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Planning Report

Material Change of Use for a Storage Shed
(Warehouse) at 39 Barang Street, Kuranda

Prepared for:

Mareeba Shire Council

Prepared on behalf of:

Ngoonbi Community Services Indigenous
Corporation

Our Reference	J000933: NGO: KLG
Site	39 Barang Street, Kuranda Lot 707 on NR7409
Date	March 2020

Important Note

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This Report has been prepared for the Ngoonbi Community Services Indigenous Corporation for the sole purpose of making a Development Application seeking a Development Permit for Warehouse as 39 Barang Street, Kuranda. (Lot 707 on NR7409). This report is strictly limited to the purpose, and facts and circumstances stated within. It is not to be utilized for any other purpose, use, matter or application.

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- a) That all information and documents provided to us by the Client or as a result of a specific search or enquiry were complete, accurate and up to date;
- b) That information obtained as a result of a search of a government register or database is complete and accurate.

Gilvear Planning is not aware of any particular fact or circumstance, which would render these assumptions incorrect, as at the date of preparation of the Report.

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Signed on behalf of
Gilvear Planning Pty Ltd



Kristy Gilvear

DIRECTOR
April 2020

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1.0 Introduction

The following Planning Report has been prepared for the Nagoonbi Community Services Indigenous Corporation (the applicant) in support of a Development Application submitted to the Mareeba Shire Council (Council) for a Development Permit for a Material Change of Use for Warehouse to allow for the construction of a storage shed on land at 39 Barang Street, Kuranda formally described as Lot 707 on NR7409 (the subject site).

Specifically, the applicant proposes to construct a single storey shed for the purposes of securely storing plant and equipment at the subject site to support existing community activities undertaken by the Nagoonbi Corporation.

The proposed shed will be a single storey structure with a maximum height of 4.2m and a floor area of 328.65m². The proposed shed will have a main roller-door entrance along the southern frontage with two smaller roller doors on both the east and west fronts. The proposed shed will be situated on a concrete slab and be constructed from rolled steel posts and roof frames with Z section girts to walls and C section purlins.

The proposed shed will be connected to water and electricity infrastructure through extension to existing services benefitting the site. The proposed shed will not be connected to sewerage or telecommunications.

The subject site is a rectangular shaped parcel of land with a total area of 1,012m². The subject site is bound to the south by Barang Street, the east by a vacant parcel of land and the north and west by existing development. The subject site is largely level with sporadic mature vegetation predominantly located to the northern (rear) boundary.

The subject site is partly improved by a single storey structure which is currently unused, in a state of disrepair and being renovated. The site has an established access to Barang Street.

Pursuant to the Mareeba Shire Council Planning Scheme (the relevant Planning Scheme), the subject site is mapped as being within the Medium Density Residential Zone, is within the Kuranda Local Plan area and is subjected to a number of Overlays including Residential Dwelling and Outbuilding and Scenic Amenity.

As per Schedule 1 of the Planning Scheme, the proposed development is defined as Warehouse which pursuant to Table 5.5.7, is subject to assessment against the Planning Scheme in its entirety (Impact Assessable).

The proposed development does not require referral to the State Assessment Referral Agency.

Following a detailed assessment of the relevant matters within the Planning Scheme it is concluded that the proposed development, being of a minor built form and scale, is able to adequately comply with the applicable Outcomes within the Planning Scheme.

This Development Application is therefore submitted to the Mareeba Shire Council for consideration and approval, subject to the imposition of reasonable and relevant conditions.

2.0 Summary

PROPOSAL SUMMARY	
Address:	39 Barang Street, Kuranda
Real Property Description:	Lots 707 on NR7409
Site Area/Frontage:	1,012m ² Approximately 21m to Barang Street.
Owners:	Ngoonbi Community Services Indigenous Corporation Refer title search at Attachment 1 – Title Search
Easements & Encumbrances:	As per Attachment 1 – Title Search
Proposal:	Warehouse <i>Premises used for the storage and distribution of goods, whether or not in a building, including self-storage facilities or storage yards.</i>
Approvals Sought:	Development Permit – Material Change of Use
Level of Assessment:	Impact
Zone:	Medium Density Residential Zone
Overlays (Precincts):	<ul style="list-style-type: none"> Residential Dwelling and Outbuilding; and Scenic Amenity.
Local Area Plan (Precincts):	Kuranda Local Plan
Regional Plan Designation:	Far North Queensland Regional Plan – Urban Footprint
State Interests – State Planning Policy:	Nil
State Interests – SARA Mapping:	Nil
State Planning Regulatory Provisions:	Nil
Referral Agencies:	Nil

PROPOSAL SUMMARY

State Development

Nil

Assessment Provisions:

3.0 Site Description

The subject site is located at 39 Barang Street, Kuranda. The subject site has an area of 1,012m² with a frontage of 21m to Barang Street.

The subject site is partly improved by way of a single storey structure with an area of approximately 183m². The existing structure is unoccupied, in a state of disrepair and is currently being renovated. Access to the subject site is via an existing access crossover from Barang Street.

The subject site is described as Lot 707 on NR7409 and is bound to the south by Barang Street, the east by a vacant parcel of land and the north and west by existing development. The subject site is largely level with sporadic mature vegetation predominantly located to the northern (rear) boundary.



Image 1: Subject Site (Source: Queensland Globe).



Image 2: Existing development on subject site (Source: Applicant).

4.0 Proposal

The applicant seeks a Development Permit to enable the construction of a single storey shed on the subject site. Pursuant to the Mareeba Shire Council Planning Scheme, the proposed development is defined as Warehouse.

Specifically, the applicant proposes to construct the proposed shed for the purpose of securely storing plant and equipment in support of existing community activities undertaken by the Ngoonbi Corporation. Stored plant and equipment will include trailers, diggers, hand-tools, power-tools and various construction consumables (timber, screws, nails, etc).

The proposed shed will be constructed as four sections with an A-Frame apex roof. The proposed shed will have a maximum height of 4.2m and a floor area of 328.65m². The proposed shed will have a main roller-door entrance along the southern frontage with two smaller roller doors on both the eastern and western walls.

The proposed shed will be located at the rear of the subject site, situated on a concrete slab and be constructed from rolled steel posts and roof frames with Z section girts to walls and C section purlins. The external cladding to walls will be Colourbond in a neutral colour (e.g. cream, or white).

The proposed shed will be equipped with fluorescent lights via an extension of electrical infrastructure benefitting the site. Similarly, the shed will be connected to mains water by way of an extension of existing water infrastructure. Stormwater will be discharged from the subject site to Barang Street via PVC pipework.

Access to the proposed shed will be via an extension to the existing access driveway emanating from the existing access crossover from Barang Street which theretofore this Development Application, has adequately serviced the existing development on the subject site.

Proposal plans are included in [Attachment 3 – Proposal Plans](#).

5.0 Statutory Planning Considerations

This section provides an overview of the legislative provisions relevant to the application.

5.1 Planning Act 2016 (PA)

5.1.1 CONFIRMATION OF DEVELOPMENT

The proposed development is not prohibited. This has been established by considering all relevant instruments which can provide prohibitions under *Planning Act 2016* including:

- Schedule 10 of the *Planning Regulation 2017*;
- The relevant categorising instruments.

5.1.2 ASSESSABLE DEVELOPMENT

The development proposed by this application includes development that is made assessable under the Mareeba Shire Council Planning Scheme, in accordance with Section 43(1) of the *Planning Act 2016*.

5.1.3 ASSESSMENT MANAGER

The Assessment Manager for this development application is the Mareeba Shire Council as determined by Schedule 8 of the *Planning Regulation 2017*.

5.1.4 LEVEL OF ASSESSMENT

The table below summarises the assessable development subject to this application and the relevant level of assessment for each aspect of development.

ASPECT OF DEVELOPMENT	REFERENCE	LEVEL OF ASSESSMENT
MCU for Warehouse	5.5.7	Impact Assessment

Note: Warehouse is a defined land use as per Schedule 1 of the Planning Scheme however is not specifically referenced in Table 5.5.7 and therefore is Impact Assessable as it is an unlisted land use within Table 5.5.7.

5.1.5 STATUTORY CONSIDERATIONS FOR ASSESSABLE DEVELOPMENT

As the development is subject to Impact Assessment the relevant considerations of the Assessment Manager in making the decision pursuant to Section 60 of the *Planning Act 2016*, are outlined in Section 45(3) and Sections 26 to 28 of the *Planning Regulations 2017*.

These are discussed further in Section 6.0 and within the Code Compliance contained in [Attachment 3 – Code Compliance Responses](#).

5.1.6 REFERRAL TRIGGERS

The proposed development does not require referral to the State Assessment Referral Agency (SARA).

5.1.7 STATE RESOURCE

The proposal does not involve any State Resources.

5.1.8 STATE DEVELOPMENT ASSESSMENT PROVISIONS

The proposed development does not require assessment against a State Development Assessment Provision Code.

5.1.9 REGIONAL PLAN

The site is within the Urban Footprint of the Far North Queensland Regional Plan and does not require detailed assessment against the provisions contained in the Policy, given the Policy has been appropriately advanced within the Mareeba Shire Council Planning Scheme.

5.1.10 STATE PLANNING POLICY

The site is not subject to any mapped State Interests within the State Planning Policy.

6.0 Council Planning Considerations

Within the Mareeba Shire Council Planning Scheme, the site is mapped as being within the Medium Density Residential Zone, is within the Kuranda Local Plan Area and is affected by a number of Overlays.

6.1 Strategic Framework

The proposed development was assessed against the applicable Strategic Framework provisions within the Mareeba Shire Council Planning Scheme. The proposed development achieves the intended strategic outcome for each of the applicable themes.

The following table summarises the assessment findings with detailed assessment contained in [Attachment 4 – Strategic Framework](#).

STRATEGIC FRAMEWORK CODES	SUMMARY
3.3.1 Strategic Outcomes - Settlement Pattern and Built Environment	<p>The proposed development achieves the intended strategic outcomes.</p> <p>The proposed development seeks to support the existing community activities undertaken by the Ngoonbi Corporation.</p> <p>The nature of the proposed development is consistent with surrounding development in the area and will create a strengthened and resilient economy which fosters increased residency in the Kuranda area leading to diversified urban centres.</p>
3.7.1 Strategic Outcomes – Economic Development	<p>The proposed development achieves the intended strategic outcomes.</p> <p>The proposed development seeks to support the existing community activities undertaken by the Ngoonbi Corporation.</p> <p>The proposed development will foster a resilient and diversified economy in the local Kuranda area.</p>

6.2 Local Planning Scheme – Mareeba Shire Council

The following table outlines the relevant Codes and provides a summary of the compliance with requirements of the codes.

APPLICABLE CODES	COMPLIANCE SUMMARY
Medium Density Residential Zone Code	<p>Compliant with relevant Acceptable Outcomes and Performance Outcomes.</p> <p>A Performance Outcome is sought in regard to PO2 of the Code.</p> <p>The proposed shed has a total area of 328.65m² and ergo, exceeds the 100m² specified in AO2 of the Code. It is considered that the scale of the proposed shed is consistent with development in the surrounding area. Furthermore, the total developed area of the subject site will not exceed 53.4%. Therefore, the proposed development complies with PO2 as the shed has a scale which is consistent with the scale and character of development in the surrounding area.</p>
Kuranda Local Plan Code	<p>The nature of the proposed development and the location of the subject site does not trigger specific assessment against any of the relevant outcomes specified within the Local Plan Code.</p>
Residential Dwelling and Outbuilding Overlay Code	<p>Compliant with relevant Acceptable Outcomes and Performance Outcomes.</p> <p>A Performance Outcome is sought in regard to PO2 of the Code.</p> <p>The proposed shed has a total area of 328.65m² and ergo, exceeds the 100m² specified in AO2 of the Code. It is considered that the scale of the proposed shed is consistent with development in the surrounding area. Furthermore, the total developed area of the subject site will not exceed 53.4%. Therefore, the proposed development complies with PO2 as the shed has a scale which is consistent with the scale and character of development in the surrounding area.</p>
Scenic Amenity Overlay Code	<p>The nature of the proposed development and the location of the subject site does not trigger specific assessment against any of the relevant outcomes specified within the Overlay Code.</p>
Parking and Access Code	<p>Compliant with relevant Acceptable Outcomes and Performance Outcomes.</p> <p>A Performance Outcome is sought in regard to PO1 of the Code.</p> <p>The proposed development, being for a storage shed, does not include any formalised parking and is non-compliant with PO1 of the Code. However, it is noted that the proposed shed will support existing community activities undertaken by the Ngoonbi Corporation and does not require parking to be</p>

	provided. Therefore, the proposed development provides sufficient carparking which is consistent with demand likely to be generated.
Works, Services and Infrastructure Code	<p>Compliant with relevant Acceptable Outcomes and Performance Outcomes.</p> <p>A Performance Outcome is sought in regard to PO2 of the Code.</p> <p>The proposed development will not generate any contaminated stormwater, neither a Stormwater Management Plan or Erosion and Sediment Control Plan are required.</p> <p>The proposed development will not have a worsening effect on the subject site or the surrounding area as a result of stormwater.</p>

A detailed assessment of the proposal against the applicable codes is contained in [Attachment 3 – Code Compliance Responses](#) and demonstrates that the development complies or is capable of complying with the relevant assessment criteria.

6.1.2 INFRASTRUCTURE CONTRIBUTIONS

Infrastructure contributions will be payable for any increased demand to Council assets generated by the proposed development.

The proposed development has a total Gross Floor Area of 328.65m².

As per Table 1 of Council's Infrastructure Charges Resolution (No 1) 2019, it is noted that the adopted charges are as follows:

- Stormwater – No charge; and
- Other networks – 32.75 per m²

Therefore, infrastructure contributions equate to \$10,763.28.

However, it is further noted that pursuant to the *Planning Act 2016*, charges should be levied for increased demand on infrastructure. It is respectfully submitted in this situation, there is minimal (if any) additional demand placed on Council's infrastructure networks as a result of the development.

- The proposed shed not being connected to sewerage infrastructure; and
- The proposed shed is likely to generate very minor demand on the mains water network.

Council is therefore requested to reduce the charges payable in this instance, and / or waive them entirely. We look forward to discussing with Council during the assessment process.

7.0 Summary and Conclusions

This Planning Report has been prepared by Gilvear Planning Pty Ltd (Gilvear Planning) on behalf of the Ngoonbi Community Services Indigenous Corporation (the applicant) in support of a Development Application submitted to the Mareeba Shire Council (Council) in support of a Development Permit for a Material Change of Use for Warehouse to permit the construction of a storage shed on land at 39 Barang Street, Kuranda formally described as Lot 707 on NR7409 (the subject site).

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Following a detailed assessment of the relevant matters within the Planning Scheme it is concluded that the proposed development, being of a minor built form and scale, is able to adequately comply with the applicable Outcomes within the Planning Scheme.

Attachment 1

Title Search

CURRENT TITLE SEARCH

NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 33506737

Search Date: 16/03/2020 12:54

Title Reference: 21274027

Date Created: 22/01/1985

Previous Title: 20092028

REGISTERED OWNER

Dealing No: 719360773 15/04/2019

NGOONBI CORNMUNITY SERVICES INDIGENOUS CORPORATION

ESTATE AND LAND

Estate in Fee Simple

LOT 707 CROWN PLAN NR7409
Local Government: MAREEBA

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 20092028 (ALLOT 7 SEC 7)
2. MORTGAGE No 719360774 15/04/2019 at 09:59
INDIGENOUS BUSINESS AUSTRALIA

ADMINISTRATIVE ADVICES - NIL

UNREGISTERED DEALINGS - NIL

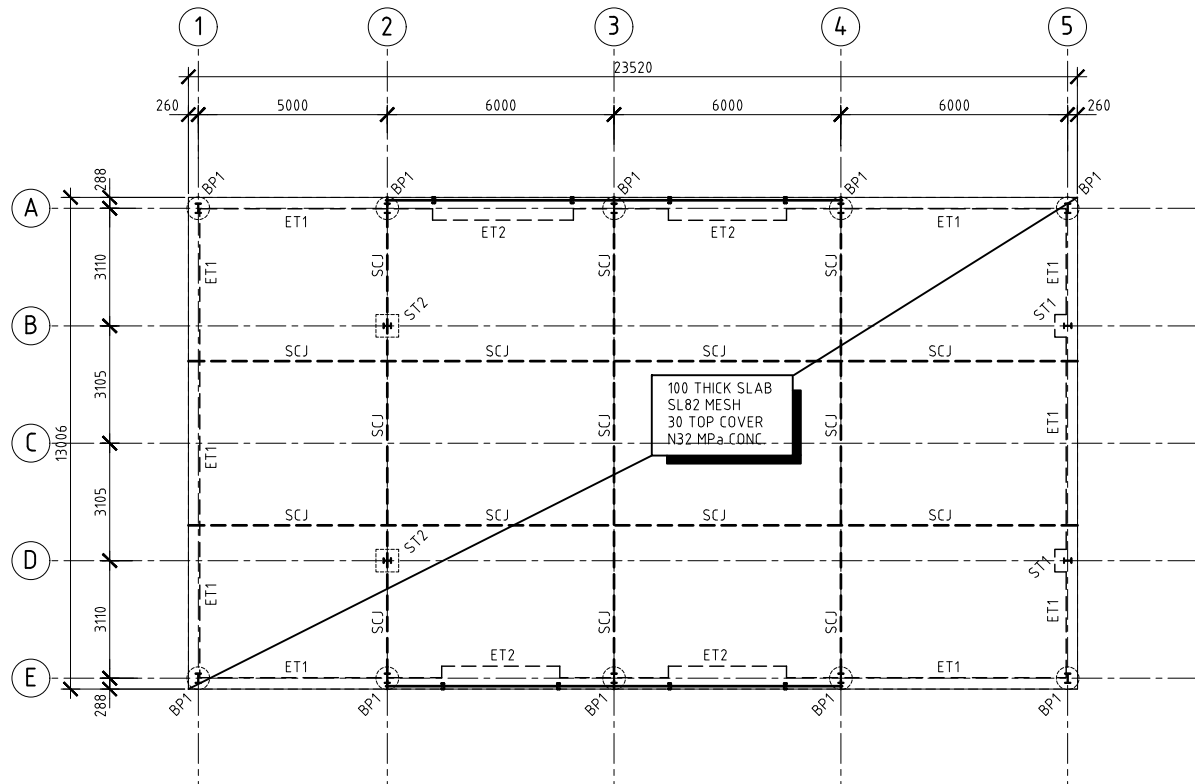
Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

