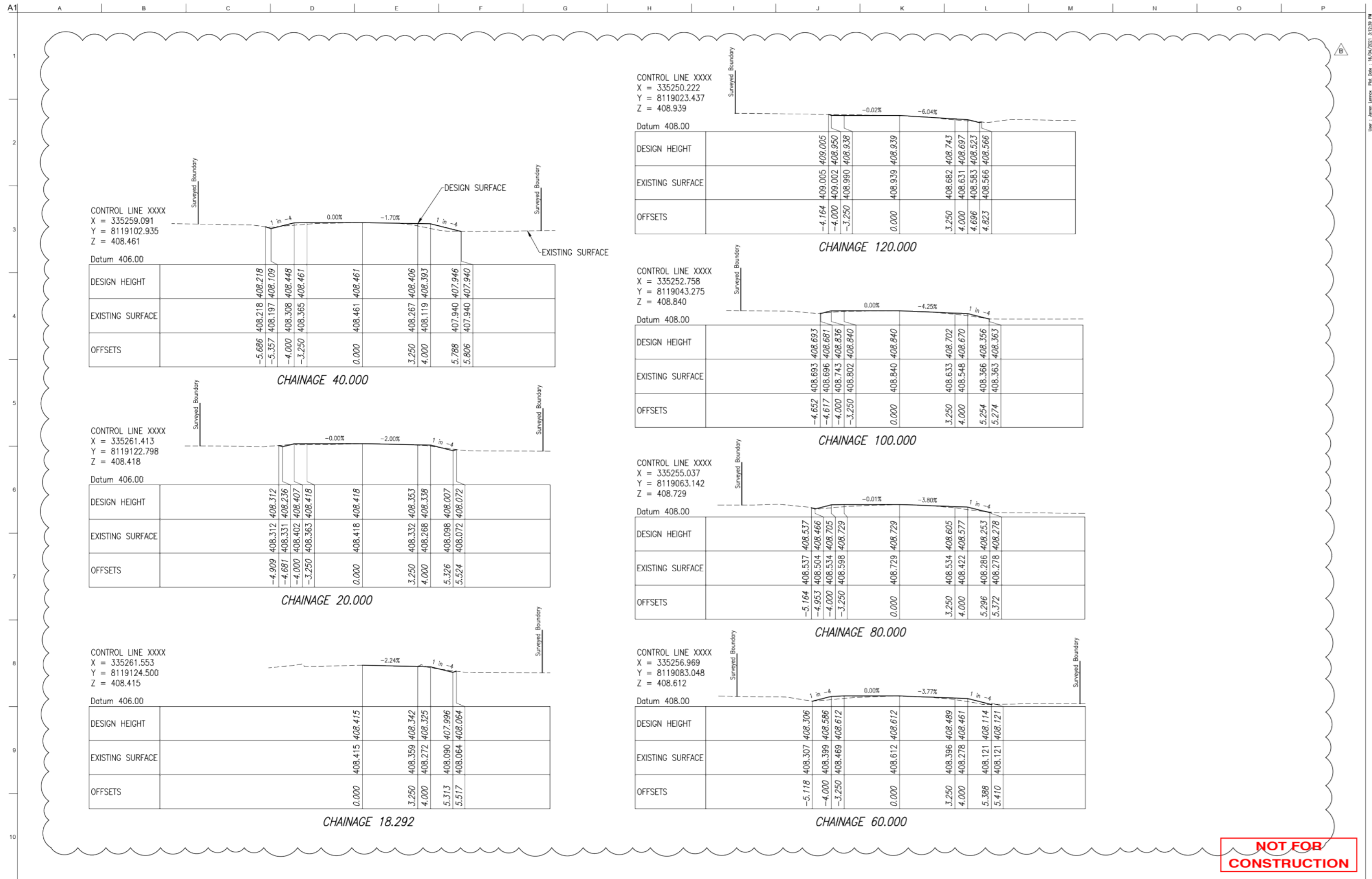
Client
R.A. FUNCTION SERVICES PTY LTD

Job Title
DE BRUEYS WINERY UPGRADE

SITE A
CROSS SECTIONS
SHEET 2 OF 2

Scale of A1	NOT TO SCALE
Discipline	CIVIL
Job No	260361-00
Drawing Status	ISSUE FOR APPROVAL
Drawing No	260361-CIAL-DRG-302
Sheet	A

