# 8.2 RA FUNCTION SERVICES PTY LTD - OPERATIONAL WORKS (EXTERNAL ROADWORKS & ON-SITE CIVIL WORKS) ASSOCIATED WITH DEVELOPMENT PERMIT DA/16/0054 - LOT 1 ON RP745867 - FICHERA ROAD, MAREEBA - OPW/20/0003

Date Prepared:	4 May 2021		
Author:	Senio	or Planner	
Attachments:	1.	Proposal Plans - Internal Works	
	2.	Proposal Plans - External Works	

# **APPLICATION DETAILS**

APPLICATIO	ON		PR	EMISES
APPLICANT	<b>RA Function Services</b>	ADDRESS	Fiche	era Road, Mareeba
	Pty Ltd			
DATE LODGED	18 September 2020	RPD	Lot 1	L on RP745867
TYPE OF APPROVAL	Development Permit			
PROPOSED DEVELOPMENT	Operational Works (external roadworks & on-site civil works)			& on-site civil works)
	associated with Develo	pment Perr	nit DA/	/16/0054
FILE NO	OPW/20/0003	AREA		15.03 hectares
LODGED BY	Urban Sync Pty Ltd	OWNE	R	RA Function Services
				Pty Ltd
PLANNING SCHEME	Mareeba Shire Council	Planning So	heme :	2016
ZONE	Rural zone			
LEVEL OF	Code Assessment			
ASSESSMENT				
SUBMISSIONS	n/a			

# **EXECUTIVE SUMMARY**

Council is in receipt of a development application described in the above application details.

The application is code assessable and was not required to undergo public notification.

The application and supporting material have been assessed against the Mareeba Shire Council Planning Scheme 2016 and does not conflict with any relevant planning instrument.

Draft conditions were provided to the Applicant / care of their consultant and have been agreed.

It is recommended that the application be approved in full, with conditions.

# **OFFICER'S RECOMMENDATION**

1. That in relation to the following development application:

APPLICATION			PREMISES
APPLICANT	RA Function Services	ADDRESS	Fichera Road,
	Pty Ltd		Mareeba
DATE LODGED	18 September 2020	RPD	Lot 1 on RP745867
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Operational Works (external roadworks & on-site civil		vorks & on-site civil
	works) associated with	Developme	nt Permit DA/16/0054

and in accordance with the Planning Act 2016, the applicant be notified that the application for a development permit for the development specified in (A) is:

Approved by Council in accordance with the approved plans/documents listed in (B), subject to assessment manager conditions in (C), assessment manager's advice in (D), relevant period in (E), further permits in (F), and further approvals from Council listed in (G);

And

The assessment manager does not consider that the assessment manager's decision conflicts with a relevant instrument.

(A) APPROVED DEVELOPMENT:

Development Permit for Operational Works (external roadworks & on-site civil works) associated with Development Permit DA/16/0054

# (B) APPROVED PLANS:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
Internal Works	I	I	
260361-CIAL-DRG-101	Drawing Index and Locality Plan	ARUP	19/06/2019
260361-CIAL-DRG-102	General Notes	ARUP	12/03/2021
260361-CIAL-DRG-103	Roads and Paths Typical Sections and Details	ARUP	12/03/2021
260361-CIAL-DRG-104	Existing Features/PUP and Overall Site Layout	ARUP	19/06/2019
260361-CIAL-DRG-105	Roads and Paths General Arrangements Sheet 1 of 2	ARUP	11/07/2019
260361-CIAL-DRG-106	Roads and Paths General Arrangements Sheet 2 of 2	ARUP	19/06/2019
260361-CIAL-DRG-107	MC01 Longitudinal Section	ARUP	19/06/2019
260361-CIAL-DRG-108	Annotated Cross Section Sheet 1 of 3	ARUP	19/06/2019
260361-CIAL-DRG-109	Annotated Cross Section Sheet 2 of 3	ARUP	19/06/2019
260361-CIAL-DRG-110	Annotated Cross Section Sheet 3 of 3	ARUP	19/06/2019
260361-CIAL-DRG-111	InternalPathwaysLongitudinalSectionsSheet 1 of 2	ARUP	19/06/2019

260361-CIAL-DRG-112	InternalPathwaysLongitudinalSectionsSheet 2 of 2	ARUP	19/06/2019
260361-CIAL-DRG-113	Internal Pathways Cross Sections Sheet 1 of 6	ARUP	19/06/2019
260361-CIAL-DRG-114	Internal Pathways Cross Sections Sheet 2 of 6	ARUP	19/06/2019
260361-CIAL-DRG-115	Internal Pathways Cross Sections Sheet 3 of 6	ARUP	19/06/2019
260361-CIAL-DRG-116	Internal Pathways Cross Sections Sheet 4 of 6	ARUP	19/06/2019
260361-CIAL-DRG-117	Internal Pathways Cross Sections Sheet 5 of 6	ARUP	19/06/2019
260361-CIAL-DRG-118	Internal Pathways Cross Sections Sheet 6 of 6	ARUP	19/06/2019
260361-CIAL-DRG-119	Stormwater Drainage General Arrangement Sheet 1 of 2	ARUP	2/03/2020
260361-CIAL-DRG-120	Stormwater Drainage General Arrangement Sheet 2 of 2	ARUP	12/03/2021
260361-CIAL-DRG-121	Stormwater Drainage Longitudinal Sections	ARUP	2/03/2020
260361-CIAL-DRG-122	Stormwater Catchment Plan	ARUP	19/06/2019
260361-CIAL-DRG-123	Stormwater Calculations Table	ARUP	2/03/2020
260361-CIAL-DRG-124	Water and Sewer Reticulation Plan 1 of 4	ARUP	19/06/2019
260361-CIAL-DRG-125	Water and Sewer Reticulation Plan 2 of 4	ARUP	19/06/2019
260361-CIAL-DRG-126	WaterandSewerReticulation Plan 3 of 4	ARUP	19/06/2019
260361-CIAL-DRG-127	WaterandSewerReticulation Plan 4 of 4	ARUP	19/06/2019
260361-CIAL-DRG-128	Water and Sewer Reticulation Details	ARUP	19/06/2019
260361-CIAL-DRG-129	SewerLongitudinalSections Sheet 1 of 3	ARUP	19/06/2019
260361-CIAL-DRG-130	Sewer Longitudinal Sections Sheet 2 of 3	ARUP	19/06/2019
260361-CIAL-DRG-131	Sewer Longitudinal Sections Sheet 3 of 3	ARUP	19/06/2019
260361-CIAL-DRG-132	Erosion and Sediment Control Strategy	ARUP	19/06/2019
260361-CIAL-DRG-133	Drainage Longitudinal Sections	ARUP	12/03/2021
External Works			
260361-CIAL-DRG-201	Drawing Index and Locality Plan	ARUP	19/07/2019
260361-CIAL-DRG-202	General Notes and Pavement Tables	ARUP	12/03/2021
260361-CIAL-DRG-211	Site A Typical Sections and Details	ARUP	12/03/2021
260361-CIAL-DRG-221	Site A General Arrangement	ARUP	19/07/2019

260361-CIAL-DRG-222	Site B General Arrangement and Typical Sections	ARUP	12/03/2021
260361-CIAL-DRG-223	Site C General Arrangement	ARUP	12/03/2021
260361-CIAL-DRG-224	Site B & C Alignment Tables	ARUP	12/03/2021
260361-CIAL-DRG-225	Drainage Longitudinal Sections	ARUP	12/03/2021
260361-CIAL-DRG-231	Site A Pavement Markings	ARUP	19/07/2019
260361-CIAL-DRG-301	Site A Cross Sections Sheet 1 of 2	ARUP	19/07/2019
260361-CIAL-DRG-302	Site A Cross Sections Sheet 2 of 2	ARUP	19/07/2019
260361-CIAL-DRG-303	Site B Cross Sections Sheet 1 of 3	ARUP	3/12/2021
260361-CIAL-DRG-304	Site B Cross Sections Sheet 2 of 3	ARUP	3/12/2021
260361-CIAL-DRG-305	Site B Cross Sections Sheet 3 of 3	ARUP	3/12/2021
260361-CIAL-DRG-306	Site C Cross Sections Sheet 1 of 4	ARUP	19/07/2019
260361-CIAL-DRG-307	Site C Cross Sections Sheet 2 of 4	ARUP	19/07/2019
260361-CIAL-DRG-308	Site C Cross Sections Sheet 3 of 4	ARUP	19/07/2019
260361-CIAL-DRG-309	Site C Cross Sections Sheet 4 of 4	ARUP	19/07/2019

# (C) ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)

### (a) General

- (i) All operational works must be designed and constructed in accordance with the standards and procedures as set out in the FNQROC Development Manual.
- (ii) Development must be carried out substantially in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, and subject to any alterations:
  - found necessary by the Council's Delegated Officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements;
  - to ensure the works comply in all respects with the requirements and procedures of the FNQROC Development Manual and good engineering practice; and
  - to ensure compliance with the following conditions of approval.
- (iii) Council's examination of the documents should not be taken to mean that the documents have been checked in detail and Council takes no responsibility for their accuracy. If during construction, inadequacies of the design are discovered,

it is the responsibility of the Principal Consulting Engineer to resubmit amended plans to Council for approval and rectify works accordingly.

- (iv) All driveways (retained and reinstated) must include bitumen or asphalt sealed flares in order to protect the road edge at driveway locations.
- (v) The landowners of all properties whose accesses will be affected by the operational works should be notified at least 1 month in advance of works commencing. Plans should be made available to them upon request.
- (vi) Prior to the pre-start meeting occurring, the applicant/developer provide a cross-section drawing and swept path diagrams of the winery access demonstrating compliance with Condition 4.1 of the Decision Notice Approval for MCU/16/0054, to the satisfaction of Council's delegated officer. All works must be carried out in accordance with any plan amendments that may result from compliance with this condition.

# (b) Pre-start Meeting

- (i) Prior to the pre-start meeting occurring, the applicant/developer must ensure that Condition (a) (vi) has been complied with.
- (ii) In addition to the requirements of Clause CP1.07 and CP1.08 of the FNQROC Development Manual; after documentation has been approved by Council, a prestart meeting is to be held on site prior to the commencement of work. Part 1 of the **attached** pre-start meeting pro-forma is to be completed and returned prior to the meeting including clause 1.u 'Request for Meeting' together with the prescribed Construction Monitoring Fee as set out in Council's Schedule of Fees.

# (c) Inspections

(i) Inspections are to be carried out as detailed in the FNQROC Manual unless advised otherwise at the pre-start meeting.

# (d) Construction Security Bond and Defects Liability Bond

- (i) In addition to Clauses CP1.06 and CP1.20 of the FNQROC Development Manual; the Construction Security Bond and Defects Liability Bond shall each be a minimum of \$1000 and Bank Guarantees shall have no termination date.
- (ii) During the Defects Liability period, it is the responsibility of the developer to rectify any works found to be defective due to design faults and or found to exhibit faults attributed to the performance of the construction activities in terms of quality and conformance with design and specifications. The bond will be returned on satisfactory correction of any defective work and after expiration of the maintenance period. Failure to comply with a Council issued instruction to correct defective work may result in the call up of the bond to have the work completed.

# (e) Hours of Work

- (i) Work involving the operation of construction plant and equipment of any description, shall only be carried out on site during the following times:
  - 7.00am to 6.00pm, Monday to Friday;
  - 7.00am to 1.00pm Saturdays;
  - No work is permitted on Sundays or Public Holidays.
- (ii) No variation to the above working hours is allowed unless otherwise agreed in writing by Council.

# (f) Transportation of Soil

(i) All soil transported to or from the site must be covered to prevent dust or spillage during transport. If soil is tracked or spilt onto the road pavement from works on the subject land, it must be removed no later than at the end of each working day. Sediment must not enter Council's stormwater drainage network.

### (D) ASSESSMENT MANAGER'S ADVICE

(a) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

(b) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.environment.gov.au.

(c) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the "cultural heritage duty of care"). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.datsip.qld.gov.au.

# (E) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Two (2) years (starting the day the approval takes effect).
- (F) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS
  - Nil
- (G) OTHER APPROVALS REQUIRED FROM COUNCIL
  - Nil

### THE SITE

The subject site is situated at 189 Fichera Road, Mareeba and is described as Lot 1 on RP745867. The site is generally regular in shape with a total area of 15.03 hectares and is zoned *Rural* under the Mareeba Shire Council Planning Scheme 2016. The site contains approximately 267 metres of frontage to Fichera Road, which is constructed to a four (4) metre wide bitumen sealed standard with narrow gravel shoulders for the extent of the frontage. The site is currently accessed off Fichera Road via a single gravel/bitumen crossover.

The site is improved by de Brueys Boutique Winery. Infrastructure associated with the winery is clustered adjacent the southern boundary of the site and includes a cellar, wine production/storage areas, machinery shed, caretakers residence, greenhouse, wedding chapel/gazebo, two (2) indoor reception venues (100-120 seats), open air deck (120 seats) and associated catering facilities. Multiple mature fruit orchards are located across the site as well as a large dam situated behind the winery.



Map Disclaimer:

Based on or contains data provided by the State of Queensland (Department of Environment and Resource Management) (2009). In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.



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The site generally falls from the south-west to the north-east, draining into Tinaroo Creek which adjoins the eastern boundary. The majority of the land has been cleared with the exception of some mature vegetation retained towards the centre of the site and along Tinaroo Creek.

### **BACKGROUND AND CONTEXT**

Nil

### **PREVIOUS APPLICATIONS & APPROVALS**

Council, at its Ordinary Meeting on 21 December 2016 approved Development Application DA/16/0054, made by Urban Sync on behalf of CA Architects (acting for R.A. Function Services Pty Ltd) for a development permit for material change of use - short-term accommodation on land described as Lot 1 on RP745867, situated at 189 Fichera Road, Mareeba. The approval authorised the construction of 108 short-term accommodation units on-site for use as tourist accommodation.

Development Approval DA/16/0054 was issued subject to the following conditions, as amended 20 January 2021:

1. Development must be carried out substantially in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, subject to any alterations:

- found necessary by Council's delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
- to ensure compliance with the following conditions of approval.
- 2. Timing of Effect
  - 2.1 The conditions of the development permit must be complied with to the satisfaction of Council's delegated officer prior to the commencement of the use except where specified otherwise in these conditions of approval.
  - 2.2 Prior to the commencement of use, the applicant must demonstrate to Council that all the conditions of the development permit have been complied with, except where specified otherwise in these conditions of approval.
- 3. General
  - 3.1 The development approval would not have been issued if not for the conditions requiring the construction of infrastructure or the additional payment condition/s within these conditions of approval.
  - 3.2 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.
  - 3.3 All payments or bonds required to be made to the Council pursuant to any condition of this approval must be made prior to commencement of the use and at the rate applicable at the time of payment.
  - 3.4 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.
  - 3.5 Noise Nuisance
    - 3.5.1 The applicant/developer must ensure the approved short term accommodation use is operated and managed (including noise generated by guests) to not exceed a maximum noise level of 3dB(A) above background levels as measured from noise sensitive locations.
    - 3.5.2 Refrigeration equipment, pumps, compressors and mechanical ventilation systems must be located, designed, installed and maintained to achieve a maximum noise level of 3dB(A) above background levels as measured from noise sensitive locations.
  - 3.6 Waste Management

The applicant shall ensure there is no on site disposal of refuse associated with the approved use unless such refuse is disposed of in refuse bins provided in accordance with the following:

- (i) No refuse is to be stored on site outside the refuse bins at any time.
- (ii) On site refuse storage area for all refuse bins must be provided and be screened from view from adjoining properties and road reserve by a 1 metre wide landscaped screening buffer, 1.8m high solid fence or building.
- 3.7 Flood Immunity

All new habitable buildings must be located such that the freeboard of the floor levels of all habitable rooms are a minimum of 300mm above 100 ARI year level.

No filling or excavation is to occur below the Q100 flood hazard level.

3.8 Bushfire Management

A Bushfire Management Plan for the site, incorporating evacuation procedures for guests, must be prepared to the satisfaction of Council's delegated officer. The approved use must comply with the requirements of the Management Plan at all times.

3.8a Length of Stay

The maximum length of stay for guests must not typically exceed three (3) consecutive months, unless otherwise approved by Council's delegated officer.

- 3.9 Signage
  - 3.9.1 No more than one (1) advertising sign for the approved development is permitted on the subject site.
  - 3.9.2 The sign must not exceed a maximum sign face area of 6m<sup>2</sup> and must not move, revolve, strobe or flash.
  - 3.9.3 The sign must be kept clean, in good order and safe repair for the life of the approval.
  - 3.9.4 The sign must be removed when no longer required.
  - 3.9.5 The erection and use of the advertisement must comply with the Building Act and all other relevant Acts, Regulations and these approval conditions.
- 3.10 Notification of Potential Rural Zone Impacts

The applicant is to erect a sign at or near the reception building advising guests that the subject land is zoned Rural under the Mareeba Shire Council Planning Scheme - July 2016 and is in a rural locality. The signage should generally state the following:

### "Guest should take note:

- The locality may be used for intensive rural uses;
- Guests may experience off site effects from rural activities, including noise, sprays and dust that may cause a loss of residential amenity. Existing and/or self-assessable agricultural and rural uses in the locality have a 'right to farm' or a right to legally continue the use."
- 3.11 Slope Stability

For any building work proposed on a slope of 15% or greater, the applicant/developer must provide Council with a site specific geotechnical report prepared by a suitably qualified Registered Professional Engineer of Queensland (RPEQ) that certifies:

- the long term stability of the development site; and
- that the development site will not be adversely affected by land slide/slip activity originating on sloping land above the development site.
- 4. Infrastructure Services and Standards
  - 4.1 Access

The site's existing access crossover must be upgraded/constructed (from the edge of Fichera Road to the property boundary) in accordance with FNQROC Development Manual standards, to the satisfaction of Council's delegated officer. The access must be widened to accommodate two directional traffic.

4.2 Roadworks – External Construction

Prior to the commencement of the use, the following sections of Fichera Road must be widened to a 6.5 metre bitumen sealed width (1.25m either side) in accordance with D1.4 (Road Class 100 - 999) of the FNQROC Development Manual:

- from the Fichera/Tinaroo Creek Road intersection kerbing to the point in which the existing sealed width reaches 6.5 metres approaching the Tinaroo Creek Bridge (approximate distance of 250 metres); and
- from a point approximately 20 metres north of the site access (where the pavement width falls below 6.5 metres) to a point approximately 500 metres north along Fichera Road (where the pavement width widens to 6.5 metres).

A second bitumen coat must be applied to the entire pavement width for the full length of the abovementioned road sections to bind the widening works with the existing bitumen.

Prior to works commencing, plans for the works described above must be approved as part of a subsequent application for operational works.

- 4.3 Stormwater Drainage/Water Quality
  - 4.3.1 As part of any subsequent application for Operational Works, the applicant must submit a Stormwater Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual to the satisfaction of Council's delegated officer.
  - 4.3.2 The Stormwater Management Plan must ensure a non-worsening effect on surrounding land as a consequence of the development, and must take all reasonable and practicable measures to ensure discharge occurs in compliance with the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual.
  - 4.3.3 As part of any subsequent application for operational works the applicant must also provide a Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline to the satisfaction of Council's delegated officer.
  - 4.3.4 The Stormwater Quality Management Plan must include an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia) to the satisfaction of Council's delegated officer.
  - 4.3.5 The applicant/developer must construct the stormwater drainage infrastructure for the development in accordance with the approved Stormwater Management Plan and/or Stormwater Quality Management Plan and Report.
  - 4.3.6 All stormwater drainage must be collected from site and discharged to an approved legal point of discharge.
- 4.4 Car Parking/Internal Driveways
  - 4.4.1 The applicant/developer must ensure the development is provided with at least 104 on-site car parking spaces which are available solely for the parking of vehicles associated with the use of the premises.

- 4.4.2 The internal driveway servicing the development must be widened to a width of at least six (6) metres for its entire length and should include speed control devices to minimise dust nuisance.
- 4.4.3 All car parking spaces and internal roads must be surfaced to at least a compacted gravel standard, delineated, and appropriately drained prior to the commencement of the use, to the satisfaction of Council's delegated officer.
- 4.4.4 Prior to works commencing, the developer must submit engineering plans and specifications for the construction of proposed car parking facilities and internal driveways demonstrating:
  - Compliance with Australian Standard AS2890:1 Off Street Parking Car Parking Facilities;
  - Compliance with Australian Standard AS2890.3 Bicycle Parking Facilities (if required);
  - Compliance with Australian Standard AS1428:2001 Design for Access and Mobility.
- 4.5 Landscape and Fencing

Prior to the commencement of the use, the applicant / developer must prepare and submit a landscape plan in accordance with Planning Scheme Policy 6 for consideration and approval by Council's Delegated Officer. The landscape plan must include the following:

- (i) A minimum three (3) metre wide landscape buffer along the Fichera Road frontage of the site, north of the site access to the north-west corner of the site.
- (ii) A minimum two (2) metre wide landscape strip along the Fichera Road frontage of the site, south of the site access and up to the existing fruit trees at the southern end of the site.
- (iii) a minimum three (3) metre wide landscape buffer along the northern boundary of the site for a length of 50m from the north-west corner of the site.
- (iv) a minimum two (2) metre wide landscape buffer along the northern boundary of the site starting from the edge of the three (3) metre buffer (as outlined above in (iii)) to a point adjacent the easternmost accommodation unit.
- (v) a minimum of one (1) shade tree for every six (6) parking spaces.
- (vi) any landscaping proposed amongst the 27 cabin blocks.

Landscaping associated with points (i), (ii), (iii) and (iv) should include ground cover, shrubs and trees that will grow to form an effective buffer of no less than six (6) metres in height. Existing mango trees are able to be used as part of the landscape buffers. Landscaping associated with points (i), (ii), (iii) and (iv) must be planted, mulched and irrigated prior to 30 June 2021 or a later date where strictly agreed to by Council.

**All remaining** Landscaping **associated with points (v) and (vi) must works shall** be undertaken prior to the commencement of the use. **and** <u>All Landscaping</u> must be mulched, irrigated and maintained for the life of the development and to the satisfaction of Council's Delegated Officer.

# 4.6 Lighting

Where outdoor lighting is required the developer shall locate, design and install lighting to operate from dusk to dawn within all areas where the public will be given access, which prevents the potential for light spillage to cause nuisance to neighbours and must be provided in accordance with Australian Standard 1158.1 – Lighting for Roads and Public Spaces.

Illumination resulting from direct, reflected or other incidental light emanating from the subject land does not exceed 8 lux when measured at any point 1.5m outside the property boundary of the subject site. The lighting fixtures installed on site must meet appropriate lux levels as documented within Australian Standard 4282 – Control of the Obtrusive Effects of Outdoor Lighting.

**Note:** The design is to integrate the principles of Crime Prevention through Environmental Design (CPTED) theory. Lighting design is to illuminate potential areas of concealment and is to project illumination so that a human face is easily discernible from 15 metres and there is to be sufficient night lighting, which renders people, colours, vegetation and objects correctly. i.e. 'white' light. Particular attention should be given to pathways, driveways and common external spaces.

# 4.7 Water Supply

- (i) The development must be provided with a potable water supply that satisfies the standards for drinking water set by the Australian Drinking Water Guidelines 2004 (National Health and Medical Research Council and the National Resource Management Ministerial Council).
- (ii) All non-potable water supplied to the development must be clearly labelled at each tap Non Potable Water not safe for Human Consumption.

# 4.8 On-Site Wastewater Management

All on site effluent disposal associated with the approved use must be in compliance with the latest version of On-Site Domestic Wastewater Management Standard (ASNZ1547) to the satisfaction of the Council's delegated officer.

**Note:** Any on-site wastewater treatment system with a total daily peak design capacity of at least 21 equivalent persons (EP) is an Environmentally Relevant Activity (ERA 63 - Sewerage Treatment) and an Environmental Authority is required.

- 4.9 Privacy Screening
  - 4.9.1 Prior to the occupation of any top floor accommodation unit in Unit Blocks 5, 7, 9, 11 and 13, the applicant/developer must ensure directional privacy screening is installed external to the top floor balconies of Units contained in Unit Blocks 5, 7, 9, 11 and 13 to effectively screen from view the dwelling and immediate surrounding yard of northern adjoining Lot 2 on RP745867.
  - 4.9.2 Once the landscape buffering required by Condition 4.5 has reached maturity and, in the opinion of Council's delegated officer is providing an effective visual buffer to protect the privacy and amenity of northern adjoining Lot 2 on RP745867, the privacy screening required by Condition 4.9.1 may be removed at the discretion of the applicant/developer.
- 5. Additional Payment Condition (section 650 of the Sustainable Planning Act 2009)
  - 5.1 The additional payment condition has been imposed as the development will create additional demand on trunk infrastructure which will create additional trunk infrastructure costs for council.
  - 5.2 The applicant/developer must pay \$85,845.00 as a contribution toward trunk infrastructure with the amount of the contribution increased on 1 July each year in accordance with the increase for the PPI index for the period starting on the day the development approval takes effect, adjusted by reference to the 3-yearly PPI index average to the date of payment.
  - 5.3 The trunk infrastructure for which the payment is required is:
    - The trunk transport network servicing the land (\$85,845.00)
  - 5.4 The developer may elect to provide part of the trunk infrastructure instead of making the payment.
  - 5.5 If the developer elects to provide part of the trunk infrastructure the developer must:
    - Discuss with Council's delegated officer the part of the works to be undertaken;
    - Obtain the necessary approvals for the part of the works;
    - Indemnify the Council in relation to any actions, suits or demands relating to or arising from the works;
    - Take out joint insurance in the name of the Council and the developer in the sum of \$20,000,000 in relation to the undertaking of the works;

- Comply with the reasonable direction of Council officers in relation to the completion of the works;
- Complete the works to the standards required by the Council; and
- Complete the works prior to endorsement of the plan of subdivision.
- 5.6 The value, as agreed by Council's delegated officer, of the external works required under Condition 4.2 will be credited towards the additional payment required under Condition 5.2. Any credit will not exceed \$85,845.00.

### DESCRIPTION OF PROPOSED DEVELOPMENT

The development application seeks a Development Permit for Operational Works (external roadworks & on-site civil works) associated with Development Permit DA/16/0054 in accordance with the plans shown in **Attachment 1**.

