

From: Kristy Gilvear
Sent: 18 Apr 2019 12:38:49 +1000
To: Planning (Shared); Brian Millard; Carl Ewin
Cc: Josh Maunder
Subject: J000899 Ngoonbi: Application for Expansion to Low Impact Industry - 36 Coondoo Street, Kuranda - Application lodgement
Attachments: DA Form 1.pdf, 20190418 Coondoo Street Shed - Planning Report V2.pdf

Good afternoon,

Gilvear Planning Pty Ltd has been engaged by the owner of property at 36 Coondoo Street, Ngoonbi Community Services Indigenous Corporation, to prepare and lodge an Application for expansion to an existing low impact industry use (mechanics workshop) with Mareeba Shire Council.

I note Josh Maunder of our office discussed same briefly with Brian yesterday.

By way of submission, please find attached:

1. DA Form 1; and
2. Planning report including attachments.

I would be grateful if Council could raise an invoice for the Application fee payable, and send same by return so that we can arrange payment as soon as possible.

Should any additional information be required, please call or email.

Thanks and regards,
Kristy

Kristy Gilvear **DIRECTOR**

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DA Form 1 – Development application details

Approved form (version 1.1 effective 22 JUNE 2018) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Ngoonbi Community Services Indigenous Corporation ICN8275
Contact name (only applicable for companies)	C/- Kristy Gilvear, Gilvear Planning Pty Ltd
Postal address (P.O. Box or street address)	PO Box 228
Suburb	BABINDA
State	QLD
Postcode	4861
Country	Australia
Contact number	0448 897 991
Email address (non-mandatory)	kristy@gilvearplanning.com.au
Mobile number (non-mandatory)	0448 897 991
Fax number (non-mandatory)	N/A
Applicant's reference number(s) (if applicable)	J000899:NGO:KLG

2) Owner's consent
2.1) Is written consent of the owner required for this development application?
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application
<input checked="" type="checkbox"/> No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

☒ Street address **AND** lot on plan (all lots must be listed), **or**

☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		36	Coondoo Street	Kuranda
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4881	714	NR7409	Mareeba Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

☐ Additional premises are relevant to this development application and their details have been attached in a schedule to this application

☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Expansion of an existing Low Impact Industry land use (Mechanics Workshop)

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Expansion to an existing mechanics workshop, via a shed being constructed over an existing hardstand area with minimal expansion	Low Impact Industry	N/A	81sq m (addition)

8.2) Does the proposed use involve the use of existing buildings on the premises?

<input type="checkbox"/> Yes		
<input checked="" type="checkbox"/> No		

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

10) Subdivision**10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- ☐ Yes – provide additional details below
- ☐ No

How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

- | | | |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: <table border="1" style="display: inline-table; width: 300px; height: 20px;"></table> | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

☐ Yes – specify number of new lots:

☐ No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mareeba Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Do any aspects of the proposed development require referral for any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☐ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Regulation 2017:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☒ Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure – designated premises
- ☐ Infrastructure – state transport infrastructure
- ☐ Infrastructure – state transport corridors and future state transport corridors
- ☐ Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure – near a state-controlled road intersection
- ☐ On Brisbane core port land near a State transport corridor or future State transport corridor
- ☐ On Brisbane core port land – ERA
- ☐ On Brisbane core port land – tidal works or work in a coastal management district
- ☐ On Brisbane core port land – hazardous chemical facility
- ☐ On Brisbane core port land – taking or interfering with water
- ☐ On Brisbane core port land – referable dams
- ☐ On Brisbane core port land - fisheries
- ☐ Land within Port of Brisbane's port limits
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – construction of new levees or modification of existing levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- ☐ Local heritage places

Matters requiring referral to the chief executive of the distribution entity or transmission entity : <input type="checkbox"/> Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council : <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the Minister under the <i>Transport Infrastructure Act 1994</i> : <input type="checkbox"/> Brisbane core port land (inconsistent with Brisbane port LUP for transport reasons) <input type="checkbox"/> Strategic port land
Matters requiring referral to the relevant port operator : <input type="checkbox"/> Land within Port of Brisbane's port limits (below high-water mark)
Matters requiring referral to the Chief Executive of the relevant port authority : <input type="checkbox"/> Land within limits of another port (below high-water mark)
Matters requiring referral to the Gold Coast Waterways Authority : <input type="checkbox"/> Tidal works, or work in a coastal management district in Gold Coast waters
Matters requiring referral to the Queensland Fire and Emergency Service : <input type="checkbox"/> Tidal works marina (<i>more than six vessel berths</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application Note: By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. Further advice about information requests is contained in the <u>DA Forms Guide</u> .

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☐ Yes – provide details below or include details in a schedule to this development application
☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala conservation

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes

☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
- ☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☒ Yes – details of the heritage place are provided in the table below
- ☐ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:	Coondoo Street	Place ID:	650081
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
- ☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- ☒ No

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of DA Form 2 – <i>Building work details</i> have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 21</i>)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.</p> <p>Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, Planning Regulation 2017 and the DA Rules except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

PART 9 – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	

Relevant licence number(s) of chosen assessment manager	
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QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	



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Planning Report

Material Change of Use – Expansion of Low Impact
Industry (Mechanics Workshop)

Lot 714 on Plan NR7409, 36 Coondoo Street,
Kuranda

gilvearplanning.com.au

Prepared for: Ngoonbi Community Services Indigenous Corporation

Our Reference	J000899: NGO: KLG
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Site	Lot 714 on Plan NR7409 36 Coondoo Street, Kuranda
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Date	18 April 2019
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This Report has been prepared for Ngoonbi Community Services Indigenous Corporation for the sole purpose of making a Development Application seeking a Development Permit for Material Change of Use on land at Coondoo Street, Kuranda. This report is strictly limited to the purpose, and facts and circumstances stated within. It is not to be utilized for any other purpose, use, matter or application.

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- a) That all information and documents provided to us by the Client or as a result of a specific search or enquiry were complete, accurate and up to date;
- b) That information obtained as a result of a search of a government register or database is complete and accurate.

Gilvear Planning is not aware of any particular fact or circumstance, which would render these assumptions incorrect, as at the date of preparation of the Report.

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Signed on behalf of

Gilvear Planning Pty Ltd



Kristy Gilvear
DIRECTOR
18 April 2019

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1.0 Introduction

This report has been prepared on behalf of Ngonbi Community Services Indigenous Corporation (the applicant) in support of a Development Application to the Mareeba Shire Council, seeking a Development Permit for the Material Change of Use for the purpose of an expansion of Low Impact Industry (Mechanics Workshop) on land at 36 Coondoo Street, Kuranda and described as Lot 714 on Plan NR7409 (the site).

The site is a single parcel of land located at 36 Coondoo Street, Kuranda with an area of 1,012m². The site is improved by existing development comprising a main administration and office building and a mechanics workshop. A small portion of mature vegetation exists at the rear of the site. Access to the site is via an existing driveway on Coondoo Street.

The applicant seeks to construct a shed on an existing hard stand pad to support the expansion of existing site activities (mechanics workshop). The shed will be located at the rear of the site and be adjacent to existing workshop facilities. Minor expansion of the hard stand pad and minor fill activities on the western boundary will be undertaken to provide structural surety.

The site is identified in the Mareeba Shire Council Planning Scheme 2016 (as amended) as being within the Centre Zone and within the Kuranda Local Plan Precinct (Village Heart). The site is affected by the Airport Environs, Scenic Amenity and Heritage Overlay Codes. Coondoo Street is mapped as a State Heritage Place.

The application is identified in the Table of Assessment for the Centre Zone as Code Assessable.

Having regard the site, intensity of development proposed, land uses on surrounding allotments, setbacks from adjoining uses and the amenity of the area generally, it is considered that proposed development will not significantly or detrimentally impact the amenity of the area. In those circumstances, the application is respectfully commended for approval subject to the imposition of reasonable and relevant conditions.

2.0 Summary

PROPOSAL SUMMARY

Address:	36 Coondoo Street Kuranda
Real Property Description:	Lot 714 on Plan NR7409 – Refer Title Search Attachment 1
Site Area/Frontage:	1,012m ² Approximately 20.5m to Coondoo Street
Owners:	Ngoonbi Community Services Indigenous Corporation ICN8275
Easements & Encumbrances:	Nil
Proposal:	Expansion of Low Impact Industry (Mechanics Workshop)
Approvals Sought:	Development Permit for Material Change of Use
Level of Assessment:	Code Assessment
Zone:	Centre Zone
Overlays (Precincts):	<ul style="list-style-type: none">• Airport Environs Overlay• Scenic Amenity Overlay• Heritage Overlay
Local Area Plan (Precincts):	Kuranda Local Plan (Village Heart Precinct)
Regional Plan Designation:	Urban Area
State Interests – State Planning Policy:	<ul style="list-style-type: none">• Cultural Heritage• Strategic Airports and Aviation
State Interests – SARA Mapping:	<ul style="list-style-type: none">• Water Resource Planning Area• Queensland Heritage Place (Coondoo Street)
Referral Agencies:	Department of State Development, Manufacturing, Infrastructure and Planning Schedule 10, Part 8, Division 2, Subdivision 3, Table 1 Fee payable - \$1,619
State Development Assessment Provisions:	State Code 14: Heritage

3.0 Site Description

The site is a single parcel of land located at 36 Coondoo Street, Kuranda with an area of 1,012m² on land formally identified as Lot 714 on Plan NR7409. The site is improved by existing development comprising a main administration and office building and a vehicle workshop. A small portion of mature vegetation exists at the rear of the site.

The northern boundary of the site has a frontage of approximately 20.5m to Coondoo Street. Access to the site is via an existing driveway located on Coondoo street. The site is bound by the Barron Falls Hotel to the west, a Telstra communications infrastructure facility to the east and a small private residence to the rear.

The site is improved by existing development comprising a main administration and office building and a vehicle workshop. The main administration and office building is developed along the frontage of Coondoo Street with vehicle workshop facilities located to the rear. The vehicle workshop facilities comprise enclosed sheds and external hard stand pads.

The site is located within the urban area of Kuranda. The St Christopher Church is located to the south with the Kuranda Railway Line to the east.



Image 1: Site Boundary shown in blue (Source: Queensland Globe).

4.0 Proposal

The applicant proposes to construct a shed atop an existing hard stand pad for the purpose of providing expanded mechanic workshop facilities. The proposed shed has a height of 6.4m, depth of 7.5m, width of 10.8m and an area of 81m². The proposed shed will be located adjacent to an existing shed at the rear of the site. The shed will be enclosed and be constructed with similar materials and in similar colours to the existing mechanic workshop. Minor fill works and a partial extension to the existing hard stand pad will be undertaken to provide structural surety.

Proposal plans, including preliminary servicing plans are included in [Attachment 2](#). Key features of the proposal are summarised in the following table:

ELEMENT / PROVISION	PROPOSAL
Site Area:	1,012m ²
Frontage:	Approximately 20.5m to Coondoo Street
Height (m/storey)	6.4 metres
Setbacks	
- Front	Approximately 33.9m
- Eastern Side	Approximately 1.5m
- Rear	Approximately 6.5m
- Western Side	Approximately 1.25m
Access:	Via Coondoo Street (existing driveway)
Sewer:	Existing connection. Unchanged.
Water:	Existing connection. Unchanged.
Stormwater:	Existing connection. Unchanged.
Parking	5 informal spaces on-site. 7 on Coondoo Street

5.0 Statutory Planning Considerations

This section provides an overview of the legislative context of the application under the provisions of the *Planning Act 2016*.

5.1 Planning Act 2016

5.1.1 Confirmation of Development

The proposed development is not prohibited. This has been established by considering all relevant instruments, which can provide prohibitions under the *Planning Act 2016* (the Act), including:

- Schedule 10 of the *Planning Regulation 2017*; and
- Relevant categorising instruments.

5.1.2 Assessable Development

The Act identifies that Assessable Development is development for which a development approval is required. As such, the development proposed by this application is made assessable under the Mareeba Shire Council Planning Scheme 2016 (as amended), as a categorising instrument in accordance with Section 43(1) of the Act.

5.1.3 Assessment Manager

The table below summarises the assessable development subject to this application and the relevant level of assessment.

5.1.4 Level of Assessment

ASPECT OF DEVELOPMENT	PLANNING SCHEME REFERENCE	LEVEL OF ASSESSMENT
Material Change of Use for Low Impact Industry (Mechanics Workshop)	Table 5.5.1	Code Assessable

5.1.5 Statutory Considerations for Assessable Development

As the development is subject to Code Assessment the relevant considerations of the Assessment Manager in making the decision, pursuant to Section 60 of the Act, are outlined in Sections 45(3) and 26 to 28 of the *Planning Regulations 2017*. These are discussed further in section 6.0 and within the Code Compliance contained in [Attachments 4 and 4](#).

5.1.6 Referral Triggers

Pursuant to Schedule 10 of the *Planning Regulations 2017*, the following referral agencies are triggered for the application:

- The State Assessment and Referral Agency for Schedule 10, Part 8 – Heritage Places, Division 2,

Subdivision 3, Table 1.

5.1.7 State Resource

The proposal does not involve any State Resources.

5.1.8 Regional Plan

The subject site is within the Urban Area of the Far North Queensland Regional Plan. The proposal is for an expansion of Low Impact Industry (Mechanics Workshop) which is a suitable use. A detailed assessment of the proposal against the requirements of the Regional Plan is not considered necessary in this instance as the Regional Plan is appropriately reflected in the Planning Scheme.

5.1.9 State Planning Policy

The site is subject to the following State Interests of the State Planning Policy:

- Cultural Heritage
- Strategic Airports and Aviation

However, the State Planning Policy is appropriately reflected within the Mareeba Shire Planning Scheme and detailed consideration of the Policy is not required in this instance.

5.1.10 State Development Assessment Provisions

The application will require referral to the State Assessment and Referral Agency.

Applicable Modules	Comment
State Code 14: Heritage Places	<p>The proposed development does not impact on the identified Queensland Heritage Place. The identified place is the Kuranda Fig Tree Avenue (Reference 650081). The proposed shed is located to the rear of Lot 714 on Plan NR7409 approximately 33.9m from the frontage of Coondoo Street. There will be no impacts on the Kuranda Fig Tree Avenue as a result of the proposed development.</p> <p>The proposed development complies with all the relevant outcomes of the State Code.</p>

6.0 Local Planning Considerations

6.1 Mareeba Shire Planning Scheme

As per the Mareeba Shire Council Planning Scheme 2016 (as amended), the site is included within the Centre Zone and is affected by the Kuranda Local Plan Precinct. The site is also affected by the Airport Environs, Heritage and Scenic Amenity Overlays.

The application is Code Assessable. The following table outlines the relevant codes and provides a summary of the compliance with assessment benchmarks.

APPLICABLE CODES	LEVEL OF ASSESSMENT	COMPLIANCE SUMMARY
Centre Zone Code	Applicable	Complies with relevant Acceptable Outcomes. Where no Acceptable Outcome is provided, the application complies with the relevant Performance Outcomes.
Kuranda Local Plan Precinct Code	Applicable	Complies with relevant Acceptable Outcomes. Where no Acceptable Outcome is provided, the application complies with the relevant Performance Outcomes.
Airport Environs Overlay Code	Applicable	Complies with relevant Acceptable Outcomes. Where no Acceptable Outcome is provided, the application complies with the relevant Performance Outcomes.
Heritage Overlay Code	Applicable	<p>There are two identified local heritage places relevant to proposed shed The first is Coondoo Street itself and the second is 36 Coondoo Street (the site).</p> <p>36 Coondoo Street has heritage values associated with the Julli Bianna Building (Reference 7.11.4). The building is the main structure that fronts Coondoo Street. The proposed development involves no works on or that will impact the identified local heritage value.</p> <p>Coondoo Street has heritage values associated with the Kuranda Fig Tree Avenue (Reference 7.11.9). The proposed shed is located to the rear of Lot 714 on Plan NR7409 approximately 33.9m from the frontage of Coondoo Street. There will be no impacts on the Kuranda Fig Tree Avenue as a result of the proposed development.</p> <p>Complies with relevant Acceptable Outcomes. Where no Acceptable Outcome is provided, the application complies with the relevant Performance Outcomes.</p>
Scenic Amenity Overlay Code	Applicable	Complies with relevant Acceptable Outcomes. Where no Acceptable Outcome is provided, the application complies with the relevant Performance Outcomes.

Industry Activities Code	Applicable	Complies with relevant Acceptable Outcomes. Where no Acceptable Outcome is provided, the application complies with the relevant Performance Outcomes.
Landscaping Code	Applicable	Complies with the relevant Performance Outcomes. No landscaping is proposed. The site frontage is already developed. No changes to the site frontage are proposed. The proposed shed represents a minor expansion of existing low impact industry activities (mechanics workshop) which already occur at the site.
Parking and Access Code	Applicable	Parking and access arrangements for the site have previously been developed. No changes to the existing arrangements are proposed. The proposed shed represents a minor expansion of existing low impact industry activities (mechanics workshop) which already occur at the site.
Works, Services and Infrastructure Code	Applicable	Service and infrastructure arrangements for the site have been previously been developed. No changes to these arrangements are proposed. A small amount of fill works (approximately 15m ³) will be undertaken on the western boundary to provide structural surety for the shed. Were compliance with the specified Acceptable Outcome, compliance with the related Performance Outcome is.

6.2 Infrastructure Charges

The proposal requires assessment of any potential increase in “demand” upon Council’s infrastructure networks. Utilising Council’s Adopted Infrastructure Charges Resolution, it is anticipated that nominal charges applicable to current land uses would be as follows:

- New GFA = 81m²
- Infrastructure Charge Cost = \$30.00 per m².
- Charges = \$2,430.00.

7.0 Summary and Conclusions

This report has been prepared on behalf of Ngoonbi Community Services Indigenous Corporation (the applicant) in support of a Development Application to the Mareeba Shire Council, seeking a Development Permit for the Material Change of Use for the purpose of an expansion of Low Impact Industry (Mechanics Workshop) on land at 36 Coondoo Street, Kuranda and described as Lot 714 on Plan NR7409 (the site).

The application is Code Assessable, and it is considered that the proposed development generally complies with the Acceptable Outcomes of the relevant planning benchmarks and, where the development does not satisfy the Acceptable Outcomes, the Performance Outcomes can be achieved.

The proposed development is considered to be suitable use of the site and the site can contain the use. The application is therefore supported subject to reasonable and relevant conditions.

Attachment 1

Title Search

CURRENT TITLE SEARCH

NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 31052097

Search Date: 18/04/2019 07:53

Title Reference: 21017129

Date Created: 08/06/1976

Previous Title: 20727091

20727092

20727093

REGISTERED OWNER

Dealing No: 718069560 07/06/2017

NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION ICN
8275

ESTATE AND LAND

Estate in Fee Simple

LOT 714 CROWN PLAN NR7409
Local Government: MAREEBA

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 20092061 (ALLOT 14 SEC 7)
2. MORTGAGE No 718016654 11/05/2017 at 16:07
THE STATE OF QUEENSLAND
(REPRESENTED BY DEPARTMENT OF HOUSING AND PUBLIC WORKS)

ADMINISTRATIVE ADVICES - NIL

UNREGISTERED DEALINGS - NIL

CERTIFICATE OF TITLE ISSUED - No

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

COPYRIGHT THE STATE OF QUEENSLAND (NATURAL RESOURCES, MINES AND ENERGY) [2019]
Requested By: D-ENQ CITEC CONFIRM

Attachment 2

Proposal Plans

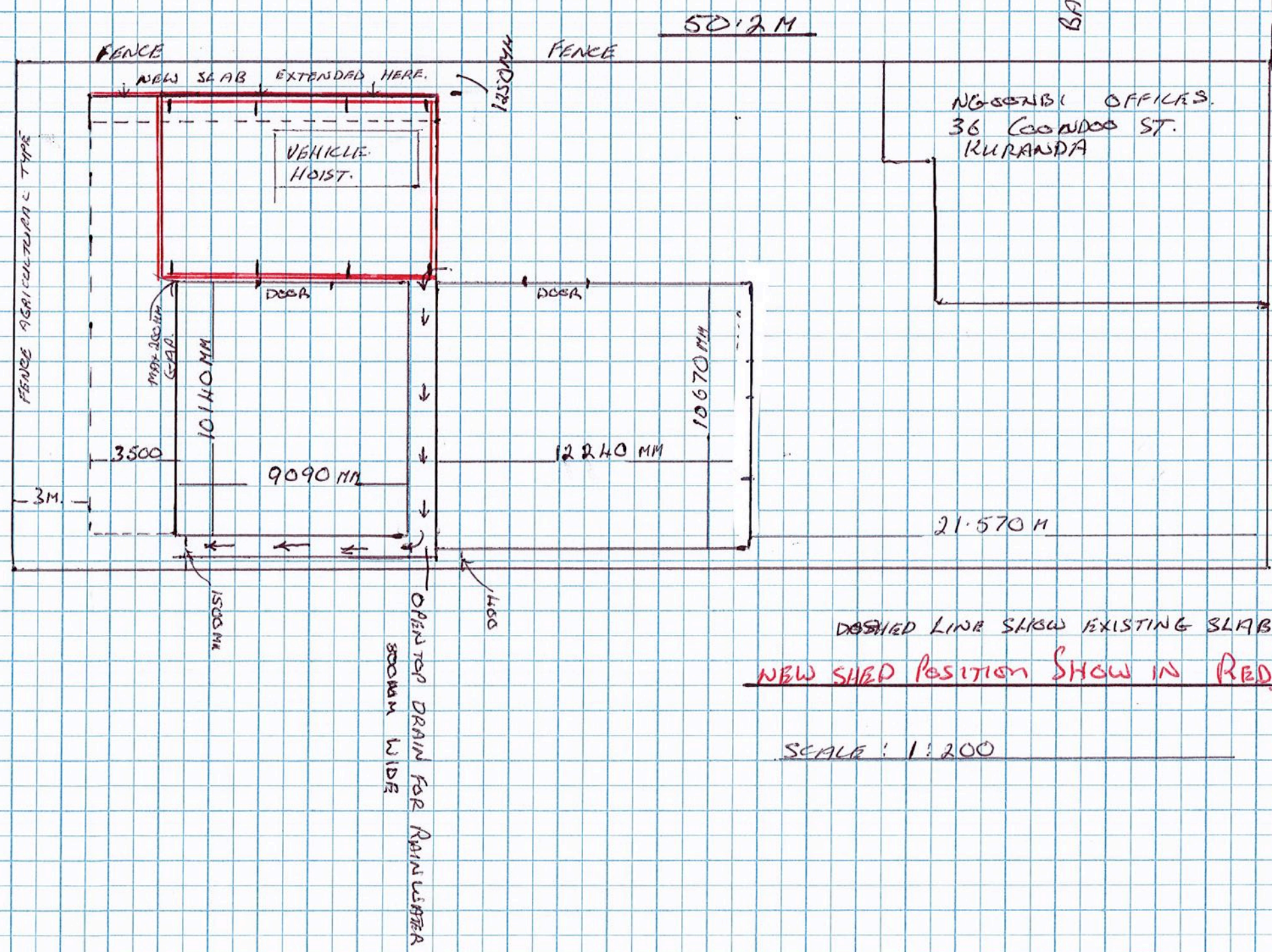
Site plan of proposed mechanics Shed at 36 Coondoo Street Kuranda. For Ngoonbi Community Services Indigenous Corporation



SITE PLAN FOR NEW PORTAL FRAME SHED AND ROOF
OVER EXISTING MECHANICS WORK AREA AND HOIST.
AT
36 COONDOS ST KURANDA FOR
NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION.

