

DELEGATED REPORT

SUBJECT: NGOONBI COMMUNITY SERVICES INDIGENOUS CORPORATION - MATERIAL CHANGE OF USE - LOW IMPACT INDUSTRY (MECHANICS WORKSHOP) - LOT 714 ON NR7409 - 36 COONDOO STREET, KURANDA - MCU/19/0006

DATE: 21 June 2019

REPORT OFFICER'S TITLE: Planning Officer

DEPARTMENT: Corporate and Community Services

APPLICATION DETAILS

APPLICATION		PREMISES	
APPLICANT	Ngoonbi Community Services Indigenous Corporation	ADDRESS	36 Coondoo Street, Kuranda
DATE LODGED	24 April 2019	RPD	Lot 714 on NR7409
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Material Change of Use - Low Impact Industry (Mechanics Workshop)		

FILE NO	MCU/19/0006	AREA	1,012m2
LODGED BY	Gilvear Planning Pty Ltd	OWNER	Ngoonbi Community Services Indigenous Corporation
PLANNING SCHEME	Mareeba Shire Council Planning Scheme 2016		
ZONE	Centre zone		
LEVEL OF ASSESSMENT	Code Assessment		
SUBMISSIONS	n/a		

ATTACHMENTS:

1. Proposal Plan/s
2. Department of State Development, Manufacturing, Infrastructure and Planning Referral Agency Response - 7 June 2019

EXECUTIVE SUMMARY

Council is in receipt of a development application described in the above application details.

The application is code assessable and was not required to undergo public notification.

It has been assessed against the relevant statutory planning instruments, including the Regional Plan and the Planning Scheme and does not conflict with any relevant planning instrument.

Draft conditions were provided to the Applicant/ care of their consultant and have been agreed.

It is recommended that the application be approved in full with conditions.

OFFICER'S RECOMMENDATION

1. That in relation to the following development application:

APPLICATION		PREMISES	
APPLICANT	Ngoonbi Community Services Indigenous Corporation	ADDRESS	36 Coondoo Street, Kuranda
DATE LODGED	24 April 2019	RPD	Lot 714 on NR7409
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Material Change of Use - Low Impact Industry (Mechanics Workshop)		

and in accordance with the Planning Act 2016, the applicant be notified that the application for a development permit for the development specified in (A) is:

Approved by Council in accordance with the approved plans/documents listed in (B), subject to assessment manager conditions in (C), assessment manager's advice in (D), concurrence agency conditions in (E), relevant period in (F), further permits in (G), and further approvals from Council listed in (H);

And

The assessment manager does not consider that the assessment manager's decision conflicts with a relevant instrument.

(A) APPROVED DEVELOPMENT: Development Permit for Material Change of Use - Low Impact Industry (Mechanics Workshop)

(B) APPROVED PLANS:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
-	Site plan for proposed mechanics shed	-	-
-	Site plan for new portal frame shed	-	-
WSS183145-3	Layout	Wide Span Sheds	23/01/19
WSS183145-5	Bracing	Wide Span Sheds	23/01/19

(C) ASSESSMENT MANAGER'S CONDITIONS (COUNCIL)

(a) Development assessable against the Planning Scheme

1. Development must be carried out generally in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, subject to any alterations:
 - found necessary by Council's delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
 - to ensure compliance with the following conditions of approval.

2. Timing of Effect

The conditions of the development permit must be complied with to the satisfaction of Council's delegated officer prior to the commencement of the use except where specified otherwise in these conditions of approval.

3. General

- 3.1 The development approval would not have been issued if not for the conditions requiring the construction of infrastructure within the conditions of approval.

- 3.2 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.

- 3.3 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.

- 3.4 Noise Nuisance

- 3.4.1 Refrigeration equipment, pumps, compressors and mechanical ventilation systems must be located, designed, installed and maintained to achieve a maximum noise level of 3dB(A) above background levels as measured from noise sensitive locations and a maximum noise level of 8dB(A) above background levels as measured from commercial locations.

- 3.4.2 The applicant is required to install and maintain suitable screening to all air conditioning, lift motor rooms, plant and service facilities located at the top of or on the external face of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the facade of the building. There are to be no individual external unscreened air conditioning units attached to the exterior building facade.

4. Infrastructure Services and Standards

- 4.1 Stormwater Drainage/Water Quality

- 4.1.1 The applicant/developer must take all necessary steps to ensure a non-worsening effect on surrounding land as a consequence of

the development and must take all reasonable and practical measures to ensure discharge occurs in compliance with the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual, to the satisfaction of Council's delegated officer.

- 4.1.2 All stormwater drainage must be collected from the approved development and discharged to an approved legal point of discharge.

4.2 Lighting

Where outdoor lighting is required the developer shall locate, design and install lighting to operate from dusk to dawn within all areas where the public will be given access, which prevents the potential for light spillage to cause nuisance to neighbours and must be provided in accordance with Australian Standard 1158.1 – Lighting for Roads and Public Spaces.

Illumination resulting from direct, reflected or other incidental light emanating from the subject land does not exceed 8 lux when measured at any point 1.5m outside the property boundary of the subject site. The lighting fixtures installed on site must meet appropriate lux levels as documented within Australian Standard 4282 – Control of the Obtrusive Effects of Outdoor Lighting.

NOTE: The design is to integrate the principles of Crime Prevention through Environmental Design (CPTED) theory. Lighting design is to illuminate potential areas of concealment and is to project illumination so that a human face is easily discernible from 15 metres and there is to be sufficient night lighting, which renders people, colours, vegetation and objects correctly. i.e. 'white' light. Particular attention should be given to pathways, driveways and common external spaces.

(D) ASSESSMENT MANAGER'S ADVICE

- (a) An Adopted Infrastructure Charges Notice has been issued with respect to the approved development. The Adopted Infrastructure Charges Notice details the type of infrastructure charge/s, the amount of the charge/s and when the charge/s are payable.
- (b) A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.
- (c) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

- (d) Compliance with Acts and Regulations

The erection and use of the building must comply with the Building Act and all other relevant Acts, Regulations and Laws, and these approval conditions.

(e) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.environment.gov.au.

(f) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the "cultural heritage duty of care"). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.datsip.qld.gov.au.

(E) CONCURRENCE AGENCY CONDITIONS

Department of State Development, Manufacturing, Infrastructure and Planning response dated 7 June 2019 - No requirements.

(F) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Material Change of Use – six (6) years (starting the day the approval takes effect);

(G) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

- Development Permit for Building Work

(H) OTHER APPROVALS REQUIRED FROM COUNCIL

- Nil

2. That an Adopted Infrastructure Charges Notice be issued for the following infrastructure charge/s for:

Development Type	Rate	Measure	Charge	Credit Detail	Balance
	\$ per m ²	m ²	\$		\$
Industrial	\$32.75	81	\$2,652.75	Nil	\$2,652.75
TOTAL CURRENT AMOUNT OF CHARGE					\$2,652.75

THE SITE

The subject site is described as Lot 714 on NR7409, situated at 36 Coondoo Street, Kuranda.