The application is for works required under the following conditions of Development Permit DA/16/0054:

- 4.1 Access
- 4.2 Roadworks External Construction
- 4.3 Stormwater Drainage/Water Quality
- 4.4 Car Parking/Internal Driveways
- 4.7 Water Supply
- 4.8 On-site Wastewater Management (treatment plant assessed by the Dept of Environment and Science)

### **REGIONAL PLAN DESIGNATION**

The subject site is included within the Regional Landscape and Rural Production Area land use category in the Far North Queensland Regional Plan 2009-2031. The Regional Plan Map 3- 'Areas of Ecological Significance' also identifies the site is:

- Wetland Area of General Ecological Significance
- Terrestrial Area of High Ecological Significance
- Terrestrial Area of General Ecological Significance

# PLANNING SCHEME DESIGNATIONS

Strategic Framework:	Land Use Categories <ul> <li>Rural other</li> </ul>
Zone:	Rural zone
Overlays:	Agricultural land overlay Airport environs overlay Bushfire hazard overlay Environmental significance overlay Flood hazard overlay Hill and slope overlay Transport infrastructure overlay

### **RELEVANT PLANNING INSTRUMENTS**

Assessment of the proposed development against the relevant planning instruments is summarised as follows:

### (A) Far North Queensland Regional Plan 2009-2031

Separate assessment against the Regional Plan is not required because the Mareeba Shire Council Planning Scheme appropriately advances the Far North Queensland Regional Plan 2009-2031, as it applies to the planning scheme area.

### (B) State Planning Policy

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

# (C) Mareeba Shire Council Planning Scheme 2016

### **Relevant Developments Codes**

The following Development Codes are considered to be applicable to the assessment of the application:

- 6.2.6 Rural zone code
- 9.4.5 Works, services and infrastructure code

An officer assessment has found that the application satisfies the relevant acceptable solutions (or probable solutions/performance criteria where no acceptable solution applies) of the relevant codes set out below, provided reasonable and relevant conditions are attached to any approval.

Relevant Codes		Comments
Rural zone code		The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.
Works, services infrastructure code	and	The application can be conditioned to comply with the relevant acceptable outcomes contained within the code.

# (D) Planning Scheme Policies/Infrastructure Charges Plan

The following planning scheme policies are relevant to the application:

Planning Scheme Policy 4 - FNQROC Regional Development Manual

Drawings have been checked against the FNQROC Development Manual. Any non-compliance with the FNQROC Manual has been conditioned to comply.

### **REFERRAL AGENCY**

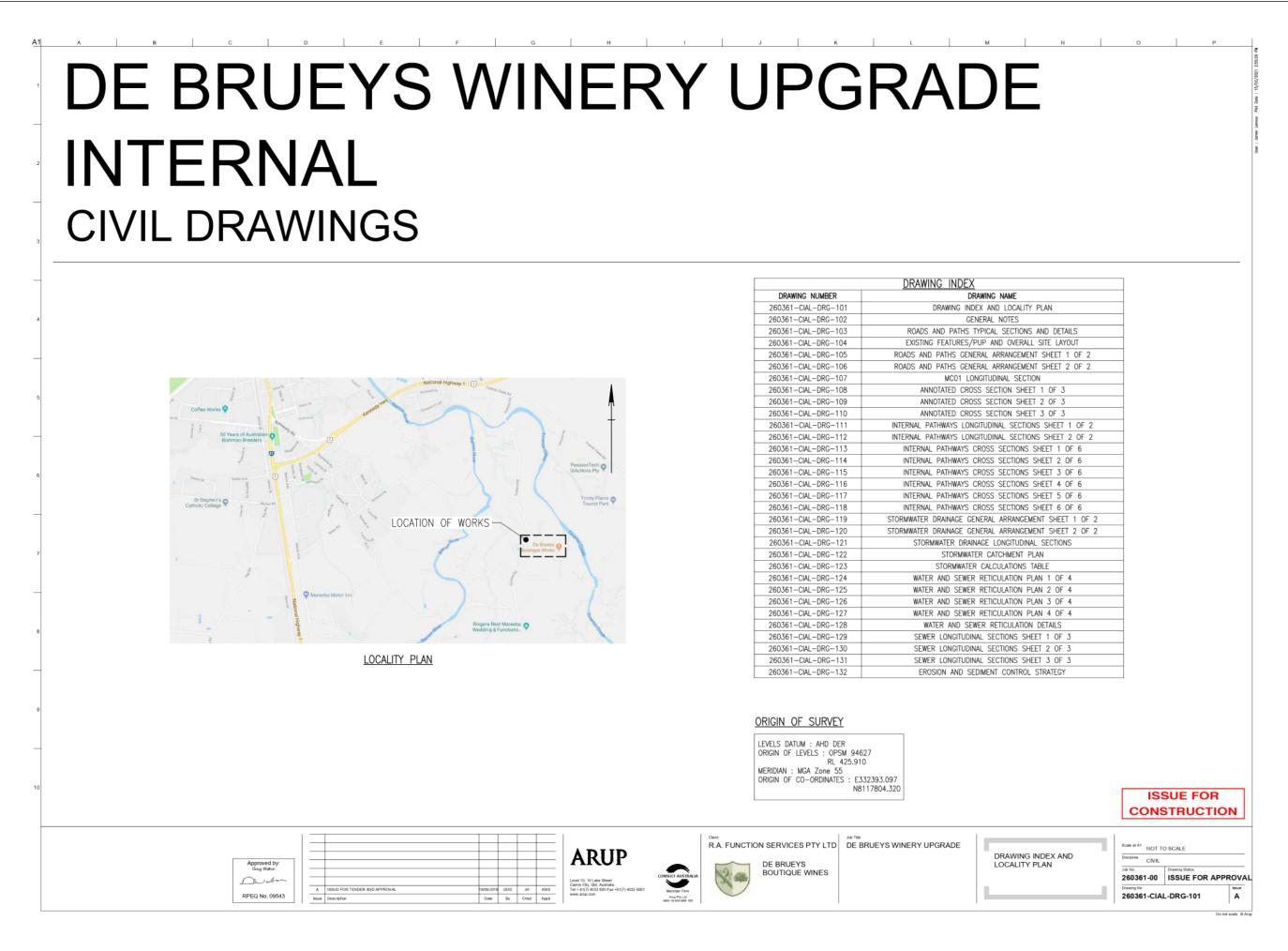
This application did not trigger referral to a Referral Agency.

### **Internal Consultation**

**Technical Services** 

### PLANNING DISCUSSION

Nil



### A1 GENERAL NOTES recompacted to 100% standard compaction in accordance – Lomandra Hystrix with FNQROC Specification S1. - Themeda Australis All dimensions in metres unless noted otherwise. 6. Where existing around surfaces are not required to be varied All levels in AHD. Sewerage Code. Ficinia Nodosa as part of the works, the Contractor shall restore them to Backfill maximum dry density and density index / filled All works are to be carried out in accordance with the Frangible Hyrdomulch Grass Seed Mix - for all batters (1:4) the condition existing at the commencement of the work density testing to be in accordance with AS1289. Golder's Geotechnical Report (1791863-001-R-Rev0-De - Hydromulch Mix (Seed species below) under the contract unless noted otherwise. BrueysLIV). The Contractor is to submit an Environmental Management BOTANICAL NAME Plan, Erosion and Sediment Control Plan and Waste WATER NOTES CYMBOPOGON REFRACTU EXISTING SERVICES Management Plan to the Superintendent for approval.

- The location of utility services as shown on the services plans have been determined from information supplied by survey and DBYD search. The services shown on these plans are provided for information only and no responsibility is taken for the accuracy or completeness of the information supplied. The contractor shall confirm the location, level and sufficient cover to all utility services on site prior to
- construction. The Contractor is to ensure all services remain operational at all times. No work is to be carried out over utility services or within 3.0m of services without prior notification to the superintendent and obtaining approval to proceed.
- Refer to the relevant Consultant's design drawings for information regarding relocations and/or adjustments of existing services. Refer to the relevant design drawings to
- consider proposed services before commencing earthworks. Existing valves, hydrants, pits, manholes and water services shall be modified to suit final surface heights and roadworks.

### DRAINAGE NOTES

- These notes are to be read in conjunction with the Stormwater Plans (Refer DRG-119-122).
- All drainage works are to be generally carried out in compliance with FNQROC Specification S4 Stormwater Drainage unless specified otherwise.
- New works shall not be connected to existing downstream stormwater infrastructure until all stormwater infrastructure and the surrounding catchment is stabilised. This is to prevent sediment entering the stormwater system.
- All field inlets/grated manholes and access lids/covers are to be wheelchair and bicycle safe in accordance with AS3996 and designed to load class D (210kN).
- Installation, bedding and backfilling to pipes shall be in accordance with FNQROC Standard Drawing S2016 for uPVCpipe, steel RHS pipes and S1046 for reinforced concrete
- The pipe class does not allow for construction loadings. The Contractor shall certify that minimum cover for construction loads is accommodated.
- The location and level of all services crossing proposed drainage lines must be confirmed prior to construction Drainage line levels must be checked for conflict with services and advice sought from the Engineer/Designer if unsure
- Existing stormwater drainage pipes, gullies and manholes within the limits of construction shall be retained unless 8 noted otherwise on the drawings.
- Existing pipes shown to be abandoned are to be removed or capped and grouted with fully flowable concrete. Existing drainage structures shown to be abandoned are to be nolished, debris removed and backfilled in accordance with the project specification.
- Where a connection is to be made to an existing drainage 10. pipe or drainage structure the level of that pipe or structure must be confirmed prior to the construction of the new drainage line.
- Drainage outlet rock protection to be in accordance with DTMR MRTS03. Non-woven geotextile of Strength Class E and Filtration Class V to DTMR MRTS27 to be placed under and bedside all rock protection

### EARTHWORKS NOTES

Document Step 38-244 Asttachment 1 Version: 1. Version Date: 21/05/2021

- All earthworks are to be in compliance with FNQROC Specification S1 and AS3798, unless noted otherwise.
- All exposed areas and new works shall be grassed by hydromulching on completion in accordance with ENOROC specification S8, unless other treatment noted.
- Earthworks shall not encroach beyond defined property boundaries and limit of works (whichever is more stringent) unless approved by the Superintendent.
- Where proposed works join existing works or ground, the Contractor shall verify tie-in levels prior to commencement of construction
- All subgrade material shall be removed, replaced and

- The Contractor shall ensure that the works are carried out i
- accordance with all submitted plans during construction. The Contractor shall maintain adequate temporary drainage
- measures to ensure works are free draining

### EROSION AND SEDIMENT CONTROL STRATEGY

- The Contractor shall develop a detailed Erosion Sediment Control Plan (ESCP) for construction. The detailed ESCP shall be in accordance with the requirements below (based on the Queensland State Planning Policy, July 2017), and with all local planning requirements.
- The Contractor shall design temporary drainage works for the following design storms:
- Disturbed area open for <12 months--1 in 2-year</li> ARI event:
- Disturbed area open for 12-24 months--1 in 5-year ARI event:
- Disturbed area open for > 24 months--1 in 10-year ARI event;
- Note that the design capacity excludes minimum 150mm freeboard:
- Temporary culvert crossing--minimum 1 in 1-year ARI hydraulic capacity.
- The ESCP shall meet the following erosion control objectives: Minimise exposure of disturbed soils at any time e.g. soil stockpiles and unfinished earthworks to be suitable stabilised if disturbance is expected to be suspended for a period exceeding 5 days.
- Divert water run-off from undisturbed areas around disturbed areas; Determine the erosion risk rating using local rainfall
- erosivity, rainfall depth, soil-loss rate or other acceptable methods;
- Implement erosion control methods corresponding to identified erosion risk rating.
- The ESCP shall meet the following sediment control objectives: Determine appropriate sediment control measures using
- either the potential soil loss rate, monthly erosivity, or average monthly rainfall; Collect and drain stormwater from disturbed soils to
- sediment basin for design storm event: the design storm for sediment basin sizing is 80th% five-day event or similar:
- Site discharge during sediment basin dewatering shall give TSS < 50 mg/l TSS, turbidity not >10% receiving waters turbidity, and pH 6.5-8.5.
- The ESCP shall meet the following additional water quality objectives:

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Approved by Doug Walton

RPEQ No. 09543

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- Avoid wind-blown litter; remove gross pollutants; Ensure there is no visible oil or grease sheen on
- released waters; Dispose of waste containing contaminants at authorised
- facilities. The ESCP shall meet the following discharge rates into the
- receiving stormwater network or waterway: For peak flow for the 1-year and 100-year ARI event, use constructed sediment basins to attenuate the discharge rate of stormwater from the site.
- The Contractor shall ensure that erosion and sediment controls are maintained and in good working order at all times. The Contractor shall visually inspect ESC controls on a
- daily basis, and maintain records of these checks. Tubestock Mix - for the Rock protection areas (1m offset to)
- rock edge) - Tubestock Planting Mix: (Planting density: 4 tubes/1m<sup>2</sup>)



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- YNODON DACTYLON HULLE CYNODON DACTYLON - UN-HULLED IMPERATA CYLINDRICA THEMEDA TRIANDRA
- HETEROPOGON CONTORT BOTHRIOCHLOA INSCULPTA - Refer to MRTS16.1 for (Seeding Rates Kg/Ha) (section 3.2.1
- 3.2.1 Grass Seed Mix Table (Clause 7.4.1.5)
- 10. Grass lined invert to table drain - Grass seed - Cynodon dactylon (Ground Couch) - (Refer to
- MRTS16 spec)

### PAVEMENT NOTES

- All pavement works are to be in compliance with FNQROC Specification S2 and S7 unless noted otherwise.
- Prior to construction any soft or wet subgrade soils are to be identified and replaced with select material in accordance with FNQROC Specification S2.
- The process to identify the soft or wet subgrade locations shall include an initial proof roll of the exposed subgrade (lower side of design subbase level). The proof roll shall be completed in accordance with MRTS04. Any area of subgrade displaying visual deflection under load, throughout the duration of the proof roll shall be marked for Dynamic Cone Penetrometer (DCP) testing.
- DCP testing shall be undertaken to a minimum depth of 1.0m below subarade level in the areas of soft subarade identified during proof roll. Where the DCP test indicates an inferred subgrade CBR strength less than CBR 3%, a minimum 150mm of the subgrade shall be replaced with MRTS05 Subtype 2.3 material.
- 3. Where the use of general fill is required a Class A material with a Min Soaked CBR of 10% (MRTS04) OR Subtype 2.3 material is to be utilised.
- Where new works join existing works, the contractor shall confirm that existing works conform in line and level with that shown on the drawings before commencing work. Subgrade CBR Assumed to be 2.5% based on
- recommendations of Golder's Geotechnical Report which assumes site is to be prepared in accordance with section 9.1.1 of the Report. CBR is to be confirmed on site by the
- Contractor, refer FNQROC S2 Specification (Road Pavements) for details All pavement markings are to be applied in accordance with
- DTMR document: Manual of Uniform Traffic Control Devices (MUTCD).
- Pavement markings to use paint type 3 as specified in DTMR document: MUTCD.

### CONCRETE NOTES

1. All concrete works are to be in compliance with FNQROC specification S7.

### PIPELINE NOTES

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- Supply and construction of water mains, sewer mains and associated appurtenances shall be in accordance with the FNQROC Development Manual U.N.O.
- The Contractor shall provide all pipes, fittings, thrust blocks etc. required to construct the pipelines and pipeline appurtenances U.N.O.
- Water and sewer pipeline centreline or project set-out line location is either set-out from property boundaries, by coordinates of centreline intersection points, or by offset to existing or new features. Refer to the project drawings.
- Alignment to be pegged and confirmed prior to construction commencing. The horizontal alignment of the water main may be deviated from the tabulated layout to avoid unforeseen minor obstacles, with Superintendent approval.
- Horizontal and vertical deflections may be achieved using standard pipe fittings or pipe joint deflections. Maximum pipe deflection to be in accordance with the manufacturer's recommendations.

ARUP

- Minimum horizontal and vertical clearances from existing services to be in accordance with Table 4.2 of WSAA
- Comply with FNQROC specification S5 and STD. DWGS. S2000 1.
- 2. All water mains shall be PE100 class PN16 jointed in accordance with manufacturer's specifications.

Water mains shall have 600mm minimum cover in

4.

- Water mains crossing roads shall be PN35 DICL for the full road crossing width, finishing 100mm beyond the edge of the unsealed shoulder at a minimum and as shown on the drawings.
- SEW 1. non-trafficable areas and 900mm in trafficable areas.

GENERAL

- Potable (drinking) water mains and appurtenances shall be colour coded blue.
- Bedding and surround to pipes and fittings shall be in 3. accordance with FNQROC standard drawing S2016.
- Anchorage/thrust block locations not shown on the drawings and shall be designed by the contractor in accordance with FNQROC standard drawing S2015-CRC to the written approval of the superintendent (allowable bearing pressure of soil to be confirmed on site).
- Hydrants and valves are to be nylon powder coated or equivalent and hydrants are to be of the maxi-flow type.
- Markers to be installed at all sluice valves, changes of directions and at intervals not greater than 100m along pipe alignment. Refer FNQROC Std. Drgs. S2010 and S2011 for pipeline marker details
- 10. Hydrants to be identified by kerb maker plate and blue rétro-reflective marker in accordance with FNQROC standard drawing S2010.
- 11. Valves to be identified by kerb marker plate and yellow retro-reflective marker in accordance with FNQROC standard drawing S2010.
- 12. Minimum test pressure of water mains shall be 1200kpa. in accordance with FNQROC specification S5.29.
- Flushing, disinfection and testing of all mains shall be carried out in accordance with FNQROC Specification S5.30. Pre-chlorinated pipes and fittings must be used at all cut-in locations, where adequate disinfection cannot be achieved.
- 14. If slope of water reticulation exceeds 1:6, than anchor blocks are to be provided in accordance with FNQROC standard drawing S2016. Location of anchor blocks is to be noted on as-constructed drawings.

### PE WELDING NOTES

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removed.

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PE Welding must only be carried out by certified persons. 2. Butt-welded joints shall be made in accordance with the project specifications, WSA 01-2004, AS2033, AS2566.2 and the PE pipe manufacturer's requirements and recommendations.

Joints shall only be made between pipe materials of the same grade as defined in AS4130. Pilot welds shall be made

Butt-welded joints shall achieve at least 90% of the tensile

strength of the parent pipe. Internal weld beads shall not be

All welding shall be performed under controlled environmental

pressure gauges shall not be used. At all times that welding

temperature of the heater plate at the circumference of the

is in progress, the welder shall have available a hand-held

conditions. Field welding shall be carried out in shelter to

prevent dust and water contamination. Shelters shall be

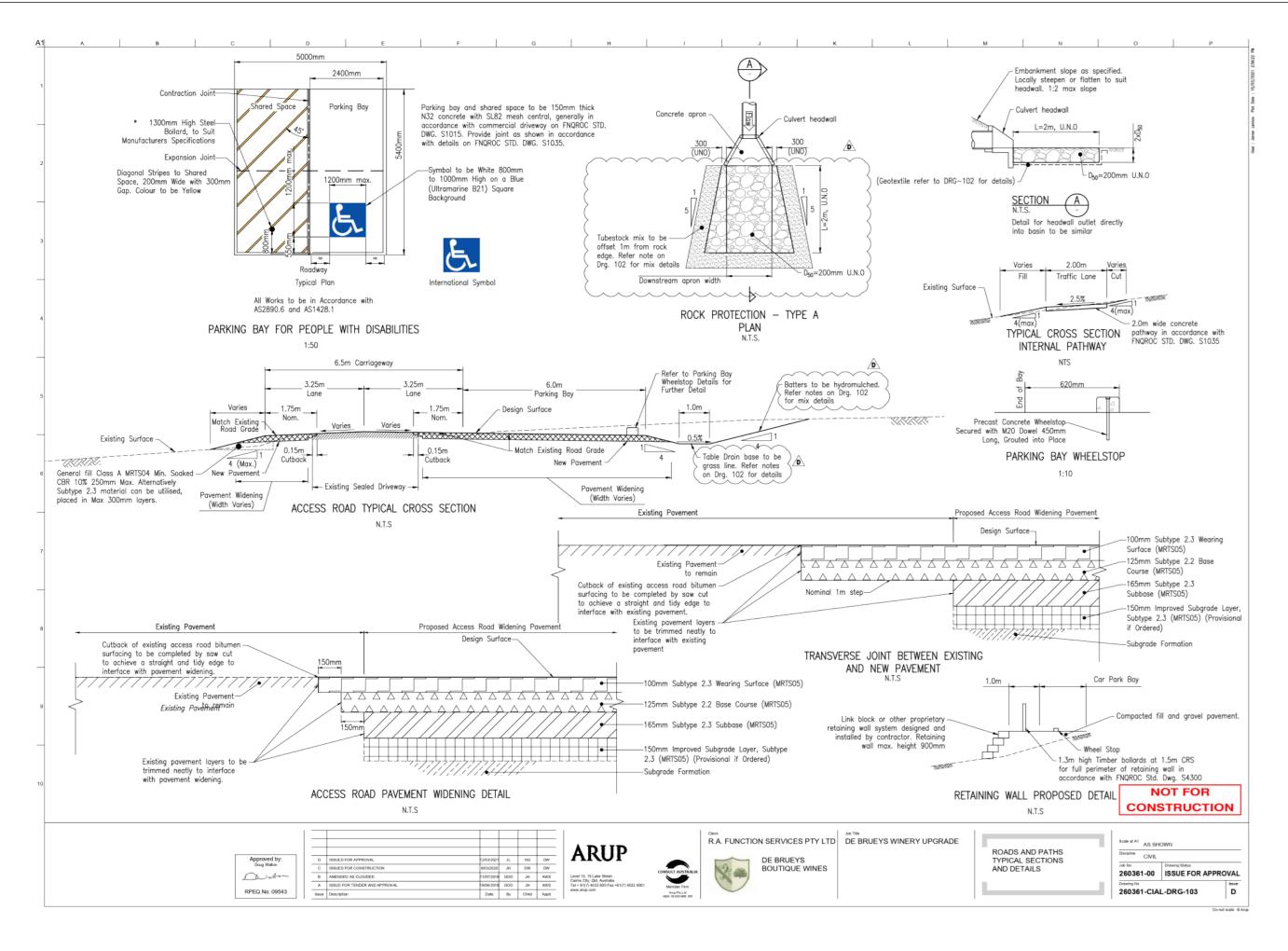
blocked off to prevent wind chill and dirt contamination

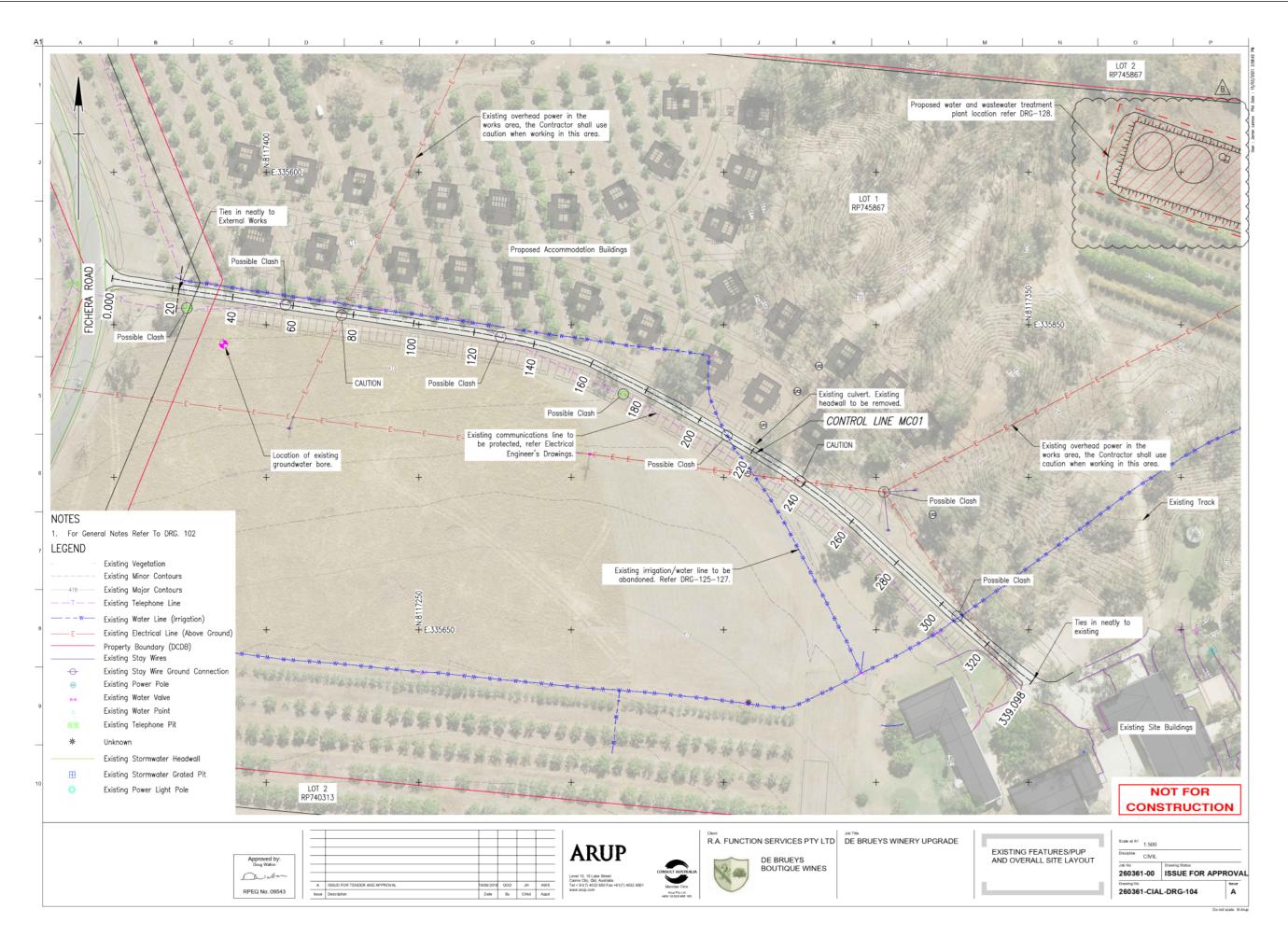
Welding machines using hand wound carriages without

