

# DA Form 1 – Development application details

Approved form (version 1.1 effective 22 JUNE 2018) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Sharee Amy Walmsley and Nathan John Walmsley C/- Emergent Building Approvals
Contact name <i>(only applicable for companies)</i>	Beau Thornton
Postal address <i>(P.O. Box or street address)</i>	97 Anderson Street
Suburb	Cairns
State	QLD
Postcode	4870
Country	
Contact number	0419172328
Email address <i>(non-mandatory)</i>	beau@emergentba.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	



## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

#### 3.1) Street address and lot on plan

Street address **AND** lot on plan (all lots must be listed), **or**

Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		3224	Mareeba-Dimbula Road	Mutchilba
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4872	450	HG575	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

Additional premises are relevant to this development application and their details have been attached in a schedule to this application

Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

**5) Are there any existing easements over the premises?**  
*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

<b>6.1) Provide details about the first development aspect</b>	
a) What is the type of development? <i>(tick only one box)</i>	
<input checked="" type="checkbox"/> Material change of use	<input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>	
<input checked="" type="checkbox"/> Development permit	<input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?	
<input checked="" type="checkbox"/> Code assessment	<input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>	
As built secondary dwelling	
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms guide: Relevant plans</a>.</i>	
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application	
<b>6.2) Provide details about the second development aspect</b>	
a) What is the type of development? <i>(tick only one box)</i>	
<input type="checkbox"/> Material change of use	<input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>	
<input type="checkbox"/> Development permit	<input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?	
<input type="checkbox"/> Code assessment	<input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>	
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>	
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application	

**6.3) Additional aspects of development**

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

**Section 2 – Further development details****7) Does the proposed development application involve any of the following?**

- |                        |   |
|------------------------|---|
| Material change of use | <input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot    | <input type="checkbox"/> Yes – complete division 2  |
| Operational work       | <input type="checkbox"/> Yes – complete division 3  |
| Building work          | <input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>                     |

**Division 1 – Material change of use**

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

**8.1) Describe the proposed material change of use**

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Dwelling House - Secondary dwelling	Rural Zone Code	1	151
	Accommodation Activities Code		

**8.2) Does the proposed use involve the use of existing buildings on the premises?**

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Yes           |  |  |
| <input checked="" type="checkbox"/> No |  |  |

**Division 2 – Reconfiguring a lot**

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

**9.1) What is the total number of existing lots making up the premises?****9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)**

- |  |  |
|--|--|
| <input type="checkbox"/> Subdivision (complete 10))          | <input type="checkbox"/> Dividing land into parts by agreement (complete 11))  |
| <input type="checkbox"/> Boundary realignment (complete 12)) | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13)) |

**10) Subdivision****10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

**10.2) Will the subdivision be staged?**

- Yes – provide additional details below
- No

How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

### Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Road work               | <input type="checkbox"/> Stormwater       | <input type="checkbox"/> Water infrastructure  |
| <input type="checkbox"/> Drainage work           | <input type="checkbox"/> Earthworks       | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping             | <input type="checkbox"/> Signage          | <input type="checkbox"/> Clearing vegetation   |
| <input type="checkbox"/> Other – please specify: | <input style="width: 100%;" type="text"/> |  |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots:	<input style="width: 100%;" type="text"/>
<input type="checkbox"/> No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ <input style="width: 100%;" type="text"/>
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## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

## PART 5 – REFERRAL DETAILS

### 17) Do any aspects of the proposed development require referral for any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

#### Matters requiring referral to the **Chief Executive of the Planning Regulation 2017:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure – designated premises
- Infrastructure – state transport infrastructure
- Infrastructure – state transport corridors and future state transport corridors
- Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure – near a state-controlled road intersection
- On Brisbane core port land near a State transport corridor or future State transport corridor
- On Brisbane core port land – ERA
- On Brisbane core port land – tidal works or work in a coastal management district
- On Brisbane core port land – hazardous chemical facility
- On Brisbane core port land – taking or interfering with water
- On Brisbane core port land – referable dams
- On Brisbane core port land - fisheries
- Land within Port of Brisbane's port limits
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – construction of new levees or modification of existing levees (*category 3 levees only*)
- Wetland protection area

#### Matters requiring referral to the **local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- Local heritage places

Matters requiring referral to the <b>chief executive of the distribution entity or transmission entity:</b> <input type="checkbox"/> Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> <li>• The <b>Chief executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to <b>the Brisbane City Council:</b> <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the <b>Minister under the <i>Transport Infrastructure Act 1994</i>:</b> <input type="checkbox"/> Brisbane core port land (inconsistent with Brisbane port LUP for transport reasons) <input type="checkbox"/> Strategic port land
Matters requiring referral to the <b>relevant port operator:</b> <input type="checkbox"/> Land within Port of Brisbane's port limits (below high-water mark)
Matters requiring referral to the <b>Chief Executive of the relevant port authority:</b> <input type="checkbox"/> Land within limits of another port (below high-water mark)
Matters requiring referral to the <b>Gold Coast Waterways Authority:</b> <input type="checkbox"/> Tidal works, or work in a coastal management district in Gold Coast waters
Matters requiring referral to the <b>Queensland Fire and Emergency Service:</b> <input type="checkbox"/> Tidal works marina ( <i>more than six vessel berths</i> )

<b>18) Has any referral agency provided a referral response for this development application?</b>		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application ( <i>if applicable</i> ).		

## PART 6 – INFORMATION REQUEST

<b>19) Information request under Part 3 of the DA Rules</b>
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
<b>Note:</b> <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i>
<ul style="list-style-type: none"> <li>• that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</li> <li>• Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</li> </ul>
<i>Further advice about information requests is contained in the <a href="#">DA Forms Guide</a>.</i>

## PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No

23) Further legislative requirements			
<b><u>Environmentally relevant activities</u></b>			
23.1) Is this development application also taken to be an application for an environmental authority for an <b>Environmentally Relevant Activity (ERA)</b> under section 115 of the <i>Environmental Protection Act 1994</i> ?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No <i>Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at <a href="http://www.qld.gov.au">www.qld.gov.au</a>. An ERA requires an environmental authority to operate. See <a href="http://www.business.qld.gov.au">www.business.qld.gov.au</a> for further information.</i>			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
<b><u>Hazardous chemical facilities</u></b>			
23.2) Is this development application for a <b>hazardous chemical facility</b> ?			
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No <i>Note: See <a href="http://www.business.qld.gov.au">www.business.qld.gov.au</a> for further information about hazardous chemical notifications.</i>			
<b><u>Clearing native vegetation</u></b>			



23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### Koala conservation

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

Yes

No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated *resource* allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
 No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

#### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
 No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

#### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application  
 No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

#### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:  
 Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)  
 A certificate of title  
 No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

#### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below  
 No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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#### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*  
 No

#### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)  
 No

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <i>DA Form 2 – Building work details</i> have been completed and attached to this development application	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see <a href="#">DA Forms Guide: Planning Report Template</a>.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued ( <i>see 21</i> )	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct	
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
<p><b>Privacy</b> – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.</p> <p>Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the <i>DA Rules</i> except where:</p> <ul style="list-style-type: none"> <li>such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or</li> <li>required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> <li>otherwise required by law.</li> </ul> <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>	

## PART 9 – FOR OFFICE USE ONLY

Date received:  Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	

Relevant licence number(s) of chosen assessment manager	
---	--

QLeave notification and payment	
<i>Note: For completion by assessment manager if applicable</i>	
Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date received form sighted by assessment manager	
Name of officer who sighted the form	



23 Owens Street Mareeba Q 4880, PO Box 2784 Mareeba Q 4880  
Phone: 4092 2449 Mobile: 0477 015 550

**CODE ASSESSMENT FOR PRELIMINARY APPROVAL FOR BUILDING WORK**  
**ASSESSABLE AGAINST THE PLANNING SCHEME- MAREEBA SHIRE COUNCIL 2016**  
**LOT 450 MAREEBA DIMBULAH ROAD, MUTCHILBA LOT 450 HG575**

**Background**

The applicant has engaged the services of Emergent Building Approvals to lodge an application for Preliminary Approval for Building Work Assessable Against the Planning Scheme to Mareeba Shire Council on their behalf. The Secondary Dwelling is located within the Rural Zone and is mapped under Bushfire Hazard Overlay and Potential Flood Hazard Overlay, which captures this type of development. Consequently, the development varies from these codes and elevates the level of assessment to Code.

