

Our Ref: P71880

19 August 2019

Chief Executive Officer
Mareeba Shire Council
PO Box 154
Mareeba QLD 4880

via email: info@msc.qld.gov.au

Attention: Planning Department

Dear Brian and Carl,

Material Change of Use Rural Industry (Packing Shed)
3727 Mareeba Dimbulah Road, Mutchilba Lot 225 HG293

I am pleased to lodge this application for Material Change of Use Rural Industry (Packing Shed) at 3727 Mareeba Dimbulah Road, Mutchilba.

On the application form I have agreed to accept an information request if more information is required.

The relevant information for the application is:

Applicant: KVN Australia Trust
c/- Planz Town Planning
Mailing address: PO Box 181
Edge Hill, Cairns QLD 4870
Landowner: Breaside Property Trust (Landowners Consent is attached)
Application Fee: **\$1,570.00**

If you require any further information please do call me.

Yours faithfully,

Susie Lord
Planz Town Planning

Att. DA form 1
Landowner consent
Planning Report
Proposal Plans
Meeting Notes with SARA dated 7 November 2018
Flood Hazard Risk - Information Response to ROL Application

DA Form 1 – Development application details

Approved form (version 1.1 effective 22 JUNE 2018) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	KVN Australia Trust
Contact name <i>(only applicable for companies)</i>	c/- Planz Town Planning
Postal address <i>(P.O. Box or street address)</i>	PO Box 181
Suburb	Edge Hill
State	Qld
Postcode	4870
Country	Australia
Contact number	07 40410445
Email address <i>(non-mandatory)</i>	info@planztp.com
Mobile number <i>(non-mandatory)</i>	0447 323 384
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	P71880

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

☒ Street address **AND** lot on plan (all lots must be listed), **or**

☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		3727	Mareeba-Dimbulah Road	Mutchilba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4872	225	HG293	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

☐ Additional premises are relevant to this development application and their details have been attached in a schedule to this application

☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Rural Industry – Packing Shed

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete DA Form 2 – Building work details

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Packing Shed	Rural Industry	N/A	5,500m ² (approx.)

8.2) Does the proposed use involve the use of existing buildings on the premises?

<input type="checkbox"/> Yes		
<input checked="" type="checkbox"/> No		

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- ☐ Yes – provide additional details below
- ☐ No

How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

- | | | |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: <table border="1" style="display: inline-table; width: 300px; height: 20px;"></table> | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Do any aspects of the proposed development require referral for any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☐ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Regulation 2017:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure – designated premises
- ☒ Infrastructure – state transport infrastructure
- ☐ Infrastructure – state transport corridors and future state transport corridors
- ☐ Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure – near a state-controlled road intersection
- ☐ On Brisbane core port land near a State transport corridor or future State transport corridor
- ☐ On Brisbane core port land – ERA
- ☐ On Brisbane core port land – tidal works or work in a coastal management district
- ☐ On Brisbane core port land – hazardous chemical facility
- ☐ On Brisbane core port land – taking or interfering with water
- ☐ On Brisbane core port land – referable dams
- ☐ On Brisbane core port land - fisheries
- ☐ Land within Port of Brisbane's port limits
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – construction of new levees or modification of existing levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- ☐ Local heritage places

Matters requiring referral to the chief executive of the distribution entity or transmission entity : <input type="checkbox"/> Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council : <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the Minister under the Transport Infrastructure Act 1994 : <input type="checkbox"/> Brisbane core port land (inconsistent with Brisbane port LUP for transport reasons) <input type="checkbox"/> Strategic port land
Matters requiring referral to the relevant port operator : <input type="checkbox"/> Land within Port of Brisbane's port limits (below high-water mark)
Matters requiring referral to the Chief Executive of the relevant port authority : <input type="checkbox"/> Land within limits of another port (below high-water mark)
Matters requiring referral to the Gold Coast Waterways Authority : <input type="checkbox"/> Tidal works, or work in a coastal management district in Gold Coast waters
Matters requiring referral to the Queensland Fire and Emergency Service : <input type="checkbox"/> Tidal works marina (<i>more than six vessel berths</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application Note: By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. Further advice about information requests is contained in the <u>DA Forms Guide</u> .

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☒ Yes – provide details below or include details in a schedule to this development application
☐ No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	RAL/19/0001	20 May 2019	Mareeba Shire Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala conservation

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes

☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
☐ A certificate of title
☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☒ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☐ No

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <i>DA Form 2 – Building work details</i> have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 21</i>)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.</p> <p>Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, Planning Regulation 2017 and the DA Rules except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

PART 9 – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	

Relevant licence number(s) of chosen assessment manager	
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QLeave notification and payment	
<i>Note: For completion by assessment manager if applicable</i>	
Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Consent to the making of a development application under the *Planning Act 2016*

I / we: Jan Gysbert van Niekerk & Wilhelm Johannes van Niekerk

On behalf of: Breaside Property Trust

Of premises identified as: 3727 Mareeba-Dimbula Road, Mutchilba
Insert street address

Described as: Lot 225 on HG293
Insert Real Property Description

Consent to Planz Town Planning making applications for: Material Change of Use Rural Industry (Packing Shed)

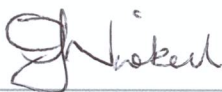


[Signature of Owner / Director** / Body Corporate**]

2019-08-05

[Date]

** If signing on behalf of Company or Body Corporate - insert name of Company or Body Corporate



[Signature of Owner / Director / Body Corporate]

2019-08-05

[Date]

** If signing on behalf of Company or Body Corporate - insert name of Company or Body Corporate

****Guide – To determine who is the owner of the land**

Landowner: The Person, Company, or Body Corporate shown on the rates notice or lease documents.

When there are multiple owners: The consent of each owner must be obtained.

When there are multiple lots: The consent of each of those landowners is required.

When the owner is a company: The company must consent to the application in accordance with Section 127 of The Corporations Act 2001

Easements: The consent of easement owners is not always required. This is considered on an application by application basis.

Leases: If the land leased to you from someone else, Council or State, the lessors (not you) of the land must give the owner's consent.

State owned land: If the land is state-owned land that is leased or subleased, The State as the lessor of the land must give owner's consent

Power of attorney: If power of attorney has been granted authorising another person to sign on the owner's behalf, a certified copy of the power of attorney is required to accompany the consent.



APPLICATION FOR A DEVELOPMENT PERMIT

MCU - INDUSTRY (PACKING SHED)
3727 MAREEBA-DIMBULAH ROAD, MUTCHILBA

19 AUGUST 2019

PREPARED BY

PLANZ TOWN PLANNING PTY LTD

on behalf of

KVN Australia Trust

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Application Summary

Application details	
Proposal	MCU Rural industry (Packing Shed)
Applicant	KVN Australia Trust
Property Owner	Breaside Property Trust
Address	3727 Mareeba Dimbulah Road, Mutchilba 4872
Real Property Description	Lot 225 HG293
Lot Size	13.967ha (Proposed Lot B)
Local Government Area	Mareeba Shire
Zone	Rural
Current Use	Farming
Level of Assessment	Code
Applicable Codes	Rural zone code Agricultural land overlay code Bushfire hazard overlay code Environmental significance overlay code Flood hazard overlay code Transport infrastructure overlay code Rural activities code Landscaping code Parking and access code Works, Services and infrastructure code
Referral Triggers	Required for Development in a state-controlled road environment

1 INTRODUCTION

1.1 Nature of the Proposal

This application is to facilitate a new packing shed on land located at 3727 Mareeba-Dimbulah Road, Mutchilba, described as Lot 225 HG293. The site was recently approved for subdivision (RAL/19/0001 dated 20 May 2019). The proposed packing shed will be on proposed Lot B, which is 13, 9678 m².

The proposed use includes:

- Packing shed 3,771m² GFA; and
- Associated cold rooms, administration and workshop areas.

The use is defined as:

Rural Industry: *Premises used for storage, processing and packaging of products from a rural use. The use includes processing, packaging and sale of products produced as a result of a rural use where these activities are ancillary to a rural use on or adjacent to the site. Examples include: Packing shed.*

The packing shed will pack mangoes, citrus and avocados from neighbouring and nearby farms, stored in onsite refrigerated storage prior to being exported to both local and national markets. The packing shed is intended to operate all year round. The packing shed will have a staff of approx. 30 people onsite, most of whom will be backpackers getting to/from the site via a bus provided by the backpacker hostels.

The new packing shed has been designed specifically for the site and the building is a practical, modern design which has the majority of the buildings located towards the south eastern portion of the site. There are no significant assessment considerations for this development.

The main compliance considerations for the assessment are landscaping and parking. These matters are addressed in **Section 2** of this report and the development complies with the performance outcomes for these provisions.

1.2 The Site

The 13.9678ha site is located on the northern side of Mareeba-Dimbulah Road and borders the Walsh River. The land is zoned Rural and is located near the Mutchilba township.

The recently subdivided block is currently vacant with plans to place a large packing shed, coldroom, workshops and attached office onto the newly purchased lot. The proposed packing shed and offices are located towards the south eastern portion of the lot.



Figure 1: Locality Plan



Figure 2: Aerial view of site

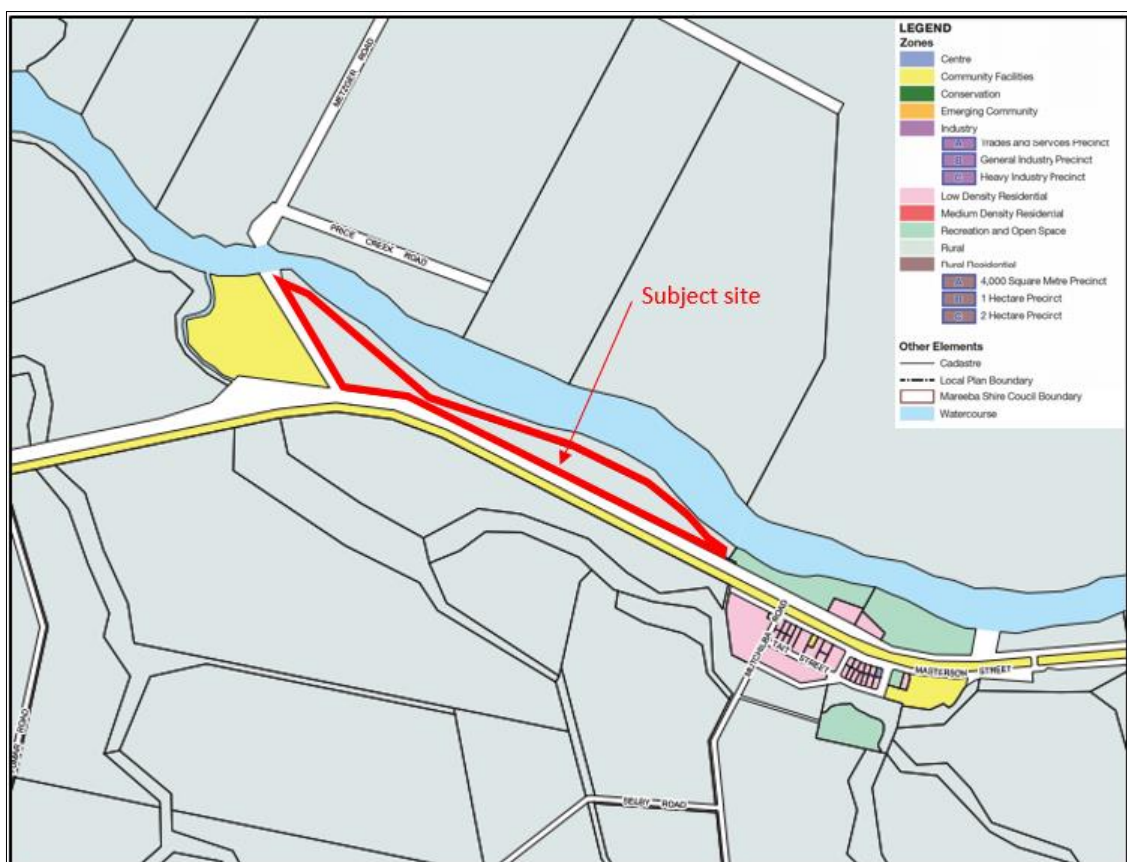


Figure 3: Extract from zoning map

2 PLANNING CONSIDERATIONS

2.1 State Interest

The Planning Regulations and State Development Assessment Provisions (SDAP) set out the matters of interest to the state for development assessment.

The site is located within the Water Resources Planning Area. There is no referral trigger for this site or this development.

The site is adjacent to a State-controlled road (Mareeba-Dimbulah Road). The application requires referral to the State Assessment and Referral Agency.

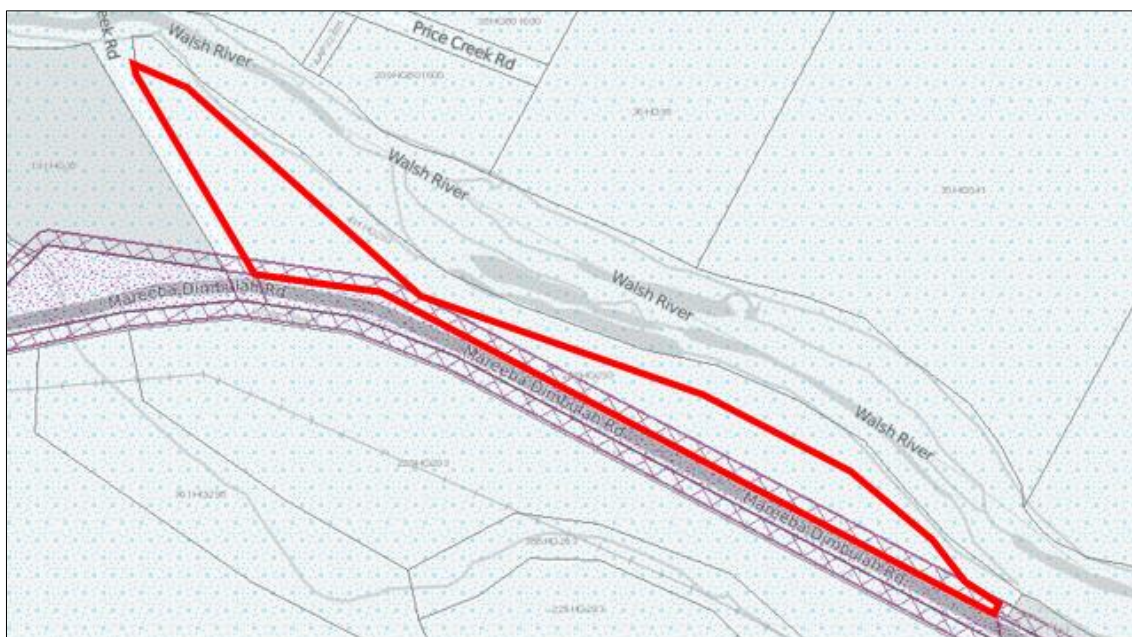


Figure 4: Extract from SARA DA Mapping – Water Resources and State –controlled road

2.2 Mareeba Shire Planning Scheme Assessment

The proposed use is Code Assessable Development against the Mareeba Shire Planning Scheme. In considering the proposal against the relevant codes, there are Performance Outcomes and Acceptable Outcomes which are to be considered:

1. Assessable development must demonstrate that the Performance Outcomes can be achieved.

2. The Acceptable Outcomes that are nominated in the Codes are just one means by which the Performance Outcomes may be achieved.

The proposal satisfies the Purpose and Overall Outcomes of the Planning Scheme Codes, as identified in **Appendix 1**. The assessment and compliance table for this development is shown below.

Planning Scheme Assessment Table Codes		Applicability
Zone Code	Rural zone	✓
Local Plan	n/a	n/a
Overlay Codes	Agricultural land	✓
	Airport environs	n/a
	Bushfire hazard	✓
	Environmental significance	✓
	Extractive Resources	n/a
	Flood hazard	✓
	Heritage	n/a
	Hill and slope	✓
	Regional infrastructure corridors and substations	n/a
	Residential dwelling house and outbuilding	n/a
	Scenic amenity	n/a
	Transport infrastructure	✓
Use Codes	Rural activities	✓
Other Development Codes	Advertising devices	n/a
	Landscaping	✓
	Parking and access	✓
	Reconfiguring a lot	n/a
	Works, services and infrastructure	✓

2.3 Compliance

The main compliance issues relate to carparking and bushfire hazard.

Building Height

The proposed packing shed will slightly exceed the maximum acceptable building height required in the Rural zone. AO1.2 requires buildings and structures associated with a rural activity including machinery, equipment, packing or storage buildings do not exceed 10 metres in height. The proposed packing shed will be 10.6m. The proposed building can satisfy the performance outcomes sought for the Rural zone, and given the location of the site, the development will not adversely affect surrounding properties, nor cause a visual impact.

Building Setback

AO2.1 of the Rural zone code requires buildings and structures be setback a minimum of 40 metres from a frontage to a State-controlled road; and 10 metres from a boundary to an adjoining lot.

The packing shed has a setback of:

- 30.5m from the frontage to the State-controlled road; and
- 7m from the rear boundary; and
- 290m from the eastern side boundary

The proposed front setback has been accepted by the Department of Transport and Main Roads, in relation to the State-controlled road (refer to meeting notes dated 7 November 2018 included at Appendix 4).

The lot is not near to other development, and therefore will not adversely affect neighbouring properties. The proposed development can achieve the performance outcomes sought for the Rural zone.

Bushfire Hazard

AO4.2 of the Bushfire Hazard overlay code requires firebreaks to be provided:

- consisting of a perimeter road that separates lots from areas of bushfire hazard;
- a minimum cleared width of 20 metre;
- a maximum gradient of 12.5%; and
- a constructed road width and weather standard complying with Planning Scheme Policy 4 - FNQROC Regional Development Manual.

The site is cleared of vegetation, and adjoins State Land (Lot 431 on HG293), which is between the subject site and bushfire hazard area. The layout of the development provides for adequate access for fire-fighting and other emergency vehicles. The proposed development can achieve the performance outcomes sought in this regard.

Carparking

The proposed packing shed is anticipated to pack a variety of fruits grown in the Region. Packing is automated with sensors and cameras undertaking much of the fruit grading, sorting and packing.

Advancements in agronomics, fruit characteristics, and technology have significantly changed the nature and scale of fruit growing and packing in the Region. It is now viable to pack and grade fruit at a scale and volume that is over 10 times more than what was feasible 10 years ago.

The applicant anticipates the shed will operate on a 9 hour shift with staff primarily being workers on rural visas. The staff will arrive at the site primarily by buses operated by local hostels in Mareeba, who currently drop pickers/packers to various packing shed across the Tablelands.

Flood Hazard

AO2 of the Flood Hazard overlay code requires buildings to have a flood immunity of 1%AEP. The proposed development will be designed and constructed at existing ground level, which is approx. 476mAHD. The site has no known history of ever flooding. An assessment of the flood risk was provided at the time of the reconfiguring a lot (refer **Appendix 5**). The proposed development can achieve the performance outcomes sought for the Flood Hazard code and maintains the safety of people on the development site from flood events and minimises the potential damage from flooding to property.

Access to State-controlled Road

AO16.3 of the State Code 1 states: Development does not require new or changed access between the premises and the state-controlled road, and AO21.1 requires that traffic generated by the development is directed to the local road network.

The proposed packing shed requires a new access to the Mareeba-Dimbulah Road, as the local road access is not suitable for the proposed development. The location and design of the access will not create a safety hazard for users of the road or result in a worsening of existing conditions of the road. The proposed access can achieve the performance outcomes sought for the location and design of vehicular access to a State-controlled road.

3 INFRASTRUCTURE

3.1 Effluent Disposal

Sanitary plumbing and drainage systems from the fixtures will be by gravity feed drainage pipework under the ground floor slab to external of the building. External drainage from this point will run to on-site wastewater treatment systems.

Two separate drainage systems are proposed at this stage:

- Administration Building and Workers Facilities - the on-site waste water treatment system for the sewerage fixtures from the Admin Building is anticipated to be less than 4000 lit/day.
- Processing and production floor - the on-site waste water treatment system for the processing and production area is expected to use up to 20,000 lit/day and will trigger the need for an ERA63 and discharge licence with DERM – PALM.

Tradewaste

The production and processing areas will rely on recycling process water systems, and trade waste interceptor and pre-treatment devices.

A variety of types are expected to be needed depending on the type and quantities of chemicals or contaminants used.

These devices will treat the contaminants in the wasted process water prior to be discharged into a nominated wastewater treatment system.

Wastewater and Wastewater Disposal:

Similar to the separation of the wastewater treatment systems, disposal of the treated effluent water will be into separate land application areas. Sewerage treated effluent water from the Staff areas will be disposed of on-site through absorption trenches or subsurface irrigation.

An area of approx. 400m² of sub-surface irrigation (largest type of disposal area) may be required for this 4000 lit/day volume of effluent. Spatial area exists on site to the east of the proposed building to cater for this amount of land application area including the allowance for 100% replacement if ever required.

Effluent disposal for the processing and production floor wastewater is proposed through sub-surface irrigation or Wisconsin mounds techniques. The Wisconsin mounds have been used along the boundary perimeters of the properties to provide vegetation buffering to reduce the view of the large shed from the roadways.

It is expected that a processing and production wastewater disposal area of 2000 – 2500m² for the expected volumes from this area associated with this facility.

3.2 Water Supply

Water supply to this site will be sourced from the Sun Water Channel system. This site has an allocated water volume made available to it from Sun Water, and the intention is to use it across the annual billing period. There is sufficient water allocation to the site for the proposed development. Water obtained from the Sun Water Channel supply will either be stored on site in water storage tanks ready for when required, or utilised directly from the channel system.

Domestic use / potable water that is used on site may require further treatment for consumption to ensure the health and amenity of the staff at the facility.

Water Supply for Fire-fighting Purposes

Due to the size and class of the proposed buildings on this site, fire hydrants and fire hose reels are a requirement of the NCC. Approximately 8 dual headed pillar hydrants will be required to be installed around the perimeter of the building either against a fire wall or a minimum of 10m from it. Approximately the same number of fire hose reels will be required to control the floor areas of the proposed development.