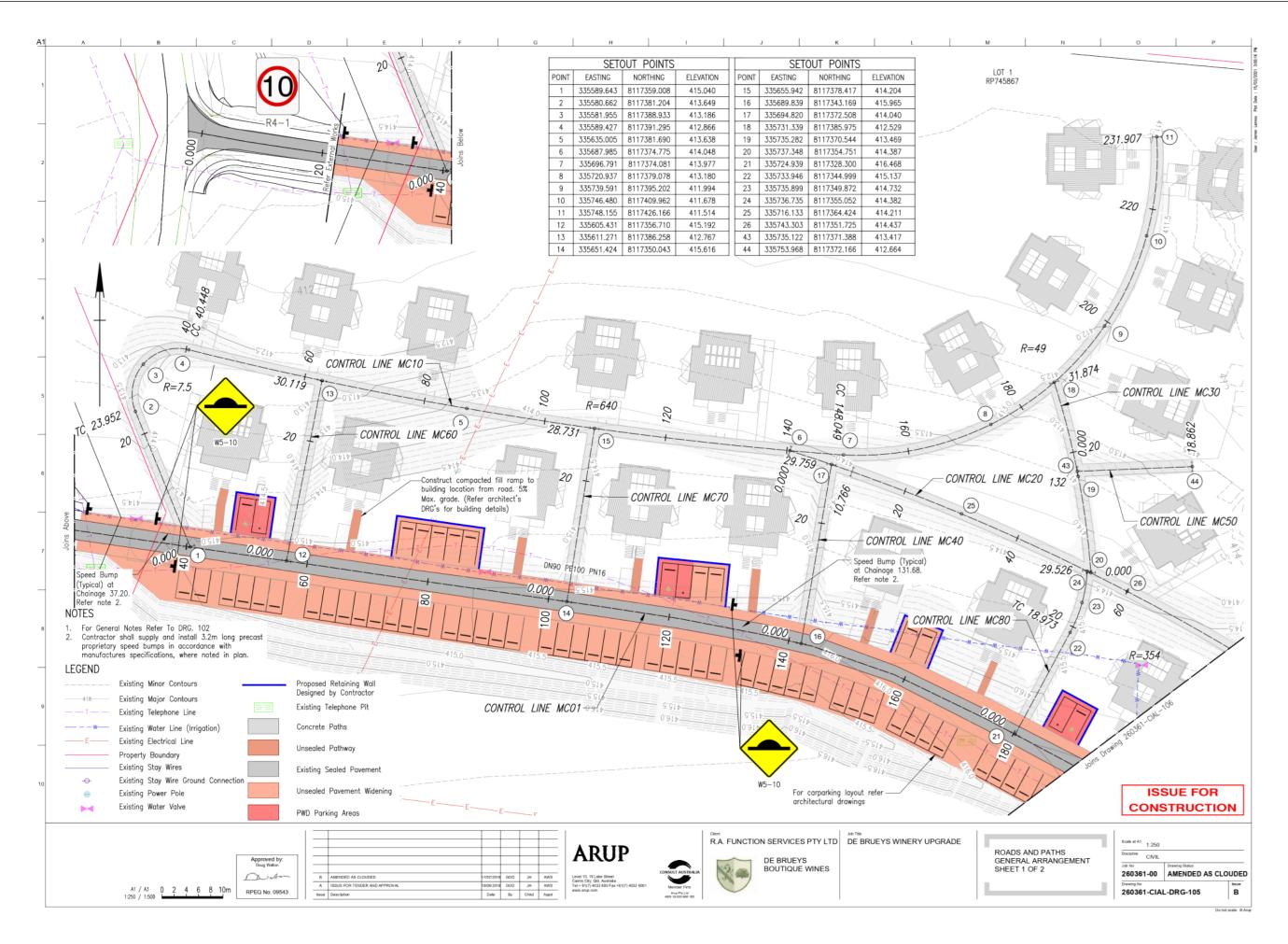
temperature sensing device capable of checking the

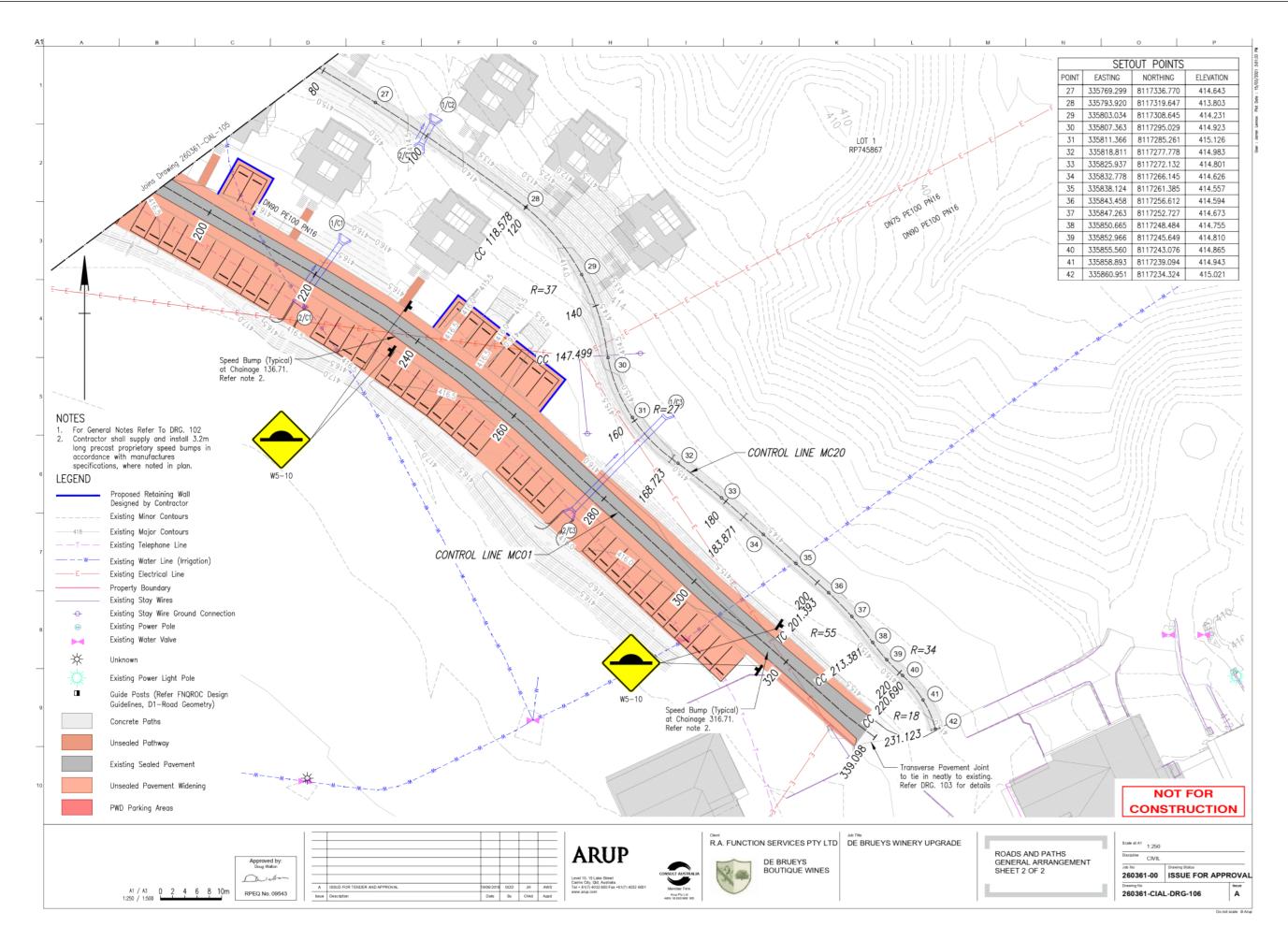
and tested for any proposed joints between pipes from

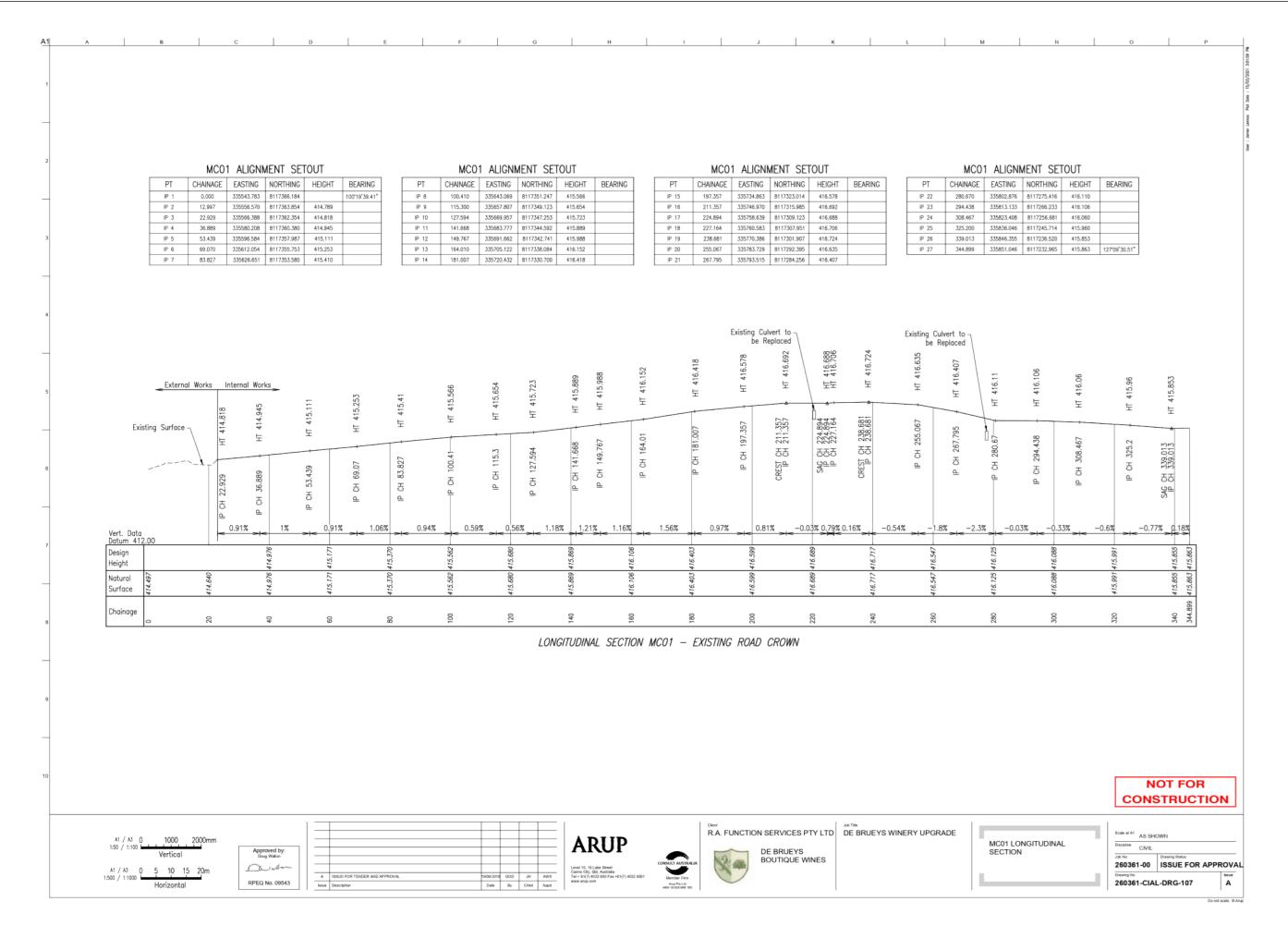
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	weld.				52 PN
7.	Pilot welding trails shall b superintendent before field			i by the	15/03/2021 2:55:52
8.	The pilot weld shall be su tensile fracture testing an party testing organisation	d flexural bea	m testing by	y a third	Plot Dote : 15/
9.	Acceptance criteria for the Tensile strength be the parent pipe se	ing at least 9		strength of	Jarren Lennox
	<ul> <li>Fracture being in a of contamination o surface.</li> </ul>	a ductile mann	ier with no on the weld	evidence   fracture	User :
	<ul> <li>No fracture of the</li> </ul>	weld in flexur	al beam tes	sting.	
<u>SE</u>	WER NOTES				
1.	Comply with FNQROC spec S3005, & S3015.	ification S6 a	nd STD. DWO	SS. S3000,	
2.	All sewer main shall be P		in accordan	ce with	
3.	manufacturers specification Sewer mains shall have 6 non-trafficable areas and	00mm minimu		eas.	
4.	Tops of manholes to finis level. surface level shown				
5.	All sewer house connectio per FNQROC standards. Vi adopted for depths greate	ns (HCB) less nidex deep se	than 2.5m	deep as	
6.	All house connections (HC final surface level as deto \$3005.	B) are to be			
7.	If slope of sewerage retic blocks are to be provided standard drawing S3015. noted on as-constructed	in accordance Location of an	e with FNQR	200	
8.	Cleaning of sewers, testing manholes/sewer lines/pres sewers shall be carried on to S6.29.	g of manholes ssure mains, a	and CCTV ins		
WT	P & WWTP NOTES:				
1.	The location of the propo				
2	and Wastewater Treatment drawings. The design and constructi	. ,			
2.	excluded from the civil we by others.	orks package (	and will be	completed	
3.	The civil works shown on earthworks, drainage, com pipelines, potable water pi treated water effluent pipe package, however these si directed by the Superinter • Completion of the	pacted gravel pelines, sewerce elines are inclu hall not be co ndent, following	hardstand, age pipelines uded in the onstructed ur p:	raw water s and civil works ntil	
	<ul> <li>WWTP by the WTP</li> <li>Any modifications to</li> </ul>	and WWTP Cor to the civil wo	ntractor; and rks design r	ł	
4.	from the above ha Refer to the WTP and WW further details on the pro	TP Performanc		ion for	
DE	TAINING WALL NOTES	c			
1.	Retaining wall shall be de contractor.	_	nstructed by	,	
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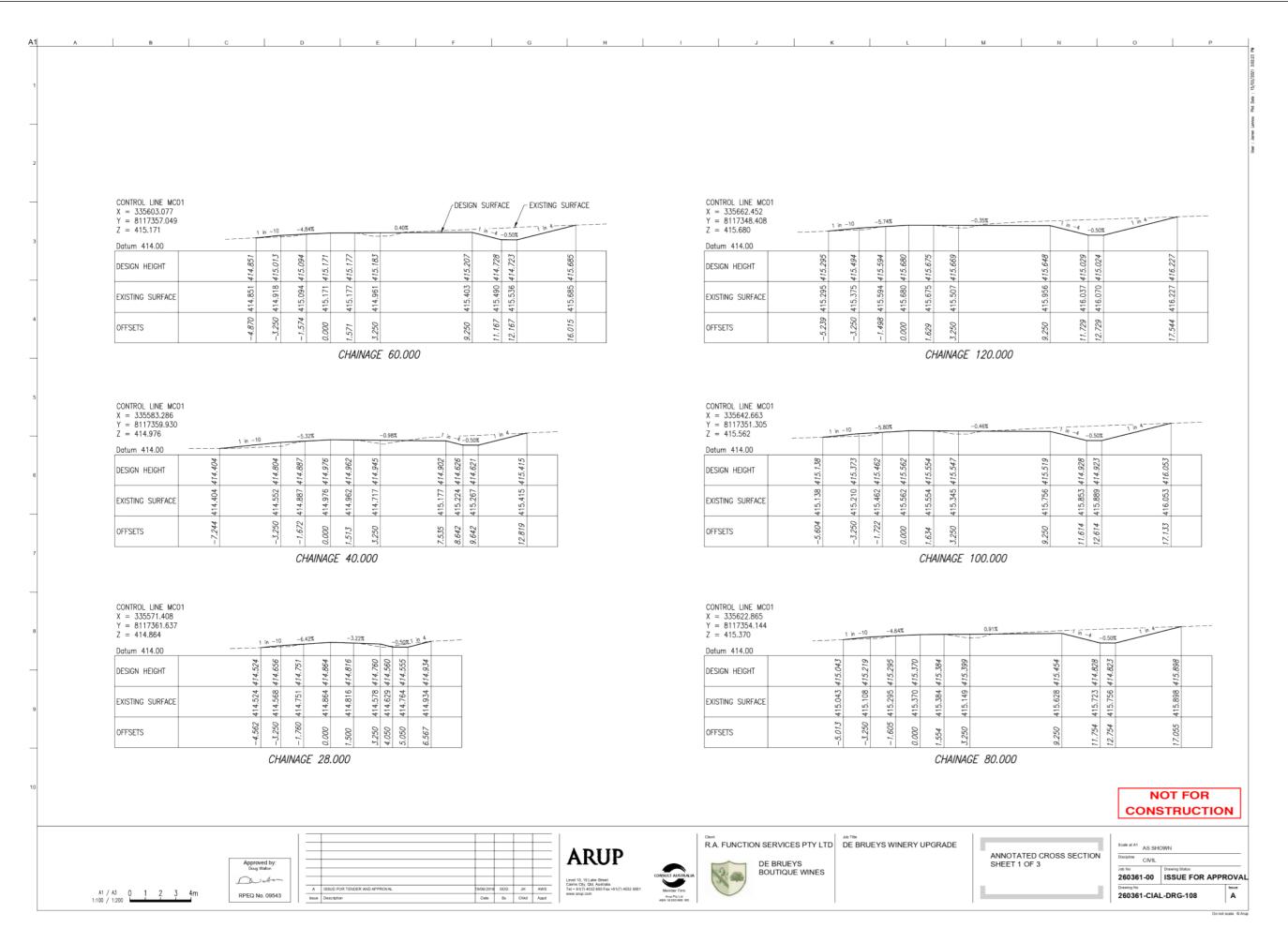