Under Part 5 Table of Assessment -Table 5.7 identifies 'Building Work' as being **self-assessable** on the premise it complies with the acceptable outcomes of all relevant codes. For the purposes of this assessment is based on Councils' mapping the following codes are nominated as being applicable under this table-

**Table 1.1 Code Applicability**

<b>Assessment Criteria</b>	<b>Applicability</b>
<b>Rural Zone</b>	<b>Yes</b>
<b>Accommodation Activities Code</b>	<b>Yes</b>
<b>Bushfire Hazard Overlay</b>	<b>Yes</b>
<b>Potential Flood Hazard Overlay</b>	<b>Yes</b>

From the applicable codes above the following elements of the proposal have been identified as non-compliant with various acceptable outcomes.

### 9.3.1.3 Criteria for assessment

**Table 9.3.1.3A—Accommodation activities code – For accepted development subject to requirements and assessable development**

Performance outcomes	Acceptable outcomes
<b>If for Dwelling house</b>	
<b>PO6</b> Where a Dwelling house involves a secondary dwelling, it is designed and located to: <ul style="list-style-type: none"> <li>(d) not dominate the site;</li> <li>(e) remain subservient to the primary dwelling; and</li> <li>(f) be consistent with the character of the surrounding area;</li> </ul>	<b>AO6.1</b> The secondary dwelling is located within: <ul style="list-style-type: none"> <li>(c) 10 metres of the primary dwelling where on a lot that has an area of 2 hectares or less; or</li> <li>(d) 20 metres of the primary dwelling where on a lot that has an area of greater than 2 hectares.</li> </ul> <b>AO6.2</b> A secondary dwelling has a maximum gross floor area of 100m <sup>2</sup> .

**Table 1.2 Non-compliant self-assessable criteria**

As consequence of the identified non-compliant acceptable outcomes the development now elevates the level of assessment to becomes code- assessable as per Clause 5.3.3 of the scheme. The following table will identify how the proposal will achieve compliance through the relevant performance criteria and acceptable outcomes to achieve the desired outcomes of the Mareeba Shire Planning Scheme 2016.

#### Assessment

**Table 6.2.9.3—Rural zone code - For accepted development subject to requirements and assessable development**

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>Height</b>		
<b>PO1</b> Building height takes into consideration and respects the following: <ul style="list-style-type: none"> <li>(a) the height of existing buildings on adjoining premises;</li> <li>(b) the development potential, with respect to height, on adjoining premises;</li> <li>(c) the height of buildings in the vicinity of the site;</li> <li>(d) access to sunlight and daylight for the site and adjoining sites;</li> <li>(e) privacy and overlooking; and site area and street frontage length.</li> </ul>	<b>AO1.1</b> Development, other than buildings used for rural activities, has a maximum building height of: <ul style="list-style-type: none"> <li>(a) 8.5 metres; and</li> </ul> 2 storeys above ground level.  <b>AO1.2</b> Buildings and structures associated with a rural activity including machinery, equipment, packing or storage buildings do not exceed 10 metres in height.	<b>Complies</b>

Performance outcomes	Acceptable outcomes	Applicant response
<b>Outbuildings and residential scale</b>		
<p><b>PO3</b> The density of Accommodation activities: respects the nature and density of surrounding land use; is complementary and subordinate to the rural and natural landscape values of the area; and is commensurate to the scale and frontage of the site.</p>	<p><b>AO3.1</b> Residential density does not exceed one dwelling house per lot.</p> <p><b>AO3.2</b> Residential density does not exceed two dwellings per lot and development is for: (a) a secondary dwelling; or (b) Caretaker's accommodation and includes building work or minor building work with a maximum gross floor area of 100m<sup>2</sup>; or Rural worker's accommodation.</p>	<p><b>Complies with AO3.2</b></p>

**Table 8.2.3.3—Bushfire hazard overlay code — For accepted development subject to requirements and assessable development**

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>Water supply for fire-fighting purposes</b>		
<p><b>PO1</b> Development where within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o) maintains the safety of people and property by providing an adequate, accessible and reliable water supply for fire-fighting purposes which is safely located and has sufficient flow and pressure characteristics.</p> <p>Note— A Bushfire hazard management plan must be prepared by suitably qualified persons in seeking to demonstrate compliance with the Performance outcome.</p>	<p><b>Where within a 'Bushfire hazard area' and 'Potential impact buffer (100 metres)' identified on the Bushfire hazard overlay maps (OM-003a-o)</b></p> <p><b>AO1.1</b> Where in a reticulated water service area, the on-site water supply has flow and pressure characteristics of 10 litres a second at 200 kPa.</p> <p><b>OR</b></p> <p><b>AO1.2</b> Where access to the reticulated water network is not available, a minimum on site water storage of 5,000 litres is provided that must comprise: (a) a separate tank; or (b) a reserve section in the bottom part of the main water supply tank; or (c) a dam; or (d) a swimming pool.</p> <p>Note—Where a water tank is provided for fire-fighting purposes it is fitted with standard rural fire brigade fittings and the tank is provided with a hardstand area</p>	<p><b>Water supply for firefighting purposes is existing.</b></p>

**Table 8.2.6.3A - Flood hazard overlay code - For accepted development subject to requirements and assessable development**