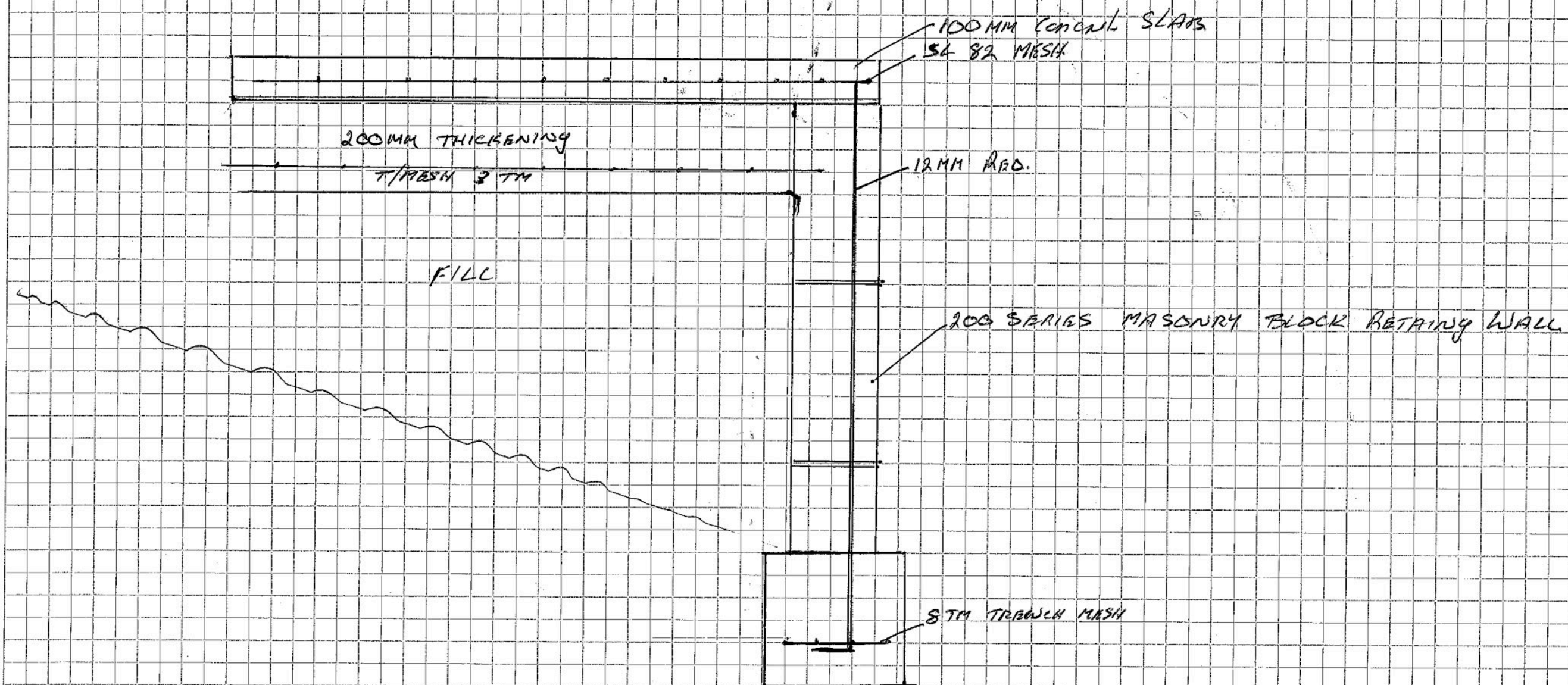
39 BARRAGE ST

20.1 M

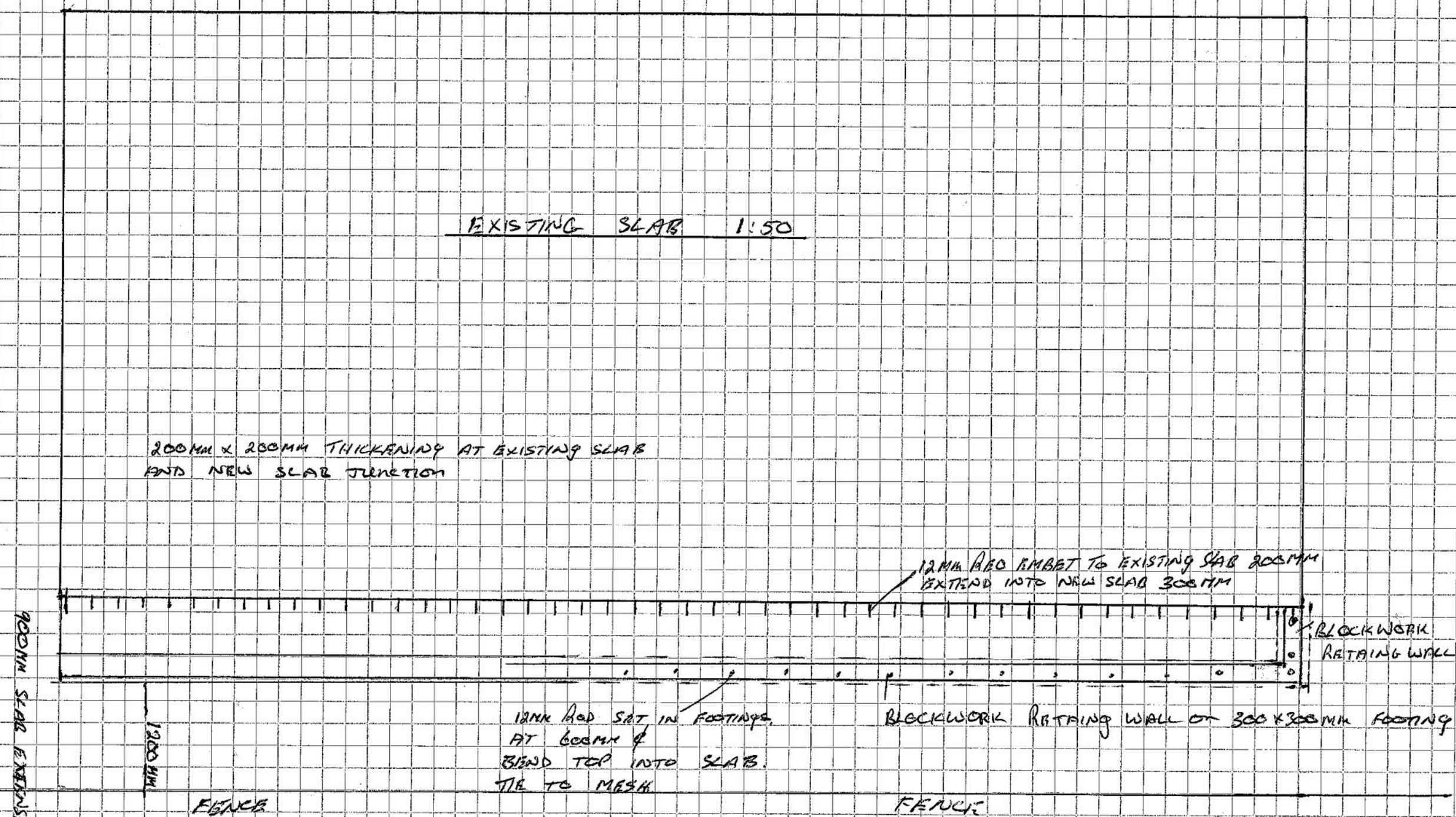


DASHED LINE SHOW EXISTING SLAB.
NEW SHED POSITION SHOW IN RED

SCALE : 1:200



MECHANICS SHED
36 COONDOO ST KURANDA.

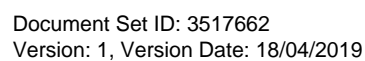


SLAB EXTENSION AND RETAINING WALL DETAIL

MECHANICS SHED 36 COONDOO STREET WURANDI

FOR

NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION



GENERAL NOTES

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

DESIGN CRITERIA

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

- The Purchaser/Owner is responsible for:
- *Provision of Soils Report for the site and in the building area on which the building is to be erected
 - *Site/Drainage Plans
 - *Any other plans not covered by these engineering plans requested by the local Council or the authority

BUILDING CONSTRUCTION REQUIREMENTS

The Purchaser/Owner is to be ensured that all building construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).

SLAB DETAILS - GENERAL

- * **The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan.** When the slab and piers are poured as one pour, the depth of the pier is to the bottom of the slab.
- * Pier Reinforcement: for any piers over 1100mm, deformed bar to within 100mm of base and minimum 75mm top cover. Minimum side cover 75mm, maximum 100mm. Rod to be caged horizontally at least twice and at a maximum of 300mm spacing.Tie with a minimum of 6mm diameter cage tie. Where pier diameter is less than 450mm diameter, use 4 N12. For diameters equal to and over 450mm, use 4 N16.

Concrete Slab

- * Shed design has the columns embeded into the concrete 600mm.
- * This measurement is from the top of the finished slab.
- * Pier and Slab design covers sites with a minimum of 100kPa safe bearing capacity soil classifications of A, S, M, H1 or H2 for a class 8 building.
- * The footing designs have been calculated with adhesion values of 0kPa, 25kPa and 50kPa for clay soils and dense sand soils only.

- * A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.
- * Site conditions different to those specified require a modified design.
- * Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.
- * Designs are in accordance with AS 3600:2009
- * All concrete to be in accordance with AS 3600:2009. Minimum 25 Mpa, with 80mm slump.
- * Concrete should be cured for 7 days before commencing construction of the building.
- * Refer to connection details.
- * Saw construction joints to be 25mm deep x 5mm wide. Saw cuttings shall take place no later than 24 hours after pouring. Saw construction joints to be placed at a maximum spacing of 6.3m (in both the length and the span). Care should be taken to avoid construction cuts intersecting where any fixing to the slab is to be made.
- * Second Pour Jointing (refer to construction manual):
 1. Surface of first pour must be scabbled.
 2. All lose debris must be vacumed from hole.
 3. Apply heavy coat of bondcrete or similar adhesive prior to second pour.
 4. Apply suitable protective coating to the embedded portion of the columns.
- * Where columns or end wall mullions have been removed, piers are not required.
- * End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.
- * The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.

For Class A, S or M Sites

- * Slab thickness to be a minimum of 100mm with SL 72 mesh and 40mm top cover.

For Class H1 or H2 Sites

- * Slab thickness to be a minimum of 100mm with SL 82 mesh and 40mm top cover.

- * Edge beam 400mm deep x 300mm wide with Y12 3 bar Trench Mesh to the perimeter of the building.
- * Thickening beams 400mm deep by 300mm wide with Y12 3 bar Trench Mesh at a max spacing of 6.2m.

BRACING NOTES

- * Refer to Connection Details.
- * Knee bracing clearance from FFL is X = Main Building: 4.187m.
- * All Cross Bracing is achieved with 1.2mm Strap G450.
- * Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.
- * All Columns and End Wall Mullions are fixed Column in Concrete.
- * Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:

C150 - maximum 1800mm spacing
C200, C250 - maximum 2200mm spacing
C300 - maximum 2800mm spacing
C350 - maximum 2800mm spacing

- Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.
- * Open bays to have fly bracing fitted to every available girt supporting the header sheets.

- * All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centerline.

BOLTS

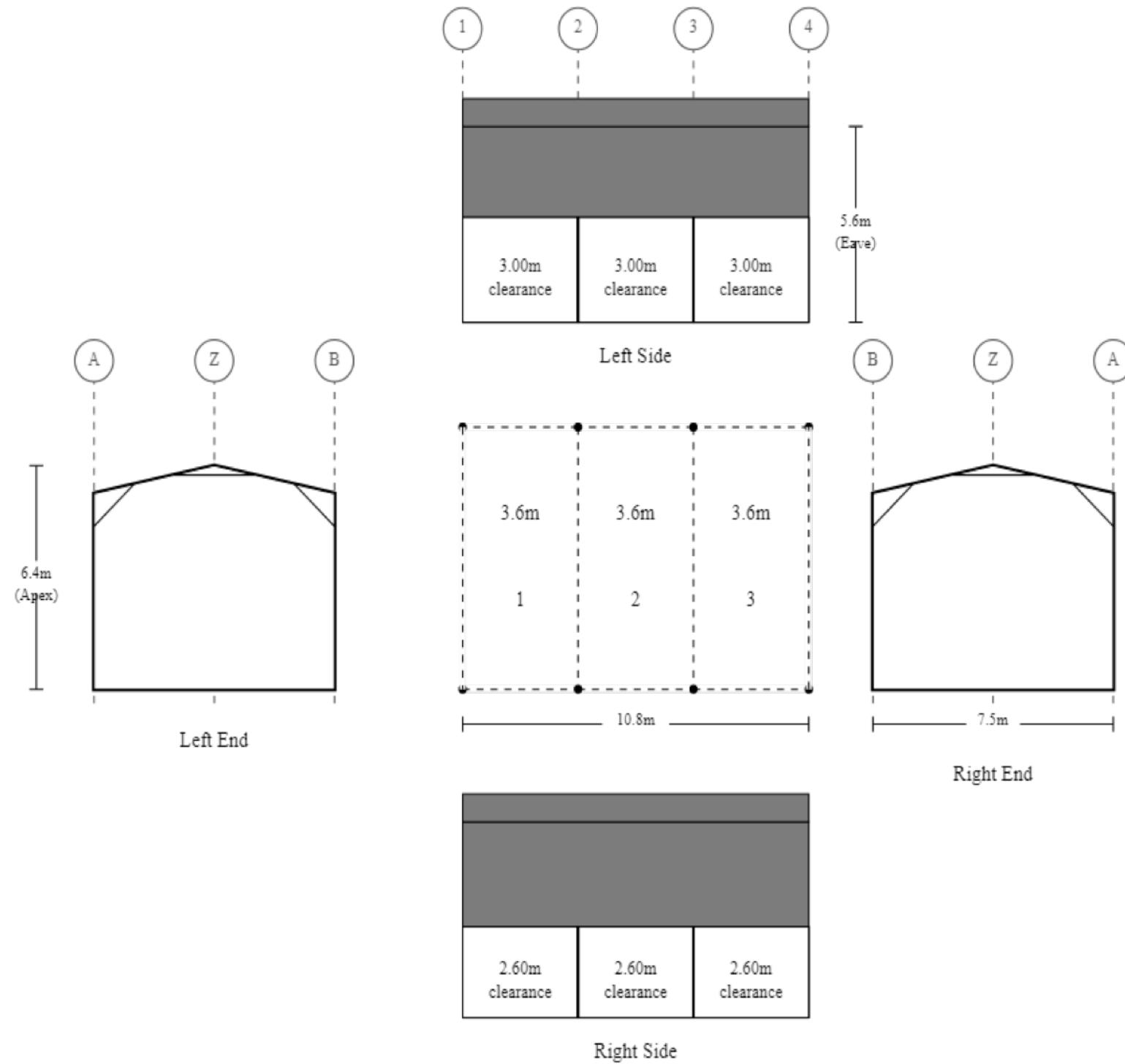
- * Unless otherwise nominated, all bolts are grade 4.6
- * All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.

OTHER MATERIALS NOTES

- * All Sheetting, Flashing and framing screws are Climaseal 4.
- * All purlin material has Z350 zinc coating with minimum strength of 450MPa.

Purchaser Name: Ngoombi community Services		<div>General Notes</div> <div>NOT FOR CONSTRUCTION</div> <div>Page 1 of 1</div> <div>© Copyright Steelx IP Pty Ltd</div>	<div>Seller: Wide Span Sheds</div> <div>Steelx Pty Ltd</div> <div>Phone: 07 5657 8888</div> <div>Fax: 07 5657 8899</div> <div>Email: admin@sheds.com.au</div>	<div>TNC ENGINEERING PTY LTD</div> <div>ACN: 610 855 260</div> <div>ME Aust. (Registered NER Structural & Civil) 2741240</div> <div>QLD : RPEQ No. 13750; VIC : EC44684; TAS : CC6968; N.T : 225521ES;</div> <div>Practising Professional Structural & Civil Engineer</div>
Site Address: 36 Coondoo Street Kuranda QLD 4881 Australia				
Drawing # WSS183145 - 2	Print Date: 23/01/19			

Signature:  R. Nancarrow Date: 23/01/19



Purchaser Name: Ngoombi community Services

Site Address: 36 Coondoo Street Kuranda QLD 4881 Australia

Drawing # WSS183145 - 3

Print Date: 23/01/19

Layout
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Seller: Wide Span Sheds
 Steelx Pty Ltd
 Phone: 07 5657 8888
 Fax: 07 5657 8899
 Email: admin@sheds.com.au

TNC ENGINEERING PTY LTD
 ACN: 610 855 260
 ME Aust. (Registered NER Structural & Civil) 2741240
 QLD : RPEQ No. 13750; MC : EC44684; TAS : CC6968; N.T. : 225521ES;
 Practising Professional Structural & Civil Engineer

Signature:  R. Nancarrow Date: 23/01/19

MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

Building Dimensions						
Categories	Span	Length	Pitch	Height	Grid(s)	Portal(s)
Main Building	7.5	10.8	12	5.6	A - B	1 - 4

Portal Frame Elements					
Grid / Portal Number		1	2	3	4
Columns	A	2C30024	2C30024	2C30024	2C30024
	B	2C30024	2C30024	2C30024	2C30024
Rafters	A - Apex	C35030	C35030	C35030	C35030
	Apex - B	C35030	C35030	C35030	C35030
Apex Braces	Apex	C35024 @ 2.25m	C35024 @ 2.25m	C35024 @ 2.25m	C35024 @ 2.25m
Knee Braces	A - Apex	C35024 @ 1.7m	C35024 @ 1.7m	C35024 @ 1.7m	C35024 @ 1.7m
	Apex - B	C35024 @ 1.7m	C35024 @ 1.7m	C35024 @ 1.7m	C35024 @ 1.7m

Bay Section Elements					
Grid / Bay Number		1	2	3	Maximum
Bay Widths		3.6	3.6	3.6	
Roof Purlins	A - Apex	Z15015	Z15015	Z15015	
	Apex - B	Z15015	Z15015	Z15015	
Roof Purlin Spacing (End)	A - Apex	1.15	1.15	1.15	1.150
	Apex - B	1.15	1.15	1.15	1.150
Roof Purlin Spacing (Internal Spans)	A - Apex	1.348	1.348	1.348	1.400
	Apex - B	1.348	1.348	1.348	1.400
Eave Purlin	A	2C15015	2C15015	2C15015	
	B	C15015	C15015	C15015	
Side Girts	A	Z10015	Z10015	Z10015	
	B	Z10012	Z10012	Z10012	
Side Girts Spacing (End)	A	1.25	1.25	1.25	1.250
	B	0.967	0.967	0.967	1.250
Side Girts Spacing (Internal)	A	1.25	1.25	1.25	1.450
	B	0.967	0.967	0.967	1.450

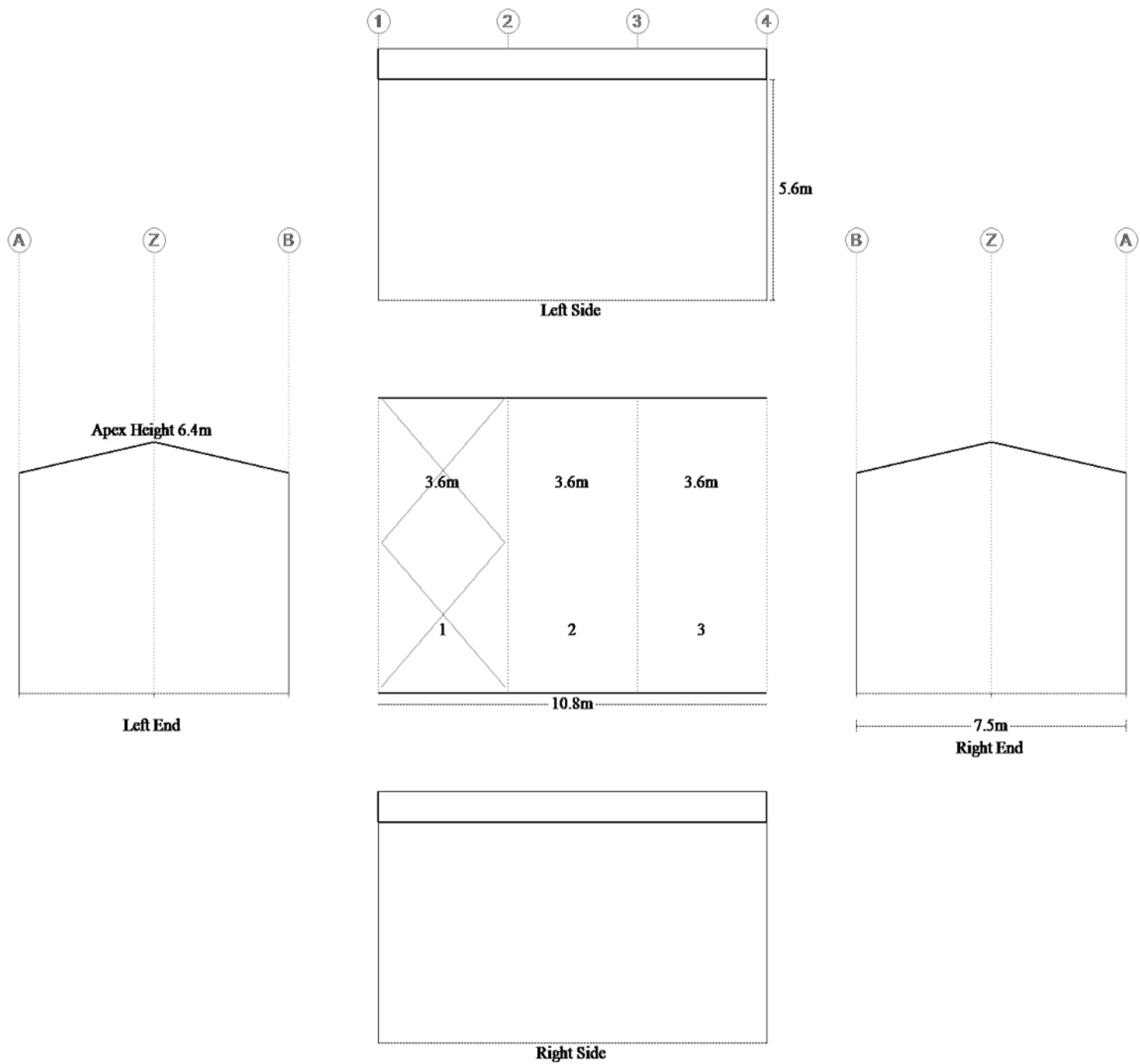
End Bay Section Elements		
Grid / Portal Number		Maximum
End Girts Spacing (End)	A - Z	1.250
	Z - B	1.250
End Girts Spacing (Internal)	A - Z	1.450
	Z - B	1.450

Cladding Elements		
Category	Colour	Product
Roof Sheeting	ZINCALUME® steel	TRIMCLAD® steel 0.42 BMT (0.47TCT)
Roof Flashings	ZINCALUME® steel	BlueScope 0.55 BMT
Wall Sheeting	ZINCALUME® steel	TRIMCLAD® steel 0.42 BMT (0.47TCT)
Wall Flashing	ZINCALUME® steel	BlueScope 0.55 BMT

Pier Sizes				
			Depth - with Slab	
Adhesion (kPa)	Soil Description	Diameter (mm)	BP1 (mm)	BP2 (mm)
0	Sandy Soil	300	-	-
		450	-	-
		600	2300	2200
25	Soft to Firm Clay	300	-	-
		450	-	-
		600	1700	1600
50	Stiff to Very Stiff Clay	300	-	-
		450	-	-
		600	1400	1300

Purchaser Name: Ngoombi community Services		<div>Specification Sheet</div> <div>NOT FOR CONSTRUCTION</div> <div>Page 1 of 1</div> <div>© Copyright Steelx IP Pty Ltd</div>	<div>Seller: Wide Span Sheds</div> <div>Steelx Pty Ltd</div> <div>Phone: 07 5657 8888</div> <div>Fax: 07 5657 8899</div> <div>Email: admin@sheds.com.au</div>	<div>TNC ENGINEERING PTY LTD</div> <div>ACN: 610 855 260</div> <div>ME Aust. (Registered NER Structural & Civil) 2741240</div> <div>QLD : RPEQ No. 13750; VIC : EC44684; TAS : CC6968; N.T : 225521ES;</div> <div>Practising Professional Structural & Civil Engineer</div> <div>Signature:  R. Nancarrow Date: 23/01/19</div>
Site Address: 36 Coondoo Street Kuranda QLD 4881 Australia				
Drawing # WSS183145 - 4	Print Date: 23/01/19			

Cross Bracing is achieved with 1.2mm Strap. Refer to Connection Details.