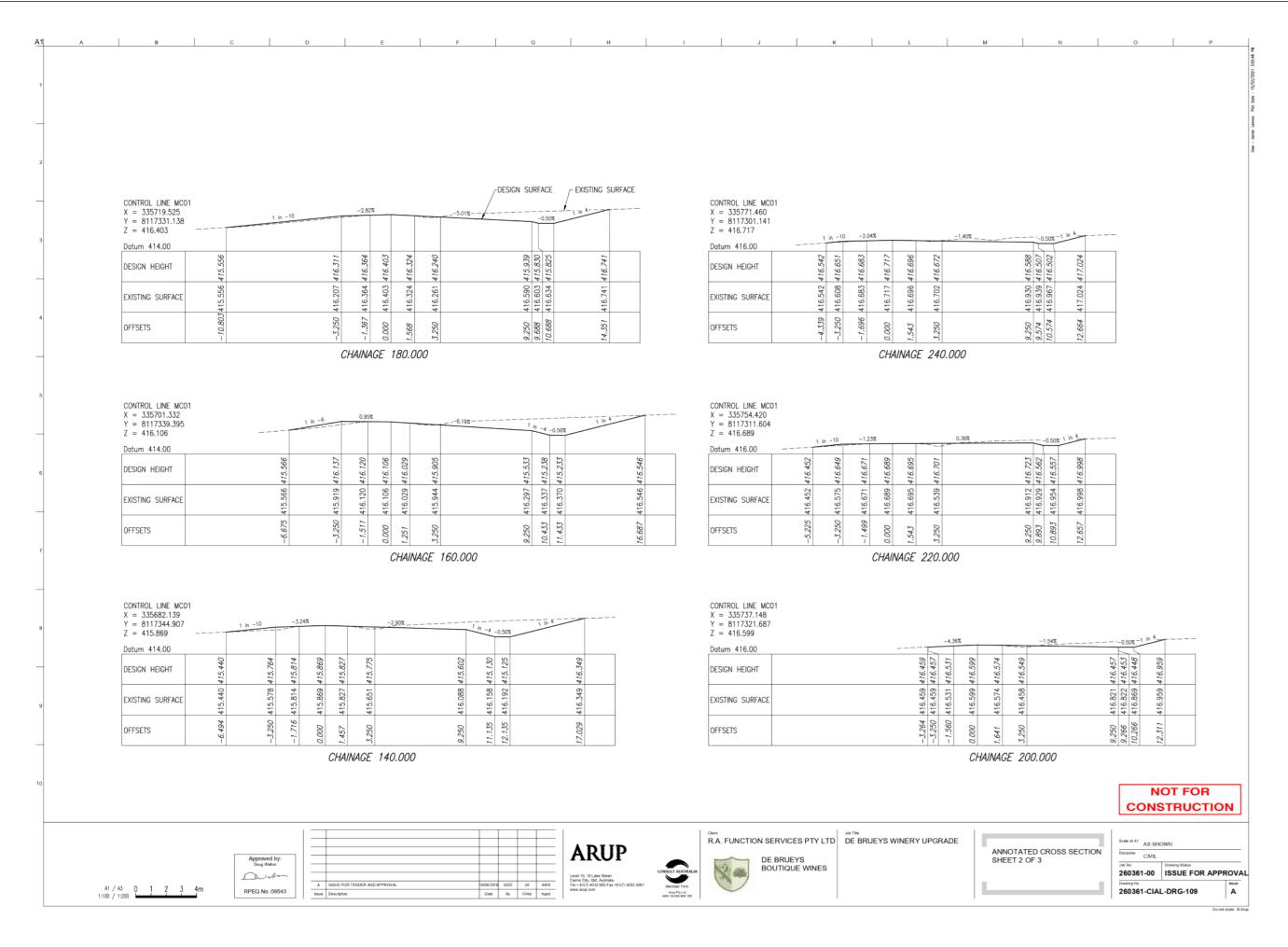


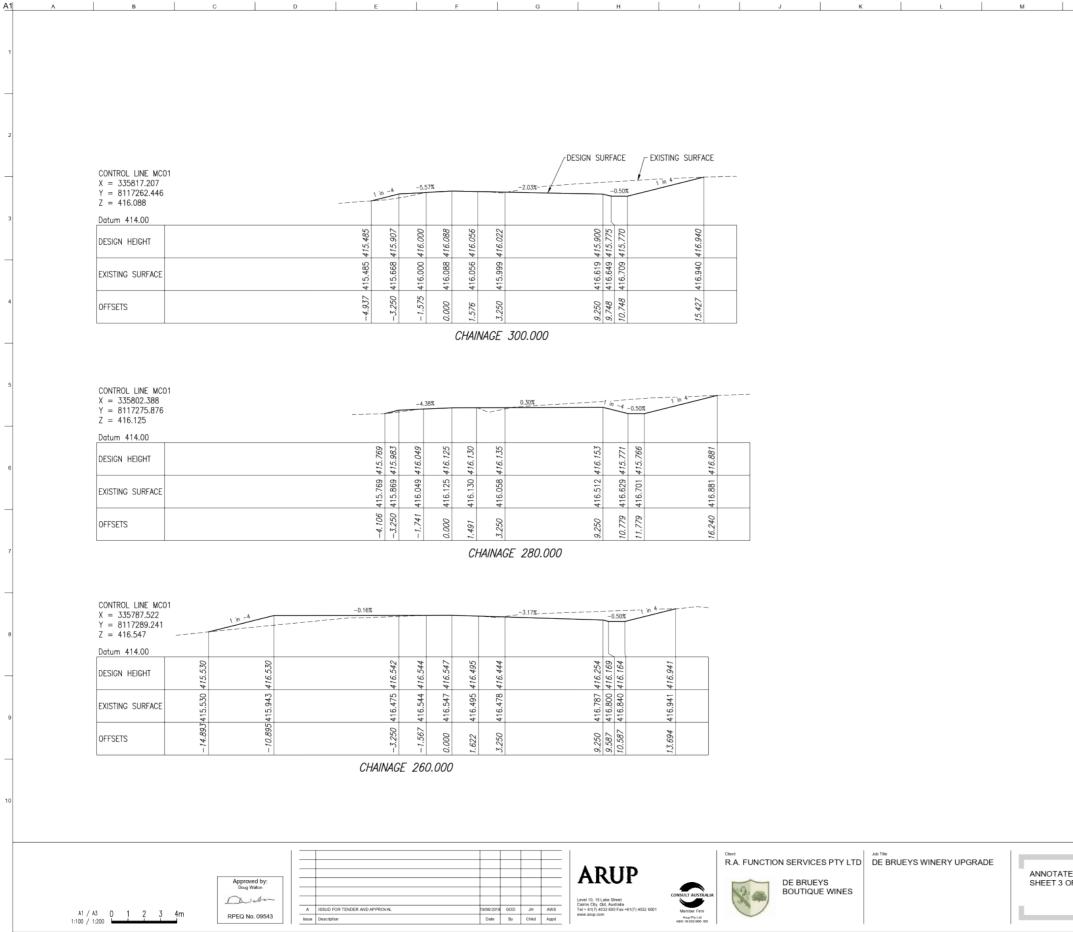




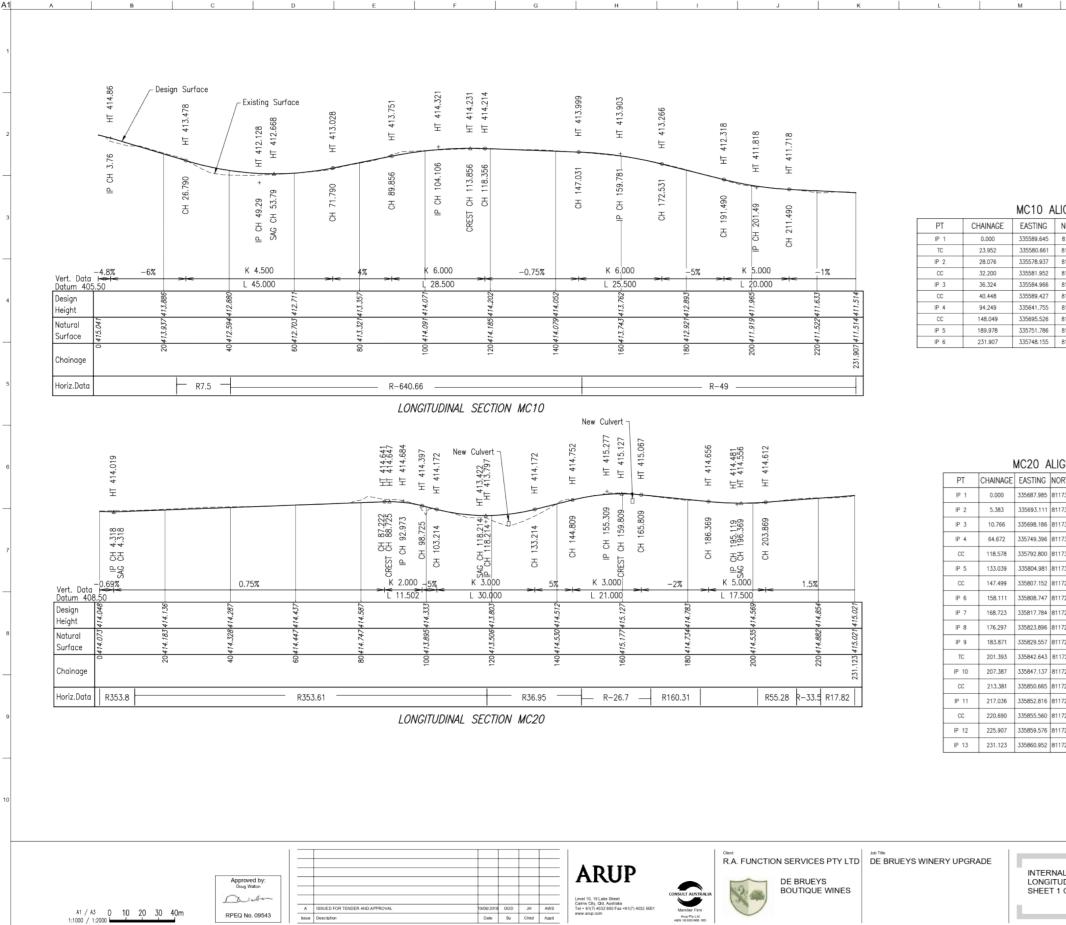








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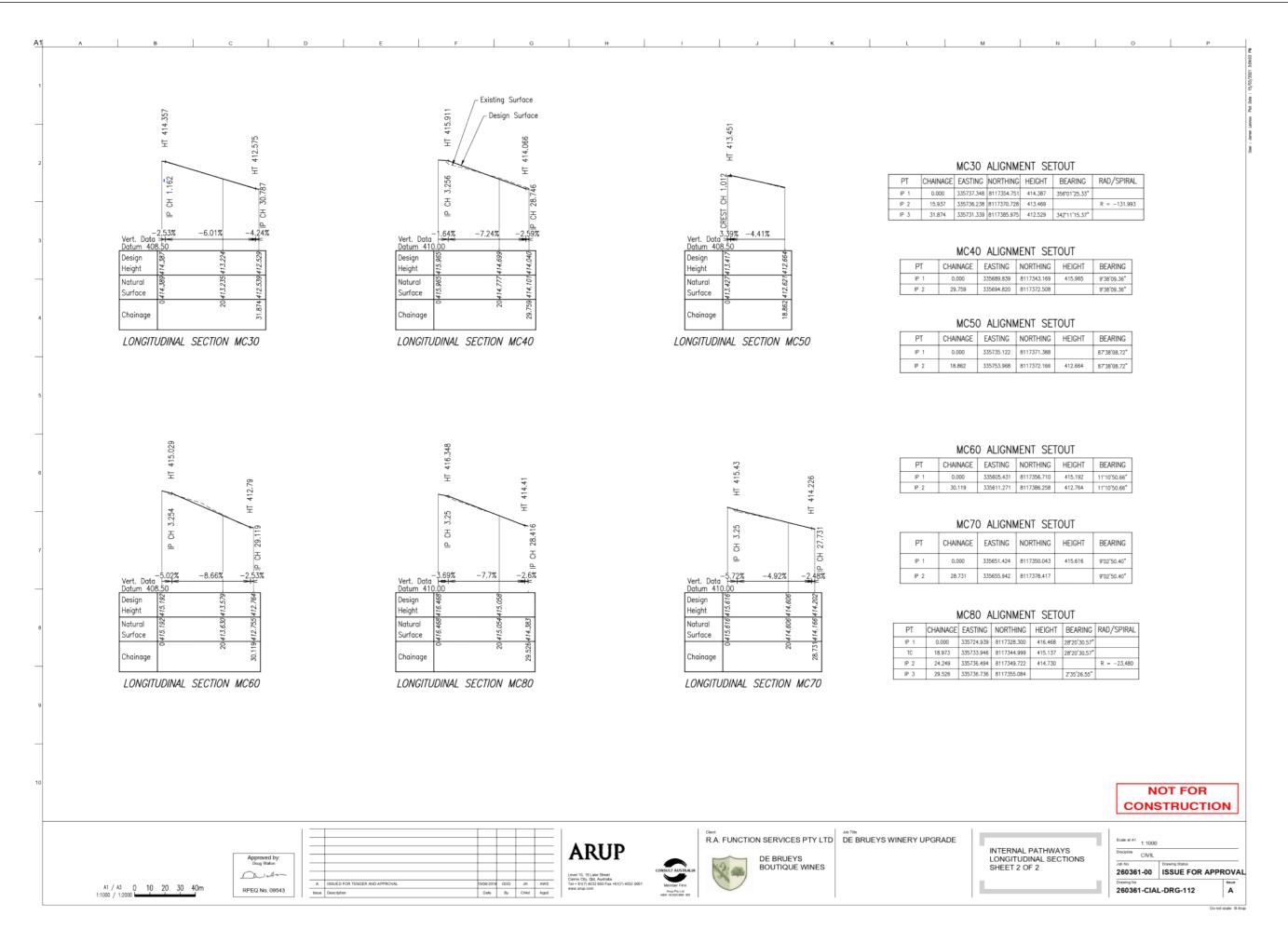
### MC10 ALIGNMENT SEOUT

NORTHING	HEIGHT	BEARING	RAD/SPIRAL
8117359.001		337"58'14.49"	
8117381.204	413.649	337"58'14.49"	
8117385.466	413.403		R = 7.500
8117388.936	413.186	40*58'46.74"	
3117392.406	413.007		R = 7.500
8117391.295	412.866	103*59'18.99"	
8117378.259	413.911		R = -640.660
8117374.154	413.991	94"21'55.97"	
8117369.859	412.394		R = -49.000
3117426.166	411.514	356"18'36.09"	

### MC20 ALIGNMENT SETOUT

		001	
RTHING	HEIGHT	BEARING	RAD/SPIRAL
7374.775	414.048	107*45'43.10"	
7373.133	414.026		R = 353.800
7371.335	414.067		
7353.197	414.472		R = 353.613
7320.524	413.798	126*58'18.65"	
7311.354	414.164		R = 36.951
7296.262	414.875	171*48'59.23"	
7285.168	415.122		R = -26.697
7278.538	415.009		
7274.054	414.857		R = 160.306
7269.013	414.706		
7257.361	414.581	131*40'55.12"	
7253.359	414.665		R = 55.283
7248.484	414.755	144*06'23.51"	
7245.512	414.810		R = -33.500
7243.076	414.865	131*36'20.63"	
7239.510	414.943		R = 17.822
7234.318	415.021	165'08'45.76"	

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L PATHWAYS IDINAL SECTIONS OF 2	Scale at A1 1:1000 Discipline C/VIL	)	
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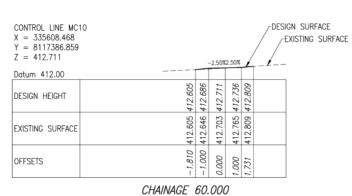
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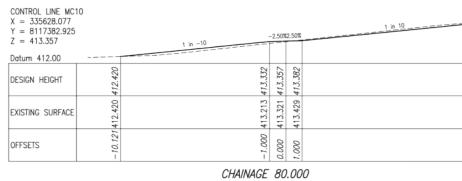
CONTROL LINE MC10 X = 335582.144 Y = 8117377.541 Z = 413.886		1 in 10-	- <u>2.</u> 50%	2.50%		
Datum 412.00						
DESIGN HEIGHT	414.004	413.861	413.886	413.911	413.908	
EXISTING SURFACE	414.004	413.964	413.937	413.909		
OFFSETS	-2.434	-1.000	0.000		1.026	
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X = 335588.989 Y = 8117391.390 Z = 412.880	-	1 in -10	-	-2.50%	2.50%	1 in -10	
Datum 412.00		1 11 10					
DESIGN HEIGHT	412.337		412.855	412.880	412.905	412.716	
EXISTING SURFACE	412.337		412.553	412.594	412.636	412.716	
OFFSETS	-6.179		-1.000	0.000	1.000	2.887	

CONTROL LINE MC10





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Clent R.A. FUNCTION SERVICES PTY LTD DE BRUEYS WINERY UPGRADE

CONTROL LINE MC10 X = 335647.798 Y = 8117379.604 Z = 414.071	
Datum 412.00	
DESIGN HEIGHT	414,035 414,035 414,046 414,188 414,188
EXISTING SURFACE	414.035 414.041 414.041 414.142 414.188
OFFSETS	-1.112 -1.000 -1.000 1.918 1.918
	CHAINAGE 100.000

CONTROL LINE MC10

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Y = 8117376.901 Z = 414.202	
Datum 412.00	
DESIGN HEIGHT	414,062 414,177 414,177 414,202 414,261
EXISTING SURFACE	414.062 414.128 414.128 414.261 414.261
OFFSETS	-2.143 -1.000 0.000 1.344
	CHAINAGE 120.000

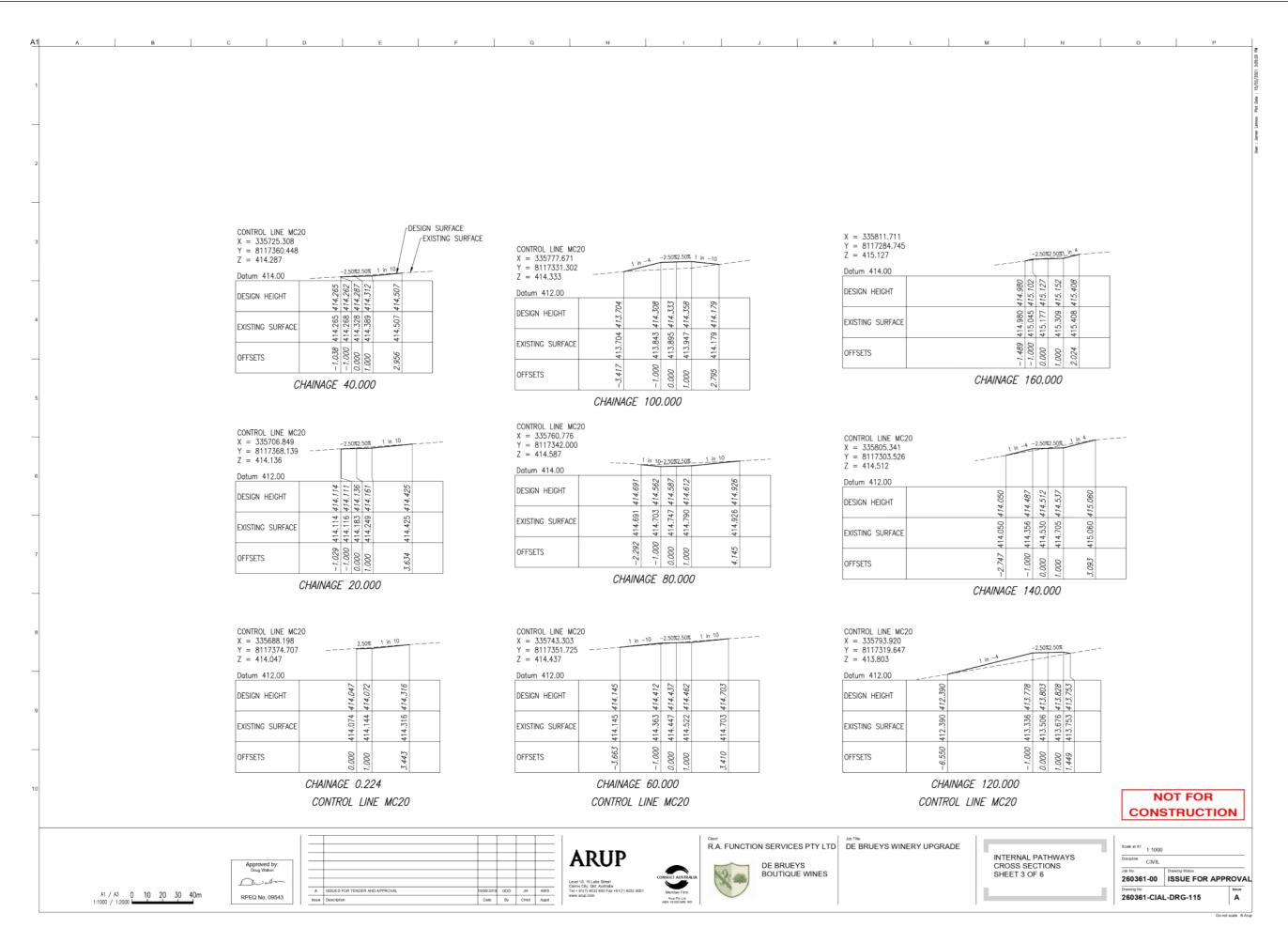
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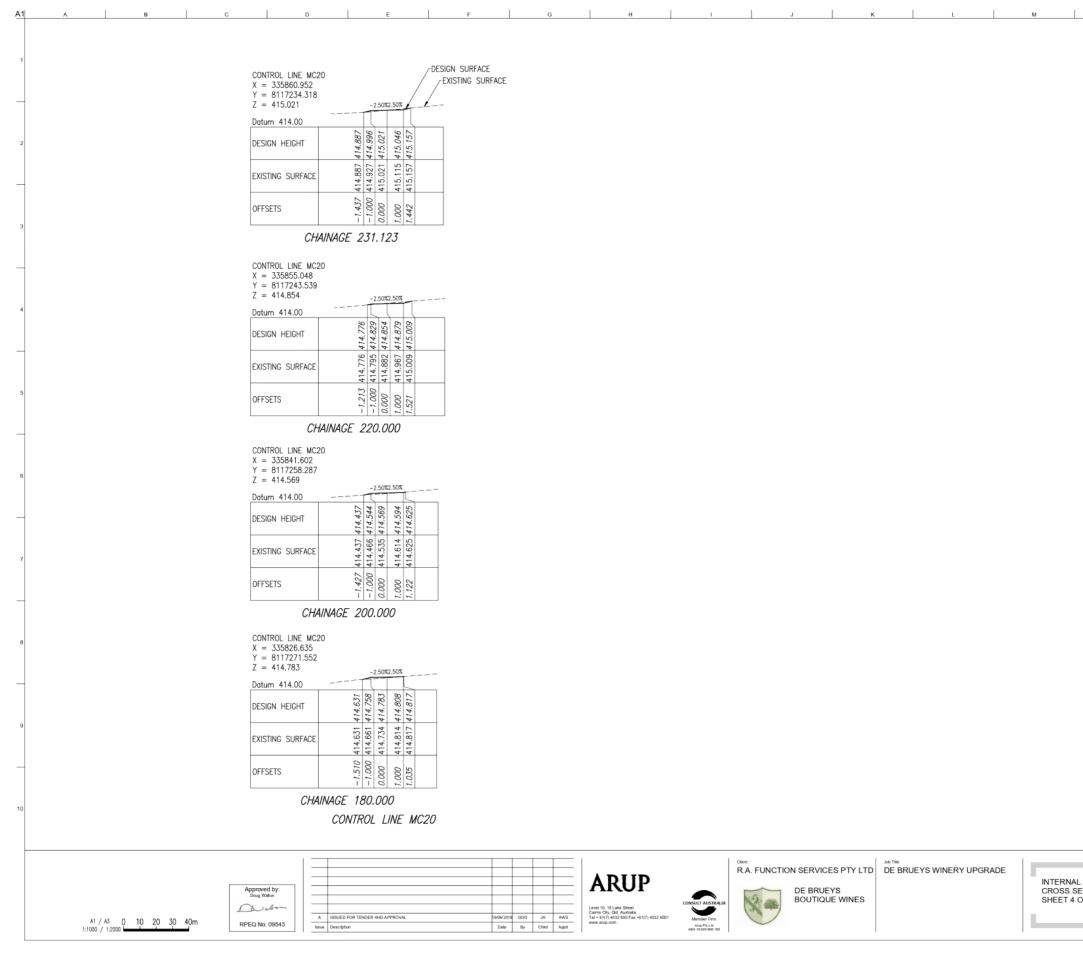
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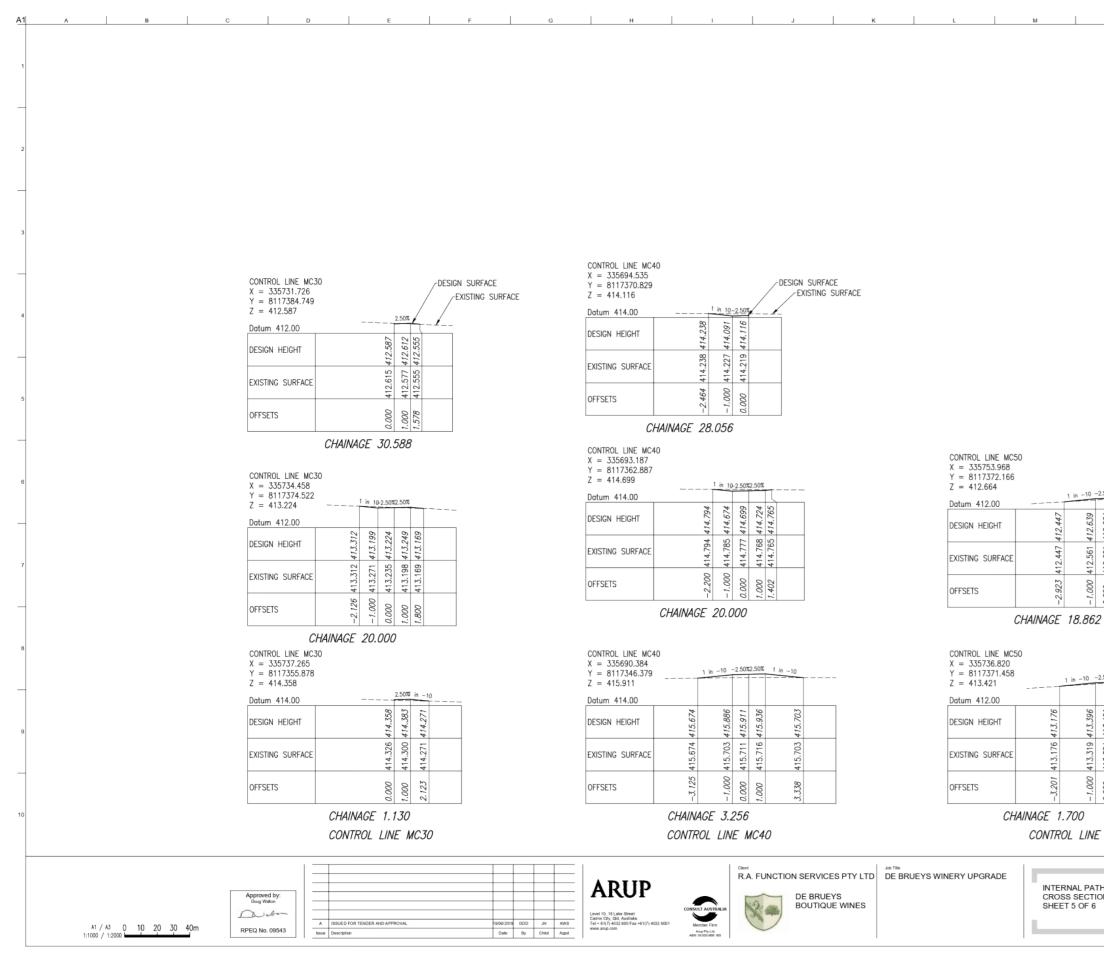


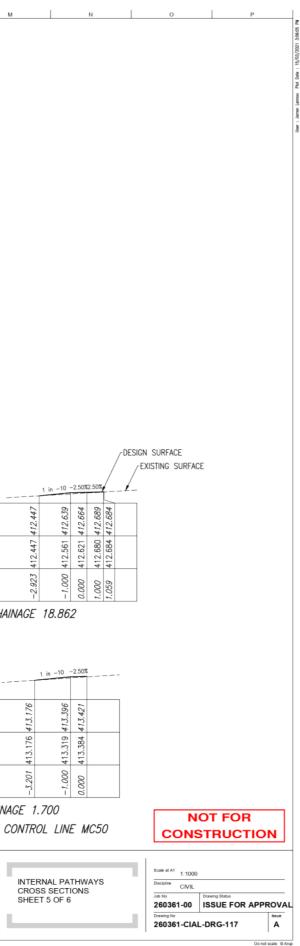
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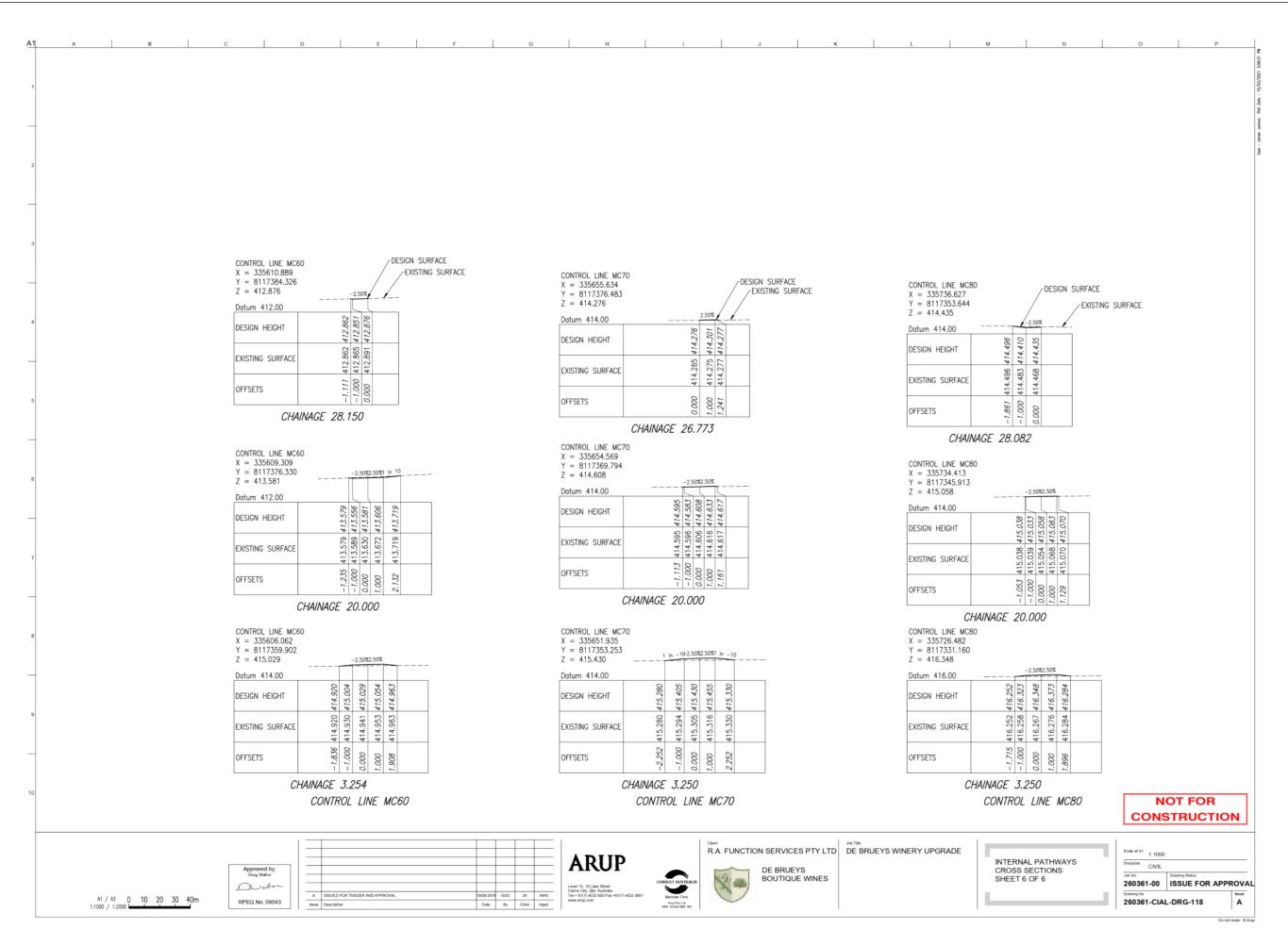