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>All flood hazard areas</b>		
<p><b>PO1</b> Development prevents the carriage or dispersal of contaminants or pollutants into the receiving environment.</p>	<p><b>AO1.1</b> Development, other than buildings used for rural activities, has a maximum building height of: (b) 8.5 metres; and 2 storeys above ground level.</p> <p><b>AO1.2</b> Buildings and structures associated with a rural activity including machinery, equipment, packing or storage buildings do not exceed 10 metres in height.</p>	NA
<p><b>PO2</b> Essential community infrastructure is able to function effectively during and immediately after flood events.</p>	<p><b>AO2</b> Design levels for buildings must comply with the flood immunity standards specified in Table 8.2.6.3.B and Table 8.2.6.3.C where within a flood hazard area identified on the Flood hazard overlay maps (OM-006a-o).</p>	NA
<b>Significant flood hazard area, Low flood hazard area or Potential flood hazard area</b>		
<p><b>PO10</b> Development, where involving a Material change of use or Building work, is located and designed to:</p> <ul style="list-style-type: none"> <li>(a) maintain hydrological function of the premises;</li> <li>(b) not increase the number of people calculated to be at risk from flooding;</li> <li>(c) minimises the flood impact on adjoining premises;</li> <li>(d) ensure the safety of all persons by ensuring that a proportion of buildings are set above the defined flood level;</li> <li>(e) reduce the carriage of debris in flood waters;</li> <li>(f) reduce property damage; and</li> <li>(g) provide flood immune access to buildings.</li> </ul> <p>Note—Where the development is located in a 'Potential flood hazard area' identified on the Flood hazard overlay maps (OM006a-o) and there is no defined flood level a hydraulic (flood hazard assessment) report prepared by a RPEQ is required in substantiation of an alternative outcome is required or the defined flood level from the adjacent representative hazard zone is used.</p>	<p><b>AO10.1</b> Buildings, including extensions to existing buildings are:</p> <ul style="list-style-type: none"> <li>(a) elevated above the defined flood level; and</li> <li>(b) the defined flood event does not exceed a depth of 600mm; and</li> <li>(c) elevated above the defined flood level plus 0.3 metres freeboard where for habitable rooms within a dwelling.</li> </ul> <p>OR</p> <p><b>AO10.2</b> Buildings used for Commercial activities or Industrial activities include a minimum floor level of 0.3 metres above the defined flood where for the following components of the use:</p> <ul style="list-style-type: none"> <li>(a) administrative areas; or</li> <li>(b) services, plant and equipment associated with the building.</li> </ul> <p>Note—AO10.2 accepts that the cost of flood impact is an operational cost of the Commercial activity or Industrial activity.</p> <p>Note—Building work must be certified by a qualified structural engineer to be flood proof</p>	<p><b>Finished floor height above highest ground level is 680mm Council is unable to provide flood modelling data for the site in accordance with Section 13 of the Building Regulations 2006 and therefore must decide an appropriate finished floor height as the prescribed referral agency for this matter under Schedule 9 of the Planning Regulations.</b></p> <p><b>The finished floor height will be similar to the existing dwelling.</b></p>



Performance outcomes	Acceptable outcomes	Applicant response
	<p>including the ability to withstand damage from floodwater and debris.</p> <p><b>AO10.3</b> All building work below the defined flood level must be high set (comprising pier and beam construction) and retains the flood storage and conveyance capacity of the premises.</p> <p>Note—Building work must be certified by a qualified structural engineer to be flood proof including the ability to withstand damage from floodwater and debris.</p>	
<p><b>PO11</b> Development involving earthworks in a Flood hazard area below the defined flood level must protect life and property on premises and off premises through maintaining:</p> <p>(a) flood storage capacity of land; (b) flood conveyance function of land; (c) flood and drainage channels; (d) overland flow paths; and flood warning times.</p>	<p><b>AO11</b> Development does not involve in excess of 50m<sup>3</sup> of fill above ground level per 1,000m<sup>2</sup> of site area.</p>	<p><b>NA</b></p>

**Table 9.3.1.3A—Accommodation activities code – For accepted development subject to requirements and assessable development**

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>If for Dwelling house</b>		
<p><b>PO6</b> Where a Dwelling house involves a secondary dwelling, it is designed and located to:</p> <p>(a) not dominate the site; (b) remain subservient to the primary dwelling; and be consistent with the character of the surrounding area;</p>	<p><b>AO6.1</b> The secondary dwelling is located within:</p> <p>(a) 10 metres of the primary dwelling where on a lot that has an area of 2 hectares or less; or 20 metres of the primary dwelling where on a lot that has an area of greater than 2 hectares.</p> <p><b>AO6.2</b> A secondary dwelling has a maximum gross floor area of 100m<sup>2</sup>.</p>	<p><b>The secondary dwelling is located approximately 144m from the main dwelling, however, is subservient to the primary dwelling and does not dominate the large rural site. The secondary dwelling has been sited in this location because of existing constraints of the site such as vegetation and natural contours.</b></p> <p><b>The GFA is 103.2m<sup>2</sup> which may be considered generally in accordance with the intent of PO6 where the secondary dwelling is much smaller in size to the primary dwelling.</b></p>

### Summary

The above report clearly shows the proposal is compatible with the outcomes sought for all relevant codes. It is therefore considered be an acceptable that the Local Government approve the proposal as it is suitably designed to complement the area and satisfy the acceptable measure of the relevant codes.

Should you have any further queries please do not hesitate in contacting Beau Thornton on: 0419172328 or beau@emergentba.com.au.

Yours faithfully



**Glenn Chambers**  
**Building Certifier Level 1 B. Bldg.Surv.Hons.MAIBS A80178**  
**Emergent Building Approvals**



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23 Owens Street Mareeba Q 4880, PO Box 2784 Mareeba Q 4880

Phone: 4092 2449 Mobile: 0477 015 550

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## Landowners Consent as per Part 1 Section 2 of DA Form 1

Dear Sir/ Madam,

**RE: Address: 3224 Mareeba-Dimbulah Road, Mutchilba – Development Application**

We, the registered owner/s of the property located at Lot 450 on HG575 hereby give consent for a development application to be lodged by Emergent Building Approvals for the proposed building work to this property.

Your Sincerely,

Registered Landowner/s-

1. *Sharee Amy Walmsley*

2. *Nathan John Walmsley*

**SHEET LIST**

Sheet Name	Sheet
COVER PAGE	WD01
SITE PLAN	WD02
GROUND FLOOR PLAN	WD03
ELEVATIONS FRONT & LEFT	WD04
ELEVATIONS REAR & RIGHT	WD05
SECTION	WD06
FOUNDATION AND FLOOR FRAMING PLANS	WD07
FOOTING DETAILS	WD08
ROOF FRAMING PLAN	WD09
STRUCTURAL NOTES	WD10
PERSPECTIVES	WD11



WE HEREBY CERTIFY THE FOUNDATION DETAILS  
AS SHOWN ON THESE DRAWINGS FOR  
CONSTRUCTION IN WIND CLASSIFICATION **N3**

DATE  
**22-02-19**

**C.M.G. CONSULTING ENGINEERS** PTY. LTD. | 208 BUCHAN ST., CAIRNS QLD. 4870  
A.C.N. 011 065 375 | PH. (07) 4031 2775 FAX. (07) 4031 9013

PROJECT: <b>LLOYD STOCKDALE</b>	DATE: 07/12/18
3244 Mareeba Dimbulah Road Mutchilba 4872	SCALE: AS SHOWN ON 'A3' SHEET
	DRAWING TITLE: <b>COVER PAGE</b>
JOB No. <b>391</b>	SHEET No. <b>WD01</b>
	ISSUE

phone: 0428 294 235 EDMONTON 4869. QUEENSLAND

**GREGORY G TERZI** Associate Diploma Architectural Technology **Building Design & Drafting**

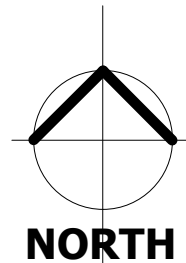
-Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-