COPYRIGHT THE STATE OF QUEENSLAND (NATURAL RESOURCES, MINES AND ENERGY) [2020]
Requested By: D-ENQ CITEC CONFIRM

Attachment 2

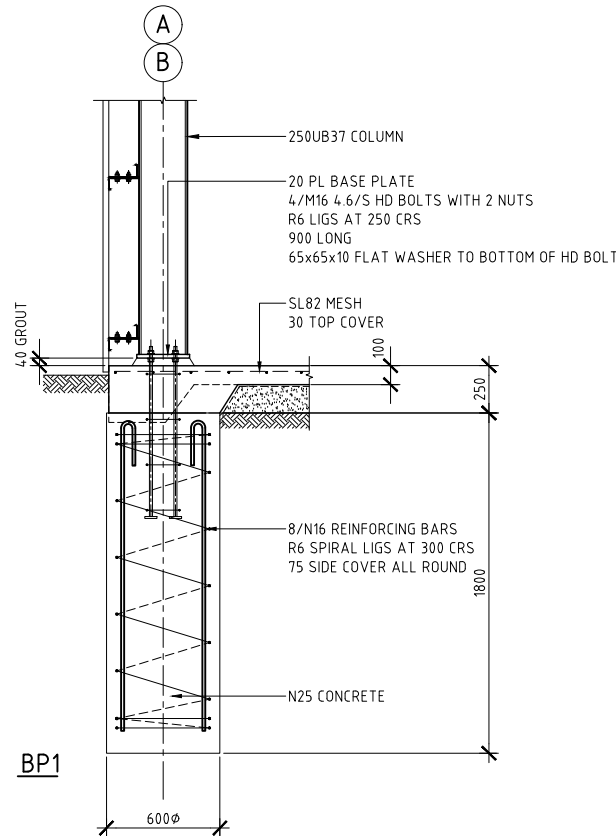
Proposal Plans



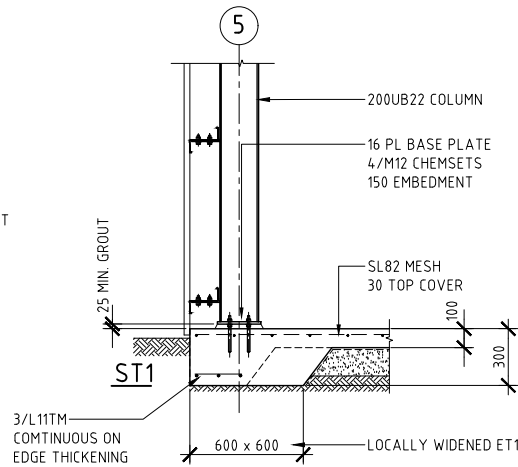
SLAB AND FOOTING PLAN
SCALE 1:100 AT A1

FOOTING SCHEDULE:

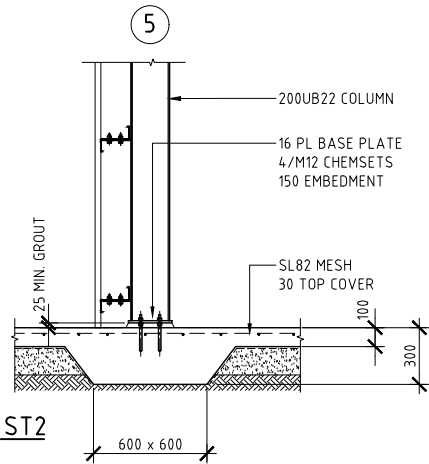
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ST2	SLAB THICKENING	600	600		300		N32



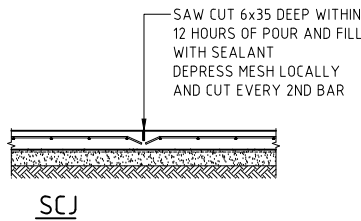
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N.T.S



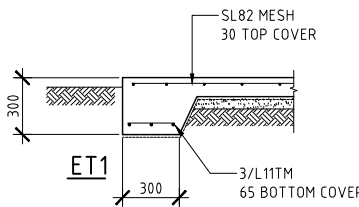
ST1 - BORED PIER FOOTING DETAIL
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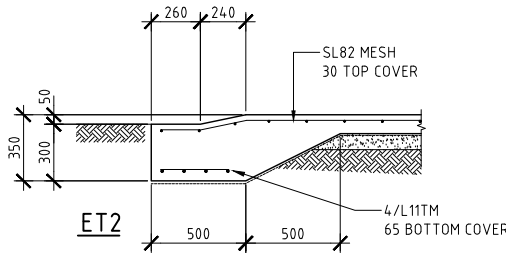
ST2 - BORED PIER FOOTING DETAIL
N.T.S



SCJ- SAW CUT JOINT DETAIL
N.T.S

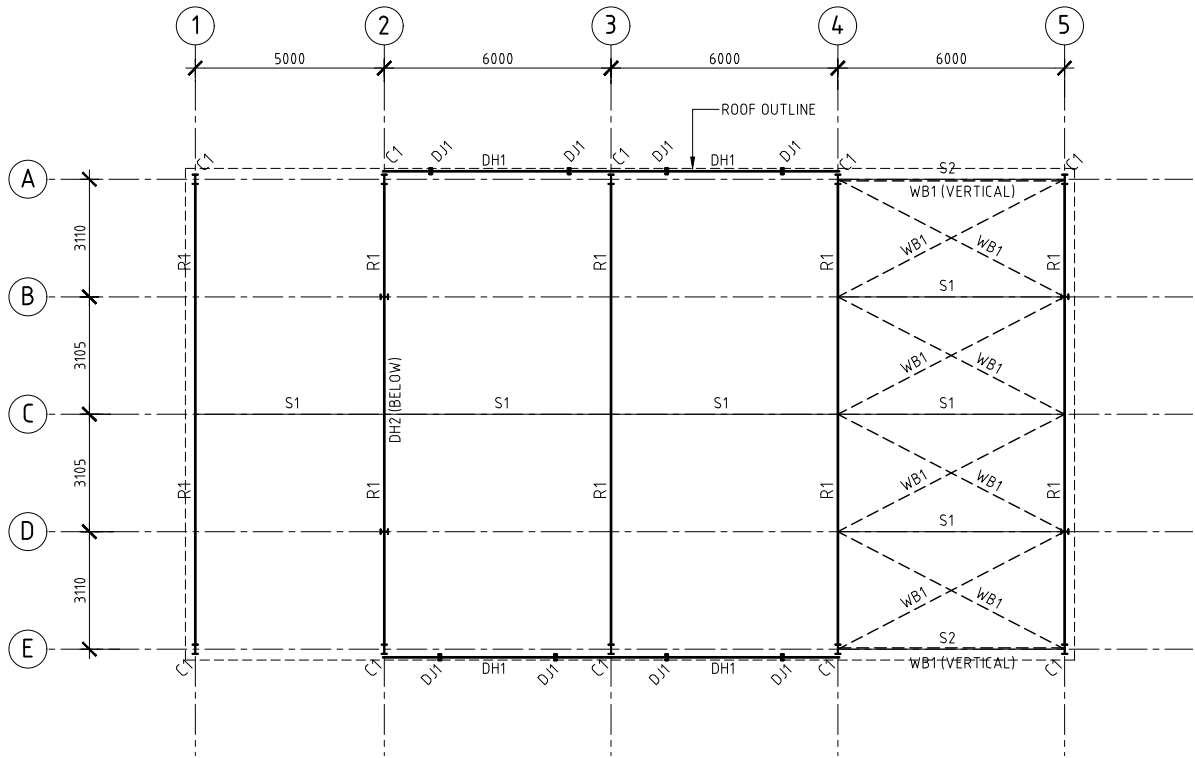


ET1- EDGE THICKENING DETAIL
N.T.S



ET2- EDGE THICKENING DETAIL
N.T.S

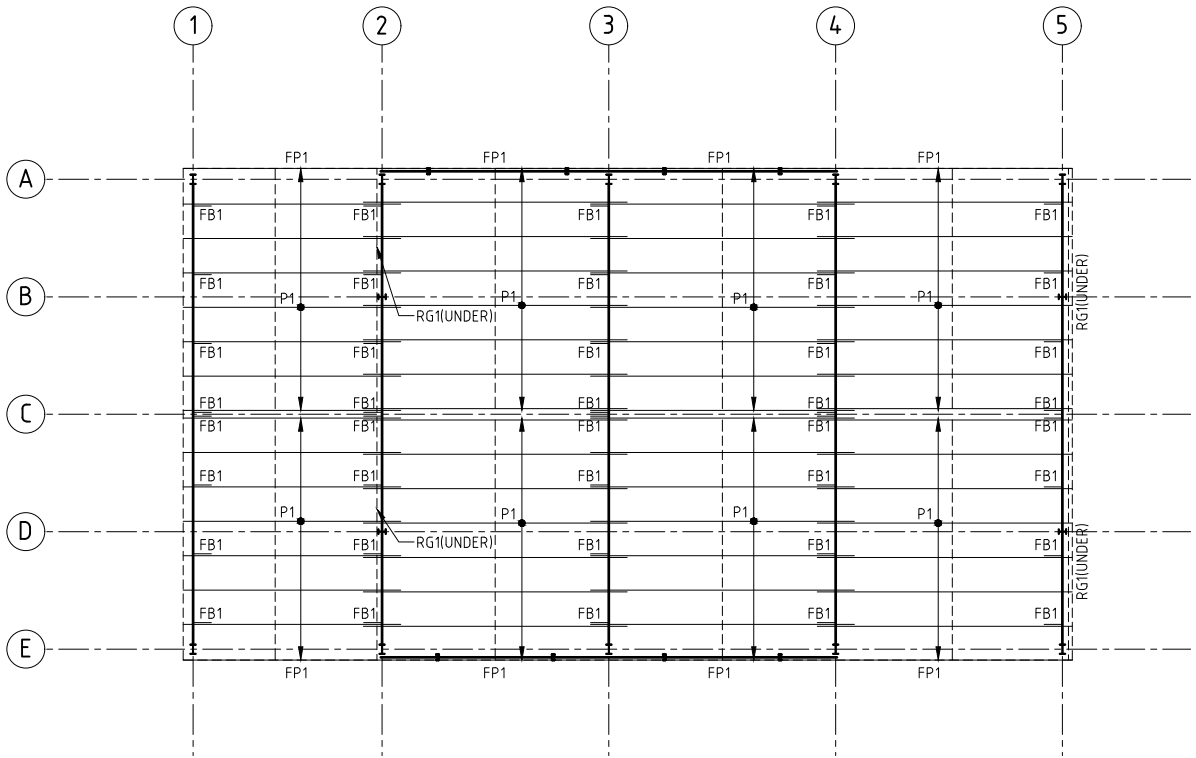
STATUS				PRELIMINARY				SCALE		CONTRACTOR				COPYRIGHT				smce				CLIENT				DRAWING NAME			
														Steve McKenzie Consultant Engineer Pty Ltd. All rights reserved. This work is covered by Copyright and cannot be reproduced or copied in any form or by any means (graphic, electronic, mechanical, photocopying or photographic) without the written permission of Steve McKenzie Consultant Engineer Pty Ltd. Any licence, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the written agreement between Steve McKenzie Consultant Engineer Pty Ltd and the instructing party.				STEVE MCKENZIE CONSULTANT ENGINEER				WAYNE JENSEN				SLAB AND FOOTING PLAN AND FOOTING DETAILS			
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ROOF FRAMING PLAN
SCALE 1: 100 AT A1

ROOF FRAMING SCHEDULE:

MEMBER	DESCRIPTION	SIZE
C1	COLUMN	250UB37
C2	COLUMN	200UB22
R1	RAFTER	310UB32
S1	STRUT	75 x 4.0 SHS
S2	STRUT	75 x 5.0 SHS
RB1	ROOF BRACE	65 x 5 EA
WB1	ROOF BRACE	75 x 5 EA
DJ1	DOOR JAMB	CEE15019
DH1	DOOR HEAD	CEE15019
DH2	DOOR HEAD	CEE20019

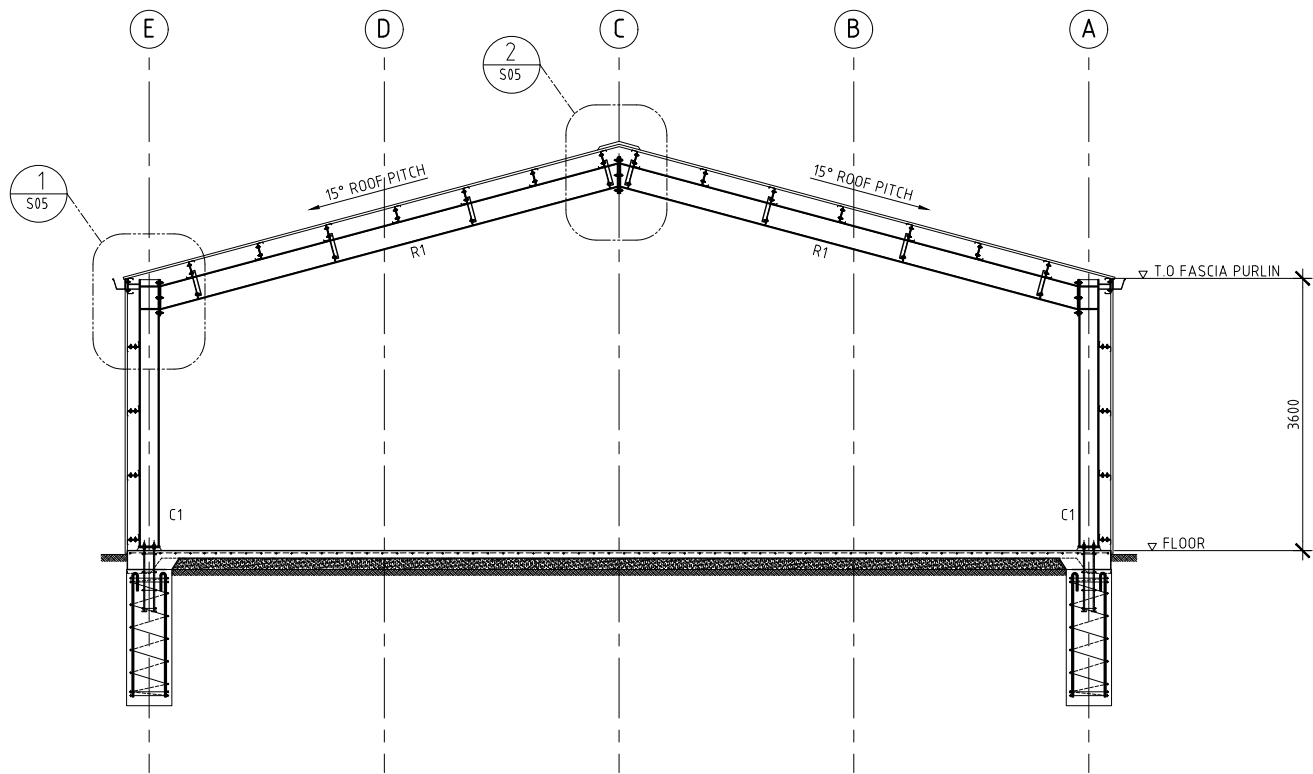


ROOF PURLIN PLAN
SCALE 1: 100 AT A1

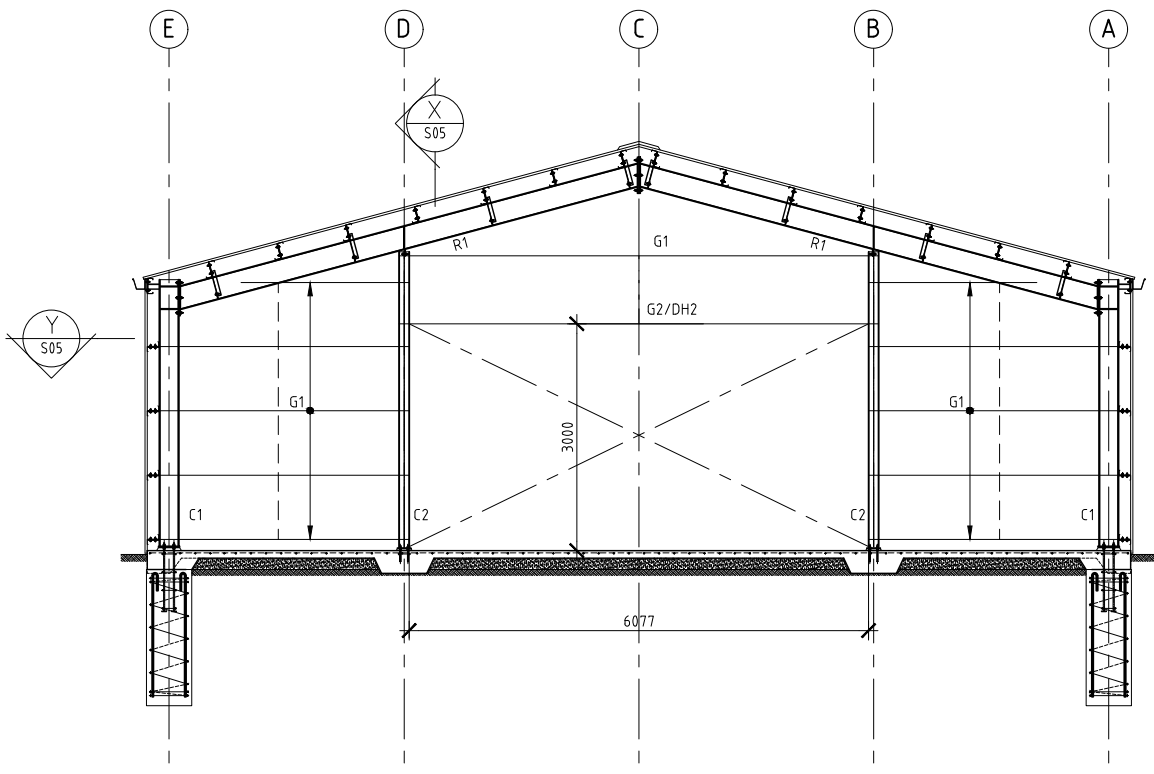
PURLIN SCHEDULE:

MEMBER	DESCRIPTION	SIZE
P1	ROOF PURLIN	Z20019 @ 920 MAX CRS., ONE ROW BRIDGING 8 PL. CLEATS WELDED TO TOP OF UB RAFTER 2/M12 GR. 4.6/S BOLTS TO EACH ROOF PURLIN
FP1	FASCIA PURLIN	C20019, ONE ROW BRIDGING 8 PL./65x6 EA CLEATS WELDED TO COLUMN 2/M12 GR. 4.6/S BOLTS TO EACH FASCIA PURLIN
RG1	RAKING GIRT	C10012 TEK SCREW TO UNDERSIDE PURLIN
FB1	FLY BRACE	45 x 5 EA DURAGAL, EVERY SECOND PURLIN M12 GR. 4.6/S BOLT EACH END

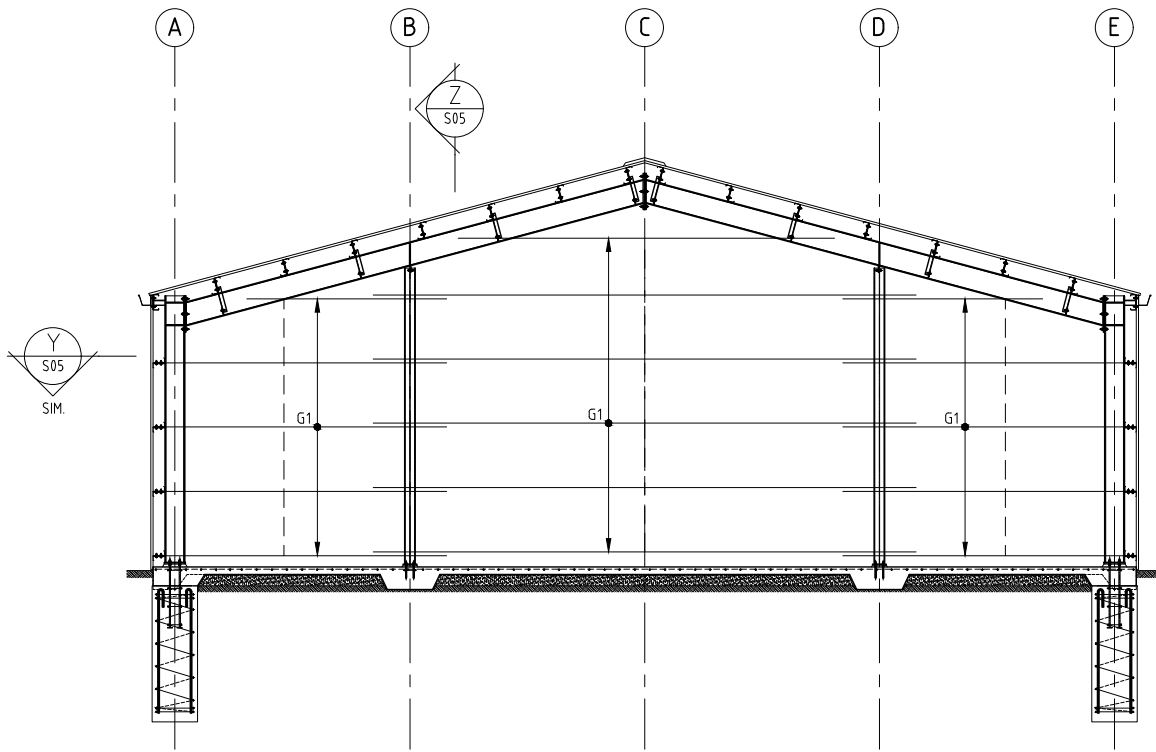
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																		PROJECT									
																		PROPOSED SHED 39 BARANG STREET KURANDA									
A		PRELIMINARY		MJM		06.04.20		A1						SIGNED:		RPEQ No. 4956		DATE:									
REV		DESCRIPTION		DRAWN		DATE				TASK		BY		INITIAL		DATE		PROJECT NUMBER		DRAWING NUMBER		REVISION					
										REVIEW		SMcK		SM		06.04.20		19195WJ		S02		A					
										DESIGN		SMcK		SM		06.04.20											
										DRAWN		MJM		MJM		06.04.20											



ELEVATION ON GRIDS 1, 3 & 4
SCALE: 1: 100 AT A1



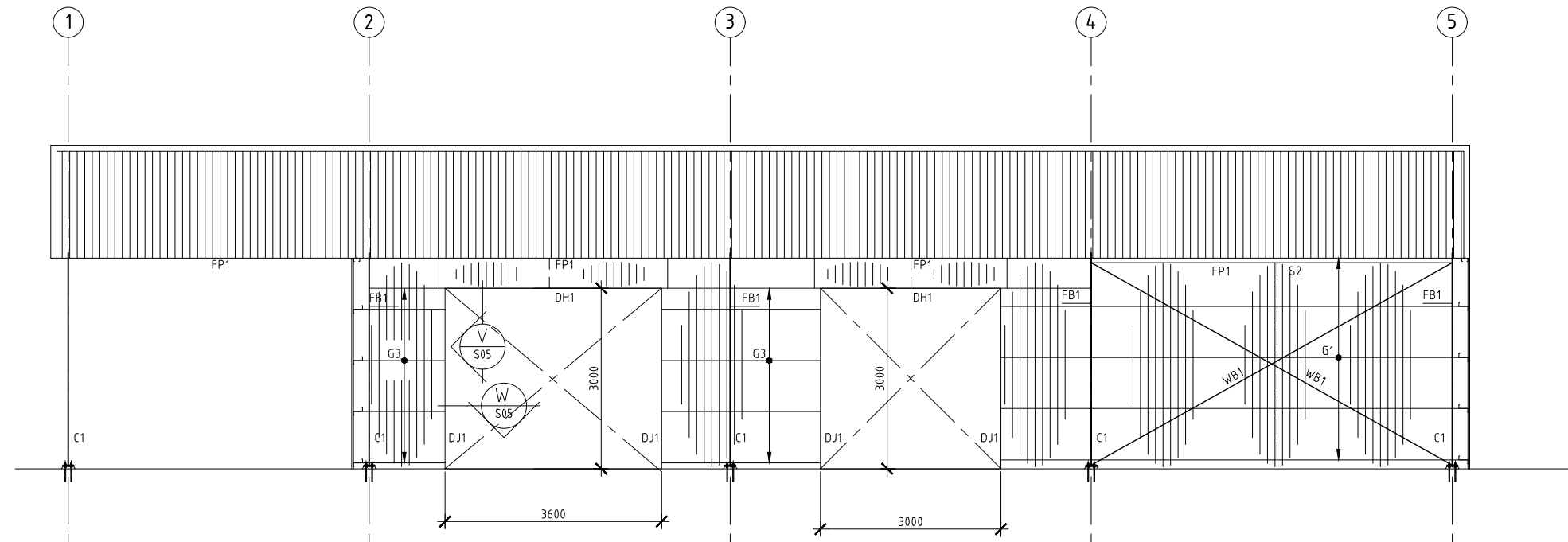
ELEVATION ON GRIDS 2 (LOOKING FROM GRID 5)
SCALE: 1: 100 AT A1



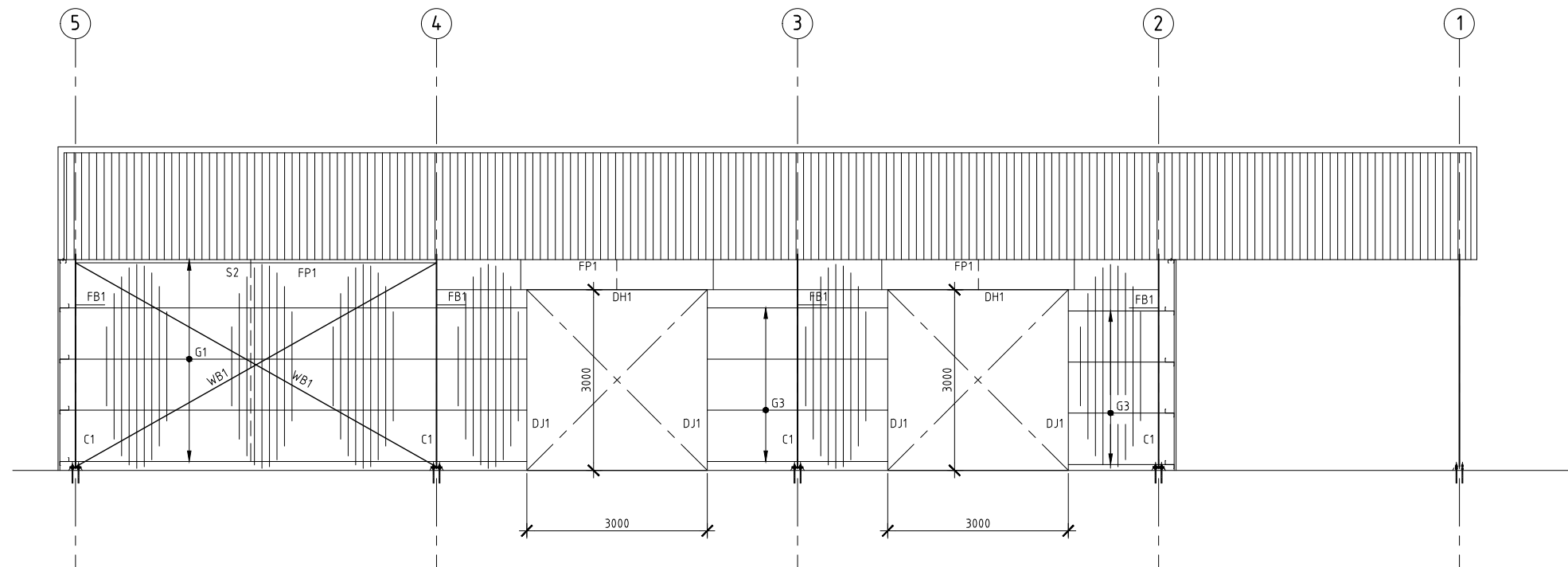
ELEVATION ON GRIDS 5 (LOOKING FROM INSIDE)
SCALE: 1: 100 AT A1

GIRT SCHEDULE:
G1 - Z15019 @ 1000 MAX. CRS., ONE ROW BRIDGING
G2 - C15019, ONE ROW BRIDGING
DH2 - C20019

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						ORIGINAL SHEET SIZE				ACN 092 705 130		PO Box 3425 West End Qld 4810		PROJECT		SIGNED:		RPEQ No. 4956	
										Hermit Park Qld 4812		T (07) 4724 4551		PROPOSED SHED 39 BARANG STREET KURANDA		TASK		DATE	
										F (07) 4724 1187		E admin@smce.net.au				BY		INITIAL	
																REVIEW		DATE	
																DESIGN		DATE	
																DRAWN		DATE	
																		PROJECT NUMBER	
																		DRAWING NUMBER	
																		REVISION	
																		19195WJ	
																		S03	
																		A	



ELEVATION ON GRID A (VIEWED FROM INSIDE)
SCALE: 1 : 100 AT A1



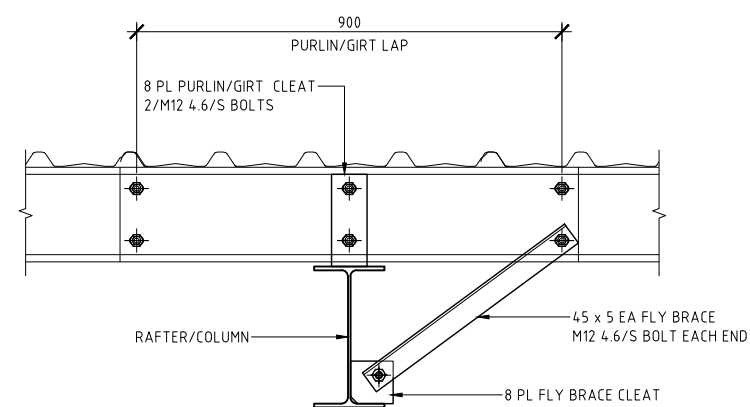
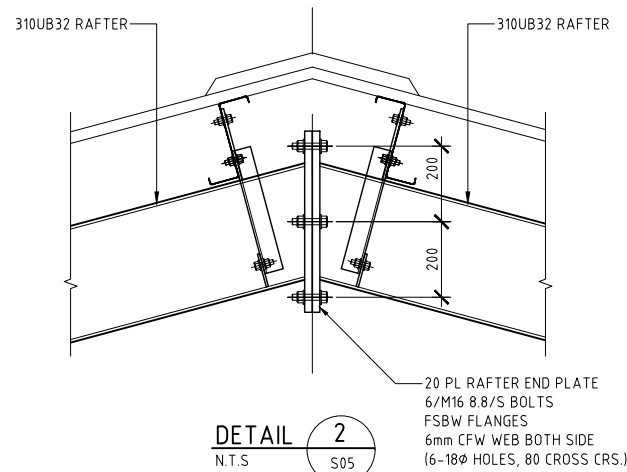
ELEVATION ON GRID E (VIEWED FROM INSIDE)
SCALE: 1 : 100 AT A1

GIRT SCHEDULE:

G1 - Z15019 @ 1000 MAX. CRS., ONE ROW BRIDGING
G3 - Z15019, NO BRIDGING
DH1 - C15019

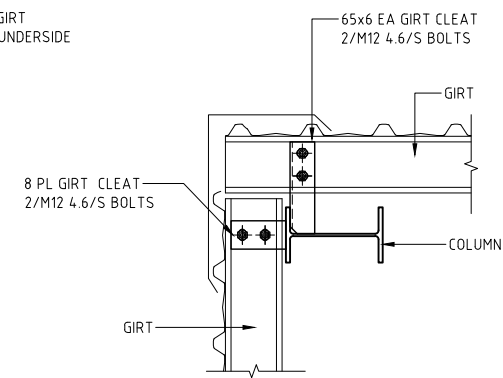
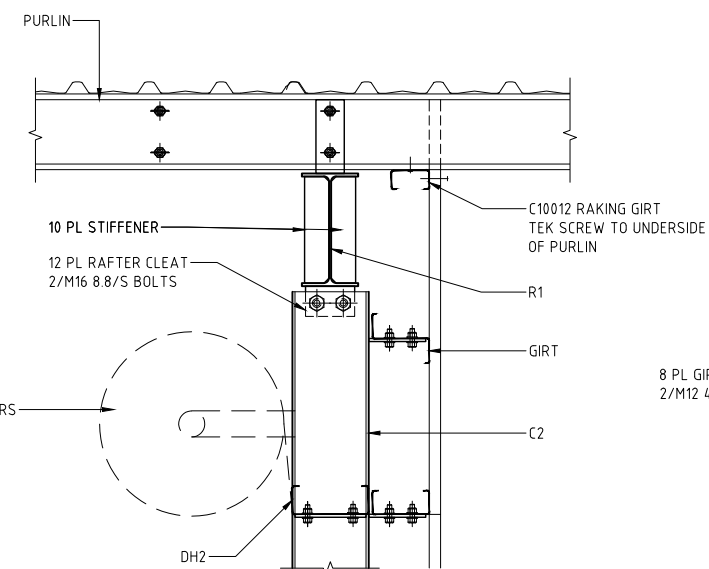
STATUS				PRELIMINARY		SCALE		CONTRACTOR		COPYRIGHT				smce				CLIENT				DRAWING NAME			
										STEVE MCKENZIE CONSULTANT ENGINEER ACN 092 705 130 18 Ingham Rd West End Qld 4810 T (07) 4724 4551 E admin@smce.net.au PO Box 3425 Hermit Park Qld 4812 F (07) 4724 1187								WAYNE JENSEN				ELEVATION (SHEET 2 OF 2)			
A				PRELIMINARY		MJM		06.04.20		PROJECT				PROPOSED SHED 39 BARANG STREET KURANDA											
REV				DESCRIPTION		DRAWN		DATE		SIGNED:				RPEQ No. 4956		DATE:									
										TASK				BY		INITIAL		DATE							
										REVIEW				SMcK		SM		06.04.20							
										DESIGN				SMcK		SM		06.04.20							
										DRAWN				MJM		MJM		06.04.20							
														19195WJ		S04		A							