The fire water demand is 20 lit/sec for 4 hours for the fire hydrants so onsite fire water storage tanks containing a volume of 288,000 litres will be required. The tanks will be filled at the end of the construction of the project prior to occupation and will remain 100% full over the life of the property. Due to the presence of the fire water tanks, two fire booster pumps (minimum 1 x diesel and 1 x electric) and a fire brigade connection point will also be needed to satisfy QFES fire-fighting requirements. It is envisaged that the fire water storage tanks, fire pump room and booster assembly will be located on the right hand side of the proposed entry point to the site.

3.3 Excavation and Fill

The site is relatively flat. No excavation or filling is required for the proposed development.

4 CONCLUSION

The proposed packing shed provides a supplementary rural industry located near local produce markets in the Dimbulah area. The shed can comply with most acceptable outcomes included in the relevant planning scheme codes. Where there is any non-compliance, the proposed development can achieve the performance outcomes of the codes.

The proposed development is considered appropriate for the site and the Council is requested to approve the application subject to reasonable conditions.

APPENDIX 1: ASSESSMENT AGAINST THE PLANNING SCHEME

6.2.9 Rural zone code

The purpose of the Rural zone code is to:

- (a) provide for rural uses including cropping, intensive horticulture, intensive animal industries, animal husbandry, animal keeping and other primary production activities;
- (b) provide opportunities for non-rural uses that are compatible with agriculture, the environmental features, and landscape character of the rural area where the uses do not compromise the long-term use of the land for rural purposes;
- (c) protect or manage significant natural resources and processes to maintain the capacity for primary production.

Mareeba Shire Council's purpose of the Rural zone code is to recognise the importance of primary production to the economy of the region and to maintain and strengthen the range of primary industries which contribute to the rural economy.

The purpose of the Rural zone code is to:

- (a) recognise the diversity of rural uses that exists throughout the region;
- (b) protect the rural character of the region;
- (c) provide facilities for visitors and tourists that are accessible and offer a unique experience;
- (d) protect the infrastructure of the Mareeba-Dimbulah Irrigation Scheme Area from development which may compromise long term use for primary production;
- (e) maintain distinct boundaries between the rural areas and the villages, towns and urban areas of the region;

- (f) provide for a range of uses, compatible and associated with rural or ecological values including recreational pursuits and tourist activities;
- (g) prevent adverse impacts of development on ecological values;
- (h) preserve land in large holdings; and
- (i) facilitate the protection of strategic corridors across the landscape which link remnant areas of intact habitat and transport corridors.

The purpose of the Rural zone code will be achieved through the following overall outcomes:

- (a) Areas for use for primary production are conserved and fragmentation below economically viable lot sizes is avoided;
- (b) The establishment of a wide range of rural pursuits is facilitated, including cropping, intensive horticulture, forestry, intensive animal industries, animal husbandry and animal keeping and other compatible primary production uses;
- (c) The establishment of extractive industries, mining and associated activities and alternative forms of energy generation is appropriate where environmental impacts and land use conflicts are minimised;
- (d) Uses that require isolation from urban areas as a consequence of their impacts such as noise or odour may be appropriate where land use conflicts are minimised;
- (e) Development is reflective of and responsive to the environmental constraints of the land;
- (f) Residential and other development is appropriate only where directly associated with the rural nature of the zone;
- (g) Low-impact tourism and recreation activities do not compromise the long-term use of the land for rural purposes;
- (h) The viability of both existing and future rural uses and activities is protected from the intrusion of incompatible uses;
- (i) Visual impacts of clearing, building, materials, access ways and other aspects of development are minimised or appropriately managed;
- (j) Adverse impacts of development both on-site and from adjoining areas are avoided and any impacts are minimised through location, design, operation and management; and
- (k) Natural features such as creeks, gullies, waterways, wetlands and bushland are retained, managed, enhanced and separated from adjacent development.

Table 6.2.9.3—Rural zone code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicant Response
For accepted development subject to requirements and assessable development		
Height		
PO1 Building height takes into consideration and respects the following: <ul style="list-style-type: none"> (a) the height of existing buildings on adjoining premises; (b) the development potential, with respect to height, on adjoining premises; (c) the height of buildings in the vicinity of the site; (d) access to sunlight and daylight for the site and adjoining sites; (e) privacy and overlooking; and (f) site area and street frontage length. 	AO1.1 Development, other than buildings used for rural activities, has a maximum building height of: <ul style="list-style-type: none"> (a) 8.5 metres; and (b) 2 storeys above ground level. 	Complies Development is used for a rural activity.
	AO1.2 Buildings and structures associated with a rural activity including machinery, equipment, packing or storage buildings do not exceed 10 metres in height.	Complies with Performance Outcome The building is proposed to be a maximum of 10.6m in height.
Siting, where not involving a Dwelling house		
Note—Where for Dwelling house, the setbacks of the Queensland Development Code apply.		
PO2	AO2.1 Buildings and structures include a minimum setback of: <ul style="list-style-type: none"> (a) 40 metres from a frontage to a State-controlled road; and (b) 10 metres from a boundary to an adjoining lot. 	Complies with PO The packing shed has a setback of: <ul style="list-style-type: none"> • 30.5m from the frontage to the State-controlled road; and • 7m from the rear boundary; and • 290m from the eastern side boundary The proposed front setback has been accepted by the Department of Transport and Main Roads, in

Performance outcomes	Acceptable outcomes	Applicant Response
<p>Development is sited in a manner that considers and respects:</p> <ul style="list-style-type: none"> (a) the siting and use of adjoining premises; (b) access to sunlight and daylight for the site and adjoining sites; (c) privacy and overlooking; (d) air circulation and access to natural breezes; (e) appearance of building bulk; and (f) relationship with road corridors. 		<p>relation to the State-controlled road. (Refer meeting notes dated 7/11/2018 in Appendix 4)</p> <p>The lot is not near to other development, and therefore will not adversely affect neighbouring properties. Development is sited in a manner that considers and respects:</p> <ul style="list-style-type: none"> • the siting and use of adjoining premises • access to sunlight and daylight for the site and adjoining sites; • privacy and overlooking; • air circulation and access to natural breezes; • appearance of building bulk; and • relationship with road corridors.
	<p>AO2.2 Buildings and structures, where for a Roadside stall, include a minimum setback of 0 metres from a frontage to a road that is not a State-controlled road.</p>	<p>Not applicable Development is not for a Roadside stall.</p>
	<p>AO2.3 Buildings and structures, except where a Roadside stall, include a minimum setback of:</p> <ul style="list-style-type: none"> (a) 10 metres from a frontage to a sealed road that is not a State-controlled road; and (b) 100 metres from a frontage to any other road that is not a State-controlled road; 	<p>Not applicable The lot does not front a road that is not a State-controlled road.</p>
Accommodation density		
<p>PO3 The density of Accommodation activities:</p>	<p>AO3.1 Residential density does not exceed one dwelling house per lot.</p>	<p>Not applicable</p>

Performance outcomes	Acceptable outcomes	Applicant Response
(a) respects the nature and density of surrounding land use; (b) is complementary and subordinate to the rural and natural landscape values of the area; and (c) is commensurate to the scale and frontage of the site.	A03.2 Residential density does not exceed two dwellings per lot and development is for: (a) a secondary dwelling; or (b) Caretaker's accommodation and includes building work or minor building work with a maximum gross floor area of 100m ² ; or (c) Rural worker's accommodation.	Not applicable
For assessable development		
Site cover		
PO4 Buildings and structures occupy the site in a manner that: (a) makes efficient use of land; (b) is consistent with the bulk and scale of buildings in the surrounding area; and (c) appropriately balances built and natural features.	A04 No acceptable outcome is provided.	Complies The proposed shed and associated buildings on the site are situated in the most efficient location in relation to the access and given the shape of the lot.
PO5 Development complements and integrates with the established built character of the Rural zone, having regard to: (a) roof form and pitch; (b) eaves and awnings; (c) building materials, colours and textures; and (d) window and door size and location.	A05 No acceptable outcome is provided.	Complies The nearest buildings to the site are dwellings at the township of Mutchilba. The proposed packing shed will be over 250m from the nearest dwelling, which are screened from the main road by vegetation.

Performance outcomes	Acceptable outcomes	Applicant Response
Amenity		
PO6 Development must not detract from the amenity of the local area, having regard to: <ul style="list-style-type: none"> (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions. 	A06 No acceptable outcome is provided.	Complies The proposed development will be consistent with the rural activities in the vicinity of the site, and will not adversely impact on nearby residential development.
PO7 Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to: <ul style="list-style-type: none"> (a) noise; (b) hours of operation; (c) traffic; (d) advertising devices; (e) visual amenity; (f) privacy; (g) lighting; (h) odour; and (i) emissions. 	A07 No acceptable outcome is provided.	Complies The packing shed will be located over 250m from the nearest dwelling and any noise, light or other emissions generated by the use of the shed will not adversely impact neighbouring properties. Traffic from the property is easily absorbed by the existing major road, Mareeba-Dimbulah Road.

8.2.1 Agricultural land overlay code

The purpose of the Agricultural land overlay code is to protect or manage important agricultural areas, resources, and processes which contribute to the shire's capacity for primary production.

The purpose of the code will be achieved through the following overall outcomes:

- (a) The alienation, fragmentation or reduction in primary production potential of land within the 'Class A' area or 'Class B' area is avoided, except where:
 - (i) an overriding need exists for the development in terms of public benefit,
 - (ii) no suitable alternative site exists; and
 - (iii) the fragmentation or reduced production potential of agricultural land is minimised;
- (b) 'Class A' areas and 'Class B' areas continue to be used primarily for more intensive agricultural activities which utilise the land quality provided in these areas;
- (c) Grazing on very large land holdings is maintained as the dominant rural activity in the 'Broadhectare rural' area; and
- (d) Land with the 'Broadhectare rural' area is maintained in its current configuration.



Figure 5: Extract from Agricultural land overlay map

Table 8.2.1.3 – Agricultural land overlay code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicant Response
For accepted development subject to requirements and assessable development		
PO1 The fragmentation or loss of productive capacity of land within the 'Class A' area or 'Class B' area identified on the Agricultural land overlay maps (OM-001a-n) is avoided unless: <ul style="list-style-type: none"> (a) an overriding need exists for the development in terms of public benefit; (b) no suitable alternative site exists; and (c) loss or fragmentation is minimised to the extent possible. 	AO1 Buildings and structures are not located on land within the 'Class A' area or 'Class B' area identified on the Agricultural land overlay maps (OM-001a-n) unless they are associated with: <ul style="list-style-type: none"> (a) animal husbandry; or (b) animal keeping; or (c) cropping; or (d) dwelling house; or (e) home based business; or (f) intensive animal industry (only where for feedlotting); or (g) intensive horticulture; or (h) landing; or (i) roadside stalls; or (j) winery. 	Complies The building is for a packing shed which is associated with cropping.

Performance outcomes	Acceptable outcomes	Applicant Response
For assessable development		
PO2 Sensitive land uses in the 'Class A' area, 'Class B' area or the 'Broadhectare rural' area identified on the Agricultural land overlay maps (OM-001a-n) are designed and located to: <ul style="list-style-type: none"> (a) avoid land use conflict; (b) manage impacts from agricultural activities, including chemical spray drift, odour, noise, dust, smoke and ash; (c) avoid reducing primary production potential; and (d) not adversely affect public health, safety and amenity. 	AO2 No acceptable outcome is provided.	Not applicable The use is not a sensitive land use.
PO3 Development in the 'Class A' area or 'Class B' area identified on the Agricultural land overlay maps (OM-001a-n) : <ul style="list-style-type: none"> (a) ensures that agricultural land is not permanently alienated; (b) ensures that agricultural land is preserved for agricultural purposes; and (c) does not constrain the viability or use of agricultural land. 	AO3 No acceptable outcome is provided.	Complies The development is providing a supporting rural industry to the existing agricultural industry on the Tablelands. Whilst the land is included in the Class A agricultural land area, the site is constrained by its irregular shape and location between the major road and Walsh River. The proposed packing shed is considered an appropriate use of the land to support the agricultural industry.

Performance outcomes	Acceptable outcomes	Applicant Response
If for Reconfiguring a lot		
PO4 The 'Broadhectare rural area' identified on the Agricultural land overlay maps (OM-001a-n) is retained in very large rural holdings viable for broad scale grazing and associated activities.	AO4 Development does not involve the creation of a new lot within the 'Broadhectare rural' area identified on the Agricultural land overlay maps (OM-001a-n) .	Not applicable
PO5 Reconfiguring a lot in the 'Class A' area, 'Class B' area or the 'Broadhectare rural' area identified on the Agricultural land overlay maps (OM-001a-n) that is severed by a gazetted road occurs only where it does not fragment land used for agricultural purposes.	AO5 No acceptable outcome is provided.	Not applicable
PO6 Any Reconfiguring a lot in the 'Class A' area, 'Class B' area or the 'Broadhectare rural' area identified on the Agricultural land overlay maps (OM-001a-n) , including boundary realignments, only occurs where it: <ul style="list-style-type: none"> (a) improves agricultural efficiency; (b) facilitates agricultural activity; or (c) facilitates conservation outcomes; or (d) resolves boundary issues where a structure is built over the boundary line of two lots. 	AO6 No acceptable outcome is provided.	Not applicable

8.2.3 Bushfire hazard overlay code

The purpose of the Bushfire hazard overlay code is to minimise the threat of bushfire to people and property.

The purpose of the code will be achieved through the following overall outcomes:

- Development in a Bushfire hazard area is compatible with the nature of the hazard;
- The number of people and properties subject to bushfire hazards are minimised through appropriate building design and location;
- Development does not result in a material increase in the extent, duration or severity of bushfire hazard; and
- Appropriate infrastructure is available to emergency services in the event of a bushfire.

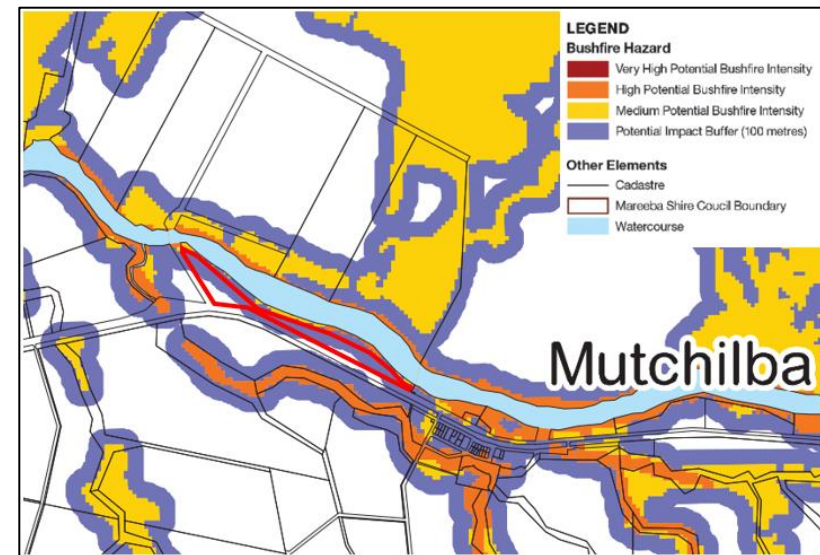


Table 8.2.3.3—Bushfire hazard overlay code — For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicant Response
For accepted development subject to requirements and assessable development		
Water supply for fire-fighting purposes		
PO1 Development where within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps	Where within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) AO1.1	Not applicable

Performance outcomes	Acceptable outcomes	Applicant Response
<p>(OM-003a-o) maintains the safety of people and property by providing an adequate, accessible and reliable water supply for fire-fighting purposes which is safely located and has sufficient flow and pressure characteristics.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>Where in a reticulated water service area, the on-site water supply has flow and pressure characteristics of 10 litres a second at 200 kPa. OR</p>	
	<p>AO1.2 Where access to the reticulated water network is not available, a minimum on site water storage of 5,000 litres is provided that must comprise:</p> <ul style="list-style-type: none"> (a) a separate tank; or (b) a reserve section in the bottom part of the main water supply tank; or (c) a dam; or (d) a swimming pool. <p>Note—Where a water tank is provided for fire-fighting purposes it is fitted with standard rural fire brigade fittings and the tank is provided with a hardstand area for heavy vehicles.</p>	<p>Complies The land is located within the potential impact buffer. On-site water storage of a minimum of 5,000L will be provided on site in separate storage tanks for firefighting purposes.</p>
For assessable development		
Land use		
<p>PO2 Development within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) is</p>	<p>AO2 All buildings, structures, infrastructure and facilities associated with the following uses are located outside any area of the site located within a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o):</p> <ul style="list-style-type: none"> (a) child care centre; or (b) community care centre; or (c) correctional facility; or (d) educational establishment; or (e) emergency services; or 	<p>Complies</p>

Performance outcomes	Acceptable outcomes	Applicant Response
<p>appropriate to the bushfire hazard risk having regard to the:</p> <ul style="list-style-type: none"> (a) the bushfire risk compatibility of development; (b) the vulnerability of and safety risk to persons associated with the use; and (c) consequences of bushfire in regard to impacts on essential infrastructure, buildings and structures. <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<ul style="list-style-type: none"> (f) hospital; or (g) residential care facility; or (h) retirement facility; or (i) rooming accommodation; or (j) shopping centre; or (k) tourist park; or (l) tourist attraction. 	
Lot design		
<p>PO3</p> <p>Reconfiguring a lot within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) minimises the potential adverse impacts of bushfire on the safety of people, property and the environment through lot design that:</p> <ul style="list-style-type: none"> (a) is responsive to the nature and extent of bushfire risk; and (b) allows efficient emergency access to buildings for fire-fighting appliances. <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>Where within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o)</p> <p>A03.1 No new lots are created.</p> <p>OR</p> <p>A03.2 All lots include a building envelope that achieves a radiant heat flux level of 29kW/m² at the perimeter of the building envelope.</p> <p>Note—Where a radiant heat flux of 29kW/m² is achieved and this relies on cleared or maintained land external to the land the subject of the development application it must be</p>	Not applicable

Performance outcomes	Acceptable outcomes	Applicant Response
	demonstrated that land external to the site will be maintained to a standard that does not exceed the level of bushfire hazard identified in a Bushfire hazard management plan.	
Firebreaks and access		
<p>PO4 In a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o), vehicular access is designed to mitigate against bushfire hazard by:</p> <ul style="list-style-type: none"> (a) ensuring adequate access for fire-fighting and other emergency vehicles; (b) ensuring adequate access for the evacuation of residents and emergency personnel in an emergency situation, including alternative safe access routes should access in one direction be blocked in the event of a fire; and (c) providing for the separation of developed areas and adjacent bushland. <p>Note—Where it is not practicable to provide firebreaks in accordance with A04.2 Fire Maintenance Trails are provided in accordance with the following: located as close as possible to the boundaries of the lot and the adjoining hazardous vegetation; the minimum cleared width not less than 6 metres; the formed width is not less than 2.5 metres; the formed gradient is not greater than 15%; vehicular access is provided at both ends;</p>	<p>AO4.1 In a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o), roads are designed and constructed:</p> <ul style="list-style-type: none"> (a) with a maximum gradient of 12.5%; (b) to not use cul-de-sacs; and (c) a constructed road width and weather standard complying with Planning Scheme Policy 4 - FNQROC Regional Development Manual. 	Complies
	<p>AO4.2 In a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o), firebreaks are provided:</p> <ul style="list-style-type: none"> (a) consisting of a perimeter road that separates lots from areas of bushfire hazard; (b) a minimum cleared width of 20 metre; (c) a maximum gradient of 12.5%; and (d) a constructed road width and weather standard complying with Planning Scheme Policy 4 - FNQROC Regional Development Manual. 	<p>Complies with Performance Outcomes The site is cleared of vegetation, and adjoins State Land (Lot 431 on HG293), which is between the subject site and bushfire hazard area. The layout of the development provides for adequate access for fire-fighting and other emergency vehicles.</p>

Performance outcomes	Acceptable outcomes	Applicant Response
<p>passing bays and turning areas are provided for fire-fighting appliances located on public land.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>		
Hazardous materials		
<p>PO5</p> <p>Public safety and the environment are not adversely affected by the detrimental impacts of bushfire of hazardous materials manufactured or stored in bulk.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p>AO5</p> <p>The processing or storage of dangerous goods or hazardous materials is not undertaken in a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o).</p>	<p>Complies</p> <p>Any dangerous or hazardous material will be stored outside of the potential impact buffer area.</p>
Landscaping		
<p>PO6</p> <p>Landscaping within a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) does not result in a material increase in the extent, duration or severity of bushfire hazard having regard to:</p> <ul style="list-style-type: none"> (a) fire ecology; (b) slope of site; and (c) height and mix of plant species. <p>Note—Frost hollows and the associated grass kill facilitates a rapid curing of fuel and exacerbates bushfire hazard.</p>	<p>AO6</p> <p>No acceptable outcome is provided.</p>	<p>Will be complied with</p>

Performance outcomes	Acceptable outcomes	Applicant Response
Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.		
Infrastructure		
PO7 Infrastructure services located in a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) are protected from damage or destruction in the event of a bushfire. Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.	A07 The following infrastructure services are located below ground: (a) water supply; (b) sewer; (c) electricity; (d) gas; and (e) telecommunications	Complies Infrastructure to the packing shed will be located below ground.
Private driveways		
PO8 All premises located in a 'Bushfire hazard area' and a 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) are provided with vehicular access that enables safe evacuation for occupants and easy access by fire-fighting appliances. Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.	A08 Private driveways: (a) do not exceed a length of 60 metres from the street frontage; (b) do not exceed a gradient of 12.5%; (c) have a minimum width of 3.5 metres; (d) have a minimum vertical clearance of 4.8 metres; (e) accommodate turning areas for fire-fighting appliances in accordance with the Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and (f) serve no more than three dwellings or buildings.	Complies

8.2.6 Flood hazard Overlay code

The purpose of the Flood hazard overlay code is to manage development outcomes in flood hazard areas identified on the **Flood hazard overlay maps (OM-006a-o)** so that risk to life, property, community and the environment during flood events is minimised, and to ensure that development does not increase the potential for flood damage on site or to other property.