**GENERAL NOTES:**

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DRAWINGS AND SPECIFICATIONS.
2. ALL BUILDING WORK SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA, LOCAL AUTHORITY REGULATIONS AND ALL RELEVANT AUSTRALIAN STANDARDS.
3. DO NOT SCALE FROM DRAWING - ALL DISCREPANCY DIRECTLY TO SUPERINTENDENT.
4. THE BUILDER IS RESPONSIBLE FOR THE WATERTIGHTNESS OF THE BUILDING AND MUST PROVIDE FLASHINGS AND TANKING AND DAMP PROOF COURSING REQUIRED TO PREVENT MOISTURE ENTERING THE BUILDING.
5. ALL EXISTING SERVICES SHOWN ARE TO BE LOCATED ON SITE BY THE BUILDER PRIOR TO CONSTRUCTION. SERVICES SHOWN ON DRAWINGS ARE APPROXIMATE POSITION ONLY.
6. CONSTRUCTION OF THE STAIR HANDRAILS AND BALUSTRADES TO COMPLY WITH BCA 02.16 AND 02.17. DOOR LATCHES TO COMPLY WITH BCA 02.21.
7. REFER STRUCTURAL DRAWINGS FOR CONCRETE STRUCTURE, SLAB AND FOOTING DETAILS.
8. BUILDER TO PROVIDE ALL SUPPORT MEMBERS NOT NECESSARY SHOWN ON DRAWING. ALL FLASHING, CLADDING, ROOFING, LININGS AND THE LIKE.
9. ALL EXTERNAL METALWORK SHALL BE GALVANIZED IN ACCORDANCE WITH AUSTRALIAN STANDARDS UNLESS OTHERWISE NOTED.
10. ALL LEVELS INDICATED ARE BASED ON SURVEY INFORMATION AND ARE SUBJECT TO CONFIRMATION ON SITE.
11. ALL EXISTING SERVICES INDICATED ARE BASED ON INFORMATION SUPPLIED BY OTHERS AND SHOULD BE LOCATED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS.
12. WATER STOP ALUMINIUM ANGLES TO ALL WET AREA DOORWAYS INCLUDING BATHROOMS, TOILETS AND LAUNDRIES AS PER BCA PART 3.8.1.8(c)(ii)
13. DOWNPIPES MUST NOT SERVE MORE THAN 12M OF GUTTER LENGTH FOR EACH DOWNPIPE AND BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AS PER BCA PART 3.5.2.5

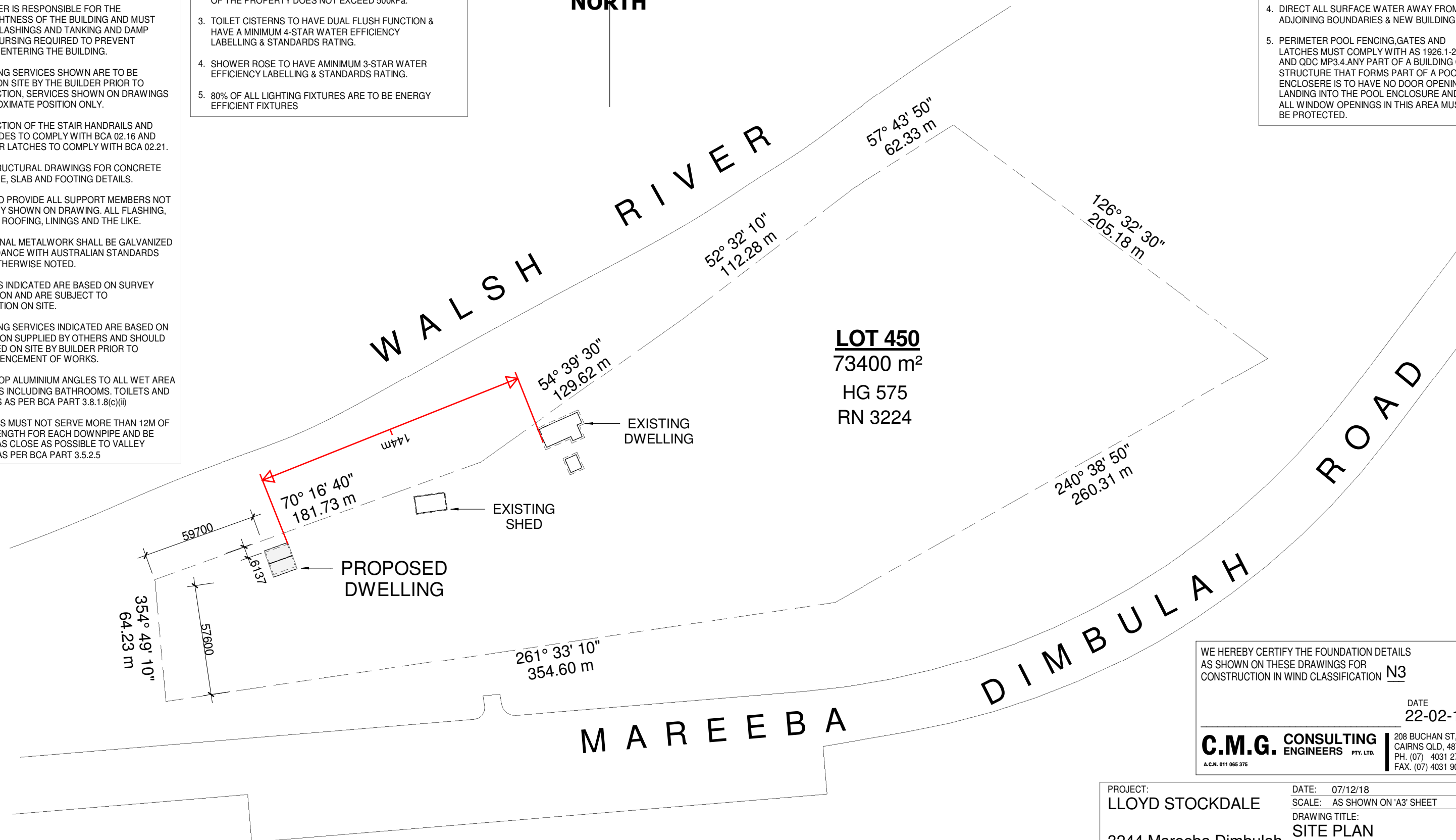
**SUSTAINABLE HOUSING NOTE:**

1. HOT WATER SYSTEM TO BE GAS HOT WATER SYSTEM WITH A FIVE STAR RATING. OR EITHER A HEAT PUMP OR A SOLAR HOT WATER SYSTEM WITH APPROPRIATE RENEWABLE ENERGY CERTIFICATES.
2. THE WATER SUPPLIED TO THE DWELLING DOES NOT EXCEED THE PRESSURE LEVELS SET OUT IN AS/NZS 3500.1-2003 AND IF MAINS PRESSURE EXCEEDS 500kPa A WATER PRESSURE LIMITING DEVICE WILL BE INSTALLED TO ENSURE THAT THE MAX. OPERATING PRESSURE AT ANY OUTLET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500kPa.
3. TOILET CISTERNS TO HAVE DUAL FLUSH FUNCTION & HAVE A MINIMUM 4-STAR WATER EFFICIENCY LABELLING & STANDARDS RATING.
4. SHOWER ROSE TO HAVE AMINIMUM 3-STAR WATER EFFICIENCY LABELLING & STANDARDS RATING.
5. 80% OF ALL LIGHTING FIXTURES ARE TO BE ENERGY EFFICIENT FIXTURES



**SITE GENERAL NOTES:**

1. DIRECT ALL SURFACE WATER AWAY FROM ADJOINING BOUNDARIES & NEW BUILDING
2. REVEGETATE ALL BATTERS BY OWNERS AGENT ON COMPLETION OF SITE WORKS. CUT BATTER AT 1:1 MAX. FILL BATTER AT 1:2
3. DISCHARGE STORMWATER TO KERB & CHANNEL IN 90 DIAM. U.P.V.C. LINES IF NO KERB EXISTS, SPLASH PADS AT BASE OF ALL DOWN PIPES
4. DIRECT ALL SURFACE WATER AWAY FROM ADJOINING BOUNDARIES & NEW BUILDING
5. PERIMETER POOL FENCING, GATES AND LATCHES MUST COMPLY WITH AS 1926.1-2007 AND QDC MP3.4. ANY PART OF A BUILDING OR STRUCTURE THAT FORMS PART OF A POOL ENCLOSURE IS TO HAVE NO DOOR OPENINGS LANDING INTO THE POOL ENCLOSURE AND ALL WINDOW OPENINGS IN THIS AREA MUST BE PROTECTED.