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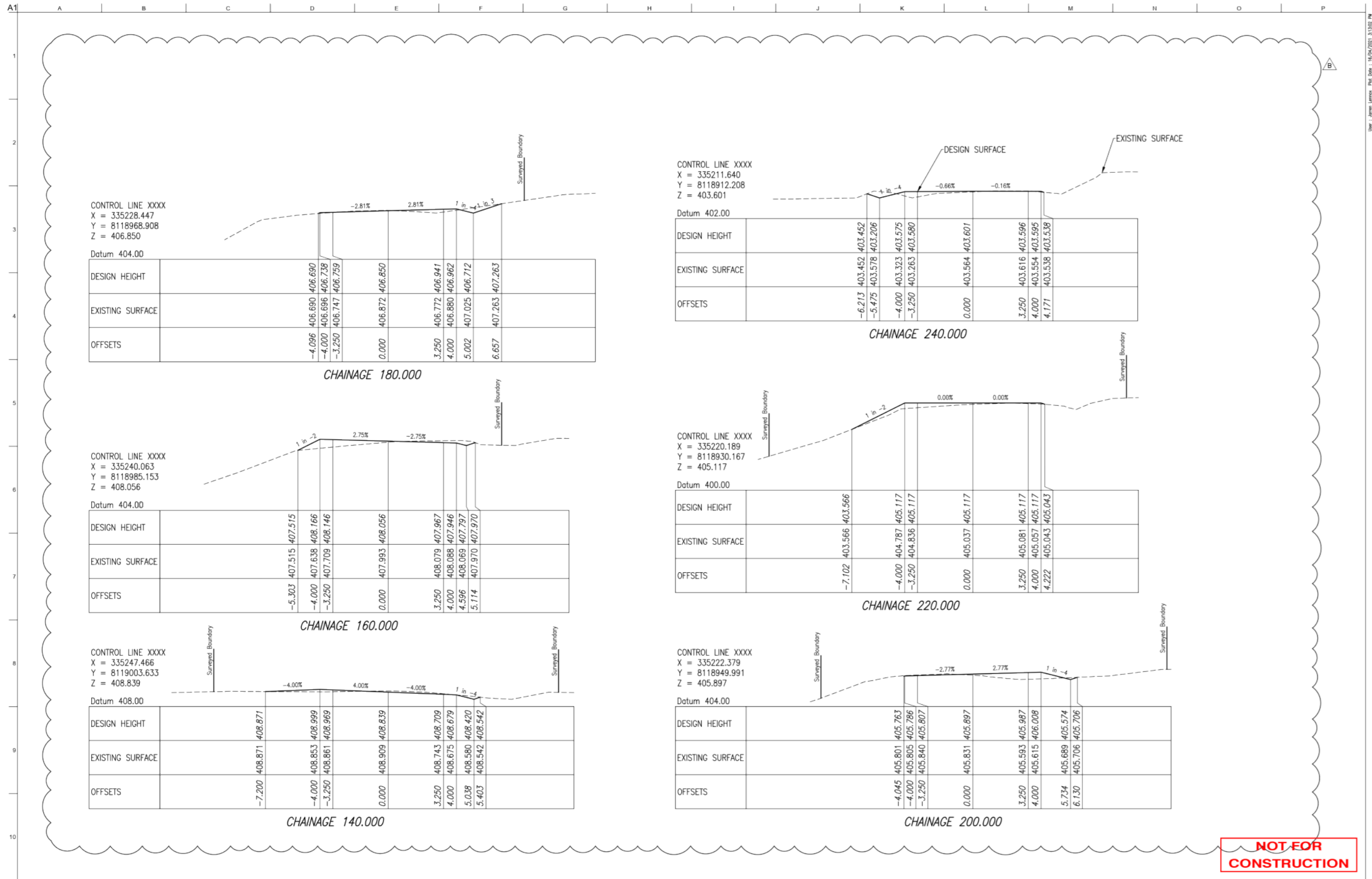
T1	ISSUED FOR TENDER AND APPROVAL	19/11/18	OOD	JH
Issue	Description	Date	By	Chkd