The site is rectangular in shape with an area of 1,012m² and a frontage of approximately 20 metres too Coondoo Street. Coondoo Street is asphalt sealed with concrete kerbing and footpaths on both sides. Access to the site is obtained via an existing crossover and driveway adjacent to the eastern boundary.

The site is improved by existing development comprising a main administration and office building and a vehicle workshop. The main administration and office building is developed along the frontage of Coondoo Street with vehicle workshop facilities located to the rear. The vehicle workshop facilities comprise enclosed sheds and external hard stand pads.

The site is bound by the Barron Falls Hotel to the west, a Telstra communications infrastructure facility to the east and a dwelling house to the rear. The site is located within the urban area of Kuranda. The St Christopher Church is located to the south with the Kuranda Railway Line to the east.



Map Disclaimer:

Based on or contains data provided by the State of Queensland (Department of Environment and Resource Management) (2009). In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.



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BACKGROUND AND CONTEXT

Nil

PREVIOUS APPLICATIONS & APPROVALS

Nil

DESCRIPTION OF PROPOSED DEVELOPMENT

The development application seeks a Development Permit for Material Change of Use - Low Impact Industry (Mechanics Workshop) in accordance with the plans shown in **Attachment 1**.

The applicant proposes to construct a shed atop an existing hard stand pad for the purpose of providing expanded mechanic workshop facilities. The proposed shed has a height of 6.4m, depth of 7.5m, width of 10.8m and an area of 81m². The proposed shed will be located adjacent to an existing shed at the rear of the site. The shed will be enclosed and be constructed with similar materials and in similar colours to the existing mechanic workshop. Minor fill works and a partial extension to the existing hard stand pad will be undertaken to provide structural surety.

Service and infrastructure arrangements for the site have been previously been developed. No changes to these arrangements are proposed.

REGIONAL PLAN DESIGNATION

The subject site is included within the Urban Footprint land use category in the Far North Queensland Regional Plan 2009-2031. Kuranda is identified a Village Activity Centre in the

Regional Plan. The Regional Plan Map 3- 'Areas of Ecological Significance' also identifies the site is:

- *Strategic Rehabilitation Area*

PLANNING SCHEME DESIGNATIONS

Strategic Framework:	Land Use Categories <ul style="list-style-type: none">• Centre Area
Zone:	Centre zone
Kuranda Local Plan:	Village Heart
Overlays:	Airport Environs Overlay Heritage Overlay Scenic Amenity Overlay Transport Infrastructure Overlay

Planning Scheme Definitions

The proposed use is defined as:-

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Low impact industry	<p>Premises used for industrial activities that include the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products and have one or more of the following attributes:</p> <ul style="list-style-type: none"> • negligible impacts on sensitive land uses due to offsite emissions including aerosol, fume, particle, smoke, odour and noise • minimal traffic generation and heavy-vehicle usage • demands imposed upon the local infrastructure network consistent with surrounding uses • the use generally operates during the day (e.g. 7am to 6pm) • offsite impacts from storage of dangerous goods are negligible • the use is primarily undertaken indoors. 	<p>Repairing motor vehicles, fitting and turning workshop</p> <p>Note—additional examples may be shown in SC1.1.2 industry thresholds.</p>	<p>Panel beating, spray painting or surface coating, tyre recycling, drum re conditioning, wooden and laminated product manufacturing, service industry, medium impact industry, high impact industry, special industry</p>

RELEVANT PLANNING INSTRUMENTS

Assessment of the proposed development against the relevant planning instruments is summarised as follows:-

(a) Far North Queensland Regional Plan 2009-2031

Separate assessment against the Regional Plan is not required because the Mareeba Shire Council Planning Scheme appropriately advances the Far North Queensland Regional Plan 2009-2031, as it applies to the planning scheme area.

(b) State Planning Policy

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

(c) Mareeba Shire Council Planning Scheme 2016

Strategic Framework

3.3.4 Element - Village activity centre

3.3.4.1 Specific outcomes

- (1) *Kuranda, as the village activity centre for Mareeba Shire, accommodates services, arts and cultural facilities, sports and recreation facilities, business and employment uses to support the village and its constituent surrounding rural and rural residential communities.*

Comment

The proposed development complies. The applicant offers a wide ranging community service to Kuranda and the wider region. The proposed building assists the applicant in the provision of these services.

3.5.2 Element - Local character

3.5.2.1 Specific outcomes

- (1) *New development is designed to be complementary and sympathetic to:*
 - (a) *the character and identity of activity centres, particularly centre areas and main streets;*
 - (b) *prevalent architectural styles in the surrounding area;*
 - (c) *areas of early and highly valued character housing and commercial areas in Kuranda.*

Comment

The proposed development is sited at the rear of the subject land adjacent to several existing sheds of a similar appearance. It is also significantly screened from view from Coondoo Street by a two storey building built to the site's road frontage.

The character of the site when viewed from Coondoo Street will remain largely unchanged.

3.7.6 Element - Retail and commercial development

3.7.6.1 Specific outcomes

- (1) *Commercial development will be facilitated by:*
 - (a) *consolidation and co-location of centre activities in existing centre areas;*
 - (b) *identification of space adjacent to centre areas to cater for the expansion of commercial activities;*
 - (c) *infrastructure provision in areas identified as able to cater for new commercial development;*
 - (d) *maintenance of a high standard of infrastructure, services and amenity in existing commercial areas to support further business investment and expansion.*

Comment

The proposed development complies.

Relevant Development Codes

The following Development Codes are considered to be applicable to the assessment of the application:

- 6.2.1 Centre zone code
- 7.2.1 Kuranda local plan code
- 8.2.2 Airport environs overlay code
- 8.2.7 Heritage overlay code
- 8.2.11 Scenic amenity overlay code
- 9.3.5 Industrial activities code
- 9.4.2 Landscaping code
- 9.4.3 Parking and access code
- 9.4.5 Works, services and infrastructure code

The application included a planning report and assessment against the planning scheme. An officer assessment has found that the application satisfies the relevant acceptable solutions (or probable solutions/performance criteria where no acceptable solution applies) of the relevant codes set out below, provided reasonable and relevant conditions are attached to any approval.

Relevant Codes	Comments
Centre zone code	The application can be conditioned to comply with the codes relevant acceptable outcomes and/or performance outcomes (where no acceptable outcome is provided).
Kuranda local plan code	The application can be conditioned to comply with the codes relevant acceptable outcomes and/or performance outcomes (where no acceptable outcome is provided).
Airport environs overlay code	The application can be conditioned to comply with the codes relevant acceptable outcomes and/or performance outcomes (where no acceptable outcome is provided).
Heritage overlay code	The application can be conditioned to comply with the codes relevant acceptable outcomes and/or performance outcomes (where no acceptable outcome is provided).
Scenic amenity overlay code	The application can be conditioned to comply with the codes relevant acceptable outcomes and/or performance outcomes (where no acceptable outcome is provided).
Industrial activities code	The application can be conditioned to comply with the codes relevant acceptable outcomes and/or performance outcomes (where no acceptable outcome is provided).
Landscaping code	The application can be conditioned to comply with the codes relevant acceptable outcomes and/or performance outcomes (where no acceptable outcome is provided).
Parking and access code	The application can be conditioned to comply with the codes relevant acceptable outcomes and/or performance outcomes (where no acceptable outcome is provided).
Works, services and infrastructure code	The application can be conditioned to comply with the codes relevant acceptable outcomes and/or performance outcomes (where no acceptable outcome is provided).