Purchaser Name: Ngoombi community Services

Site Address: 36 Coondoo Street Kuranda QLD 4881 Australia

Drawing # WSS183145 - 5

Print Date: 23/01/19

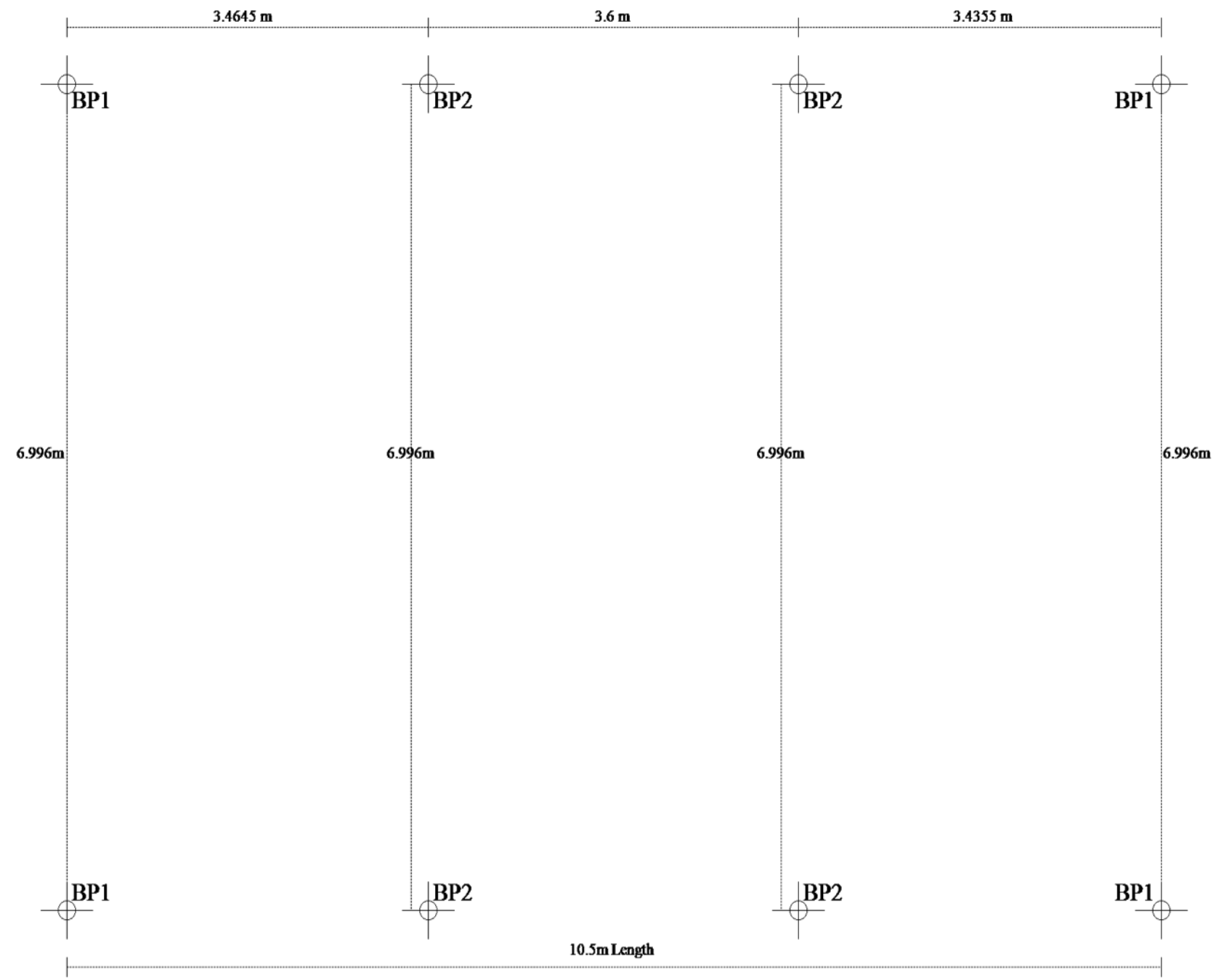
Bracing
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Not to Scale
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Practising Professional Structural & Civil Engineer

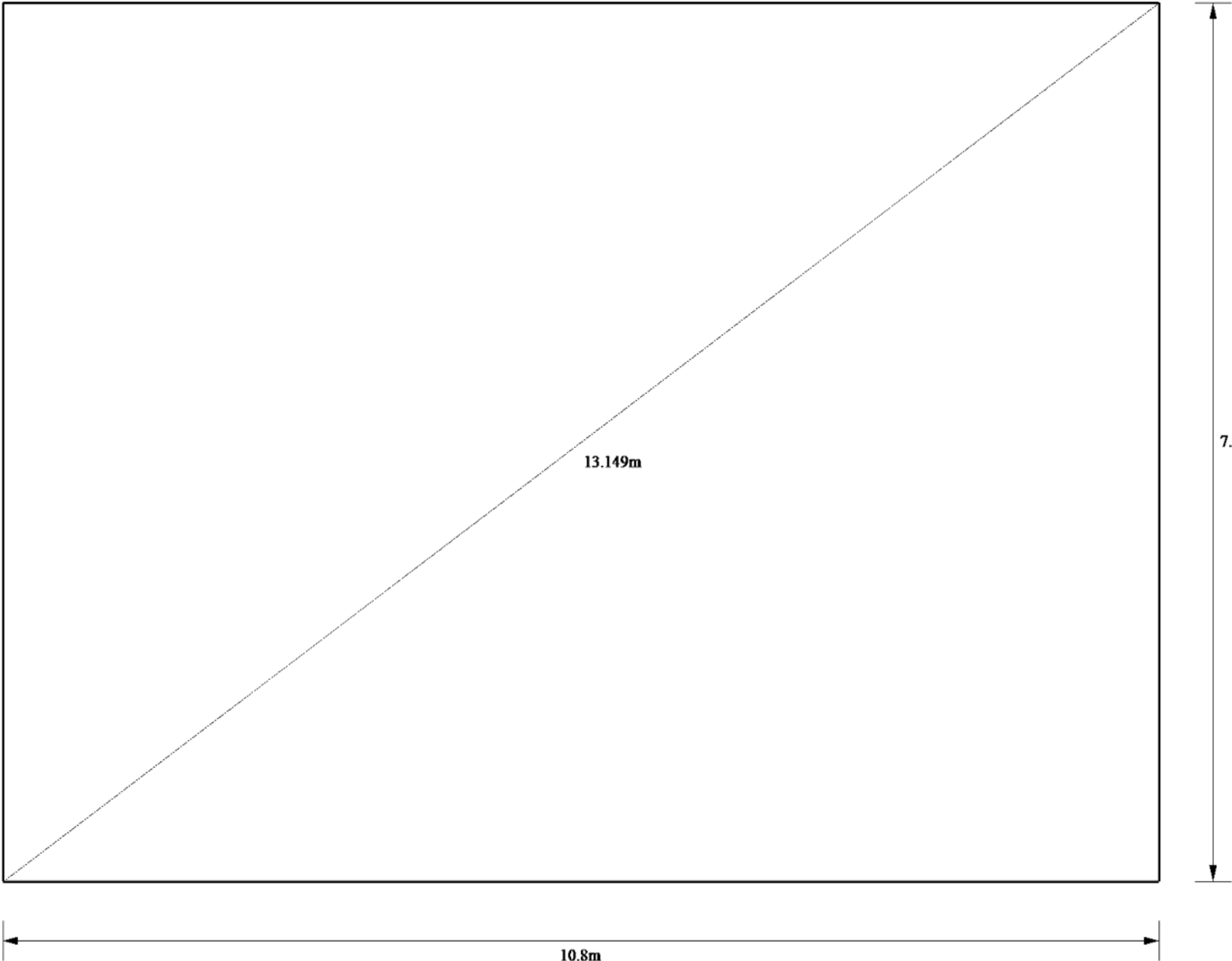
Signature:  R. Nancarrow Date: 23/01/19

These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.
Refer to Material Specifications Plan for BP dimensions.

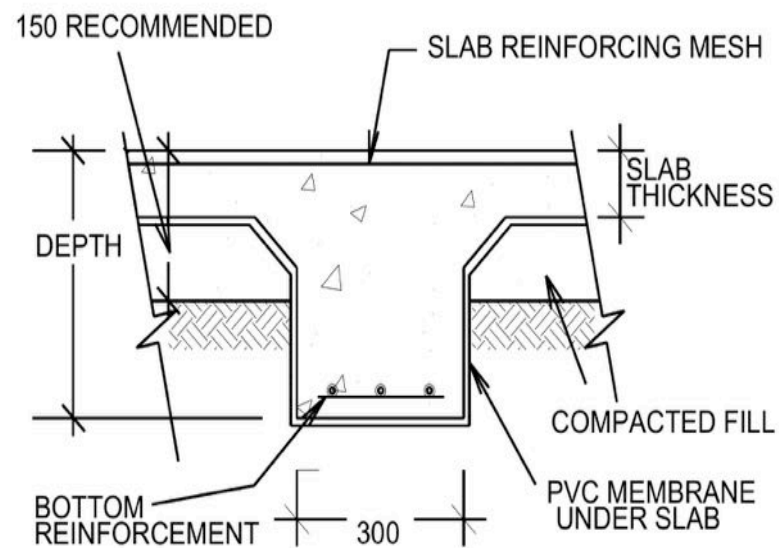


Purchaser Name: Ngoombi community Services		<div>Concrete Piers</div> <div>PIER MEASUREMENT ONLY. NOT FOR CONSTRUCTION</div> <div>Not to Scale</div> <div>© Copyright Steelx IP Pty Ltd</div>	<div>Seller: Wide Span Sheds</div> <div>Steelx Pty Ltd</div> <div>Phone: 07 5657 8888</div> <div>Fax: 07 5657 8899</div> <div>Email: admin@sheds.com.au</div>	<div>TNC ENGINEERING PTY LTD</div> <div>ACN: 610 855 260</div> <div>ME Aust. (Registered NER Structural & Civil) 2741240</div> <div>QLD : RPEQ No. 13750; VIC : EC44684; TAS : CC6968; N.T : 225521ES;</div> <div>Practising Professional Structural & Civil Engineer</div> <div>Signature:  R. Nancarrow Date: 23/01/19</div>
Site Address: 36 Coondoo Street Kuranda QLD 4881 Australia				
Drawing # WSS183145 - 6	Print Date: 23/01/19			

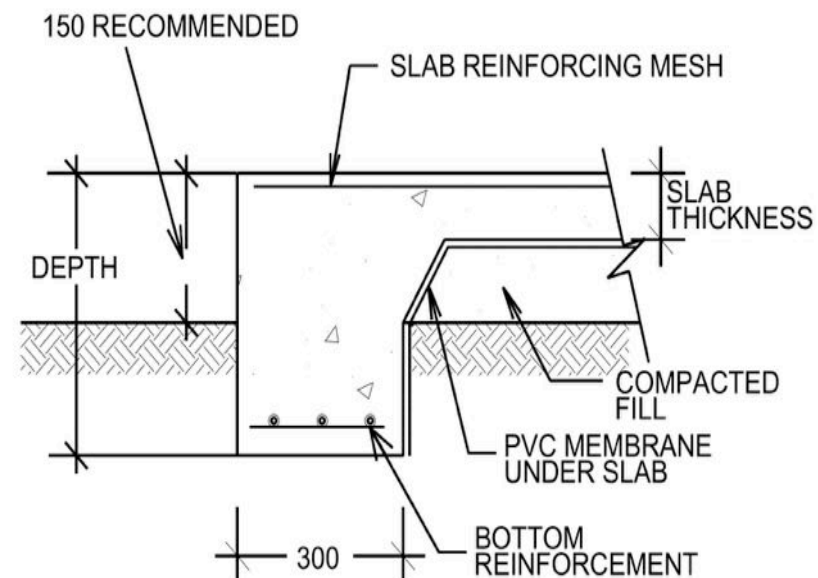
These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.



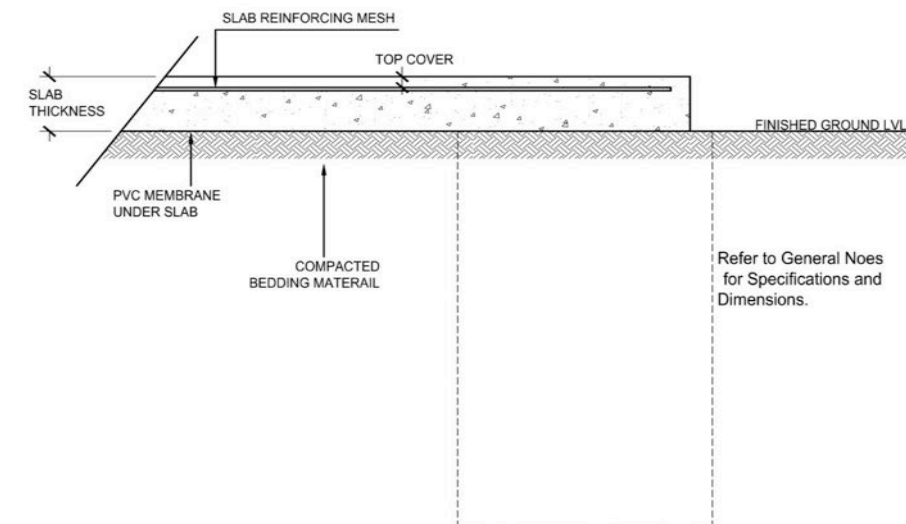
Purchaser Name: Ngoombi community Services		<div>Slab Dimensions</div> <div>Also refer to Concrete Piers Plan. NOT FOR CONSTRUCTION</div> <div>Not to Scale</div> <div>© Copyright Steelx IP Pty Ltd</div>	<div>Seller: Wide Span Sheds</div> <div>Steelx Pty Ltd</div> <div>Phone: 07 5657 8888</div> <div>Fax: 07 5657 8899</div> <div>Email: admin@sheds.com.au</div>	<div>TNC ENGINEERING PTY LTD</div> <div>ACN: 610 855 260</div> <div>ME Aust. (Registered NER Structural & Civil) 2741240</div> <div>QLD : RPEQ No. 13750; VIC : EC44684; TAS : CC6968; N.T : 225521ES;</div> <div>Practising Professional Structural & Civil Engineer</div> <div>Signature:  R. Nancarrow Date: 23/01/19</div>
Site Address: 36 Coondoo Street Kuranda QLD 4881 Australia				
Drawing # WSS183145 - 7	Print Date: 23/01/19			



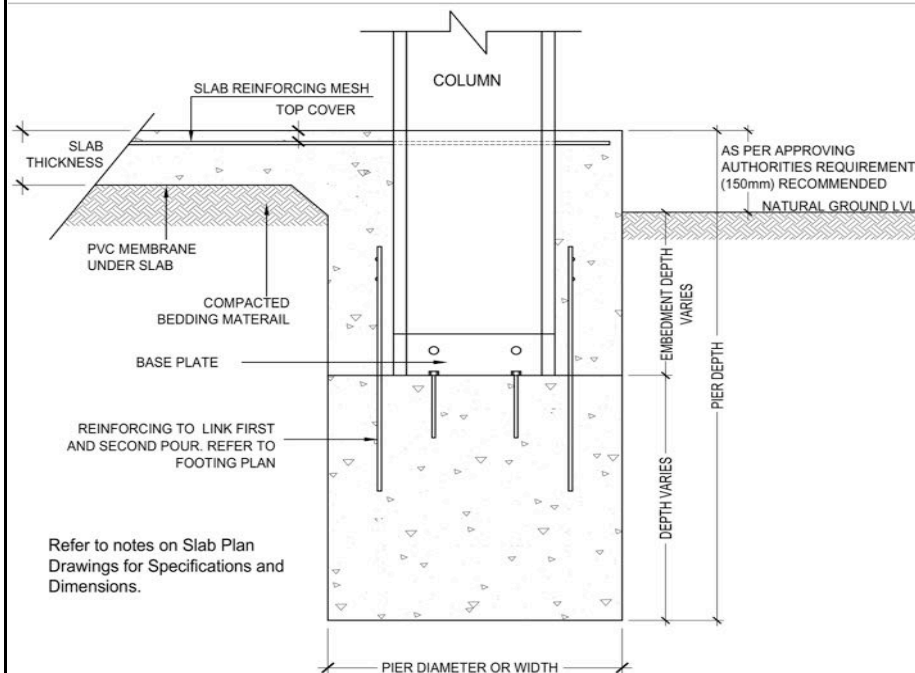
INTERNAL BEAM
(H1 & H2 SOIL TYPE ONLY)



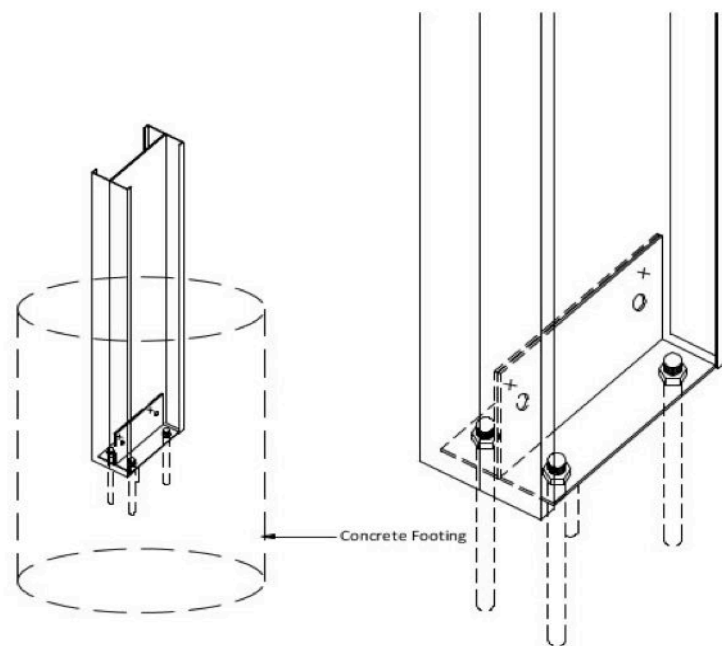
PERIMETER BEAM
(H1 & H2 SOIL TYPE ONLY)



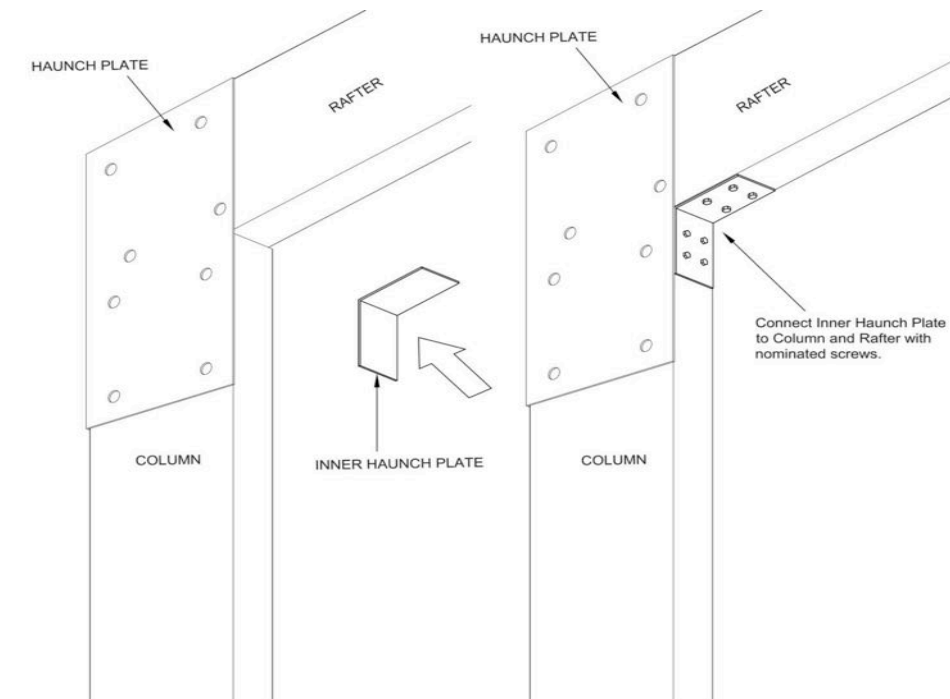
SLAB DETAIL BETWEEN PIERS



SLAB AND PIER
WITH COLUMN IN CONCRETE



× FIXING SCREWS - 2 of 14.20 x 22
○ FIXING BOLTS - 2 of M16 x 40
4 of M16 X 110 TRUBOLTS
2C300 CIC BASE PLATE



INNER HAUNCH BRACKET - SINGLE

Purchaser Name: Ngoombi community Services

Site Address: 36 Coondoo Street Kuranda QLD 4881 Australia

Drawing # WSS183145 - 8

Print Date: 23/01/19

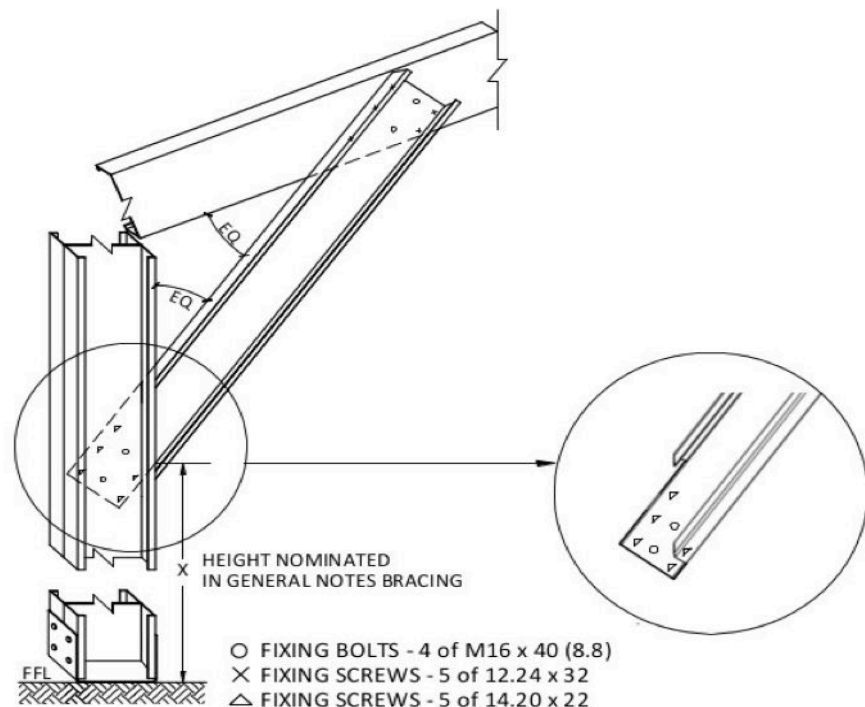
Connection Details
NOT FOR CONSTRUCTION

Not to Scale
Page 1 of 4
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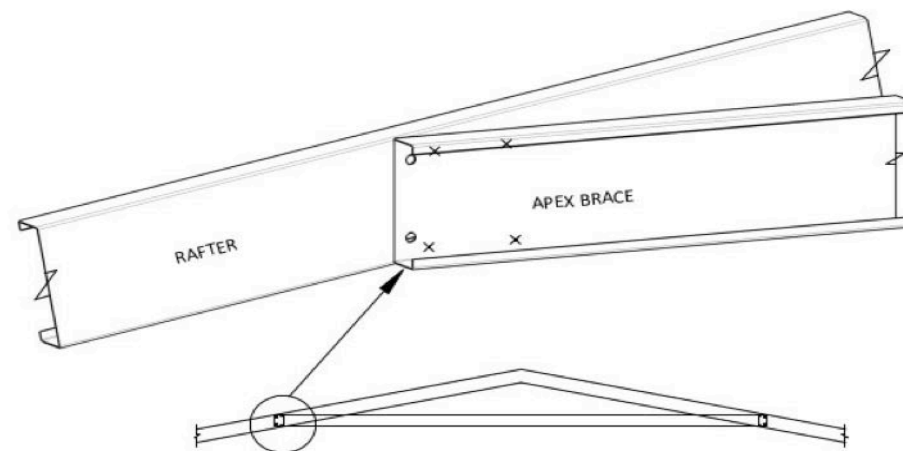
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Practising Professional Structural & Civil Engineer