DETAIL 1
N.T.S. S05

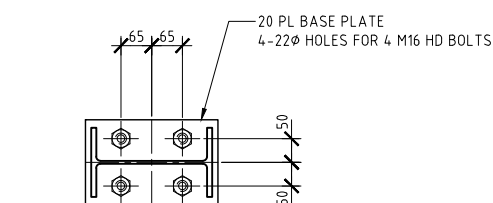


FLY BRACE & PURLIN/GIRT LAP DETAIL

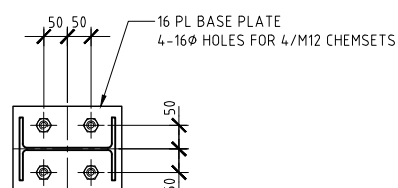
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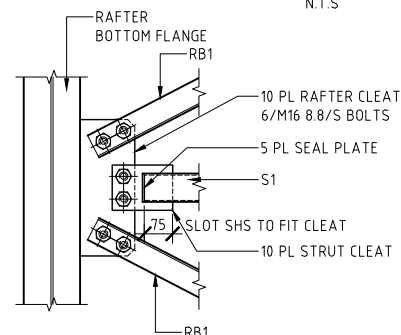
SECTION Y
N.T.S. S03



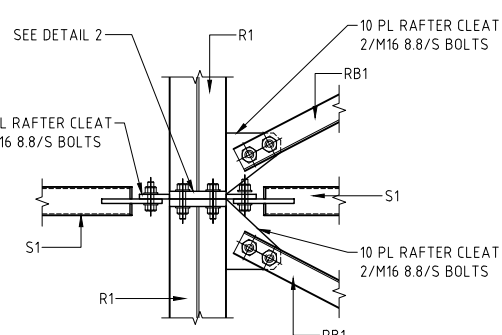
COLUMN C1 BASE PLATE DETAIL
N.T.S



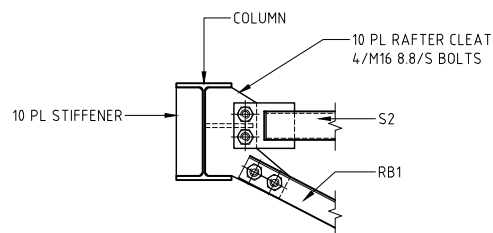
COLUMN C2 BASE PLATE DETAIL
N.T.S



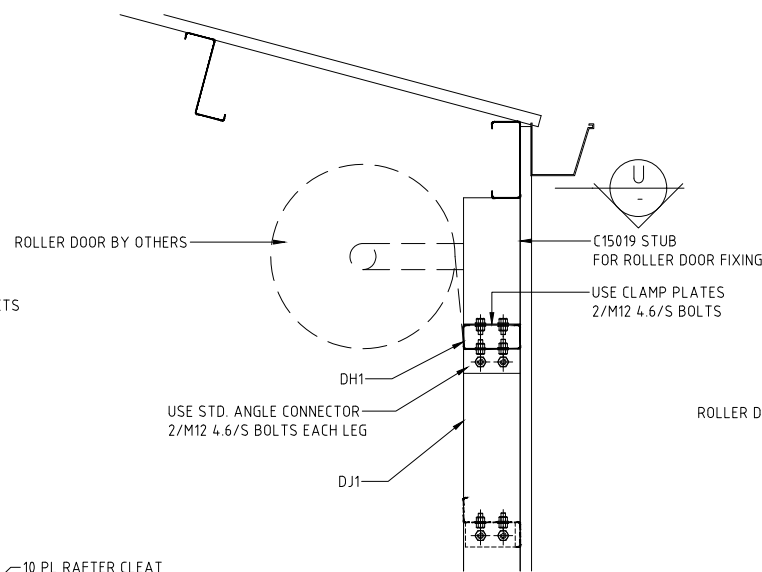
STRUT/ROOF BRACE TO RAFTER
CONNECTION PLAN DETAIL @ GRID B
N.T.S.



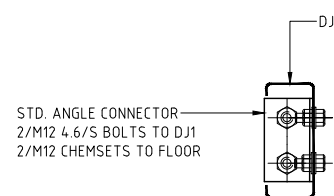
STRUT/ROOF BRACE TO RAFTER
CONNECTION PLAN DETAIL @ GRID C
N.T.S



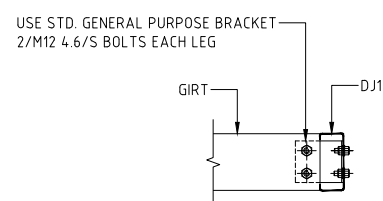
STRUT/ROOF BRACE TO COLUMN
CONNECTION PLAN DETAIL
N.T.S



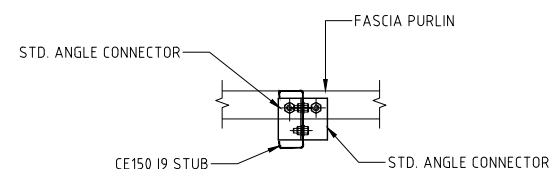
SECTION V
NTS S03



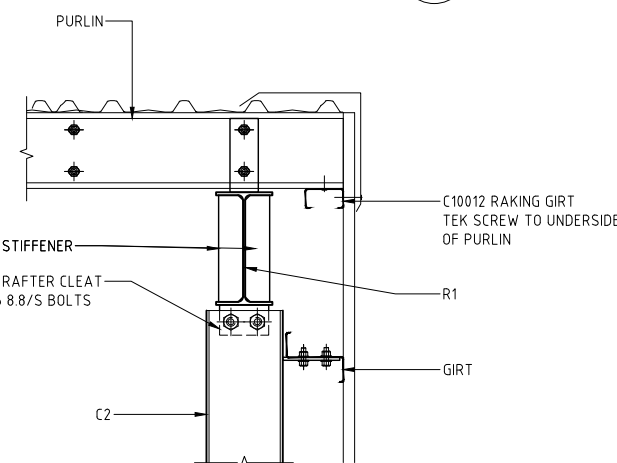
DOOR JAMB DJ1 TO FLOOR PLAN DETAIL
N.T.S



SECTION W
N.T.S. S03



SECTION U
N.T.S.



SECTION Z
N.T.S. S03

STATUS				PRELIMINARY				SCALE	
								NOTED ORIGINAL SHEET SIZE	
A	PRELIMINARY						MJM	06.04.20	A1
REV	DESCRIPTION						DRAWN	DATE	

CONTRACTOR	
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smce

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E admin@smce.net.au



CLIENT

WAYNE JENSEN

PROJECT

PROPOSED SHED
39 BARANG STREET
KURANDA

	DRAWING NAME
--	--------------

CONNECTION DETAILS

SIGNED:				RPEQ No. 4956		DATE:	
TASK	BY	INITIAL	DATE	PROJECT NUMBER		DRAWING NUMBER	REVISION
REVIEW	SMcK	SM	06.04.20	19195WJ		S05	A
DESIGN	SMcK	SM	06.04.20				
DRAWN	MJM	MJM	06.04.20				



Form 15—Compliance certificate for building design or specification

Version 4 – July 2017

NOTE: This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb/locality and postcode)

39 Barang Street

Kuranda, QLD

Postcode 4881P

Lot and plan details (attach list if necessary)

In which local government area is the land situated?

Mareeba Shire Council

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Footings, Floor Slabs, Structural framing

Proposed shed

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

AS1170 1/2, AS3600, AS4100, AS4600

Soil Class: 'H1' Highly Reactive

Allowable Bearing: 100 kPa. Report by Construction Science (H18/0356

Region: C, Terrain Cat: 2.5, Mz Cat: 0.87, Ms: 1.0, Vdes: 57m/sec, Cpi: 0, -0.3

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Drawings: 19195WJ

Sheets: S01A, S02A, S03A, S04A, S05A

By Steve McKenzie Consultant Engineer Pty Ltd

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

5. Building certifier reference number	Building certifier reference number <input type="text"/>	
6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) <input type="text" value="Steve McKenzie"/> Company name (if applicable) <input type="text" value="Steve McKenzie Consultant Engineer Pty Ltd"/> Contact person <input type="text" value="Steve McKenzie"/> Phone no. (business hours) <input type="text" value="(07) 4724 4551"/> Mobile no. <input type="text" value="-"/> Fax no. <input type="text" value="(07) 4724 1187"/> Email address <input type="text" value="admin@smce.net.au"/> Postal address <input type="text" value="PO Box 1011"/> <input type="text" value="Townsville City, QLD"/> <input type="text" value="Postcode 4810"/> Licence or registration number (if applicable) <input type="text" value="RPEQ 4956"/>	
7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.	Signature <input type="text" value="Steve McKenzie"/> Date <input type="text" value="16/4/20"/>	

The *Building Act 1975* is administered by the Department of Housing and Public Works

Attachment 3

Code Assessment

6.2.7 MEDIUM DENSITY RESIDENTIAL ZONE CODE

Table 6.2.7.3A—Medium density residential zone code - For accepted development subject to requirements and assessable development

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
For accepted development subject to requirements and assessable development		
Height		
PO1 Building height takes into consideration and respects the following: <ul style="list-style-type: none"> (a) the height of existing buildings on adjoining premises; (b) the development potential, with respect to height, on adjoining premises; (c) the height of buildings in the vicinity of the site; (d) access to sunlight and daylight for the site and adjoining sites; (e) privacy and overlooking; and (f) site area and street frontage length. 	AO1 Development has a maximum building height of: <ul style="list-style-type: none"> (a) 8.5 metres; and (b) 2 storeys above ground level. 	Complies with AO1. The proposed development has a maximum height of 4.2m and is for a single storey shed.
Outbuildings and residential scale		
PO2 Domestic outbuildings: <ul style="list-style-type: none"> (a) do not dominate the lot on which they are located; and (b) are consistent with the scale and character of development in the Medium density residential zone. 	AO2 Domestic outbuildings do not exceed: <ul style="list-style-type: none"> (a) 100m² in gross floor area; and (b) 5.5 metres in height above natural ground level. 	Complies with PO2. The proposed development is for a single storey shed. The proposed shed has a floor area of 328.65m ² which equates to 32.4% of the subject site. The existing single storey structure on the subject site has an area of 220m ² which equates to 21% of the subject site.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
		<p>The proposed development will result in the subject site having a developed area of 548.65m² which equates to 53.4%.</p> <p>The proposed development is not considered to be of a size which dominates the subject site as the total extent of development will not exceed 53.4%.</p> <p>Aerial mapping indicates that existing development in proximity to the subject site has a total area of development which exceeds 80% at several locations.</p> <p>Ergo, the proposed development complies with PO2.</p>
Siting		
PO3 Development is sited in a manner that considers and respects: <ul style="list-style-type: none"> (a) the siting and use of adjoining premises; (b) access to sunlight and daylight for the site and adjoining sites; (c) privacy and overlooking; (d) opportunities for casual surveillance of adjoining public spaces; (e) air circulation and access to natural breezes; (f) appearance of building bulk; and (g) relationship with road corridors. 	AO3.1 Buildings and structures include a minimum setback of: <ul style="list-style-type: none"> (a) 6 metres from the primary road frontage; and (b) 3 metres from any secondary road frontage. AO3.2 Buildings and structures include a minimum setback of 2 metres from side and rear boundaries.	Complies with AO3.1. The proposed development will be setback approximately 30m from the road frontage of Barang Street. Complies with AO3.2. The proposed development will be setback as follows: <ul style="list-style-type: none"> • 3.5m from the north-east boundary; • 4.0m from the south-west boundary; and • 3.0m from the northern (rear) boundary.
Accommodation density		

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
PO4 The density of Accommodation activities: (a) contributes to housing choice and affordability; (b) respects the nature and density of surrounding land use; (c) does not cause amenity impacts beyond the reasonable expectation of accommodation density for the zone; and (d) is commensurate to the scale and frontage of the site.	AO4 Development provides a maximum density for Accommodation activities in compliance with Table 6.2.7.3B .	Not applicable. The proposed development is not for accommodation purposes.
Gross floor area		
PO5 Buildings and structures occupy the site in a manner that: (a) makes efficient use of land; (b) is consistent with the bulk and scale of surrounding buildings; and (c) appropriately balances built and natural features.	A05 Gross floor area does not exceed 600m ² .	Complies with A05. The proposed development is for a single storey shed. The proposed shed has a floor area of 328.65m ² which equates to 32.4% of the subject site. The existing single storey structure on the subject site has an area of 220m ² which equates to 21% of the subject site. The proposed development would result in the subject site having a developed area of 548.65m ² .
For assessable development		
Building design		
PO6 Building facades are appropriately designed to: (a) include visual interest and architectural variation; (b) maintain and enhance the character of the surrounds;	A06 Buildings include habitable space, pedestrian entrances and recreation space facing the primary road frontage.	Not applicable. The proposed development is for a single storey shed to support existing activities at the subject site. The proposed shed will be located behind an existing structure which faces Barang Street. Given the existing development has frontage to Barang Street, the matters raised in PO6 are considered to be addressed.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
(c) provide opportunities for casual surveillance; (d) include a human scale; and (e) encourage occupation of outdoor space.		
PO7 Development complements and integrates with the established built character of the Medium density residential zone, having regard to: (a) roof form and pitch; (b) eaves and awnings; (c) building materials, colours and textures; and (d) window and door size and location.	AO7 No acceptable outcome is provided.	Complies with PO7. The proposed shed has a design which is consistent with existing development in proximity to the subject site. Specifically: <ul style="list-style-type: none"> • The roof pitch is minor and is of a similar design; • The proposed colour scheme is neutral; • Door openings are proportionate to the scale of the proposed development.
Non-residential development		
PO8 Non-residential development: (a) is consistent with the scale of existing development; (b) does not detract from the amenity of nearby residential uses; (c) directly supports the day to day needs of the immediate residential community; and (d) does not impact on the orderly provision of non-residential development in other locations in the shire.	AO8 No acceptable outcome is provided.	Complies with PO8. The proposed development is for a single storey shed. The proposed shed has a floor area of 328.65m ² which equates to 32.4% of the subject site. The proposed development will not detract from the amenity of the nearby locality as the shed will largely be un-noticeable from Barang Street as it is buffered by the existing development.
Amenity		

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
<p>PO9</p> <p>Development must not detract from the amenity of the local area, having regard to:</p> <p>(a) noise;</p> <p>(b) hours of operation;</p> <p>(c) traffic;</p> <p>(d) advertising devices;</p> <p>(e) visual amenity;</p> <p>(f) privacy;</p> <p>(g) lighting;</p> <p>(h) odour; and emissions.</p>	<p>AO9</p> <p>No acceptable outcome is provided.</p>	<p>Complies with PO9.</p> <p>The proposed development is for a single storey shed which will support existing activities at the subject site. Specifically, the proposed shed will be used for the storage of equipment. Hours of operation will be from 6am to 6pm, Monday to Friday with sporadic access between 7am and 5pm Monday to Friday on an as needs basis.</p>
<p>PO10</p> <p>Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to:</p> <p>(a) noise;</p> <p>(b) hours of operation;</p> <p>(c) traffic;</p> <p>(d) advertising devices;</p>	<p>AO10</p> <p>No acceptable outcome is provided.</p>	<p>Complies with PO10.</p> <p>The proposed development is for a single storey shed to support existing activities at the subject site. The level of noise generated by the proposed development will be minimal. Notable impacts on the traffic network are unlikely.</p>

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
(e) visual amenity;		
(f) privacy;		
(g) lighting;		
(h) odour; and emissions.		

Table 6.2.7.3B—Maximum densities for Accommodation activities

USE	MAXIMUM DENSITY
Dual occupancy	1 dwelling per 300m ² of site area
Multiple dwelling	(a) 1 dwelling per 150m ² of site area; and (b) 1 bedroom per 75m ² of site area.
Residential care facility	1 dwelling or accommodation unit per 100m ² of site area.
Retirement facility	1 dwelling or accommodation unit per 150m ² of site area

7.2.1 KURANDA LOCAL PLAN CODE

Table 7.2.1.3A—Kuranda local plan – For accepted development subject to requirements and assessable development

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
For accepted development subject to requirements and assessable development		
PO1 Advertising devices are compatible with the established character of the Kuranda local plan area, having regard to the: <ul style="list-style-type: none"> (a) dominance of natural elements; (b) scale of built elements; (c) nature of existing development in identified precincts; and scale, location and prominence of existing advertising devices. 	AO1.1 Advertising devices: <ul style="list-style-type: none"> (a) are not illuminated or flashing; and (b) do not use fluorescent colours or reflective surfaces. 	Not applicable. The proposed development does not include an advertising device.
	AO1.2 Where in the Village heart precinct or the Village frame precinct, advertising devices are limited to: <ul style="list-style-type: none"> (a) those attached to buildings; (b) a maximum of two permanent advertising devices per business; and (c) a combined surface area of no greater 2m². 	
	AO1.3 Where in the Green belt precinct, advertising devices are: <ul style="list-style-type: none"> (a) limited to a surface area of 0.5m²; (b) located a minimum of 300 metres from the closest freestanding advertising device; and 	

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
	(c) located to not obstruct the windows or architectural features of a building or structure to which they are attached.	
Where in the Village frame precinct		
PO2 Buildings are sited in a manner which is consistent with the established scale and form of buildings within the precinct, having regard to: (a) proximity to the street; (b) the existing relationship between built and natural features; and treatment of corner sites.	A02.1 Site cover does not exceed 60%. A02.2 Buildings are set back a minimum of 3 metres from the primary street frontage. A02.3 Buildings are set back a minimum of 2 metres from any secondary street frontage.	Not applicable. The subject site is not within the mapped Village Frame Precinct.
PO3 Car parking and service areas do not dominate the streetscape.	A03.1 No more than 50% of provided car parking is to be located between the building and the primary street frontage. A03.2 Servicing areas, excluding driveways, are not visible from the primary street frontage.	
Where in Green belt precinct		
PO4 Where located on a site identified as a 'point of arrival', development reinforces a positive image of Kuranda and upholds the “village in the rainforest” theme.	A04 Where located on a site identified as a 'point of arrival', development is: (a) of timber and tin construction; and (b) provides a minimum landscaped strip of 3 metres to the site frontage.	Not applicable. The subject site is not within the mapped Green Belt Precinct.
	A05.1 Development provides and maintains landscaping:	