(e) Planning Scheme Policies/Infrastructure Charges Plan

The following planning scheme policies are relevant to the application:

Planning Scheme Policy 4 - FNQROC Regional Development Manual

All development works will be conditioned to be designed and constructed in accordance with the FNQROC Development Manual.

(f) Adopted Infrastructure Charges Notice

The subject land is within the Priority Infrastructure Area.

In accordance with Council's Adopted Infrastructure Charges Resolution (No. 1) 2019, a charge of \$32.75 per m² will apply to the new gross floor area (GFA) of 81m².

The applicable charge is **\$2,652.75**.

REFERRALS

The application triggered referral to the Department of State Development, Manufacturing, Infrastructure and Planning as a concurrence agency for development near a Queensland Heritage Place (Coondoo Street Fig Trees).

That Department advised in a letter dated 7 June 2019 that they have no requirements for the development (**Attachment 2**).

Internal Consultation

Technical Services

PLANNING DISCUSSION

Nil

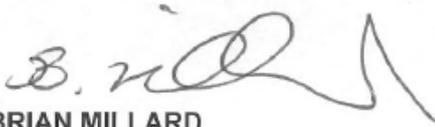
Date Prepared: 21 June 2019

DECISION BY DELEGATE

DECISION

Having considered the Planning Officer's report detailed above, I approve, as a delegate of Council, the application subject to the conditions listed in the report.