Signature:  R. Nancarrow Date: 23/01/19

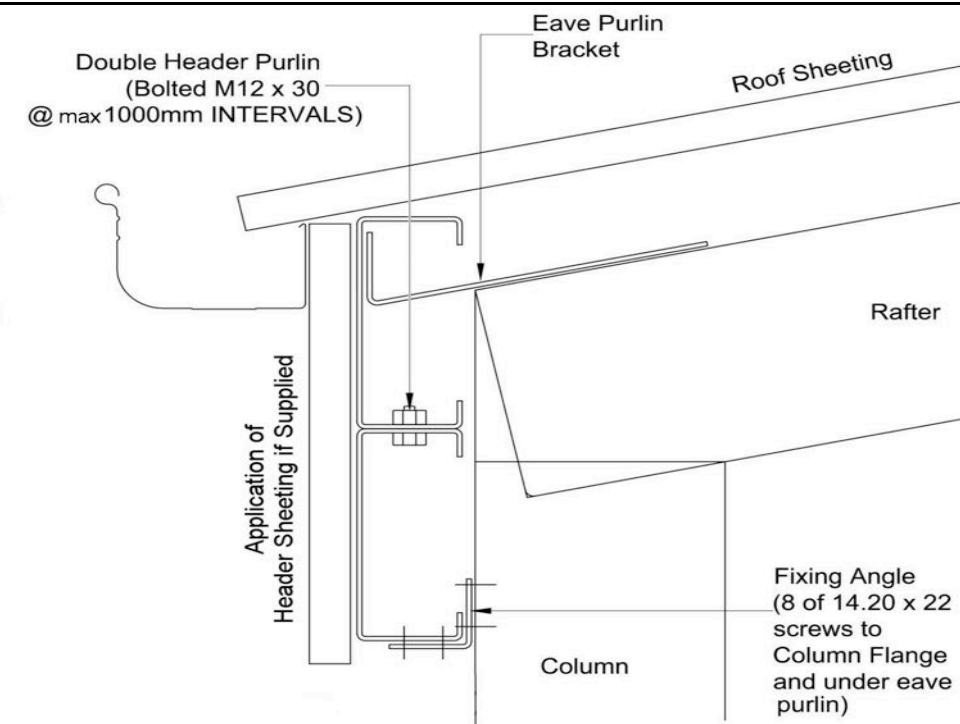


KNEE BRACE FOR C300 COLUMN
 BACK TO BACK COLUMN - SINGLE RAFTER

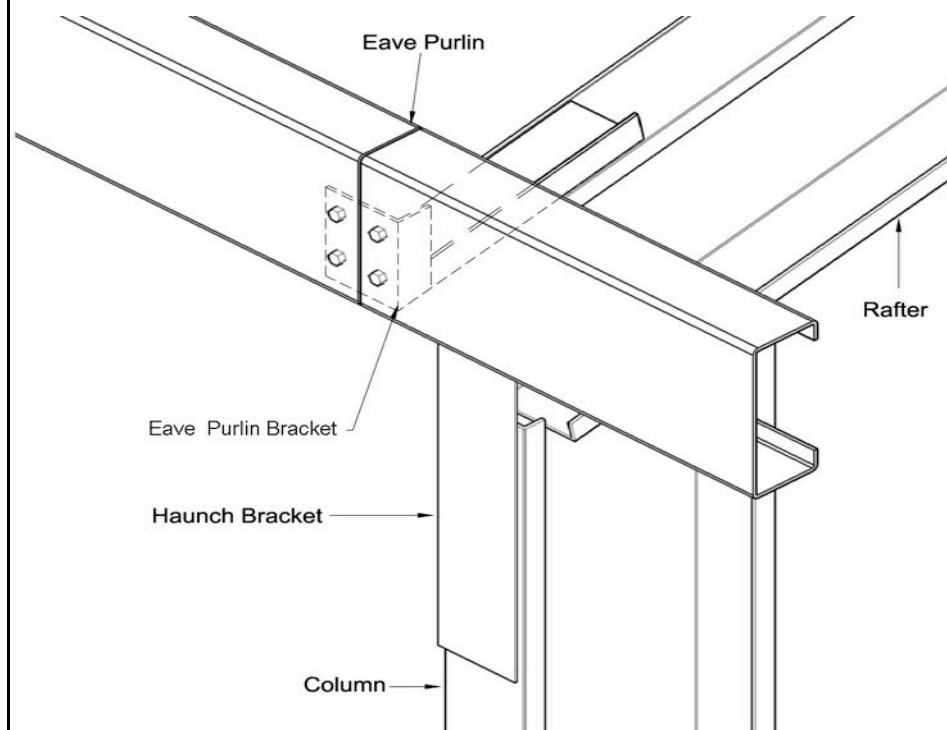


FIXING BOLTS - 2 of M16 x 40
 FIXING SCREWS - 4 of 14.20 x 22

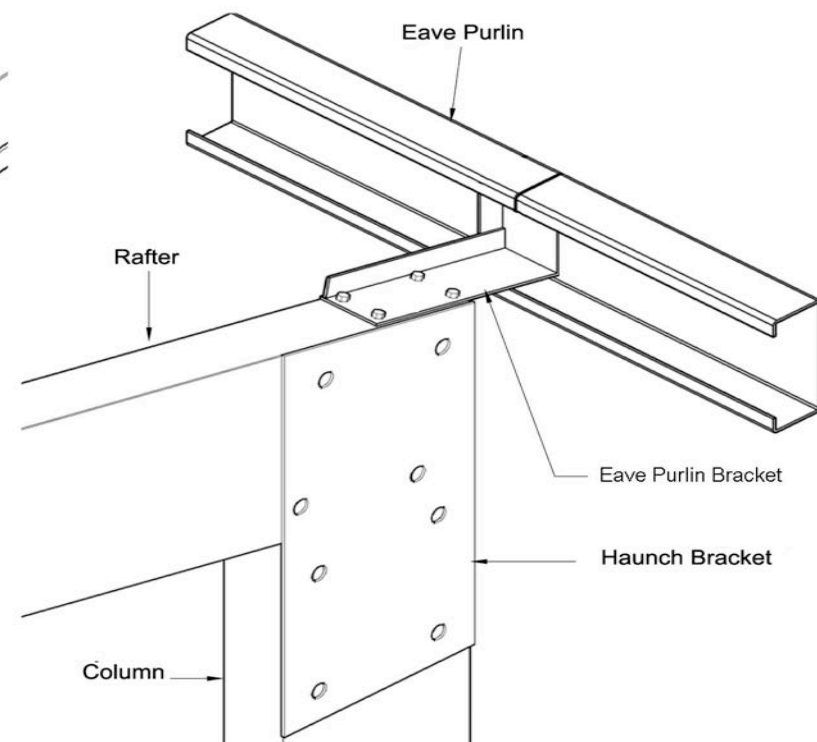
APEX BRACE FOR SINGLE RAFTER



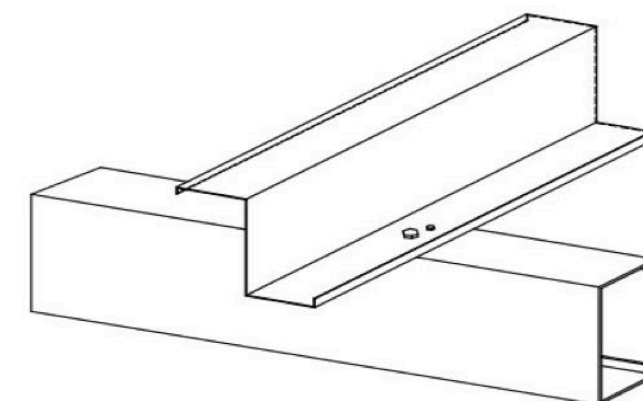
HEADER PURLIN CONNECTION - OPEN BAYS



FIXING SCREWS - 4 of 14.20 x 22
 EAVE PURLIN TO EAVE PURLIN BRACKET



FIXING SCREWS - 4 of 14.20 x 22
 EAVE PURLIN BRACKET TO RAFTER



OVERHANG Z PURLIN DEPTH
 OF THE END WALL GIRT
 PURLIN & SIDE GIRT END WALL FIXING - Z PURLIN
 SINGLE COLUMN OR RAFTER

Purchaser Name: Ngoombi community Services

Site Address: 36 Coondoo Street Kuranda QLD 4881 Australia

Drawing # WSS183145 - 8

Print Date: 23/01/19

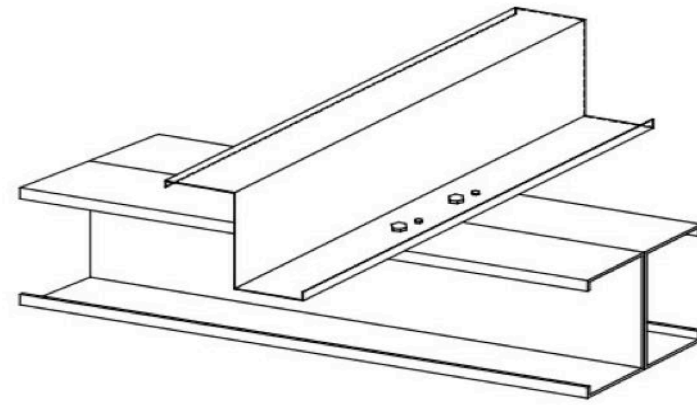
**Connection Details
 NOT FOR CONSTRUCTION**

Not to Scale
 Page 2 of 4
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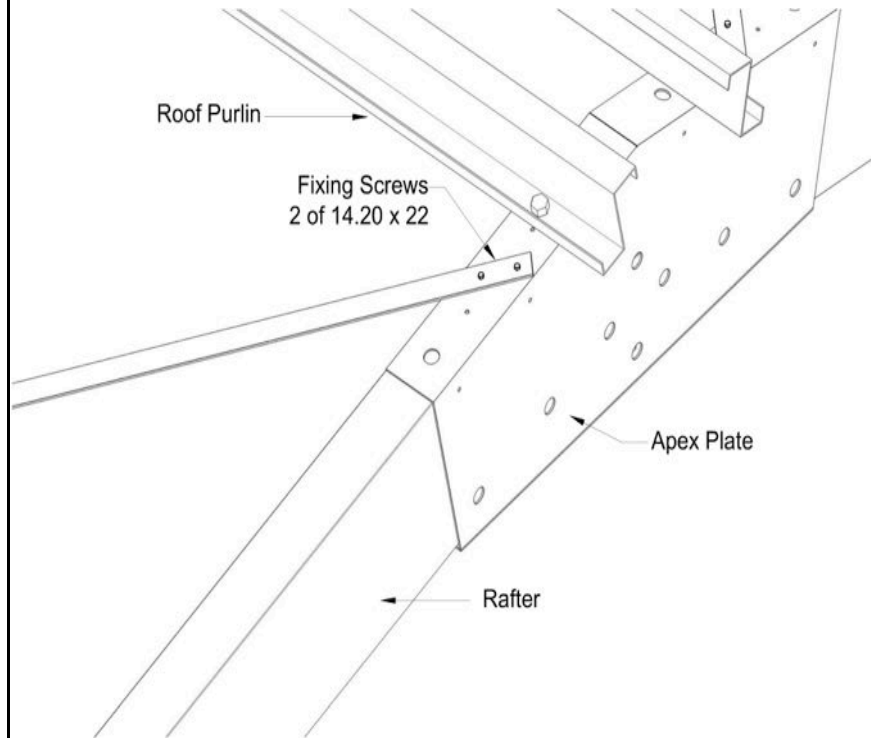
Signature:  R. Nancarrow Date: 23/01/19



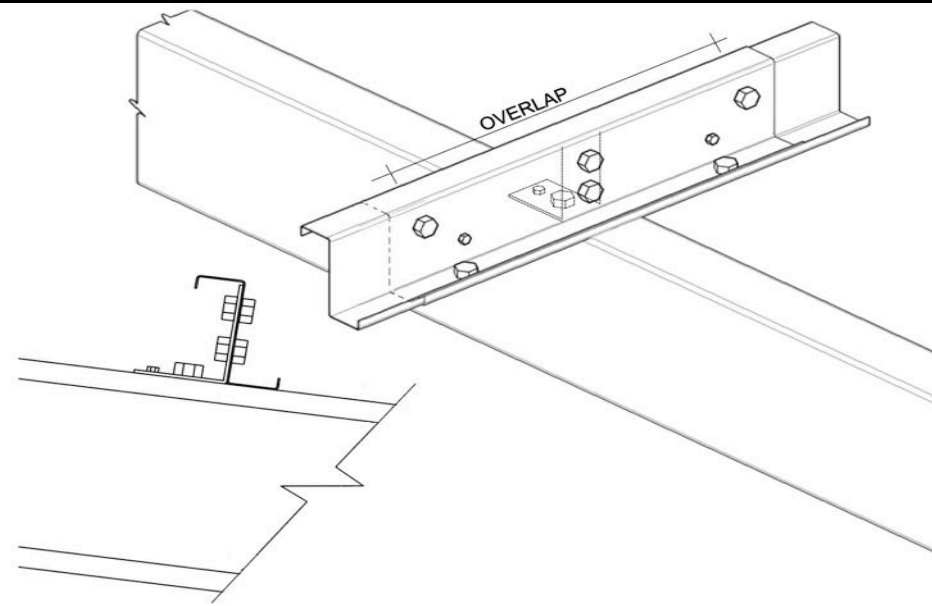
FIXING BOLTS - 2 of M 12 x 30
 X FIXING SCREWS - 2 of 14.20 x 22

OVERHANG Z PURLIN DEPTH
 OF THE END WALL GIRT

PURLIN & SIDE GIRT END WALL FIXING - Z PURLIN BACK TO BACK COLUMN OR RAFTER

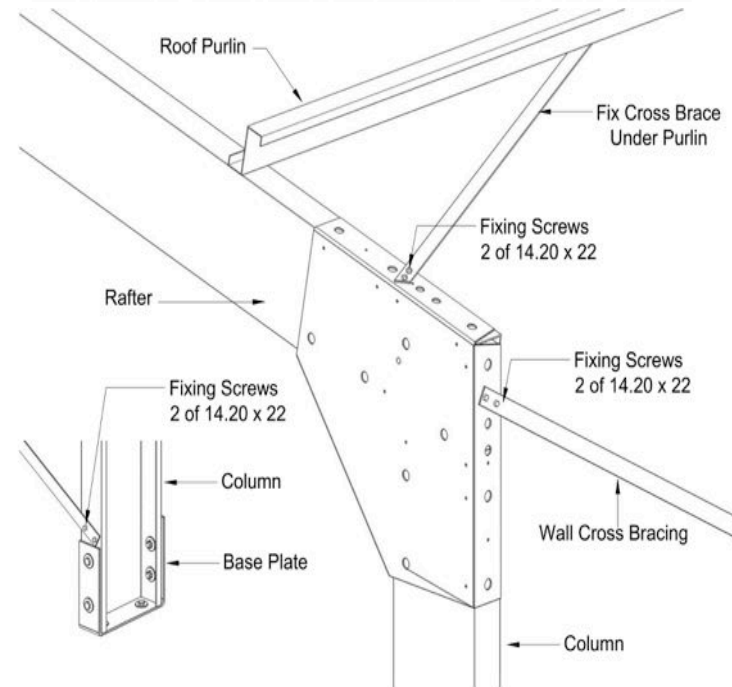


BRACING CONNECTION AT APEX

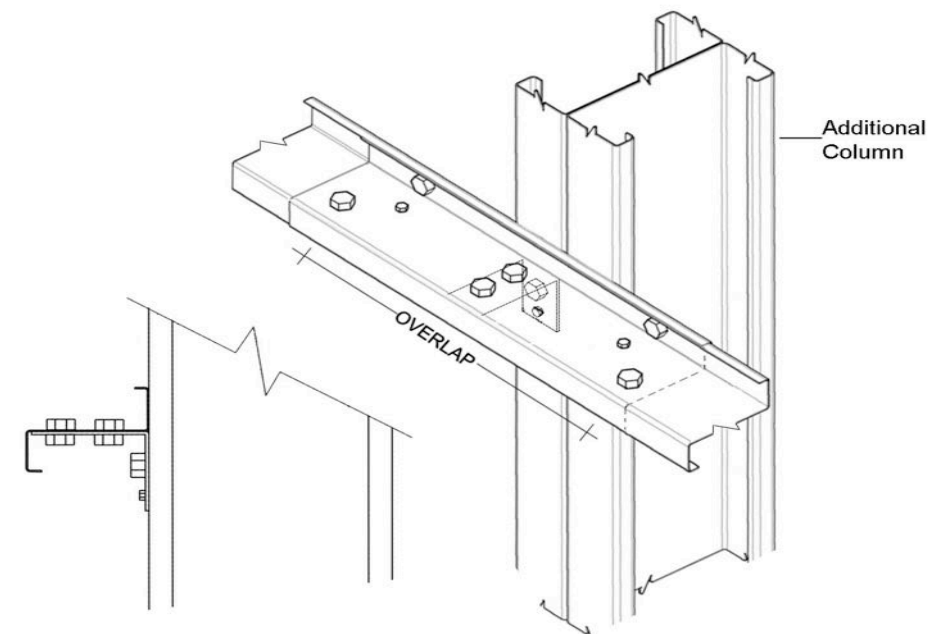


FIXING BOLTS - 7 of M12 x 30
 FIXING SCREWS - 3 of 14.20 x 22
 OVERLAP = Greater of 10% of span or 500 mm

PURLIN/GIRT FIXING SINGLE C SECTION COLUMNS OR RAFTERS

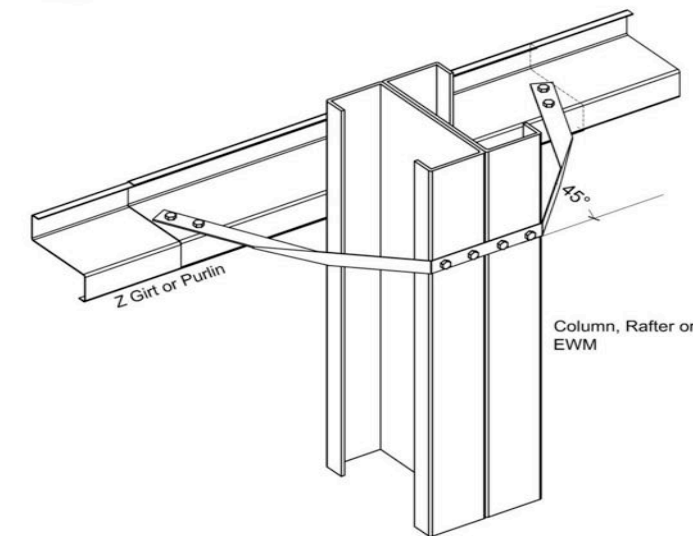
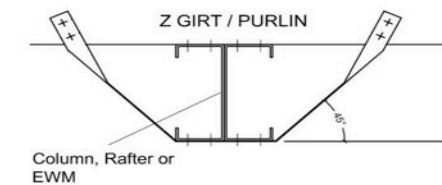


BRACING CONNECTION



FIXING BOLTS - 7 of M12 x 30
 FIXING SCREWS - 3 of 14.20 x 22
 OVERLAP = Greater of 10% of span or 500 mm

GIRT FIXING BACK TO BACK C SECTION COLUMNS (WITH SINGLE RAFTER)



FIXING SCREWS - 8 of 14.20 x 22
 FLY BRACING

Purchaser Name: Ngoombi community Services

Site Address: 36 Coondoo Street Kuranda QLD 4881 Australia

Drawing # WSS183145 - 8

Print Date: 23/01/19

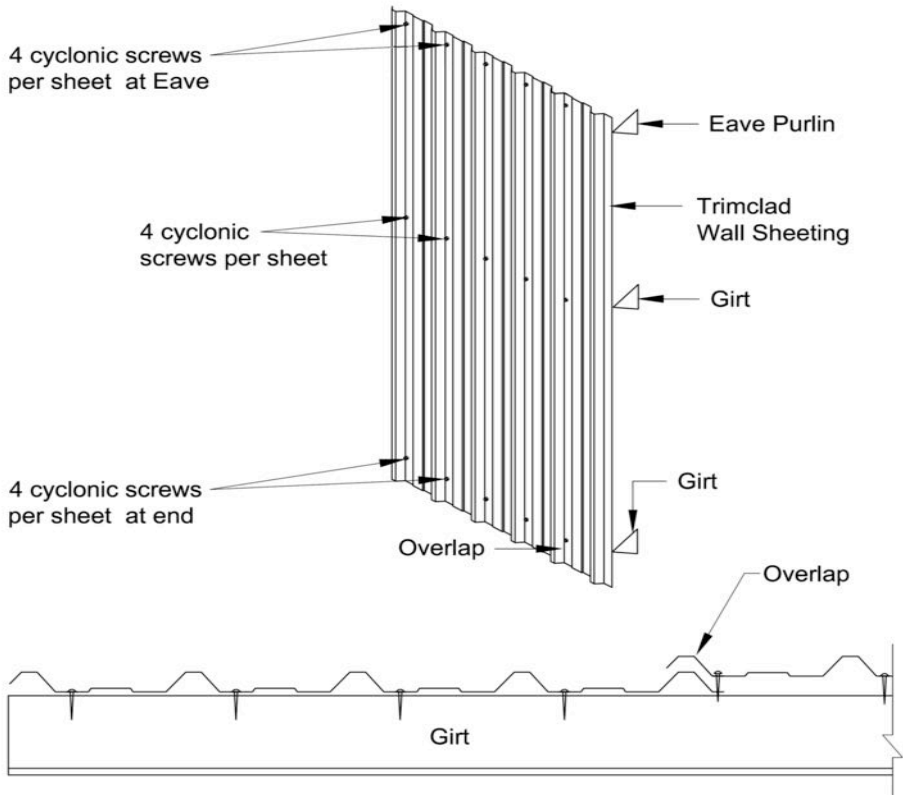
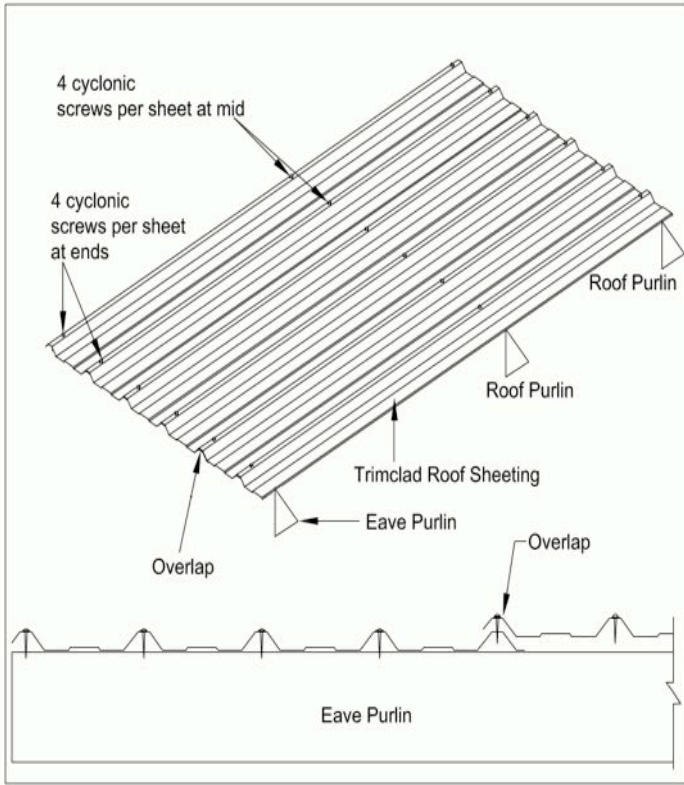
Connection Details NOT FOR CONSTRUCTION

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 Page 3 of 4
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 Practising Professional Structural & Civil Engineer

Signature: R. Nancarrow Date: 23/01/19



Purchaser Name: Ngoombi community Services

Site Address: 36 Coondoo Street Kuranda QLD 4881 Australia

Drawing # WSS183145 - 8

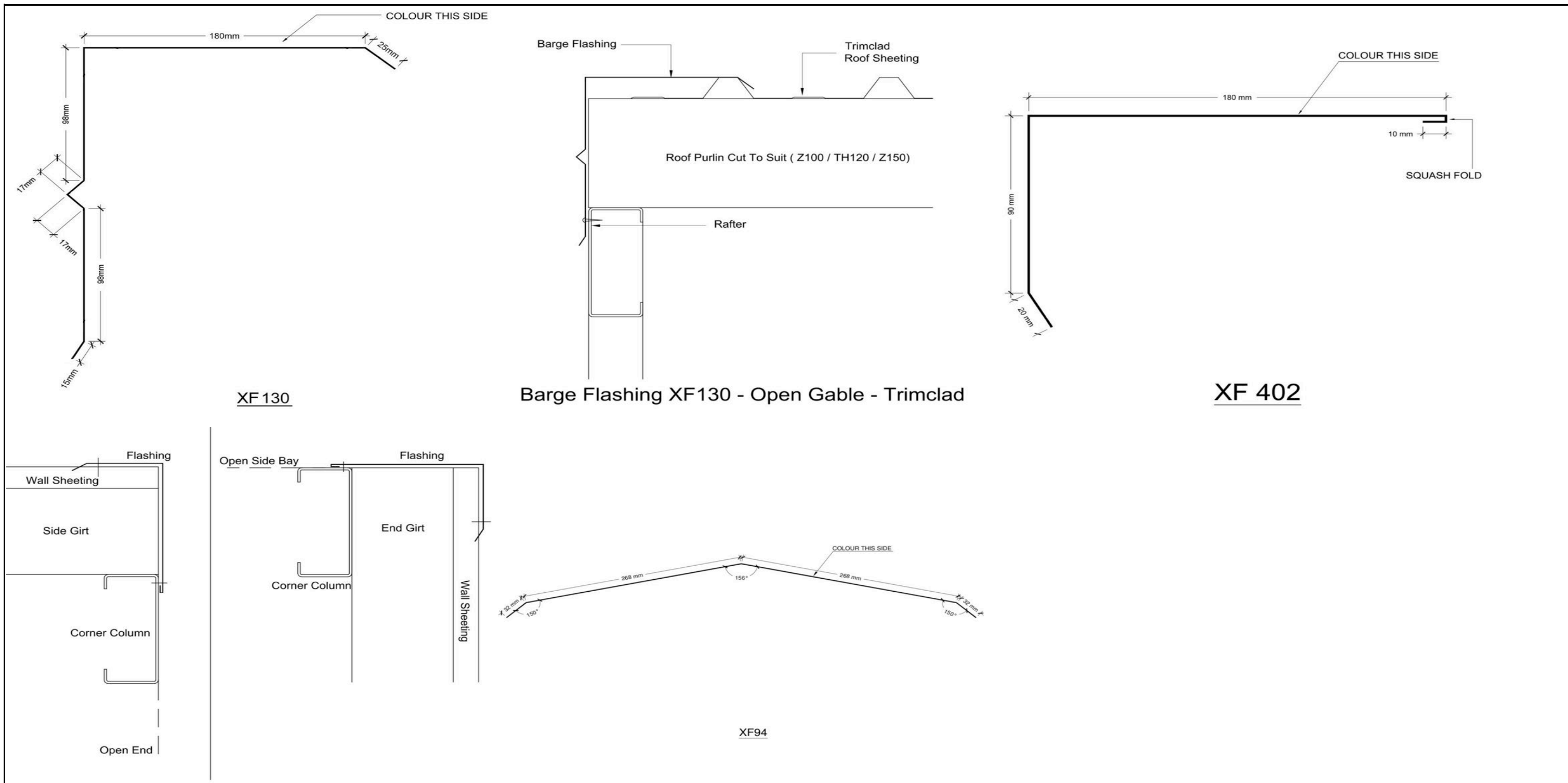
Print Date: 23/01/19

Connection Details
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Not to Scale
Page 4 of 4
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Practising Professional Structural & Civil Engineer

Signature:  R. Nancarrow Date: 23/01/19



XF 130

Barge Flashing XF130 - Open Gable - Trimclad

XF 402

XF94

Flashing XF402 - Connection

Purchaser Name: Ngoombi community Services		<div>Flashing Fixing Details</div> <div>NOT FOR CONSTRUCTION</div> <div>Not to Scale</div> <div>Page 1 of 1</div> <div>© Copyright Steelx IP Pty Ltd</div>	<div>Seller: Wide Span Sheds</div> <div>Steelx Pty Ltd</div> <div>Phone: 07 5657 8888</div> <div>Fax: 07 5657 8899</div> <div>Email: admin@sheds.com.au</div>	<div>TNC ENGINEERING PTY LTD</div> <div>ACN: 610 855 260</div> <div>ME Aust. (Registered NER Structural & Civil) 2741240</div> <div>QLD : RPEQ No. 13750; VIC : EC44684; TAS : CC6968; N.T : 225521ES;</div> <div>Practising Professional Structural & Civil Engineer</div> <div><div>Signature: </div><div>R. Nancarrow</div><div>Date: 23/01/19</div></div>
Site Address: 36 Coondoo Street Kuranda QLD 4881 Australia				
Drawing # WSS183145 - 9	Print Date: 23/01/19			

23 January, 2019

To whom it may concern

The actual usage of the building is not able to be ascertained by the engineer. This certification is done in accordance with the purchaser of the building's advice of the building's Importance Level. Any approving authority should confirm that the Importance Level nominated is appropriate for the building's usage.