The purpose of the code will be achieved through the following overall outcomes:

- (a) Development in the 'Extreme flood hazard area':
 - i. maintains and enhances the hydrological function of the land;
 - ii. does not involve filling (earthworks) or changes to existing landform or drainage lines that results in a loss of the flood conveyance and flood storage capacity of the land;
 - iii. is limited to:
 - A. flood proofed Sport and recreation activities;
 - B. Rural activities where for Animal husbandry, Cropping or Permanent plantation;
 - C. flood proofed Utility installations, Substations or Major electricity infrastructure;
 - D. conservation and natural area management; and
 - E. replacement of existing lawful development, including Accommodation activities where habitable rooms are elevated above the defined flood level and include freeboard;

Where there is no increase to the number of persons at risk of flood and where development reduces existing or potential risks to life and property.
- (b) Development in the 'High flood hazard area':
 - i. maintains the hydrological function of the land;
 - ii. does not involve filling (earthworks) or changes to the existing landform or drainage lines that results in a loss of the flood conveyance and flood storage capacity of the land;
 - iii. is limited to:
 - A. flood proofed Sport and recreation activities and Club uses;
 - B. Non-resident workforce accommodation, Relocatable home park, Resort complex, Rooming accommodation, Short term accommodation and Tourist park uses where these uses comprise permanent on-site management and a flood evacuation management plan ensures the health and safety of persons during a flood event;
 - C. a Dwelling house only where the lot existed or had a lawful reconfiguring a lot approval at the commencement of the planning scheme and the land is included in a Residential zone or the Centre zone or where for minor intensification of existing Dwelling houses;
 - D. Rural activities where for Animal husbandry, Cropping or Permanent plantation;

- E. Industrial activities and Commercial activities where it is accepted development that flood damage is incurred as an operational cost and where flood sensitive elements of the development or use are elevated above the defined flood level, including freeboard;
- F. flood proofed Utility installations, Substations or Major electricity infrastructure;
- G. conservation and natural area management; and
- H. replacement of existing lawful development;

Where there is no increase to the number of persons at risk of flood and where development reduces existing or potential risks to life and property.

- iv. protects surrounding land and land uses from increased flood hazard impacts;
 - v. elevates habitable rooms for all accommodation activities (including where for minor building work) above the defined flood level, including freeboard.
- (c) Development in the 'Significant flood hazard area':
- i. minimises risk to life and property from flood events;
 - ii. involves changes to the existing landform and drainage lines in this area only where detrimental impacts to the flood hazard risk of surrounding areas is avoided;
 - iii. is limited to:
 - A. Sport and recreation activities;
 - B. Industrial activities and Commercial activities where it is accepted development that flood damage is incurred as an operational cost and where flood sensitive elements of the development or use are elevated above the defined flood level, including freeboard;
 - C. Rural activities;
 - D. Accommodation activities, excluding Residential care facility and Retirement facility;
 - E. flood proofed Community activities, excluding Child care centre, Hospital and Community use where a flood emergency evacuation plan ensures the safety of people during a flood event;
 - F. flood proofed Utility installations, Substations or Major electricity infrastructure;
 - G. conservation and natural area management;
 - iv. locates habitable rooms for all accommodation activities above the defined flood level, including freeboard; and
 - v. locates the minimum floor level for all buildings other than accommodation activities, industrial activities and business activities above the defined flood level.
- (d) Development in the 'Low flood hazard area':
- i. minimises risk to life and property from flood events;
 - ii. locates habitable rooms for all Accommodation activities above the defined flood level, including freeboard; and

- iii. locates the minimum floor level for all buildings other than Accommodation activities above the defined flood level, including freeboard.
- (e) Development in the 'Potential flood hazard area':
 - i. maintains the safety of people on the development site from flood events and minimises the potential damage from flooding to property;
 - ii. does not result in adverse impacts on people's safety, the environment or the capacity to use land within the floodplain;
 - iii. locates habitable rooms for all Accommodation activities above a 1% Annual Exceedance Probability (AEP), including freeboard; and
 - iv. locates the minimum floor level for all building work other than Accommodation activities above the 1% AEP flood level, including freeboard.

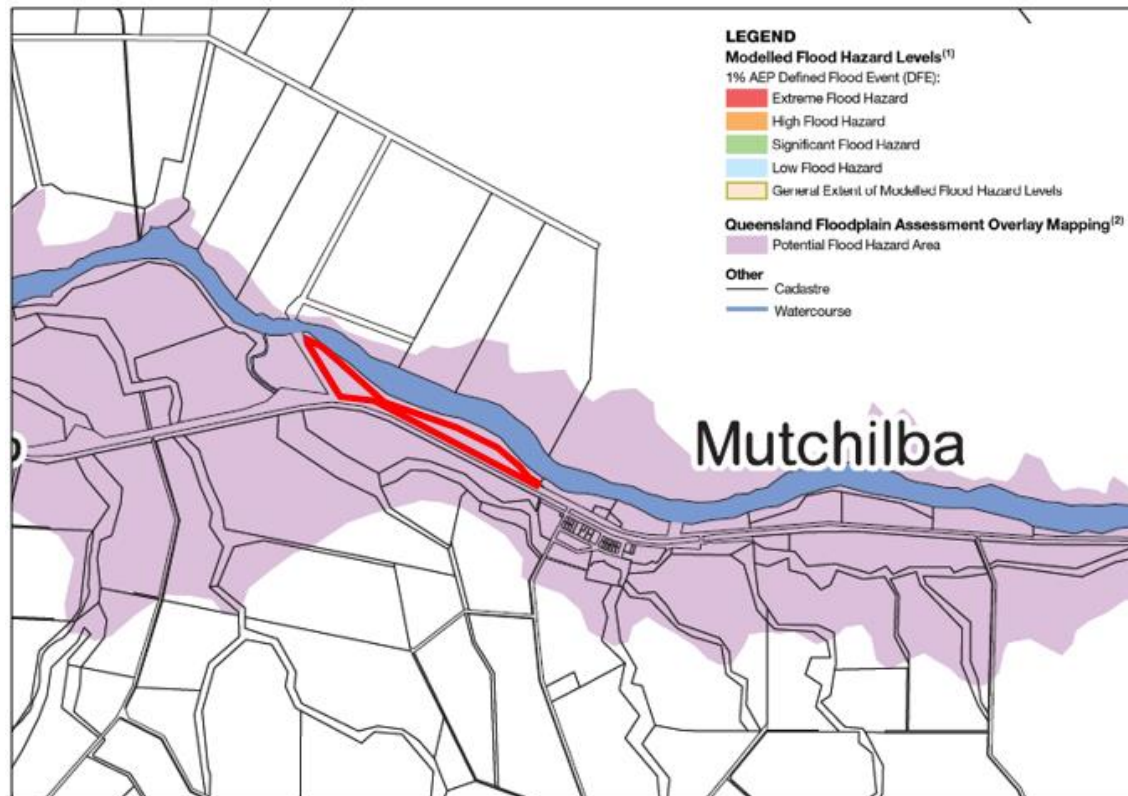


Figure 6: Extract from Flood Hazard Overlay map

Table 8.2.6.3A - Flood hazard overlay code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For accepted development subject to requirements and assessable development		
All flood hazard areas		
PO1 Development prevents the carriage or dispersal of contaminants or pollutants into the receiving environment.	AO1 The processing or storage of dangerous goods or hazardous materials is: (a) not undertaken in a flood hazard area identified on the Flood hazard overlay maps (OM-006a-o) ; or (b) is located above the defined flood level plus 0.3 metre freeboard.	Will be complied with
PO2 Essential community infrastructure is able to function effectively during and immediately after flood events.	AO2 Design levels for buildings must comply with the flood immunity standards specified in Table 8.2.6.3.B and Table 8.2.6.3.C where within a flood hazard area identified on the Flood hazard overlay maps (OM-006a-o) .	Complies with Performance Outcomes The site is located in the Potential Flood hazard area. However, the site has no history of ever flooding. The building is sited at existing ground levels.

Performance outcomes	Acceptable outcomes	Applicant response
Extreme flood hazard area		
PO3 Development, where involving a Material change of use within an 'Extreme flood hazard area' on the Flood hazard overlay maps (OM006a-o) , is appropriate to the flood hazard risk having regard to the: <ul style="list-style-type: none"> (a) likelihood and frequency of flooding; (b) flood risk acceptability of development; (c) vulnerability of and safety risk to persons associated with the use; (d) associated consequences of flooding in regard to impacts on proposed buildings, structures, and supporting infrastructure; and (e) associated consequences of flooding in respect to undue burden on disaster response recovery capacity and capabilities. 	AO3.1 Uses within the following activity groups are not located within an 'Extreme flood hazard area identified' on the Flood hazard overlay maps (OM006a-o) : <ul style="list-style-type: none"> (a) Accommodation activities; (b) Commercial activities; (c) Community activities except where for a Club with a maximum gross floor area of 100m²; (d) Industrial activities; (e) Rural activities, except where for Animal husbandry, Cropping, or Permanent plantation. 	Not applicable The site is not located within an 'extreme flood hazard area'.
	AO3.2 Sport and recreation activities are not located within an 'Extreme flood hazard area' identified on the Flood hazard overlay maps (OM006a-o) except where for: <ul style="list-style-type: none"> (a) Environment facility; (b) Park; or (c) Outdoor sport and recreation (excluding the provision of ancillary facilities or amenities conducted within a building). 	Not applicable The site is not located within an 'extreme flood hazard area'.

Performance outcomes	Acceptable outcomes	Applicant response
PO4 Development is located and designed to: <ul style="list-style-type: none"> (a) maintain and enhance the flood conveyance capacity of the premises; (b) not increase the number of people calculated to be at risk from flooding; (c) not increase the flood impact on adjoining premises; (d) ensure the safety of all persons by ensuring that development levels are set above the defined flood level; (e) reduce property damage; and (f) provide flood immune access to buildings. <p>Note—Buildings may be constructed from flood resistant, waterproof materials below the defined flood level where certified by a qualified structural engineer to be flood proof (including the ability to withstand damage from floodwater and debris) and where an alternative outcome to AO4.1-AO4.4 is also demonstrated.</p> <p>Note—In the event that a lawful building or structure is destroyed by flood or other event the building may be replaced in situ where there is no increase in: <ul style="list-style-type: none"> i. gross floor area; or ii. the number of dwellings or bedrooms on the premises. </p>	AO4.1 Buildings, including extensions to existing buildings, are: <ul style="list-style-type: none"> (a) not located within an 'Extreme flood hazard area' identified on the Flood hazard overlay maps (OM006a-o); or (b) elevated above the defined flood level, with 0.3 metres freeboard from the defined flood level provided for habitable rooms within a dwelling. 	Not applicable The site is not located within an 'extreme flood hazard area'.
	AO4.2 All building work must be high set and retains the flood storage and conveyance capacity of the premises. <p>Note—Building work must be certified by a qualified structural engineer to be flood proof including the ability to withstand damage from floodwater and debris.</p>	Not applicable The site is not located within an 'extreme flood hazard area'.
	AO4.3 New buildings are provided with flood free pedestrian and vehicle evacuation access between the building and a flood safe accessible road. <p>Note—A flood safe accessible road includes a road where identified as outside a flood hazard area or within a 'Low flood hazard area', 'Potential flood hazard area' or 'Significant flood hazard area' on the Flood hazard overlay maps (OM006a-o).</p>	Not applicable The site is not located within an 'extreme flood hazard area'.

Performance outcomes	Acceptable outcomes	Applicant response
	AO4.4 Development does not increase the number of lots in the 'Extreme flood hazard area' identified on the Flood hazard overlay maps (OM006a-o) except where for the purposes of public open space.	Not applicable The site is not located within an 'extreme flood hazard area'.
PO5 Development involving earthworks in a Flood hazard area below the defined flood level must protect life and property on premises and off premises through maintaining: <ul style="list-style-type: none"> (a) flood storage capacity of land; (b) flood conveyance function of land; (c) flood and drainage channels; (d) overland flow paths; and (e) flood warning times. 	AO5 Filling above ground level is not undertaken in the 'Extreme flood hazard area' identified on the Flood hazard overlay maps (OM006a-o) .	Not applicable The site is not located within an 'extreme flood hazard area'.
High flood hazard area		
PO6 Development, where for a Material change of use within a 'High flood hazard area' identified on the Flood hazard overlay maps (OM-006a-o) , is appropriate to the flood hazard risk having regard to the: <ul style="list-style-type: none"> (a) likelihood and frequency of flooding; (b) flood risk acceptability of development; (c) vulnerability of and safety risk to persons associated with the use; (d) associated consequences of flooding in regard to impacts on proposed buildings, structures and supporting infrastructure; and 	AO6.1 Uses within the following activity groups are not located within a 'High flood hazard area' identified on the Flood hazard overlay maps (OM006a-o) : <ul style="list-style-type: none"> (a) Accommodation activities, except where for Dwelling house and only where the lot existed or had a lawful reconfiguring a lot approval at the commencement of the planning scheme and the land is included in a Residential zone or the Centre zone; (b) Community activities except where for a Club with a maximum gross floor area of 100m²; (c) Rural activities, except where for Animal husbandry, Cropping or Permanent plantation. 	Not applicable The site is not located within a 'high flood hazard area'.

Performance outcomes	Acceptable outcomes	Applicant response
(e) associated consequences of flooding in respect to undue burden on disaster response recovery capacity and capabilities.	AO6.2 Sport and recreation activities are not located within a 'High flood hazard area' identified on the Flood hazard overlay maps (OM006a-o) except where for: <ul style="list-style-type: none"> (a) Environment facility; (b) Park; or (c) Outdoor sport and recreation (excluding the provision of ancillary facilities or amenities conducted within a building). 	Not applicable The site is not located within a 'high flood hazard area'.
PO7 Development is located and designed to: <ul style="list-style-type: none"> (a) maintain hydrological function of the premises; (b) not increase the number of people calculated to be at risk from flooding; (c) minimises the flood impact on adjoining premises; (d) ensure the safety of all persons by ensuring that an appropriate proportion of buildings are set above the defined flood level; 	AO7.1 Buildings, including extensions to existing buildings are: <ul style="list-style-type: none"> (a) not located within the 'High flood hazard area' identified on the Flood hazard overlay maps (OM006a-o); or (b) elevated above the defined flood level, with 0.3 metres freeboard from the defined flood level provided for habitable rooms within a dwelling. OR	Not applicable The site is not located within a 'high flood hazard area'.

Performance outcomes	Acceptable outcomes	Applicant response
<p>(e) reduce the carriage of debris in flood waters; (f) reduce property damage; and (g) provide flood immune access to buildings.</p> <p>Note—Buildings may be constructed from flood resistant, waterproof materials below the defined flood level where certified by a qualified structural engineer to be flood proof (including the ability to withstand damage from floodwater and debris) and where an alternative outcome to AO8.1-AO8.9 is also demonstrated.</p>	<p>AO7.2 Buildings used for Commercial activities or Industrial activities include a minimum floor level of 0.3 metres above the defined flood where for the following components of the use:</p> <p>(a) administrative areas; or (b) services, plant and equipment associated with the building.</p> <p>Note—AO8.2 accepts that the cost of flood impact is an operational cost of the Commercial activity or Industrial activity.</p> <p>Note—Building work must be certified by a qualified structural engineer to be flood proof including the ability to withstand damage from floodwater and debris.</p>	<p>Not applicable The site is not located within a 'high flood hazard area'.</p>
	<p>AO7.3 All building work below the defined flood level must be high set (comprising pier and beam construction) and retains the flood storage and conveyance capacity of the premises.</p>	<p>Not applicable The site is not located within a 'high flood hazard area'.</p>
	<p>AO7.4 New buildings are provided with flood free pedestrian and vehicle evacuation access between the building and a flood safe accessible road.</p> <p>Note—A flood safe accessible road includes a road where identified as outside a flood hazard area or within a 'Low flood hazard area', 'Potential flood hazard area' or 'Significant flood hazard area' on the Flood hazard overlay maps (OM006a-o).</p>	<p>Not applicable The site is not located within a 'high flood hazard area'.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	A07.5 New temporary, relocatable or impermanent buildings and structures are to be anchored with the ability to withstand transportation by floodwater. Note—Building work must be certified by a qualified structural engineer.	Not applicable The site is not located within a 'high flood hazard area'.
	A07.6 Dwellings do not exceed four bedrooms.	Not applicable The site is not located within a 'high flood hazard area'.
	A07.7 Building work on an existing dwelling does not comprise additional bedrooms.	Not applicable The site is not located within a 'high flood hazard area'.
	A07.8 Building work on an existing dwelling is limited to a maximum increase of 20 percent of the lawfully approved gross floor area of the existing dwelling.	Not applicable The site is not located within a 'high flood hazard area'.
	A07.9 Development does not increase the number of lots in the 'High flood hazard area; as identified on the Flood hazard overlay maps (OM006a-o) except where for the purposes of public open space.	Not applicable The site is not located within a 'high flood hazard area'.

Performance outcomes	Acceptable outcomes	Applicant response
PO8 Development involving earthworks in a Flood hazard area below the defined flood level must protect life and property on premises and off premises through maintaining: <ul style="list-style-type: none"> (a) flood storage capacity of land; (b) flood conveyance function of land; (c) flood and drainage channels; (d) overland flow paths; and (e) flood warning times. 	AO8 Filling above ground level is not undertaken in the 'High flood hazard area' identified on the Flood hazard overlay maps (OM006a-o) .	Not applicable The site is not located within a 'high flood hazard area'.
Significant flood hazard area		
PO9 Development, involving a Material change of use, within a 'Significant flood hazard area' on the Flood hazard overlay maps (OM006a-o) is appropriate to the flood hazard risk having regard to the: <ul style="list-style-type: none"> (a) likelihood and frequency of flooding; (b) flood risk acceptability of development; (c) vulnerability of and safety risk to persons associated with the use; (d) associated consequences of flooding in regard to impacts on proposed buildings, structures and supporting infrastructure; and (e) associated consequences of flooding in respect to undue burden on disaster response recovery capacity and capabilities. 	AO9 The following uses are not located within a 'Significant flood hazard area' identified on the Flood hazard overlay maps (OM006a-o) : <ul style="list-style-type: none"> (a) Residential care facility; (b) Retirement facility; (c) Child care centre; (d) Hospital; or (e) Community use. 	Not applicable The site is not located within a 'significant flood hazard area'.

CREATING GREAT PLACES FOR PEOPLE

Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO10.3 All building work below the defined flood level must be high set (comprising pier and beam construction) and retains the flood storage and conveyance capacity of the premises.</p> <p>Note—Building work must be certified by a qualified structural engineer to be flood proof including the ability to withstand damage from floodwater and debris.</p>	
<p>PO11 Development involving earthworks in a Flood hazard area below the defined flood level must protect life and property on premises and off premises through maintaining:</p> <ul style="list-style-type: none"> (a) flood storage capacity of land; (b) flood conveyance function of land; (c) flood and drainage channels; (d) overland flow paths; and (e) flood warning times. 	<p>AO11 Development does not involve in excess of 50m³ of fill above ground level per 1,000m² of site area.</p>	<p>Complies</p>

Performance outcomes	Acceptable outcomes	Applicant response
For assessable development		
Where for Material change of use or Reconfiguring a lot that involves new gross floor area or increases the number of persons living, working or residing in the Extreme flood hazard area, High flood hazard area or Significant flood hazard area other than a Dwelling house.		
<p>PO12 Flood risk management minimises the impact on property and appropriately protects the health and safety of persons at risk of Extreme, high or significant flood hazard, and:</p> <ul style="list-style-type: none"> (a) indicates the position and path of all safe evacuation routes off the site; and (b) if the site contains or is within 100 metres of a flood hazard area, hazard warning signage and depth indicators are provided at key hazard points, such as at floodway crossings. <p>Note—A Material change of use or Reconfiguring a lot that involves new gross floor area or increases the number of persons living, working or residing in the 'Extreme flood hazard area' identified on the Flood hazard overlay map (OM006a-o) is supported by a Flood Emergency Evacuation Plan prepared by suitably qualified persons having regard to Floodplain Management in Australia: Best Practice Principles and Guidelines (2000), prepared by Standing Committee on Agriculture and Resource Management (SCARM), CSIRO.</p>	<p>AO12 No acceptable outcome is provided.</p>	<p>Not applicable The site is not located within an extreme, high or significant flood hazard area'.</p>

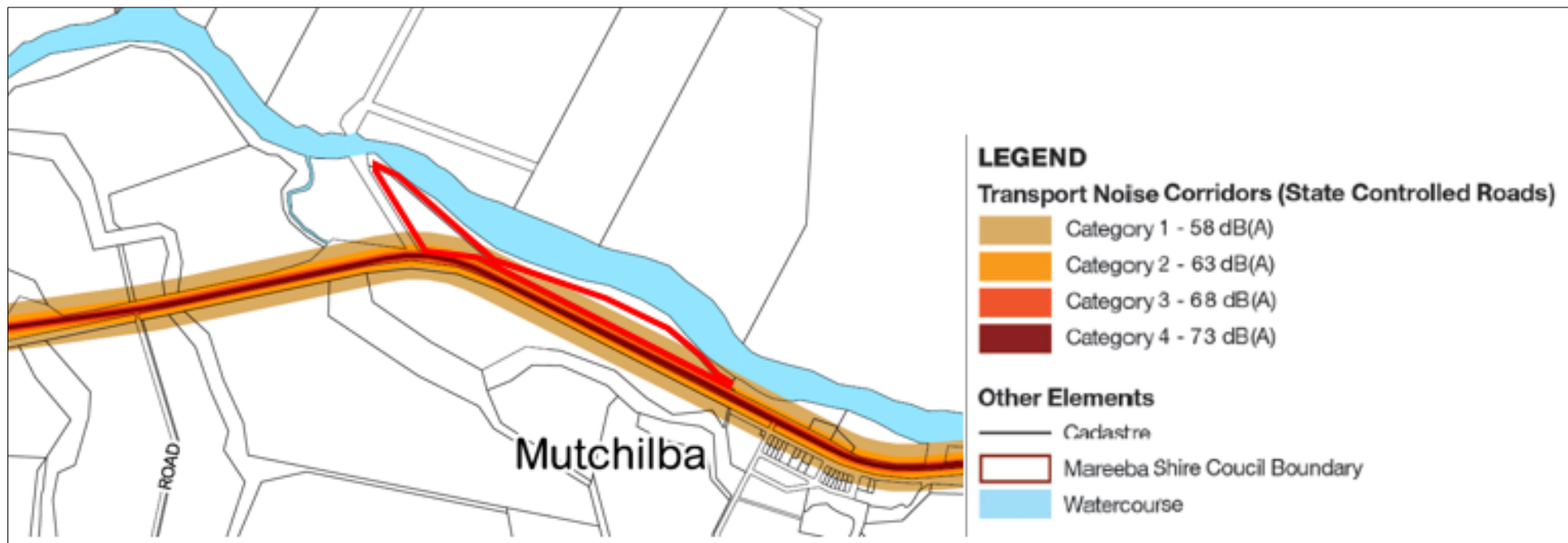
Performance outcomes	Acceptable outcomes	Applicant response
Significant flood hazard area, Low flood hazard area or Potential flood hazard area		
<p>PO13 Development, where involving Reconfiguring a lot, is located and designed to:</p> <ul style="list-style-type: none"> (a) maintain hydrological function of the premises; (b) not increase the number of people calculated to be at risk from flooding; (c) minimises the flood impact on adjoining premises; (d) ensure the safety of all persons by ensuring that a proportion of buildings are set above the defined flood level; (e) reduce the carriage of debris in flood waters; (f) reduce property damage; and (g) provide flood immune access to buildings. <p>Note—Where the development is located in a ‘Potential flood hazard area’ identified on the Flood hazard overlay maps (OM006a-o) and there is no defined flood level a hydraulic (flood hazard assessment) report prepared by a RPEQ is required in substantiation of an alternative outcome is required or the defined flood level from the adjacent representative hazard zone is used.</p>	<p>AO13 No acceptable outcome is provided.</p>	<p>Not applicable The application is not for a reconfiguring a lot.</p>

8.2.12 Transport infrastructure code

The purpose of the Transport infrastructure overlay code is to promote the ongoing and expanded use of rail corridors within the shire for the transportation of passengers and freight.