WE HEREBY CERTIFY THE FOUNDATION DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **N3**

DATE: 22-02-19

**C.M.G. CONSULTING ENGINEERS** PTY. LTD.  
 A.C.N. 011 065 375

208 BUCHAN ST., CAIRNS QLD. 4870  
 PH. (07) 4031 2775  
 FAX. (07) 4031 9013

PROJECT: LLOYD STOCKDALE  
 3244 Mareeba Dimbulah Road Mutchilba 4872

DATE: 07/12/18  
 SCALE: AS SHOWN ON 'A3' SHEET  
 DRAWING TITLE: **SITE PLAN**

JOB No.	SHEET No.	ISSUE
391	WD02	

phone: 0428 294 235 EDMONTON 4869. QUEENSLAND

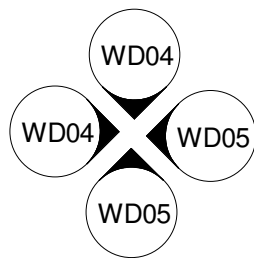
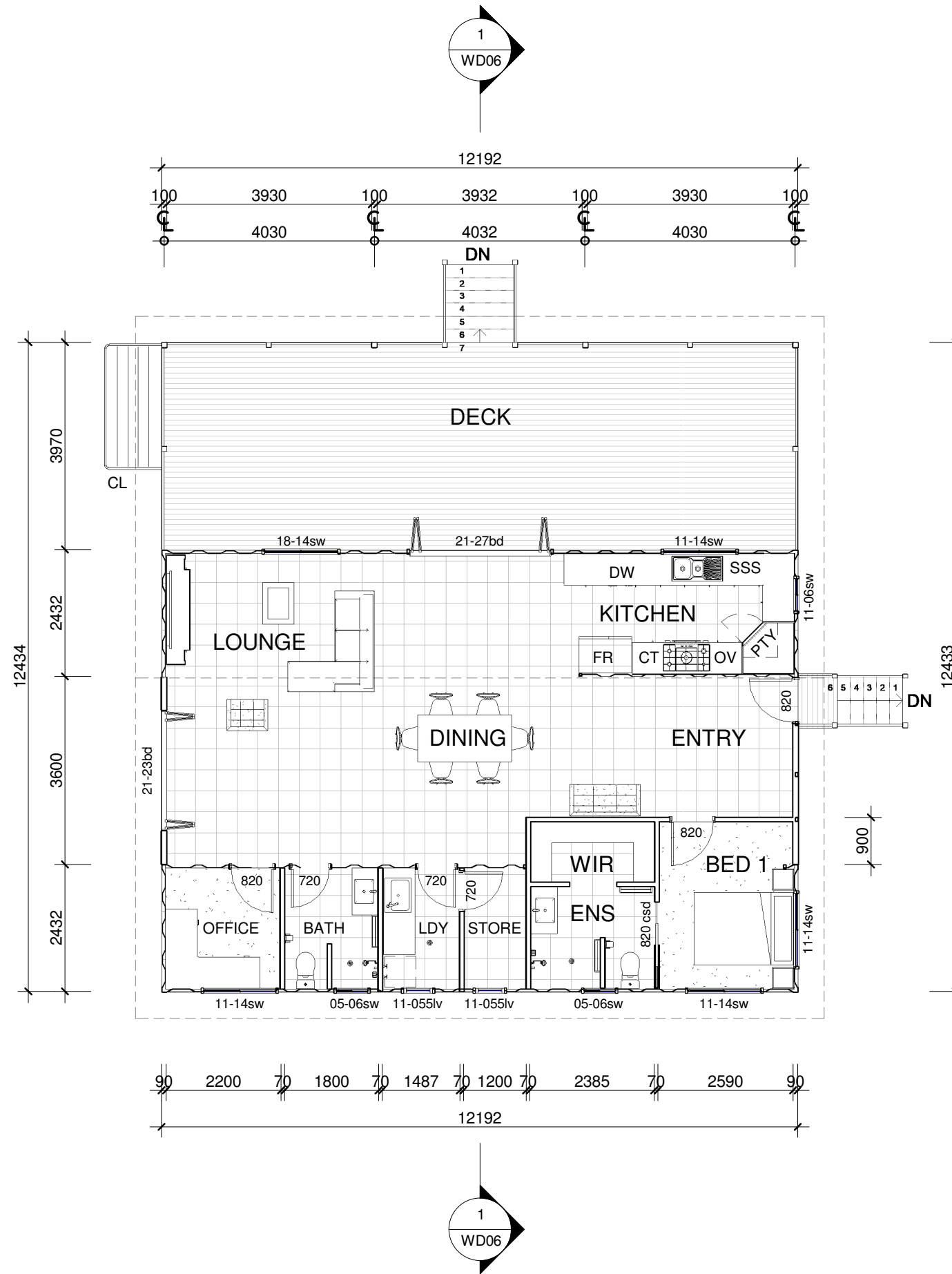
**GREGORY G TERZI** Associate Diploma Architectural Technology **Building Design & Drafting**  
 -Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-

**1 SITE PLAN**  
 1 : 2000

Window Schedule			
No.	Type	Height	Width
1	11-06sw	1050	566
2	11-14sw	1050	1350
3	11-14sw	1050	1350
4	05-06sw	450	550
5	11-055lv	1100	550
6	11-055lv	1100	550
7	05-06sw	450	550
8	11-14sw	1050	1350
9	18-14sw	1750	1350
10	11-14sw	1050	1350

Door Schedule			
No.	Type	Height	Width
1	820	2040	820
2	21-23bd	2160	2300
3	21-27bd	2160	2700
4	820	2040	820
5	820 csd	2060	820
6	720	2040	720
7	720	2040	720
8	720	2040	720
9	820	2040	820

LEGEND	
AC	AIR CONDITIONER
ACU	AC CONDENSER UNIT
BA	BALUSTRADE
BT	BATH TUB
CL	CLOTHES LINE
COS	CHECK ON SITE
DP	DOWNPIPE
DW	DISHWASHER
ENS	ENSUITE
FW	FLOOR WASTE
FWG	FLOOR WASTE GULLY
GT	GARDEN TAP
HB	HAND BASIN
HD	HANDRAIL
HWS	HOT WATER SYSTEM
LT	LAUNDRY TUB
MB	METER BOX
MH	CEILING MANHOLE LOCATION
OCB	OVERHEAD CUPBOARD
OV	OVEN
PBD	PLASTER BOARD
PF	PAINT FINISH
RH	RANGE HOOD
SA	SMOKE ALARM
SD	SOAP DISH
SHR	SHOWER
TPH	TOILET PAPER ROLL HOLDER
TR	TOWEL RAIL
TRN	TOWEL RING
WHB	WALL HUNG BASIN
WIP	WALK IN PANTRY
WIR	WALK IN ROBE
WM	WASHING MACHINE