The structural design of the steel building (as detailed in drawing WSS183145, see index below) for Ngoombi community Services to be built at the geographic coordinates of -16.81907 and 145.63686 has been carried out by me. The address of the site has been given as 36 Coondoo Street Kuranda QLD 4881 Australia.

The design has been done in accordance with the NCC:2016, AS/NZS 4600:2005, AS/NZS 1170.1:2002, AS/NZS 1170.2:2011, AS 4055:2012, AS 4100:1998, AS 2870:2011 and AS 3600:2009.

Design Criteria: Building Class 8, Max Design Wind Speed of 64.5m/s. Refer to ShedSafe Site Specific Design Criteria Analysis. These criteria are subject to confirmation by the certifying engineer. Unless nominated, the building has not been designed for any additional loads including, but not limited to, earthquake, snow, solar panels or lining with any materials.

Drawing Number	Date	Number of Pages	Description
WSS183145 - 2	23/01/2019	1	General Notes
WSS183145 - 3	23/01/2019	1	Layout
WSS183145 - 4	23/01/2019	1	Specification Sheet
WSS183145 - 5	23/01/2019	1	Bracing
WSS183145 - 6	23/01/2019	1	Concrete Piers
WSS183145 - 7	23/01/2019	1	Slab Dimensions
WSS183145 - 8	23/01/2019	4	Connection Details
WSS183145 - 9	23/01/2019	1	Flashing Fixing Details

Some drawings have multiple pages, eg. "1 of 3".

Signed



R. Nancarrow
for and on behalf of
TNC ENGINEERING PTY LTD
(ACN 610 855 260)



Department of Housing and Public Works

Form 15 - Compliance certificate for building design or specification

Version 4 - July 2017

NOTE: This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Street address (include no., street, suburb/locality and postcode)

36 Coondoo Street
Kuranda, Qld 4881

Lot and plan details (attach list if necessary)

In which local government area is the land situated?

Steel framed building and foundations as described in drawings
referenced Job# 183145

As per attached letter for John Murison at
36 Coondoo Street, Kuranda, QLD, Australia, 4881
for job number 183145

Covering letter of certification
ShedSafe Site Specific Design Criteria Analysis
WSS183145 - 2 General Notes
WSS183145 - 3 Layout
WSS183145 - 4 Specification Sheet
WSS183145 - 5 Bracing
WSS183145 - 6 Concrete Piers
WSS183145 - 7 Slab Dimensions
WSS183145 - 8 Connection Details
WSS183145 - 9 Flashing Fixing Details

LOCAL GOVERNMENT USE ONLY

Date received		Reference Number/s	
---------------	--	--------------------	--

5. Building certifier reference number**Building certifier reference number**

NA

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Rohan Nancarrow

Company name (if applicable)TNC ENGINEERING PTY LTD
ACN 19 610 855 260**Contact person**

Rohan Nancarrow

Phone no. (business hours)

(07) 5594 2012

Mobile no.**Fax no.**

(07) 5594 2022

Email address

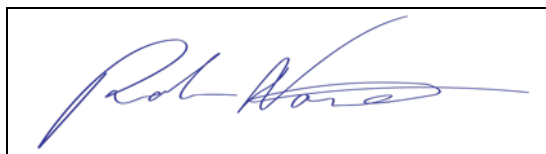
engineer@steelx.com.au

Postal address5004 Emerald Islands Dr
Carrara, Qld 4221**Licence or registration number (if applicable)**

RPEQ 13750

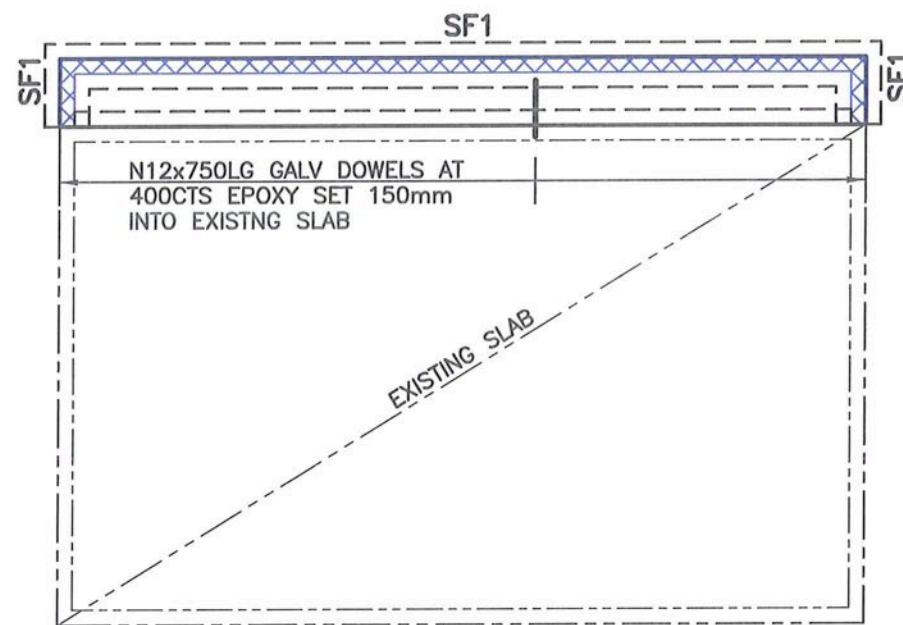
7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature**Date**

23/01/2019

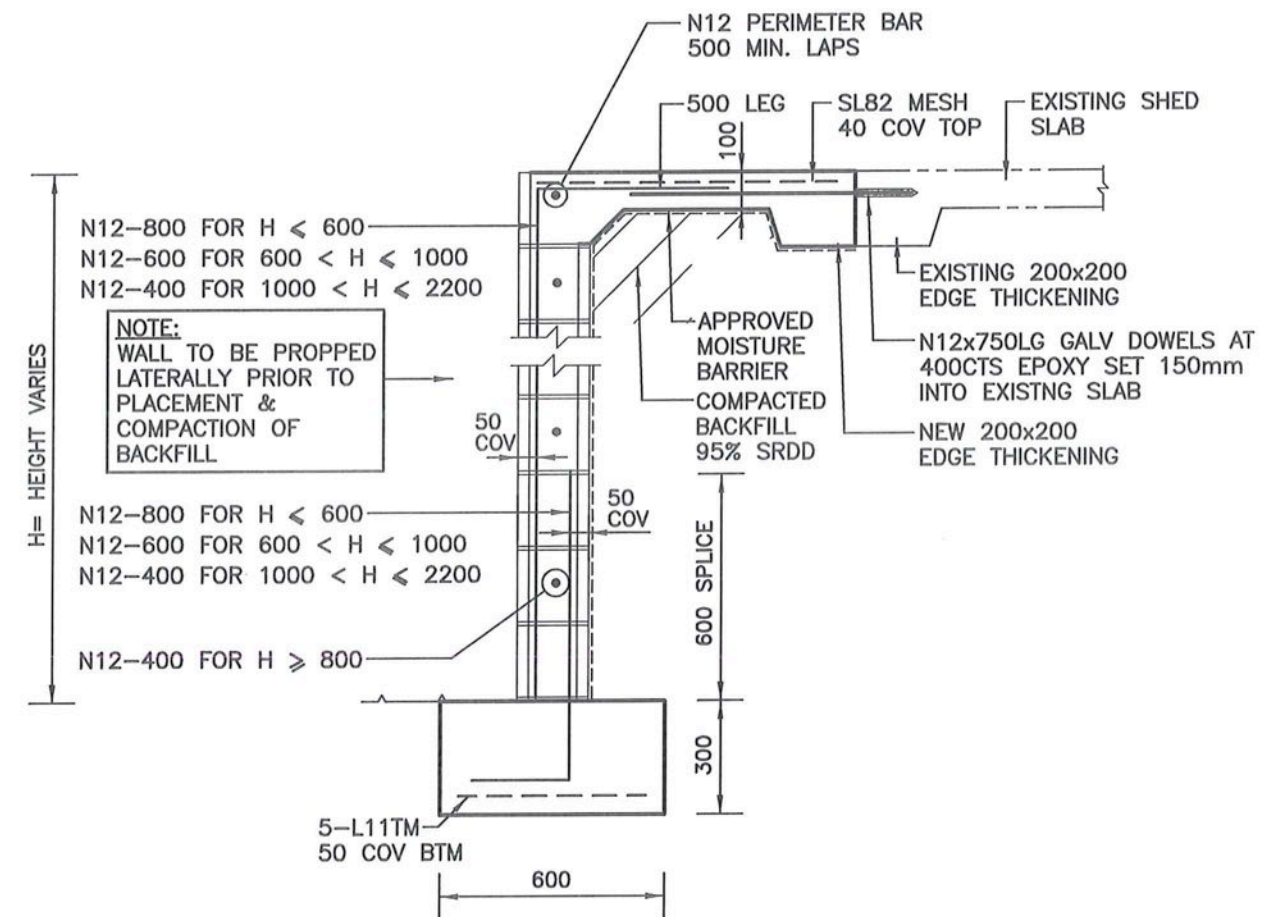
The *Building Act 1975* is administered by the Department of Housing and public Works



FOUNDATION PLAN

SCALE 1:100

REFER WIDE SPAN SHED DRAWINGS FOR ALL DIMENSIONS, STEPS, FALLS & HOLD DOWN DETAILS



DETAIL

SCALE N.T.S.



AMENDMENTS	DATE	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. DIMENSIONS SHOWN ARE NOMINAL. ALLOWANCE TO BE MADE FOR FINISHED SIZES. VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING WORK. THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF CLARKE AND PRINCE PTY LTD. UNAUTHORISED USE OF THIS DOCUMENT IN ANY WAY IS PROHIBITED.		CMG CONSULTING ENGINEERS PTY. LTD. A.C.N. 011 085 375 208 Buchan Street CAIRNS, 4870. Phone: (07) 4031 2775	STRUCTURAL AND CIVIL P.O. Box 5901 Cairns Mail Centre Fax: (07) 4051 9013	WE HEREBY CERTIFY THE FOUNDATION DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2. 10.10.17 CMG CONSULTING ENGINEERS PTY. LTD. A.C.N. 011 085 375 208 BUCHAN ST. CAIRNS QLD. 4870 PH (07) 4031 2775 FAX (07) 4051 9013	DRAWN AGM APPROVED CMG CMG- 40293 SCALE 1:100 AT A3	SCALE 1:100 DATE MAR 2019 SIZE A3	PROJECT PROPOSED SHED 36 COONDOO STREET, KURANDA. FOR NGOONBI SOCIAL HOUSING DWG FOUNDATIUN PLAN & DETAILS DWG No. S.01 STAMP CONSTRUCTION ISSUE ISSUE A
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Form 15 - Compliance Certificate for building Design or Specification

Version 4 - July 2017

NOTE	<p>NOTE: This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>	
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address <i>(include no., street, suburb / locality & postcode)</i></p> <p>36 Coondoo Street (40293L1)</p> <p>Kuranda</p> <p>Lot & plan details <i>(attach list if necessary)</i></p> <p>In which local government area is the land situated?</p> <p>Cairns Regional Council</p>	
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Footings/Ground Slab</p> <p>Concrete Masonry</p>	
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>Australian Standard Codes- AS3600, AS 3700, AS/NZS 1170 Parts 1, Local Authority Regulations</p>	
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>CMG Consulting Engineers drawing 40293 Sheets 1</p>	
<p>5. Building certifier reference number</p>	<p>Building certifier reference number</p>	
<p>6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.</p> <p>If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.</p> <p>If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.</p>	<p>Name <i>(in full)</i></p> <p>Charles Michael Gianarakis RPEQ 1370</p> <p>Company name <i>(if applicable)</i></p> <p>CMG Consulting Engineers Pty Ltd</p> <p>Contact person</p> <p>Charles Gianarakis</p> <p>Phone no. <i>business hours</i></p> <p>07 40 312775</p> <p>Mobile no.</p> <p>Fax no.</p> <p>Email address</p> <p>chas@cmgengineers.com.au</p> <p>Postal address</p> <p>P.O. Box 5901, Cairns Qld 4870</p> <p>Licence or registration number <i>(if applicable)</i></p> <p>RPEQ 1370</p>	
<p>7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.</p>	<p>Signature</p> <p>Date</p> <p>7 March 2019</p>	

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

Approved form 15
Version 4 2017

Attachment 3

Code Compliance Assessment

6.2.1 Centre zone code

6.2.1.1 Application

- (1) This code applies to assessing development where:
- . (a) located in the Centre zone; and
 - . (b) it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

6.2.1.2 Purpose

- . (1) The purpose of the Centre zone code is to provide for a mix of uses and activities. These uses include, but are not limited to, business, retail, professional, administrative, community, entertainment, cultural and residential activities. Centres are found at a variety of scales based on their location and surrounding activities.
- . (2) Mareeba Shire Council's purpose of the Centre zone code is to facilitate the orderly development of the network of centres to meet the needs of the communities throughout the shire.
- . (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Promotion of a mix of commercial, business, professional, accommodation and retail activities;
 - (b) Industries such as service and low impact industries may be appropriate where they are for the provision of trade, service or light industries that are of a compatible scale with commercial activities and preferably do not adjoin residential areas;
 - (c) Residential development is facilitated where it can integrate and enhance the fabric of the centre and is located behind or above commercial development;
 - (d) Development provides a high level of amenity and is reflective of the surrounding character of the area;
 - (e) Development is generally established in accessible, well-connected locations with access or future access to public transport, cycling and pedestrian networks;
 - (f) Development does not compromise the viability of the hierarchy and network of activity centres, namely:
 - (i) Mareeba as a major regional activity centre, which accommodates the most significant concentrations of regional-scale business, retail, entertainment, government administration, secondary and tertiary educational facilities and health and social services within the shire;
 - (ii) Kuranda as a village activity centre, which accommodates services, arts and cultural facilities, sports and recreation facilities, business and employment uses to support the village and its constituent surrounding rural and rural residential communities;
 - (iii) Chillagoe and Dimbulah as Rural activity centres, which provide commercial and community services to their rural catchments; and
 - (iv) Bibbohra, Irvinebank, Julatten, Koah, Mutchilba, Mt Molloy, Myola and Speewah as rural villages, that have limited centre activities and other non-residential activities.

Criteria for assessment
Table 6.2.1.3A—Centre zone code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Height		
P01 Building height takes into consideration and respects the following: <ul style="list-style-type: none"> · (a) the height of existing buildings on adjoining premises; · (b) the development potential, with respect to height, on adjoining premises; · (c) the height of buildings in the vicinity of the site; · (d) access to sunlight and daylight for the site and adjoining sites; · (e) privacy and overlooking; and · (f) site area and street frontage length. 	A01 Development has a maximum building height of: <ul style="list-style-type: none"> · (a) 8.5 metres; and · (b) 2 storeys above ground level. 	Complies with A01. The proposed shed will have a maximum height of 6.5m and will be a single-story structure.
Siting		
P02 Development is sited in a manner that considers and respects: <ul style="list-style-type: none"> · (a) the siting and use of adjoining premises; · (b) access to sunlight and daylight for the site and adjoining sites; · (c) privacy and overlooking; · (d) opportunities for casual surveillance of adjoining public spaces; · (e) air circulation and access to natural breezes; · (f) appearance of building bulk; and · (g) relationship with pedestrian spaces. 	A02.1 Buildings are built to the road frontage/s of the site. Note—Awning structures may extend into the road reserve where provided in accordance with P05.	Not applicable. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The street frontage is already developed with an existing building.
	A02.2 Buildings are setback and boundary treatment(s) are undertaken in accordance with Table 6.2.1.3B.	Complies with A02.2. The location of the proposed shed complies with the setback requirements specified in Table 6.2.1.3B.
Accommodation density		
P03 The density of Accommodation activities: <ul style="list-style-type: none"> · (a) contributes to housing choice and affordability; · (b) respects the nature and density of surrounding land use; · (c) does not cause amenity impacts beyond the reasonable expectation of the planned accommodation density for the centre; and · (d) is commensurate to the scale and frontage of the site. 	A03 Development provides a maximum density for Accommodation activities of: <ul style="list-style-type: none"> · (a) 1 dwelling or accommodation unit per 120m² site area; and · (b) 1 bedroom per 60m² site area. 	Not applicable. The proposal does not involve development comprising or involving accommodation.
Site cover		
P04 Buildings and structures occupy the site in a manner that:	A04 Site cover does not exceed 90%.	Complies with A04. The proposed shed utilises an existing hard stand pad and is

Performance outcomes	Acceptable outcomes	Compliance
<ul style="list-style-type: none"> • (a) makes efficient use of land; • (b) is consistent with the bulk and scale of surrounding buildings; and • (c) appropriately balances built and natural features. 		consistent with the design of existing buildings on the site. Site coverage does not exceed 90%.
For assessable development		
Building design		
<p>PO5 Building facades are appropriately designed to:</p> <ul style="list-style-type: none"> • (a) provide an active and vibrant streetscape; • (b) include visual interest and architectural variation; • (c) maintain and enhance the character of the surrounds; • (d) provide opportunities for casual surveillance; • (e) include a human scale; and • (f) encourage occupation of outdoor space. 	<p>A05.1 Buildings address and provide pedestrian entrances to:</p> <ul style="list-style-type: none"> • (a) the primary pedestrian frontage where a single frontage lot or multiple frontage lot that is not a corner lot; • (b) the primary and secondary frontages where a corner lot, with a pedestrian entrance provided on each frontage and/or as part of a corner truncation; and • (c) any adjoining public place, with the main entrance provided on this boundary. 	<p>Complies with A05.1. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. Pedestrian entrance to the site is currently achieved via an existing building. No changes to the existing building are proposed and therefore there are no changes to pedestrian access.</p>
	<p>A05.2 Building frontages:</p> <ul style="list-style-type: none"> • (a) are broken into smaller, 10 metre wide components by doors, display windows, pillars and structural elements; • (b) are articulated with projections and recesses; • (c) include windows where the bottom of the window is located between 0.6 metres and 0.9 metres above the footpath level; and • (d) have a minimum 40% of the building facade facing the street is comprised of windows that are not painted or treated to obscure transparency. 	<p>Not applicable. The street frontage is already developed with an existing building. No changes to the existing building are proposed.</p>
	<p>A05.3 Buildings incorporate cantilevered awnings that are:</p>	<p>Not applicable. The street frontage is already developed with an existing building.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<ul style="list-style-type: none"> • (a) provided along the full length of the building's frontage to the street; • (b) set back 0.6 metres from the face of the kerb or to match the alignment of the awning/s of the adjoining building/s; • (c) a minimum of 3 metres and a maximum of 4.2 metres above the finished level of the footpath from the underside of the awning; and • (d) truncated at the corner with a 2 metre single cord truncation where located on a corner site. 	No changes to the existing building are proposed.
P06 Development complements and integrates with the established built character of the Centre zone, having regard to: <ul style="list-style-type: none"> • (a) roof form and pitch; • (b) eaves and awnings; • (c) building materials, colours and textures; and • (d) window and door size and location. 	A06 No acceptable outcome is provided.	Complies with P06. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The proposed shed is consistent with the design of existing buildings on the site.
Accommodation activities		
P07 Accommodation activities are appropriately located in buildings in the Centre zone, having regard to: <ul style="list-style-type: none"> • (a) the use of adjoining premises; and • (b) the provision of an active and vibrant streetscape. 	A07 Accommodation activities are located above the ground floor.	Not applicable. The proposal does not involve development comprising or involving accommodation.
Amenity		
P08 Development must not detract from the amenity of the local area, having regard to: <ul style="list-style-type: none"> • (a) noise; • (b) hours of operation; • (c) traffic; • (d) advertising devices; • (e) visual amenity; • (f) privacy; • (g) lighting; • (h) odour; and • (i) emissions. 	A08 No acceptable outcome is provided.	Complies with P08. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The proposal does not detract from the amenity of the area.

Performance outcomes	Acceptable outcomes	Compliance
<p>P09 Development must take into account and seek to ameliorate any existing negative environmental impacts, having regard to:</p> <ul style="list-style-type: none"> . (a) noise; . (b) hours of operation; . (c) traffic; . (d) advertising devices; . (e) visual amenity; . (f) privacy; . (g) lighting; . (h) odour; and . (i) emissions. 	<p>A09 No acceptable outcome is provided.</p>	<p>Complies with P09. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The proposal does not involve new environmental impacts at the site.</p>

7.2.1 Kuranda local plan code

7.2.1.1 Application

- (1) This code applies to assessing development where:
- (a) located in the Kuranda local plan area; and
 - (b) it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

7.2.1.2 Purpose

- (1) The purpose of the Kuranda local plan code is to:
- (a) maintain the distinctive “village in the rainforest” theme of Kuranda;
 - (b) maintain the character and pedestrian scale of Kuranda’s village heart;
 - (c) maintain a vibrant and diverse village frame which accommodates a cluster of uses including tourism attractions and mixed-use facilities; and
 - (d) ensure points of arrival into Kuranda are developed sensitively.
- (2) Three precincts are identified within the local plan in order to achieve this purpose:
- (a) The Village heart precinct focuses on the fig tree lined section of Upper Coondoo Street and adjoining Thongon and Therwine Streets. The purpose of this precinct is to maintain the distinctive landscaping, paving schemes, active shop fronts and pedestrian scale of development in the Village heart as the focal point of activity within Kuranda.
 - (b) The Village frame precinct consists of a variety of commercial and community uses, characterised by varying scales and formats, including the markets, zoos and some mixed use commercial/residential developments and community facilities. The purpose of the precinct is to accommodate a wider variety of uses which still contribute to the rainforest character and theme of the Kuranda village.
 - (c) The Green belt precinct contains a mix of tenures and land uses which contribute to the distinctive rainforest belt enveloping Kuranda village. The purpose of the precinct is to maintain the rainforest theme of the village. The Green belt precinct also protects the visual amenity around points of arrival into Kuranda village.
- (3) The purpose of the code will be achieved through the following overall outcomes:
- (a) Development provides high standards of amenity and compliments the surrounding natural and built environment;
 - (b) Development is integrated sensitively into the built and natural environment;
 - (c) Development maintains the streetscape amenity and pedestrian scale of Upper Coondoo, Thongon and Therwine St;
 - (d) Development maintains a mixed use commercial area framing Kuranda’s village heart accommodating a range of formats and scales of development and contributing to the established character of Kuranda;
 - (e) Development preserves and enhances a rainforest belt around the Kuranda village;
 - (f) Development protects Kuranda village from visually obtrusive development; and
 - (g) Development maintains a streetscape theme within the village through consistent landscape treatments and paving schemes.