The purpose of the code will be achieved through the following overall outcomes:

- (a) Active 'Rail corridors' are protected from adjoining land uses which may prejudice their ongoing and expanded use;
- (b) Inactive 'Rail corridors' are preserved and protected for potential reuse for passenger or freight movements;
- (c) Non-residential development adjoining a 'Rail corridor' does not prevent the future use of the rail corridor by the site; and
- (d) Development compliments the use of 'Rail corridors' for tourist activities.



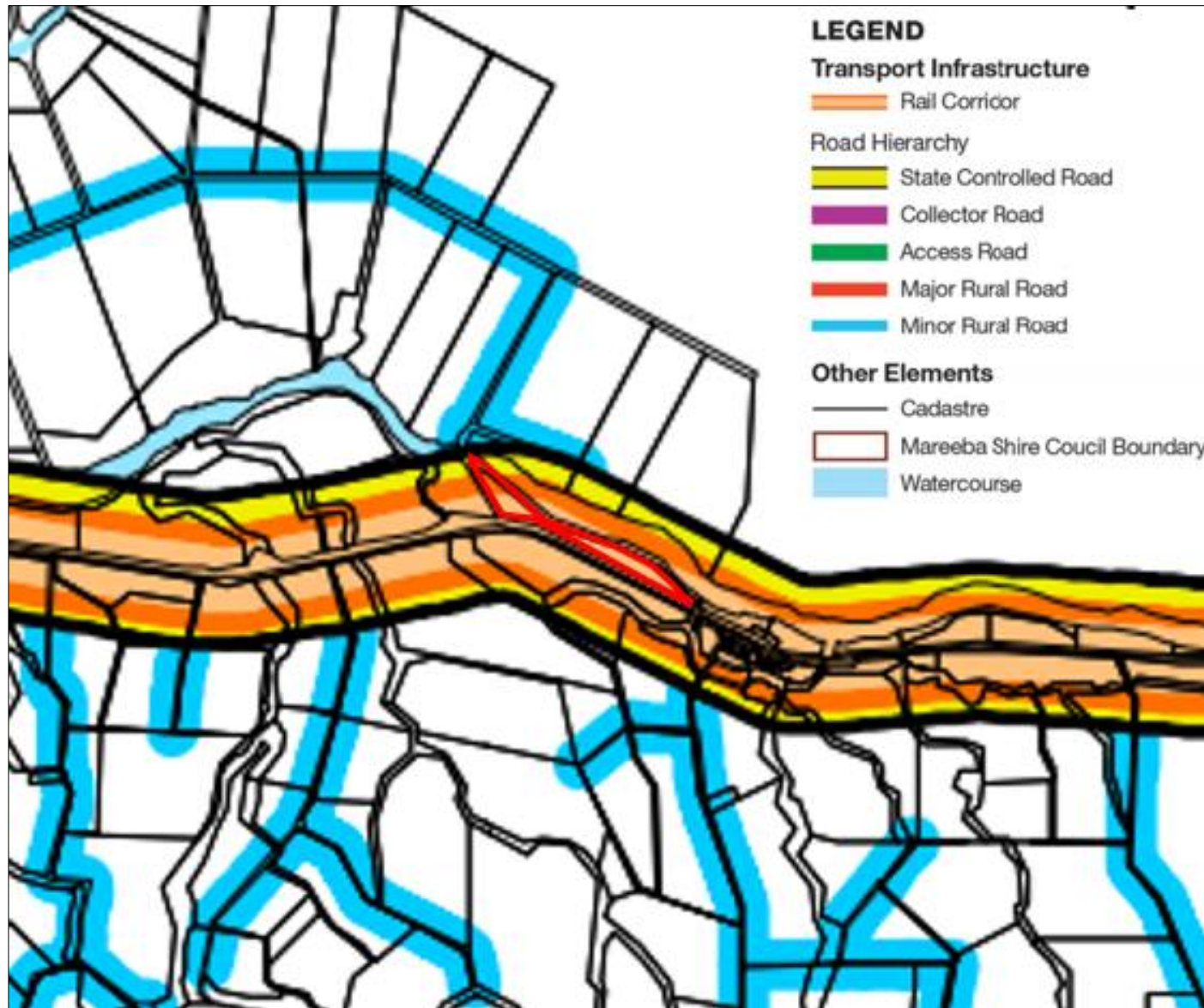


Table 8.2.12.3 – Transport infrastructure overlay code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For accepted development subject to requirements and assessable development		
PO1 Development does prejudice the: (a) ongoing operation of an active 'Rail corridor' identified on the Transport infrastructure overlay maps (OM-012a-j) ; or (b) the potential future use of an inactive 'Rail corridor' identified on the Transport infrastructure overlay maps (OM-012a-j) .	AO1 Buildings and structures are setback from a boundary with an active or inactive 'Rail corridor' identified on the Transport infrastructure overlay maps (OM-012a-j) a minimum of: (a) 40 metres where: (i) in the Rural zone; and (ii) on a site with an area of 2 hectares or greater; or (b) 5 metres otherwise.	Complies The packing shed will be setback 30.5m from the frontage to the Mareeba-Dimbulah Road. The rail line runs parallel with the Road on the southern side. The building will therefore be setback a minimum of 70m from the rail corridor.
For assessable development		
PO2 Non-residential development adjoining a rail corridor identified on the Transport infrastructure overlay maps (OM-012a-j) is designed to allow for the future use of the 'Rail corridor' by the land use.	AO2 No acceptable outcome is provided	Complies The proposed packing shed will not impact on the operations of the rail corridor.
PO3 Development adjoining a 'Rail corridor' identified on the Transport infrastructure overlay maps (OM-012a-j) used for the transportation of tourists is designed to: (a) provide visual interest; (b) screen or enhance areas of limited visual interest; and (c) complement and enhance the character of the shire.	AO3 No acceptable outcome is provided	Complies The use will provide visual interest to tourists utilising the railway line, as an example of a working rural packing shed. Notwithstanding, appropriate landscaping will be provided along the front property boundary, which fronts the rail corridor.

9.3.6 Rural activities code

The purpose of the Rural activities code is to facilitate the provision of Rural activities in appropriate locations throughout the shire.

The purpose of the code will be achieved through the following overall outcomes:

- (a) Rural activities meet the needs of the community through safe, accessible and well located uses;
- (b) Rural activities are designed, located and operated to minimise any adverse impacts on the natural environment and surrounding uses;
- (c) Rural activities employ best practice industry standards;
- (d) Rural activities maintain the rural landscape character and amenity of the surrounding area;
- (e) Rural activities facilitate employment opportunities where appropriate; and
- (f) Forestry for wood production is given equal regard to other forms of cropping.

Table 9.3.6.3A—Rural activities code — For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For accepted development subject to requirements and assessable development		
If for Aquaculture		
PO1 Aquaculture is of an appropriate scale and does not adversely impact on surrounding land uses, having regard to: (a) the nature of surrounding land use;	AO1.1 If located in the Rural zone, Aquaculture: (a) is located in an existing dam; or (b) does not involve any filling or excavation greater than 1,000m ³ .	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
(b) the proximity of surrounding land use; (c) hours of operation; and (d) emissions of: (i) odour; (ii) noise; and (iii) light.	AO1.2 If located in the Rural residential zone, Aquaculture is located on land greater than 2 hectares and: (a) is located in an existing dam; or (b) does not involve any filling or excavation.	Not applicable
	AO1.3 If located in a zone other than the Rural zone or the Rural residential zone, Aquaculture: (a) is enclosed within a building; or (b) does not involve any filling or excavation.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
PO2 Aquaculture: (a) does not result in contamination or the reduction in quality of ground or surface waters; or (b) adversely impact upon surrounding ecological systems, including existing native vegetation.	AO2.1 All wastewater from the facility (including wash-down water) is discharged directly into the sewer or in accordance with a trade waste permit.	Not applicable
	AO2.2 A bund is provided to contain a minimum of 110% of the total capacity of the tanks within the facility.	Not applicable
	AO2.3 Site design includes physical measures for interrupting and treating surface water drainage prior to release from the site.	Not applicable
	AO2.4 Bunding is provided to protect areas where waste water storage or treatment occurs.	Not applicable
	AO2.5 The establishment of the Aquaculture use does not involve clearing of native vegetation.	Not applicable
PO3 Aquaculture is located on sites which have sufficient area to: (a) accommodate all buildings, structures and infrastructure associated with the use; and (b) provide sufficient separation between the use and adjoining premises and uses.	AO3 Aquaculture is established on a site with a minimum site area of 1 hectare.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
If for Intensive animal industries		
<p>PO4 Buildings, structures, equipment and machinery associated with the use are located so that they do not have a detrimental impact on sensitive land uses, having regard to offsite emissions of:</p> <ul style="list-style-type: none"> (a) fume (b) particle (c) smoke (d) odour; (e) light; and (f) noise. <p>Note—The use of the S factor methodology and odour dispersion modelling (in accordance with the methodology identified in PAE Holmes report 'Best Practice Guidance for the Queensland Poultry Industry – Plume Dispersion Modelling and Meteorological Processing') may be appropriate in demonstrating the compliance of an alternative to Acceptable Outcome AO4 with Performance Outcome PO4.</p>	<p>AO4 Intensive animal industries are separated by a minimum distance of 2 kilometres from:</p> <ul style="list-style-type: none"> (a) land included in the Low density residential zone, Medium density residential zone, Emerging community zone or Rural residential zone; (b) any existing dwellings or accommodation units; and (c) any community facility where people gather. 	<p>Not applicable</p>

Performance outcomes	Acceptable outcomes	Applicant response
If for Animal keeping or Intensive animal industries		
PO5 Animal keeping or Intensive animal industries are located on land which has an area, dimensions and topography which allow the use to function appropriately and be sufficiently separated from adjoining properties and uses.	A05.1 Development is located on a site which has an area of 60 hectares or greater.	Not applicable
	A05.2 Development is located on land which has a gradient which is not greater than 10%.	Not applicable
If for Forestry for wood production or Permanent plantation		
PO6 The impacts of the use on soil structure, fertility and stability are minimised through appropriate design of the site and operation of the use.	A06 The establishment and maintenance (including associated tracks and roads) of the use utilises the following methods: <ul style="list-style-type: none"> (a) mechanical strip cultivation on the contour, spot cultivation or manual cultivation for slopes greater than 10 per cent and less than 25 per cent; (b) spot cultivation or manual cultivation for slopes equal to or greater than 25 per cent; and (c) tracks and roads are located to avoid natural drainage features and areas that are subject to erosion and landslips to the greatest possible extent. Where it is necessary for tracks to cross these areas the crossing is designed and constructed to maximise surface stability. 	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
PO7 The Forestry for wood production or Permanent plantation use is designed to: (a) reduce the potential bushfire hazard of the use; and (b) prevent the spread of bushfire between the use and adjoining premises.	A07.1 Firebreaks with a minimum width of 10 metres are established and maintained between the use and adjoining uses.	Not applicable
	A07.2 The outer rows of forestry for wood production trees within 10 metres of the cleared firebreak are pruned up to a minimum height of 2 metres, commencing once trees are greater than 4 metres in height.	Not applicable
	A07.3 Planting in hollows, gullies or drainage features preserves cold air drainage flow paths to prevent creation of frost hollows. Note—Frost hollows and the associated grass kill facilitates a rapid curing of fuel and exacerbates bushfire hazard.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
If for Roadside stall		
PO8 The Roadside stall is consistent with the scale, intensity and character of land use within the immediate surrounds, having regard to matters of: <ul style="list-style-type: none"> (a) size of buildings; (b) building materials and design; (c) relationship with other on-site uses; and (d) balance between built and natural elements 	A08.1 The Roadside stall is for the sale of produce grown on the same rural site or on rural properties in the immediate locality.	Not applicable
	A08.2 Buildings and structures comprising the roadside stall do not exceed 20m ² gross floor area.	Not applicable
	A08.3 Buildings and structures are constructed of materials such as timber, tin and shade cloth.	Not applicable
	A08.4 Buildings and structures are temporary in nature unless the Roadside stall forms part of an existing farm building.	Not applicable
	A08.5 The Roadside stall is a maximum of 5 metres in height.	Not applicable
If for Rural industry		
PO9 Rural industry is located on sites which have sufficient area to: <ul style="list-style-type: none"> (a) accommodate all buildings, structures and infrastructure associated with the use; and (b) provide sufficient separation between the use and adjoining premises and uses. 	A09 Development is located on a lot with a minimum area of 10 hectares.	Complies The lot has an area of 13.967ha.

Performance outcomes	Acceptable outcomes	Applicant response
For assessable development		
All Rural activities, other than Aquaculture, Forestry for wood production, Permanent plantation, Roadside stall or Rural industry		

Performance outcomes	Acceptable outcomes	Applicant response
PO10 A site specific Environmental Management Plan is provided addressing (as appropriate): <ul style="list-style-type: none"> (a) farming / nursery operations; (b) erosion and sediment control; (c) surface water and storm water management; (d) groundwater protection; (e) nutrient management for substrate utilisation or spray irrigation program; (f) use and storage of chemicals and pesticides; (g) integrated pest management; (h) operations and maintenance requirements; (i) composting; (j) air quality management; (k) odour reduction and management; (l) emergency preparedness plan; (m) wastewater management; (n) spent substrate management; (o) waste management and disposal; (p) separation distances between farm uses and surrounding properties; and (q) other matters appropriate to the use, as determined by Government regulations, guidelines, licence requirements and industry best practice. 	AO10 No acceptable outcome is provided.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
If for Forestry for wood production		
PO11 Forestry for wood production is located to minimise impacts on nearby land uses and infrastructure, including: <ul style="list-style-type: none"> (a) damage as a result of fallen trees; (b) reduced access due to fallen trees; (c) spreading of plant matter and seedlings; and (d) shadowing. 	AO11.1 Forestry for wood production is separated a distance of 1.5 times the maximum anticipated height of the tree at harvest from: <ul style="list-style-type: none"> (a) dwellings and accommodation units; (b) machinery sheds; and (c) above-ground pipelines not subject to an easement (excluding infrastructure servicing only the farm). 	Not applicable
	AO11.2 Within a setback or separation area: <ul style="list-style-type: none"> (a) cultivation and planning for wood production does not occur; (b) self-propagated seedlings (wildlings) generated from forestry for wood production are eradicated; and (c) road and track establishment may occur. <p>Note—AO2.2 is not limited to a separation distance provided in accordance with AO2.1 and applies to all setbacks and separation distances applicable to Forestry for wood production, including those provided by a zone code or overlay code.</p>	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
If for Animal keeping or Intensive animal industries		
PO12 The operation of the development must implement and maintain biosecurity measures that: <ul style="list-style-type: none"> (a) prevent the introduction of infectious disease agents to the development; (b) prevent the spread of disease agents from an infected area to an uninfected area; and (c) minimise the incidence and spread of microorganisms of public health significance. 	AO12 No acceptable outcome is provided.	Not applicable
PO13 Poultry farms, intensive animal feedlots and pig keeping uses are sited and operated in accordance with best practice industry standards, having regard to: <ul style="list-style-type: none"> (a) the nature of surrounding land use; (b) separation from other land uses; (c) the size and nature of the use; and (d) potential for odour dispersion. <p>Note—The use of the S factor methodology and odour dispersion modelling (in accordance with the methodology identified in PAE Holmes report 'Best Practice Guidance for the Queensland Poultry Industry – Plume Dispersion Modelling and Meteorological Processing') may be appropriate in demonstrating compliance with Performance Outcome PO13.</p>	AO13 No acceptable outcome is provided.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
PO14 All buildings used as part of a poultry farm complex must be appropriately separated from adjoining land, existing infrastructure and areas of environmental interest. Note—Where a poultry farm involves 1,000 birds or less, no Acceptable Outcome is provided.	AO14.1 All buildings used as part of a poultry farm complex which involves more than 1,000 birds are setback from property boundaries in accordance with Table 9.3.6.3B.	Not applicable
	AO14.2 All buildings used as part of a poultry farm complex which involves more than 1,000 birds are separated by a distance which is no less than that specified in Table 9.3.6.3B from the following: (a) surface water, wells and bores; (b) declared fish habitat areas; and (c) high ecological value waters.	Not applicable
PO15 Development avoids and, where unavoidable, mitigates impacts on ground water, particularly where ground water is heavily drawn upon for irrigation or domestic purposes.	AO15 No acceptable outcome is provided.	Not applicable
If for Aquaculture		
PO16 Water used as part of an Aquaculture operation is appropriately managed to ensure that it does not impact on environmental values.	AO16 Water used as part of an Aquaculture operation does not reach a waterway, wetland or other waterbody via overland or stormwater flows.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
PO17 Development is located and designed to avoid or minimise impacts on areas host to fisheries resources.	AO17.1 All elements of the Aquaculture operation are separated from fish habitats by a minimum distance of: (a) 50 metres from bankfull width outside an urban area; or (b) 25 metres from bankfull width within an urban area.	Not applicable
	AO17.2 There is an overriding functional requirement for the development component or infrastructure to be located on areas host to fisheries resources.	Not applicable
PO18 A pond, tank or any other similar containment structure used for Aquaculture is appropriately designed to prevent leakage.	AO18 No acceptable outcome is provided.	Not applicable

9.4.2 Landscaping code

The purpose of the Landscaping code is to ensure all development is landscaped to a standard that:

- (a) complements the scale and appearance of the development;
- (b) protects and enhances the amenity and environmental values of the site;
- (c) complements and enhances the streetscape and local landscape character; and
- (d) ensures effective buffering of incompatible land uses to protect local amenity.

The purpose of the code will be achieved through the following overall outcomes:

- (a) Landscaping is a functional part of development design and is commensurate with the intended use;
- (b) Landscaping accommodates the retention of existing significant on site vegetation where appropriate and practical;
- (c) Landscaping treatments complement the scale, appearance and function of the development;
- (d) Landscaping contributes to an attractive streetscape;
- (e) Landscaping enhances the amenity and character of the local area;
- (f) Landscaping enhances natural environmental values of the site and the locality;
- (g) Landscaping provides effective screening both on site, if required, and between incompatible land uses;
- (h) Landscaping provides shade in appropriate circumstances;
- (i) Landscape design enhances personal safety and reduces the potential for crime and vandalism; and
- (j) Intensive land uses incorporate vegetated buffers to provide effective screening of buildings, structures and machinery associated with the use.

Table 9.4.2.3A—Landscaping code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For accepted development subject to requirements and assessable development		
PO1 Development, other than in the Rural zone, includes landscaping that: <ul style="list-style-type: none"> (a) contributes to the landscape character of the Shire; (b) compliments the character of the immediate surrounds; (c) provides an appropriate balance between built and natural elements; and (d) provides a source of visual interest. 	AO1 Development, other than in the Rural zone, provides: <ul style="list-style-type: none"> (a) a minimum of 10% of the site as landscaping; (b) planting in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species; (c) for the integration of retained significant vegetation into landscaping areas; (d) on-street landscaping works in accordance with the Design Guidelines set out in Section D9 Landscaping, of the Planning Scheme Policy 4 - FNQROC Regional Development Manual. <p>Note—Where development exceeds a site cover of 90%, areas of landscaping may be provided above ground level to achieve a total supply of landscaping equivalent to 10% of the site area.</p>	Not applicable Development is located in the Rural zone.
PO2 Development, other than in the Rural zone, includes landscaping along site frontages that: <ul style="list-style-type: none"> (a) creates an attractive streetscape; (b) compliments the character of the immediate surrounds; (c) assists to break up and soften elements of built form; 	AO2 Development, other than in the Rural zone, includes a landscape strip along any site frontage: <ul style="list-style-type: none"> (a) with a minimum width of 2 metres where adjoining a car parking area; (b) with a minimum width of 1.5 metres in all other locations; and 	Not applicable Development is located in the Rural zone.