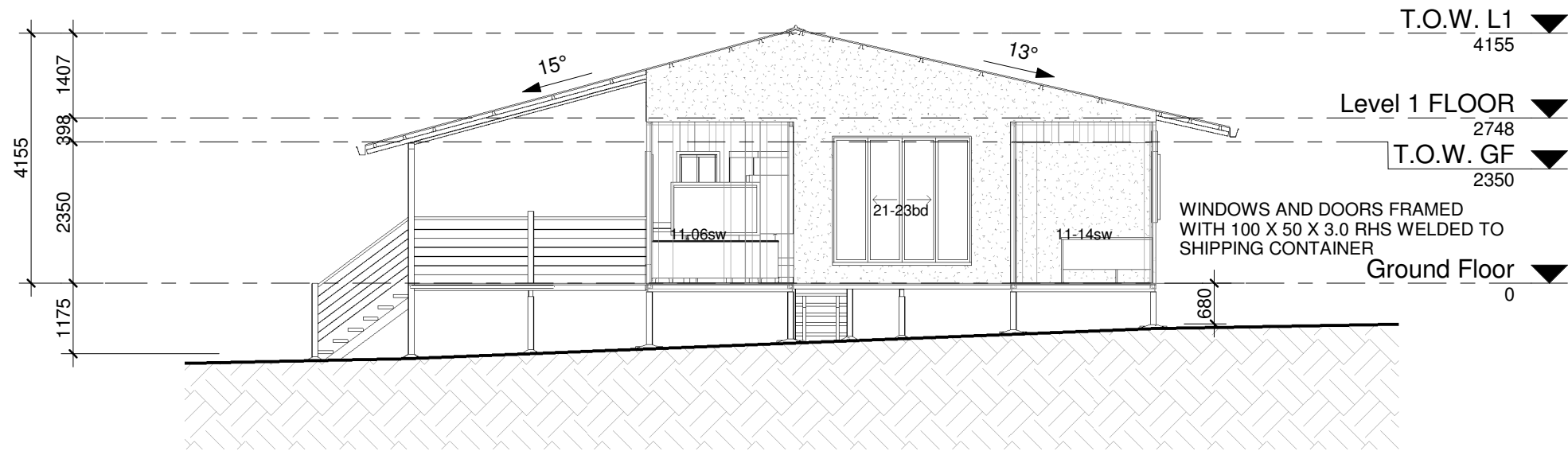
**1** GROUND FLOOR PLAN  
1 : 100

WE HEREBY CERTIFY THE FOUNDATION DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **N3**

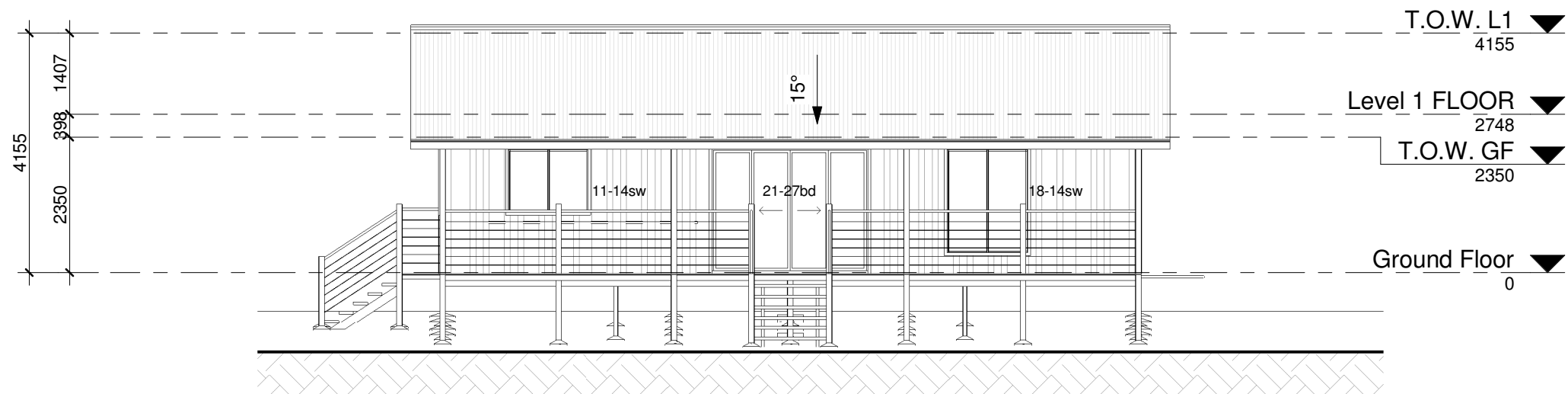
DATE  
22-02-19

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A.C.N. 011 065 375 | 208 BUCHAN ST., CAIRNS QLD. 4870  
PH. (07) 4031 2775 FAX. (07) 4031 9013

PROJECT: <b>LLOYD STOCKDALE</b> 3244 Mareeba Dimbulah Road Mutchilba 4872	DATE: 07/12/18 SCALE: AS SHOWN ON 'A3' SHEET DRAWING TITLE: <b>GROUND FLOOR PLAN</b>	JOB No. <b>391</b>	SHEET No. <b>WD03</b>	ISSUE
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1 Front Elevation  
1 : 100



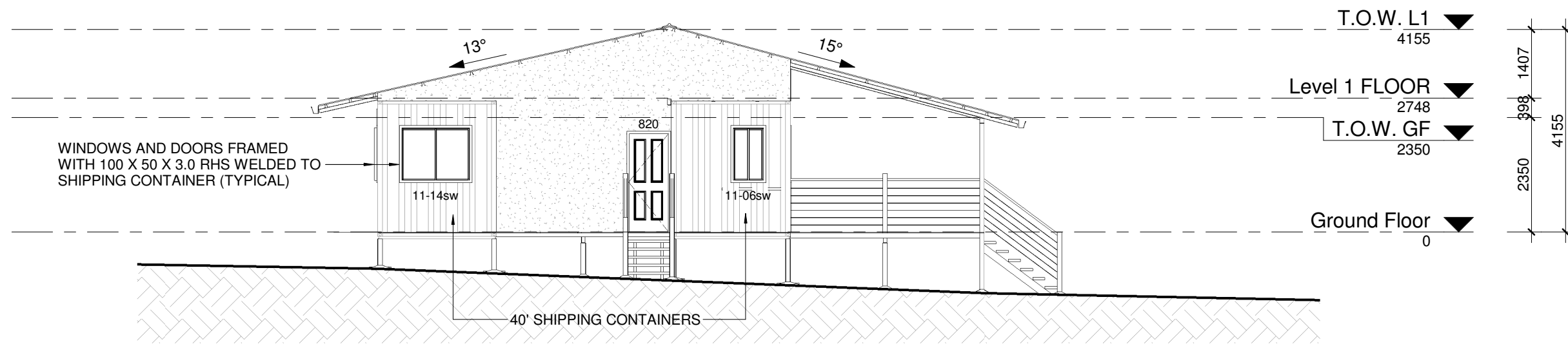
2 Left Elevation  
1 : 100

WE HEREBY CERTIFY THE FOUNDATION DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **N3**