Dated the 21ST day of JUNE 2019



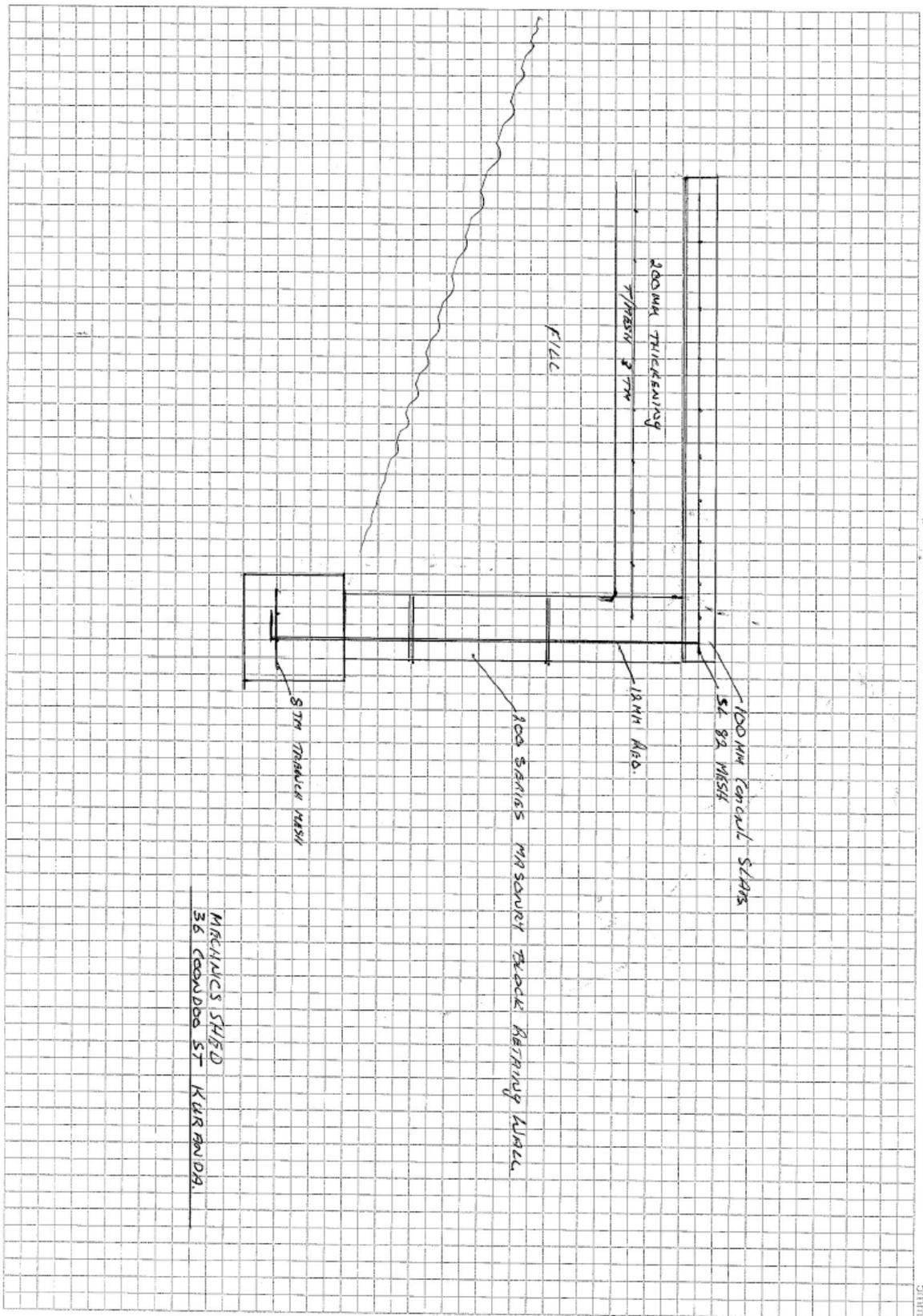
BRIAN MILLARD
SENIOR PLANNER

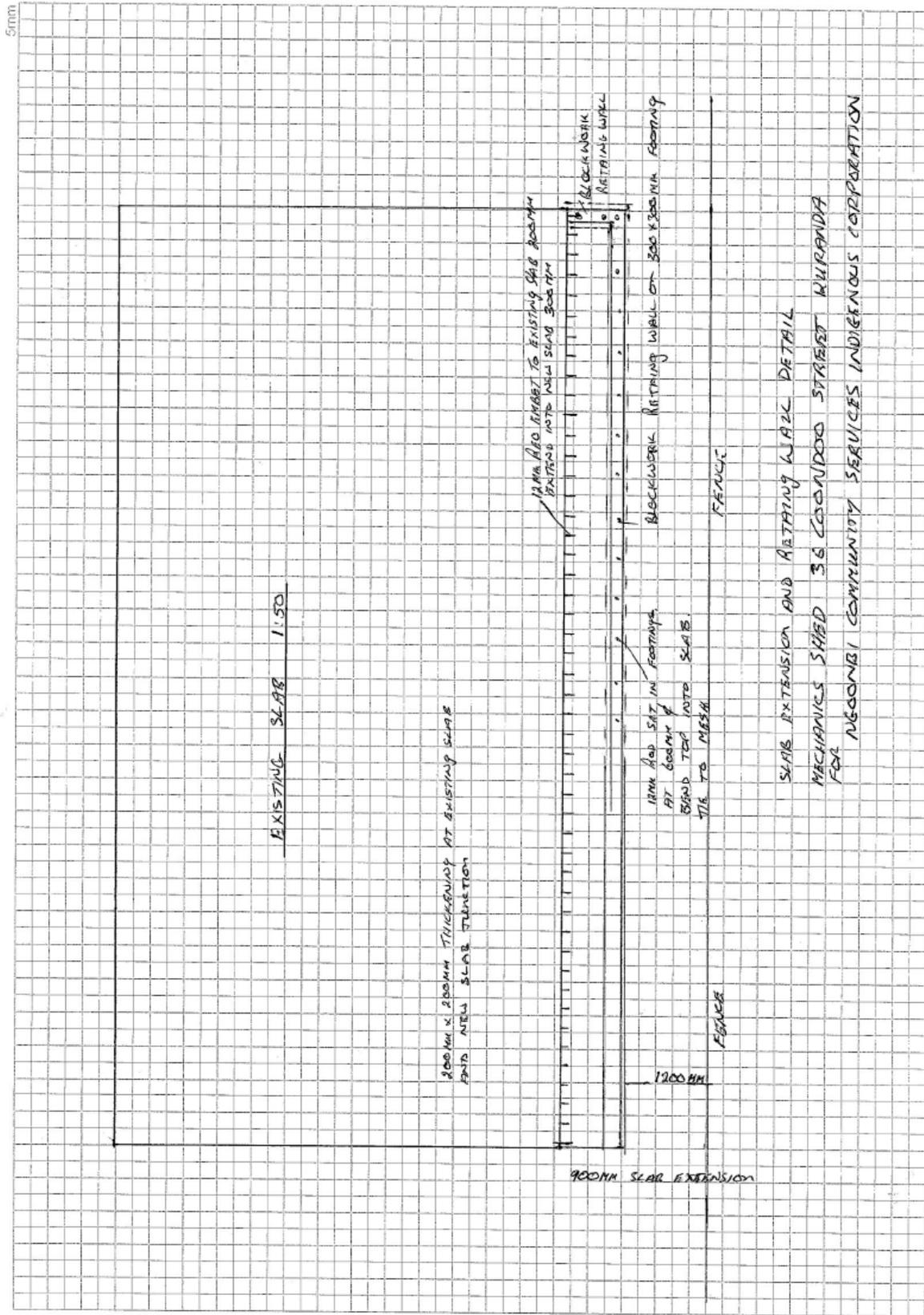
MAREEBA SHIRE
AS A DELEGATE OF THE COUNCIL

PROPOSAL PLANS

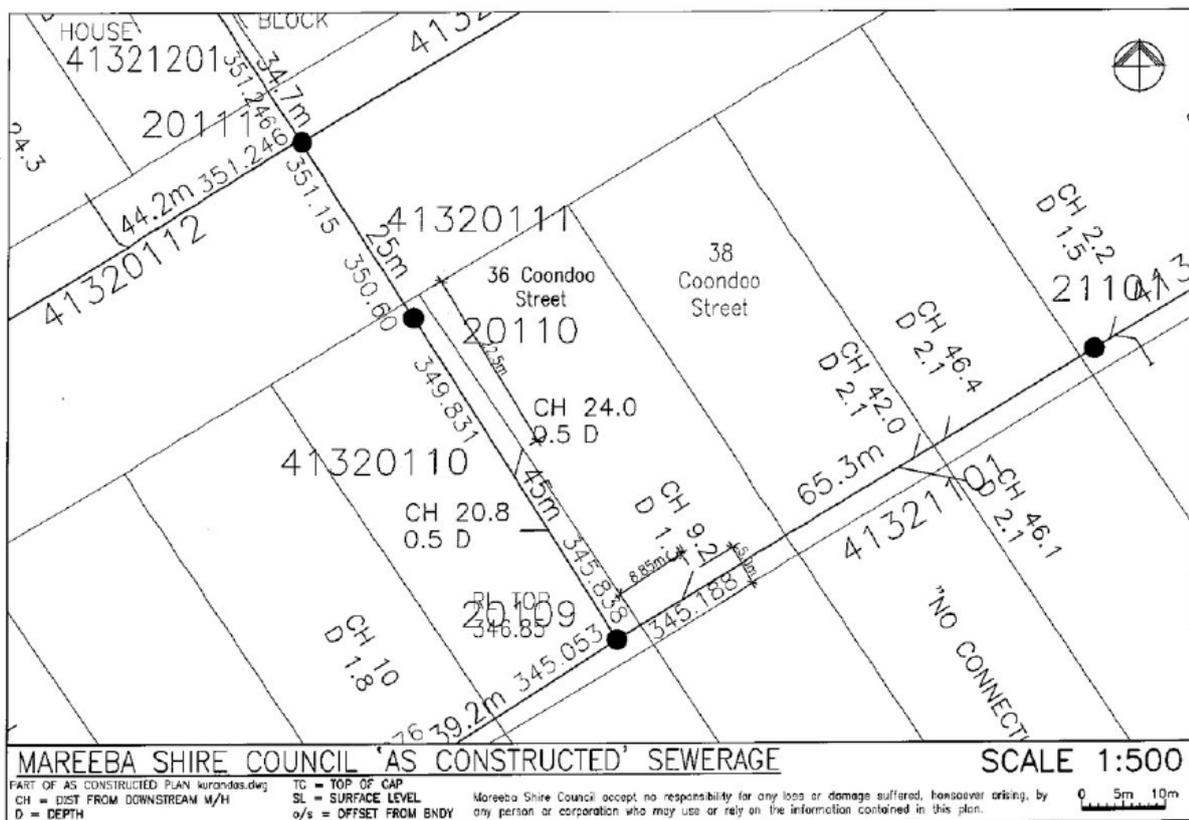
Site plan of proposed mechanics Shed at 36 Coondoo Street Kuranda. For Ngonbi Community Services Indigenous Corporation







SLAB EXTENSION AND RETAINING WALL DETAIL
 MECHANICS SHED 36 CONNOR STREET WIRARAPA
 FOR NGONBI COMMUNITY SERVICES INDIGENOUS CORPORATION