Performance outcomes	Acceptable outcomes	Applicant response
(d) screen areas of limited visual interest or servicing; (e) provide shade for pedestrians; and (f) includes a range and variety of planting.	(c) in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species. Note—Where development is setback from a frontage less than 1.5 metres, the setback area is provided as a landscape strip	
PO3 Development includes landscaping and fencing along side and rear boundaries that: (a) screens and buffer land uses; (b) assists to break up and soften elements of built form; (c) screens areas of limited visual interest; (d) preserves the amenity of sensitive land uses; and (e) includes a range and variety of planting.	AO3.1 Development provides landscape treatments along side and rear boundaries in accordance with Table 9.4.2.3B .	Complies The development includes landscaped areas along all property boundaries for a minimum of 2m.
	AO3.2 Shrubs and trees provided in landscape strips along side and rear boundaries: (a) are planted at a maximum spacing of 1 metre; (b) will grow to a height of at least 2 metres; (c) will grow to form a screen of no less than 2 metres in height; and (d) are mulched to a minimum depth of 0.1 metres with organic mulch.	Will be complied with
	AO3.3 Any landscape strip provided along a side or rear boundary is designed in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species.	Will be complied with
PO4 Car parking areas are improved with a variety of landscaping that:	AO4.1 Landscaping is provided in car parking areas which provides:	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
(a) provides visual interest; (b) provides a source of shade for pedestrians; (c) assists to break up and soften elements; and (d) improves legibility.	(a) a minimum of 1 shade tree for every 4 parking spaces, or part thereof, where the car parking area includes 12 or more spaces; (b) a minimum of 1 shade tree for every 6 parking spaces, or part thereof, otherwise; and (c) where involving a car parking area in excess of 500m ² : (i) shade structures are provided for 50% of parking spaces; and (ii) a minimum of 10% of the parking area as landscaping. Note—Where a shade structure is provided over part of a car parking area, shade tree planting is not required in this area of the car parking area.	
	A04.2 Landscaping in car parking areas is designed in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species.	Will be complied with
PO5 Landscaping areas include a range and variety of planting that: (a) is suitable for the intended purpose and local conditions; (b) contributes to the natural character of the Shire; (c) includes native species; (d) includes locally endemic species, where practical; and	A05.1 Plant species are selected from the Plant Schedule in Planning Scheme Policy 6 - Landscaping and preferred plant species.	Will be complied with
	A05.2 A minimum of 25% of (new and existing) plants is provided as larger, advanced stock with a minimum plant height of 0.7 metres and mulched	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
(e) does not include invasive plants or weeds.	to a minimum depth of 0.1 metres with organic mulch.	
PO6 Landscaping does not impact on the ongoing provision of infrastructure and services to the Shire.	AO6.1 Tree planting is a minimum of (a) 2 metres from any underground water, sewer, gas, electricity or telecommunications infrastructure; and (b) 4 metres from any inspection chamber.	Will be complied with
	AO6.2 Vegetation below or within 4 metres of overhead electricity lines and power poles has a maximum height of 3.5 metres at maturity.	Will be complied with
	AO6.3 Vegetation adjoining an electricity substation boundary, at maturity, will have: (a) a height of less than 4 metres; and (b) no foliage within 3 metres of the substation boundary, unless the substation has a solid wall along any boundary.	Not applicable
For assessable development		
PO7 Landscaping areas are designed to: (a) be easily maintained throughout the ongoing use of the site; (b) allow sufficient area and access to sunlight and water for plant growth; (c) not cause a nuisance to occupants of the site or members of the public; and	AO7 No acceptable outcome is provided.	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
(d) maintain or enhance the safety of pedestrians through the use of Crime Prevention Through Environmental Design principles.		

Table 9.4.2.3B—Side and rear boundary landscape treatments

Location or use	Landscape Strip Minimum Width	Screen Fencing Minimum Height	Extent of treatment
Where car parking, servicing or manoeuvring areas adjoin a side or rear boundary	1 metre	Not applicable	To the extent these areas adjoin the boundary
Where involving a use other than a dwelling house on a site with a common boundary with land in the Low density residential zone, the Medium density residential zone or the Rural residential zone:	1.5 metres	1.8 metres	Along the common boundary.
Development for an industrial activity which has a common boundary with land not within the Industry zone	2 metres	1.8 metres	Along the common boundary
Development involving (a) Tourist park not in the Rural zone (b) Sales office (c) Multiple dwelling (d) Residential care facility; or (e) Dual occupancy	Not applicable	1.8 metres	Along all side and rear boundaries and between dwellings for a Dual occupancy.

Development involving (a) Tourist park in the Rural zone (b) Service station (c) Car wash; or (d) Utility installation	2 metres	Not applicable	Along all side and rear boundaries
For: (a) waste storage; (b) equipment; (c) servicing areas; and (d) private open space and site facilities associated with Caretaker's accommodation.	Not applicable	1.8 metres	To prevent visibility

Note—Where more than one landscape treatment is applicable to a development in the above table, the development is to provide a landscape treatment that satisfies all applicable minimum specifications.

9.4.3 Parking and access code

The purpose of the Parking and access code is to ensure:

- (a) parking areas are appropriately designed, constructed and maintained;
- (b) the efficient functioning of the development and the local road network; and
- (c) all development provides sufficient parking, loading/service and manoeuvring areas to meet the demand generated by the use.

The purpose of the code will be achieved through the following overall outcomes:

- (a) Land uses have a sufficient number of parking and bicycle spaces designed in a manner to meet the requirements of the user;
- (b) Parking spaces and associated manoeuvring areas are safe, functional and provide equitable access;
- (c) Suitable access for all types of vehicles likely to utilise a parking area is provided in a way that does not compromise the safety and efficiency of the surrounding road network;
- (d) Premises are adequately serviced to meet the reasonable requirements of the development; and
- (e) End of trip facilities are provided by new major developments to facilitate alternative travel modes.

Table 9.4.3.3A—Parking and access code – For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For accepted development subject to requirements and assessable development		
Car parking spaces		
PO1 Development provides sufficient car parking to accommodate the demand likely to be generated by the use, having regard to the: <ul style="list-style-type: none"> (a) nature of the use; (b) location of the site; (c) proximity of the use to public transport services; (d) availability of active transport infrastructure; and (e) accessibility of the use to all members of the community. 	AO1 The number of car parking spaces provided for the use is in accordance with Table 9.4.3.3B . Note—Car parking spaces provided for persons with a disability are to be considered in determining compliance with AO1.	Complies with Performance Outcomes The Planning Scheme requires the provision of one car parking space per 90m ² GFA or part thereof for a “Rural industry”, and the provision of one AV space. The proposal provides for: <ul style="list-style-type: none"> • 20 formed on-site car parking spaces including one accessible space; • A bus loading area; • 2 loading docks for delivery vehicles. The site can accommodate informal carparking spaces, if required. This is further discussed in Section 2.3 of the report.
Vehicle crossovers		
PO2 Vehicle crossovers are provided to:: <ul style="list-style-type: none"> (a) ensure safe and efficient access between the road and premises; 	AO2.1 Vehicular access to/from Council roads is designed and constructed in accordance with the Standard drawings in Planning Scheme Policy 4 - FNQROC Regional Development Manual.	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
(b) minimize interference with the function and operation of roads; and (c) minimise pedestrian to vehicle conflict.	AO2.2 Development on a site with two or more road frontages provides vehicular access from: (a) the primary frontage where involving Community activities or Sport and recreation activities, unless the primary road frontage is a State-controlled road; or (b) from the lowest order road in all other instances.	Complies The site has frontage to an unsealed road to the west, Pine Creek Road. The site provides vehicular access from the primary road frontage, Mareeba-Dimbulah Road.
	AO2.3 Vehicular access for particular uses is provided in accordance with Table 9.4.3.3E .	Will be complied with
PO3 Access, manoeuvring and car parking areas include appropriate pavement treatments having regard to: (a) the intensity of anticipated vehicle movements; (b) the nature of the use that they service; and (c) the character of the surrounding locality.	AO3 Access, manoeuvring and car parking areas include pavements that are constructed in accordance with Table 9.4.3.3C .	Will be complied with
For assessable development		
Parking area location and design		
PO4 Car parking areas are located and designed to: (a) ensure safety and efficiency in operation; and	AO4.1 Car parking spaces, access and circulation areas have dimensions in accordance with AS/NZS 2890.1 Off-street car parking.	Complies

Performance outcomes	Acceptable outcomes	Applicant response
(b) be consistent with the character of the surrounding locality.	AO4.2 Disabled access and car parking spaces are located and designed in accordance with AS/NZS 2890.6 Parking facilities - Off-street parking for people with disabilities.	Complies
	AO4.3 The car parking area includes designated pedestrian routes that provide connections to building entrances.	Complies
	AO4.4 Parking and any set down areas are: (a) wholly contained within the site; (b) visible from the street where involving Commercial activities, Community activities, Industrial activities or a use in the Recreation and open space zone; (c) are set back behind the main building line where involving a Dual occupancy, Multiple dwelling, Residential care facility or Retirement facility; and (d) provided at the side or rear of a building in all other instances.	Complies with Performance Outcomes The carparking and bus setdown area will be provided at the front and side of the building. This is considered the most efficient and safe location for carparking.
Site access and manoeuvring		
PO5 Access to, and manoeuvring within, the site is designed and located to: (a) ensure the safety and efficiency of the external road network; (b) ensure the safety of pedestrians;	AO5.1 Access and manoeuvrability is in accordance with : (a) AS28901 – Car Parking Facilities (Off Street Parking); and (b) AS2890.2 – Parking Facilities (Off-street Parking) Commercial Vehicle Facilities.	Complies

Performance outcomes	Acceptable outcomes	Applicant response
(c) provide a functional and convenient layout; and (d) accommodate all vehicles intended to use the site.	Note—Proposal plans should include turning circles designed in accordance with AP34/95 (Austroads 1995) Design Vehicles and Turning Path Templates.	
	A05.2 Vehicular access has a minimum sight distance in accordance with Part 5 of AUSTROADS.	Complies
	A05.3 Vehicular access is located and designed so that all vehicles enter and exit the site in a forward gear.	Complies
	A05.4 Pedestrian and cyclist access to the site: (a) is clearly defined; (b) easily identifiable; and (c) provides a connection between the site frontage and the entrance to buildings and end of trip facilities (where provided).	Not applicable Pedestrian access to the site is not safe, and therefore not encouraged. Cyclist access will be shared with vehicular access, which is considered acceptable given the expected low number of vehicular movements per day to and from the site.
PO6 Development that involves an internal road network ensures that it's design: (a) ensure safety and efficiency in operation; (b) does not impact on the amenity of residential uses on the site and on adjoining sites, having regard to matters of: (i) hours of operation; (ii) noise (iii) light; and (iv) odour;	A06.1 Internal roads for a Tourist park have a minimum width of: (a) 4 metres if one way; or (b) 6 metres if two way.	Not applicable
	A06.2 For a Tourist park, internal road design avoids the use of cul-de-sacs in favour of circulating roads, where unavoidable, cul-de-sacs provide a full turning circle for vehicles towing caravans having: (a) a minimum approach and departure curve radius of 12 metres; and (b) a minimum turning circle radius of 8 metres.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
(c) accommodates the nature and volume of vehicle movements anticipated to be generated by the use; (d) allows for convenient access to key on-site features by pedestrians, cyclists and motor vehicles; and (e) in the Rural zone, avoids environmental degradation.	AO6.3 Internal roads are imperviously sealed and drained, apart from those for an Energy and infrastructure activity or Rural activity.	Not applicable
	AO6.4 Speed control devices are installed along all internal roads, apart from those for an Energy and infrastructure activity or Rural activity, in accordance with Complete Streets.	Not applicable
	AO6.5 Internal roads, apart from those for an Energy and infrastructure activity or Rural activity, are illuminated in accordance with AS 4282 (as amended) - Control of Obtrusive effects of outdoor lighting.	Not applicable
	AO6.6 Where involving an accommodation activity, internal roads facilitate unobstructed access to every dwelling, accommodation unit, accommodation site and building by emergency services vehicles.	Not applicable
	AO6.7 For an Energy and infrastructure activity or Rural activity, internal road gradients: (a) are no steeper than 1:5; or (b) are steeper than 1:5 and are sealed.	Complies

Performance outcomes	Acceptable outcomes	Applicant response
Servicing		
PO7 Development provides access, maneuvering and servicing areas on site that: <ul style="list-style-type: none"> (a) accommodate a service vehicle commensurate with the likely demand generated by the use; (b) do not impact on the safety or efficiency of internal car parking or maneuvering areas; (c) do not adversely impact on the safety or efficiency of the road network; (d) provide for all servicing functions associated with the use; and (e) are located and designed to minimise their impacts on adjoining sensitive land uses and streetscape quality. 	A07.1 All unloading, loading, service and waste disposal areas are located: <ul style="list-style-type: none"> (a) on the site; (b) to the side or rear of the building, behind the main building line; (c) not adjacent to a site boundary where the adjoining property is used for a sensitive use. 	Complies
	A07.2 Unloading, loading, service and waste disposal areas allow service vehicles to enter and exit the site in a forward gear.	Complies
	A07.3 Development provides a servicing area, site access and maneuvering areas to accommodate the applicable minimum servicing vehicle specified in Table 9.4.3.3B .	Complies
Maintenance		
PO8 Parking areas are used and maintained for their intended purpose.	A08.1 Parking areas are kept and used exclusively for parking and are maintained in a suitable condition for parking and circulation of vehicles.	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
	AO8.2 All parking areas will be compacted, sealed, drained, line marked and maintained until such time as the development ceases.	Will be complied with
End of trip facilities		
PO9 Development within the Centre zone; Industry zone or Emerging community zone provides facilities for active transport users that: <ul style="list-style-type: none"> (a) meet the anticipated demand generated from the use; (b) comprise secure and convenient bicycle parking and storage; and (c) provide end of trip facilities for all active transport users. 	AO9.1 The number of bicycle parking spaces provided for the use is in accordance with Table 9.4.3.3D .	Not applicable None specified.
	AO9.2 End of trip facilities are provided in accordance with Table 9.4.3.3D .	Not applicable None specified.
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park		
PO10 The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.	AO10 A traffic impact report is prepared by a suitably qualified person that identifies: <ul style="list-style-type: none"> (a) the expected traffic movements to be generated by the facility; (b) any associated impacts on the road network; and any works that will be required to address the identified impacts.	Not applicable Development is not for an Educational establishment or Child care centre or Renewable energy facility, Sport and recreation activities or Tourist park.

Performance outcomes	Acceptable outcomes	Applicant response
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park		
PO11 The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.	AO11 A traffic impact report is prepared by a suitably qualified person that identifies: (c) the expected traffic movements to be generated by the facility; (d) any associated impacts on the road network; and any works that will be required to address the identified impacts.	Not applicable Development is not for an Educational establishment or Child care centre or Renewable energy facility, Sport and recreation activities or Tourist park.

9.4.5 Works, services and infrastructure code

The purpose of the Works, services and infrastructure code is to ensure that all development is appropriately serviced by physical infrastructure, public utilities and services and that work associated with development is carried out in a manner that does not adversely impact on the surrounding area.

The purpose of the code will be achieved through the following overall outcomes:

- (a) Development provides an adequate, safe and reliable supply of potable, fire-fighting and general use water in accordance with relevant standards;
- (b) Development provides for the treatment and disposal of wastewater and ensures there are no adverse impacts on water quality, public health, local amenity or ecological processes;
- (c) Development provides for the disposal of stormwater and ensures that there are no adverse impacts on water quality or ecological processes;
- (d) Development connects to the road network and any adjoining public transport, pedestrian and cycle networks while ensuring no adverse impacts on the safe, convenient and efficient operation of these networks;
- (e) Development provides electricity and telecommunications services that meet its desired requirements;
- (f) Development is connected to a nearby electricity network with adequate capacity without significant environment, social or amenity impact;
- (g) Development does not affect the efficient functioning of public utility mains, services or installations;
- (h) Infrastructure dedicated to Council is cost effective over its life cycle;
- (i) Work associated with development does not cause adverse impacts on the surrounding area; and
- (j) Development prevents the spread of weeds, seeds or other pests.

Table 9.4.5.3 - Works, services and infrastructure code – For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For accepted development subject to requirements and assessable development		
Water supply		
PO1 Each lot has an adequate volume and supply of water that: <ul style="list-style-type: none"> (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment. 	AO1.1 Development is connected to a reticulated water supply system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located: <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated water supply service area. 	Not applicable
	AO1.2 Development, where located outside a reticulated water supply service area and in the Conservation zone, Rural zone or Rural residential zone is provided with: <ul style="list-style-type: none"> (a) a bore or bores are provided in accordance with the Design Guidelines set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; or (b) on-site water storage tank/s: <ul style="list-style-type: none"> (i) with a minimum capacity of 90,000L; (ii) fitted with a 50mm ball valve with a camlock fitting; and (iii) which are installed and connected prior to the occupation or use of the development. 	Complies Water supply for the development will be sourced from the Sun Water Channel system. On-site water storage tanks will be provided on site with a minimum capacity of 90,000L, fitted with a 50mm ball valve with camlock fitting and will be installed and connected prior to use.

Performance outcomes	Acceptable outcomes	Applicant response
Wastewater disposal		
PO2 Each lot provides for the treatment and disposal of effluent and other waste water that: <ul style="list-style-type: none"> (a) meets the needs of users; (b) is adequate for fire-fighting purposes; (c) ensures the health, safety and convenience of the community; and (d) minimises adverse impacts on the receiving environment. 	AO2.1 Development is connected to a reticulated sewerage system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located: <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated sewerage service area. 	Not applicable
	AO2.2 An effluent disposal system is provided in accordance with ASNZ 1547 On-Site Domestic Wastewater Management (as amended) where development is located: <ul style="list-style-type: none"> (a) in the Conservation zone, Rural zone or Rural residential zone; and (b) outside a reticulated sewerage service area. 	Will be complied with On-site sewage effluent treatment and disposal systems will be installed on the site.
Stormwater infrastructure		
PO3 Stormwater infrastructure is designed and constructed to collect and convey the design storm event to a lawful point of discharge in a manner that mitigates impacts on life and property.	AO3.1 Where located within a Priority infrastructure area or where stormwater infrastructure is available, development is connected to Council's stormwater network in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
	AO3.2 On-site drainage systems are constructed: <ul style="list-style-type: none"> (a) to convey stormwater from the premises to a lawful point of discharge; and (b) in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual. 	Will be complied with Storwater will be conveyed via controlled overland paths to the lawful point of discharge.
Electricity supply		
PO4 Each lot is provided with an adequate supply of electricity	AO4 The premises: <ul style="list-style-type: none"> (a) is connected to the electricity supply network; or (b) has arranged a connection to the transmission grid; or (c) where not connected to the network, an independent energy system with sufficient capacity to service the development (at near average energy demands associated with the use) may be provided as an alternative to reticulated electricity where: <ul style="list-style-type: none"> (i) it is approved by the relevant regulatory authority; and (ii) it can be demonstrated that no air or noise emissions; and (iii) it can be demonstrated that no adverse impact on visual amenity will occur. (iv) 	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
Telecommunications infrastructure		
PO5 Each lot is provided with an adequate supply of telecommunication infrastructure	A05 Development is provided with a connection to the national broadband network or telecommunication services.	Will be complied with as appropriate
Existing public utility services		
PO6 Development and associated works do not affect the efficient functioning of public utility mains, services or installations.	A06 Public utility mains, services are relocated, altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Will be complied with
Excavation or filling		
PO7 Excavation or filling must not have an adverse impact on the: (a) streetscape; (b) scenic amenity; (c) environmental values; (d) slope stability;	A07.1 Excavation or filling does not occur within 1.5 metres of any site boundary.	Complies Excavation and filling is not required for the proposed development.
	A07.2 Excavation or filling at any point on a lot is to be no greater than 1.5 metres above or below natural ground level.	Complies

Performance outcomes	Acceptable outcomes	Applicant response
(e) accessibility; or (f) privacy of adjoining premises.	A07.3 Earthworks batters: (a) are no greater than 1.5 metres in height; (b) are stepped with a minimum width 2 metre berm; (c) do not exceed a maximum of two batters and two berms (not greater than 3.6 metres in total height) on any one lot; (d) have a slope no greater than 1 in 4; and (e) are retained.	Not applicable Excavation and filling is not required for the proposed development.
	A07.4 Soil used for filling or spoil from excavation is not stockpiled in locations that can be viewed from: (a) adjoining premises; or (b) a road frontage, for a period exceeding 1 month from the commencement of the filling or excavation.	Not applicable
	A07.5 All batters and berms to be constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Not applicable
	A07.6 Retaining walls have a maximum height of 1.5 metres and are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
	A07.7 Excavation or filling at any point on a lot is to include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Not applicable
For assessable development		
Transport network		
PO8 The development has access to a transport network of adequate standard to provide for the safe and efficient movement of vehicles, pedestrians and cyclists.	A08.1 Vehicle access, crossovers, road geometry, pavement, utilities and landscaping to the frontage/s of the site are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Will be complied with
	A08.2 Development provides footpath pavement treatments in accordance with Planning Scheme Policy 9 – Footpath Paving.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
Public infrastructure		
PO9 The design, construction and provision of any infrastructure that is to be dedicated to Council is cost effective over its life cycle and incorporates provisions to minimise adverse impacts.	AO9 Development is in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Will be complied with as applicable
Stormwater quality		
PO10 Development has a non-worsening effect on the site and surrounding land and is designed to: <ul style="list-style-type: none"> (a) optimise the interception, retention and removal of waterborne pollutants, prior to the discharge to receiving waters; (b) protect the environmental values of waterbodies affected by the development, including upstream, on-site and downstream waterbodies; (c) achieve specified water quality objectives; (d) minimise flooding; (e) maximise the use of natural channel design principles; (f) maximise community benefit; and (g) minimise risk to public safety. 	AO10.1 The following reporting is prepared for all Material change of use or Reconfiguring a lot proposals: <ul style="list-style-type: none"> (a) a Stormwater Management Plan and Report that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; and (b) an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia), including: <ul style="list-style-type: none"> (i) drainage control; (ii) erosion control; (iii) sediment control; and (iv) water quality outcomes. 	Will be complied with
	AO10.2 For development on land greater than 2,500m ² or that result in more than 5 lots or more than 5	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
	<p>dwelling or accommodation units, a Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) is prepared that demonstrates that the development:</p> <ul style="list-style-type: none"> (a) meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline; (b) is consistent with any local area stormwater water management planning; (c) accounts for development type, construction phase, local climatic conditions and design objectives; and (d) provides for stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosivity. 	
<p>PO11 Storage areas for stormwater detention and retention:</p> <ul style="list-style-type: none"> (a) protect or enhance the environmental values of receiving waters; (b) achieve specified water quality objectives; (c) where possible, provide for recreational use; (d) maximise community benefit; and (e) minimise risk to public safety. 	<p>AO11 No acceptable outcome is provided.</p>	<p>Will be complied with</p>

Performance outcomes	Acceptable outcomes	Applicant response
Excavation or filling		
PO12 Traffic generated by filling or excavation does not impact on the amenity of the surrounding area.	AO12.1 Haul routes used for transportation of fill to or from the site only use major roads and avoid residential areas.	Not applicable
	AO12.2 Transportation of fill to or from the site does not occur: (a) within peak traffic times; and (b) before 7am or after 6pm Monday to Friday; (c) before 7am or after 1pm Saturdays; and (d) on Sundays or Public Holidays.	Not applicable
PO13 Air pollutants, dust and sediment particles from excavation or filling, do not cause significant environmental harm or nuisance impacts.	AO13.1 Dust emissions do not extend beyond the boundary of the site.	Not applicable
	AO13.2 No other air pollutants, including odours, are detectable at the boundary of the site.	Not applicable
	AO13.3 A management plan for control of dust and air pollutants is prepared and implemented.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
PO14 Access to the premises (including driveways and paths) does not have an adverse impact on: <ul style="list-style-type: none"> (a) safety; (b) drainage; (c) visual amenity; and (d) privacy of adjoining premises. 	AO14 Access to the premises (including all works associated with the access): <ul style="list-style-type: none"> (a) must follow as close as possible to the existing contours; (b) be contained within the premises and not the road reserve, and (c) are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual. 	Not applicable
Weed and pest management		
PO15 Development prevents the spread of weeds, seeds or other pests into clean areas or away from infested areas.	AO15 No acceptable outcome is provided.	Will be complied with
Contaminated land		
PO16 Development is located and designed to ensure that users and nearby sensitive land uses are not exposed to unacceptable levels of contaminants	AO16 Development is located where: <ul style="list-style-type: none"> (a) soils are not contaminated by pollutants which represent a health or safety risk to users; or (b) contaminated soils are remediated prior to plan sealing, operational works permit, or issuing of building works permit. 	Not applicable The lot is not known to contain contaminants.