7.2.1.3 Criteria for assessment

Table 7.2.1.3A—Kuranda local plan – For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
P01 Advertising devices are compatible with the established character of the Kuranda local plan area, having regard to the: <ul style="list-style-type: none"> (a) dominance of natural elements; (b) scale of built elements; (c) nature of existing development in identified precincts; and (d) scale, location and prominence of existing advertising devices. Note—Refer to Planning Scheme Policy 1 – Character Area Design Guidelines for additional guidance in relation to the development outcomes sought.	AO1.1 Advertising devices: <ul style="list-style-type: none"> (a) are not illuminated or flashing; and (b) do not use fluorescent colours or reflective surfaces. 	Not applicable. The proposed development does not include an advertising device.
	AO1.2 Where in the Village heart precinct or the Village frame precinct, advertising devices are limited to: <ul style="list-style-type: none"> (a) those attached to buildings; (b) a maximum of two permanent advertising devices per business; and (c) a combined surface area of no greater 2m². 	Not applicable. The proposed development does not include an advertising device.
	AO1.3 Where in the Green belt precinct, advertising devices are: <ul style="list-style-type: none"> (a) limited to a surface area of 0.5m²; (b) located a minimum of 300 metres from the closest freestanding advertising device; and (c) located to not obstruct the windows or architectural features of a building or structure to which they are attached. 	Not applicable. The proposed development does not include an advertising device.
Where in the Village frame precinct		
P02 Buildings are sited in a manner which is consistent with the established scale and form of buildings within the precinct, having regard to: <ul style="list-style-type: none"> (a) proximity to the street; (b) the existing relationship between built and natural features; and (c) treatment of corner sites. Note—Refer to Planning Scheme Policy 1 – Character Area Design Guidelines for additional guidance in relation to the development outcomes sought.	AO2.1 Site cover does not exceed 60%.	Not applicable. The proposed development is not located within the Village Frame Precinct.
	AO2.2 Buildings are set back a minimum of 3 metres from the primary street frontage.	Not applicable. The proposed development is not located within the Village Frame Precinct.
	AO2.3 Buildings are set back a minimum of 2 metres from any secondary street frontage.	Not applicable. The proposed development is not located within the Village Frame Precinct.
P03 Car parking and service areas do not dominate the streetscape.	AO3.1 No more than 50% of provided car parking is to be located between the building and the primary street frontage.	Not applicable. The proposed development is not located within the Village Frame Precinct.
	AO3.2 Servicing areas, excluding driveways, are not visible from the primary street frontage.	Not applicable. The proposed development is not located within the Village Frame Precinct.
Where in Green belt precinct		

Performance outcomes	Acceptable outcomes	Compliance
P04 Where located on a site identified as a 'point of arrival', development reinforces a positive image of Kuranda and upholds the "village in the rainforest" theme.	A04 Where located on a site identified as a 'point of arrival', development is: <ul style="list-style-type: none"> (a) of timber and tin construction; and (b) provides a minimum landscaped strip of 3 metres to the site frontage. 	Not applicable. The proposed development is not located within the Green Belt Precinct.
P05 The natural landscape character of the Green belt precinct is maintained and enhanced through on-site landscaping that: <ul style="list-style-type: none"> (a) promotes the dominance of natural elements; (b) screens built elements from view; (c) includes species consistent with those found in the precinct; and (d) includes an appropriate depth of planting from the frontage. 	A05.1 Development provides and maintains landscaping: <ul style="list-style-type: none"> (a) along the full frontage of the site (excluding any access ways); (b) with a minimum width of 3 metres; and (c) contains rainforest planting in accordance with Table 7.2.1.3B. 	Not applicable. The proposed development is not located within the Green Belt Precinct.
	A05.2 Existing mature native vegetation that is visible from public open space and streets within the Green belt precinct is retained.	Not applicable. The proposed development is not located within the Green Belt Precinct.
For assessable development		
P06 Development fronting Rob Veivers Drive, Barron Falls Road or the southern portion of the Kennedy Highway maintains and enhances the natural rainforest appearance of land adjoining these corridors through the retention and addition of existing native vegetation.	A06.1 Existing vegetation is retained at a depth of a minimum of: <ul style="list-style-type: none"> (a) 20 metres from the lot frontage for properties fronting the southern side of Rob Veivers Drive; or (b) 3 metres from the lot frontage for properties fronting the northern side of Rob Veivers Drive; or (c) 10 metres from the lot frontage for properties fronting either side of Barron Falls Road; or (d) 10 metres from the lot frontage for properties fronting either side of the portion of the Kennedy Highway to the south of the Barron River. 	Not applicable. The proposed development is located on Coondoo Street.
	A06.2 Where an area of a frontage described in A06.1 does not contain any vegetation for a distance greater than 2 metres, this area is replanted: <ul style="list-style-type: none"> (a) to the depth specified in A06.1; and (b) in accordance with Table 7.2.1.3B. 	Not applicable. The proposed development is located on Coondoo Street.
	A06.3 Where the site has a frontage to a road described in A06.1, other than Barron Falls Road, advertising devices: <ul style="list-style-type: none"> (a) are limited to a surface area of 0.5m²; (b) do not use fluorescent colours or reflective surfaces; (c) do not involve illumination; and (d) are spaced a minimum of 300 metres apart from the closest existing freestanding advertising device. 	Not applicable. The proposed development is located on Coondoo Street.
Where in Village frame precinct and Village heart precinct		

Performance outcomes	Acceptable outcomes	Compliance
<p>P07 Development in the Village frame precinct and Village heart precinct is undertaken in a manner that respects the place's local character having regard to:</p> <ul style="list-style-type: none"> (a) building height, scale, bulk, mass and proportion; (b) building materials, patterns, textures, colours, and decorative elements; (c) floor to ceiling height; (d) roof form and pitch; (e) facade articulation, detailing, stairways, and window and door proportions; (f) verandahs, awnings and eaves; (g) access ways, driveway crossovers, fence style and alignment; (h) ancillary buildings; and (i) other local character elements of the streetscape. <p>Note—Refer to Planning Scheme Policy 1 – Character Area Design Guidelines for additional guidance in relation to the development outcomes sought.</p>	<p>A07 No acceptable outcome is provided.</p>	<p>Complies with P07. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The proposed shed will have similar dimensions to existing buildings on the site and will be constructed of similar materials and in similar colours. The proposed development does not impact on the local character of Coondoo Street.</p>
Where in Village heart precinct		
<p>P08 Frontage works contribute to and extend established streetscape themes and landscape treatments, having regard to:</p> <ul style="list-style-type: none"> (a) the location of street trees; (b) the provision of mature trees near the frontage; (c) the provision of raised planters; (d) established paving schemes; (e) the permeability of surface treatments; and (f) opportunities for public art. <p>Note—Refer to Planning Scheme Policy 1 – Character Area Design Guidelines for additional guidance in relation to the development outcomes sought.</p>	<p>A08 No acceptable outcome is provided.</p>	<p>Not applicable. The proposal does not include frontage works.</p>
Where in Village frame precinct		
<p>P09 Landscaping along the site frontage of a site in the Village frame precinct reinforces and enhances the natural character of the precinct by providing:</p> <ul style="list-style-type: none"> (a) a sufficient depth of planting to ensure natural elements are prominent; and (b) species that are consistent with those found in the precinct. 	<p>A09 A landscape strip is provided adjacent to the full length of any road frontage:</p> <ul style="list-style-type: none"> (a) with a minimum width of 2 metres; and (b) landscaped in accordance with the Table 7.2.1.3B. 	<p>Not applicable. The proposed development is not located within the Village Frame Precinct.</p>
<p>P010 Buildings incorporate materials and design features that are consistent with the established style and form of</p>	<p>A010 Buildings incorporate the following design characteristics:</p> <ul style="list-style-type: none"> (a) roofing materials with a traditional profile corrugated iron; 	<p>Not applicable. The proposed development is not located within the Village Frame Precinct.</p>

Performance outcomes	Acceptable outcomes	Compliance
development within the precinct, having regard to: (a) roofing; (b) window placement; and (c) privacy screening.	(b) fenestration which has a vertical emphasis; (c) avoidance of large glazed areas in otherwise blank walls; and (d) privacy screens which consist of lattice or battens and are less than 50% transparent. Note—Refer to Planning Scheme Policy 1 – Character Area Design Guidelines for additional guidance in relation to the development outcomes sought.	

8.2.2 Airport environs overlay code

8.2.2.1 Application

- (1) This code applies to assessing development where:
- (a) land the subject of development is affected by a constraint category identified on the Airport environs overlay maps (OM-002a-f); and
 - (b) it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

Note—Strategic airports and aviation facilities are appropriately reflected in Overlay Map 2 and is required to be mapped by State Government in response to Infrastructure State Interests.

8.2.2.2 Purpose

- (1) The purpose of the Airport environs overlay code is to protect the current and ongoing operations of established airports, aerodromes and aviation infrastructure in Mareeba Shire.
- (2) The purpose of the code will be achieved through the following overall outcomes:
- (a) The ongoing operation of Mareeba Airport and its associated infrastructure are protected from incompatible development;
 - (b) Aerodromes in Chillagoe and Dimbulah are maintained to support recreation, mining and rural uses;
 - (c) Operational airspace is protected;
 - (d) Threats to aviation safety such as bird and bat strike and distraction or blinding of pilots are avoided or minimised;
 - (e) State significant aviation facilities associated with the Mareeba Airport are protected from encroachment by sensitive land uses; and
 - (f) Development in the vicinity of airports, aerodromes and aviation infrastructure does not compromise public safety.

8.2.2.3 Criteria for assessment

Table 8.2.2.3 - Airport environs overlay code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Protection of operational airspace		
PO1 Development does not interfere with movement of aircraft or the safe operation of an airport or aerodrome where within the: (a) Airport environs: OLS area of Mareeba Airport identified on Airport environs overlay map (OM-002c) ; or (b) Airport environs: OLS area of Cairns Airport identified on Airport environs overlay map (OM-002c.1) ; or (c) 'Airport environs: Airport buffer - 1 kilometre' of an aerodrome identified on Airport environs overlay map (OM-002f) ; or (d) 'Airport environs: Airport buffer - 3 kilometres' of an aerodrome identified on Airport environs overlay map (OM-002f) .	AO1.1 Development does not exceed the height of the Obstacle Limitation Surface (OLS) where located within the Airport environs: OLS area of: (a) Mareeba Airport identified on Airport environs overlay map (OM-002c) ; or (b) Cairns Airport identified on Airport environs overlay map (OM-002c.1) .	Complies with AO1.1. The proposed shed will have a maximum height of 6.5m and will be a single-story structure. The proposed shed does not exceed the height specified in overlay maps OM-002c or OM-002c.1.
	AO1.2 Development has a maximum height of 10 metres where within the 'Airport environs: Airport buffer - 1 kilometre' of an aerodrome identified on Airport environs overlay map (OM-002f) .	Complies with AO1.2. The proposed shed will have a maximum height of 6.5m and will be a single-story structure.
	AO1.3 Development has a maximum height of 15 metres where within the 'Airport environs: Airport buffer - 3 kilometres' of an aerodrome identified on Airport environs overlay map (OM-002f) .	Complies with AO1.2. The proposed shed will have a maximum height of 6.5m and will be a single-story structure.
Lighting		
PO2 Development does not include lighting that: (a) has the potential to impact on the efficient and safe operation of Mareeba Airport or an aerodrome; or (b) could distract or confuse pilots.	AO2 Development within the 'Airport environs: Distance from airport - 6 kilometres' area for Mareeba Airport identified on Airport environs overlay map (OM-002b) or the 'Airport environs: Airport buffer - 3 kilometres' of an aerodrome identified on Airport environs overlay map (OM-002f) does not: (a) involve external lighting, including street lighting, that creates straight parallel lines of lighting that are more than 500 metres long; and (b) does not contain reflective cladding upwards shining lights, flashing lights or sodium lights.	Not applicable. The proposed shed is not located within 6km of the Mareeba Airport.
Noise exposure		
PO3 Development not directly associated with Mareeba Airport is protected from aircraft noise levels that may cause harm or undue interference.	AO3 Sensitive land uses are acoustically insulated to at least the minimum standards specified by AS2021 Acoustics - Aircraft Noise Intrusion - Building Siting and Construction where located within the 'Airport environs: 20-25 ANEF' area identified on Airport environs overlay map (OM-002d) .	Not applicable. The proposed shed is not located within the airport environs 20-25 ANEF area.
Public safety		

Performance outcomes	Acceptable outcomes	Compliance
P04 Development does not compromise public safety or risk to property.	A04 Development is not located within the 'Airport environs: Mareeba Airport public safety area' identified on Airport environs overlay map (OM-002e) .	Complies with A04. The proposed shed is not located within the Airport environs Mareeba Airport public safety area.
State significant aviation facilities associated with Mareeba Airport		
P05 Development does not impair the function of state significant aviation facilities by creating: (a) physical obstructions; or (b) electrical or electro-magnetic interference; or (c) deflection of signals.	A05.1 Development within 'Airport environs: Zone B (600 metre buffer)' for the 'Saddle Mountain VHF' facility identified on Airport environs overlay map (OM-002a.1) does not exceed a height of 640 metres AHD.	Not applicable. The proposed shed is not located within Airport environs: Zone B (600 metre buffer).
	A05.2 Development within 'Airport environs: Zone B (4,000 metre buffer)' for the 'Hahn Tableland Radar (RSR)' facility identified on Airport environs overlay map (OM-002a) does not exceed a height of 950 metres AHD, unless associated with Hann Tableland Radar facility.	Not applicable. The proposed shed is not located within Airport environs: Zone B (4000 metre buffer).
	A05.3 Building work does not occur within 'Airport environs: Zone A (200 metre buffer)' of the 'Biboohra CVOR' facility identified on Airport environs overlay map (OM-002a) unless associated with the Biboohra CVOR facility.	Not applicable. The proposed shed is not located within Airport environs: Zone A (200 metre buffer).
	A05.4 Development within 'Airport environs: Zone B (1,500 metre buffer)' of the 'Biboohra CVOR' facility identified on Airport environs overlay map (OM-002a) , but outside 'Zone A (200 metre buffer)' identified on Airport environs overlay map (OM-002a) , does not include: (a) the creation of a permanent or temporary physical line of sight obstruction above 13 metres in height; or (b) overhead power lines exceeding 5 metres in height; or (c) metallic structures exceeding 7.5 metres in height; or (d) trees and open lattice towers exceeding 10 metres in height; or (e) wooden structures exceeding 13 metres in height.	Not applicable. The proposed development is not located within the Airport environs: Zone B 1500m buffer).
For assessable development		
Mareeba Airport		
P06 Development within the vicinity of Mareeba Airport or an aerodrome does not interfere with the: (a) movement of aircraft; or (b) safe operation of the airport or facility.	A06.1 Development involving sporting and recreational aviation activities such as parachuting, hot air ballooning or hang gliding, does not occur within the Airport environs: OLS area of: (a) Mareeba Airport identified on Airport environs	Not applicable. The proposal does not involve sporting or recreational aviation activities.

Performance outcomes	Acceptable outcomes	Compliance
	<p>(b) overlay map (OM-002c); or Cairns Airport identified on Airport environs overlay map (OM-002c.1).</p>	
	<p>A06.2 Development involving temporary or permanent aviation activities does not occur within the 'Airport environs: Airport buffer - 3 kilometres' of an aerodrome identified on Airport environs overlay map (OM-002f).</p>	<p>Not applicable. The proposal does not involve sporting or recreational aviation activities.</p>
<p>P07 Development does not affect air turbulence, visibility or engine operation in the operational airspace of Mareeba Airport or regional aerodromes.</p>	<p>A07 Development does not result in the emission of a gaseous plume, at a velocity exceeding 4.3 metres per second, or smoke, dust, ash or steam within:</p> <ul style="list-style-type: none"> (a) the Airport environs: OLS area of Mareeba Airport identified on Airport environs overlay map (OM-002c); or (b) the Airport environs: OLS area of Cairns Airport identified on Airport environs overlay map (OM-002c.1); or (c) the 'Airport environs: Airport buffer - 1 kilometre' of a regional aerodrome identified on Airport environs overlay map (OM-002f). 	<p>Complies with A07. The proposed shed will not generate air emissions.</p>
Managing bird and bat strike hazard to aircraft		
<p>P08 Development in the environs of Mareeba Airport or an aerodrome does not contribute to the potentially serious hazard from wildlife (bird or bat) strike.</p>	<p>A08.1 Development within the 'Airport environs: Distance from airport - 8 kilometres' Bird and bat strike zone of Mareeba Airport identified on Airport environs overlay map (OM-002b) or the 'Airport environs: Airport buffer - 3 kilometres' of an aerodrome identified on Airport environs overlay map (OM-002f) provides that potential food and waste sources are covered and collected so that they are not accessible to wildlife.</p>	<p>Not applicable. The proposed shed is not located within the bird and bat strike area associated with the Mareeba Airport.</p>
	<p>A08.2 Development within the 'Airport environs: Distance from airport - 3 kilometres' Bird and bat strike zone of Mareeba Airport identified on Airport environs overlay map (OM-002b) or the 'Airport environs: Airport buffer - 1 kilometre' of an aerodrome identified on Airport environs overlay map (OM-002f) does not include:</p> <ul style="list-style-type: none"> (a) food processing; or (b) abattoir; or (c) intensive horticulture; or (d) intensive animal husbandry; or (e) garden centre; or (f) aquaculture. 	<p>Not applicable. The proposed shed is not located within the bird and bat strike area associated with the Mareeba Airport.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>A08.3 Putrescible waste disposal sites do not occur within the 'Airport environs: Distance from airport - 13 kilometres' Bird and bat strike zone of:</p> <p>(a) Mareeba Airport identified on Airport environs overlay map (OM-002b); or</p> <p>(b) Cairns Airport identified on Airport environs overlay map (OM-002b.1).</p>	<p>Not applicable. The proposed shed is not located within the bird and bat strike area associated with the Mareeba Airport.</p>

8.2.7 Heritage overlay code

8.2.7.1 Application

- (1) This code applies to assessing development where:
- (a) land the subject of development is affected by a constraint category identified on the **Heritage overlay maps (OM-007a-f)**; and
 - (b) it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

Note—This code will not apply to any development where an 'Exemption Certificate' has been issued for the work under Section 35 of the Queensland Heritage Act 1992 and where the Heritage Place is included in the Queensland Heritage Register.

Note—In demonstrating compliance with the Heritage overlay code, reference should be made to Planning Scheme Policy 7 – Local Heritage Places where development relates to a Local heritage place.


Note—Cultural heritage is appropriately reflected in Overlay Map 7 and is required to be mapped by State Government in response to Environment and Heritage State Interests.


8.2.7.2 Purpose

- (1) The purpose of the Heritage overlay code is to ensure development in a heritage place is compatible with the heritage significance of the place.
- (2) The purpose of the code will be achieved through the following overall outcomes:
- (a) Development does not involve the demolition or removal of a heritage place, unless there is no prudent and feasible alternative to the demolition or removal;
 - (b) Development maintains the materials and setting of heritage places;
 - (c) Development on a heritage place is compatible with the cultural heritage significance of the place;
 - (d) Development involves the appropriate use of a heritage place;
 - (e) Development recognises and conserves identified heritage places that exhibit the key historical themes of development and use of land and resources in Mareeba Shire; and
 - (f) Development does not adversely affect the significant visual, sentimental and physical elements of a heritage place.

8.2.7.3 Criteria for assessment

Table 8.2.7.3 - Heritage overlay code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Where for Building work or Operational work involving a heritage place		
<p>PO1 Development conserves and is subservient to the features and values of the heritage place identified on the Heritage overlay maps (OM-007a-f) that contribute to its heritage significance.</p>	<p>A01 Development: (a) does not alter, remove or conceal significant features of the heritage place identified on the Heritage overlay maps (OM-007a-f); or (b) is minor and necessary to maintain a significant use for the heritage place identified on the Heritage overlay maps (OM-007a-f).</p>	<p>Complies with A01. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The proposed shed is minor development and is critical to the ongoing use of the site for an existing purpose. The proposed shed will have similar dimensions to existing buildings on the site and will be constructed of similar materials and in similar colours.</p> <p>There are two identified local heritage places relevant to proposed shed The first is Coondoo Street itself and the second is 36 Coondoo Street (the site).</p> <p>36 Coondoo Street has heritage values associated with the Julli Bianna Building (Reference 7.11.4). The building is the main structure that fronts Coondoo Street (as shown below).</p>  <p>The proposed development involves no works on or that will impact the identified local heritage value.</p>

Performance outcomes	Acceptable outcomes	Compliance
		<p>Coondoo Street has heritage values associated with the Kuranda Fig Tree Avenue (Reference 7.11.9), as shown below.</p>  <p>The proposed shed is located to the rear of Lot 714 on Plan NR7409 approximately 33.9m from the frontage of Coondoo Street. There will be no impacts on the Kuranda Fig Tree Avenue as a result of the proposed development.</p>
For assessable development		
Where for Material change of use on a heritage place		
<p>P02</p> <p>The Material change of use is compatible with the conservation and management of the significance of the heritage place identified on the Heritage overlay maps (OM-007a-f).</p>	<p>A02</p> <p>No acceptable outcome is provided.</p>	<p>Complies with A02.</p> <p>The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The proposed shed will have similar dimensions to existing buildings on the site and will be constructed of similar materials and in similar colours. The proposed shed will not impact on the heritage value associated with the Julli Bianna Building.</p>
Where for Reconfiguring a lot on a heritage place		

Performance outcomes	Acceptable outcomes	Compliance
P03 Reconfiguring a lot does not: (a) reduce public access to the heritage place identified on the Heritage overlay maps (OM-007a-f) ; or (b) obscure or destroy any of the following elements relating to the heritage place identified on the Heritage overlay maps (OM-007a-f) : (i) pattern of historic subdivision; or (ii) the landscape setting; or (iii) views to the heritage place identified on the Heritage overlay maps (OM-007a-f) ; or (iv) the scale and consistency of the urban fabric.	A03 No acceptable outcome is provided.	Not applicable. The proposal does not relate to the reconfiguration of a lot.
Where for Reconfiguring a lot on a heritage place		
P04 Changes to a heritage place identified on the Heritage overlay maps (OM-007a-f) are appropriately managed and documented.	A04.1 Development is compatible with a conservation management plan prepared in accordance with the Australian ICOMOS Charter ¹ for Places of Cultural Significance (Burra Charter).	Not applicable. No changes to the identified heritage place are proposed.
	A04.2 An archival quality photographic record is made of the features of the place that are destroyed as a result of the development that meets the standards outlined in the Department of Environment and Heritage Protection Guideline: Archival Recording of Heritage Places (2013).	Not applicable. No changes to the identified heritage place are proposed.
P05 The scale, location and design of the development are compatible with the character, setting and appearance of the heritage place identified on the Heritage overlay maps (OM-007a-f) . Note—A Heritage Impact Assessment Report must be prepared by appropriately qualified persons that demonstrates to Council's satisfaction that the development does not detract from, or diminish the cultural heritage significance of the heritage place.	A05 No acceptable outcome is provided.	Complies with P05. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The proposed shed is minor development and is critical to the ongoing use of the site for an existing purpose. The proposed shed will have similar dimensions to existing buildings on the site and will be constructed of similar materials and in similar colours.
P06 Development does not adversely affect the character, setting or appearance of the heritage place identified on the Heritage overlay maps (OM-007a-f) through removal of vegetation that contributes to the heritage significance of the place. Note—A Heritage Impact Assessment Report must be prepared by appropriately qualified persons that demonstrates to Council's satisfaction that the vegetation removal does not detract from, or	A06 Existing vegetation is retained.	Not applicable. The proposal does not include the removal of vegetation.