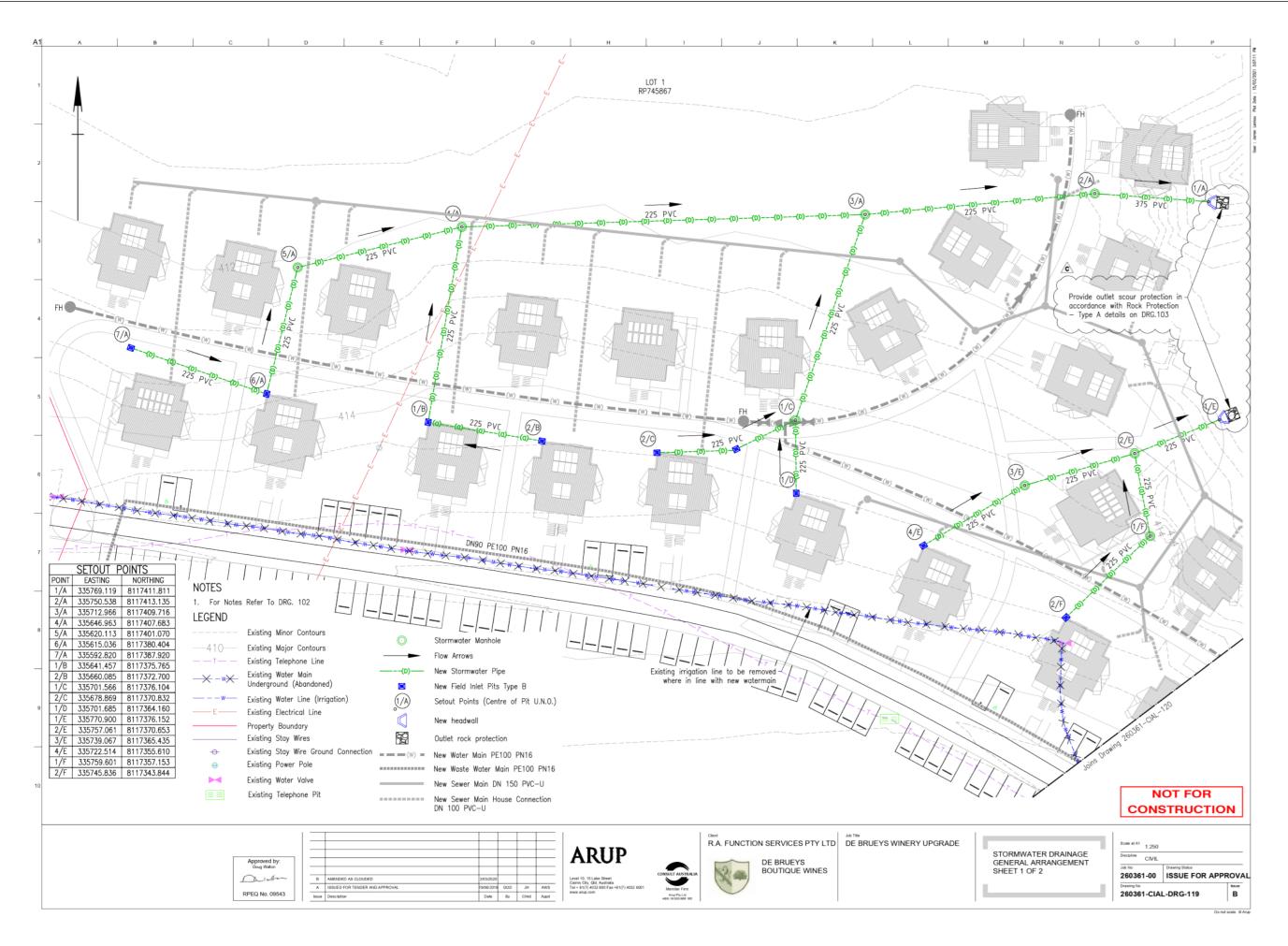


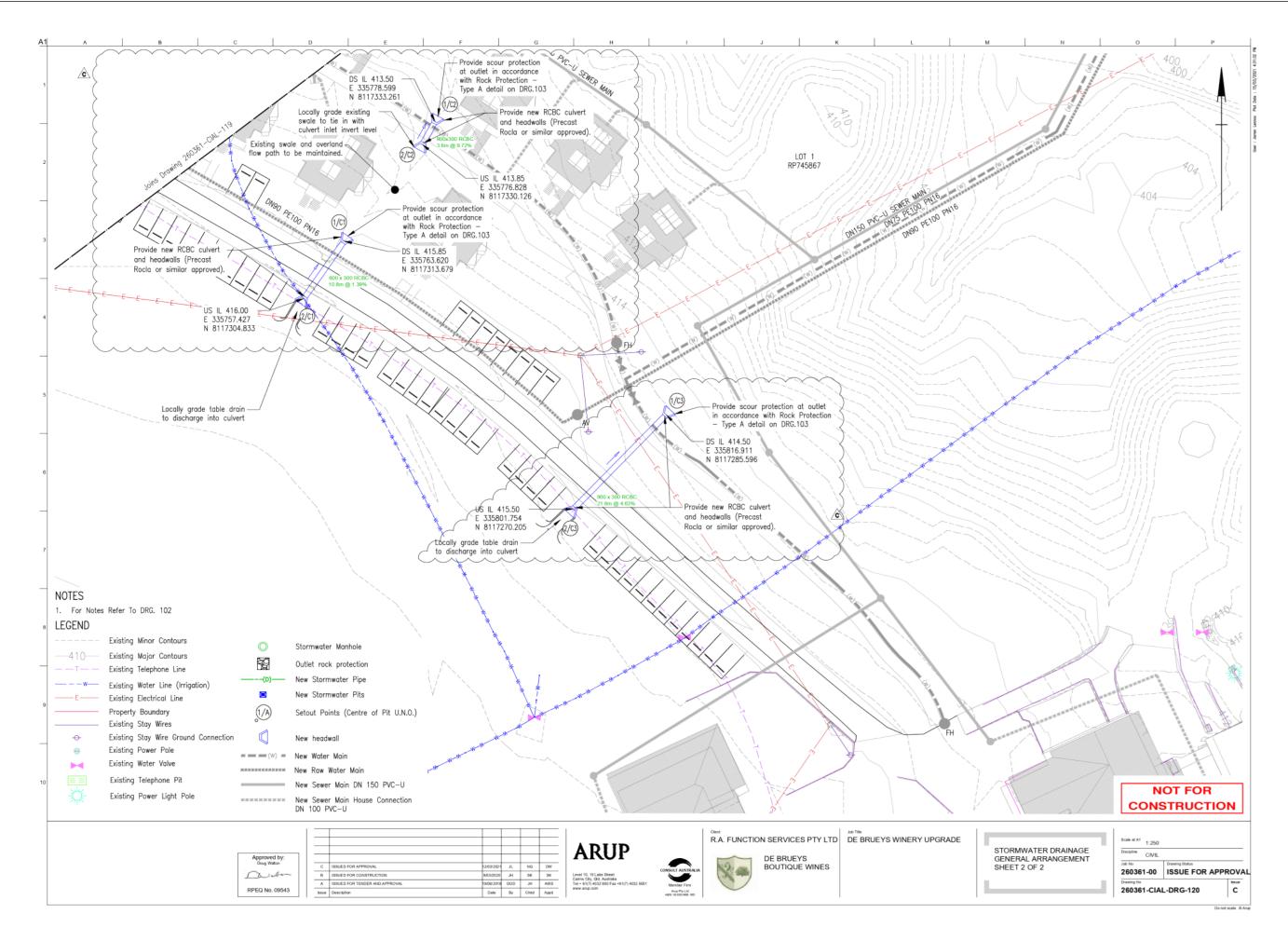
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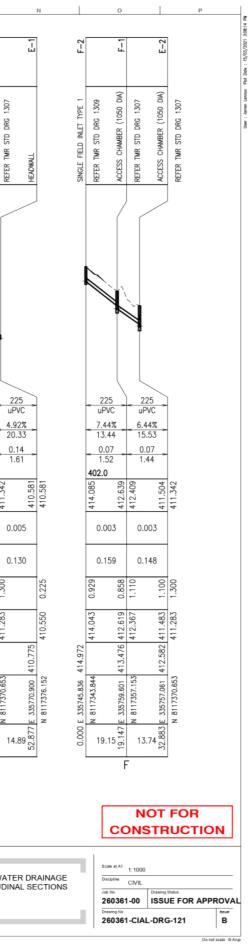


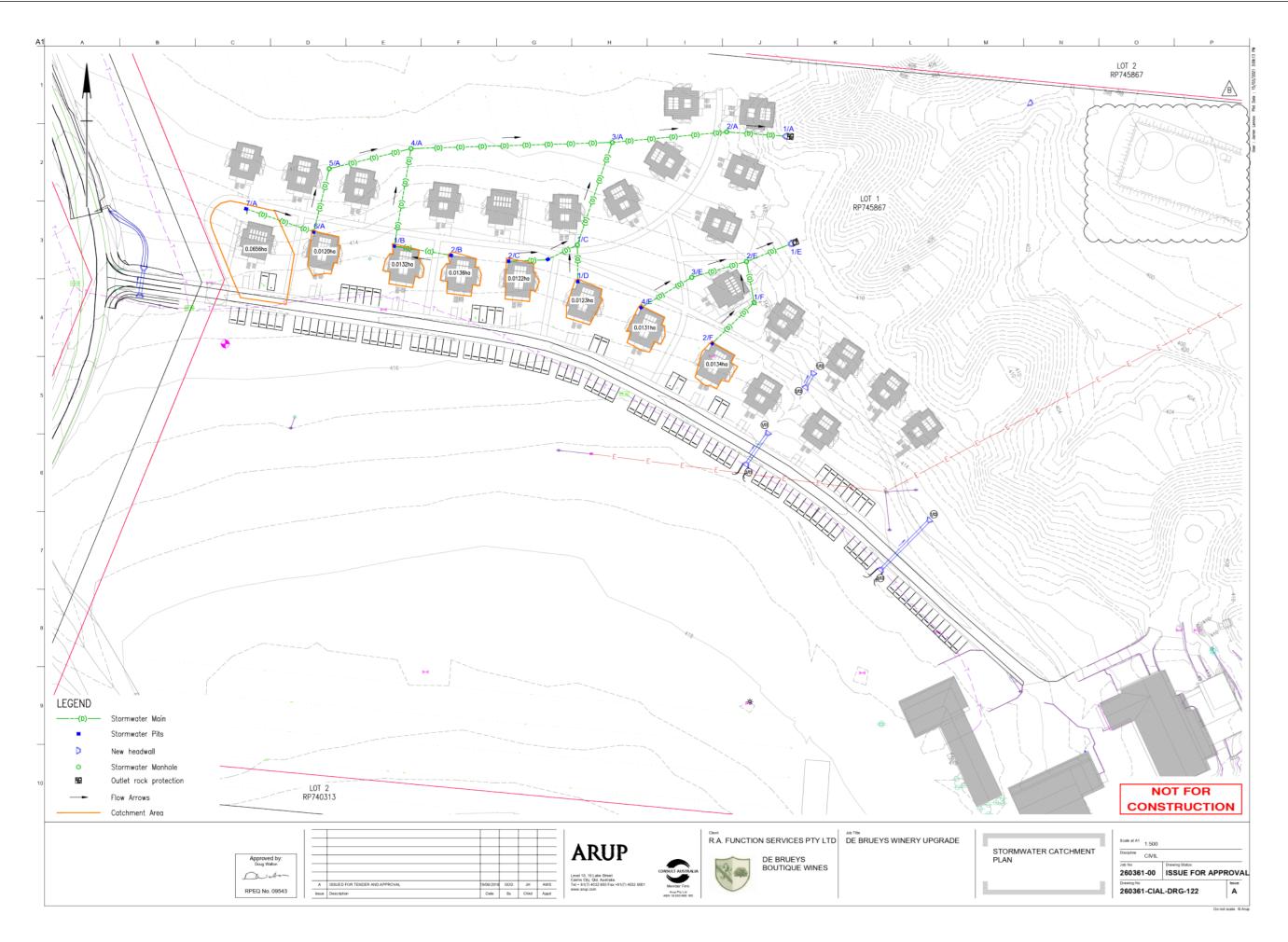




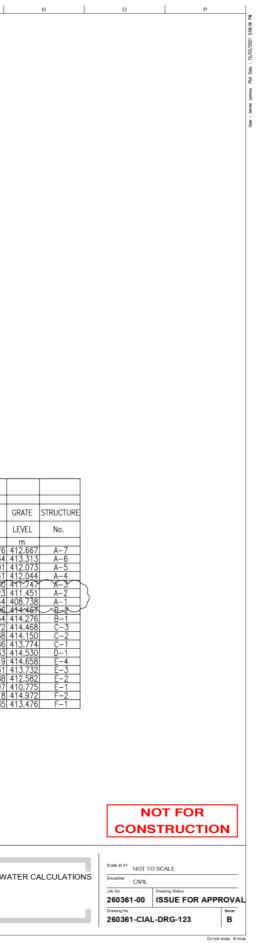


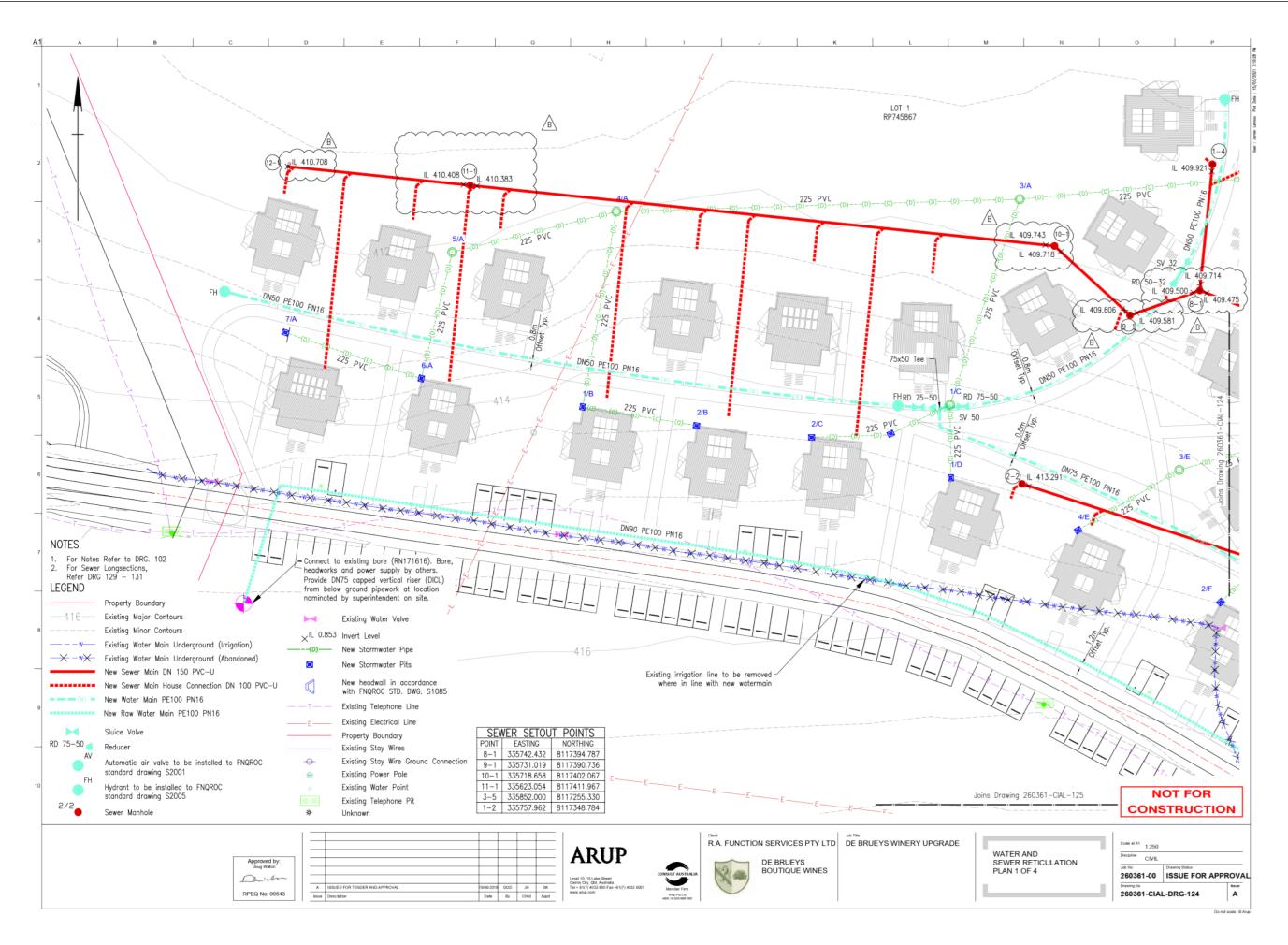
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PIPE SIZE (mm) PIPE CLASS/EXPOSURE PIPE GRADE (%) PIPE SLOPE (1 in X) FULL PIPE VELOCITY (m/s) PART FULL VELOCITY (m/s) DATUM RL HGL IN PIPE	225 uPVC 1.00% 100.00 0.34 1.20 400.0	225 uPVC 2.17% 46.07 0.40 1.65	225 uPVC 0.50% 200.00 0.40 0.97 56 126 126	225 uPVC 0.50% 200.00 0.52 1.04	292: 	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	225 uPVC 0.97% 0.333 15.48 0.07 0.14 0.75 1.77 401.0 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0	225 225 225 uPVC uPVC uPVC 1.20% 4.36% 5.55% 83.09 22.92 18.02 0.06 0.11 0.18 0.78 1.47 1.82 401.0 Ct 450 00 00 00 00 00 00 00 00 00 00 00 00 0	225 uPVC 5.63% 17.75 0.06 1.35 403.0 52 52 52 52 52 52 52 52 52 52 52 52 52	225 2: uPVC uF 4.57% 4.8 21.90 20 0.07 0. 1.28 1. 20 8 8 8
PIPE FLOW (m3/s - 10% AEP UNO)	0.014	910'0 411.621 411.121	410.959 910°0 410.814 410.637	0.021	410.300	97 409.059 9700 9700 409.056 409.427 408.427 408.427	6000 413.673 413.482 413.482 411.185 411.185 410.637	2000 413.742 413.576 413.576 413.576 413.576 413.725 410.723 410.723 410.123	600 600 412.911 412.725 412.725	0.00 2000 412.889 412.708
PIPE CAPACITY AT GRADE (m3/s)	0.058	0.086	0.041	0.041	0.04		0.057 0.148	0.064 0.122 0.138	0.139	0.125 0.
DEPTH TO INVERT	0.832	1.795	1.217 1.327 1.527		1.760	1.653 2.500 0.375	0.837 0.828 1.028 0.889 1.527	0.765 0.604 0.804 1.117 1.117 1.750	0.968 0.885 1.117 0.912	0.866
NVERT LEVEL	411.835	411.517	410.856 410.717 410.517		410.187 409.987	409.798 408.951 408.363	413.630 413.448 413.248 413.248 411.155 410.517	413.702 413.545 413.345 413.345 412.657 412.657 410.688 409.387	413.562 412.889 412.657 413.745	412.866
DESIGN SURFACE LEVEL	412.667		412.044		411.747	411.451	414.467 414.276 414.276 412.044	414.468 414.150 413.774 413.774 411.747	414.530 413.774 413.774 414.658	413.732
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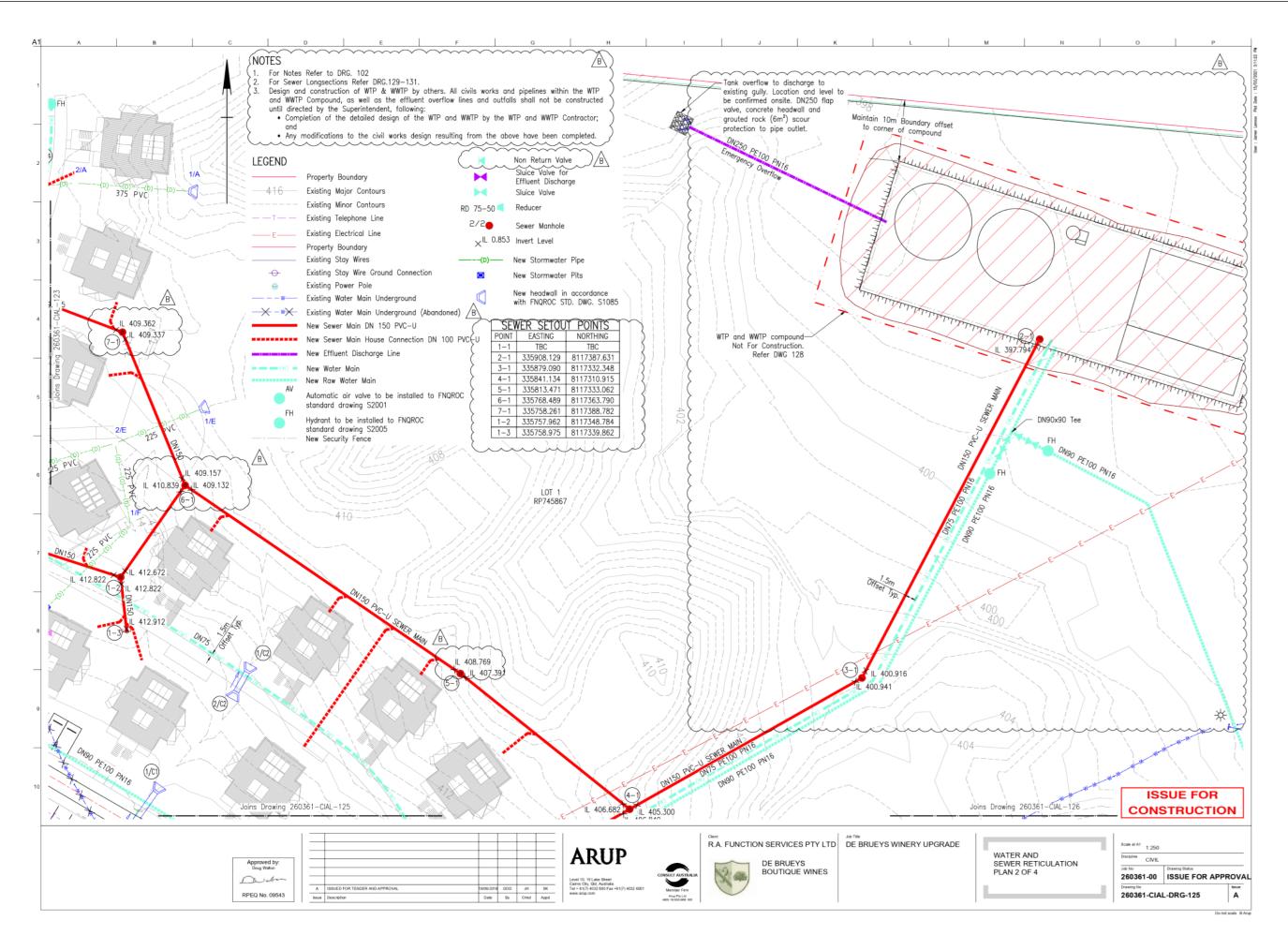