<p>GENERAL NOTES</p> <p>These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.</p> <p>DESIGN CRITERIA</p> <p>These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.</p> <p>The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.</p> <p>The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.</p> <p>ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER</p> <p>The Purchaser/Owner is responsible for:</p> <ul style="list-style-type: none"> Provision of Soils Report for the site and in the building area on which the building is to be erected Site/Drainage Plans Any other plans not covered by these engineering plans requested by the local Council or the authority <p>BUILDING CONSTRUCTION REQUIREMENTS</p> <p>The Purchaser/Owner is to be ensured that all building construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).</p> <p>SLAB DETAILS - GENERAL</p> <ul style="list-style-type: none"> The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan. When the slab and piers are poured as one pour, the depth of the pier is to the bottom of the slab. Pier Reinforcement: for any piers over 1100mm, deformed bar to within 100mm of base and minimum 75mm top cover. Minimum side cover 75mm, maximum 100mm. Rod to be caged horizontally at least twice and at a maximum of 300mm spacing. Tie with a minimum of 6mm diameter cage tie. Where pier diameter is less than 450mm diameter, use 4 N12. For diameters equal to and over 450mm, use 4 N16. <p>Concrete Slab</p> <ul style="list-style-type: none"> Slab design has the columns embedded into the concrete 600mm. This measurement is from the top of the finished slab. Pier and Slab design covers sites with a minimum of 100kPa safe bearing capacity soil classifications of A, S, M, H1 or H2 for a class 8 building. The footing designs have been calculated with adhesion values of 0kPa, 25kPa and 50kPa for clay soils and dense sand soils only. 	<ul style="list-style-type: none"> A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions. Site conditions different to those specified require a modified design. Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159. Designs are in accordance with AS 3600:2009 All concrete to be in accordance with AS 3600:2009. Minimum 25 Mpa, with 80mm slump. Concrete should be cured for 7 days before commencing construction of the building. Refer to connection details. Saw construction joints to be 25mm deep x 5mm wide. Saw cuttings shall take place no later than 24 hours after pouring. Saw construction joints to be placed at a maximum spacing of 6.3m (in both the length and the span). Care should be taken to avoid construction cuts intersecting where any fixing to the slab is to be made. Second Pour Jointing (refer to construction manual). <ol style="list-style-type: none"> Surface of first pour must be scabbled All loose debris must be vacuumed from hole. Apply heavy coat of bondcrete or similar adhesive prior to second pour. Apply suitable protective coating to the embedded portion of the columns. Where columns or end wall mullions have been removed, piers are not required. End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and rebate piers as required. The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers. <p>For Class A, S or M Sites</p> <ul style="list-style-type: none"> Slab thickness to be a minimum of 100mm with SL 72 mesh and 40mm top cover. <p>For Class H1 or H2 Sites</p> <ul style="list-style-type: none"> Slab thickness to be a minimum of 100mm with SL 82 mesh and 40mm top cover. Edge beam 400mm deep x 300mm wide with Y12.3 bar Trench Mesh to the perimeter of the building. Thickening beams 400mm deep by 300mm wide with Y12.3 bar Trench Mesh at a max spacing of 6.2m. <p>BRACING NOTES</p> <ul style="list-style-type: none"> Refer to Connection Details. Knee bracing clearance from FFL is X = Main Building 4.187m. All Cross Bracing is achieved with 1.2mm Strap G450. Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details. All Columns and End Wall Mullions are fixed Column in Concrete. Fly bracing to be fixed to the participants on all mid partial rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size: <ul style="list-style-type: none"> C150 - maximum 1800mm spacing C200, C250 - maximum 2000mm spacing C300 - maximum 2800mm spacing C350 - maximum 2800mm spacing <p>Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.</p> <ul style="list-style-type: none"> Open bays to have fly bracing fitted to every available girt supporting the header silect. 	<p>General Notes</p> <p>NOT FOR CONSTRUCTION</p> <p>Page 1 of 1</p> <p>© Copyright Steele P Pty Ltd</p> <p>Steele Waco Span Steels Phone: 07 557 8888 Fax: 07 557 8899 Email: acm@steele.com.au</p> <p>TNG ENGINEERING PTY LTD ACN 610 855 280 100/102/104/106/108/110/112/114/116/118/120/122/124/126/128/130/132/134/136/138/140/142/144/146/148/150/152/154/156/158/160/162/164/166/168/170/172/174/176/178/180/182/184/186/188/190/192/194/196/198/200 1/100/102/104/106/108/110/112/114/116/118/120/122/124/126/128/130/132/134/136/138/140/142/144/146/148/150/152/154/156/158/160/162/164/166/168/170/172/174/176/178/180/182/184/186/188/190/192/194/196/198/200 Newcastle NSW 2300 NT - 2265211ES Practising Professional Structural & Civil Engineer</p> <p>Signature: <i>R. Nicosow</i> Date: 23/01/19</p>
<p>Purchaser Name: Ngombi community services</p> <p>Site Address: 36 Cooroboo Street Kuranda QLD 4817 Australia</p> <p>Drawing # WSS 183145- 2</p>	<p>Print Date: 23/01/19</p>	<p>Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.</p>

MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

Categories	Building Dimensions			
	Span	Length	Height	Overhang
Main Building	7.5	20.0	12.0	1.4

Grid / Post Number	Portal Frame Elements			
	1	2	3	4
Columns	A	B	C	D
Beams	A-B	B-C	C-D	D-E
Apex Beams	A-Apex	B-Apex	C-Apex	D-Apex
Knee Beams	A-Apex	B-Apex	C-Apex	D-Apex

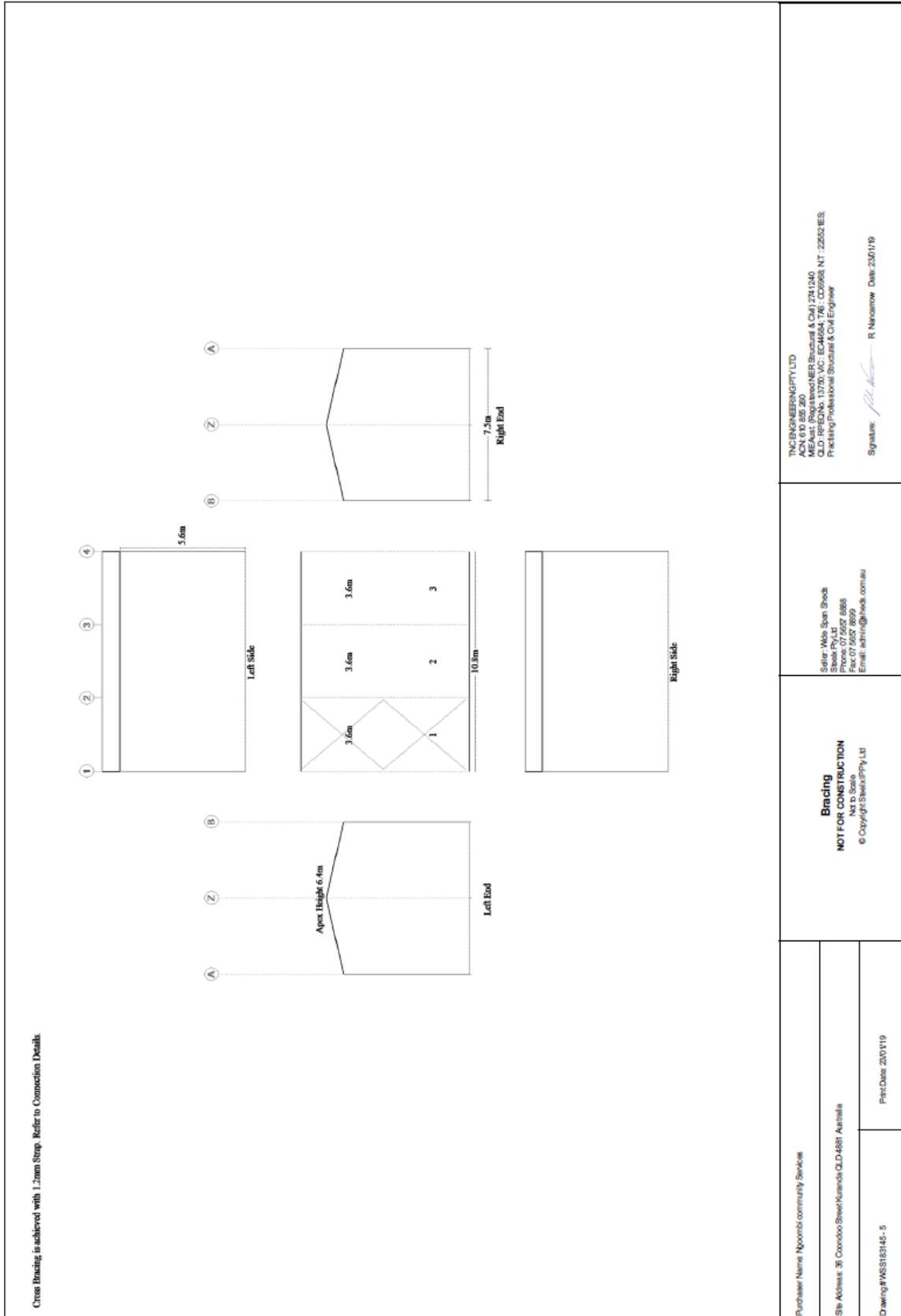
Grid / Bay Number	Bay Section Elements			Maximum
	1	2	3	
Bay Widths	3.6	3.6	3.6	
Roof Purlins	A-Apex	Z15015	Z15015	Z15015
Roof Purlin Spacing (End)	A-Apex	1.15	1.15	1.15
Roof/Purlin Spacing (Internal Spans)	A-Apex	1.38	1.38	1.400
Eave Purlins	A	Z15015	Z15015	Z15015
Slab Girds	A	Z10012	Z10012	Z10012
Slab Gird Spacing (End)	A	1.25	1.25	1.250
Slab Gird Spacing (Internal)	A	0.967	0.967	0.967
Side Gird Spacing (Internal)	A	1.25	1.25	1.450
	B	0.967	0.967	1.450