Performance outcomes	Acceptable outcomes	Applicant response
Fire services in developments accessed by common private title		
PO17 Fire hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.	AO17.1 Fire hydrants are located in accessways or private roads held in common private title at a maximum spacing of: (a) 120 metres for residential development; and (b) 90 metres for any other development.	Not applicable
	AO17.2 Fire hydrants are located at all intersections of accessways or private roads held in common private title.	Not applicable

APPENDIX 2: ASSESSMENT AGAINST THE SDAP

State Code 1: Development in a state-controlled road environment

Purpose statement

The purpose of this code is to protect state-controlled roads, future state-controlled roads and other infrastructure in state-controlled roads from adverse impacts of development. The purpose of this code is also to protect the safety of people using, and living and working near, state-controlled roads.

Specifically, this code seeks to ensure:

1. development does not create a safety hazard for users of a state-controlled road, by increasing the likelihood or frequency of fatality or serious injury
2. development does not compromise the structural integrity of state-controlled roads, road transport infrastructure or road works
3. development does not result in a worsening of the physical condition or operating performance of state-controlled roads and the surrounding road network
4. development does not compromise the state's ability to construct state-controlled roads and future state-controlled roads, or significantly increase the cost to construct state-controlled roads and future state-controlled roads
5. development does not compromise the state's ability to maintain and operate state-controlled roads, or significantly increase the cost to maintain and operate state-controlled roads
6. development does not compromise the structural integrity of public passenger transport infrastructure located on state-controlled roads or compromise the operating performance of public passenger transport services on state-controlled roads
7. the community is protected from significant adverse impacts resulting from environmental emissions generated by vehicles using state-controlled roads.

Table 1.2.1: Development in a state-controlled road environment

Performance outcomes	Acceptable outcomes	Response
Buildings and structures		
PO1 The location of buildings, structures, infrastructure, services and utilities does not create a safety hazard in a state-controlled road, or cause damage to, or obstruct road transport infrastructure.	AO1.1 Buildings, structures, infrastructure, services and utilities are not located in a state-controlled road. AND	Complies with AO All buildings, structures, infrastructure, services and utilities required for the development will be located within the site boundaries, and not in a state-controlled road.
	AO1.2 Buildings, structures, infrastructure, services and utilities can be maintained without requiring access to a state-controlled road.	Complies with AO All proposed buildings, structures, infrastructure, services and utilities can be maintained without access to a state-controlled road.
PO2 The design and construction of buildings and structures does not create a safety hazard by distracting users of a state-controlled road.	AO2.1 Facades of buildings and structures facing a state-controlled road are made of non-reflective materials. OR	Will be complied with
	AO2.2 Facades of buildings and structures do not reflect point light sources into the face of oncoming traffic on a state-controlled road. AND	Will be complied with
	AO2.3 External lighting of buildings and structures is not directed into the face of oncoming traffic on a state-controlled road and does not involve flashing or laser lights. AND	Will be complied with
	AO2.4 Advertising devices visible from a state-controlled road are located and designed in accordance with the Roadside Advertising Guide, 2 nd Edition, Department of Transport and Main Roads, 2017.	Will be complied with
PO3 Road, pedestrian and bikeway bridges over a state-controlled road are designed and constructed	AO3.1 Road, pedestrian and bikeway bridges over a state-controlled road include throw protection	Not applicable

Performance outcomes	Acceptable outcomes	Response
to prevent projectiles from being thrown onto a state-controlled road.	screens in accordance with section 4.9.3 of the Design Criteria for Bridges and Other Structures Manual, Department of Transport and Main Roads, 2018.	
Filling, excavation and retaining structures		
<p>PO4 Filling and excavation does not interfere with, or result in damage to, infrastructure or services in a state-controlled road.</p> <p>Note: Information on the location of services and public utility plants in a state-controlled road can be obtained from the Dial Before You Dig service.</p> <p>Where development will impact on an existing or future service or public utility plant in a state-controlled road such that the service or public utility plant will need to be relocated, the alternative alignment must comply with the standards and design specifications of the relevant service or public utility provider, and any costs of relocation are to be borne by the developer.</p> <p>Refer to the SDAP Supporting Information: Filling, excavation and retaining structures in a state-controlled road environment, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome.</p>	No acceptable outcome is prescribed.	<p>Not applicable</p> <p>Filling and excavation is not required.</p>
<p>PO5 Filling, excavation, building foundations and retaining structures do not undermine, or cause subsidence of, a state-controlled road.</p> <p>Note: To demonstrate compliance with this performance outcome, it is recommended an RPEQ certified geotechnical assessment, prepared in accordance with the Road Planning and Design Manual 2nd Edition: Volume 3, Department of Transport and Main Roads, 2016, is provided.</p> <p>Refer to the SDAP Supporting Information: Filling, excavation and retaining structures in a state-controlled road environment, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome and prepare a geotechnical assessment.</p>	No acceptable outcome is prescribed.	<p>Not applicable</p> <p>Filling and excavation is not required.</p>

Performance outcomes	Acceptable outcomes	Response
<p>PO6 Filling, excavation, building foundations and retaining structures do not cause ground water disturbance in a state-controlled road.</p> <p>Note: To demonstrate compliance with this performance outcome, it is recommended an RPEQ certified geotechnical assessment, prepared in accordance with the Road Planning and Design manual 2nd Edition: Volume 3, Department of Transport and Main Roads, 2016, is provided.</p> <p>Refer to the SDAP Supporting Information: Filling, excavation and retaining structures in a state-controlled road environment, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome and prepare a geotechnical assessment.</p>	No acceptable outcome is prescribed.	<p>Not applicable</p> <p>Filling and excavation is not required.</p>
<p>PO7 Excavation, boring, piling, blasting or fill compaction during construction of a development does not result in ground movement or vibration impacts that would cause damage or nuisance to a state-controlled road, road transport infrastructure or road works.</p> <p>Note: To demonstrate compliance with this performance outcome, it is recommended an RPEQ certified geotechnical assessment, prepared in accordance with Road Planning and Design Manual 2nd Edition: Volume 3, Department of Transport and Main Roads, 2016, is provided.</p> <p>Refer to the SDAP Supporting Information: Filling, excavation and retaining structures in a state-controlled road environment, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome and prepare a geotechnical assessment.</p>	No acceptable outcome is prescribed.	<p>Not applicable</p> <p>Filling and excavation is not required.</p>
<p>PO8 Development involving the haulage of fill, extracted material or excavated spoil material exceeding 10,000 tonnes per year does not damage the pavement of a state-controlled road.</p> <p>Note: It is recommended a pavement impact assessment is provided.</p>	A08.1 Fill, extracted material and spoil material is not transported to or from the development site on a state-controlled road.	<p>Not applicable</p> <p>Filling and excavation is not required.</p>

Performance outcomes	Acceptable outcomes	Response
Refer to the SDAP Supporting Information: Filling, excavation and retaining structures in a state-controlled road environment, Department of Transport and Main Roads, 2017, and the Guide to Traffic Impact Assessment, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome and prepare a pavement impact assessment.		
PO9 Filling and excavation associated with the construction of vehicular access to a development does not compromise the operation or capacity of existing drainage infrastructure for a state-controlled road. Note: Refer to the SDAP Supporting Information: Filling, excavation and retaining structures in a state-controlled road environment, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome.	No acceptable outcome is prescribed.	Not applicable Filling and excavation is not required.
PO10 Fill material used on a development site does not result in contamination of a state-controlled road. Note: Refer to the SDAP Supporting Information: Filling, excavation and retaining structures in a state-controlled road environment, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome.	AO10.1 Fill material is free of contaminants including acid sulfate content. Note: Soils and rocks should be tested in accordance with AS 1289.0 – Methods of testing soils for engineering purposes and AS 4133.0-2005 – Methods of testing rocks for engineering purposes. AND	Not applicable Filling and excavation is not required.
	AO10.2 Compaction of fill is carried out in accordance with the requirements of AS 1289.0 2000 – Methods of testing soils for engineering purposes.	Not applicable Filling and excavation is not required.
PO11 Filling and excavation does not cause wind-blown dust nuisance in a state-controlled road. Note: Refer to the SDAP Supporting Information: Filling, excavation and retaining structures in a state-controlled road environment, Department of Transport and Main Roads, 2017,	AO11.1 Compaction of fill is carried out in accordance with the requirements of AS 1289.0 2000 – Methods of testing soils for engineering purposes. AND	Not applicable Filling and excavation is not required.

Performance outcomes	Acceptable outcomes	Response
for further guidance on how to comply with this performance outcome.	AO11.2 Dust suppression measures are used during filling and excavation activities such as wind breaks or barriers and dampening of ground surfaces.	Not applicable Filling and excavation is not required.
Stormwater and drainage		
PO12 Development does not result in an actionable nuisance, or worsening of, stormwater, flooding or drainage impacts in a state-controlled road. Note: Refer to the SDAP Supporting Information: Stormwater and drainage in a state-controlled road environment, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome.	No acceptable outcome is prescribed.	Will be complied with The development will not result in an action that will create nuisance, or worsening of, stormwater, flooding or drainage impacts in a state-controlled road. Stormwater will discharge to the lawful point of discharge.
PO13 Run-off from the development site is not unlawfully discharged to a state-controlled road. Note: Refer to the SDAP Supporting Information: Stormwater and drainage in a state-controlled road environment, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome.	AO13.1 Development does not create any new points of discharge to a state-controlled road. AND	Will be complied with The development will not create any new points of discharge to a state-controlled road.
	AO13.2 Stormwater run-off is discharged to a lawful point of discharge. Note: Section 3.9 of the Queensland Urban Drainage Manual, Institute of Public Works Engineering Australasia (Queensland Division) Fourth Edition, 2016, provides further information on lawful points of discharge. AND	Will be complied with
	AO13.3 Development does not worsen the condition of an existing lawful point of discharge to the state-controlled road.	Will be complied with
PO14 Run-off from the development site during construction does not cause siltation of stormwater infrastructure affecting a state-controlled road. Note: Refer to the SDAP Supporting Information: Stormwater and drainage in a state-controlled road environment, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome.	AO14.1 Run-off from the development site during construction is not discharged to stormwater infrastructure for a state-controlled road.	Will be complied with

Performance outcomes	Acceptable outcomes	Response
Vehicular access to a state-controlled road		
<p>PO15 Vehicular access to a state-controlled road that is a limited access road is consistent with government policy for the management of limited access roads.</p> <p>Note: Refer to the SDAP Supporting Information: Vehicular access to a state-controlled road, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome.</p>	<p>AO15.1 Development does not require new or changed access to a limited access road.</p> <p>Note: Limited access roads are declared by the transport chief executive under section 54 of the Transport Infrastructure Act 1994 and are identified in the DA mapping system.</p> <p>OR</p>	<p>Not applicable</p> <p>Mareeba-Dimbulah Road is not a limited access road.</p>
	<p>AO15.2 A new or changed access to a limited access road is consistent with the limited access policy for the state-controlled road.</p> <p>Note: Limited access policies for limited access roads declared under the Transport Infrastructure Act 1994 can be obtained by contacting the relevant Department of Transport and Main Roads regional office.</p> <p>AND</p>	<p>Not applicable</p> <p>Mareeba-Dimbulah Road is not a limited access road.</p>
	<p>AO15.3 Where a new or changed access is for a service centre, access is consistent with the Service centre policy, Department of Transport and Main Roads, 2013 and the Access policy for roadside service centre facilities on limited access roads, Department of Transport and Main Roads, 2013, and the Service centre strategy for the state-controlled road.</p> <p>Note: The Service centre policy, Department of Transport and Main Roads, 2013, Access policy for roadside service centre facilities, Department of Transport and Main Roads, 2013 and the relevant Service centre strategy for a state-controlled road can be accessed by contacting the relevant Department of Transport and Main Roads regional office.</p>	<p>Not applicable</p>

Performance outcomes	Acceptable outcomes	Response
<p>PO16 The location and design of vehicular access to a state-controlled road (including access to a limited access road) does not create a safety hazard for users of a state-controlled road or result in a worsening of operating conditions on a state-controlled road.</p> <p>Note: Where a new or changed access between the premises and a state-controlled road is proposed, the Department of Transport and Main Roads will need to assess the proposal to determine if the vehicular access for the development is safe. An assessment can be made by Department of Transport and Main Roads as part of the development assessment process and a decision under section 62 of Transport Infrastructure Act 1994 issued.</p> <p>Refer to the SDAP Supporting Information: Vehicular access to a state-controlled road, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome.</p>	<p>AO16.1 Vehicular access is provided from a local road.</p>	Not applicable
	<p>OR all of the following acceptable outcomes apply:</p> <p>AO16.2 Vehicular access for the development is consistent with the function and design of the state-controlled road.</p> <p>AND</p>	<p>Complies</p> <p>Vehicular access to the site is consistent with the function and design of the state-controlled road.</p>
	<p>AO16.3 Development does not require new or changed access between the premises and the state-controlled road.</p> <p>Note: A decision under section 62 of the Transport Infrastructure Act 1994 outlines the approved conditions for use of an existing vehicular access to a state-controlled road. Current section 62 decisions can be obtained from the relevant Department of Transport and Main Roads regional office.</p> <p>AND</p>	<p>Complies with Performance Outcome</p> <p>The development requires a new access to the Mareeba-Dimbulah Road. The location and design of the access will not create a safety hazard for users of the road or result in a worsening of existing conditions of the road.</p>
	<p>AO16.4 Use of any existing vehicular access to the development is consistent with a decision under section 62 of the <i>Transport Infrastructure Act 1994</i>.</p> <p>Note: The development which is the subject of the application must be of an equivalent use and intensity for which the section 62 approval was issued and the section 62 approval must have been granted no more than 5 years prior to the lodgement of the application.</p> <p>AND</p>	Not applicable
	<p>AO16.5 On-site vehicle circulation is designed to give priority to entering vehicles at all times so vehicles do not queue in a road intersection or on the state-controlled road.</p>	Complies

Performance outcomes	Acceptable outcomes	Response
Vehicular access to local roads within 100 metres of an intersection with a state-controlled road		
PO17 The location and design of vehicular access to a local road within 100 metres of an intersection with a state-controlled road does not create a safety hazard for users of a state-controlled road. Note: Refer to the SDAP Supporting Information: Vehicular access to a state-controlled road, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome.	AO17.1 Vehicular access is located as far as possible from the state-controlled road intersection. AND	Not applicable Vehicle access points to the site are not mapped as being within 100m of a state-controlled road intersection.
	AO17.2 Vehicular access is in accordance with parts, 3, 4 and 4A of the Road Planning and Design Manual, 2 nd Edition: Volume 3, Department of Transport and Main Roads, 2016. AND	Not applicable Vehicle access points to the site are not mapped as being within 100m of a state-controlled road intersection.
	AO17.3 On-site vehicle circulation is designed to give priority to entering vehicles at all times so vehicles do not queue in the intersection or on the state-controlled road.	Not applicable Vehicle access points to the site are not mapped as being within 100m of a state-controlled road intersection.
Public passenger transport infrastructure on state-controlled roads		
PO18 Development does not damage or interfere with public passenger transport infrastructure, public passenger services or pedestrian or cycle access to public passenger transport infrastructure and public passenger services. Note: Refer to the SDAP Supporting Information: Vehicular access to a state-controlled road, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome.	AO18.1 Vehicular access and associated road access works are not located within 5 metres of existing public passenger transport infrastructure. AND	Not applicable Site is not mapped as having Public passenger transport infrastructure.
	AO18.2 Development does not necessitate the relocation of existing public passenger transport infrastructure. AND	Not applicable Site is not mapped as having Public passenger transport infrastructure.
	AO18.3 On-site vehicle circulation is designed to give priority to entering vehicles at all times so vehicles using a vehicular access do not obstruct public passenger transport infrastructure and public passenger services or obstruct pedestrian or cycle access to public passenger transport infrastructure and public passenger services. AND	Not applicable Site is not mapped as having Public passenger transport infrastructure.