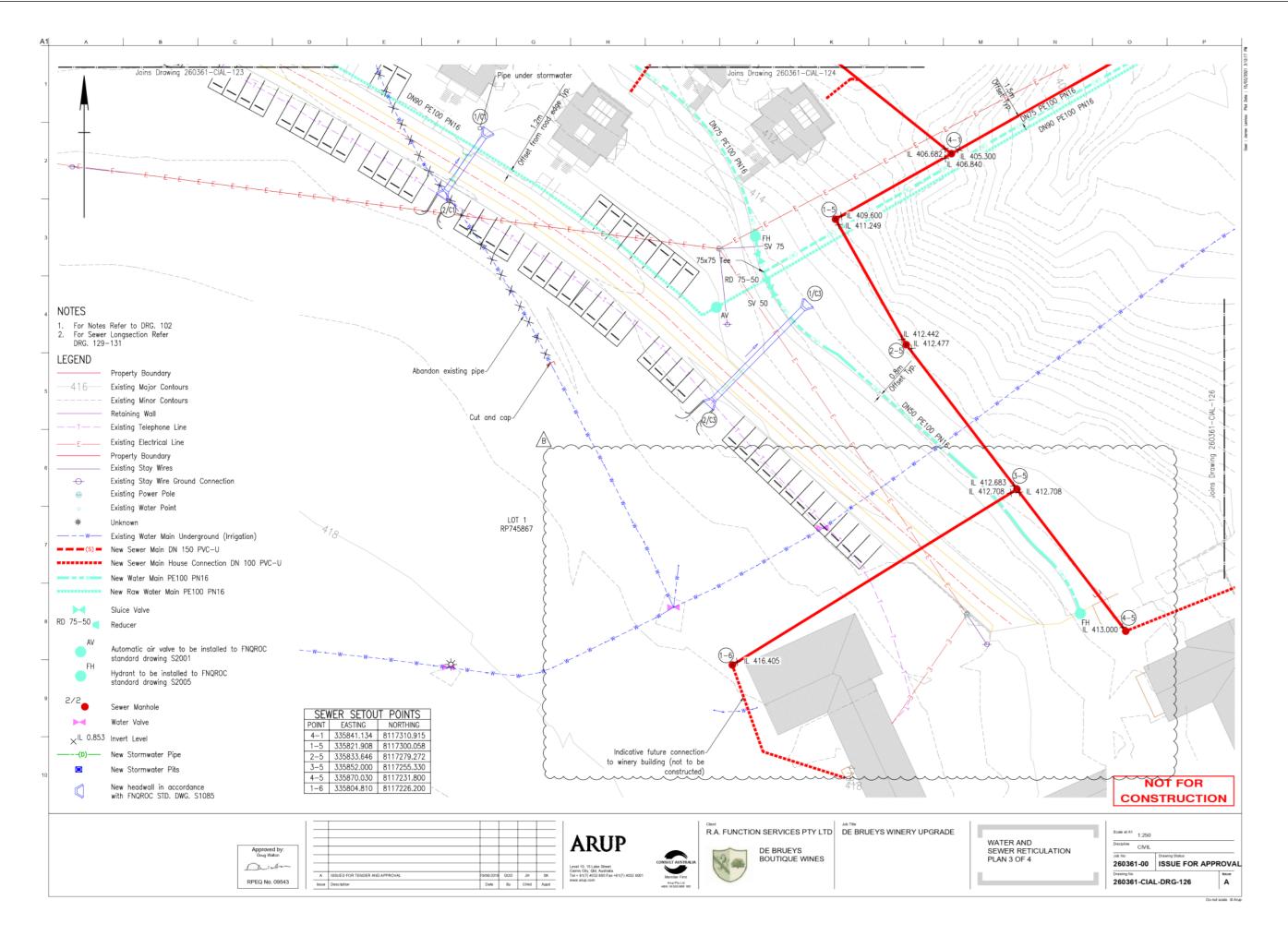


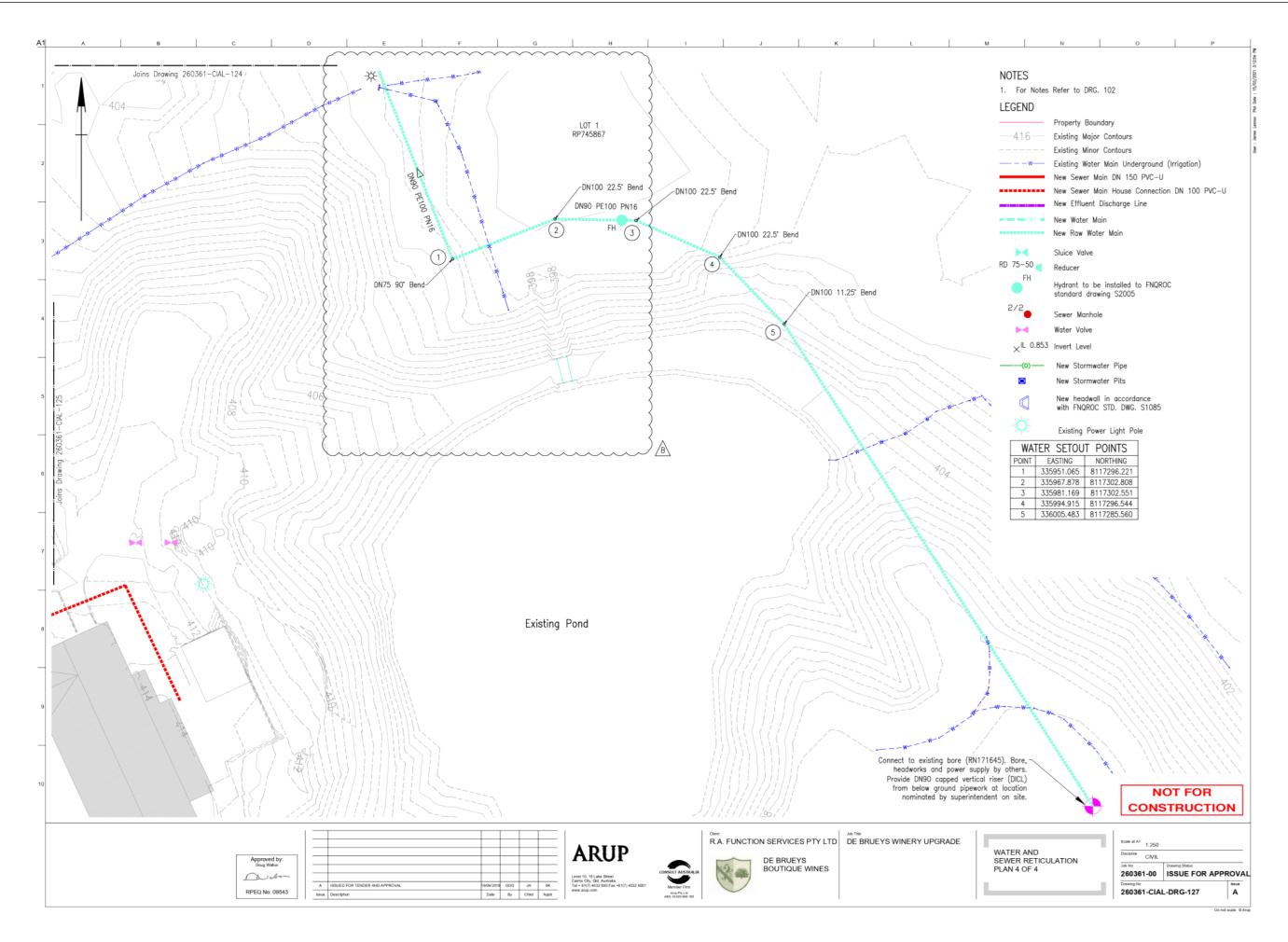
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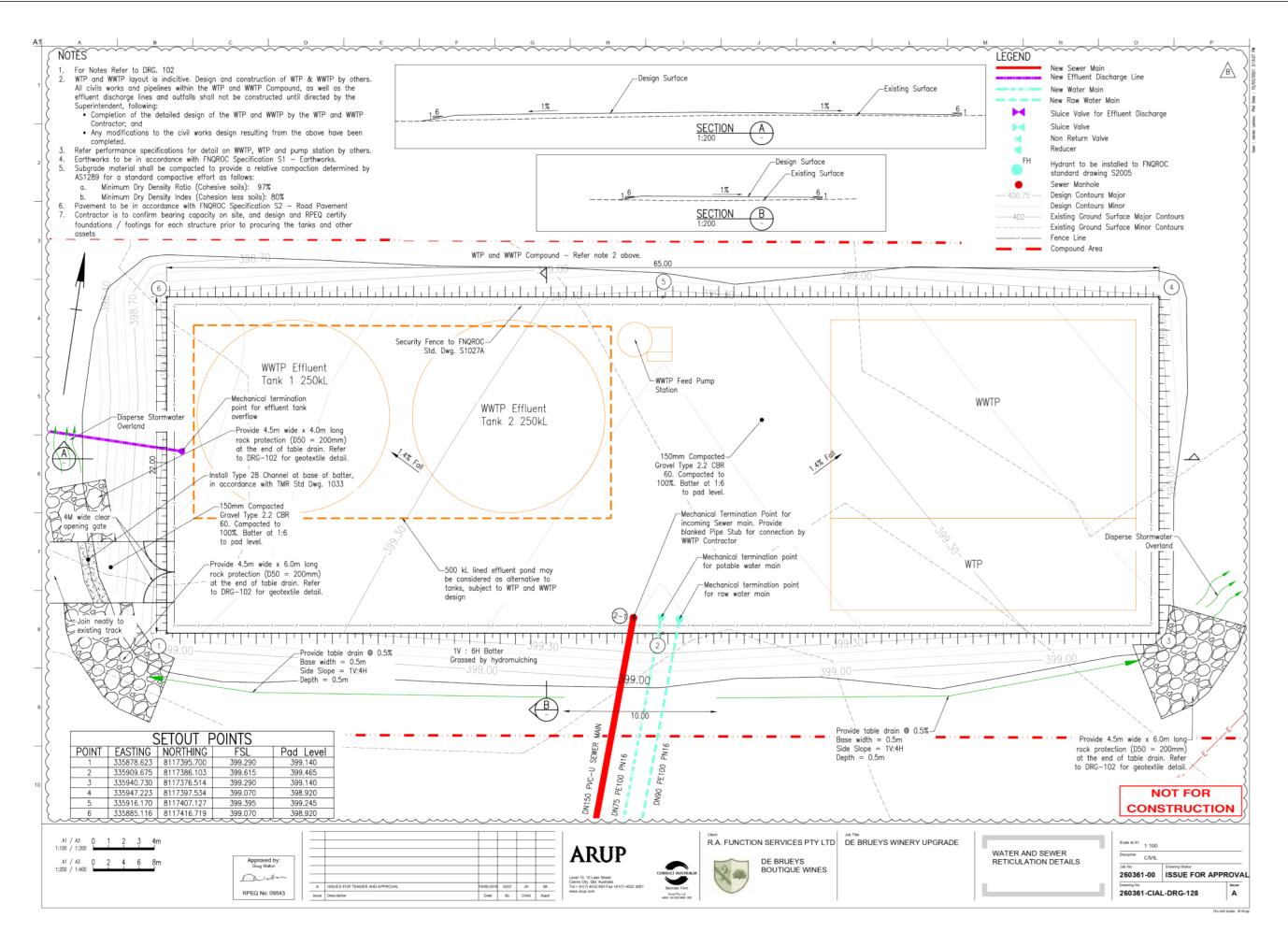


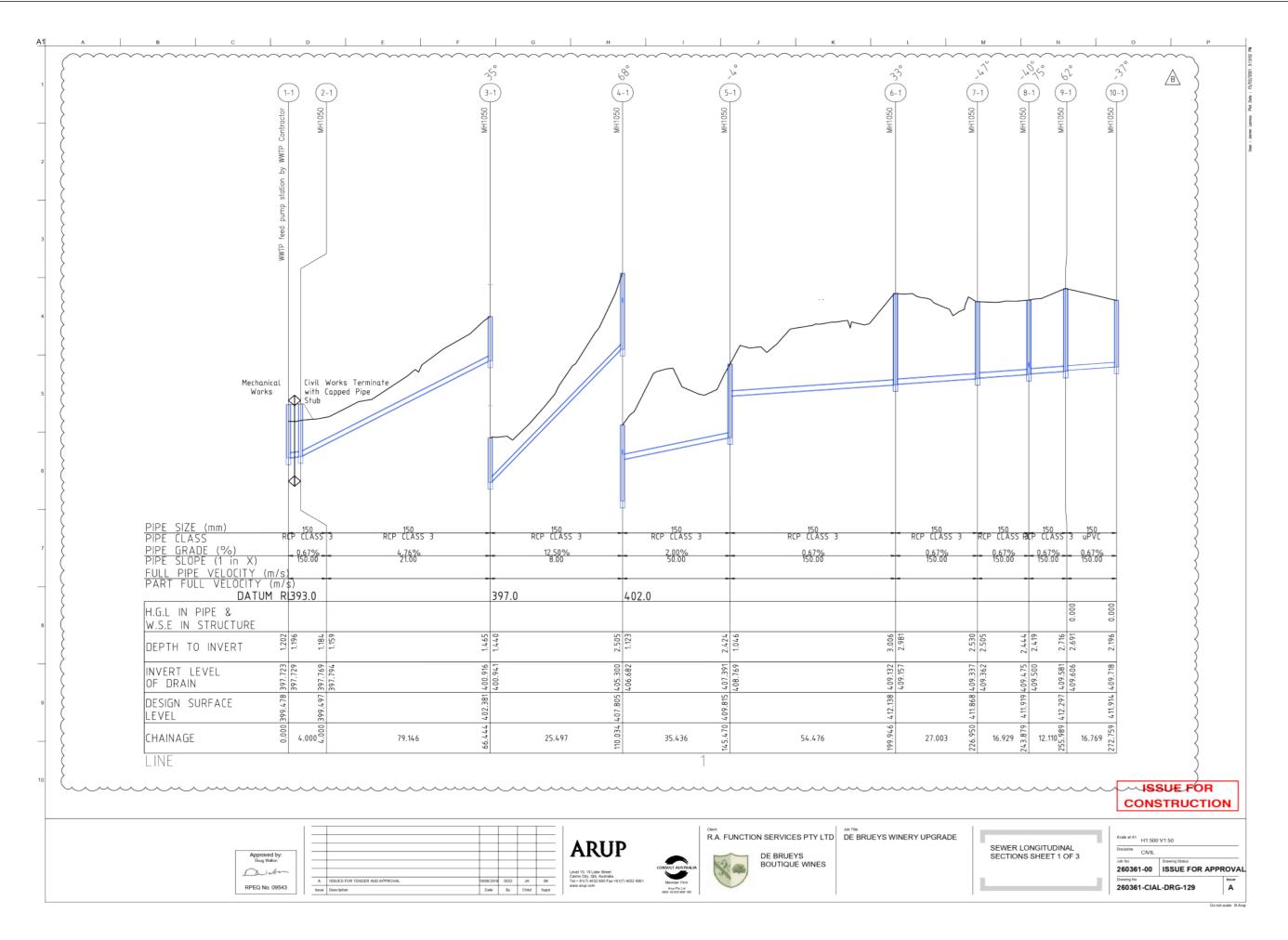






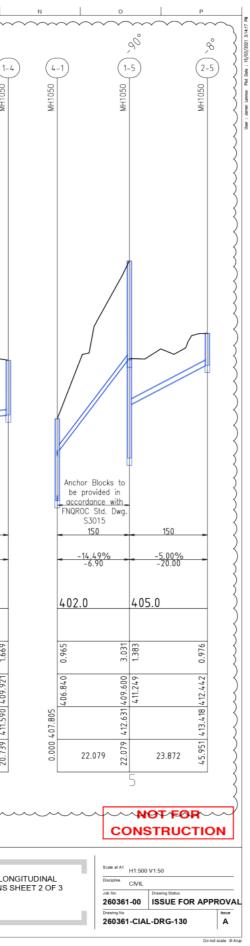


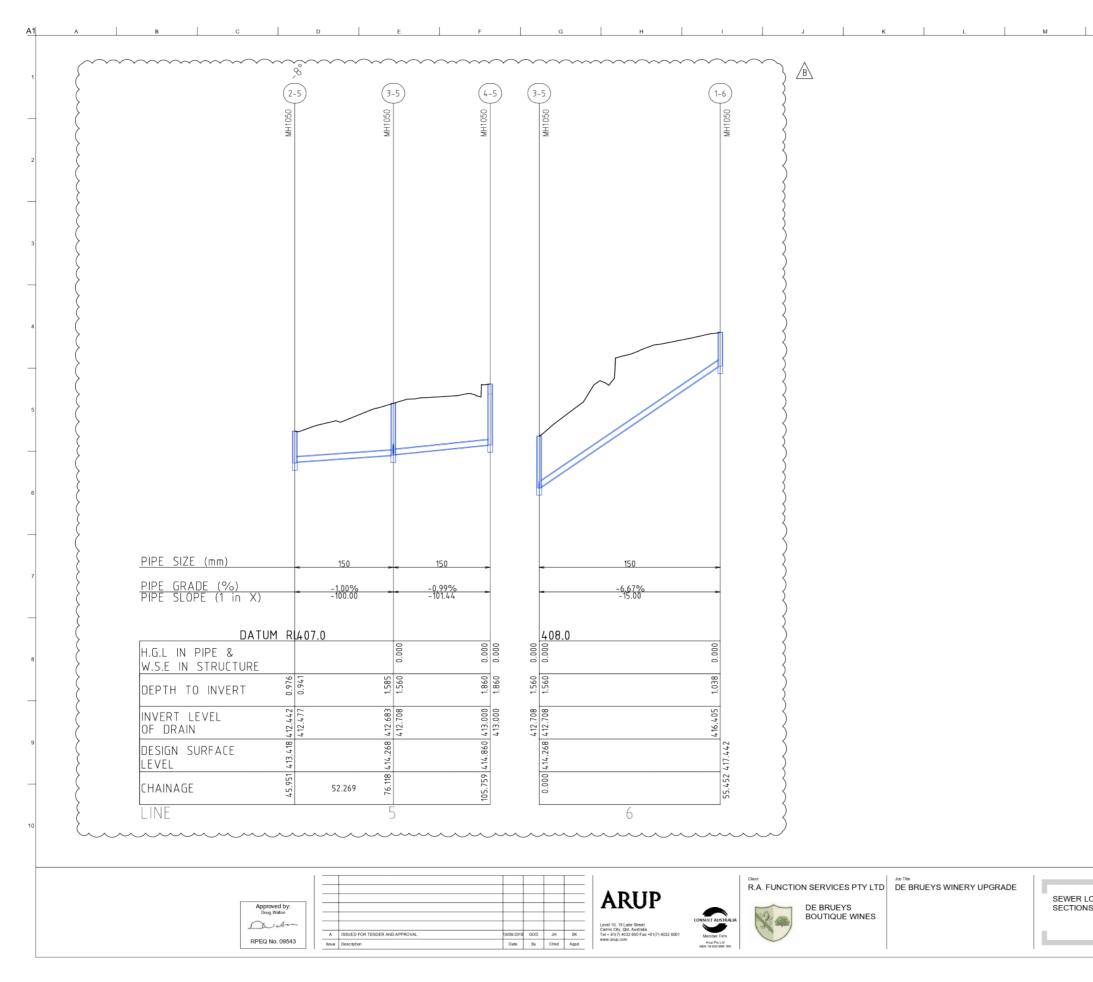




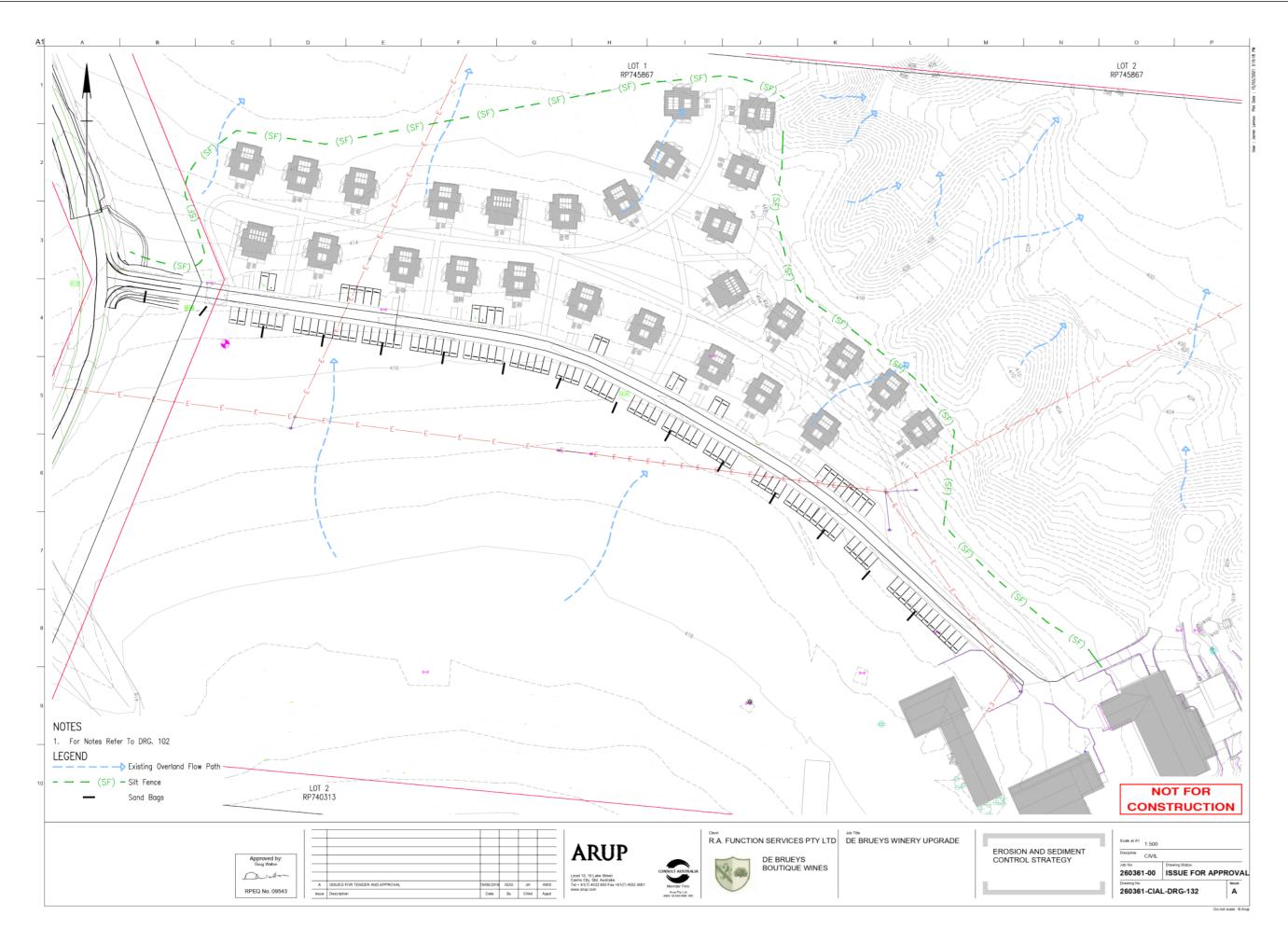
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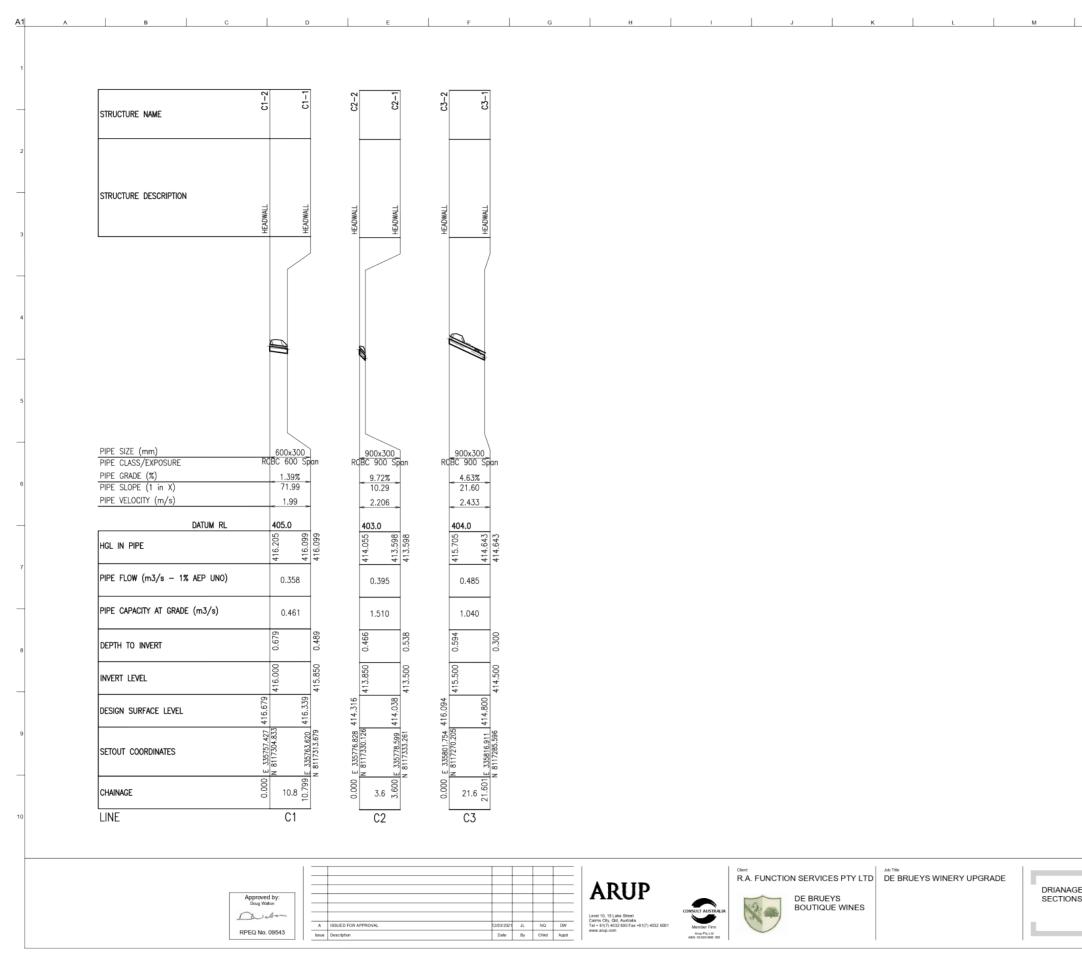




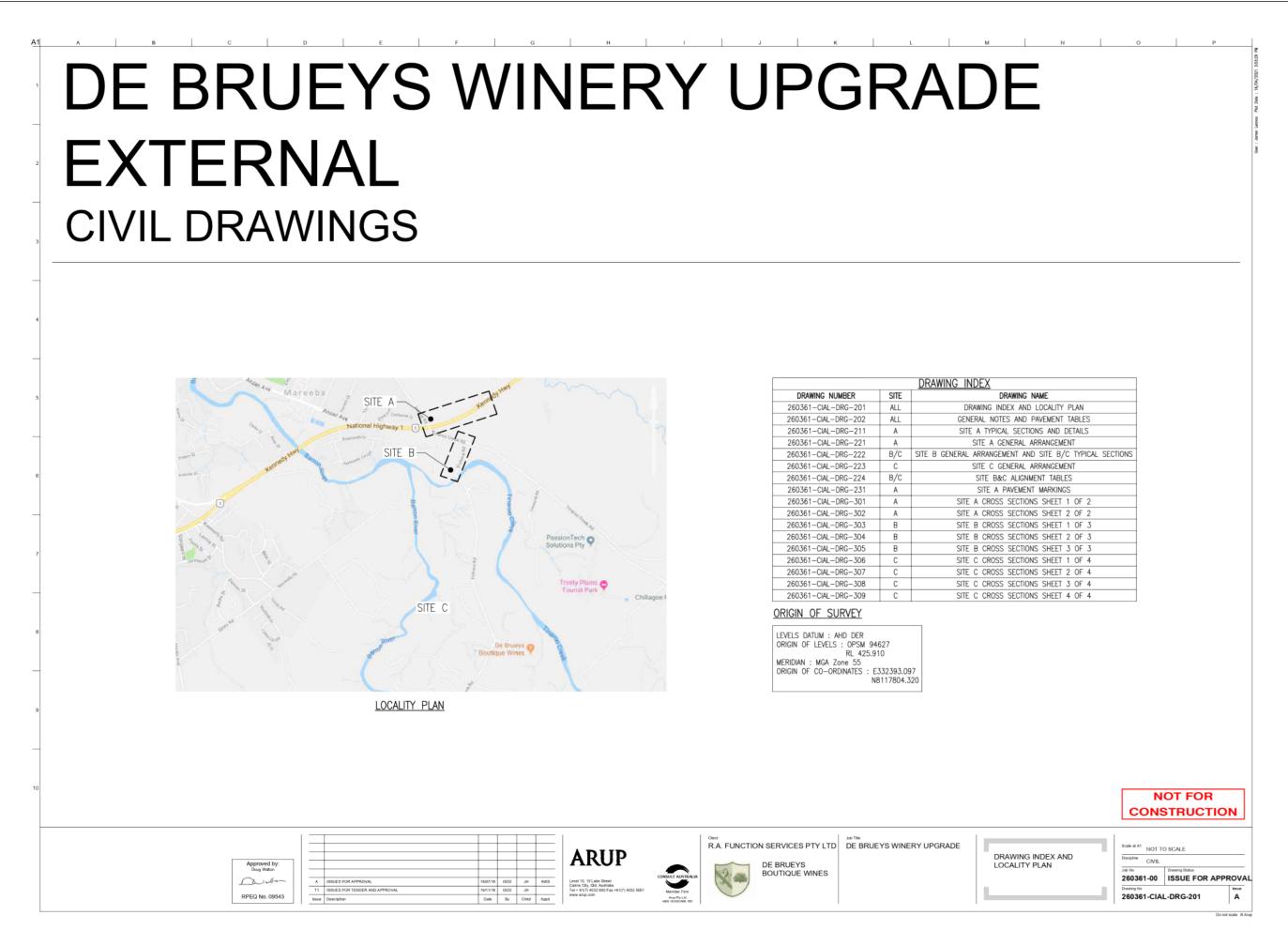


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#### GENERAL NOTES

- 1. All dimensions in metres unless noted otherwise.
- 2. All levels in AHD.
- 3. All works are to be carried out in accordance with the Golder's Geotechnical Report (1791863-001-R-Rev0-De BruevsLIV).
- 4. A Road Safety Audit (RSA) is recommend to be performed on the road as no design improvements have been included as a part of this works.

## EXISTING SERVICES

- 1 The location of utility services as shown on the General Arrangement have been determined from information supplied by survey and DBYD search. The services shown on these plans are provided for information only and no responsibility is taken for the accuracy or completeness of the information supplied. The contractor shall confirm the location, level and sufficient cover to all utility services on site prior to construction.
- 2. The Contractor is to ensure all services remain operational at all times. No work is to be carried out over utility services or within 3.0m of services without prior notification to the superintendent and obtaining approval to proceed.
- 3. Refer to the relevant Consultant's design drawings for information regarding relocations and/or adjustments of existing services. Refer to the relevant design drawings to consider proposed services before commencing earthworks.
- 4. Existing valves, hydrants, pits, manholes and water services shall be modified to suit final surface heights and roadworks.