¹ Australia ICOMOS Inc. is the national chapter of ICOMOS (International Council of Monuments and Sites), a non-government international organisation primarily concerned with the philosophy, terminology, methodology and techniques of cultural heritage conservation.
 Part 8 – Overlay Codes

Performance outcomes	Acceptable outcomes	Compliance
diminish the cultural heritage significance of the heritage place.		
<p>P07 Excavation or other earthworks do not have a detrimental impact on heritage places identified on the Heritage overlay maps (OM-007a-f) that are of archaeological significance.</p> <p>Note—An archaeological investigation is carried out for development involving a high level of surface or sub-surface disturbance.</p>	<p>A07 No acceptable outcome is provided.</p>	<p>Not applicable. The proposed filling is minor and is located to the rear of the site. The extent of filling will not impact on the identified heritage value.</p>
<p>P08 For development involving structural demolition of a heritage place identified on the Heritage overlay maps (OM-007a-f), works occur in accordance with a Heritage Place Construction Management Plan that demonstrates that:</p> <ul style="list-style-type: none"> (a) a procedure for recording the existing condition of the heritage place identified on the Heritage overlay maps (OM-007a-f) (including any building encroachments) and monitoring the condition of the heritage place identified on the Heritage overlay maps (OM-007a-f) during the construction phase will be implemented; (b) measures will be employed to avoid damage to the heritage place identified on the Heritage overlay maps (OM-007a-f) during construction; (c) a protocol has been established for the approval of repair work and repairs to any damage to the heritage place identified on the Heritage overlay maps (OM-007a-f) resulting from construction works; and (d) where applicable, a report by a Landscape Architect or Arborist detailing how any identified significant vegetation on the site of the heritage place identified on the Heritage overlay maps (OM-007a-f) will not be adversely affected by works during and post construction. 	<p>A08 No acceptable outcome is provided.</p>	<p>Not applicable. The proposal does not involve the demolition of a heritage place.</p>
<p>P09 Advertising devices located on a heritage place identified on the Heritage overlay maps (OM-007a-f) are sited and designed in a manner that:</p> <ul style="list-style-type: none"> (a) is compatible with the heritage significance of the place identified on the Heritage overlay maps (OM-007a-f); and <p>does not obscure the appearance or prominence of the heritage place identified on the Heritage overlay maps (OM-</p>	<p>A09 No acceptable outcome is provided.</p>	<p>Not applicable. The proposal does not include an advertising device.</p>

Performance outcomes	Acceptable outcomes	Compliance
007a-f) when viewed from the street or other public places.		

Australia ICOMOS Inc. is the national chapter of ICOMOS (International Council of Monuments and Sites), a non-government international organisation primarily concerned with the philosophy, terminology, methodology and techniques of cultural heritage conservation.

8.2.11 Scenic amenity overlay code

8.2.11.1 Application

- (1) This code applies to assessing development where:
 - (a) land the subject of development is located within identified on the **Scenic amenity overlay maps (OM-011a-b)**; and
 - (b) it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

8.2.11.2 Purpose

- (1) The purpose of the Scenic amenity overlay code is to protect and enhance the scenic qualities and character of the shire.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Scenic routes are protected from development that could compromise their contribution to the character of the shire;
 - (b) Scenic routes are enhanced through development that is consistent with the existing landscape character of the route; and
 - (c) The visibility of Iconic landscape features from public areas of the shire is protected and enhanced.

8.2.11.3 Criteria for assessment

Table 8.2.11.3 – Scenic amenity overlay code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Where adjoining a Local scenic route		
PO1 'Local scenic routes' identified on Scenic amenity overlay map (OM-011b) are maintained and enhanced to: (a) achieve a high level of amenity when viewed from the street; (b) contribute to the development of natural features within the streetscape; and (c) compliment the character of the local area.	AO1.1 Development with frontage to a 'Local scenic route' identified on Scenic amenity overlay map (OM-011b) retains existing mature native vegetation within 3 metres of the site frontage	Not applicable. The site does not have frontage to a Local Scenic Route.
	AO1.2 Development, other than for a Dwelling house, with frontage to a 'Local scenic route' identified on Scenic amenity overlay map (OM-011b) : (a) provides a landscaped strip that: (i) is a minimum of 3 metres; and (ii) contains species which comply with the relevant acceptable outcomes of the Landscaping code and any applicable local plan code; and (a) does not involve a freestanding permanent advertising device.	Not applicable. The site does not have frontage to a Local Scenic Route.
For assessable development		
Iconic landscape features		
PO2 The visibility of the 'Chillagoe Smelters iconic landscape feature' and the 'Mount Mulligan iconic landscape feature' identified on Scenic amenity overlay map (OM-011a) are not compromised by buildings or structures located within the: (a) 'Chillagoe Smelters iconic landscape feature'; or (b) 'Chillagoe Smelters 500 metre buffer'; or (c) 'Mount Mulligan iconic landscape feature'; or (d) 'Mount Mulligan 12 kilometre buffer'.	AO2 No acceptable outcome is provided.	Not applicable. The proposed development is not located within the Chillagoe Smelters or Mount Mulligan areas identified on overlap map OM-011a.
Where within the Shire scenic route 500 metre buffer		

Performance outcomes	Acceptable outcomes	Compliance
<p>P03 'Shire scenic routes' identified on Scenic amenity overlay map (OM-011b) are maintained and enhanced:</p> <ul style="list-style-type: none"> (e) to contribute to the rural landscape character of the shire; (f) to promote the appreciation of the natural environment; (g) through the sensitive location and design of land uses, buildings and structures; and (h) through the retention and enhancement of the attributes or values which give rise to the attractiveness of the subject site. 	<p>A03 No acceptable outcome is provided.</p>	<p>Complies with P03. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The frontage of the site is already developed and will not be amended as part of the proposed development. The shire scenic route is therefore maintained.</p>
If for Extractive industry or Telecommunications facility		
<p>P04 The Extractive industry or Telecommunications facility is not visible from a 'Local scenic route' or a 'Shire scenic route' identified on Scenic amenity overlay map (OM-011b).</p>	<p>A04 No acceptable outcome is provided.</p>	<p>Not applicable. The proposal does not relate to extractive industry or a telecommunications facility.</p>

9.3.5 Industrial activities code

9.3.5.1 Application

- (1) This code applies to assessing development where:
- (a) involving Industrial activities; and
 - (b) it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

9.3.5.2 Purpose

- (1) The purpose of the Industrial activities code is to ensure Industrial activities are:
- (a) appropriately located within designated industrial areas;
 - (b) established and operated in an efficient manner with minimal impact on the character, scale, amenity and environmental values of the surrounding area; and
 - (c) managed to allow for progressive rehabilitation where involving Extractive industry.
- (2) The purpose of the code will be achieved through the following overall outcomes:
- (a) Industrial activities are appropriately located having regard to topography, surrounding land uses, natural environment, accessibility, local character and potential social and community impacts;
 - (b) Industrial activities meet the needs of the local community and the local economy through well located, safe and convenient points of service;
 - (c) Industrial activities are designed to have minimal impact on the character, amenity and environment of the surrounding area;
 - (d) Industrial activities provide a safe working environment;
 - (e) Industrial activities are designed to promote sustainability and energy efficiency;
 - (f) Industrial activities are co-located with complimentary and compatible uses;
 - (g) External impacts associated with Extractive industry operations do not impact on the character and amenity of the surrounding area and the safety and wellbeing of the community;
 - (h) Extractive industry operations are adequately separated from potentially incompatible land uses; and
 - (i) Extractive industry sites are progressively rehabilitated.

9.3.5.3 Criteria for assessment

Table 9.3.5.3—Industrial activities code— For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Separation		
<p>P01</p> <p>Industrial activities are appropriately separated from sensitive uses to ensure their amenity is maintained, having regard to:</p> <ul style="list-style-type: none"> (a) noise; (b) odour; (c) light; and (d) emissions. <p>Note—Development proposed to be located closer than the separation distances specified in A02 requires supporting investigations to demonstrate that the expected impacts from the industry use have been adequately mitigated in consideration of the local context.</p>	<p>A01</p> <p>Development is separated from sensitive uses as follows:</p> <ul style="list-style-type: none"> (a) medium impact industry—250 metres; or (b) high impact industry—500 metres; or (c) special industry— 1.5 kilometres. 	<p>Not applicable.</p> <p>The proposed land use is low impact industry.</p>
For assessable development		
Amenity		
<p>P02</p> <p>Industrial activities protect and enhance the character and amenity of the locality and streetscape through the appropriate location and screening of:</p> <ul style="list-style-type: none"> (a) air conditioning; (b) refrigeration plant; (c) mechanical plant; and (d) refuse bin storage areas. 	<p>A02</p> <ul style="list-style-type: none"> (a) No acceptable outcome is provided. 	<p>Not applicable.</p> <p>The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The proposal does not include new air conditioning units, refrigeration plant or mechanical plant. No changes to the existing refuse bin-storage areas are proposed.</p>
<p>P03</p> <p>Development avoids and, where unavoidable, mitigates impacts on ground water, particularly where ground water is heavily drawn upon for irrigation or domestic purposes.</p>	<p>A03</p> <p>No acceptable outcome is provided.</p>	<p>Complies with P03.</p> <p>No impacts to groundwater will occur. The proposed shed utilises a hard stand pad and is fully enclosed. There is no pathway for the release of contaminants to groundwater.</p>
If for Extractive industry		
<p>P04</p> <p>The site has sufficient area and dimensions to safely accommodate:</p> <ul style="list-style-type: none"> (a) the extractive use; (b) vehicular access and on site vehicular movements; (c) buildings including staff facilities; (d) parking areas for visitors and employees; (e) storage areas and stockpiles; (f) any environmentally significant land; and (g) landscaping and buffer areas. <p>Note—Refer to Planning Scheme Policy 3 - Extractive Industry.</p>	<p>A04</p> <p>No acceptable outcome is provided.</p>	<p>Not applicable.</p> <p>The proposed development does not relate to extractive industry.</p>

Performance outcomes	Acceptable outcomes	Compliance
P05 Extractive industry is established and operated in a way that does not impact on public safety.	A05 Safety fencing is provided for the full length of the perimeter of the site and is appropriately signed with warning signs advising of the nature of the use and any danger or hazard.	Not applicable. The proposed development does not relate to extractive industry.
P06 Extractive industry is appropriately located to adequately mitigate visual, noise, vibration and dust impacts on sensitive uses.	A06 All aspects of the Extractive industry are setback from all boundaries: (a) 200 metres where not involving blasting or crushing; and (b) 1,000 metres for where involving blasting or crushing. Note—Refer to Planning Scheme Policy 3 - Extractive Industry.	Not applicable. The proposed development does not relate to extractive industry.
P07 The Extractive industry is designed and managed to appropriately address its interface with the natural environment and landscape, having regard to: (a) water quality; (b) existing vegetation; and (c) declared plants.	A07.1 The Extractive industry does not cause a reduction in the quality of ground water or receiving surface waters.	Not applicable. The proposed development does not relate to extractive industry.
	A07.2 Vegetation is retained on site that contributes towards alleviating the impact of the development on the visual amenity of surrounding sensitive land uses.	Not applicable. The proposed development does not relate to extractive industry.
	A07.3 No declared plants are transported from the site.	Not applicable. The proposed development does not relate to extractive industry.
P08 Extractive industry actively integrates rehabilitation into the ongoing operations on the site to progressively restore the site to its original (or an improved) condition, having regard to matters of: (a) locally prevalent plant species; (b) plant spacing; (c) local climatic conditions; (d) locations of waterways and wetlands; (e) ongoing maintenance; (f) potential habitat opportunities; (g) erosion and sediment control; and (h) fencing.	A08 No acceptable outcome is provided.	Not applicable. The proposed development does not relate to extractive industry.

Performance outcomes	Acceptable outcomes	Compliance
<p>Note—A revegetation plan must be prepared by a suitably experienced person in the field of natural area revegetation and rehabilitation, at a standard acceptable to Council, which addresses the items identified in Performance Outcome PO8.</p>		

9.4.2 Landscaping code

9.4.2.1 Application

This code applies where it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

9.4.2.2 Purpose

- (1) The purpose of the Landscaping code is to ensure all development is landscaped to a standard that:
 - (a) complements the scale and appearance of the development;
 - (b) protects and enhances the amenity and environmental values of the site;
 - (c) complements and enhances the streetscape and local landscape character; and
 - (d) ensures effective buffering of incompatible land uses to protect local amenity.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Landscaping is a functional part of development design and is commensurate with the intended use;
 - (b) Landscaping accommodates the retention of existing significant on site vegetation where appropriate and practical;
 - (c) Landscaping treatments complement the scale, appearance and function of the development;
 - (d) Landscaping contributes to an attractive streetscape;
 - (e) Landscaping enhances the amenity and character of the local area;
 - (f) Landscaping enhances natural environmental values of the site and the locality;
 - (g) Landscaping provides effective screening both on site, if required, and between incompatible land uses;
 - (h) Landscaping provides shade in appropriate circumstances;
 - (i) Landscape design enhances personal safety and reduces the potential for crime and vandalism; and
 - (j) Intensive land uses incorporate vegetated buffers to provide effective screening of buildings, structures and machinery associated with the use.

9.4.2.3 Criteria for assessment

Table 9.4.2.3A—Landscaping code - For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
P01 Development, other than in the Rural zone, includes landscaping that: <ul style="list-style-type: none"> (a) contributes to the landscape character of the Shire; (b) compliments the character of the immediate surrounds; (c) provides an appropriate balance between built and natural elements; and (d) provides a source of visual interest. 	AO1 Development, other than in the Rural zone, provides: <ul style="list-style-type: none"> (a) a minimum of 10% of the site as landscaping; (b) planting in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species; (c) for the integration of retained significant vegetation into landscaping areas; (d) on-street landscaping works in accordance with the Design Guidelines set out in Section D9 Landscaping, of the Planning Scheme Policy 4 - FNQROC Regional Development Manual. <p>Note—Where development exceeds a site cover of 90%, areas of landscaping may be provided above ground level to achieve a total supply of landscaping equivalent to 10% of the site area.</p>	Complies with P01. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. Whilst the proposal does not involve new landscaping, it is noted that there is existing landscaping along the frontage of the site and existing vegetation at the rear property boundary. The existing landscaping is consistent with the surrounding area.
P02 Development, other than in the Rural zone, includes landscaping along site frontages that: <ul style="list-style-type: none"> (a) creates an attractive streetscape; (b) compliments the character of the immediate surrounds; (c) assists to break up and soften elements of built form; (d) screen areas of limited visual interest or servicing; (e) provide shade for pedestrians; and (f) includes a range and variety of planting. 	AO2 Development, other than in the Rural zone, includes a landscape strip along any site frontage: <ul style="list-style-type: none"> (a) with a minimum width of 2 metres where adjoining a car parking area; (b) with a minimum width of 1.5 metres in all other locations; and (c) in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species. <p>Note—Where development is setback from a frontage less than 1.5 metres, the setback area is provided as a landscape strip</p>	Complies with P02. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The site frontage is already developed with an existing building. Whilst the proposal does not involve new landscaping, it is noted that there is existing landscaping along the frontage of the site and existing vegetation at the rear property boundary. The existing landscaping is consistent with the surrounding area and is consistent with existing streetscaping.
P03 Development includes landscaping and fencing along side and rear boundaries that: <ul style="list-style-type: none"> (a) screens and buffer land uses; (b) assists to break up and soften elements of built form; (c) screens areas of limited visual interest; 	AO3.1 Development provides landscape treatments along side and rear boundaries in accordance with Table 9.4.2.3B.	Complies with P03. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The existing site is fenced with vegetation to the rear.
	AO3.2	Complies with P03.

Performance outcomes	Acceptable outcomes	Compliance
(d) preserves the amenity of sensitive land uses; and (e) includes a range and variety of planting.	<p>Shrubs and trees provided in landscape strips along side and rear boundaries:</p> <ul style="list-style-type: none"> (a) are planted at a maximum spacing of 1 metre; (b) will grow to a height of at least 2 metres; (c) will grow to form a screen of no less than 2 metres in height; and (d) are mulched to a minimum depth of 0.1 metres with organic mulch. 	The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The existing site is fenced with vegetation to the rear.
	<p>AO3.3 Any landscape strip provided along a side or rear boundary is designed in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species.</p>	<p>Complies with P03. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. The existing site is fenced with vegetation to the rear.</p>
<p>P04 Car parking areas are improved with a variety of landscaping that:</p> <ul style="list-style-type: none"> (a) provides visual interest; (b) provides a source of shade for pedestrians; (c) assists to break up and soften elements; and (d) improves legibility. 	<p>AO4.1 Landscaping is provided in car parking areas which provides:</p> <ul style="list-style-type: none"> (a) a minimum of 1 shade tree for every 4 parking spaces, or part thereof, where the car parking area includes 12 or more spaces; (b) a minimum of 1 shade tree for every 6 parking spaces, or part thereof, otherwise; and (c) where involving a car parking area in excess of 500m²: <ul style="list-style-type: none"> (i) shade structures are provided for 50% of parking spaces; and (ii) a minimum of 10% of the parking area as landscaping. <p>Note—Where a shade structure is provided over part of a car parking area, shade tree planting is not required in this area of the car parking area.</p>	<p>Not applicable. Car parking arrangements for the site are existing. No changes are proposed.</p>
	<p>AO4.2 Landscaping in car parking areas is designed in accordance with Planning Scheme Policy 6 - Landscaping and preferred plant species.</p>	<p>Not applicable. Car parking arrangements for the site are existing. No changes are proposed.</p>
<p>P05 Landscaping areas include a range and variety of planting that:</p>	<p>AO5.1 Plant species are selected from the Plant Schedule in Planning Scheme Policy 6 - Landscaping and</p>	<p>Not applicable. No landscaping is proposed.</p>

Performance outcomes	Acceptable outcomes	Compliance
(a) is suitable for the intended purpose and local conditions; (b) contributes to the natural character of the Shire; (c) includes native species; (d) includes locally endemic species, where practical; and (e) does not include invasive plants or weeds.	preferred plant species. AO5.2 A minimum of 25% of (new and existing) plants is provided as larger, advanced stock with a minimum plant height of 0.7 metres and mulched to a minimum depth of 0.1 metres with organic mulch.	Not applicable. No landscaping is proposed.
PO6 Landscaping does not impact on the ongoing provision of infrastructure and services to the Shire.	AO6.1 Tree planting is a minimum of (a) 2 metres from any underground water, sewer, gas, electricity or telecommunications infrastructure; and (b) 4 metres from any inspection chamber.	Not applicable. No landscaping is proposed.
	AO6.2 Vegetation below or within 4 metres of overhead electricity lines and power poles has a maximum height of 3.5 metres at maturity.	Not applicable. No landscaping is proposed.
	AO6.3 Vegetation adjoining an electricity substation boundary, at maturity, will have: (a) a height of less than 4 metres; and (b) no foliage within 3 metres of the substation boundary, unless the substation has a solid wall along any boundary.	Not applicable. No landscaping is proposed.
For assessable development		
PO7 Landscaping areas are designed to: (a) be easily maintained throughout the ongoing use of the site; (b) allow sufficient area and access to sunlight and water for plant growth; (c) not cause a nuisance to occupants of the site or members of the public; and (d) maintain or enhance the safety of pedestrians through the use of Crime Prevention Through Environmental Design principles.	AO7 No acceptable outcome is provided.	Not applicable. No landscaping is proposed.

9.4.3 Parking and access code

9.4.3.1 Application

This code applies to assessing development where it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

9.4.3.2 Purpose

- (1) The purpose of the Parking and access code is to ensure:
 - (a) parking areas are appropriately designed, constructed and maintained;
 - (b) the efficient functioning of the development and the local road network; and
 - (c) all development provides sufficient parking, loading/service and manoeuvring areas to meet the demand generated by the use.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Land uses have a sufficient number of parking and bicycle spaces designed in a manner to meet the requirements of the user;
 - (b) Parking spaces and associated manoeuvring areas are safe, functional and provide equitable access;
 - (c) Suitable access for all types of vehicles likely to utilise a parking area is provided in a way that does not compromise the safety and efficiency of the surrounding road network;
 - (d) Premises are adequately serviced to meet the reasonable requirements of the development; and
 - (e) End of trip facilities are provided by new major developments to facilitate alternative travel modes.

9.4.3.3 Criteria for assessment

Table 9.4.3.3A—Parking and access code – For accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For accepted development subject to requirements and assessable development		
Car parking spaces		
PO1 Development provides sufficient car parking to accommodate the demand likely to be generated by the use, having regard to the: <ul style="list-style-type: none"> (f) nature of the use; (g) location of the site; (h) proximity of the use to public transport services; (i) availability of active transport infrastructure; and (j) accessibility of the use to all members of the community. 	A01 The number of car parking spaces provided for the use is in accordance with Table 9.4.3.3B. Note—Car parking spaces provided for persons with a disability are to be considered in determining compliance with A01.	Not applicable. Car parking arrangements for the site have been established. The proposed shed does not involve changes to the existing car parking arrangements for the site.
Vehicle crossovers		
PO2 Vehicle crossovers are provided to: <ul style="list-style-type: none"> (d) ensure safe and efficient access between the road and premises; (e) minimize interference with the function and operation of roads; and (f) minimize pedestrian to vehicle conflict. 	A02.1 Vehicular access to/from Council roads is designed and constructed in accordance with the Standard drawings in Planning Scheme Policy 4 - FNQROC Regional Development Manual.	Not applicable. Vehicular access to and from the site to Coondoo Street is via an existing point. The proposed shed does not involve changes to site access arrangements.
	A02.2 Development on a site with two or more road frontages provides vehicular access from: <ul style="list-style-type: none"> (a) the primary frontage where involving Community activities or Sport and recreation activities, unless the primary road frontage is a State-controlled road; or (b) from the lowest order road in all other instances. 	Not applicable. Vehicular access to and from the site to Coondoo Street is via an existing point. The proposed shed does not involve changes to site access arrangements.
	A02.3 Vehicular access for particular uses is provided in accordance with Table 9.4.3.3E.	Not applicable. Vehicular access to and from the site to Coondoo Street is via an existing point. The proposed shed does not involve changes to site access arrangements.
PO3 Access, manoeuvring and car parking areas include appropriate pavement treatments having regard to: <ul style="list-style-type: none"> (d) the intensity of anticipated vehicle movements; (e) the nature of the use that they service; and (f) the character of the surrounding locality. 	A03 Access, manoeuvring and car parking areas include pavements that are constructed in accordance with Table 9.4.3.3C.	Not applicable. Both car parking arrangements and vehicular access are established for the site. The proposed shed does not involve changes to site parking or access arrangements.

Performance outcomes	Acceptable outcomes	Compliance
For assessable development		
Parking area location and design		
P04 Car parking areas are located and designed to: <ul style="list-style-type: none"> (a) ensure safety and efficiency in operation; and (b) be consistent with the character of the surrounding locality. 	A04.1 Car parking spaces, access and circulation areas have dimensions in accordance with AS/NZS 2890.1 Off-street car parking.	Not applicable. Car parking arrangements for the site have been established. The proposed shed does not involve changes to the existing car parking arrangements for the site.
	A04.2 Disabled access and car parking spaces are located and designed in accordance with AS/NZS 2890.6 Parking facilities - Off-street parking for people with disabilities.	Not applicable. Car parking arrangements for the site have been established. The proposed shed does not involve changes to the existing car parking arrangements for the site.
	A04.3 The car parking area includes designated pedestrian routes that provide connections to building entrances.	Not applicable. Car parking arrangements for the site have been established. The proposed shed does not involve changes to the existing car parking arrangements for the site.
	A04.4 Parking and any set down areas are: <ul style="list-style-type: none"> (a) wholly contained within the site; (b) visible from the street where involving Commercial activities, Community activities, Industrial activities or a use in the Recreation and open space zone; (c) are set back behind the main building line where involving a Dual occupancy, Multiple dwelling, Residential care facility or Retirement facility; and (d) provided at the side or rear of a building in all other instances. 	Not applicable. Car parking arrangements for the site have been established. The proposed shed does not involve changes to the existing car parking arrangements for the site.
Site access and manoeuvring		
P05 Access to, and manoeuvring within, the site is designed and located to: <ul style="list-style-type: none"> (a) ensure the safety and efficiency of the external road network; (b) ensure the safety of pedestrians; (c) provide a functional and convenient layout; and (d) accommodate all vehicles intended to use the site. 	A05.1 Access and manoeuvrability is in accordance with : <ul style="list-style-type: none"> (a) AS28901 – Car Parking Facilities (Off Street Parking); and (b) AS2890.2 – Parking Facilities (Off-street Parking) Commercial Vehicle Facilities. Note—Proposal plans should include turning circles designed in accordance with AP34/95 (Austroads 1995) Design Vehicles and Turning Path Templates.	Not applicable. Vehicular access to and from the site to Coondoo Street is via an existing point. The proposed shed does not involve changes to site access arrangements.
	A05.2	Not applicable.