Client: R.A. FUNCTION SERVICES PTY LTD
 Job Title: DE BRUEYS WINERY UPGRADE

SITE B
 CROSS SECTIONS
 SHEET 1 OF 3

Scale of A1: NOT TO SCALE
 Discipline: CIVIL
 Job No: 260361-00
 Drawing Status: TENDER
 Drawing No: 260361-CIAL-DRG-303
 Rev: T1



NOT FOR CONSTRUCTION

Approved by:
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RPEQ No. 09543

T1	ISSUED FOR TENDER AND APPROVAL	19/11/18	OOD	JH
Issue	Description	Date	By	Chkd

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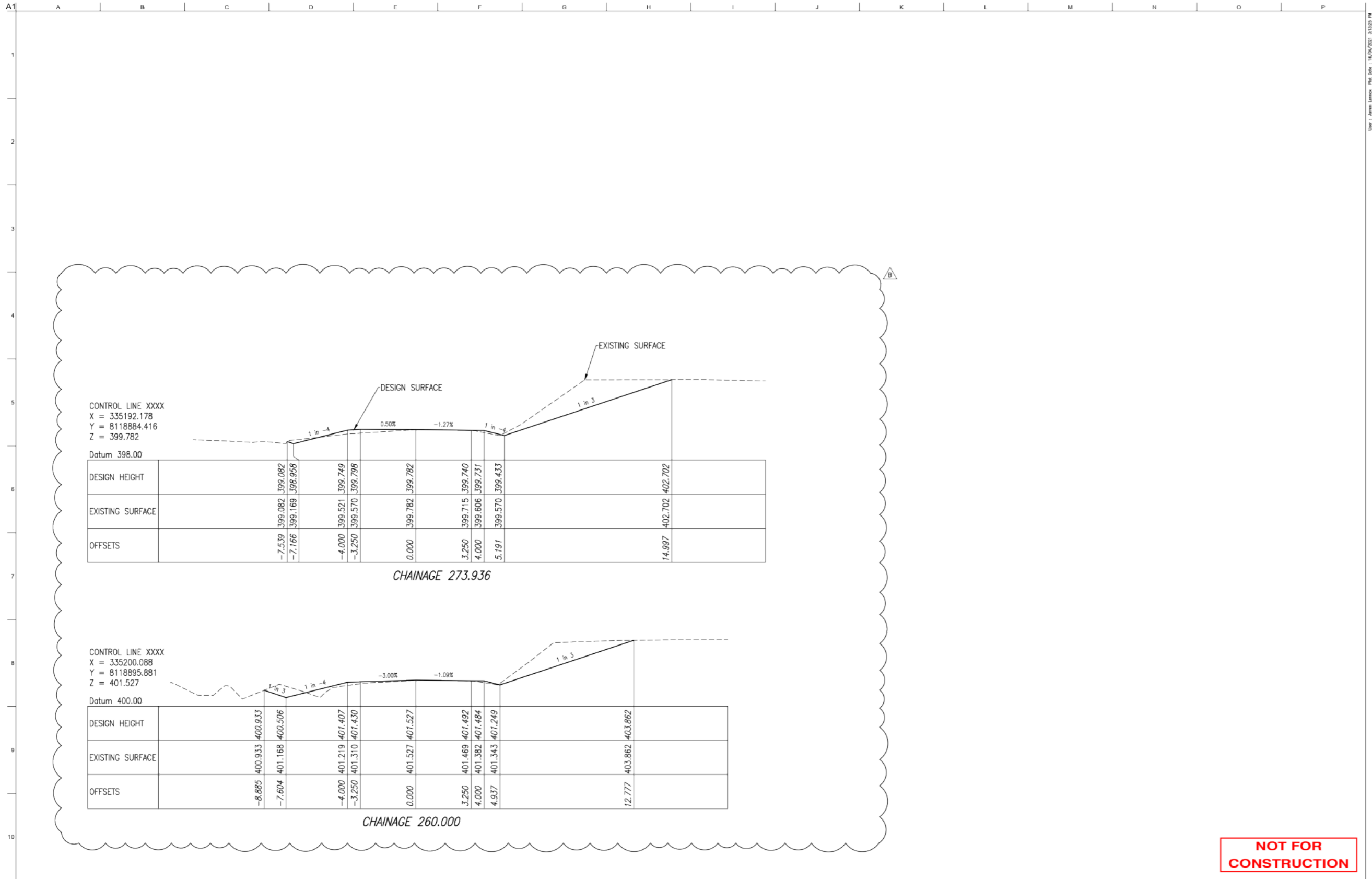
Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