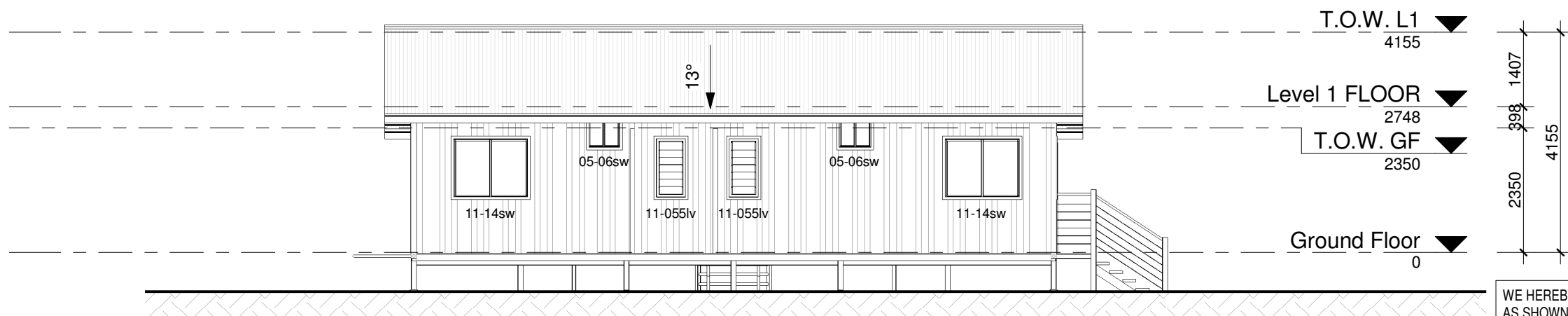
DATE  
22-02-19

**C.M.G. CONSULTING ENGINEERS** PTY. LTD. | 208 BUCHAN ST., CAIRNS QLD, 4870  
A.C.N. 011 065 375 | PH. (07) 4031 2775 FAX. (07) 4031 9013

PROJECT: <b>LLOYD STOCKDALE</b> 3244 Mareeba Dimbulah Road Mutchilba 4872	DATE: 07/12/18 SCALE: AS SHOWN ON 'A3' SHEET DRAWING TITLE: <b>ELEVATIONS FRONT &amp; LEFT</b>	JOB No. <b>391</b>	SHEET No. <b>WD04</b>	ISSUE
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1 Rear Elevation  
1 : 100



2 Right Elevation  
1 : 100

WE HEREBY CERTIFY THE FOUNDATION DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **N3**