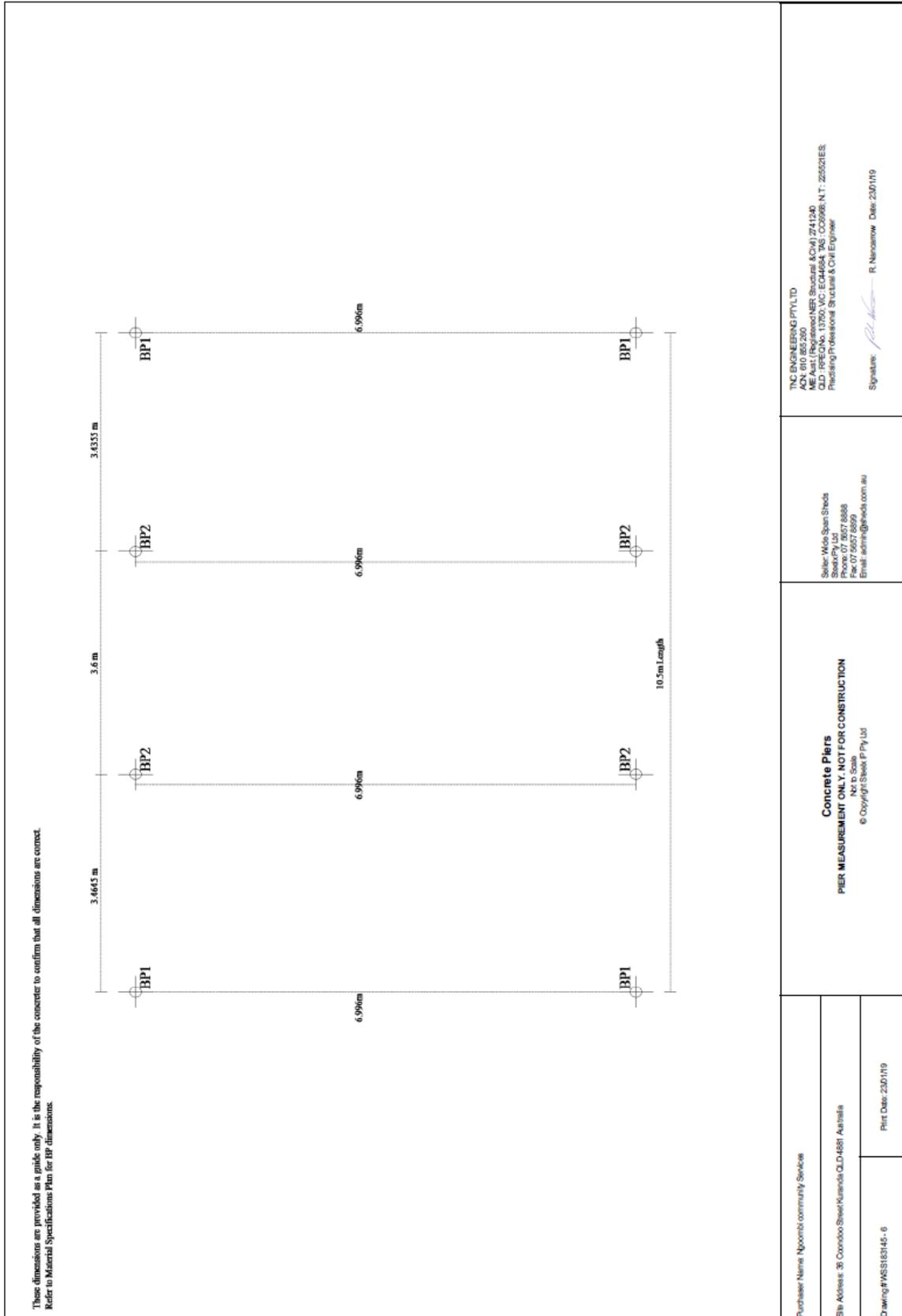
Grid / Post Number	End Bay Section Elements		Maximum
	A-Z	Z-B	
End Gird Spacing (End)	A-Z	1.250	1.250
End Gird Spacing (Internal)	A-Z	1.450	1.450
	Z-B	1.450	1.450