SITE B
CROSS SECTIONS
SHEET 2 OF 3

Scale of A1: NOT TO SCALE

Discipline:	CIVIL
Job No:	260361-00
Drawing Status:	TENDER
Drawing No:	260361-CIAL-DRG-304
Sheet:	T1

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T1	ISSUED FOR TENDER AND APPROVAL	19/11/18	OOD	JH
Issue	Description	Date	By	Chkd

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DE BRUEYS BOUTIQUE WINES

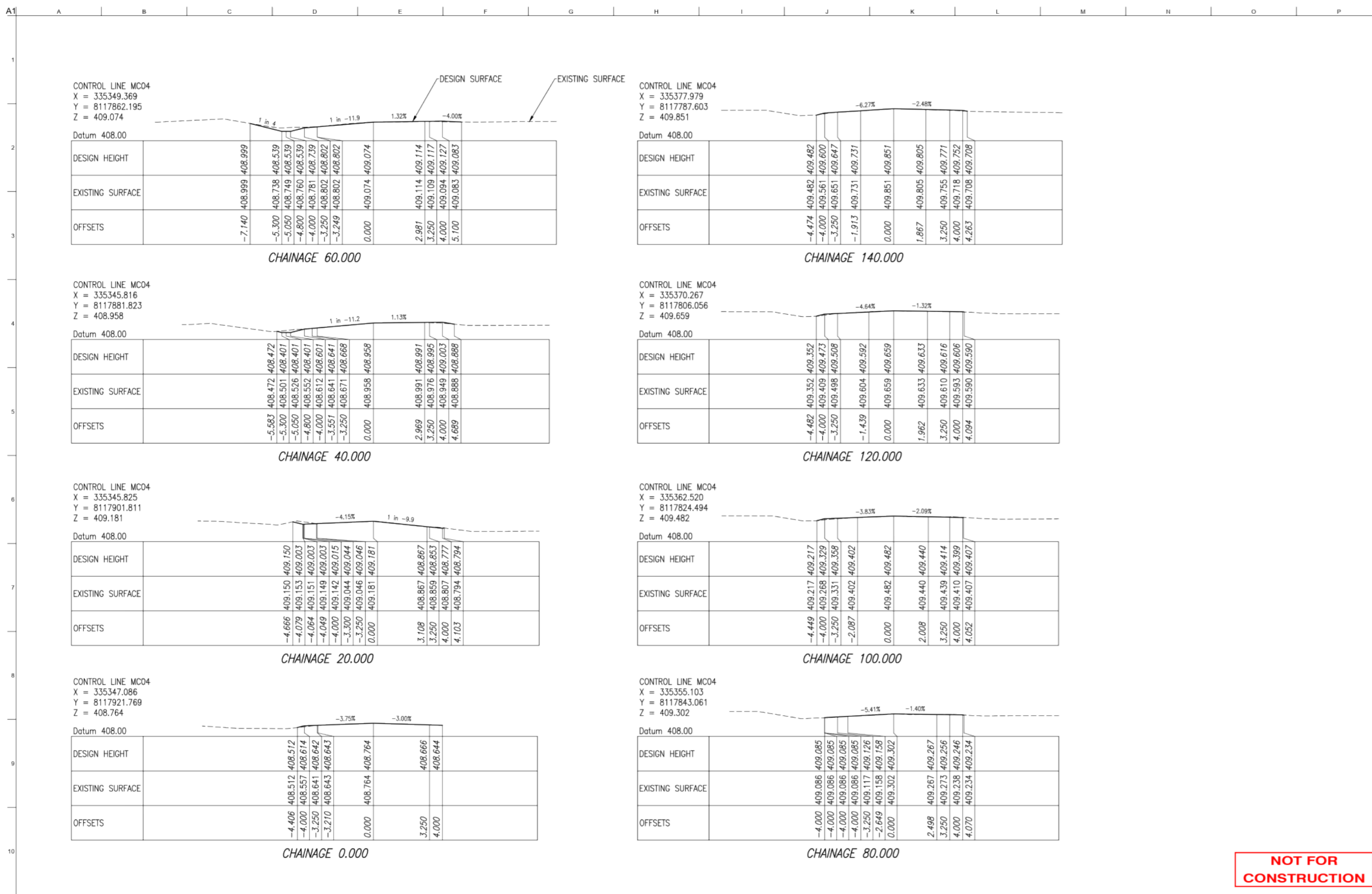
Client: R.A. FUNCTION SERVICES PTY LTD
 Job Title: DE BRUEYS WINERY UPGRADE