Performance outcomes	Acceptable outcomes	Response
	AO18.4 The normal operation of public passenger transport infrastructure or public passenger services is not interrupted during construction of the development.	Not applicable Site is not mapped as having Public passenger transport infrastructure.
Planned upgrades		
PO19 Development does not impede delivery of planned upgrades of state-controlled roads.	AO19.1 Development is not located on land identified by the Department of Transport and Main Roads as land required for the planned upgrade of a state-controlled road. Note: Land required for the planned upgrade of a state-controlled road is identified in the DA mapping system . OR	Complies Development is not located on land identified by the Department of Transport and Main Roads as land required for the planned upgrade of a state-controlled road.
	AO19.2 Development is sited and designed so that permanent buildings, structures, infrastructure, services or utilities are not located on land identified by the Department of Transport and Main Roads as land required for the planned upgrade of a state-controlled road.	Not applicable Development is not located on land identified by the Department of Transport and Main Roads as land required for the planned upgrade of a state-controlled road.
	OR all of the following acceptable outcomes apply: AO19.3 Structures and infrastructure located on land identified by the Department of Transport and Main Roads as land required for the planned upgrade of a state-controlled road are able to be readily relocated or removed without materially affecting the viability or functionality of the development. AND	Not applicable Development is not located on land identified by the Department of Transport and Main Roads as land required for the planned upgrade of a state-controlled road.
	AO19.4 Vehicular access for the development is consistent with the function and design of the planned upgrade of the state-controlled road.	Not applicable Development is not located on land identified by the Department of Transport and Main Roads as

Performance outcomes	Acceptable outcomes	Response
	AND	land required for the planned upgrade of a state-controlled road.
	AO19.5 Development does not involve filling and excavation of, or material changes to, land required for a planned upgrade to a state-controlled road. AND	Not applicable Development is not located on land identified by the Department of Transport and Main Roads as land required for the planned upgrade of a state-controlled road.
	AO19.6 Land is able to be reinstated to the pre-development condition at the completion of the use.	Not applicable Development is not located on land identified by the Department of Transport and Main Roads as land required for the planned upgrade of a state-controlled road.
Network impacts		
PO20 Development does not result in a worsening of operating conditions on the state-controlled road network. Note: To demonstrate compliance with this performance outcome, it is recommended that an RPEQ certified traffic impact assessment is provided. Please refer to the Guide to Traffic Impact Assessment, Department of Transport and Main Roads, 2017, for further guidance on how to comply with this performance outcome.	No acceptable outcome is prescribed.	Complies with PO Development is for a rural industry and the site is already a functioning farm. Development will not result in a worsening of operation conditions, and will result in a more efficient allocation of the land for the rural purpose.
PO21 Development does not impose traffic loadings on a state-controlled road which could be accommodated on the local road network.	AO21.1 The layout and design of the development directs traffic generated by the development to the local road network.	Complies with Performance Outcomes The alternative road access is an unformed rural road. The land has previously been used for farming purposes. The proposed development will not result in significant changes to the traffic loadings on the Mareeba-Dimbulah Road.
PO22 Upgrade works on, or associated with, a state-controlled road are built in accordance with Queensland road design standards.	AO22.1 Upgrade works required as a result of the development are designed and constructed in accordance with the <i>Road Planning and Design</i>	Not applicable

Performance outcomes	Acceptable outcomes	Response
	<p><i>Manual</i>, 2nd edition, Department of Transport and Main Roads, 2016.</p> <p>Note: Road works in a state-controlled road require approval under section 33 of the Transport Infrastructure Act 1994 before the works commence.</p>	

APPENDIX 3: PROPOSAL PLANS

Drawing or Document	Reference	Date
Location Plan	0507 DA 01, Issue D	19/08/2019
Site Plan Proposed	0507 DA 02, Issue D	19/08/2019
Shed Facilities Layout – Proposed	0507 DA 03, Issue E	19/08/2019
Shed Facilities Layout – Proposed Detail	0507 DA 04, Issue E	19/08/2019
Part Floor Plan	0507 DA 05, Issue C	19/08/2019
Part Floor Plan	0507 DA 06, Issue C	19/08/2019
Cold Room Shed – typical cross section	0507 DA 07, Issue C	19/08/2019
Road Elevation	0507 DA 08, Issue B	19/08/2019
Trucks Operation – Proposed	0507 DA 09, Issue C	19/08/2019
Ground Heights	0507 DA 10, Issue B	19/08/2019

APPENDIX 4: MEETING NOTES WITH SARA DATED 7 NOVEMBER 2018

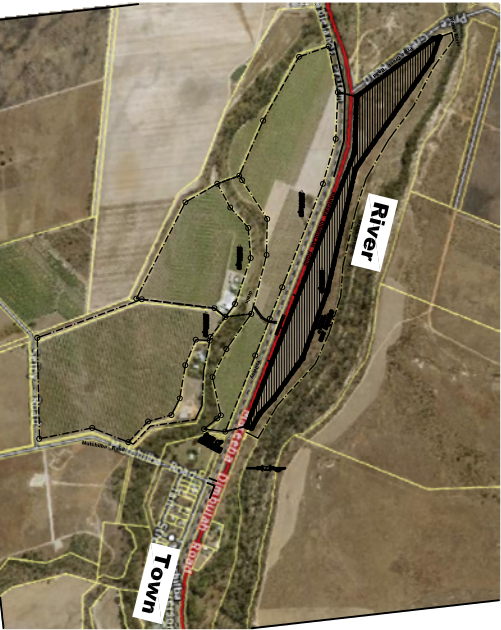
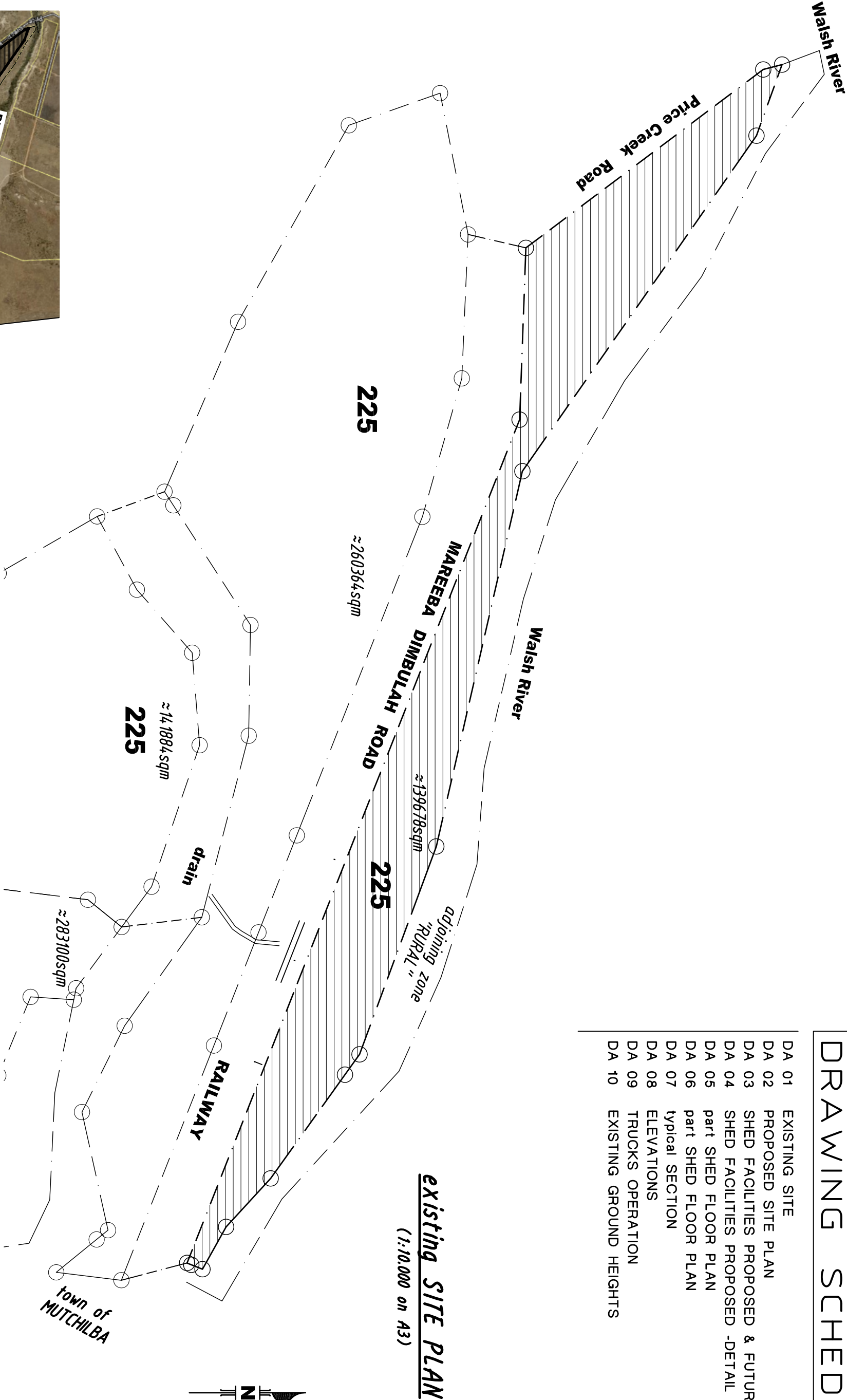
APPENDIX 5: INFORMATION RESPONSE TO ROL APPLICATION – FLOOD HAZARD RISK

DRAWING SCHEDULE

sheet size

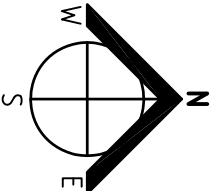
DA 01	EXISTING SITE
DA 02	PROPOSED SITE PLAN
DA 03	SHED FACILITIES PROPOSED & FUTURE
DA 04	SHED FACILITIES PROPOSED -DETAIL
DA 05	part SHED FLOOR PLAN
DA 06	part SHED FLOOR PLAN
DA 07	typical SECTION
DA 08	ELEVATIONS
DA 09	TRUCKS OPERATION
DA 10	EXISTING GROUND HEIGHTS

A3



LOCATION PLAN
(approx. 1:30,000 ON A3)

Lot 225 on HG 293
3 portions totals 54.1ha
PORTION ON NORTH SIDE SITE
AREA = 13,9678 ha



PROJECT:
PROPOSED PACKING
SHED

3727 MAREEBA - DIMBULAH RD
MUTCHILBA. 4872

date: 19/08/2019

phone: 0428 294 235
EDMONTON 4869. QUEENSLAND

GREGORY G TERZI
Associate Diploma
Architectural Technology

Building Design & Drafting

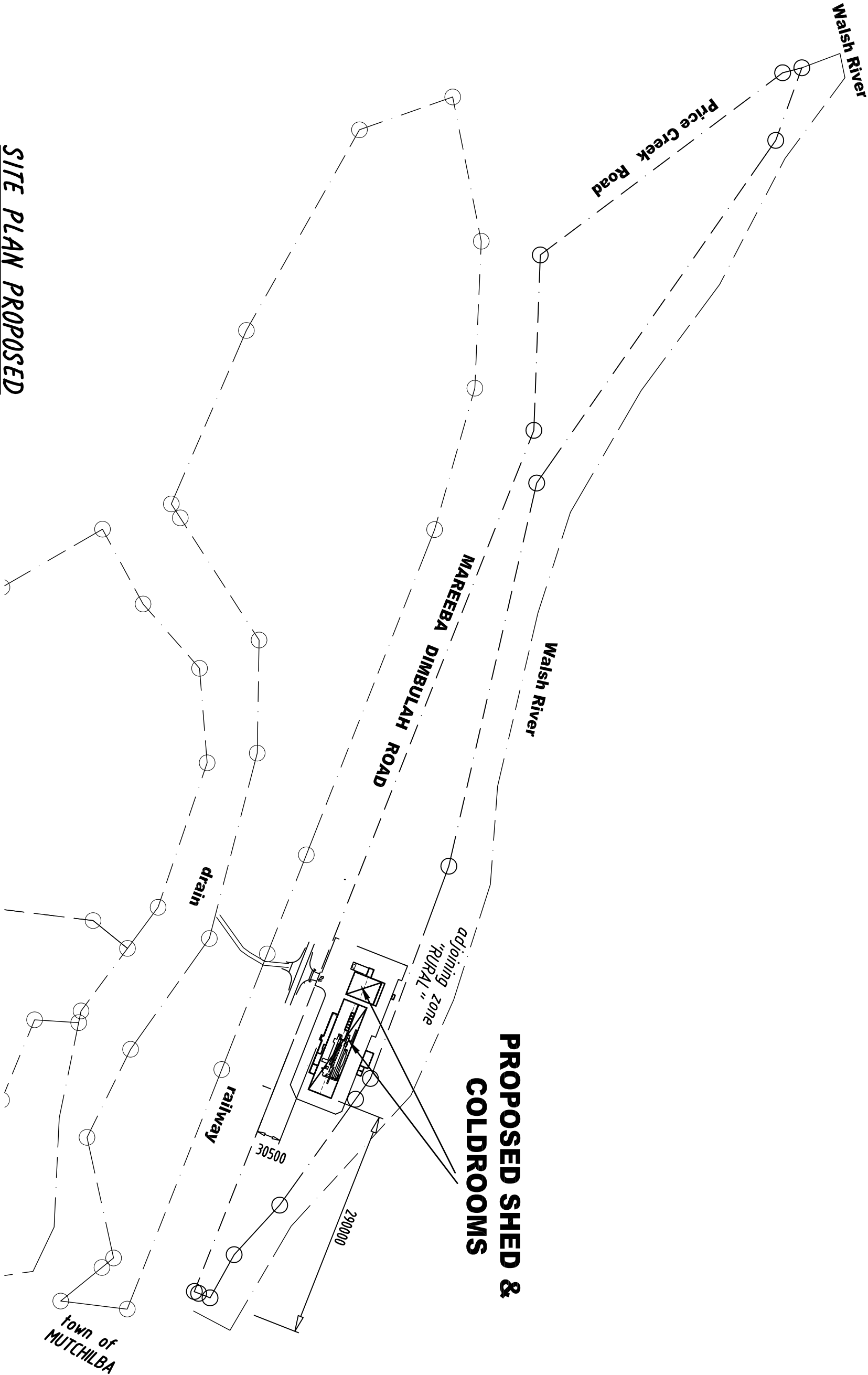
-Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-

Drafting No. 0507

SHEET No.

DA 01

ISSUE
D

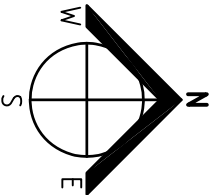


SITE PLAN PROPOSED
(1:5000 ON A3)

phone: 0428 294 235 EDMONTON 4869. QUEENSLAND
GREGORY G TERZI Associate Diploma **Building Design & Drafting**
Architectural Technology
-Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-

PROJECT: PROPOSED PACKING SHED		
3727 MAREEBA - DIMBULAH RD MUTCHILBA. 4872		
Drafting No. 0507	SHEET No. DA 02	ISSUE D

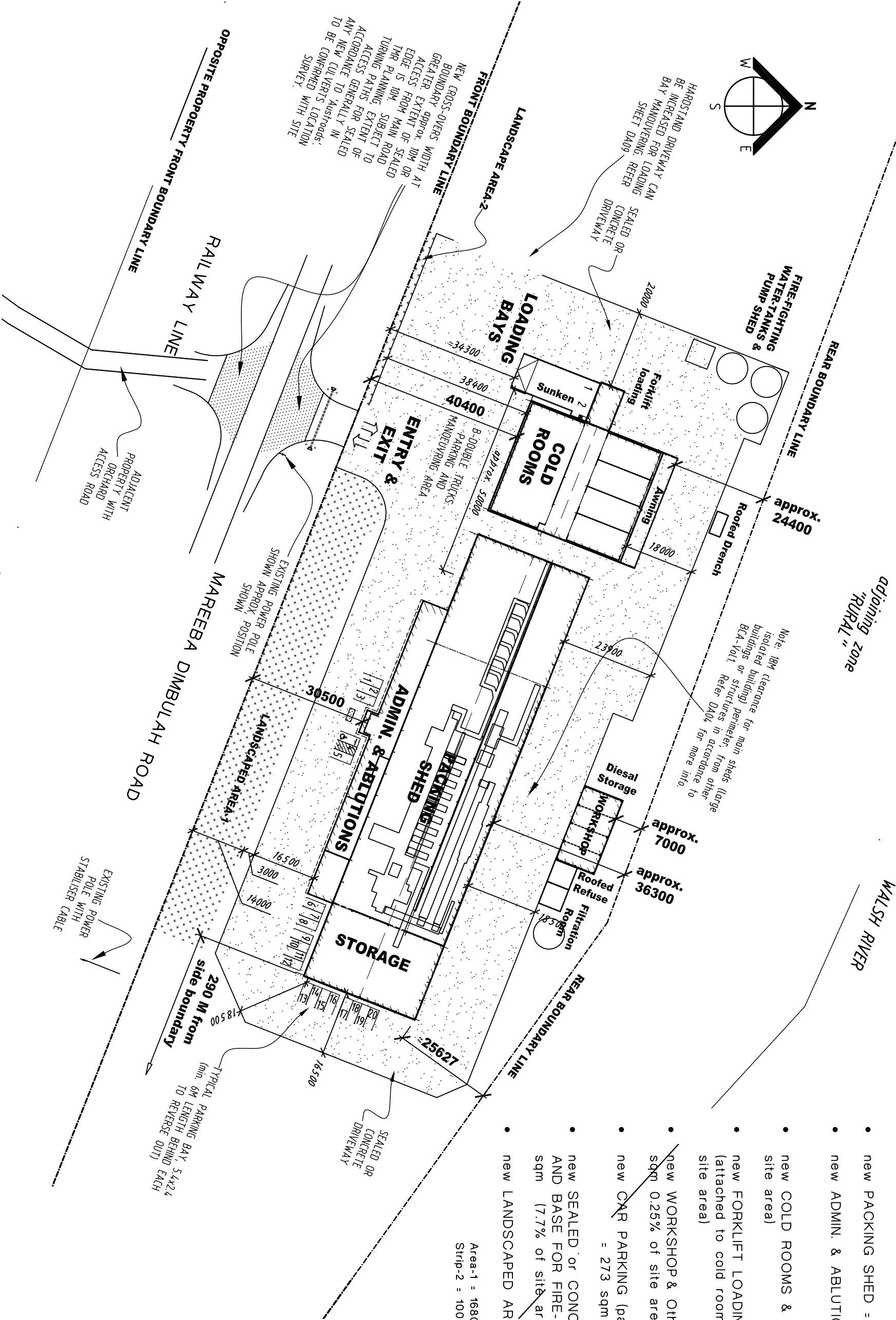
date: 19/08/2019



SITE COVERAGE
& STRUCTURES FOOTPRINT:

PROPERTY SITE area = 139,678 sqm

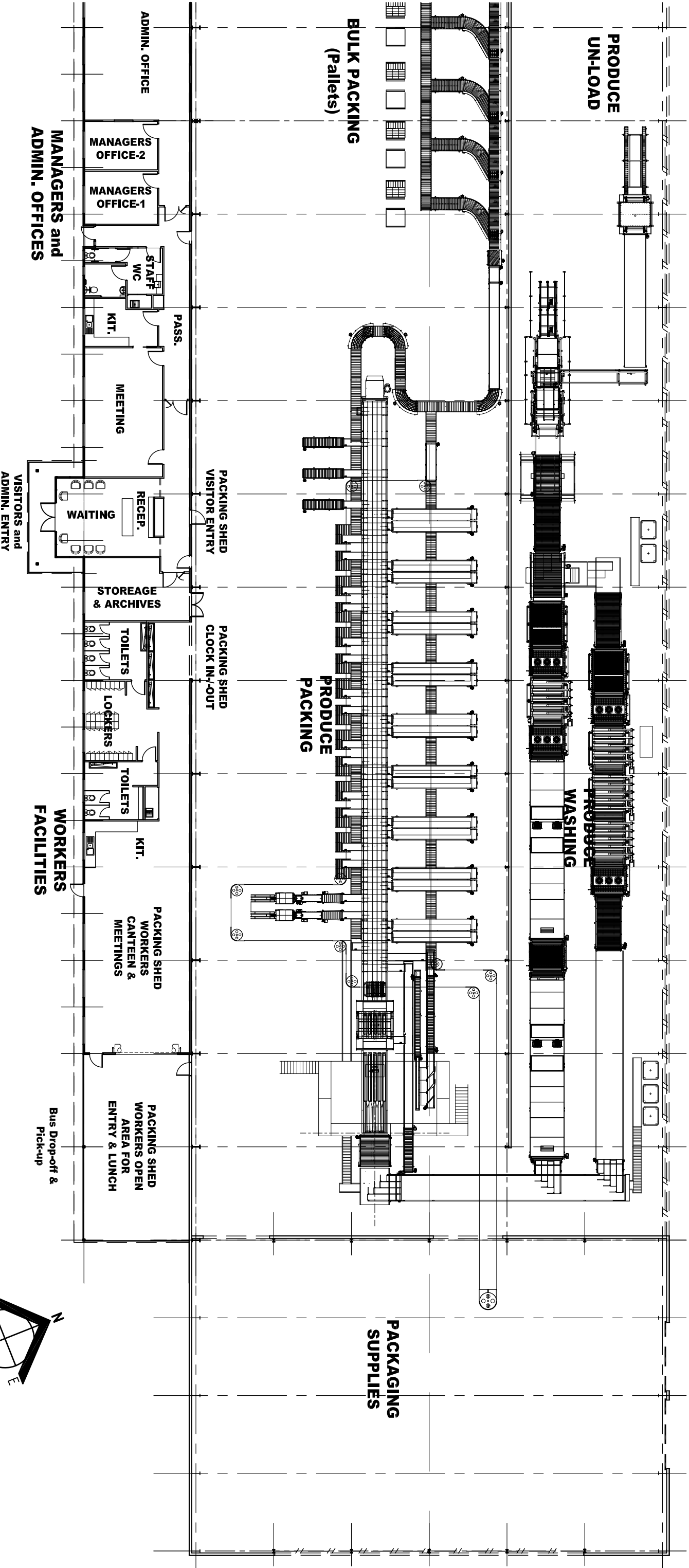
- new PACKING SHED = 3771 sqm (2.6% of site area)
- new ADMIN. & ABLUTIONS (attached)
= 580.5 sqm (0.4% of site area)
- new COLD ROOMS & Awning = 1237 sqm (0.9% of site area)
- new FORKLIFT LOADING and DOCKING BAYS (attached to cold room building) = 289 sqm (0.2% of site area)
- new WORKSHOP & Other Misc. roofed areas = 342 sqm 0.25% of site area
- new CAR PARKING (part of driveway)
= 273 sqm (0.2% of site area)
- new SEALED or CONCRETE for DRIVEWAYS, PATHS, AND BASE FOR FIRE-FIGHTING FACILITY = 10,860 sqm (7.7% of site area)
- new LANDSCAPED AREAS = 1780 sqm total (1.3% of site area)
Area-1 = 1680 sqm
Strip-2 = 100 sqm



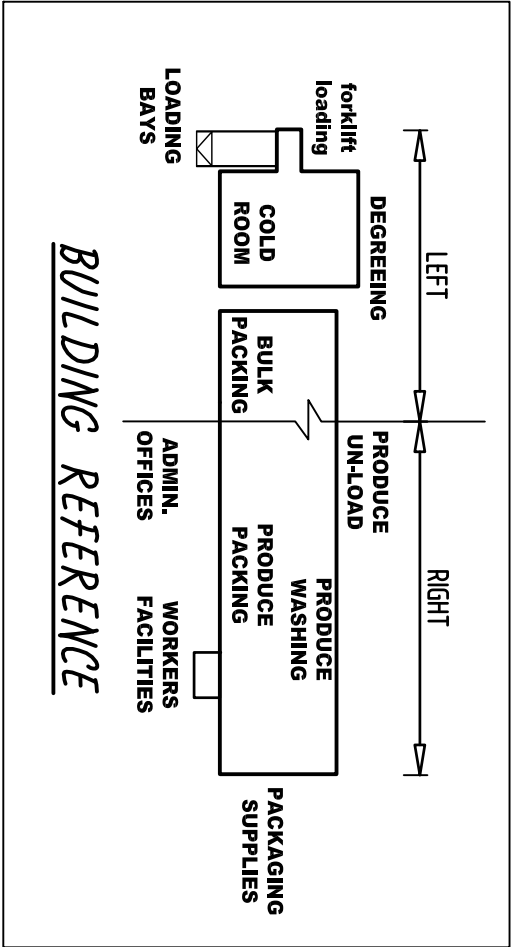
SHED FACILITIES LAYOUT -Proposed

(1:1000 on A3)

phone: 0428 294 235 EDMONTON 4869. QUEENSLAND		PROJECT:	
GREGORY G TERZI Associate Diploma Building Design & Drafting		PROPOSED PACKING SHED	
-Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-		3727 MAREEBA - DIMBULAH RD MITCHILBA. 4872	
Drafting No. 0507		date: 19/08/2019	
SHEET No. DA 03		ISSUE E	