#### DRAINAGE NOTES

- These notes are to be read in conjunction with the General Arrangement Plans.
- All drainage works are to be generally carried out in compliance with FNQROC Specification S4 Stormwater Drainage unless specified otherwise.
- 3. New works shall not be connected to existing downstream stormwater infrastructure until all stormwater infrastructure and the surrounding catchment is stabilised. This is to prevent sediment entering the stormwater system.
- 4. All field inlets/grated manholes and access lids/covers are to be wheelchair and bicycle safe in accordance with AS3996 and designed to load class D (210kN).
- Installation, bedding and backfilling to pipes shall be in accordance with FNQROC Standard Drawing S2016 for uPVCpipe, steel RHS pipes and S1046 for reinforced concrete pipes.
- The pipe class does not allow for construction loadings. 6. The Contractor shall certify that minimum cover for construction loads is accommodated.
- 7. The location and level of all services crossing proposed drainage lines must be confirmed prior to construction. Drainage line levels must be checked for conflict with services and advice sought from the Engineer/Designer if unsure.
- 8. Existing stormwater drainage pipes, gullies and manholes within the limits of construction shall be retained unless noted otherwise on the drawings.
- 9. Existing pipes shown to be abandoned are to be removed

or capped and grouted with fully flowable concrete. Existing drainage structures shown to be abandoned are to be demolished, debris removed and backfilled in accordance with the project specification.

- 10. Where a connection is to be made to an existing drainage pipe or drainage structure the level of that pipe or structure must be confirmed prior to the construction of the new drainage line.
- 11. Refer TMR STD. DWG. 1033 for kerb and invert notes and details.
- 12. Drainage outlet rock protection to be in accordance with DTMR MRTS03. Non-woven geotextile of Strength Class E and Filtration Class V to DTMR MRTS27 to be placed under and bedside all rock protection.
- 13. Culverts to match existing, new culverts are to be installed as per the drawings with upstream invert level (USIL) and downstream invert level (DSIL) on the drawings are indicative and are to be confirmed on site.

# EARTHWORKS NOTES

- All earthworks are to be in compliance with FNQROC specification S1 and AS3798, unless noted otherwise. 1
- Earthworks shall not encroach beyond defined property boundaries and limit of works (whichever is more stringent) unless approved by the Superintendent.
- Where proposed works join existing works or ground, the Contractor shall verify tie-in levels prior to commencement of construction.
- 4. All subgrade material shall be removed, replaced and recompacted to 97% standard compaction in accordance with ENOROC Specification S1.
- 5. Where the use of general fill is required a Class A material with a Min Soaked CBR of 10% (MRTSO4) OR Subtype 2.3 material is to be utilised.
- 6. Where existing ground surfaces are not required to be varied as part of the works, the Contractor shall restore them to the condition existing at the commencement of the work under the contract unless noted otherwise.
- The Contractor is to submit an Environmental Management 7. Plan, Erosion and Sediment Control Plan and Waste Management Plan to the Superintendent for approval.
- The Contractor shall ensure that the works are carried out 8 in accordance with all submitted plans during construction.
- The Contractor shall maintain adequate temporary drainage 9. measures to ensure works are free draining.

## EROSION AND SEDIMENT CONTROL

- The Contractor shall develop a detailed Erosion Sediment Control Plan (ESCP) for construction. The detailed ESCP shall be in accordance with the requirements below (based on the Queensland State Planning Policy, July 2017), and with all local planning requirement
- 2. The Contractor shall design temporary drainage works for the following design storms:
  - Disturbed area open for <12 months--1 in 2-year ARI event;
  - Disturbed area open for 12-24 months--1 in 5-year ARI event;
  - Disturbed area open for > 24 months--1 in 10-year ARI event;
  - Note that the design capacity excludes minimum 150mm freeboard;
  - Temporary culvert crossing--minimum 1 in 1-year

- ARI hydraulic capacity.
- 3. The ESCP shall meet the following erosion control objectives:
  - · Minimise exposure of disturbed soils at any time e.g. soil stockpiles and unfinished earthworks to be suitably stabilised if disturbance is expected to be suspended for a period exceeding 5 days. Divert water run-off from undisturbed areas around
  - disturbed areas; • Determine the erosion risk rating using local rainfall erosivity, rainfall depth, soil-loss rate or other
  - acceptable methods; Implement erosion control methods corresponding to identified erosion risk rating.
- 4. The ESCP shall meet the following sediment control
  - objectives: · Determine appropriate sediment control measures using either the potential soil loss rate, monthly erosivity, or average monthly rainfall;
  - Collect and drain stormwater from disturbed soils to sediment basin for design storm event: the design storm for sediment basin sizing is 80th% five-day event or similar:
  - Site discharge during sediment basin dewatering shall give TSS < 50 mg/l TSS, turbidity not >10% receiving waters turbidity, and ph 6.5-8.5.
- 5. The ESCP shall meet the following additional water quality objectives:
  - Avoid wind-blown litter; remove gross pollutants; Ensure there is no visible oil or grease sheen on
  - released waters;
  - Dispose of waste containing contaminants at authorised facilities.
- 6. The ESCP shall meet the following discharge rates into the receiving stormwater network or waterway: • For peak flow for the 1-year and 100-year ARI event, use constructed sediment basins to
  - attenuate the discharge rate of stormwater from the site
- 7. The Contractor shall ensure that erosion and sediment controls are maintained and in good working order at all times. The Contractor shall visually inspect ESC controls on a daily basis, and maintain records of these checks.
- Tubestock Mix for the Rock protection areas (1m offset 8. to rock edge)
- Tubestock Planting Mix: (Planting density: 4 tubes/1m<sup>2</sup>) - Lomandra Longifolia
- Lomandra Hystrix
- Themeda Australis
- Ficinia Nodosa

- Refer

3.2.1

Frangible Hyrdomulch Grass Seed Mix - for all batters 9. (1:4)

- Hydromulch Mix (Seed species below)

ing Rates Kg/Ha) (section
ix Table (Clause 7.4.1.5)
drain

10. Grass - Grass seed - Cynodon dactylon (Ground Couch) - (Refer to MRTS16 spec)

PAVEMENT NOTES

All pavement works are to be in compliance with FNQROC 1. Specification S2 and S7 unless noted otherwise

2. Prior to construction any soft or wet subgrade soils are to be

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FNQRC • • • • • • • • • • • • • • • • • • •	ied and replaced with select material in accordance with DC Specification S2. The process to identify the soft or wet subgrade locations shall include an initial proof roll of the exposed subgrade (lower side of design subbase level). The proof roll shall be completed in accordance with MRTSO4. Any area of subgrade displaying visual deflection under load, throughout the duration of the proof roll shall be marked for Dynamic Cone Penetrometer (DCP) testing. DCP testing shall be undertaken to a minimum depth of 1.0 m below subgrade level in the areas of soft subgrade identified during proof roll. Where the DCP test indicates an inferred subgrade CBR strength less than CBR 3%, a minimum 250 mm of the subgrade shall be replaced with MRTSO5 Subtype 2.3 material, unless otherwise stated in the povement design profiles. e existing pavement is to be widened, the Contractor confirm the existing profile and depths of layers at ce. Where the existing pavement is thicker than the sed design, the subgrade of the proposed pavement e is to be increased to match the existing.		Refer proposed pavem These are based on r Geotechnical Report w in accordance with se be confirmed on site Specification (Road Po All pavement markings with DTMR document: Devices (MUTCD). Pavement markings to DTMR document: MUTC	ecommendations hich assumes si ction 9.1.1 of ti by the Contract wements) for de are to be appi Manual of Unifo	of Golder's te is to be prep he report. CBR i or, refer FNQROC stails. lied in accordance rm Traffic Contro	ce ol
ROPOS	SED PAVEMENT DESIGN					
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	Based on Design CBR = 10%, DT					
	in Accordance with Austroads Figure 8.4 - Design C Bituminous Surfacings	hart for Li	ghtly Trafficked Granular	Pavements		
	10mm Aggregate C320 Bitumen Seal (Second Coat) -	- Aggregat	e Application Rate 150	m²/m³ Binder		
-	Application Rate 1.2L/m <sup>2</sup>			,		
-	16mm Aggregate C320 Bitumen Seal (First Coat) - / Application Rate 1.6L/m²	Aggregate /	Application Rate 95 m <sup>*</sup> /	'm'; Binder		
-	Prime AMCO					
150mm	Type 2.1 Base Course (Includes 20mm construction t	tolerance.)				
150mm	Type 2.3 Subbase Provisional (if ordered) geogrid wrapped Type 2.3 ma	itacial with	P. or. C. grading, apuelos	o ouborado		
250mm	treatment see pavement note 2.	iteriui with	B or C grading envelop	e, subgrade		
Varies	General Fill (where required) Class A MRTS04 Min Soc		<u></u>			
300mm	TOTAL DEPTH (including 20mm construction tolerance. Design Subgrade CBR = 10%	. Excluding	improved subgrade tree	stment)		
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	Proposed Pavement Des		E DECA-			
Designed	Based on Design CBR = 10%, DT in Accordance with Austroads Figure 8.4 - Design C			Pavements		
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_	10mm Aggregate C320 Bitumen Seal (Second Coat) -	— Aggregat	e Application Rate 150	m²/m³;		
	Binder Application Rate 1.2L/m <sup>2</sup> 16mm Aggregate C320 Bitumen Seal (First Coat) - A	Agaregate	Application Rate 95 m <sup>2</sup> /	m <sup>3</sup> : Binder		
-	Application Rate 1.6L/m <sup>2</sup>		+F************************************	,		
-	Prime AMCO					
150mm 150mm	Type 2.1 Base Course (Includes 20mm construction t Type 2.3 Subbase	tolerance.)				
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	treatment see pavement note 2.	Evoluting	improved exhanade tree	atmost)		
300mm -	TOTAL DEPTH (including 20mm construction tolerance. Design Subgrade CBR = 10%	. Excluding	improved subgrade tree	annenc)		
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	Proposed Pavement Des Based on Design CBR = 2%, DT		5 DESAs			
Designed	in Accordance with Austroads Figure 8.4 - Design C			r Pavements		
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-	10mm Aggregate C320 Bitumen Seal (Second Coat) Binder Application Rate 1.2L/m²	— Aggrega	te Application Rate 150	m*/m*;		
	16mm Aggregate C320 Bitumen Seal (First Coat) -	Aggregate	Application Rate 95 m <sup>2</sup>	/m³; Binder		
-	Application Rate 1.6L/m <sup>2</sup>					
- 150mm	PRIME AMCO Spray Rate 1.0L/m <sup>2</sup> Type 2.1 Base Course (Includes 20mm construction 1	tolerance )				
150mm 330mm	Type 2.3 Subbase (Placed in Two Layers)	toler unice.)				
150mm	Provisional (If Ordered) Geotextile wrapped Type 2.3	material wi	th B or C grading enve	elope		
480mm	TOTAL DEPTH (including 20mm construction tolerance	, excluding	Improved Subgrade)			
-	Design Subgrade CBR = 2%					
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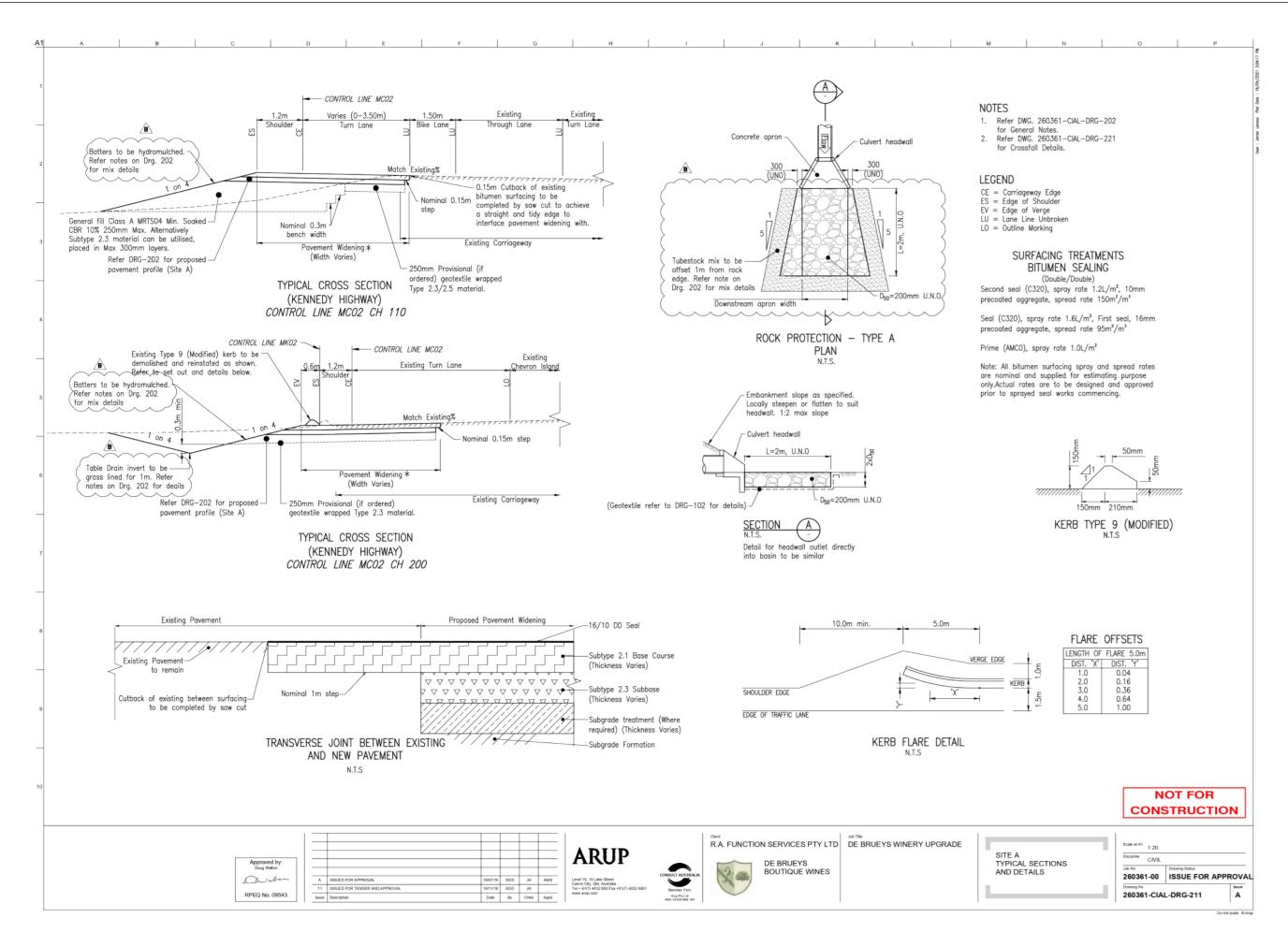
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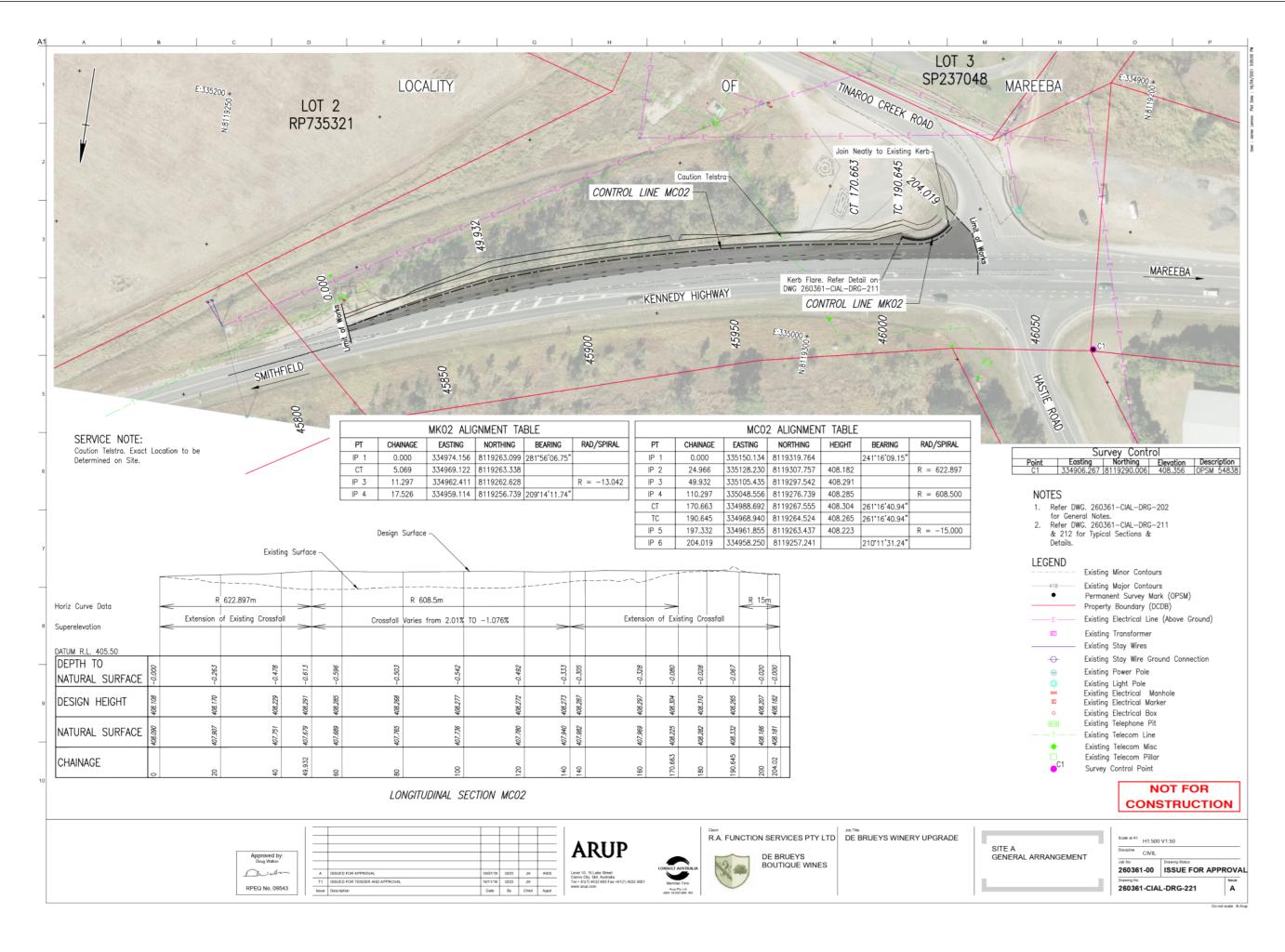
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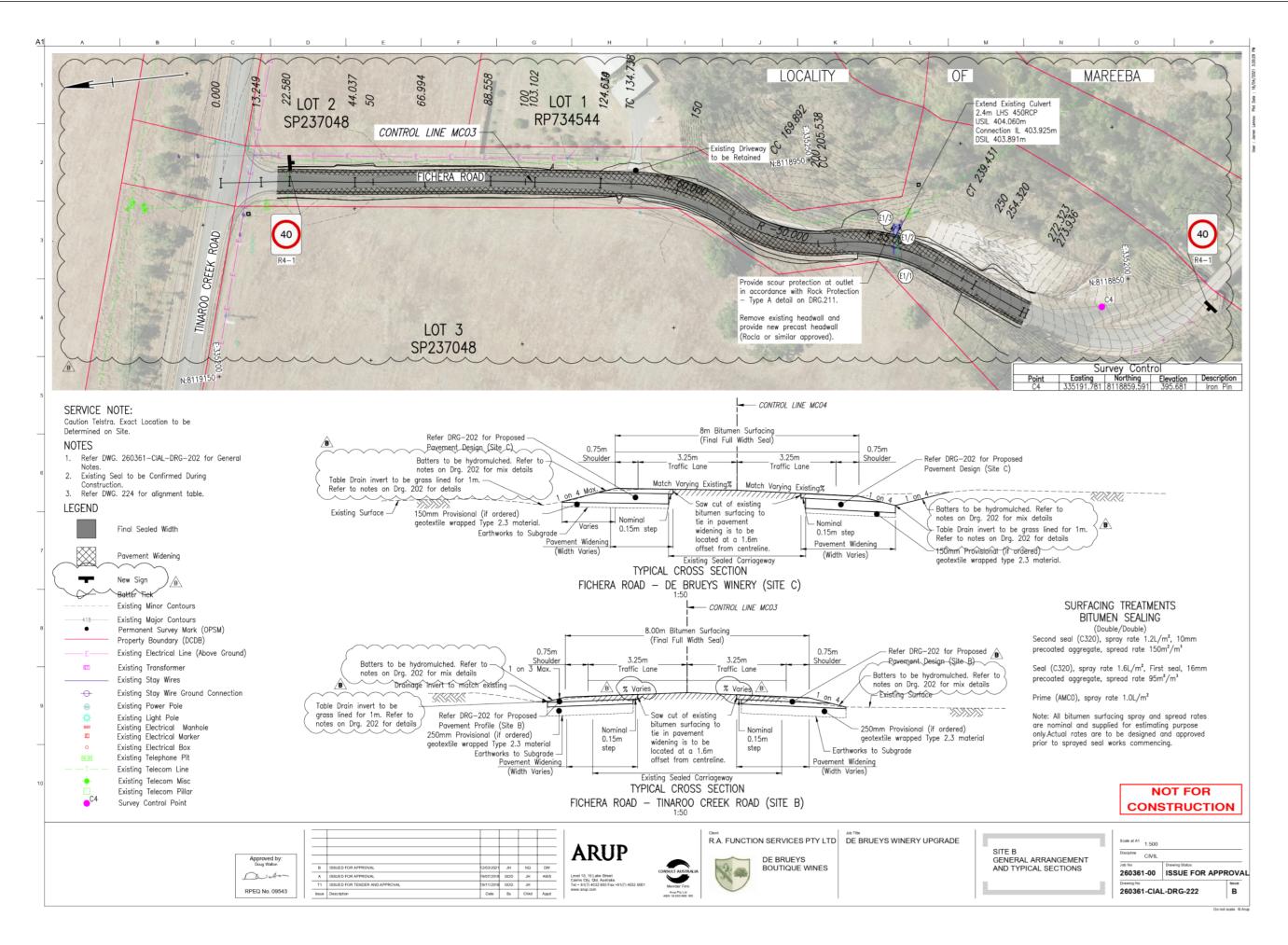
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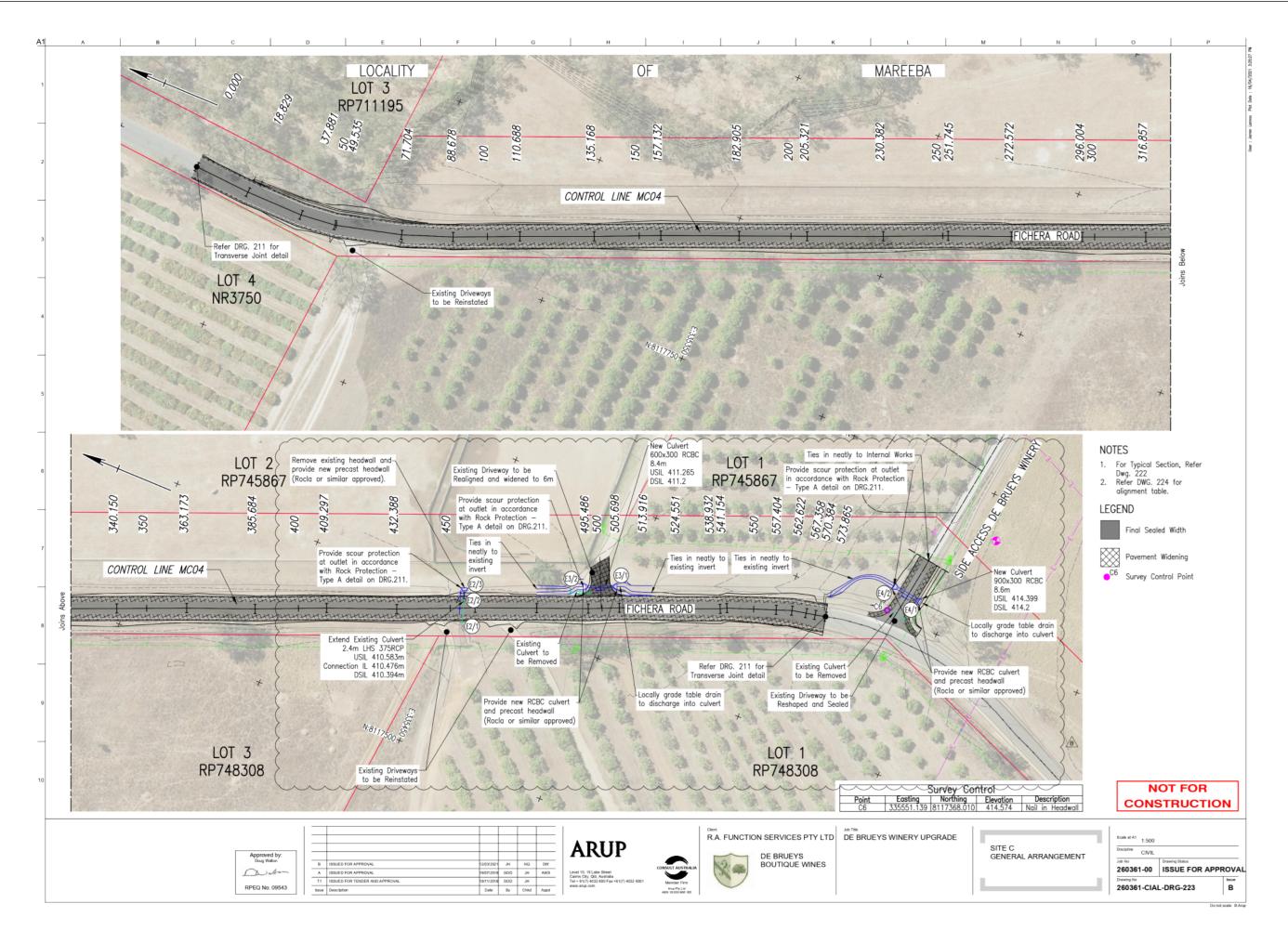
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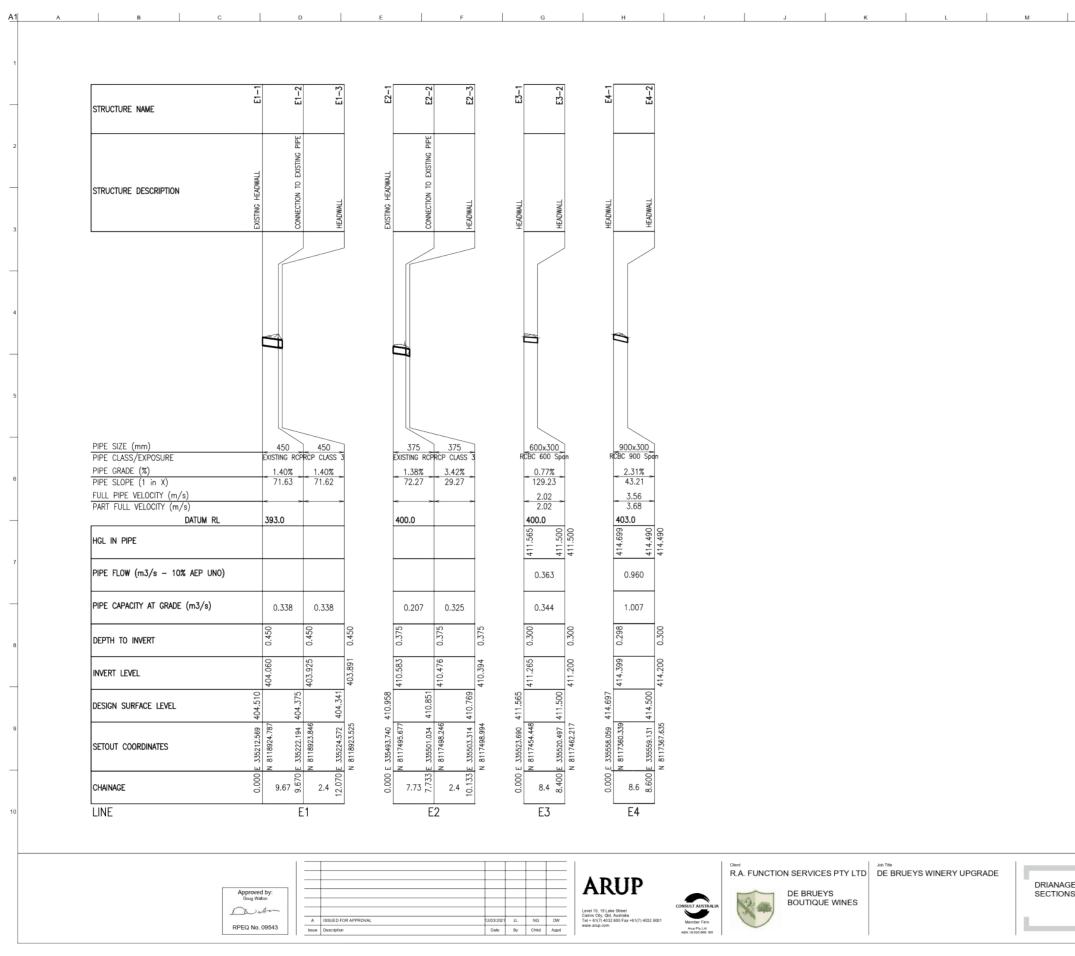