SITE B
 CROSS SECTIONS
 SHEET 3 OF 3

Scale of A1: NOT TO SCALE
 Discipline: CIVIL
 Job No: 260361-00
 Drawing Status: TENDER
 Drawing No: 260361-CIAL-DRG-305
 Rev: T1

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User: James Latham Plot Date: 18/05/2021 13:13:33 PM



NOT FOR CONSTRUCTION

Approved by:
Doug Walton
RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR APPROVAL	19/07/19	OOD	JH	AWS
T1	ISSUED FOR TENDER AND APPROVAL	19/11/19	OOD	JH	AWS



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Client
R.A. FUNCTION SERVICES PTY LTD

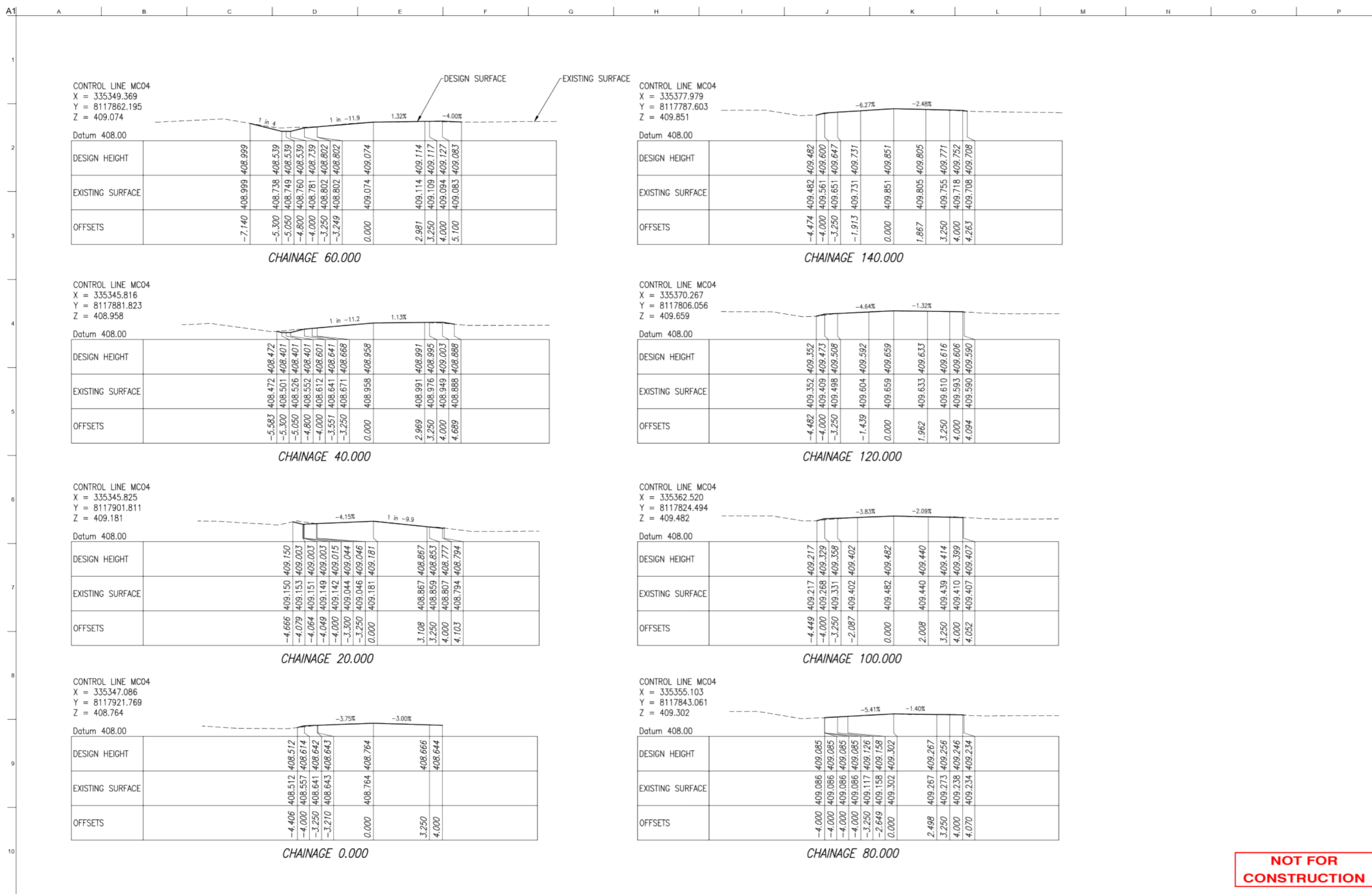


Job Title
DE BRUEYS WINERY UPGRADE

SITE C
CROSS SECTIONS
SHEET 1 OF 4

Scale of A1	NOT TO SCALE
Discipline	CIVIL
Job No	260361-00
Drawing Status	ISSUE FOR APPROVAL
Drawing No	260361-CIAL-DRG-306
Sheet	A

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NOT FOR CONSTRUCTION

Approved by:
Doug Walton
RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR APPROVAL	19/07/19	OOD	JH	AWS
T1	ISSUED FOR TENDER AND APPROVAL	19/11/19	OOD	JH	AWS