Part FLOOR PLAN -showing right end
(1:250 ON A3)



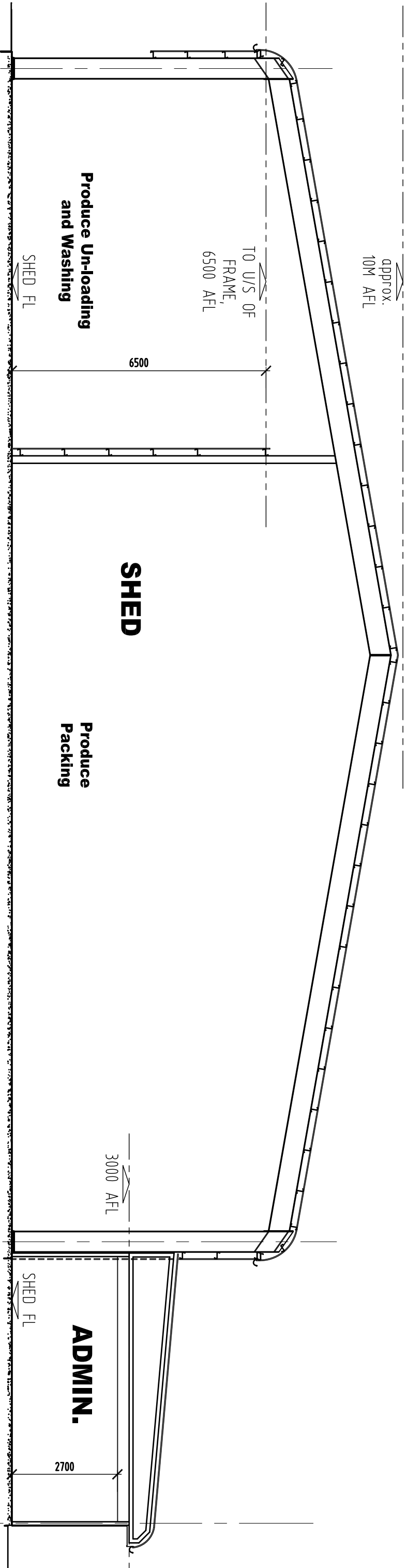
phone: 0428 294 235 EDMONTON 4869. QUEENSLAND
GREGORY G TERZI Associate Diploma
Architectural Technology
-Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-

date: 19/08/2019

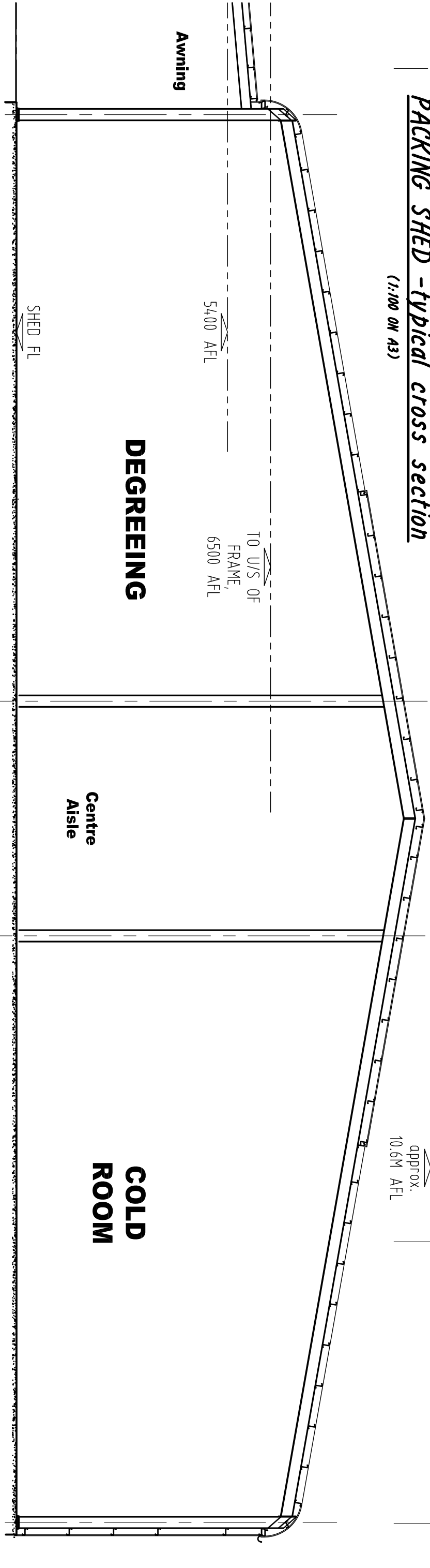
PROJECT:
PROPOSED PACKING SHED

3727 MAREEBA - DIMBULAH RD
MUTCHILBA. 4872

Drafting No. SHEET No. ISSUE
0507 **DA 05** C



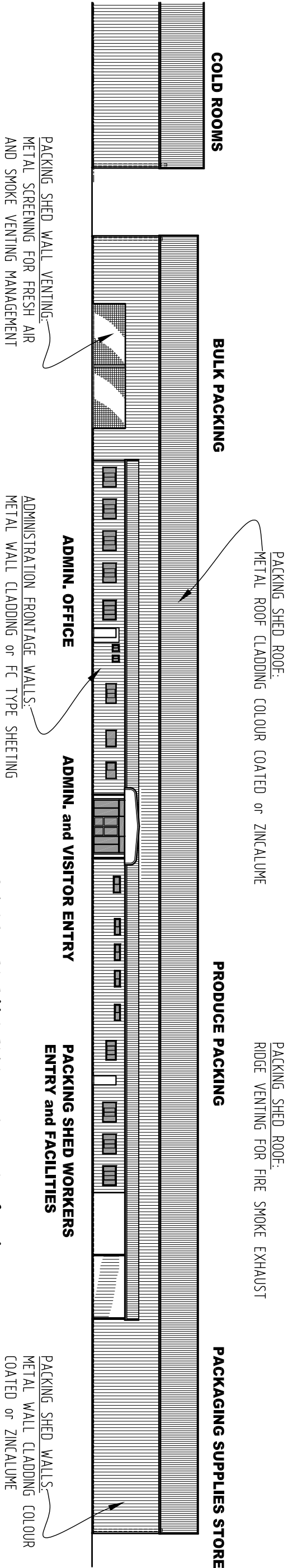
PACKING SHED -typical cross section
(1:100 ON A3)



COLD ROOM SHED -typical cross section
(1:100 ON A3)

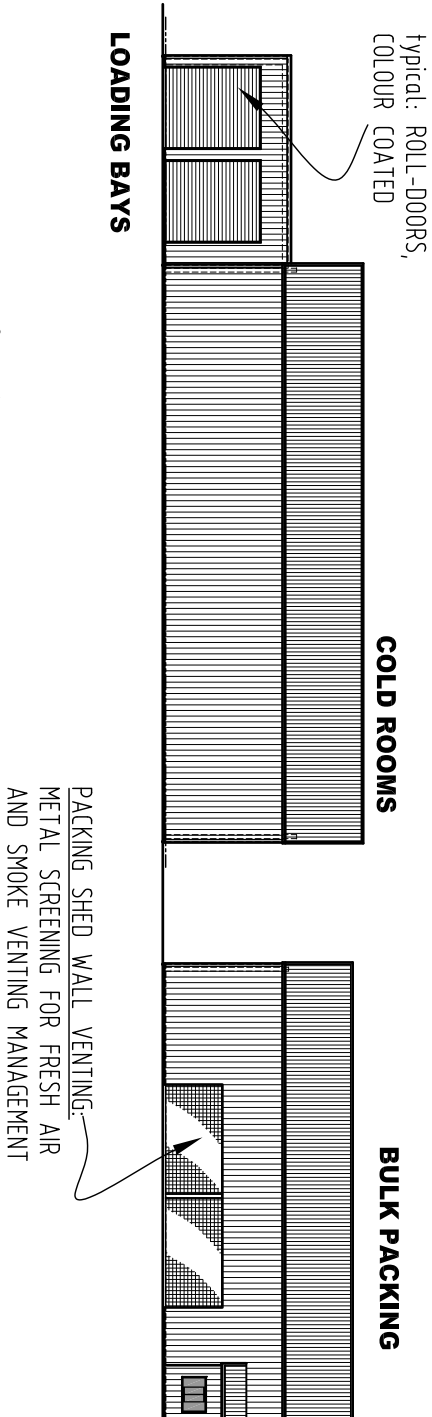
PROJECT:		
PROPOSED PACKING SHED		
3727 MAREEBA - DIMBULAH RD MUTCHILBA. 4872		
Drafting No.	SHEET No.	ISSUE
0507	DA 07	C

date: 19/08/2019



ROAD ELEVATION –South facing

(1:400 ON A3)



con't ROAD ELEVATION –South facing

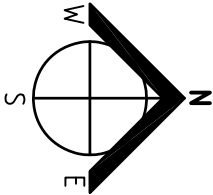
(1:400 ON A3)

date: 19/08/2019

PROJECT: PROPOSED PACKING SHED			3727 MAREEBA - DIMBULAH RD MUTCHILBA. 4872		
phone: 0428 294 235 EDMONTON 4869. QUEENSLAND			Drafting No. SHEET No. ISSUE		
GREGORY G TERZI Associate Diploma Architectural Technology Building Design & Drafting			DA 08 B		
-Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-					

adjoining zone
"RURAL "

WALSH RIVER



**FIRE-FIGHTING
WATER-TANKS &
PUMP SHED**

TO DEMONSTRATE ONLY AND NOT
INTENDED FOR B-DOUBLE TRUCKS
REGULAR USE, AT A SPEED OF 5-15km
CIRCLE THE BUILDING IF THE NEED
SHOULD ARISE (CLOCKWISE) TURNING
PATH TEMPLATES FROM 'AUSTROADS'
MANUALS.
HARDEST AND DRIVEWAY CAN
BE INCREASED FOR LOADING
BAY MANOUEVRING. REFER
SHEET DA09

Roofted Drench

Note: 18m clearance for main sheds (large
isolated building) perimeter, from other
buildings or structures in accordance to
BCA-Vol1. Refer DA04 for more info.

**Diesel
Storage**

Workshop

**Roofted
Refuse**

**Filtration
Room**

REAR BOUNDARY LINE

**LOADING
BAYS**

REVERSE ENTRY INTO LOADING
BAYS FOR ARTICULATED VEHICLE
TURNING PATH TEMPLATES FROM
'Aust Standard AS2890.2'

LANDSCAPE AREA-2

FRONT BOUNDARY LINE

NEW CROSS-OVERS WITH AT
BOUNDARY approx. 10m OR
GREATER. EXTENT OF SEALED
ACCESS FROM MAIN ROAD
EDGE IS 10m. SUBJECT TO
THR PLANNING. EXTENT OF
TURNING PATHS FOR SEALED
ACCESS GENERALLY TO
ACCORDANCE TO 'Austroads'.
ANY NEW CULVERTS LOCATION
TO BE CONFIRMED WITH SITE
SURVEY.

**B-DOUBLE TRUCKS
PARKING AND
MANOUEVRING AREA**

**ENTRY &
EXIT**

ADMIN. & ABLITIONS

**PACKING
SHED**

STORAGE

LANDSCAPED AREA-1

MAREEBA DIMBULAH ROAD

**B-DOUBLE TRUCKS AT A SPEED OF
5-15km TURNING PATH TEMPLATE FROM
'AUSTROADS' MANUALS.**

OPPOSITE PROPERTY FRONT BOUNDARY LINE

RAILWAY LINE

ADJACENT
PROPERTY WITH
ORCHARD
ACCESS ROAD

EXISTING POWER
POLE WITH
STABILISER CABLE

TO DEMONSTRATE ONLY AND NOT
INTENDED FOR B-DOUBLE TRUCKS
REGULAR USE, AT A SPEED OF 5-15km
CIRCLE THE BUILDING IF THE NEED
SHOULD ARISE (CLOCKWISE) TURNING
PATH TEMPLATES FROM 'AUSTROADS'
MANUALS.
TYPICAL PARKING BAY, 5.4x2.4
(min. 6m LENGTH BEHIND EACH
TO REVERSE OUT)

date: 19/08/2019

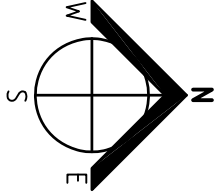
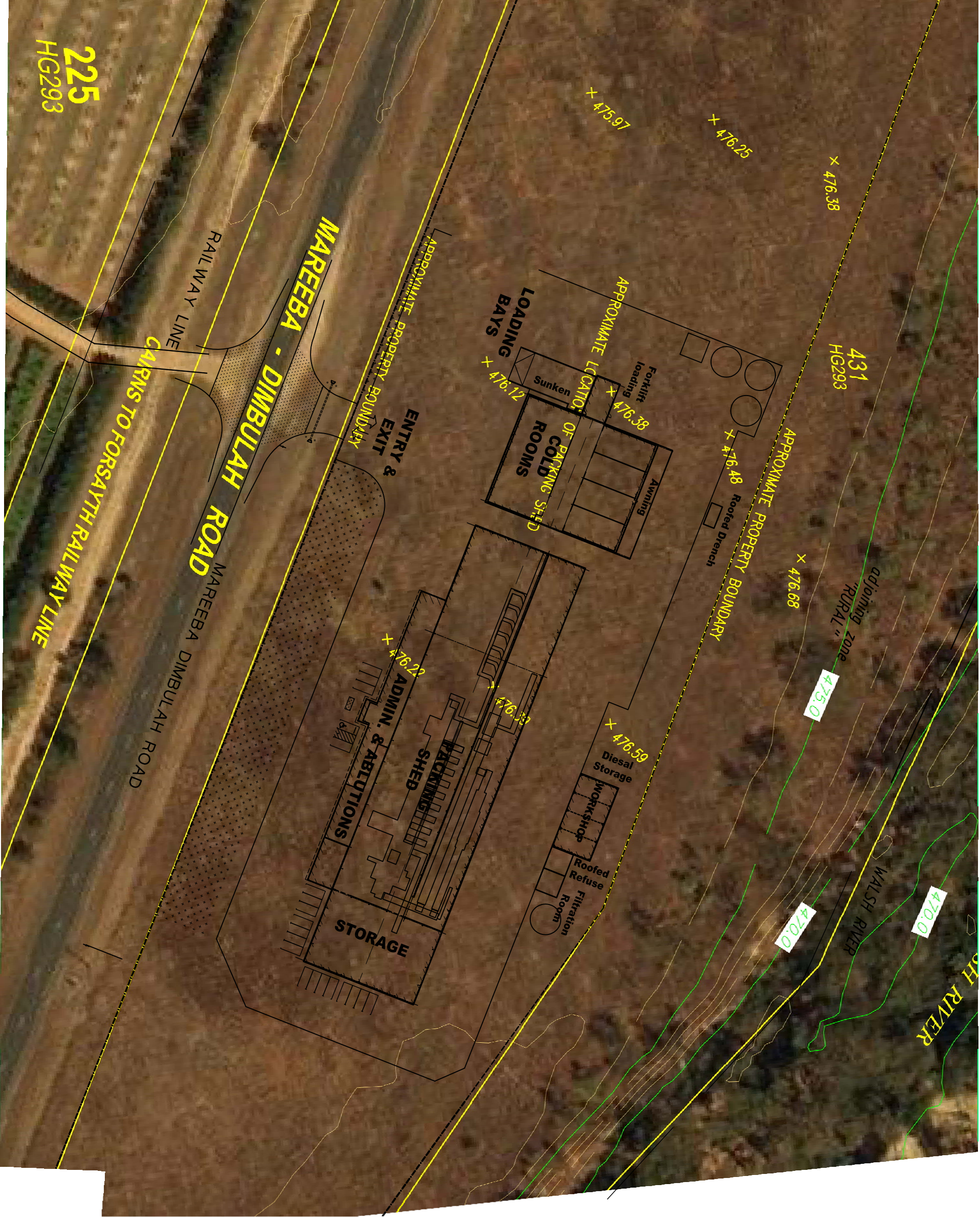
PROJECT:
**PROPOSED PACKING
SHED**

3727 MAREEBA - DIMBULAH RD
MUTCHILBA. 4872

TRUCKS OPERATION -Proposed
(1:1000 on A3)

phone: 0428 294 235 EDMONTON 4869. QUEENSLAND
GREGORY G TERZI Associate Diploma
Architectural Technology **Building Design & Drafting**
-Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-

Drafting No. SHEET No. ISSUE
0507 **DA 09** C



SURVEYED SPOT LEVELS TO OBTAIN SOME EXISTING GROUND HEIGHTS COMBINED WITH AERIAL VIEW USING 'OLD GLOBE'. THIS PLAN AS AN OVERLAY WITH THE PROPOSED DRAWN SITE PLANS.

225
HG293

431
HG293

GROUND HEIGHTS

(1:1000 on A3)

phone: 0428 294 235 EDMONTON 4869. QUEENSLAND
GREGORY G TERZI Associate Diploma **Building Design & Drafting**
-Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-

PROJECT:
PROPOSED PACKING SHED
3727 MAREEBA - DIMBULAH RD
MUTCHILBA. 4872
date: 19/08/2019
Drafting No. SHEET No. ISSUE
0507 **DA 10 B**

From: Belinda Jones <Belinda.Jones@dsdmip.qld.gov.au>
Sent: Thursday, 8 November 2018 7:45 AM
To: Planz Town Planning - Susie Lord
Cc: Amod P Rijal; 'steven.z.zelenika@tmr.qld.gov.au'
Subject: 1810-7752 SRA - Meeting Notes - 7 November 2018

Hi Susie, please find below notes from our meeting yesterday.

Meeting Notes – Key Points of Discussion

Date: 7 November 2018

Meeting: Proposed rural industry (packing shed) – 3727 Dimbulah Road, Mutchilba

Attendance: Suzie Lord (Planz Town Planning), Jandre Wessels (proponent), Jessie ?, Steve Zelenika (DTMR), Amod Rijal (DTMR)

- The setback of the proposed building from the state-controlled road will require consideration by Mareeba Shire Council against the Planning Scheme. DTMR would consider a 6m setback acceptable provided the design and location of the building does not create a safety hazard or distract users. Applicant intends to have a setback of approximately 30m.
- The access is proposed to be located opposite the existing access to the southern portion of the site.
- Applicant indicated that B-doubles will be accessing the site. It will be a requirement for the access to be sealed a minimum distance of 10m from the edge of the road seal. It is suggested that the applicant also consider sealing the access to the southern portion of the site. It is recommended to refer to Figure 7.2 and 7.4 of Guide to Road Design Part 4 (AustRoad 2009) to design the accesses.
- Swept path analysis will be required to satisfy the design of the access.
- No development is proposed on southern portion of the site.
- Workers accommodation will not form part of the application as this is a longer term plan and it may be determined that another site is used for this component of the development. Any future workers accommodation on the site should be accessed from Price Creek Road or the access that is constructed as part of the proposed packing shed.
- There is a power pole located in the vicinity of the proposed new access location. This will need to be taken into account in the design and location of the access.
- If it is also proposed to subdivide the land, a reconfiguring a lot application will be required. It is suggested that any future reconfiguring a lot proposed be discussed with Mareeba Shire Council, particularly relating to the minimum area requirements contained in the Planning Scheme.
- Approximate referral fee for the application is \$2,428. This should be confirmed under Schedule 10 of Planning Regulation prior to referral being undertaken.



Belinda Jones
Senior Planning Officer
Far North Queensland Regional Office
Planning and Development Services
Department of State Development,
Manufacturing, Infrastructure and Planning
P 07 4037 3239
Ground Floor, Cairns Port Authority Building,
Cnr Grafton and Hartley Sts, Cairns QLD 4870
PO Box 2358, Cairns QLD 4870
<https://planning.dsdmip.qld.gov.au/>

24 April 2019

Our Ref: P71883

Chief Executive Officer
Mareeba Shire Council
PO Box 154
Mareeba QLD 4880

Via email: info@msc.qld.gov.au

Attention: Brian Millard

Dear Brian,

**Information Response Reconfiguring of a Lot - Boundary realignment
At 3727 Mareeba-Dimbulah Road, Mutchilba. Lot 225 HG293 and 62 SP167299.**

I refer to the application lodged with Council on 30 January 2019 and Council's information request dated 7 February 2019 for the abovementioned application. The information request asked:

1. In order for Council officers to be satisfied of the usability of proposed Lot 225, it is requested that a flood hazard assessment, prepared by an RPEQ be carried out to determine a flood immunity height, relative to ground level as well as a flood water velocity estimate over proposed Lot 225. It is understood that some locals in the Mutchilba Township may have records/photographs of flood water heights achieved during previous extreme flood events in the area.

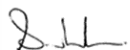
Please find attached the Plan 1460-01A, Surface Levels over part of Lot 225 on HG293 Mareeba Dimbula Road Mutchilba. Also attached are photos of the Mutchilba Cash Store during the 1986 flood. The photo has been provided by the current store owners.

The Surface Level plan shows the site levels at what would be the location of any future proposed packing shed on the site:

- The plan also indicates the approximate flood level at the Mutchilba Store which is about 1.1km away.
- The flood level at the store is about 1.5m higher than the level of packing shed site (part of Lot 225 on HG293). Anecdotally the packing shed site has never flooded.
- Terra Modus Surveying (Eddy Picco Registered Land & Engineering Surveyor) has advised that this flood level would not be applicable to the location of the proposed packing shed site as:
 - the Store is on the opposite side of the highway and railway line;
 - the Store is in close proximity to Price Creek and two other tributaries that also converge in that area.
 - there are a site specific factors that may have contributed to the one-off flooding of the Store in 1986.

If you require any further information please do call me.

Yours faithfully,



Susie Lord
Planz Town Planning Pty Ltd

Att. Plan 1460-01'A Surface Levels
Photos Mutchilba Cash Store



Photo 1. : Mutchilba Cash Store 1986 flood



Photo 2. : Mutchilba Cash Store 2018