Performance outcomes	Acceptable outcomes	Compliance
	Vehicular access has a minimum sight distance in accordance with Part 5 of AUSTROADS.	Vehicular access to and from the site to Coondoo Street is via an existing point. The proposed shed does not involve changes to site access arrangements.
	A05.3 Vehicular access is located and designed so that all vehicles enter and exit the site in a forward gear.	Not applicable. Vehicular access to and from the site to Coondoo Street is via an existing point. The proposed shed does not involve changes to site access arrangements.
	A05.4 Pedestrian and cyclist access to the site: (a) is clearly defined; (b) easily identifiable; and (c) provides a connection between the site frontage and the entrance to buildings and end of trip facilities (where provided).	Not applicable. Vehicular access to and from the site to Coondoo Street is via an existing point. The proposed shed does not involve changes to site access arrangements.

Performance outcomes	Acceptable outcomes	Compliance
P06 Development that involves an internal road network ensures that it's design: <ul style="list-style-type: none"> (a) ensure safety and efficiency in operation; (b) does not impact on the amenity of residential uses on the site and on adjoining sites, having regard to matters of: <ul style="list-style-type: none"> (i) hours of operation; (ii) noise (iii) light; and (iv) odour; (c) accommodates the nature and volume of vehicle movements anticipated to be generated by the use; (d) allows for convenient access to key on-site features by pedestrians, cyclists and motor vehicles; and (e) in the Rural zone, avoids environmental degradation. 	A06.1 Internal roads for a Tourist park have a minimum width of: <ul style="list-style-type: none"> (a) 4 metres if one way; or (b) 6 metres if two way. 	Not applicable. The proposal does not involve an internal road network.
	A06.2 For a Tourist park, internal road design avoids the use of cul-de-sacs in favour of circulating roads, where unavoidable, cul-de-sacs provide a full turning circle for vehicles towing caravans having: <ul style="list-style-type: none"> (a) a minimum approach and departure curve radius of 12 metres; and (b) a minimum turning circle radius of 8 metres. 	Not applicable. The proposal does not involve an internal road network.
	A06.3 Internal roads are imperviously sealed and drained, apart from those for an Energy and infrastructure activity or Rural activity.	Not applicable. The proposal does not involve an internal road network.
	A06.4 Speed control devices are installed along all internal roads, apart from those for an Energy and infrastructure activity or Rural activity, in accordance with Complete Streets.	Not applicable. The proposal does not involve an internal road network.
	A06.5 Internal roads, apart from those for an Energy and infrastructure activity or Rural activity, are illuminated in accordance with AS 4282 (as amended) - Control of Obtrusive effects of outdoor lighting.	Not applicable. The proposal does not involve an internal road network.
	A06.6 Where involving an accommodation activity, internal roads facilitate unobstructed access to every dwelling, accommodation unit, accommodation site and building by emergency services vehicles.	Not applicable. The proposal does not involve an internal road network.
	A06.7 For an Energy and infrastructure activity or Rural activity, internal road gradients: <ul style="list-style-type: none"> (a) are no steeper than 1:5; or (b) are steeper than 1:5 and are sealed. 	Not applicable. The proposal does not involve an internal road network.
Servicing		
P07 Development provides access, maneuvering and servicing areas on site	A07.1 All unloading, loading, service and waste disposal	Not applicable. Vehicular access to and from the site to Coondoo Street is

Performance outcomes	Acceptable outcomes	Compliance
that: (a) accommodate a service vehicle commensurate with the likely demand generated by the use; (b) do not impact on the safety or efficiency of internal car parking or maneuvering areas; (c) do not adversely impact on the safety or efficiency of the road network; (d) provide for all servicing functions associated with the use; and (e) are located and designed to minimise their impacts on adjoining sensitive land uses and streetscape quality.	<p>areas are located:</p> <p>(a) on the site; (b) to the side or rear of the building, behind the main building line; (c) not adjacent to a site boundary where the adjoining property is used for a sensitive use.</p> <p>A07.2 Unloading, loading, service and waste disposal areas allow service vehicles to enter and exit the site in a forward gear.</p> <p>A07.3 Development provides a servicing area, site access and maneuvering areas to accommodate the applicable minimum servicing vehicle specified in Table 9.4.3.3B.</p>	<p>via an existing point. The proposed shed does not involve changes to site access arrangements.</p> <p>Not applicable. Vehicular access to and from the site to Coondoo Street is via an existing point. The proposed shed does not involve changes to site access arrangements.</p> <p>Not applicable. Vehicular access to and from the site to Coondoo Street is via an existing point. The proposed shed does not involve changes to site access arrangements.</p>
Maintenance		
P08 Parking areas are used and maintained for their intended purpose.	<p>A08.1 Parking areas are kept and used exclusively for parking and are maintained in a suitable condition for parking and circulation of vehicles.</p> <p>A08.2 All parking areas will be compacted, sealed, drained, line marked and maintained until such time as the development ceases.</p>	<p>Not applicable. Car parking arrangements for the site have been established. The proposed shed does not involve changes to the existing car parking arrangements for the site.</p> <p>Not applicable. Car parking arrangements for the site have been established. The proposed shed does not involve changes to the existing car parking arrangements for the site.</p>
End of trip facilities		
P09 Development within the Centre zone; Industry zone or Emerging community zone provides facilities for active transport users that: (a) meet the anticipated demand generated from the use; (b) comprise secure and convenient bicycle parking and storage; and (c) provide end of trip facilities for all active transport users.	<p>A09.1 The number of bicycle parking spaces provided for the use is in accordance with Table 9.4.3.3D.</p> <p>A09.2 End of trip facilities are provided in accordance with Table 9.4.3.3D.</p>	<p>Not applicable. Bicycle parking arrangements for the site have been established. The proposed shed does not involve changes to the existing bicycle parking arrangements for the site.</p> <p>Not applicable. Bicycle parking arrangements for the site have been established. The proposed shed does not involve changes to the existing bicycle parking arrangements for the site.</p>
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park		

Performance outcomes	Acceptable outcomes	Compliance
PO10 The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.	A010 A traffic impact report is prepared by a suitably qualified person that identifies: <ul style="list-style-type: none"> (a) the expected traffic movements to be generated by the facility; (b) any associated impacts on the road network; and (c) any works that will be required to address the identified impacts. 	Not applicable. The proposed development does not relate to an educational establishment or child care centre.
If for Educational establishment or Child care centre where involving more than 100 vehicle movements per day or Renewable energy facility, Sport and recreation activities or Tourist park		
PO11 The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.	A011 A traffic impact report is prepared by a suitably qualified person that identifies: <ul style="list-style-type: none"> (d) the expected traffic movements to be generated by the facility; (e) any associated impacts on the road network; and (f) any works that will be required to address the identified impacts. 	Not applicable. The proposed development does not relate to an educational establishment or child care centre.

9.4.5 WORKS SERVICES AND INFRASTRUCTURE CODE

9.4.5.1 Application

This code applies to assessing development where it is identified in the assessment benchmarks for assessable development and requirements for accepted development column of an assessment table in Part 5 of the planning scheme.

9.4.5.2 Purpose

1. The purpose of the Works, services and infrastructure code is to ensure that all development is appropriately serviced by physical infrastructure, public utilities and services and that work associated with development is carried out in a manner that does not adversely impact on the surrounding area.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development provides an adequate, safe and reliable supply of potable, fire-fighting and general use water in accordance with relevant standards;
 - b. Development provides for the treatment and disposal of wastewater and ensures there are no adverse impacts on water quality, public health, local amenity or ecological processes;
 - c. Development provides for the disposal of stormwater and ensures that there are no adverse impacts on water quality or ecological processes;
 - d. Development connects to the road network and any adjoining public transport, pedestrian and cycle networks while ensuring no adverse impacts on the safe, convenient and efficient operation of these networks;
 - e. Development provides electricity and telecommunications services that meet its desired requirements;
 - f. Development is connected to a nearby electricity network with adequate capacity without significant environment, social or amenity impact;
 - g. Development does not affect the efficient functioning of public utility mains, services or installations;
 - h. Infrastructure dedicated to Council is cost effective over its life cycle;
 - i. Work associated with development does not cause adverse impacts on the surrounding area; and
 - j. Development prevents the spread of weeds, seeds or other pests.

Table 9.4.5.3A—Parking and Access Code – For accepted development subject to requirements and assessable development

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL COMPLIANCE
For accepted development subject to requirements and assessable development		
Water Supply		
P01 Each lot has an adequate volume and supply of water that: <ul style="list-style-type: none"> a. meets the needs of users; b. is adequate for fire-fighting purposes; c. ensures the health, safety and convenience of the community; and d. minimises adverse impacts on the receiving environment. 	A01.1 Development is connected to a reticulated water supply system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located: <ul style="list-style-type: none"> a. in the Conservation zone, Rural zone or Rural residential zone; and b. outside a reticulated water supply service area. 	Complies with A01.1. The existing development is connected to Council's reticulated water supply. No changes to the existing connection are proposed.
	A01.2 Development, where located outside a reticulated water supply service area and in the Conservation zone, Rural zone or Rural residential zone is provided with: <ul style="list-style-type: none"> a. a bore or bores are provided in accordance with the Design Guidelines set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; or b. on-site water storage tank/s: c. with a minimum capacity of 90,000L; d. fitted with a 50mm ball valve with a camlock fitting; and e. which are installed and connected prior to the occupation or use of the development. 	Not applicable. The existing development is connected to Council's reticulated water supply.
Wastewater Disposal		

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL COMPLIANCE
P02 Each lot provides for the treatment and disposal of effluent and other waste water that: <ul style="list-style-type: none"> a. meets the needs of users; b. is adequate for fire-fighting purposes; c. ensures the health, safety and convenience of the community; and d. minimises adverse impacts on the receiving environment. 	A02.1 Development is connected to a reticulated sewerage system in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual other than where located: <ul style="list-style-type: none"> a. in the Conservation zone, Rural zone or Rural residential zone; and b. outside a reticulated sewerage service area. 	Complies with A02.1. The existing development is connected to Council's sewerage network. No changes to the existing connection are proposed.
	A02.2 An effluent disposal system is provided in accordance with ASNZ 1547 On-Site Domestic Wastewater Management (as amended) where development is located: <ul style="list-style-type: none"> a. in the Conservation zone, Rural zone or Rural residential zone; and b. outside a reticulated sewerage service area. 	Not applicable. The existing development is connected to Council's sewerage network.
Stormwater infrastructure		
P03 Stormwater infrastructure is designed and constructed to collect and convey the design storm event to a lawful point of discharge in a manner that mitigates impacts on life and property.	A03.1 Where located within a Priority infrastructure area or where stormwater infrastructure is available, development is connected to Council's stormwater network in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Complies with A03.1. The existing development is connected to Council's stormwater infrastructure. No changes to the existing connection are proposed, and the new shed will be plumbed as required into the existing network, with discharge to a lawful point.
	A03.2 On-site drainage systems are constructed: <ul style="list-style-type: none"> a. to convey stormwater from the premises to a lawful point of discharge; and 	Not applicable. The existing development is connected to Council's stormwater infrastructure.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL COMPLIANCE
	<ul style="list-style-type: none"> b. in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual. 	
Electricity supply		
P04 Each lot is provided with an adequate supply of electricity	A04.1 The premises: <ul style="list-style-type: none"> a. is connected to the electricity supply network; or b. has arranged a connection to the transmission grid; or c. where not connected to the network, an independent energy system with sufficient capacity to service the development (at near average energy demands associated with the use) may be provided as an alternative to reticulated electricity where: d. it is approved by the relevant regulatory authority; and e. it can be demonstrated that no air or noise emissions; and f. it can be demonstrated that no adverse impact on visual amenity will occur. 	Complies with A04.1. The existing development is connected to the available electricity supply network. No changes to the existing connection are proposed.
Telecommunications infrastructure		
P05 Each lot is provided with an adequate supply of telecommunication infrastructure	A05 Development is provided with a connection to the national broadband network or telecommunication services.	Complies with A05. The existing development is connected to the available telecommunications network. No changes to the existing connection are proposed.
Existing public utility services		

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL COMPLIANCE
P06 Development and associated works do not affect the efficient functioning of public utility mains, services or installations.	A06 Public utility mains, services are relocated, altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Not applicable. No changes to the functioning or public utility mains, services or installations are likely.
Excavation and filling		
P07 Excavation or filling must not have an adverse impact on the: <ul style="list-style-type: none"> a. streetscape; b. scenic amenity; c. environmental values; d. slope stability; e. accessibility; or f. privacy of adjoining premises. 	A07.1 Excavation or filling does not occur within 1.5 metres of any site boundary.	Complies with P07. Minor fill works are required to provide structural surety for the proposed shed. Fill works on the western boundary will occur at a distance of 1.25m from the boundary. The height of the proposed fill is <1.5m. The required volume of fill is approximately 15m ³ over an area of 10.8m X 1m. The fill material will be encapsulated by a masonry block retaining wall.
	A07.2 Excavation or filling at any point on a lot is to be no greater than 1.5 metres above or below natural ground level.	Complies with A07.2. Filling will not exceed 1.5m above or below natural ground level.
	A07.3 Earthworks batters: <ul style="list-style-type: none"> a. are no greater than 1.5 metres in height; b. are stepped with a minimum width 2 metre berm; c. do not exceed a maximum of two batters and two berms (not greater than 3.6 metres in total height) on any one lot; d. have a slope no greater than 1 in 4; and e. are retained. 	Not applicable. No earthwork batters are proposed.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL COMPLIANCE
Transport Network	A07.4 Soil used for filling or spoil from excavation is not stockpiled in locations that can be viewed from: adjoining premises; or a road frontage, for a period exceeding 1 month from the commencement of the filling or excavation.	Complies with A07.4. Fill material will be used as it is brought to site.
	A07.5 All batters and berms to be constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Not applicable. No earthwork batters or berms are proposed.
	A07.6 Retaining walls have a maximum height of 1.5 metres and are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Complies with A07.6. The proposed retaining wall does not exceed 1.5m in height and will be designed and constructed in accordance with the specified design guidelines.
	A07.7 Excavation or filling at any point on a lot is to include measures that protect trees at the foot or top of cut or fill batters by the use of appropriate retaining methods and sensitive earth removal or placement and in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Not applicable. Filling works are not proposed at locations that will impact on existing vegetation.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL COMPLIANCE
P08 The development has access to a transport network of adequate standard to provide for the safe and efficient movement of vehicles, pedestrians and cyclists.	A08.1 Vehicle access, crossovers, road geometry, pavement, utilities and landscaping to the frontage/s of the site are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual.	Not applicable. Vehicular access to and from the site to Coondoon Street is via an existing point. The proposed shed does not involve changes to site access arrangements.
	A08.2 Development provides footpath pavement treatments in accordance with Planning Scheme Policy 9 – Footpath Paving.	Not applicable. Vehicular access to and from the site to Coondoon Street is via an existing point. The proposed shed does not involve changes to site access arrangements.
Public infrastructure		
P09 The design, construction and provision of any infrastructure that is to be dedicated to Council is cost effective over its life cycle and incorporates provisions to minimise adverse impacts.	A09 Development is in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual.	Not applicable. The proposed development does not include infrastructure that is to be provided to Council.
Stormwater Quality		
P010 Development has a non-worsening effect on the site and surrounding land and is designed to: <ul style="list-style-type: none"> a. optimise the interception, retention and removal of waterborne pollutants, prior to the discharge to receiving waters; b. protect the environmental values of waterbodies affected by the development, including upstream, on-site and downstream waterbodies; c. achieve specified water quality objectives; 	A010.1 The following reporting is prepared for all Material change of use or Reconfiguring a lot proposals: <ul style="list-style-type: none"> a. a Stormwater Management Plan and Report that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development Manual; and 	Not applicable. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. There are no changes to stormwater management at the site.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL COMPLIANCE
<ul style="list-style-type: none"> d. minimise flooding; e. maximise the use of natural channel design principles; f. maximise community benefit; and g. minimise risk to public safety. 	<ul style="list-style-type: none"> b. an Erosion and Sediment Control Plan that meets or exceeds the Soil Erosion and Sedimentation Control Guidelines (Institute of Engineers Australia), including: <ul style="list-style-type: none"> c. drainage control; d. erosion control; e. sediment control; and f. water quality outcomes. 	
	<p>A010.2</p> <p>For development on land greater than 2,500m² or that result in more than 5 lots or more than 5 dwellings or accommodation units, a Stormwater Quality Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) is prepared that demonstrates that the development:</p> <ul style="list-style-type: none"> a. meets or exceeds the standards of design and construction set out in the Urban Stormwater Quality Planning Guideline and the Queensland Water Quality Guideline; b. is consistent with any local area stormwater water management planning; c. accounts for development type, construction phase, local climatic conditions and design objectives; and d. provides for stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosivity. 	<p>Not applicable.</p> <p>The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. There are no changes to stormwater management at the site.</p>

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL COMPLIANCE
P011 Storage areas for stormwater detention and retention: <ul style="list-style-type: none"> a. protect or enhance the environmental values of receiving waters; b. achieve specified water quality objectives; c. where possible, provide for recreational use; d. maximise community benefit; and e. minimise risk to public safety. 	A011 No acceptable outcome is provided.	Not applicable. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. There are no changes to stormwater management at the site.
Excavation or Filling		
P012 Traffic generated by filling or excavation does not impact on the amenity of the surrounding area.	A012.1 Haul routes used for transportation of fill to or from the site only use major roads and avoid residential areas.	Complies with A012.1. Fill material will be brought to site via major roads. Compliance with the requirements of this AO can be ensured through the impositioning of a condition.
	A012.2 Transportation of fill to or from the site does not occur: within peak traffic times; and before 7am or after 6pm Monday to Friday; before 7am or after 1pm Saturdays; and on Sundays or Public Holidays.	Complies with A012.2. Fill material will be transported to site as per the requirements of A012.2. Compliance with the requirements of this AO can be ensured through the impositioning of a condition.
P013 Air pollutants, dust and sediment particles from excavation or filling, do not cause significant environmental harm or nuisance impacts.	A013.1 Dust emissions do not extend beyond the boundary of the site.	Complies with P013. Dust mitigation measures comprising water sprays will be used to ensure that dust does not extend beyond the boundary of the site. Compliance with the requirements of this AO can be ensured through the impositioning of a condition.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL COMPLIANCE
	A013.2 No other air pollutants, including odours, are detectable at the boundary of the site.	Complies with P013. st mitigation measures comprising water sprays will be used to ensure that dust does not extend beyond the boundary of the site. Compliance with the requirements of this AO can be ensured through the impositioning of a condition.
	A013.3 A management plan for control of dust and air pollutants is prepared and implemented.	Complies with P013. st mitigation measures comprising water sprays will be used to ensure that dust does not extend beyond the boundary of the site. Compliance with the requirements of this AO can be ensured through the impositioning of a condition.
P014 Access to the premises (including driveways and paths) does not have an adverse impact on: <ul style="list-style-type: none"> a. safety; b. drainage; c. visual amenity; and d. privacy of adjoining premises. 	A014 Access to the premises (including all works associated with the access): <ul style="list-style-type: none"> a. must follow as close as possible to the existing contours; b. be contained within the premises and not the road reserve, and c. are designed and constructed in accordance with the Design Guidelines and Specifications set out in the Planning Scheme Policy 4 – FNQROC Regional Development manual. 	Complies with A014. Access to the site will be via the existing access point on Coondoo Street. No changes to the existing arrangements are proposed.
Weed and Pest Management		
P015 Development prevents the spread of weeds, seeds or other pests into clean areas or away from infested areas	A015 No acceptable outcome is provided.	Complies with P015. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site. However, compliance with the requirements of this PO can be ensured through the impositioning of a condition.
Contaminated Land		

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL COMPLIANCE
P016 Development is located and designed to ensure that users and nearby sensitive land uses are not exposed to unacceptable levels of contaminants	A016 Development is located where: <ul style="list-style-type: none"> a. soils are not contaminated by pollutants which represent a health or safety risk to users; or b. contaminated soils are remediated prior to plan sealing, operational works permit, or issuing of building works permit. 	Complies with A016. The proposed shed utilises an existing hard stand pad and is an expansion of the existing vehicle workshop activities undertaken at the rear of the site.
Fire Services in developments accessed by common private title		
P017 Fire hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.	A017.1 Fire hydrants are located in accessways or private roads held in common private title at a maximum spacing of: <ul style="list-style-type: none"> a. 120 metres for residential development; and b. 90 metres for any other development 	Not applicable. Fire hydrants are already located on Coondoo Street. No changes to the existing hydrant arrangements are proposed.
	A017.2 Fire hydrants are located at all intersections of accessways or private roads held in common private title.	Not applicable. Fire hydrants are already located on Coondoo Street. No changes to the existing hydrant arrangements are proposed.

Attachment 4

SDAP Code Compliance Assessment

State code 14: Queensland heritage

Table 14.2.2: Development on a state heritage place

Performance outcomes	Acceptable outcomes	Response
<p>PO1 Development of a state heritage place:</p> <ol style="list-style-type: none"> 1. does not have a detrimental impact on the cultural heritage significance of the state heritage place; or 2. where it is demonstrated that 1 is not reasonably achievable: <ol style="list-style-type: none"> a. minimises and mitigates unavoidable detrimental impacts on its cultural heritage significance b. provides opportunities for public appreciation of its cultural heritage significance c. where adaptive reuse is proposed, is compatible with its ongoing conservation management. 	No acceptable outcome is prescribed.	<p>Not applicable.</p> <p>The proposed shed is not located on a State Heritage Place. The site fronts Coondoo Street which is mapped as a heritage place. The frontage of the site is already developed with an existing building. No changes to the frontage are proposed.</p>
<p>PO2 Where open space, or the relationship between built and open spaces at a state heritage place is identified as forming part of its cultural heritage significance, development:</p> <ol style="list-style-type: none"> 1. maintains or enhances the significance of the setting, including significant views, circulation, access, spatial patterns and layout 2. maintains a lot size and layout which permits viable adaptive reuse or conservation of significant heritage buildings and open spaces. 	No acceptable outcome is prescribed.	<p>Not applicable.</p> <p>The proposed shed is not located on a State Heritage Place. The site fronts Coondoo Street which is mapped as a heritage place. The frontage of the site is already developed with an existing building. No changes to the frontage are proposed.</p>

Performance outcomes	Acceptable outcomes	Response
PO3 Development on a state heritage place with identified archaeological potential avoids or appropriately manages detrimental impacts on artefacts.	No acceptable outcome is prescribed.	Not applicable. The proposed shed is not located on a State Heritage Place. The site fronts Coondoo Street which is mapped as a heritage place. The frontage of the site is already developed with an existing building. No changes to the frontage are proposed.
Development proposing to destroy or substantially reduce the cultural heritage significance of a state heritage place		
PO4 Development destroying or substantially reducing the cultural heritage significance of a state heritage place must: <ol style="list-style-type: none"> demonstrate that there is no prudent and feasible alternative to carrying out the development due to: <ol style="list-style-type: none"> an extraordinary economic cost to the state, all or part of a community, or an individual; or an extraordinary environmental or social disadvantage; or a risk to public health or safety; or another extraordinary or unique circumstance interpret and incorporate the place's history and significance into any development of the site. <p>Note: In accordance with the <i>Planning Act 2016</i>, the State Assessment and Referral Agency (SARA) will seek advice from the Queensland Heritage Council (via the Department of Environment and Science) on any application that will potentially destroy or substantially reduce the cultural heritage significance of a state heritage place.</p>	No acceptable outcome is prescribed.	Not applicable. The proposal does not involve the destruction or reduction of a State Heritage Place.

Table 14.2.3: Material change of use on land adjoining a state heritage place

Performance outcomes	Acceptable outcomes	Response
<p>PO5 Development on land adjoining a state heritage place:</p> <ol style="list-style-type: none"> 1. is located, designed and scaled so that its form, bulk and proximity does not have a detrimental impact on the cultural heritage significance of the state heritage place; or 2. where it is demonstrated that 1 is not reasonably achievable, the development minimises and mitigates unavoidable detrimental impacts on cultural heritage significance. 	No acceptable outcome is prescribed.	<p>Complies with PO1.</p> <p>The proposed development does not impact on the identified Queensland Heritage Place. The identified place is the Kuranda Fig Tree Avenue (Reference 650081). The proposed shed is located to the rear of Lot 714 on Plan NR7409 approximately 33.9m from the frontage of Coondoo Street. There will be no impacts on the Kuranda Fig Tree Avenue as a result of the proposed development.</p>