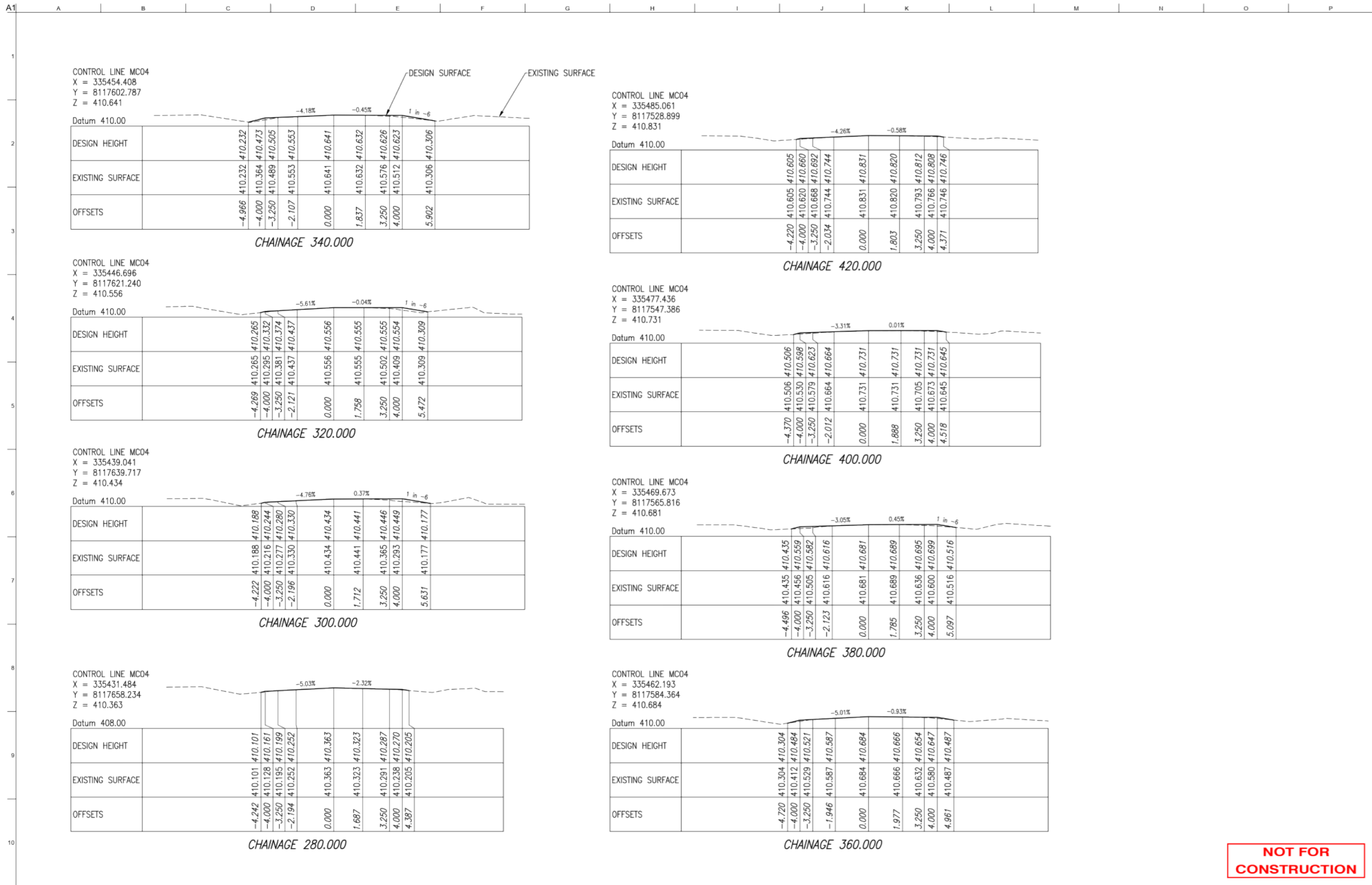


Client: R.A. FUNCTION SERVICES PTY LTD
Job Title: DE BRUEYS WINERY UPGRADE

SITE C
CROSS SECTIONS
SHEET 2 OF 4

Scale of A1	NOT TO SCALE
Discipline	CIVIL
Job No	260361-00
Drawing Status	ISSUE FOR APPROVAL
Drawing No	260361-CIAL-DRG-307
Sheet	A

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Approved by:

 RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR APPROVAL	19/07/19	OOD	JH	AWG
T1	ISSUED FOR TENDER AND APPROVAL	19/11/19	OOD	JH	AWG

ARUP
 Level 10, 13 Lark Street
 Cairns City, QLD, Australia
 Tel + 61(7) 4032 800 Fax +61(7) 4032 6001
 www.arup.com