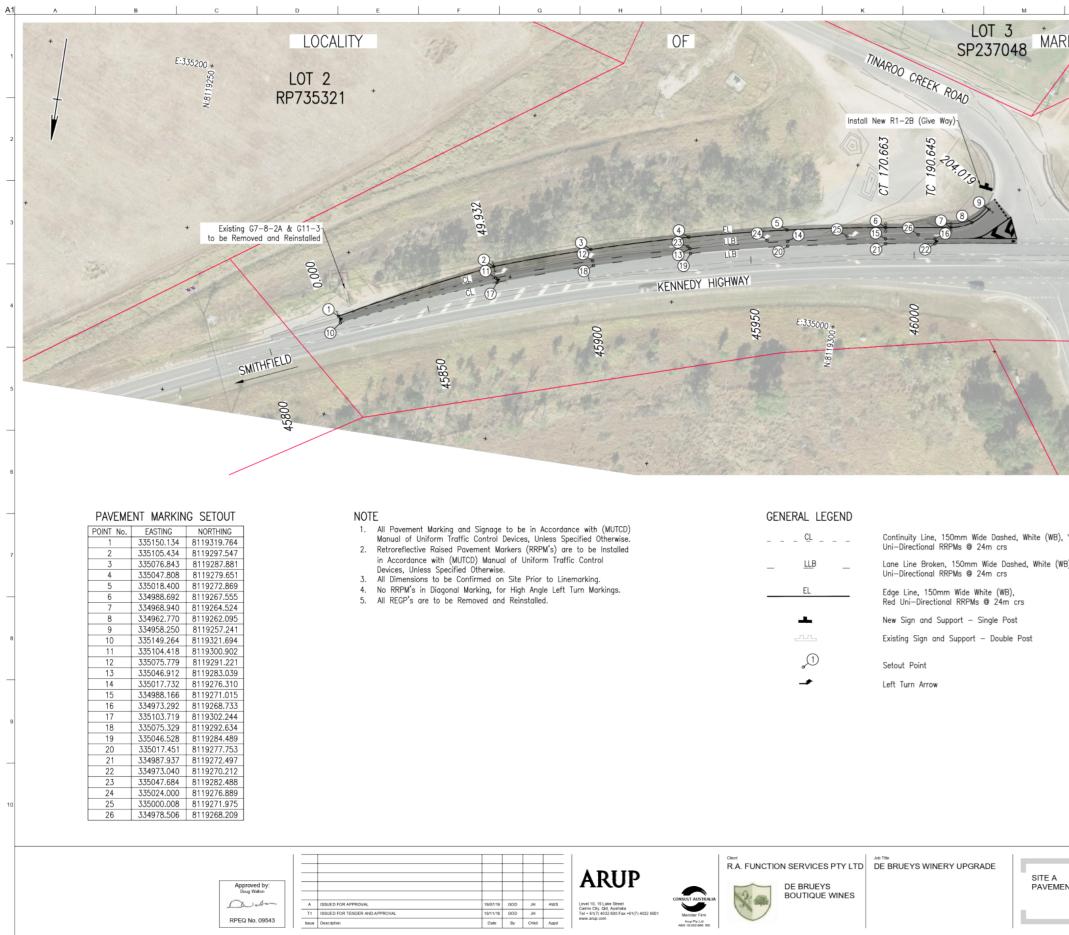


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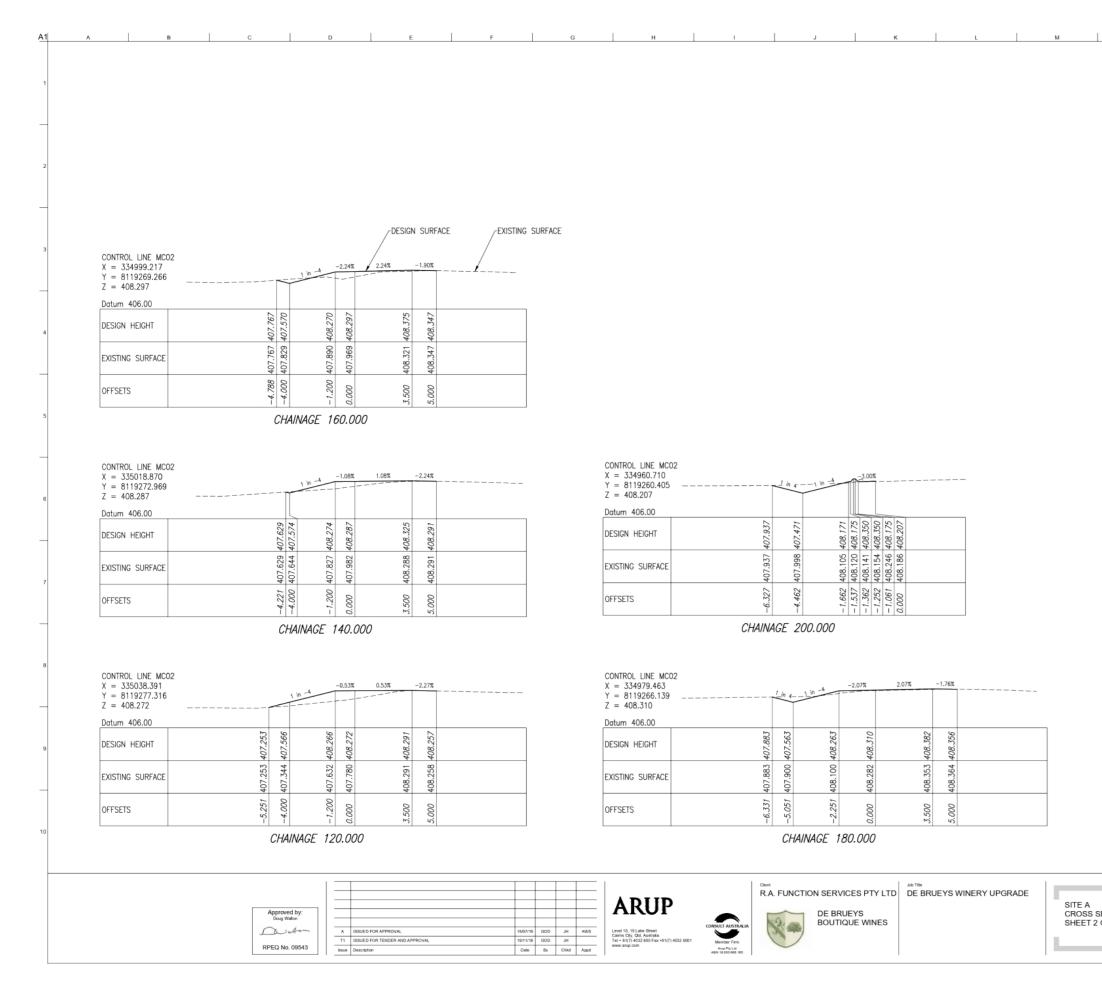
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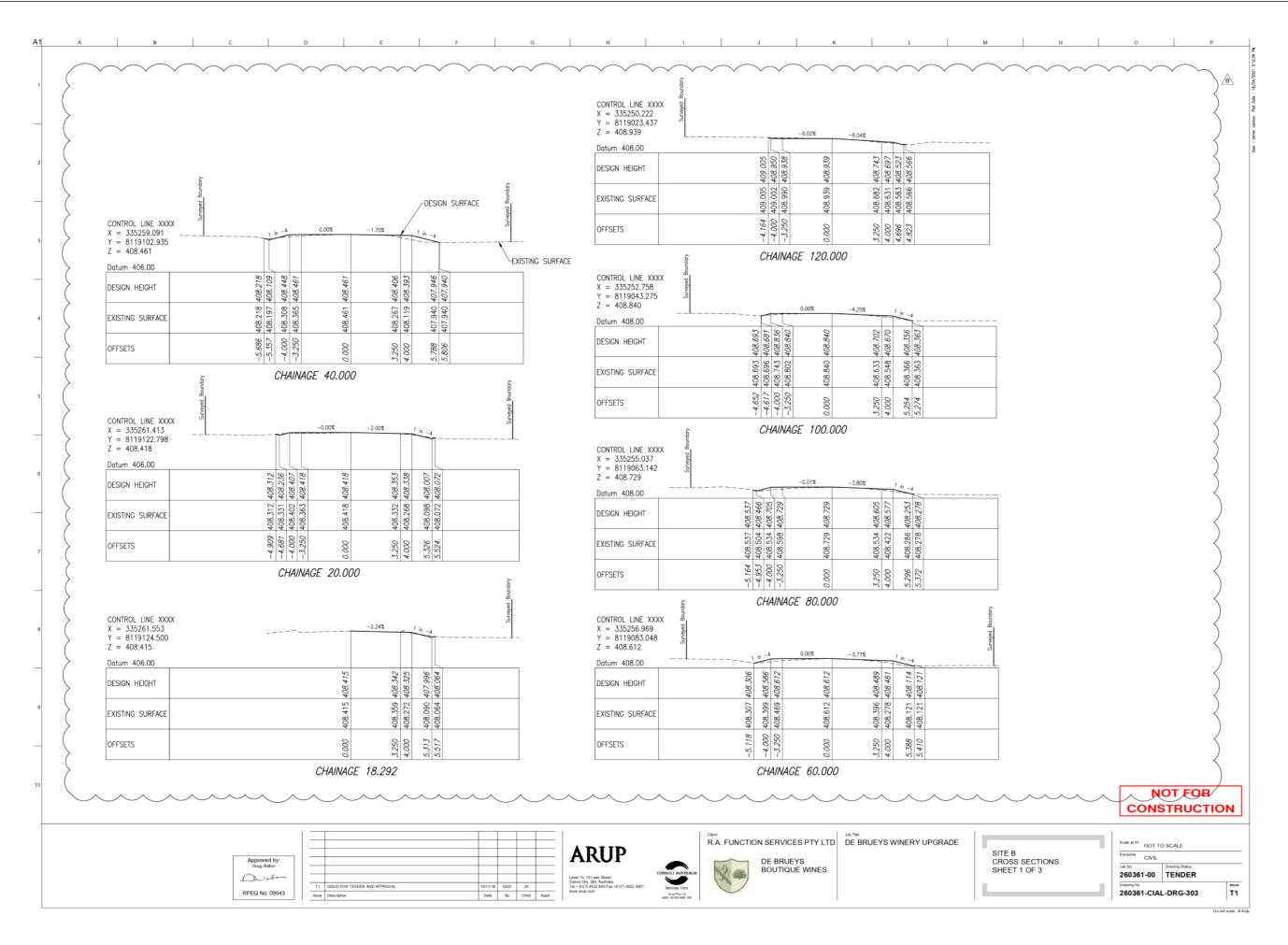
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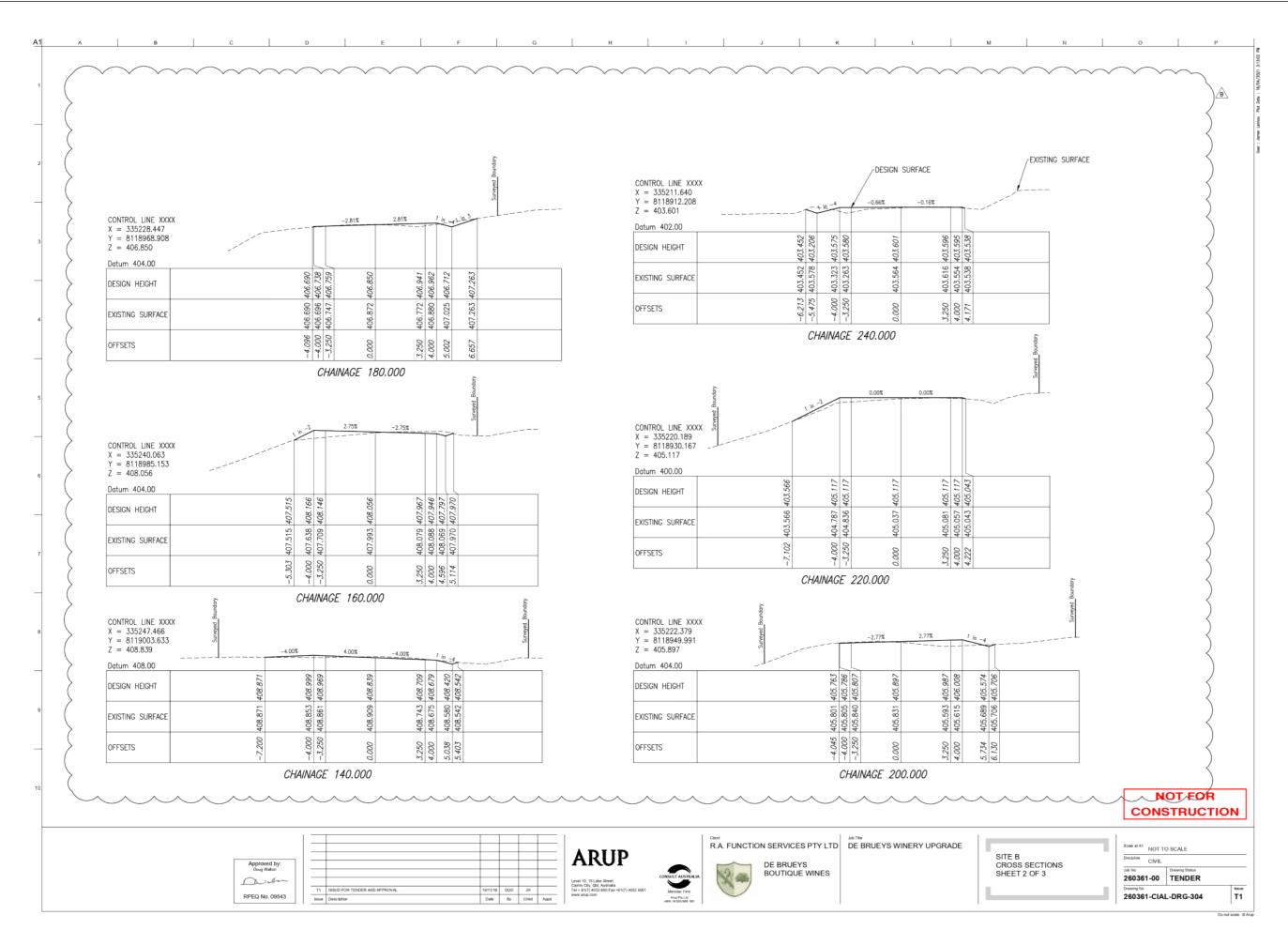


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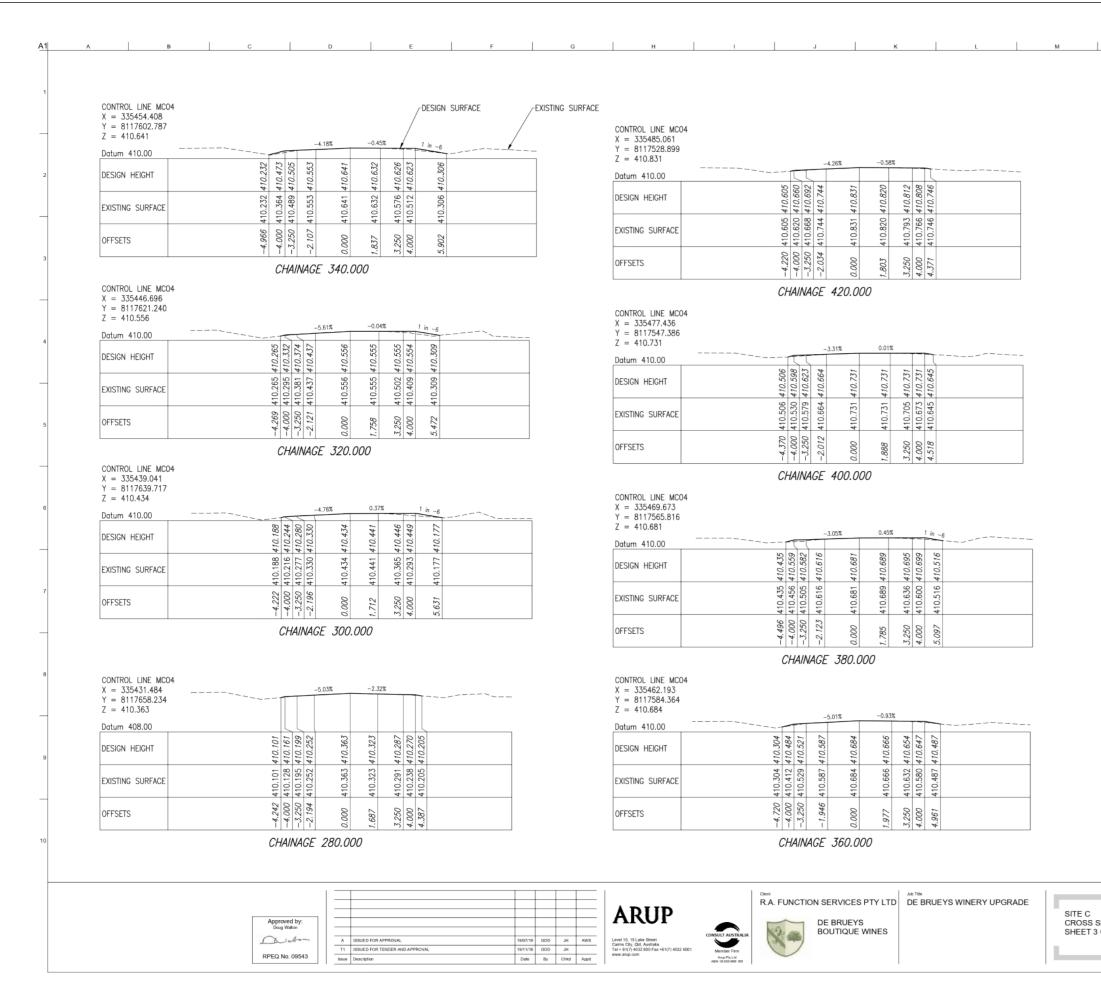
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	∠DESIGN SURFACE	EXISTING SURFACE
CONTROL LINE MC04 X = 335349.369		CONTROL LINE MC04 X = 335377.979
Y = 8117862.195 Z = 409.074		Y = 8117787.603
 Datum 408.00		Datum 408.00
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	CHAINAGE 60.000	CHAINAGE 140.000
CONTROL LINE MC04		CONTROL LINE MC04
X = 335345.816 Y = 8117881.823		X = 335370.267 Y = 8117806.056 -4.64% -1.32%
Z = 408.958	1 in -11.2 1.13%	Z = 409.659
Datum 408.00		Datum 408.00
DESIGN HEIGHT	408,472 408,401 408,401 408,401 408,601 408,668 408,668 408,958 408,958 408,991 408,993 408,936 408,936	DE2IGN HEIGHT DE2160 100 250 252 400 559 400 559 400 559 400 559 400 559 400 559 400 559 400 559 590 400 559 590 590 590 590 590 590 590 590 5
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	CHAINAGE 40.000	CHAINAGE 120.000
CONTROL LINE MC04 X = 335345.825		CONTROL LINE MC04 X = 335362.520
Y = 8117901.811 Z = 409.181	-4.15% 1 in -9.9	Y = 8117824.494 Z = 409.482
Datum 408.00		Datum 408.00
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	CHAINAGE 20.000	CHAINAGE 100.000
CONTROL LINE MC04 X = 335347.086		CONTROL LINE MCO4 X = 335355.103
Y = 8117921.769 Z = 408.764		Y = 8117843.061 Z = 409.302
Datum 408.00	-3.75% -3.00%	Datum 408.00
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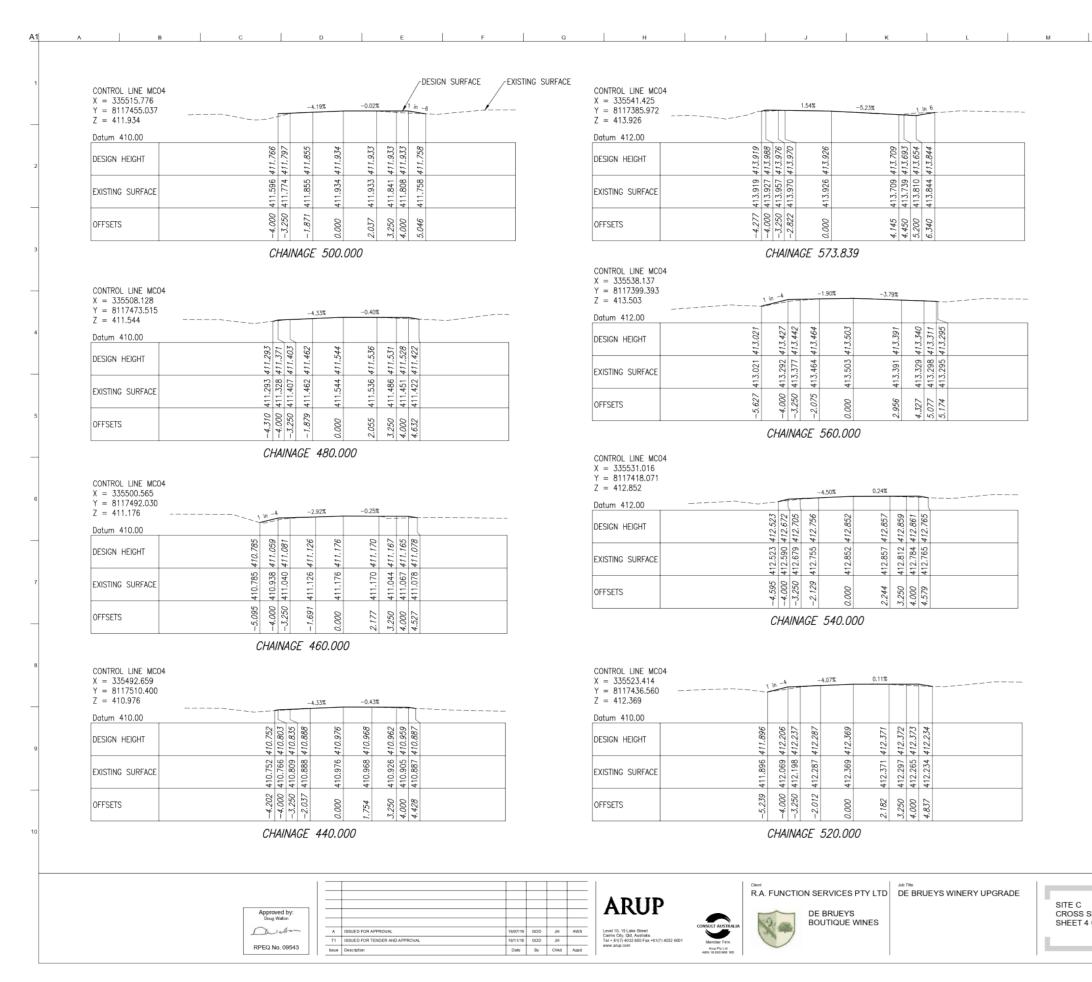
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X = 335349.369 Y = 8117862.195		X = 335377.979	
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	CHAINAGE 60.000	CHAINAGE 140.000	
CONTROL LINE MCO4 X = 335345.816 Y = 8117881.823		CONTROL LINE MC04 X = 335370.267 Y = 8117806.056	
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