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
PO5 The natural landscape character of the Green belt precinct is maintained and enhanced through on-site landscaping that: <ul style="list-style-type: none"> (a) promotes the dominance of natural elements; (b) screens built elements from view; (c) includes species consistent with those found in the precinct; and includes an appropriate depth of planting from the frontage. 	(a) along the full frontage of the site (excluding any access ways); (b) with a minimum width of 3 metres; and (c) contains rainforest planting in accordance with Table 7.2.1.3B .	
For assessable development		
PO6 Development fronting Rob Veivers Drive, Barron Falls Road or the southern portion of the Kennedy Highway maintains and enhances the natural rainforest appearance of land adjoining these corridors through the retention and addition of existing native vegetation.	AO6.1 Existing vegetation is retained at a depth of a minimum of: <ul style="list-style-type: none"> (a) 20 metres from the lot frontage for properties fronting the southern side of Rob Veivers Drive; or (b) 3 metres from the lot frontage for properties fronting the northern side of Rob Veivers Drive; or (c) 10 metres from the lot frontage for properties fronting either side of Barron Falls Road; or (d) 10 metres from the lot frontage for properties fronting either side of the portion of the Kennedy Highway to the south of the Barron River. 	Not applicable. The subject site does not front an area described in AO6.1.
	AO6.2 Where an area of a frontage described in AO6.1 does not	Not applicable. The subject site does not front an area described in AO6.1.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
	<p>contain any vegetation for a distance greater than 2 metres, this area is replanted:</p> <p>(a) to the depth specified in AO6.1; and</p> <p>(b) in accordance with Table 7.2.1.3B.</p>	
	<p>AO6.3</p> <p>Where the site has a frontage to a road described in AO6.1, other than Barron Falls Road, advertising devices:</p> <p>(a) are limited to a surface area of 0.5m²;</p> <p>(b) do not use fluorescent colours or reflective surfaces;</p> <p>(c) do not involve illumination; and</p> <p>(d) are spaced a minimum of 300 metres apart from the closest existing freestanding advertising device.</p>	<p>Not applicable.</p> <p>The subject site does not front an area described in AO6.1 and the proposed development does not include an advertising device.</p>
Where in Village frame precinct and Village heart precinct		
<p>PO7</p> <p>Development in the Village frame precinct and Village heart precinct is undertaken in a manner that respects the place's local character having regard to:</p> <p>(a) building height, scale, bulk, mass and proportion;</p> <p>(b) building materials, patterns, textures, colours, and decorative elements;</p> <p>(c) floor to ceiling height;</p> <p>(d) roof form and pitch;</p>	<p>AO7</p> <p>No acceptable outcome is provided.</p>	<p>Not applicable.</p> <p>The subject site is not within the mapped Village Frame Precinct or Village Heart Precinct.</p>

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
(e) facade articulation, detailing, stairways, and window and door proportions; (f) verandahs, awnings and eaves; (g) access ways, driveway crossovers, fence style and alignment; (h) ancillary buildings; and (i) other local character elements of the streetscape.		
Where in Village heart precinct		
PO8 Frontage works contribute to and extend established streetscape themes and landscape treatments, having regard to: (a) the location of street trees; (b) the provision of mature trees near the frontage; (c) the provision of raised planters; (d) established paving schemes; (e) the permeability of surface treatments; and (f) opportunities for public art.	AO8 No acceptable outcome is provided.	Not applicable. The subject site is not within the mapped Village Heart Precinct.
Where in Village frame precinct		
PO9 Landscaping along the site frontage of a site in the Village frame precinct reinforces and enhances the natural character of the precinct by providing:	AO9 A landscape strip is provided adjacent to the full length of any road frontage:	Not applicable. The subject site is not within the mapped Village Frame Precinct.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
(a) a sufficient depth of planting to ensure natural elements are prominent; and (b) species that are consistent with those found in the precinct.	(a) with a minimum width of 2 metres; and (b) landscaped in accordance with the Table 7.2.1.3B .	
PO10 Buildings incorporate materials and design features that are consistent with the established style and form of development within the precinct, having regard to: (a) roofing; (b) window placement; and (c) privacy screening.	AO10 Buildings incorporate the following design characteristics: (a) roofing materials with a traditional profile corrugated iron; (b) fenestration which has a vertical emphasis; (c) avoidance of large glazed areas in otherwise blank walls; and (d) privacy screens which consist of lattice or battens and are less than 50% transparent.	Not applicable. The subject site is not within the mapped Village Frame Precinct.

8.2.10 RESIDENTIAL DWELLING HOUSE AND OUTBUILDING OVERLAY CODE

Table 8.2.10.3A – Residential dwelling house and outbuilding overlay code - For accepted development subject to requirements and assessable development.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
For accepted development subject to requirements and assessable development		
Height		
PO1 Building height takes into consideration and respects the following: <ul style="list-style-type: none"> (a) the height of existing buildings on adjoining premises; (b) the development potential, with respect to height, on adjoining premises; (c) the height of buildings in the vicinity of the site; (d) access to sunlight and daylight for the site and adjoining sites; (e) privacy and overlooking; and (f) site area and street frontage length. 	AO1 Development has a maximum building height of: <ul style="list-style-type: none"> (a) 8.5 metres; and (b) 2 storeys above ground level. 	Complies with AO1. The proposed development has a maximum height of 4.2m and is for a single storey shed.
Outbuildings and residential scale		
PO2 Domestic outbuildings: <ul style="list-style-type: none"> (a) do not dominate the lot on which they are located; and (b) are consistent with the scale and character of development in the zone in which the land is located. 	AO2.1 Where located in the Low density residential zone or the Medium density residential zone, domestic outbuildings do not exceed: <ul style="list-style-type: none"> (a) 100m² in gross floor area; and (b) 5.5 metres in height above natural ground level. 	Complies with PO2. The proposed development is for a single storey shed. The proposed shed has a floor area of 328.65m ² which equates to 32.4% of the subject site. The existing single storey structure on the subject site has an area of 220m ² which equates to 21% of the subject site.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
		<p>The proposed development will result in the subject site having a developed area of 548.65m² which equates to 53.4%.</p> <p>The proposed development is not considered to be of a size which dominates the subject site as the total extent of development will not exceed 53.4%.</p> <p>Aerial mapping indicates that existing development in proximity to the subject site has a total area of development which exceeds 80% at several locations.</p> <p>Ergo, the proposed development complies with PO2.</p>
	<p>AO2.2 Where located in the Rural residential zone and on lots equal to or less than 2 hectares, domestic outbuildings do not exceed:</p> <p>(a) 150m² in gross floor area; and</p> <p>(b) 5.5 metres above natural ground level.</p>	<p>Not applicable. The subject site is located within the Medium Density Residential Zone.</p>
	<p>AO2.3 Where located in the Rural residential zone and located on lots greater than 2 hectares, domestic outbuildings do not exceed:</p> <p>(a) 200m² in gross floor area; and</p> <p>(b) 8.5 metres above natural ground level.</p>	<p>Not applicable. The subject site is located within the Medium Density Residential Zone.</p>

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
Gross floor area		
PO3 Buildings and structures occupy the site in a manner that: <p>(a) makes efficient use of land;</p> <p>(b) is consistent with the bulk and scale of surrounding buildings; and</p> <p>(c) appropriately balances built and natural features.</p>	AO3 Gross floor area does not exceed 600m ² .	Complies with AO3. The proposed development is for a single storey shed. The proposed shed has a floor area of 328.65m ² which equates to 32.4% of the subject site. The existing single storey structure on the subject site has an area of 220m ² which equates to 21% of the subject site. The proposed development would result in the subject site having a developed area of 548.65m ² .
Secondary dwellings		
PO4 Where a Dwelling house involves a secondary dwelling, it is designed and located to: <p>(a) not dominate the site;</p> <p>(b) remain subservient to the primary dwelling; and</p> <p>(c) be consistent with the character of the surrounding area;</p>	AO4.1 The secondary dwelling is located within: <p>(a) 10 metres of the primary dwelling where on a lot that has an area of 2 hectares or less; or</p> <p>(b) 20 metres of the primary dwelling where on a lot that has an area of greater than 2 hectares.</p> AO4.2 A secondary dwelling has a maximum gross floor area of 100m ² .	Not applicable. The proposed development is not for a secondary dwelling.
Car parking		
PO5 Development provides sufficient car parking to accommodate the demand likely to be generated by the use, having regard to the: <p>(a) nature of the use;</p>	AO5 Car parking spaces are provided in accordance with the following minimum rates: <p>(a) one covered space per dwelling house; and</p> <p>(b) one space per secondary dwelling.</p>	Not applicable. The proposed development is for a single storey shed to support existing site activities. Parking demand will not increase as a result of the proposed development. Ergo, further parking is not required.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
(b) location of the site; (c) proximity of the use to public transport services; (d) availability of active transport infrastructure; and (e) accessibility of the use to all members of the community.		
Vehicle crossovers		
PO6 Vehicle crossovers are provided to: (a) ensure safe and efficient access between the road and premises; (b) minimize interference with the function and operation of roads; and (c) minimise pedestrian to vehicle conflict.	AO6.1 Vehicular access to/from Council roads is designed and constructed in accordance with the Standard drawings in Planning Scheme Policy 4 - FNQROC Regional Development Manual. AO6.2 Development on a site with two or more road frontages provides vehicular access from the lowest order road. AO6.3 A secondary dwelling shares a vehicle crossover with the primary dwelling.	Not applicable. The subject site is benefited by an existing access point to Barang Street which will be used for the proposed development Not applicable. The subject site has a single frontage to Barang Street. Not applicable. The proposed development is not for a secondary dwelling.
PO7 Access, manoeuvring and car parking areas include appropriate pavement treatments having regard to: (a) the intensity of anticipated vehicle movements; (b) the nature of the use that they service; and (c) the character of the surrounding locality.	AO7 Access, manoeuvring and car parking areas include pavements that are constructed in accordance with Table 8.2.10.3B .	Not applicable. The subject site is benefited by an existing access point to Barang Street which will be used for the proposed development
Water supply		

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
PO8 Each lot has an adequate volume and supply of water that: <ul style="list-style-type: none"> (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment. 	AO8.1 Development is connected to a reticulated water supply system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located in the Rural residential zone and outside a reticulated water supply service area.	Complies with AO8.1. The subject site is connected to Councils mains water supply. No further connections are required.
	AO8.2 Development, where located outside a reticulated water supply service area and in the Rural residential zone is provided with: <ul style="list-style-type: none"> (a) a bore or bores are provided in accordance with the Design Guidelines set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; or (b) on-site water storage tank/s: <ul style="list-style-type: none"> (i) with a minimum capacity of 90,000L; (ii) fitted with a 50mm ball valve with a camlock fitting; and (iii) which are installed and connected prior to the occupation or use of the development. 	Not applicable. The subject site is connected to Councils mains water supply.
Wastewater disposal		
PO9 Each lot provides for the treatment and disposal of effluent and other waste water that:	AO9.1 Development is connected to a reticulated sewerage system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located in the Rural residential zone and outside a reticulated sewerage service area.	Complies with AO9.1. The subject site is connected to Councils mains sewerage network. No further connections are required.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
(a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment.	AO9.2 An effluent disposal system is provided in accordance with ASNZ 1547 On-Site Domestic Wastewater Management (as amended) where development is located in the Rural residential zone and outside a reticulated sewerage service area.	Not applicable. The subject site is connected to Councils mains sewerage network.
Stormwater infrastructure		
PO10 Stormwater infrastructure is designed and constructed to collect and convey the design storm event to a lawful point of discharge in a manner that mitigates impacts on life and property.	AO10.1 Where located within a Priority infrastructure area or where stormwater infrastructure is available, development is connected to Council's stormwater network in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Complies with AO10.1. The subject site is connected to Councils stormwater network. No further connections are required.
	AO10.2 On-site drainage systems are constructed: (a) to convey stormwater from the premises to a lawful point of discharge; and (b) in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Not applicable. The subject site is connected to Councils stormwater network.
Electricity supply		
PO11 Each lot is provided with an adequate supply of electricity	AO11 The premises:	Complies with PO11. The subject site is connected to electricity infrastructure owned and operated by Ergon Energy. No further connections are required.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
	<p>(a) is connected to the electricity supply network; or</p> <p>(b) has arranged a connection to the transmission grid; or</p> <p>(c) where not connected to the network, an independent energy system with sufficient capacity to service the development (at near average energy demands associated with the use) may be provided as an alternative to reticulated electricity where:</p> <p style="padding-left: 40px;">(i) it is approved by the relevant regulatory authority; and</p> <p style="padding-left: 40px;">(ii) it can be demonstrated that no air or noise emissions; and</p> <p style="padding-left: 40px;">(iii) it can be demonstrated that no adverse impact on visual amenity will occur.</p>	
Telecommunications infrastructure		
PO12 Each lot is provided with an adequate supply of telecommunication infrastructure.	AO12 Development is provided with a connection to the national broadband network or telecommunication services.	Complies with PO12. The subject site is connected to telecommunications infrastructure. No further connections are required.
Existing public utility services		
PO13 Development and associated works do not affect the efficient functioning of public utility mains, services or installations.	AO13 Public utility mains, services are relocated, altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Not applicable. No further infrastructure connections are required to facilitate the proposed development.
Excavation and filling		
	AO14.1 Excavation or filling does not occur within 1.5 metres of any site boundary.	Complies with AO14.1. No excavation or filling is required to facilitate the proposed development.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
PO14 Excavation or filling must not have an adverse impact on the: (a) streetscape; (b) scenic amenity; (c) environmental values; (d) slope stability; (e) accessibility; or (f) privacy of adjoining premises.		Ergo, the proposed development complies with AO14.1.
	AO14.2 Excavation or filling at any point on a lot is to be no greater than 1.5 metres above or below natural ground level.	Complies with AO14.2. No excavation or filling is required to facilitate the proposed development. Ergo, the proposed development complies with AO14.3.
	AO14.3 Earthworks batters: (a) are no greater than 1.5 metres in height; (b) are stepped with a minimum width 2 metre berm; (c) do not exceed a maximum of two batters and two berms (not greater than 3.6 metres in total height) on any one lot; (d) have a slope no greater than 1 in 4; and (e) are retained.	Complies with AO14.3. No excavation or filling which will result in the creation of a batter is required to facilitate the proposed development. Ergo, the proposed development complies with AO14.3.
	AO14.4 Soil used for filling or spoil from excavation is not stockpiled in locations that can be viewed from: (a) adjoining premises; or (b) a road frontage, for a period exceeding 1 month from the commencement of the filling or excavation.	Complies with AO14.4. No excavation or filling is required to facilitate the proposed development. Ergo, the proposed development complies with AO14.4.
	AO14.5 All batters and berms to be constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 –	Complies with AO14.5. No excavation or filling which will result in the creation of a batter is required to facilitate the proposed development.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
	FNQROC Regional Development Manual.	Ergo, the proposed development complies with AO14.5.
	AO14.6 Retaining walls have a maximum height of 1.5 metres and are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Not applicable. A retaining wall is not proposed.
	AO14.7 Excavation or filling at any point on a lot is to include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Complies with AO14.7. No excavation or filling is required to facilitate the proposed development. Ergo, the proposed development complies with AO14.7.