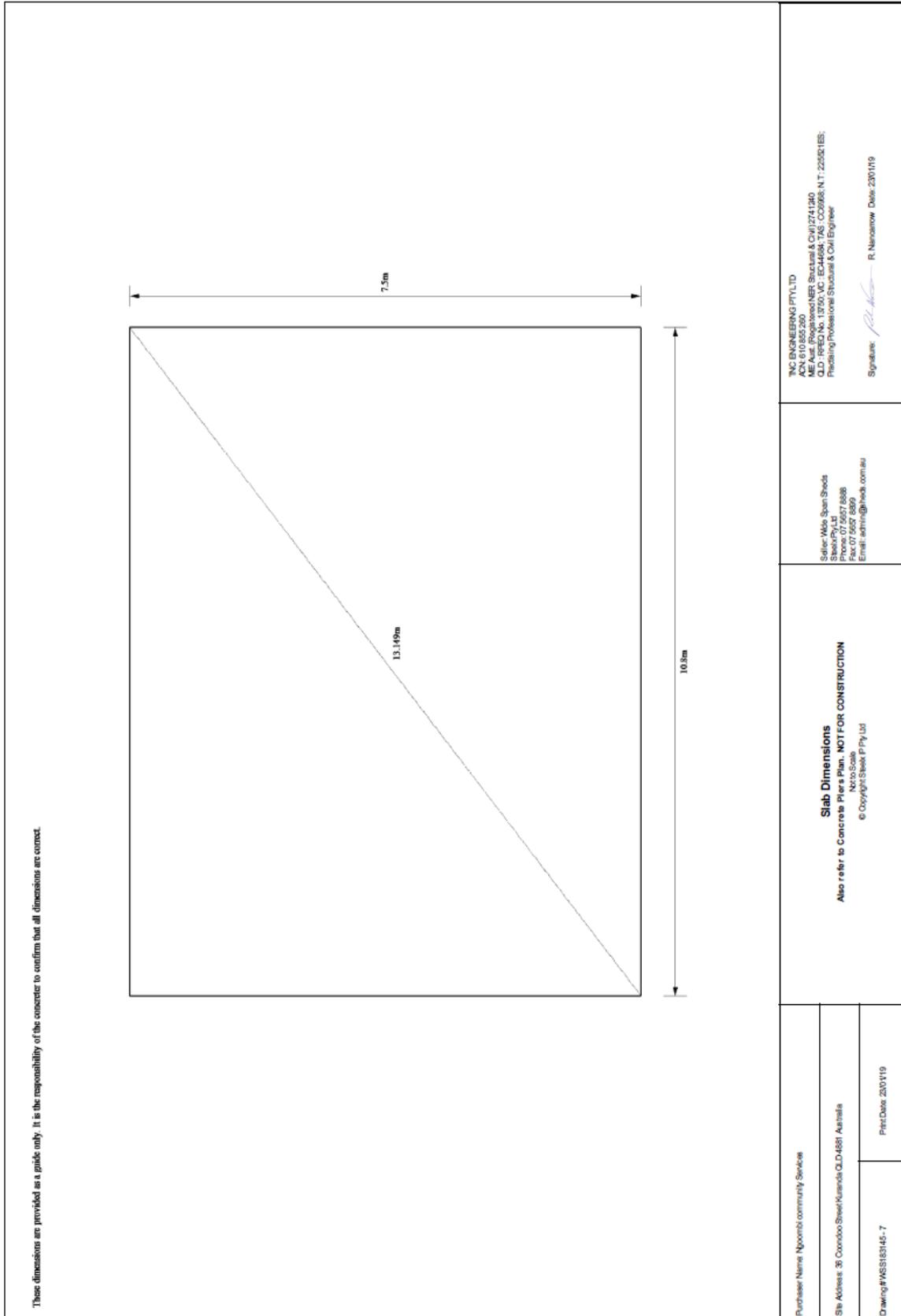
Category	Colour	Product
Roof Shading	ZN-CALUM616-100	TRIMCAL 616-100 (0.17TCD)
Roof Flashing	ZN-CALUM616-100	TRIMCAL 616-100 (0.17TCD)
Wall Flashing	ZN-CALUM616-100	TRIMCAL 616-100 (0.17TCD)
Back Slope	ZN-CALUM616-100	TRIMCAL 616-100 (0.17TCD)

Adhesion (MPa)	Sd Description	Diameter (mm)	Depth, with Slab	
			BPF (mm)	BPF (mm)
0	Steel Sd	300	-	-
		450	-	-
25	Sd to Firm Clay	300	-	2000
		450	-	-
50	Sd to Very SF Clay	300	-	1900
		450	-	-
		600	-	1900

<p>Purchaser Name: Ngombi community Service</p> <p>Site Address: 3F Coonoo Street Kuranda QLD 4881 Australia</p> <p>Drawing: MS18145-4</p> <p>Print Date: 23/01/19</p>	<p>Specification Sheet NOT FOR CONSTRUCTION Page 1 of 1 © Copyright SteelFix Pty Ltd</p>	<p>Steel - Wide Span Sheds Sales & Service Phone: 07 5567 8888 Fax: 07 5567 8699 Email: admin@hds.com.au</p>
<p>TMC ENGINEERING PTY LTD ACN 610 835 280 ME Aust. (Registered NER Structural & Civil) 2741240 100 WILSON ROAD, ECKHARTS PASS, COONABRABRA QLD 4853 Practising Professional Structural & Civil Engineer</p>		<p>Signature: <i>R. Narasimhan</i> R. Narasimhan Date: 23/01/19</p>







KNEE BRACE FOR C300 COLUMN BACK TO BACK COLUMN - SINGLE RAFTER

HEIGHT NOMINATED IN GENERAL NOTES BRACING

- FIXING BOLTS - 4 of M16 x 40 (8.8)
- × FIXING BOLTS - 4 of M16 x 40 (8.8)
- × FIXING SCREWS - 5 of 14.20 x 22
- △ FIXING SCREWS - 5 of 14.20 x 22