DATE: 22-02-19

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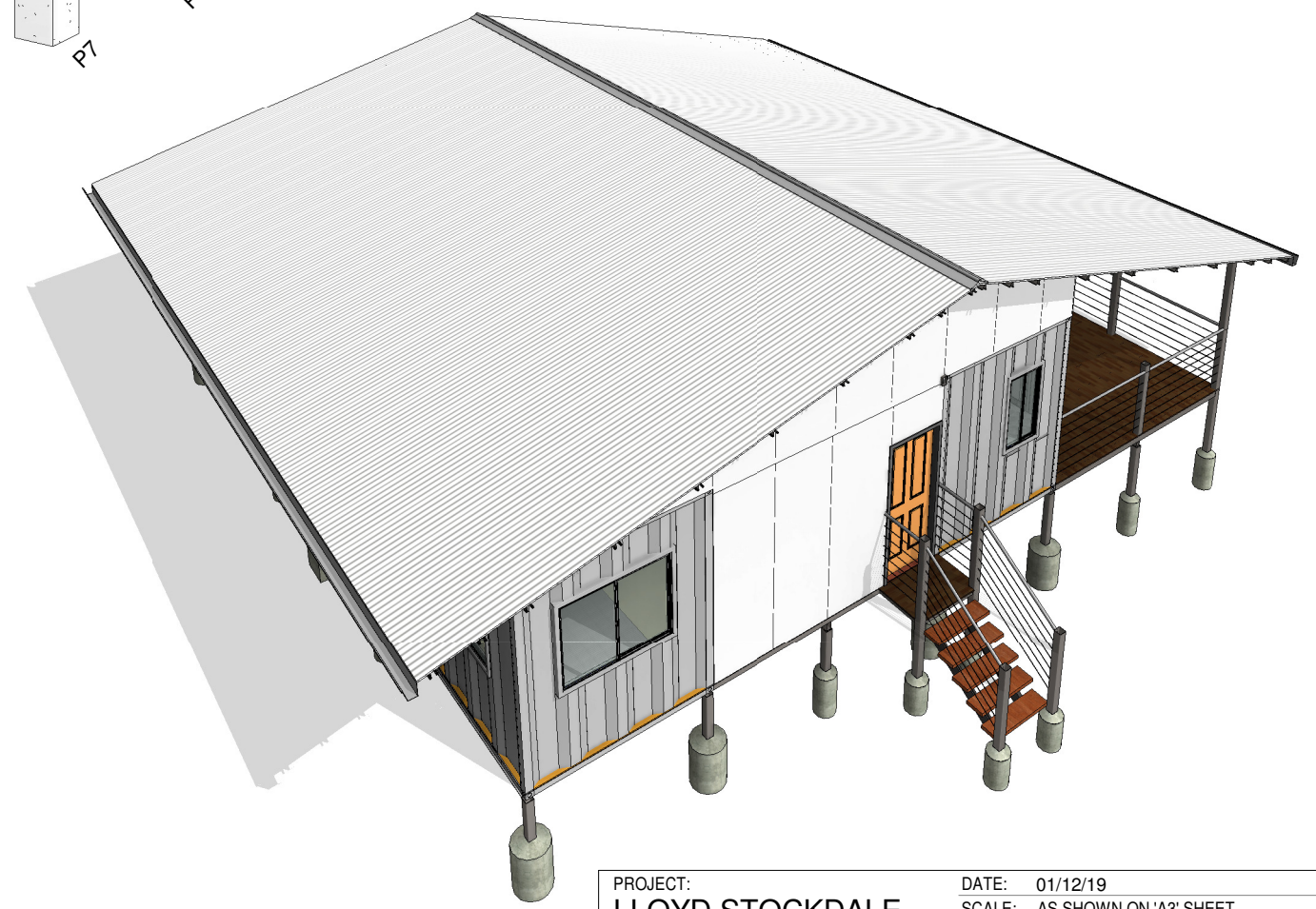
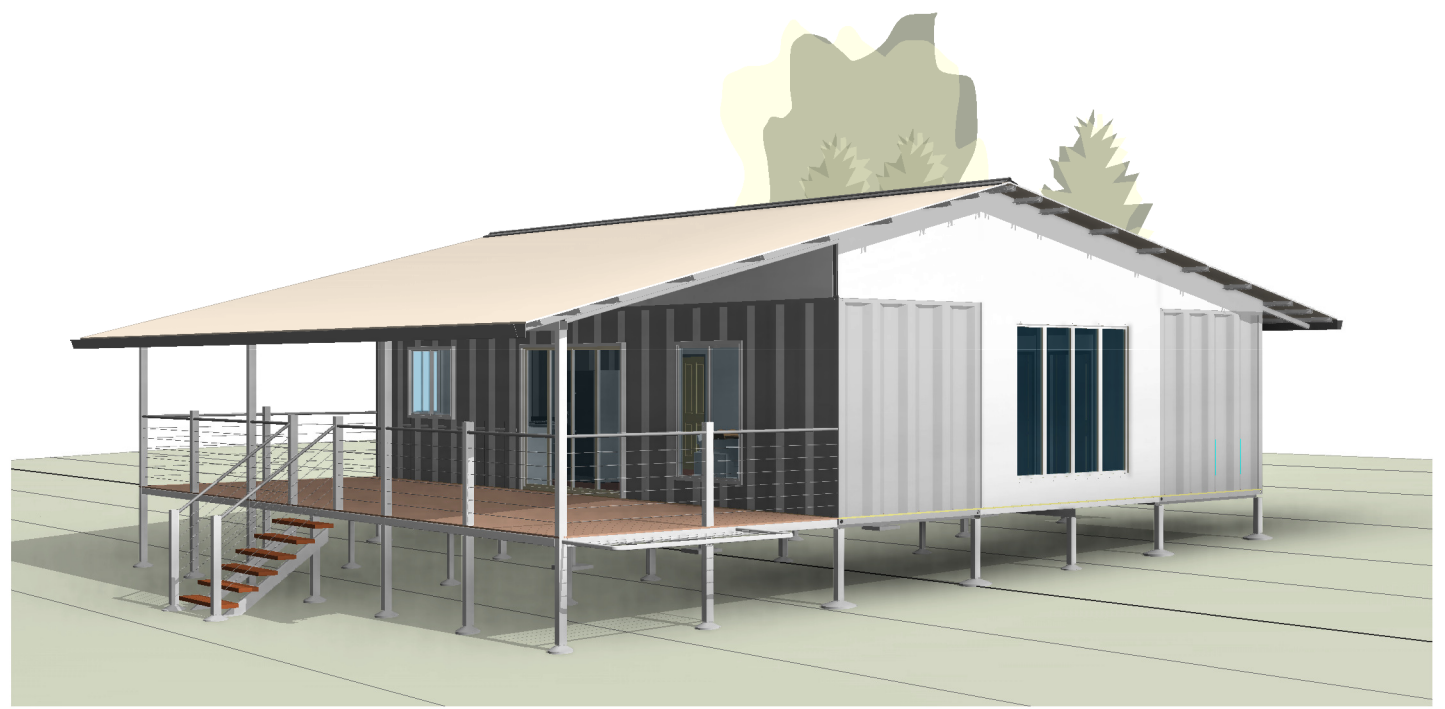
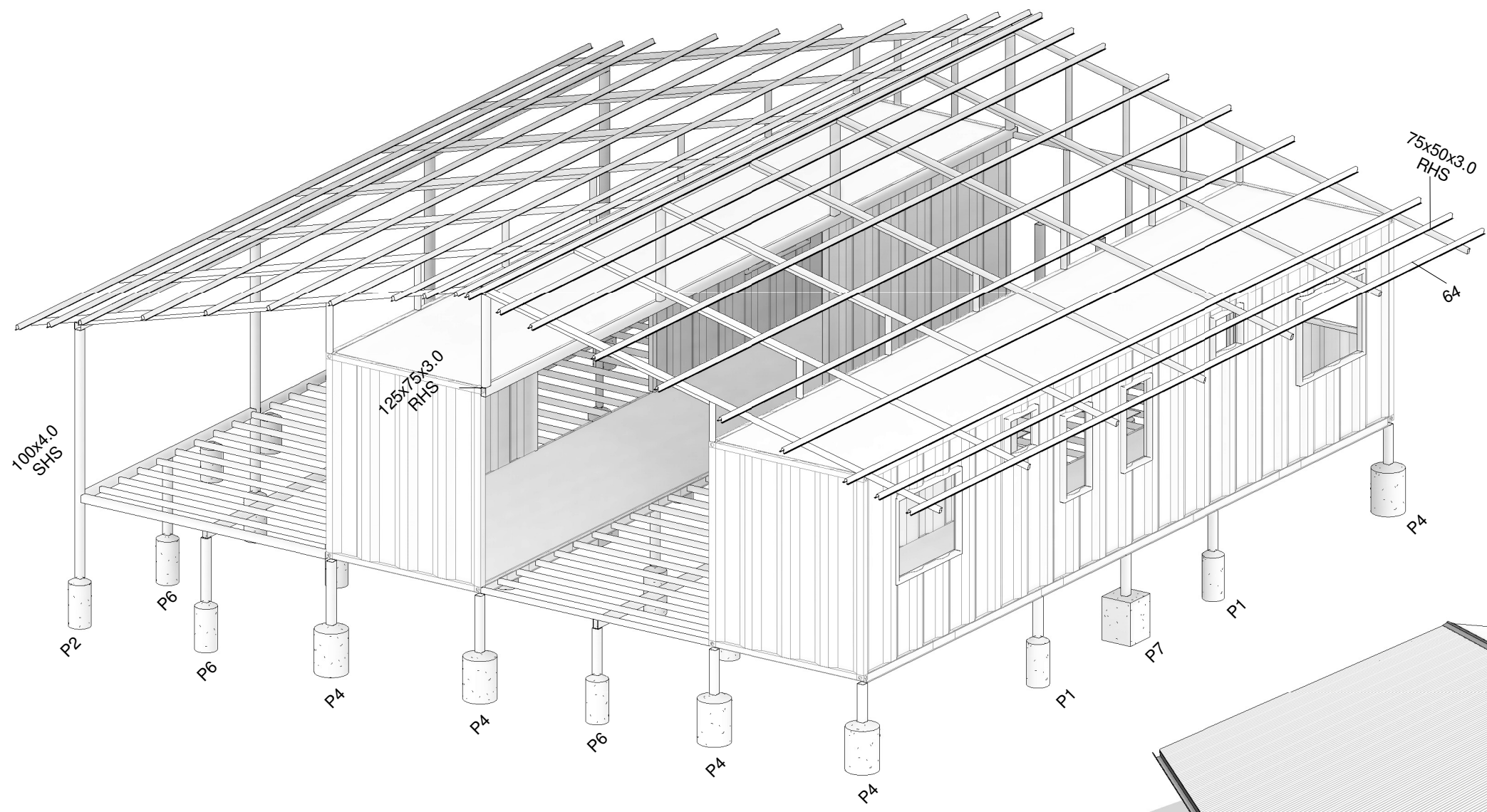
PROJECT: <b>LLOYD STOCKDALE</b> 3244 Mareeba Dimbulah Road Mutchilba 4872	DATE: 07/12/18 SCALE: AS SHOWN ON 'A3' SHEET DRAWING TITLE: <b>ELEVATIONS REAR &amp; RIGHT</b>	JOB No. <b>391</b>	SHEET No. <b>WD05</b>	ISSUE
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WE HEREBY CERTIFY THE FOUNDATION DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **N3**

DATE  
22-02-19

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phone: 0428 294 235 EDMONTON 4869. QUEENSLAND  
**GREGORY G TERZI** Associate Diploma Architectural Technology **Building Design & Drafting**  
-Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-

PROJECT: **LLOYD STOCKDALE**  
3244 Mareeba Dimbulah Road Mutchilba 4872  
DATE: 01/12/19  
SCALE: AS SHOWN ON 'A3' SHEET  
DRAWING TITLE: **PERSPECTIVES**  
JOB No. 391 SHEET No. WD11 ISSUE