Table 8.2.10.3B—Pavement Standards for Access, Manoeuvring and Car Parking areas

COMPACTED GRAVEL BASE (MINIMUM THICKNESS)	SURFACING OPTIONS
75mm	Reinforced concrete with a minimum thickness of: <ul style="list-style-type: none"> • 100mm for parking areas; and • 150mm for access ways.
150mm	Asphalt with a minimum thickness of 25mm
150mm	Two coat sprayed bitumen seal

150mm	Concrete pavers
Not applicable	Minimum 150mm thickness compacted gravel suitable for all weather and dust free

8.2.11 SCENIC AMENITY OVERLAY CODE

Table 8.2.11.3 – Scenic amenity overlay code - For accepted development subject to requirements and assessable development.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
For accepted development subject to requirements and assessable development		
Where adjoining a Local scenic route		
PO1 'Local scenic routes' identified on Scenic amenity overlay map (OM-011b) are maintained and enhanced to: (a) achieve a high level of amenity when viewed from the street; (b) contribute to the development of natural features within the streetscape; and (c) compliment the character of the local area.	AO1.1 Development with frontage to a 'Local scenic route' identified on Scenic amenity overlay map (OM-011b) retains existing mature native vegetation within 3 metres of the site frontage.	Not applicable. The frontage of the subject site contains minor mature native vegetation. The existing vegetation will not be impacted as a result of the proposed development.
	AO1.2 Development, other than for a Dwelling house, with frontage to a 'Local scenic route' identified on Scenic amenity overlay map (OM-011b) : (a) provides a landscaped strip that: (i) is a minimum of 3 metres; and (ii) contains species which comply with the relevant acceptable outcomes of the Landscaping code and any applicable local plan code; and (b) does not involve a freestanding permanent advertising device.	Not applicable. The proposed development is for a single storey shed which will be located to the rear of the subject site behind the existing development on the subject site. The frontage of the subject site contained existing development and minor native vegetation. Considering the locality of the proposed shed, no landscaping is required.
For assessable development		
Iconic landscape features		
PO2 The visibility of the 'Chillagoe Smelters iconic landscape feature' and the 'Mount Mulligan iconic landscape feature' identified on Scenic	AO2 No acceptable outcome is provided.	Not applicable. The subject site is not within the mapped Mount Mulligan Features area.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
<p>amenity overlay map (OM- 011a) are not compromised by buildings or structures located within the:</p> <p>(a) 'Chillagoe Smelters iconic landscape feature'; or</p> <p>(b) 'Chillagoe Smelters 500 metre buffer'; or</p> <p>(c) 'Mount Mulligan iconic landscape feature'; or</p> <p>(d) 'Mount Mulligan 12 kilometre buffer'.</p>		
Where within the Shire scenic route 500 metre buffer		
<p>'Shire scenic routes' identified on Scenic amenity overlay map (OM- 011b) are maintained and enhanced:</p> <p>a) to contribute to the rural landscape character of the shire;</p> <p>b) to promote the appreciation of the natural environment;</p> <p>c) through the sensitive location and design of land uses, buildings and structures; and</p> <p>d) through the retention and enhancement of the attributes or values which give rise to the attractiveness of the subject site.</p>	<p>AO3</p> <p>No acceptable outcome is provided.</p>	<p>Not applicable.</p> <p>The subject site is not within the mapped 500 Metre Buffer area.</p>
If for Extractive industry or Telecommunications facility		
<p>PO4</p> <p>The Extractive industry or Telecommunications facility is not visible from a 'Local scenic route' or a 'Shire scenic route' identified on Scenic amenity overlay map (OM-011b).</p>	<p>AO4</p> <p>No acceptable outcome is provided.</p>	<p>Not applicable.</p> <p>The proposed development is not for extractive industry or a telecommunications facility.</p>

9.4.3 PARKING AND ACCESS CODE

Table 9.4.3.3A—Parking and access code – For accepted development subject to requirements and assessable development

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
For accepted development subject to requirements and assessable development		
Car parking spaces		
PO1 Development provides sufficient car parking to accommodate the demand likely to be generated by the use, having regard to the: <ul style="list-style-type: none"> a) nature of the use; b) location of the site; c) proximity of the use to public transport services; d) availability of active transport infrastructure; and e) accessibility of the use to all members of the community. 	AO1 The number of car parking spaces provided for the use is in accordance with Table 9.4.3.3B .	Complies with AO1. Table 9.4.3.3b requires 1 parking space to be provided per every 90m ² of floor space. The proposed development is for a single storey shed with an area of 328.65m ² . 3.6445 (totalling 4) parking spaces are therefore required. The site has ample space to accommodate the 4 additional parking spaces as required. However, it is noted that the proposed shed will support the existing activities undertaken at the site. Therefore, the proposed development does not include formalised parking as the shed is complimentary to the site and formalised parking is not required.
Vehicle crossovers		
PO2 Vehicle crossovers are provided to:	AO2.1 Vehicular access to/from Council roads is designed and constructed in accordance with the Standard drawings in Planning Scheme Policy 4 - FNQROC Regional Development Manual.	Not applicable. The subject site is benefited by an existing access point to Barang Street which will be used for the proposed development. No further works to the access point are proposed.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
(d) ensure safe and efficient access between the road and premises;	AO2.2 Development on a site with two or more road frontages provides vehicular access from: <ul style="list-style-type: none"> (a) the primary frontage where involving Community activities or Sport and recreation activities, unless the primary road frontage is a State-controlled road; or (b) from the lowest order road in all other instances. 	Not applicable. The subject site has a single frontage to Barang Street.
(e) minimize interference with the function and operation of roads; and		
(f) minimise pedestrian to vehicle conflict.	AO2.3 Vehicular access for particular uses is provided in accordance with Table 9.4.3.3E .	Not applicable. Table 9.4.3.3e does not apply to the proposed land
PO3 Access, manoeuvring and car parking areas include appropriate pavement treatments having regard to: <ul style="list-style-type: none"> a) the intensity of anticipated vehicle movements; b) the nature of the use that they service; and c) the character of the surrounding locality. 	AO3 Access, manoeuvring and car parking areas include pavements that are constructed in accordance with Table 9.4.3.3C .	Not applicable. The subject site is benefited by an existing access point to Barang Street which will be used for the proposed development. No further works to the access point are proposed.
For assessable development		
Parking area location and design		
PO4 Car parking areas are located and designed to: <ul style="list-style-type: none"> (a) ensure safety and efficiency in operation; and (b) be consistent with the character of the surrounding locality. 	AO4.1 Car parking spaces, access and circulation areas have dimensions in accordance with AS/NZS 2890.1 Off-street car parking.	Not applicable. The proposed development does not include car parking.
	AO4.2 Disabled access and car parking spaces are located and designed in accordance with AS/NZS 2890.6 Parking facilities - Off-street parking for people with disabilities.	Not applicable. The proposed development does not include car parking.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
	AO4.3 The car parking area includes designated pedestrian routes that provide connections to building entrances.	Not applicable. The proposed development does not include car parking.
	AO4.4 Parking and any set down areas are: <ul style="list-style-type: none"> (a) wholly contained within the site; (b) visible from the street where involving Commercial activities, Community activities, Industrial activities or a use in the Recreation and open space zone; (c) are set back behind the main building line where involving a Dual occupancy, Multiple dwelling, Residential care facility or Retirement facility; and (d) provided at the side or rear of a building in all other instances. 	Not applicable. The proposed development does not include car parking.
Site access and manoeuvring		
PO5 Access to, and manoeuvring within, the site is designed and located to: <ul style="list-style-type: none"> (a) ensure the safety and efficiency of the external road network; (b) ensure the safety of pedestrians; (c) provide a functional and convenient layout; and (d) accommodate all vehicles intended to use the site. 	AO5.1 Access and manoeuvrability is in accordance with : <ul style="list-style-type: none"> (a) AS28901 – Car Parking Facilities (Off Street Parking); and (b) AS2890.2 – Parking Facilities (Off- street Parking) Commercial Vehicle Facilities. 	Complies with AO5.1. The proposed development will be constructed such that access and manoeuvrability will be in accordance with the specified Standard. Compliance with these requirements can be ensured through the imposition of a Condition within the Development Permit.
	AO5.2 Vehicular access has a minimum sight distance in accordance with Part 5 of AUSTROADS.	Not applicable. The subject site is benefited by an existing access point to Barang Street which will be used for the proposed development.
	AO5.3 Vehicular access is located and designed so that all vehicles enter and exit the site in a forward gear.	Not applicable. The subject site is benefited by an existing access point to Barang Street which will be used for the proposed development.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
	<p>AO5.4 Pedestrian and cyclist access to the site:</p> <p>(a) is clearly defined;</p> <p>(b) easily identifiable; and</p> <p>(c) provides a connection between the site frontage and the entrance to buildings and end of trip facilities (where provided)</p>	<p>Not applicable. The subject site is benefited by an existing access point to Barang Street which will be used for the proposed development</p>
<p>PO6 Development that involves an internal road network ensures that it's design:</p> <p>(a) ensure safety and efficiency in operation;</p> <p>(b) does not impact on the amenity of residential uses on the site and on adjoining sites, having regard to matters of:</p> <p>(i) hours of operation;</p> <p>(ii) noise</p> <p>(iii) light; and</p> <p>(iv) odour;</p> <p>(c) accommodates the nature and volume of vehicle movements anticipated to be generated by the use;</p>	<p>AO6.1 Internal roads for a Tourist park have a minimum width of:</p> <p>(a) 4 metres if one way; or</p> <p>(b) 6 metres if two way.</p>	<p>Not applicable. The proposed development is not for a Tourist Park.</p>
	<p>AO6.2 For a Tourist park, internal road design avoids the use of cul-de-sacs in favour of circulating roads, where unavoidable, cul- de-sacs provide a full turning circle for vehicles towing caravans having:</p> <p>(a) a minimum approach and departure curve radius of 12 metres; and</p> <p>(b) a minimum turning circle radius of 8 metres.</p>	<p>Not applicable. The proposed development is not for a Tourist Park.</p>
	<p>AO6.3 Internal roads are imperviously sealed and drained, apart from those for an Energy and infrastructure activity or Rural activity.</p>	<p>Not applicable. The proposed development does not include any internal roadways.</p>
	<p>AO6.4 Speed control devices are installed along all internal roads, apart from those for an Energy and infrastructure activity or Rural activity, in accordance with Complete Streets.</p>	<p>Not applicable. The proposed development does not include any internal roadways.</p>

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
(d) allows for convenient access to key on-site features by pedestrians, cyclists and motor vehicles; and	AO6.5 Internal roads, apart from those for an Energy and infrastructure activity or Rural activity, are illuminated in accordance with AS 4282 (as amended) - Control of Obtrusive effects of outdoor lighting.	Not applicable. The proposed development does not include any internal roadways.
(e) in the Rural zone, avoids environmental degradation.	AO6.6 Where involving an accommodation activity, internal roads facilitate unobstructed access to every dwelling, accommodation unit, accommodation site and building by emergency services vehicles.	Not applicable. The proposed development is not for accommodation purposes.
	AO6.7 For an Energy and infrastructure activity or Rural activity, internal road gradients: (a) are no steeper than 1:5; or (b) are steeper than 1:5 and are sealed.	Not applicable. The proposed development does not include any internal roadways.
Servicing		
P07 Development provides access, manoeuvring and servicing areas on site that:	AO7.1 All unloading, loading, service and waste disposal areas are located: (a) on the site; (b) to the side or rear of the building, behind the main building line; (c) not adjacent to a site boundary where the adjoining property is used for a sensitive use.	Complies with AO7.1. The subject site is adequately sized to ensure all loading, unloading, service and waste disposal areas are located wholly on the site.
(a) accommodate a service vehicle commensurate with the likely demand generated by the use;		
(b) do not impact on the safety or efficiency of internal car parking or manoeuvring areas;		
(c) do not adversely impact on the safety or efficiency of the road network;	AO7.2 Unloading, loading, service and waste disposal areas allow service vehicles to enter and exit the site in a forward gear.	Complies with AO7.2. The subject site is adequately sized to ensure all service vehicles enter and exit in a forward gear.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
(d) provide for all servicing functions associated with the use; and (e) are located and designed to minimise their impacts on adjoining sensitive land uses and streetscape quality.	AO7.3 Development provides a servicing area, site access and manoeuvring areas to accommodate the applicable minimum servicing vehicle specified in Table 9.4.3.3B .	Complies with AO7.3. The subject site is sufficiently sized to accommodate the requirements of Table 9.4.3.3b.
Maintenance		
PO8 Parking areas are used and maintained for their intended purpose.	AO8.1 Parking areas are kept and used exclusively for parking and are maintained in a suitable condition for parking and circulation of vehicles.	Not applicable. The proposed development does not include car parking.
	AO8.2 All parking areas will be compacted, sealed, drained, line marked and maintained until such time as the development ceases.	Not applicable. The proposed development does not include car parking.
End of trip facilities		
PO9 Development within the Centre zone; Industry zone or Emerging community zone provides facilities for active transport users that: (a) meet the anticipated demand generated from the use; (b) comprise secure and convenient bicycle parking and storage; and (c) provide end of trip facilities for all active transport users.	AO9.1 The number of bicycle parking spaces provided for the use is in accordance with Table 9.4.3.3D .	Not applicable. Table 9.4.3.3d does not specify a rate for Warehouse.
	AO9.2 End of trip facilities are provided in accordance with Table 9.4.3.3D .	Not applicable. Table 9.4.3.3d does not specify a rate for Warehouse.
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park		
PO10 The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.	AO10 A traffic impact report is prepared by a suitably qualified person that identifies:	Not applicable. The proposed development is not for an Educational Establishment or a Childcare Centre.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
	(a) the expected traffic movements to be generated by the facility; (b) any associated impacts on the road network; and (c) any works that will be required to address the identified impacts.	
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park		
PO11 The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.	AO11 A traffic impact report is prepared by a suitably qualified person that identifies: <ul style="list-style-type: none"> a) the expected traffic movements to be generated by the facility; b) any associated impacts on the road network; and c) any works that will be required to address the identified impacts. 	Not applicable. The proposed development is not for an Educational Establishment or a Childcare Centre.

Table 9.4.3.3B—Vehicle Parking and Service Vehicle Space Requirements.

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
Adult store	<p>Inside the Centre zone:</p> <p>One space per 50m² or part thereof of GFA up to 400m² GFA, and one space per 20m² or part thereof of GFA above 400m². Outside the Centre zone:</p> <p>One space per 25m² or part thereof of GFA up to 400m² GFA, and one space per 10m² or part thereof of GFA above 400m².</p>	One SRV space.
Agricultural supplies store	<p>Inside the Centre zone:</p> <p>One space per 50m² or part thereof of GFA up to 400m² GFA, and one space per 15m² or part thereof of GFA above 400m². Outside the Centre zone:</p> <p>One space per 30m² or part thereof of GFA up to 400m² GFA, and one space per 10m² or part thereof of GFA above 400m².</p> <p>Queuing for 3 vehicles should be supplied where a GFA is greater than 600m².</p>	One HRV space.
Air services	<p>If accepted development subject to requirements development:</p> <p>One space per 90m² or part thereof of net lettable area; or</p> <p>If Assessable development: As determined by Council.</p>	<p>If accepted development subject to requirements: One space per 200m² or part thereof of net lettable area.</p> <p>If assessable development: As determined by Council.</p>
Animal husbandry	<p>If accepted development subject to requirements :</p> <p>One space.</p> <p>If assessable development: As determined by Council.</p>	<p>If accepted development subject to requirements: Nil.</p> <p>If assessable development: As determined by Council.</p>
Animal keeping	Minimum of three spaces or one space per 200m ² of use area, whichever is greater.	One SRV space.

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
Aquaculture	<p>If accepted development subject to requirements:</p> <ul style="list-style-type: none"> • In the rural or rural residential zones - two spaces; or • Enclosed within a building - one space per 90m² of net lettable area. <p>If assessable development: As determined by Council.</p>	<p>If accepted development subject to requirements: Nil.</p> <p>If assessable development: As determined by Council.</p>
Brothel	As determined by Council.	As determined by Council.
Bulk landscape supplies	Minimum of five spaces or one space per 250m ² of use area, whichever is greater.	<p>One AV if the site has an area of greater than 2,000m²; or</p> <p>One HRV space.</p>
Car wash	Minimum of two parking spaces plus 1 car queuing space for each car wash or service bay and parking at rates applicable to ancillary use/s.	One AV space.
Caretaker's accommodation	One space per dwelling unit.	Nil.
Cemetery	As determined by Council.	As determined by Council.
Child care centre	A minimum of 3 spaces will be required to be used for setting down and picking up of children, plus one space per 10 children for staff parking.	One SRV space.
Club	Minimum of 5 spaces per use or one space per 25m ² or part thereof of GFA, whichever is greater.	<p>One SRV space; and</p> <p>One HRV space if greater than 500m².</p>
Community care centre	Minimum of 5 spaces per use or one space per 25m ² or part thereof of GFA, whichever is greater.	One SRV space.
Community residence	Three spaces.	Nil.
Community use	Minimum of 5 spaces per use or one space per 50m ² or part thereof of GFA, whichever is greater.	One SRV space if greater than 500m ² GFA.
Crematorium	One space per 30m ² GFA or part thereof.	As determined by Council.

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
Cropping	If accepted development subject to requirements: Two spaces. If assessable development: As determined by Council.	If accepted development subject to requirements: Nil. If assessable development: As determined by Council.
Detention facility	As determined by Council.	As determined by Council.
Dual occupancy	One covered space per dwelling; and One visitor space.	Nil.
Dwelling house	One covered space per dwelling house. One space per secondary dwelling.	Nil
Dwelling unit	One covered space per dwelling unit. A minimum of 0.25 spaces per dwelling is to remain in common property for visitor use.	Nil
Educational establishment	For all establishments: 1 space per every 10 students plus 1 space per employee, and Provision for 3 vehicles for loading and unloading of passengers in addition to the requirements above.	For accepted development subject to requirements: One HRV space; and One SRV space; and A minimum of 3 Bus / coach parking / set down areas. For assessable development: As determined by Council.
Emergency services	Minimum of 5 spaces per use or one space per 25m ² or part thereof of GFA, whichever is greater.	As determined by Council.
Environment facility	As determined by Council.	As determined by Council.
Extractive industry	As determined by Council.	As determined by Council.
Food and drink outlet	Accepted in an existing building within the Centre zone. Inside the Centre zone: One space per 50m ² or part thereof of GFA up to 400m ² GFA and one space per 15m ² or part thereof of GFA above 400m ² . Outside the Centre zone: One space per 25m ² or part thereof of GFA up to 400m ² GFA and one space per 10m ² or part	One HRV space.

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
	<p>thereof of GFA above 400m². Drive-through: Queuing spaces for 6 passenger vehicles within the site boundaries.</p> <p>One service vehicle space per use or one service vehicle space per 1,000m² GFA, whichever is greater.</p>	
Function facility	One space per 30m ² or part thereof of GFA.	One SRV space.
Funeral parlour	<p>Accepted in an existing building within the Centre zone.</p> <p>Inside the Centre zone: One space per 20m² or part thereof of GFA up to 400m² GFA, and one space per 10m² or part thereof of GFA above 400m². Outside the Centre zone: One space per 25m² or part thereof of GFA up to 400m² GFA, and one space per 15m² or part thereof of GFA above 400m².</p>	One SRV space.
Garden centre	<p>A minimum of 5 spaces for customer parking or one space per 150m² or part thereof of use area, whichever is greater.</p> <p>One service vehicle space per use or one service vehicle space per 800m² use area, whichever is greater.</p>	One AV if the site has an area of greater than 2,000m ² , otherwise One HRV space.
Hardware and trade supplies	<p>Accepted in an existing building within the Centre zone.</p> <p>Inside the Centre zone: One space per 50m² or part thereof of GFA up to 400m² GFA, and one space per or part thereof of GFA above 400m². Outside the Centre zone:</p>	One AV if the site has an area of greater than 2,000m ² , otherwise One HRV space.