CONSULT AUSTRALIA
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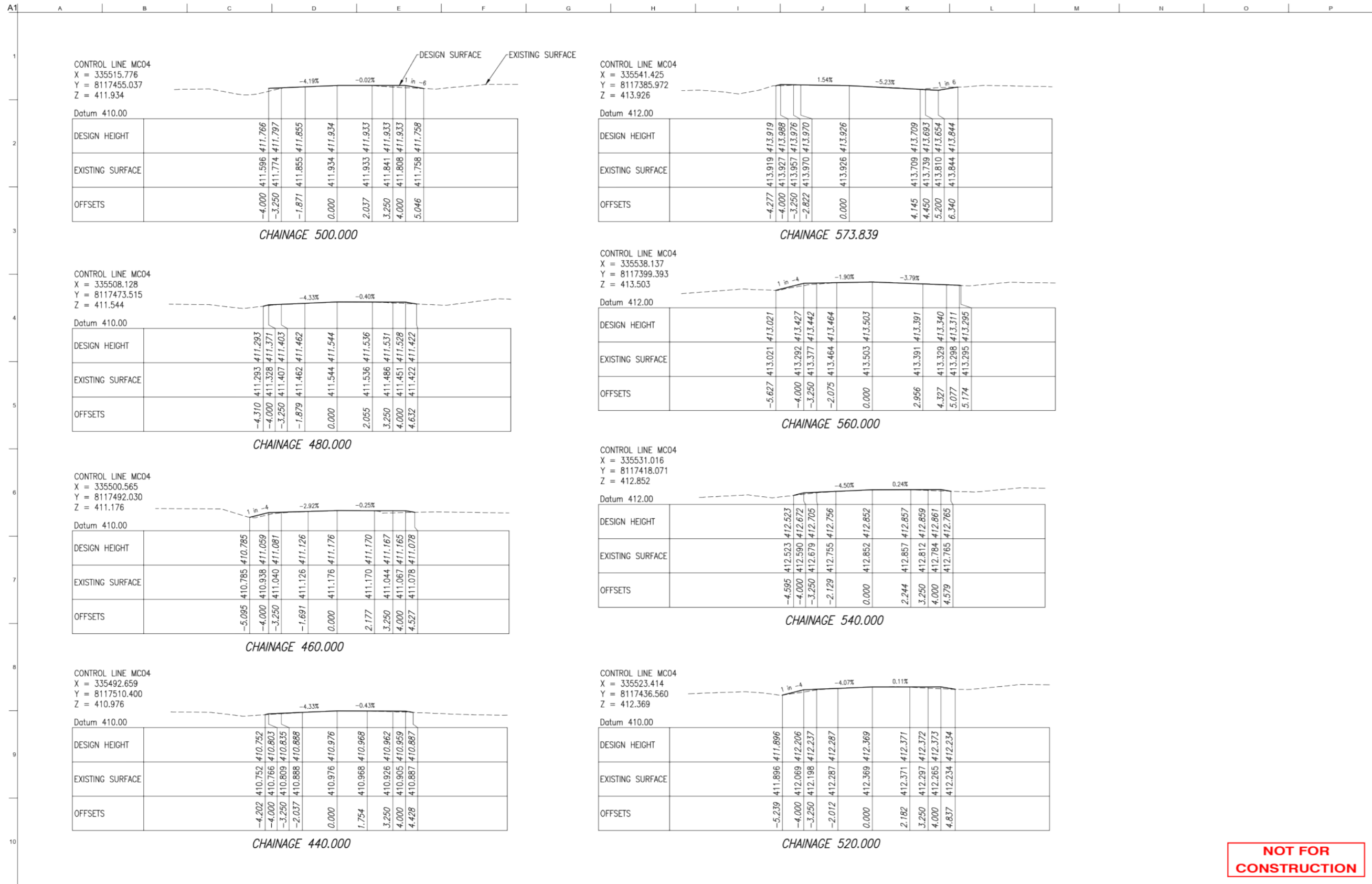
DE BRUEYS BOUTIQUE WINES

Client: R.A. FUNCTION SERVICES PTY LTD
 Job Title: DE BRUEYS WINERY UPGRADE

SITE C CROSS SECTIONS SHEET 3 OF 4

Scale of A1: NOT TO SCALE
 Discipline: CIVIL
 Job No: 260361-00
 Drawing Status: ISSUE FOR APPROVAL
 Drawing No: 260361-CIAL-DRG-308
 Sheet: A

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Approved by:

 RPEQ No. 09543

Issue	Description	Date	By	Chkd	Appd
A	ISSUED FOR APPROVAL	19/07/19	OOD	JH	AWS
T1	ISSUED FOR TENDER AND APPROVAL	19/11/18	OOD	JH	



Client: R.A. FUNCTION SERVICES PTY LTD
 Job Title: DE BRUEYS WINERY UPGRADE

SITE C
 CROSS SECTIONS
 SHEET 4 OF 4

Scale of A1: NOT TO SCALE
 Discipline: CIVIL
 Job No: 260361-00
 Drawing Status: ISSUE FOR APPROVAL
 Drawing No: 260361-CIAL-DRG-309
 Sheet: A

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