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
	One space per or part thereof of GFA up to 400m ² GFA, and one space per 15m ² or part thereof of GFA above 400m ² .	
Health care services	Accepted in an existing building within the Centre zone. Inside the Centre zone: One space per 40m ² or part thereof of net lettable area. Outside the Centre zone: One space per 20m ² or part thereof of net lettable area.	One SRV space per 500m ² GFA.
High impact industry	One space per 90m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.
Home based business	Bed and breakfasts: One space per guest room. Other home based business: One space for home based business and one covered space for the dwelling.	Nil.
Hospital	One space per 6 residential care beds. One space per 4 hostel unit beds. Visitor parking at 30% of resident parking requirements.	One HRV space. One SRV for every 800m ² of GFA and part thereof; and One space for an emergency vehicle.
Hotel	One space per 10m ² or part thereof of GFA per bar, beer garden and other public area. One space per 50m ² or part thereof of GFA per bulk liquor sales area. One space per guest room.	One HRV space.
Indoor sport and recreation	If accepted development subject to requirements: One space per 25m ² of net lettable area. If assessable development: As determined by Council.	An internal bus set down and pick up area that enables the bus to be in a forward motion at all times whilst onsite Internal dedicated taxi bays provided within 200 metres of the site entrance.

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
Intensive animal industries	If accepted development subject to requirements: Two spaces. If assessable development: As determined by Council.	One SRV space.
Intensive horticulture	If accepted development subject to requirements: Two spaces. If assessable development: As determined by Council.	If accepted development subject to requirements: Nil. If assessable development: As determined by Council.
Landing	As determined by Council.	As determined by Council.
Low impact industry	One space per 90m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.
Major electricity infrastructure	As determined by Council.	As determined by Council.
Major sport, recreation and entertainment facility	As determined by Council.	As determined by Council.
Marine industry	One space per 90m ² GFA or part thereof.	One HRV space if the site has an area greater than 1,000m ² , otherwise One SRV space.
Market	As determined by Council.	As determined by Council.
Medium impact industry	One space per 90m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.
Motor sport facility	As determined by Council.	As determined by Council.
Multiple dwelling	One covered space per dwelling. One dedicated vehicle wash-down bay for premises containing 5 or more dwellings. A minimum of 0.25 spaces per dwelling is to remain in common property for visitor use.	Nil.
Nature-based tourism	One space per dwelling; or 0.75 spaces per guest room if in dormitory or shared facilities.	As determined by Council.

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
Nightclub entertainment facility	One space per 60m ² GFA or part thereof.	Nil.
Non-resident workforce accommodation	One space per dwelling unit.	Nil.
Office	Accepted in an existing building within the Centre zone. Inside the Centre zone: One space per 20m ² or part thereof of GFA up to 400m ² GFA, and one space per 10m ² or part thereof of GFA above 400m ² . Outside the Centre zone: One space per 25m ² or part thereof of GFA up to 400m ² GFA, and one space per 15m ² or part thereof of GFA above 400m ² .	One SRV space.
Outdoor sales	A minimum of 5 spaces for customer parking or one space per 150m ² of use area, whichever is greater. One service vehicle space per use or one service vehicle space per 800m ² , whichever is greater.	One AV if the site has an area of greater than 2,000m ² , otherwise One HRV space.

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
Outdoor sport and recreation	<p>Coursing, horse racing, pacing or trotting:</p> <ul style="list-style-type: none"> • One space per five seated spectators; plus • One space per 5m² of other spectator areas. <p>Football:</p> <ul style="list-style-type: none"> • 50 spaces per field. Lawn bowls: • 30 spaces per green. Swimming pool: • 15 spaces; plus • One space per 100m² of useable site area. <p>Tennis or other Court:</p> <ul style="list-style-type: none"> • Four spaces per court. Golf Course: • Four spaces per tee on the course; plus • One space per 50m² of net lettable area. <p>Any other use: As determined by council.</p>	<p>An internal bus set down and pick up area that enables the bus to be in a forward motion at all times whilst onsite</p> <p>Internal dedicated taxi bays provided within 200 metres of the site entrance.</p>
Park	As determined by Council.	As determined by Council.
Parking station	Not applicable	Nil.

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
Permanent plantation	If accepted development subject to requirements: Two spaces. If assessable development: As determined by Council.	If accepted development subject to requirements: Nil. If assessable development: As determined by Council.
Place of worship	Minimum of 5 spaces per use or one space per 25m ² or part thereof of GFA, whichever is greater.	One SRV space.
Port services	As determined by Council.	As determined by Council.
Relocatable home park	One space for each home site plus 1 space for each 5 home sites or part thereof for visitors.	One HRV space.
Renewable energy facility	As determined by Council.	As determined by Council.
Research and technology industry	One space per 90m ² GFA or part thereof.	One HRV space if the site has an area greater than 1,000m ² , otherwise One SRV space.
Residential care facility	One space per 4 hostel unit beds. Visitor parking at 30% of resident parking requirements.	One SRV space; and One space for an emergency vehicle.
Resort complex	As determined by Council.	As determined by Council.
Retirement facility	One covered space per unit and 0.5 spaces for visitors parking.	One SRV space; and One space for an emergency vehicle.
Roadside stall	One space per stall.	Nil.
Rooming accommodation	Inside the Centre zone: One space per 15 beds. Outside the Centre zone: One space per 8 beds.	One SRV space. One space for a 20 seater bus.
Rural industry	One space per 90m ² GFA or part thereof.	One AV space.
Rural workers' accommodation	If accepted development subject to requirements: Nil If Assessable development: As determined by Council.	If accepted development subject to requirements: Nil If Assessable development: As determined by Council.
Sales office	One space per 25m ² GFA or part thereof.	Nil.

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
Service industry	<p>Accepted where in an existing building within the Centre zone.</p> <p>Inside the Centre zone: One space per 50m² or part thereof of GFA up to 400m² GFA, and one space per 10m² or part thereof of GFA above 400m². Outside the Centre zone: One space per 25m² or part thereof of GFA up to 400m² GFA, and one space per 15m² or part thereof of GFA above 400m².</p>	One HRV space if the site is greater than 2,000m ² , otherwise One SRV space.
Service station	Minimum of four spaces plus car parking at rates applicable to ancillary use/s.	One AV space.
Shop	<p>Accepted where in an existing building within the Centre zone.</p> <p>Inside the Centre zone: One space per 50m² or part thereof of GFA up to 400m² GFA, and one space per 10m² or part thereof of GFA above 400m². Outside the Centre zone: One space per 25m² or part thereof of GFA up to 400m² GFA, and one space per 15m² or part thereof of GFA above 400m².</p>	One HRV space if the site is greater than 2,000m ² , otherwise One SRV space.
Shopping centre	<p>Inside the Centre zone: One space per 50m² or part thereof of GFA up to 400m² GFA and one space per 25m² or part thereof of GFA above 400m². Outside the Centre zone: One space per 25m² or part thereof of GFA up to 400m² GFA and one space per 15m² or part thereof of GFA above 400m².</p>	One AV space per 1,000m ² ; and One SRV space per 500m ² ; or One SRV space per every 2 specialty uses, whichever the greater.
Short-term accommodation	One space per unit.	<p>One HRV space if involves the serving of food or beverage; otherwise</p> <p>One SRV space.</p>

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
Showroom	Accepted in an existing building within the Centre zone. Inside the Centre zone: One space per 25m ² or part thereof of GFA up to 400m ² GFA, and one space per 10m ² or part thereof of GFA above 400m ² . Outside the Centre zone: One space per 50m ² or part thereof of GFA up to 400m ² GFA, and one space per 15m ² or part thereof of GFA above 400m ² .	One AV space and One SRV space if the site is greater than 2,000m ² ; or One HRV space; and One SRV Space.
Special industry	One space per 90m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.
Substation	If assessable development: As determined by Council.	As determined by Council.
Telecommunications facility	If accepted development subject to requirements: Nil. If assessable development: As determined by Council.	If accepted development subject to requirements: Nil. If assessable development: As determined by Council.
Theatre	One space per 15m ² or part thereof of net lettable area, or one space per 5 seated spectators whichever is the greater.	One SRV space.
Tourist attraction	As determined by Council.	As determined by Council.
Tourist park	One space within each accommodation site plus 1 additional visitor space per 10 accommodation sites. Queuing for 2 vehicles towing caravans and 1 holding bay for a vehicle towing a caravan plus additional queuing for 1 vehicle towing a caravan per 40 accommodation sites.	One HRV space.
Transport depot	One space per 125m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.

DEFINITION	MINIMUM NUMBER OF CAR PARKING SPACES	MINIMUM SERVICE VEHICLE SPACE PROVISION
Utility installation	<p>If accepted development subject to requirements: Nil.</p> <p>If assessable development: As determined by Council.</p>	<p>If accepted development subject to requirements: Nil.</p> <p>If assessable development: As determined by Council.</p>
Veterinary services	<p>Accepted in an existing building within the Centre zone.</p> <p>Inside Centre zone: One space per 40m² or part thereof of net lettable area.</p> <p>Outside Centre zone: One space per 20m² or part thereof of net lettable area.</p>	<p>One HRV space if greater than 500m² GFA; and One SRV space per 500m² GFA.</p>
Warehouse	One space per 90m ² GFA or part thereof.	One AV space if the site has an area greater than 2,000m ² , otherwise One HRV.
Wholesale nursery	As determined by Council.	As determined by Council.
Winery	As determined by Council.	As determined by Council.

Table 9.4.3.3C—Pavement Standards for Access, Manoeuvring and Car Parking areas

ZONE	COMPACTED GRAVEL BASE (MINIMUM THICKNESS)	SURFACING OPTIONS
All development other than dwelling house		
All zones other than the Conservation zone or the Rural zone	75mm	Reinforced concrete with a minimum thickness of: <ul style="list-style-type: none"> • 100mm for parking areas; and • 150mm for access ways.
	150mm	Asphalt with a minimum thickness of 25mm
	150mm	Two coat sprayed bitumen seal
	150mm	Concrete pavers
Conservation zone or Rural zone	Not applicable	Minimum 150mm thickness compacted gravel suitable for all weather and dust free
Dwelling house		
All zones	75mm	Reinforced concrete with a minimum thickness of: <ul style="list-style-type: none"> • 100mm for parking areas; and • 150mm for access ways.
	150mm	Asphalt with a minimum thickness of 25mm
	150mm	Two coat sprayed bitumen seal
	150mm	Concrete pavers
	Not applicable	Minimum 150mm thickness compacted gravel suitable for all weather and dust free

Table 9.4.3.3D—Bicycle Parking and End of Trip Facility Requirements

DEFINITION	MINIMUM NUMBER OF BICYCLE PARKING SPACES	MINIMUM END OF TRIP FACILITIES
Commercial activities	<p>New or redeveloped commercial activities buildings (other than a shopping centre), provide:</p> <ul style="list-style-type: none"> • For employees - secure bicycle storage for 8% of building staff (based on one person per 60m² Gross leasable area). Secure bicycle parking involves a bicycle locker or bicycle rail in a locked compound/cage; and • visitor facilities: <ul style="list-style-type: none"> - one bicycle rack space per 750m² NLA or part thereof; and - bicycle parking, signposted; and adjacent to a major public entrance to the building. 	<p>New or redeveloped commercial activities buildings (other than a shopping centre), provide the following employee facilities, which are continually accessible to employees:</p> <ul style="list-style-type: none"> • accessible showers at the rate of one shower per 10 bicycle spaces provided or part thereof; • changing facilities adjacent to showers; and • secure lockers in the changing facilities for 20% of building staff (based on one person per 60m² GLA to cater for walkers, cyclists and other active users.
Community use	Four spaces per 1,500m ² GFA.	As determined by Council.
Educational establishment	<p>New or redeveloped education facilities, provide:</p> <ul style="list-style-type: none"> • For employees - secure bicycle storage for 8% of building staff (based on one person per 75m² GLA). Secure bicycle parking involves a bicycle locker or bicycle rail in a locked compound/cage; and • For students: <ul style="list-style-type: none"> ○ - minimum of 8% of the peak number of students using the building at any one time (with 75% occupancy); and 	<p>New or redeveloped education facilities, provide the following employee facilities, which are continually accessible to employees:</p> <ul style="list-style-type: none"> • accessible showers at the rate of one per 10 bicycle spaces provided or part thereof; • changing facilities adjacent to showers; and • secure lockers in changing facilities for 20% of building staff (based on one person per 75m² GLA) to cater for cyclists, walkers and other active users.

DEFINITION	MINIMUM NUMBER OF BICYCLE PARKING SPACES	MINIMUM END OF TRIP FACILITIES
	<ul style="list-style-type: none"> - bicycle storage within 100m of the building front entrance(s); or added to the campus central bicycle storage area. 	
Food & drink outlet	One space per 100m ² GFA.	As determined by Council.
Function facility	One space per 300m ² GFA.	As determined by Council.
Health care services	<p>New or redeveloped healthcare facilities, provide the following facilities:</p> <ul style="list-style-type: none"> • For employees - secure bicycle storage for 5% of building staff (based on one person per 75m² GLA). Secure bicycle parking involves a bicycle locker or bicycle rail in a locked compound/cage; and • For visitors: <ul style="list-style-type: none"> - facilities with in-patient accommodation provide one space per each 30 beds; - facilities without in- patient accommodation provide one space per each 4 practitioners; - aged care facilities provide one space per each 60 beds; - In every instance above, provide a minimum of 5 bicycle parking spaces; and - bicycle parking provided: in an accessible location, signposted and within 10m a major public entrance to the building. 	<p>New or redeveloped healthcare facilities, provide the following employee facilities, which are continually accessible to employees:</p> <ul style="list-style-type: none"> • accessible showers at the rate of one per 10 bicycle spaces provided or part thereof; • changing facilities adjacent to showers; and • secure lockers in changing facilities for 20% of building staff (based on one person per 75m² GLA) to cater for cyclists, walkers and other active users.
Hospital	As determined by Council.	As determined by Council.
Indoor sport and recreation	One space per employee plus 1 space per 200m ² GFA	As determined by Council.

DEFINITION	MINIMUM NUMBER OF BICYCLE PARKING SPACES	MINIMUM END OF TRIP FACILITIES
Park	As determined by Council.	As determined by Council.
Rooming accommodation	One space per 4 letting rooms.	As determined by Council.
Short term accommodation	One space per 4 letting rooms.	As determined by Council.
Shop or Shopping centre	<p>New or redeveloped shopping centres, provide:</p> <ul style="list-style-type: none"> • For employees - secure bicycle storage for 8% of building staff (based on one person per 60m² Gross leasable area). Secure bicycle parking involves a bicycle locker or bicycle rail in a locked compound/cage; and • visitor facilities: <ul style="list-style-type: none"> ○ - one space per 500m² GLA or part thereof for centres under 30,000m²; or ○ - one space per 750m² GLA or part thereof for centres between 30,000m² and 50,000m²; and ○ - bicycle parking is signposted and within 10m of a major public entrance to the building. 	<p>New or redeveloped shopping centres, provide the following employee facilities, which are continually accessible to employees:</p> <ul style="list-style-type: none"> • accessible showers at the rate of one shower per 10 bicycle spaces provided or part thereof; • changing facilities adjacent to showers; and • secure lockers in the changing facilities for 20% of building staff (based on one person per 60m² GLA to cater for walkers, cyclists and other active users.
Theatre	One space per 100m ² GFA.	As determined by Council.

Table 9.4.3.3E—Vehicular Access for Specific Uses

USE	DESIGN
Dwelling house	A secondary dwelling shares a vehicle crossover with the Dwelling house.
Car wash	Site access involves:
Service station	<ul style="list-style-type: none"> (a) a maximum width of 9 metres of any vehicle crossover across a footpath; (b) a minimum separation of 12 metres between any vehicle crossover and a road intersection; (c) a separate entrance and exit; and (d) a minimum separation between vehicle crossovers of 14 metres.
Industrial activities	Each lot is provided with no more than one access point every 15 metres.
Roadside stall	A single vehicular access point is provided to the site.
Tourist park	<ul style="list-style-type: none"> (a) a single vehicular access point is provided to the site; and (b) no accommodation site has individual vehicular access.

9.4.5 WORKS, SERVICES AND INFRASTRUCTURE CODE

Table 9.4.5.3 - Works, services and infrastructure code – For accepted development subject to requirements and assessable development

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
For accepted development subject to requirements and assessable development		
Water supply		
PO1 Each lot has an adequate volume and supply of water that: (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment.	AO1.1 Development is connected to a reticulated water supply system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located: (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated water supply service area.	Complies with AO1.1. The subject site is connected to Councils mains water supply. No further connections are required.
	AO1.2 Development, where located outside a reticulated water supply service area and in the Conservation zone, Rural zone or Rural residential zone is provided with: a) a bore or bores are provided in accordance with the Design Guidelines set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; or b) on-site water storage tank/s: (iv) with a minimum capacity of 90,000L; (v) fitted with a 50mm ball valve with a camlock fitting; and	Not applicable. The subject site is connected to Councils mains water supply.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
	<p>AO3.2 On-site drainage systems are constructed:</p> <p>(a) to convey stormwater from the premises to a lawful point of discharge; and</p> <p>(b) in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.</p>	<p>Not applicable. The subject site is connected to Council's stormwater network.</p>
Electricity supply		
<p>PO4 Each lot is provided with an adequate supply of electricity</p>	<p>AO4 The premises:</p> <p>a) is connected to the electricity supply network; or</p> <p>b) has arranged a connection to the transmission grid; or</p> <p>c) where not connected to the network, an independent energy system with sufficient capacity to service the development (at near average energy demands associated with the use) may be provided as an alternative to reticulated electricity where:</p> <p>(iv) it is approved by the relevant regulatory authority; and</p> <p>(v) it can be demonstrated that no air or noise emissions; and</p> <p>(vi) it can be demonstrated that no adverse impact on visual amenity will occur.</p>	<p>Complies with AO4. The subject site is connected to electricity infrastructure owned and operated by Ergon Energy. No further connections are required.</p>

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
Telecommunications infrastructure		
PO5 Each lot is provided with an adequate supply of telecommunication infrastructure	AO5 Development is provided with a connection to the national broadband network or telecommunication services.	Complies with PO5. The subject site is connected to telecommunications infrastructure. No further connections are required.
Existing public utility services		
PO6 Development and associated works do not affect the efficient functioning of public utility mains, services or installations.	AO6 Public utility mains, services are relocated, altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines and Specifications set out.	Not applicable. No further infrastructure connections are required to facilitate the proposed development.
Excavation or filling		
PO7 Excavation or filling must not have an adverse impact on the: <ul style="list-style-type: none"> a) streetscape; b) scenic amenity; c) environmental values; d) slope stability; e) accessibility; or privacy of adjoining premises. 	AO7.1 Excavation or filling does not occur within 1.5 metres of any site boundary.	Complies with AO7.1. No excavation or filling is required to facilitate the proposed development.
	AO7.2 Excavation or filling at any point on a lot is to be no greater than 1.5 metres above or below natural ground level.	Complies with AO7.2. No excavation or filling is required to facilitate the proposed development.
	AO7.3 Earthworks batters: <ul style="list-style-type: none"> a) are no greater than 1.5 metres in height; b) are stepped with a minimum width 2 metre berm; c) do not exceed a maximum of two batters and two berms (not greater than 3.6 metres in total height) on any one lot; d) have a slope no greater than 1 in 4; and 	Complies with AO7.3. No excavation or filling which will result in the creation of a batter is required to facilitate the proposed development.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
	e) are retained.	
	<p>AO7.4 Soil used for filling or spoil from excavation is not stockpiled in locations that can be viewed from:</p> <p>a) adjoining premises; or b) a road frontage, for a period exceeding 1 month from the commencement of the filling or excavation.</p>	<p>Complies with AO7.4. No excavation or filling is required to facilitate the proposed development.</p>
	<p>AO7.5 All batters and berms to be constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.</p>	<p>Complies with AO7.5. No excavation or filling which will result in the creation of a batter is required to facilitate the proposed development. Ergo, the proposed development complies with AO7.5.</p>
	<p>AO7.6 Retaining walls have a maximum height of 1.5 metres and are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.</p>	<p>Not applicable. A retaining wall is not proposed.</p>
	<p>AO7.7 Excavation or filling at any point on a lot is to include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.</p>	<p>Complies with AO7.7. No excavation or filling is required to facilitate the proposed development.</p>
For assessable development		
Transport network		

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
PO8 The development has access to a transport network of adequate standard to provide for the safe and efficient movement of vehicles, pedestrians and cyclists.	AO8.1 Vehicle access, crossovers, road geometry, pavement, utilities and landscaping to the frontage/s of the site are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Not applicable. The subject site is benefited by an existing access point to Barang Street which will be used for the proposed development
	AO8.2 Development provides footpath pavement treatments in accordance with Planning Scheme Policy 9 – Footpath Paving.	Not applicable. The subject site is benefited by an existing access point to Barang Street which will be used for the proposed development
Public infrastructure		
PO9 The design, construction and provision of any infrastructure that is to be dedicated to Council is cost effective over its life cycle and incorporates provisions to minimise adverse impacts.	AO9 Development is in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Not applicable. The proposed development does not include Public Infrastructure.
Stormwater quality		
PO10 Development has a non-worsening effect on the site and surrounding land and is designed to: (a) optimise the interception, retention and removal of waterborne pollutants, prior to the discharge to receiving waters; (b) protect the environmental values of waterbodies affected by the development, including upstream, on- site and downstream waterbodies; (c) achieve specified water quality objectives; (d) minimise flooding;	AO10.1 The following reporting is prepared for all Material change of use or Reconfiguring a lot proposals: (a) a Stormwater Management Plan and Report that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; and (b) an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia), including: (i) drainage control;	Complies with PO10. The proposed development is for a single storey shed for storage purposes. The shed will not generate contaminated stormwater with stormwater to be managed on the subject site. As the proposed development will not generate any contaminated stormwater, neither a Stormwater Management Plan or Erosion and Sediment Control Plan are required.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
(e) maximise the use of natural channel design principles; (f) maximise community benefit; and (g) minimise risk to public safety.	(ii) erosion control; (iii) sediment control; and (iv) water quality outcomes.	
	AO10.2 For development on land greater than 2,500m ² or that result in more than 5 lots or more than 5 dwellings or accommodation units, a Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) is prepared that demonstrates that the development: (a) meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline; (b) is consistent with any local area stormwater water management planning; (c) accounts for development type, construction phase, local climatic conditions and design objectives; and (d) provides for stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosivity.	Not applicable. The subject site has an area <2,500m ² and is not for a reconfiguration or accommodation activities.
PO11 Storage areas for stormwater detention and retention: (a) protect or enhance the environmental values of receiving waters;	AO11 No acceptable outcome is provided.	Not applicable. The proposed development does not include a stormwater detention basin.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
(b) achieve specified water quality objectives;		
(c) where possible, provide for recreational use;		
(d) maximise community benefit; and		
(e) minimise risk to public safety.		
Excavation or filling		
PO12 Traffic generated by filling or excavation does not impact on the amenity of the surrounding area.	AO12.1 Haul routes used for transportation of fill to or from the site only use major roads and avoid residential areas.	Not applicable. No excavation or filling is required to facilitate the proposed development.
	AO12.2 Transportation of fill to or from the site does not occur: (a) within peak traffic times; and (b) before 7am or after 6pm Monday to Friday; (c) before 7am or after 1pm Saturdays; and (d) on Sundays or Public Holidays.	Not applicable. No excavation or filling is required to facilitate the proposed development.
PO13 Air pollutants, dust and sediment particles from excavation or filling, do not cause significant environmental harm or nuisance impacts.	AO13.1 Dust emissions do not extend beyond the boundary of the site.	Not applicable. No excavation or filling is required to facilitate the proposed development.
	AO13.2 No other air pollutants, including odours, are detectable at the boundary of the site.	Not applicable. No excavation or filling is required to facilitate the proposed development.
	AO13.3 A management plan for control of dust and air pollutants is prepared and implemented.	Not applicable. No excavation or filling is required to facilitate the proposed development.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
PO14 Access to the premises (including driveways and paths) does not have an adverse impact on: <ul style="list-style-type: none"> (a) safety; (b) drainage; (c) visual amenity; and (d) privacy of adjoining premises. 	AO14 Access to the premises (including all works associated with the access): <ul style="list-style-type: none"> (a) must follow as close as possible to the existing contours; (b) be contained within the premises and not the road reserve, and (c) are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual. 	Not applicable. No excavation or filling is required to facilitate the proposed development.
Weed and pest management		
PO15 Development prevents the spread of weeds, seeds or other pests into clean areas or away from infested areas.	AO15 No acceptable outcome is provided.	Complies with PO15. The subject site is not known to contain any known pests. Compliance with the requirements of AO15 can be ensured through the imposition of a Condition within the Development Permit.
Contaminated land		
PO16 Development is located and designed to ensure that users and nearby sensitive land uses are not exposed to unacceptable levels of contaminants	AO16 Development is located where: <ul style="list-style-type: none"> (a) soils are not contaminated by pollutants which represent a health or safety risk to users; or (b) contaminated soils are remediated prior to plan sealing, operational works permit, or issuing of building works permit. 	Not applicable. The subject site is not a known contaminated land site.
Fire services in developments accessed by common private title		

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	APPLICANT RESPONSE
PO17 Fire hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.	AO17.1 Fire hydrants are located in accessways or private roads held in common private title at a maximum spacing of: (a) 120 metres for residential development; and (b) 90 metres for any other development.	Not applicable. The proposed development is not accessed by a common private title.
	AO17.2 Fire hydrants are located at all intersections of accessways or private roads held in common private title.	Not applicable. The proposed development is not accessed by a common private title.

Attachment 4

Strategic Framework Assessment

3.3 SETTLEMENT PATTERN AND BUILT ENVIRONMENT

STRATEGIC OUTCOME	APPLICANT RESPONSE
Strategic Outcome	
1	<p>Mareeba Shire is intended to support a widely dispersed population in a variety of settings, including rural towns, small rural settlements, villages, rural residential areas, cropping lands, grazing lands and broad-hectare grazing properties. Future development maintains this settlement pattern and the distinct character that it provides to the shire. The settlement pattern also ensures the continuing viability of the shire's rural economy, particularly through the provision of high quality services.</p> <p>Complies with Strategic Outcome 1.</p> <p>The proposed development will enhance the level of activities which are undertaken from existing development at the subject site.</p> <p>The proposed development will enhance the Kuranda Township and provide for alternative economic opportunities that create employment opportunities to promote the growth of the area.</p>
2	<p>Residential areas and urban expansion areas support strategically located and logically sequenced residential development, maximising the efficient utilisation of new and existing infrastructure, particularly active and public transport. Residential development, including infill housing in designated areas, is focussed in Mareeba and the Kuranda district. A diversity of housing choices is developed within proximity to services and activity centres while protecting the character of the shire.</p> <p>Housing for aged persons, both for independent and assisted living, is provided to support the aging population of the shire. Aged care development is provided in suitable locations in the residential areas and urban expansion areas of the shire.</p> <p>Not applicable.</p> <p>The proposed development is not for an urban purpose.</p>
3	<p>Rural residential areas are intended to support rural residential development of varying densities, to prevent further fragmentation and alienation of rural areas, conservation areas and biodiversity areas within the regional landscape. Rural residential areas predominantly maintain the current density of development, with infill subdivision of rural residential areas generally limited to identified areas where consistent with the desired character and where adequate services and infrastructure are available or can be adequately and cost-effectively provided.</p> <p>Not applicable.</p> <p>The proposed development is not for rural residential.</p>
4	<p>Primary industries in Rural areas are not compromised or fragmented by incompatible and/or unsustainable development, including but not limited to subdivision that results in a detrimental impact on rural productivity. The valued, relaxed rural lifestyle, character and scenic qualities of the</p> <p>Not applicable.</p> <p>The proposed development is not for rural activities.</p>

STRATEGIC OUTCOME	APPLICANT RESPONSE
	<p>rural area are preserved and enhanced. The rural area is largely maintained to its current extent, while accommodating development directly associated with or reliant on natural resources including rural activities and tourism. Rural areas protect the shire's agricultural area and ensure food security. Other rural areas predominantly remain agricultural grazing properties.</p>
5	<p>Industry areas support the industrial development in the shire and are protected from encroachment by incompatible or sensitive uses. The Mareeba major industry area is the predominant supply of industrial land which will cater for high impact industry and major industrial developments into the future. Smaller industry areas are strategically located across the shire to service local needs.</p> <p>Not applicable. The proposed development is not for industry.</p>
6	<p>The built environment is ecologically sustainable, achieving energy and resource efficiency and favouring architecture that is sensitive to local character. Development reflects sustainable tropical design principles, is climate responsive and preserves natural features.</p> <p>Not applicable. The proposed development is for a shed which is minor in nature.</p>
7	<p>Risks to infrastructure, buildings and the community posed by bushfires, cyclones, flooding, landslides and other extreme events are minimised. Development is considerate of the potential increased incidence of these hazards induced by climate change.</p> <p>Not applicable. The site is within an urban area and is surrounded by urban development.</p>

3.7 ECONOMIC DEVELOPMENT

STRATEGIC OUTCOME	APPLICANT RESPONSE
Strategic Outcome	
1	<p>The rural economy that underpins the settlement pattern of Mareeba Shire prospers and diversifies, with traditional and emerging primary industries continuing to provide the economic base of the shire. Increasing opportunities for value-adding and processing primary product are realised on-farm and within surrounding towns. <i>Agricultural areas</i> and rural industries are protected from development which may compromise its ongoing viability. Infrastructure which supports agriculture and primary industry is maintained and protected.</p> <p>Achieves the Strategic Outcome The proposed development seeks to support existing business activities which will contribute to a diversified and resilient local economy.</p>
2	<p>The <i>rural area</i> includes a range of uses which compliment dominant primary industry activities and enhance the shire's economy. Activities including rural industries, intensive agricultural uses, intensive animal industries and expanded forestry and permanent plantations are supported in appropriate locations where impacts on the environment and surrounding land uses are limited and manageable.</p> <p>Not applicable. The subject site is not within a rural area.</p>
3	<p>Mareeba Shire is increasingly provided with retail and business opportunities and improved government services to enhance self-sufficiency. These opportunities and services are consolidated through the clustering and co-location of commercial uses in <i>activity centres</i> and are particularly focussed within Mareeba. Kuranda, as a <i>village activity centre</i>, maintains its level of self-reliance through servicing its local catchment with a range of services and employment opportunities.</p> <p>Achieves the Strategic Outcome The proposed development seeks to support existing business activities which will contribute to a diversified and resilient local economy.</p>
4	<p>The natural environment, rural and scenic landscapes of Mareeba Shire provide a basis for the development of sustainable tourism enterprises. Mareeba Shire's geographic proximity to Cairns International Airport provides opportunities for increasing visitation and exposure to the shire. Large scale tourist accommodation facilities are developed in key sites across the shire and meet the needs of a range of users. The character and appeal of key <i>activity centres</i>, landscape features and <i>scenic</i></p> <p>Not applicable. The subject site is not within a mapped area of environmental significance. The subject site has been extensively cleared.</p>

STRATEGIC OUTCOME	APPLICANT RESPONSE
	<p><i>routes</i> which attract tourists to Mareeba Shire will be maintained and enhanced. The western dry land savannah of the shire accommodates further nature and rural based tourism development.</p>
5	<p><i>Industry areas</i> provide for a range of industrial development, expansion, supporting infrastructure and employment opportunities consistent with their intended function in the shire. <i>Industry areas</i> are protected from incompatible development and sensitive land uses. The Mareeba Airport expands and caters for a hub of specialist aviation services.</p> <p>Not applicable. The subject site is not within an industry area.</p>
6	<p>Catalysts for economic diversification and cultural activity such as educational establishments, emerging technology, research and development activities and the arts are encouraged in the shire, preferably near or within Mareeba or the Kuranda district. Creative industries flourish in Mareeba Shire, providing strong cultural legacies and sustained employment opportunities. The shire's unique wet tropical ecosystems and dry tropical savannahs provide further opportunities to develop regional tropical expertise and attract more environmental education and scientific research activities to the shire.</p> <p>Achieves the Strategic Outcome The proposed development seeks to support existing business activities which will contribute to a diversified and resilient local economy.</p>
7	<p>The geological diversity and rare mineral occurrence of Mareeba Shire provide the basis for the establishment of mixed mining activities of varying scales, supporting increased employment and wealth within the shire, while ensuring ecological and amenity values are not negatively impacted. Support services and infrastructure to existing and future mineral exploration, including workers accommodation, are encouraged in appropriate locations.</p> <p>Not applicable.</p>
8	<p><i>Key resource areas</i> (of local, regional and state significance) and associated haul routes are buffered from incompatible development. New resource operations establish in <i>rural areas</i> where impacts on surrounding land are manageable and environmental values can be protected.</p> <p>Not applicable.</p>

STRATEGIC OUTCOME	APPLICANT RESPONSE	
9	Flexibility and responsiveness allow for economic diversity and innovation, leading to a greater variety of employment opportunities that meet the changing needs of the community and economy. Small scale and emerging industries are supported in appropriate locations across the shire.	
10	Mareeba Shire positions itself as a major sustainable energy region of Australia, providing a significant portion of the shire's electricity supply through various renewable sources. Sustainable energy generation also contributes to the economy of the shire and provides an increasing source of employment. <i>Energy generation facilities</i> , including the Barron Gorge Hydroelectric Power Station, and any newly established power generation facilities are protected from incompatible development.	Not applicable.
11	Major employment generators within Mareeba Shire continue to support the economy and are protected from development which may prejudice their ongoing operation. New and expanded employment generators are promoted in appropriate locations across the shire, including within <i>activity centres</i> and <i>rural areas</i> .	Achieves the Strategic Outcome The proposed development seeks to support existing business activities which will contribute to a diversified and resilient local economy.

DA Form 1 – Development application details

Approved form (version 1.2 effective 7 February 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Ngoonbi Community Services Indigenous Corporation C/- Gilvear Planning Pty Ltd
Contact name (only applicable for companies)	Kristy Gilvear
Postal address (P.O. Box or street address)	PO Box 228
Suburb	Babinda
State	Queensland
Postcode	4861
Country	Australia
Contact number	0448 897 991
Email address (non-mandatory)	kristy@gilvearplanning.com.au
Mobile number (non-mandatory)	As above
Fax number (non-mandatory)	N/A
Applicant's reference number(s) (if applicable)	J000933: NGO: KLG

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☐ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		39	Barang Street	Kuranda
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		707	NR7409	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	<input type="text"/>
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	<input type="text"/>
Name of port authority for the lot:	<input type="text"/>
<input type="checkbox"/> In a tidal area	
Name of local government for the tidal area (if applicable):	<input type="text"/>
Name of port authority for tidal area (if applicable):	<input type="text"/>
<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>	
Name of airport:	<input type="text"/>

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☒ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Proposed Shed (Warehouse) at rear of subject site.

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete DA Form 2 – Building work details

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Single Storey Shed for storage	Warehouse	N/A	N/A
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input checked="" type="checkbox"/> No			

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

--

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: _____		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots: _____
<input type="checkbox"/> No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ _____

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council:
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority:
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
<p>Note: By not agreeing to accept an information request I, the applicant, acknowledge:</p> <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. <p>Further advice about information requests is contained in the DA Forms Guide.</p>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?	
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No	

23) Further legislative requirements			
Environmentally relevant activities			
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i> ?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au . An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
Hazardous chemical facilities			
23.2) Is this development application for a hazardous chemical facility ?			
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.			

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of DA Form 2 – Building work details have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.</p> <p>Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, Planning Regulation 2017 and the DA Rules except where:</p> <ul style="list-style-type: none"> • such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or • required by other legislation (including the <i>Right to Information Act 2009</i>); or • otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>	

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	