APEX BRACE FOR SINGLE RAFTER

FIXING BOLTS - 2 of M16 x 40
FIXING SCREWS - 4 of 14.20 x 22

HEADER PURLIN CONNECTION - OPEN BAYS

FIXING BOLTS - 1 of M 12 x 30
× FIXING SCREWS - 1 of 14.20 x 22
OVERHANG 2 PURLIN DEPTH OF THE END WALL GIRT

PURLIN & SIDE GIRT END WALL FIXING - Z PURLIN SINGLE COLUMN OR RAFTER

FIXING SCREWS - 4 of 14.20 x 22
FIXING SCREWS - 4 of 14.20 x 22

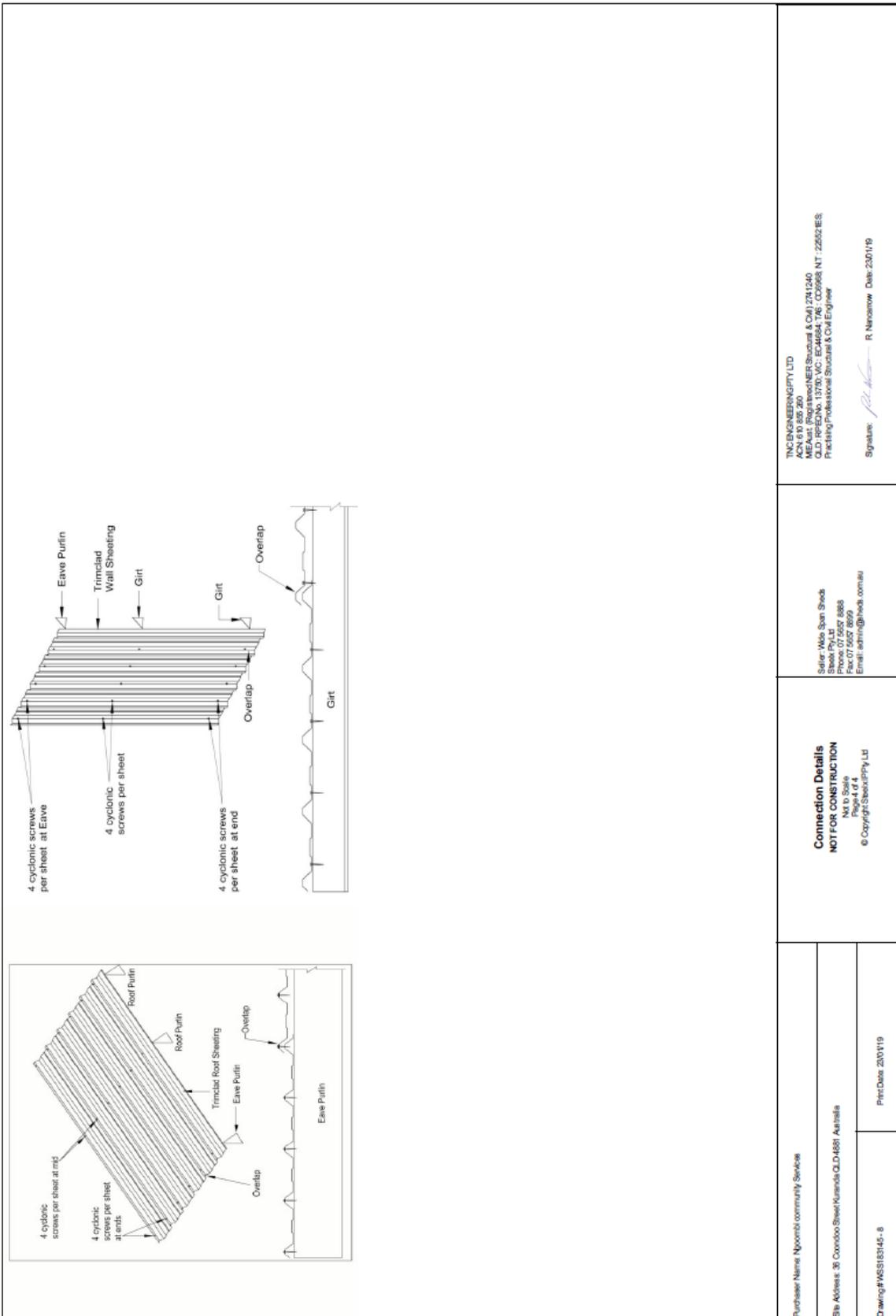
Labels in drawings include: Eave Purlin, Rafter, Column, Eave Purlin Bracket, Haunch Bracket, Header Sheeting (if Supplied), Fitting Angle, Roof Sheeting, Double Header Purlin (Bolted M12 x 30 @ max 1000mm INTERVALS), Application of Header Sheeting (if Supplied), and Fixing Bolts.

TINCE ENGINEERING PTY LTD
 ACN 616 855 260
 MEASUR (Registered) Structural & Civil 2741240
 CIVIL ENGINEERING (Professional) 170380
 Fixing Professionals Structural & Civil Engineer
 1/100-110/110 Sturt Street, Cammeray NSW 1585
 Phone: 07 5557 8888
 Fax: 07 5557 8859
 Email: admin@thead.com.au
 Signature: R. Narasim Date: 23/01/19

Seller: Alex Stan Sheds
 1/100-110/110 Sturt Street, Cammeray NSW 1585
 Phone: 07 5557 8888
 Fax: 07 5557 8859
 Email: admin@thead.com.au

Connection Details
 NOT FOR CONSTRUCTION
 Not to Scale
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Purchaser Name: Ngombi Community Service
 Site Address: 37 Coonoo Street Kuranda QLD 4881 Australia
 Drawing# MS18145- 8
 Print Date: 23/01/19



Purchaser Name: Ngombi community Service
 Site Address: 35 Coombes Street Kuranda QLD 4881 Australia
 Drawing# MS18145- 8
 Print Date: 23/01/19

Connection Details
 NOT FOR CONSTRUCTION
 Not to Scale
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Seller: Alex Span Sheds
 10000 The Range
 Phone: 07 557 8888
 Fax: 07 557 8899
 Email: admin@sheds.com.au

TINCENGINEERING PTY LTD
 ACN 616 855 260
 MEAust (Registered) Engineer Structural & Civil 2741240
 10/100 The Range, The Range QLD 4881 Australia
 Phone: 07 557 8888
 Fax: 07 557 8899
 Email: info@tinc.com.au
 Signature: *R. Narasim* R. Narasim Date: 23/01/19

XF 130

Barge Flashing XF130 - Open Gable - Trimclad

XF 402

XF 94

XF 130 - Connection

XF 402 - Connection

Purchaser Name: Ngombi Community Service

Site Address: 38 Coonoo Street Kuranda QLD 4881 Australia

Drawing# MS18145- 9

Print Date: 23/01/19

Flashing Fixing Details
NOT FOR CONSTRUCTION
Not to Scale
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Seller: Mob. Span Sheeds
Phone: 07 5657 8898
Fax: 07 5657 8899
Email: admin@sheds.com.au

TAC ENGINEERING PTY LTD
ACN 610 852 260
ME Aut. (Registered NER Structural & Civil) 274 640
150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000



5004 Emerald Islands Dr
 Carrara, Qld 4211
 Phone: 07 5657 4456
 Fax: 07 5594 2022

23 January, 2019

To whom it may concern

The actual usage of the building is not able to be ascertained by the engineer. This certification is done in accordance with the purchaser of the building's advice of the building's Importance Level. Any approving authority should confirm that the Importance Level nominated is appropriate for the building's usage.

The structural design of the steel building (as detailed in drawing WSS183145, see index below) for Ngoombi community Services to be built at the geographic coordinates of -16.81907 and 145.63686 has been carried out by me. The address of the site has been given as 36 Coondoo Street Kuranda QLD 4881 Australia.

The design has been done in accordance with the NCC:2016, AS/NZS 4600:2005, AS/NZS 1170.1:2002, AS/NZS 1170.2:2011, AS 4055:2012, AS 4100:1998, AS 2870:2011 and AS 3600:2009.

Design Criteria: Building Class 8, Max Design Wind Speed of 64.5m/s. Refer to ShedSafe Site Specific Design Criteria Analysis. These criteria are subject to confirmation by the certifying engineer. Unless nominated, the building has not been designed for any additional loads including, but not limited to, earthquake, snow, solar panels or lining with any materials.

Drawing Number	Date	Number of Pages	Description
WSS183145 - 2	23/01/2019	1	General Notes
WSS183145 - 3	23/01/2019	1	Layout
WSS183145 - 4	23/01/2019	1	Specification Sheet
WSS183145 - 5	23/01/2019	1	Bracing
WSS183145 - 6	23/01/2019	1	Concrete Piers
WSS183145 - 7	23/01/2019	1	Slab Dimensions
WSS183145 - 8	23/01/2019	4	Connection Details
WSS183145 - 9	23/01/2019	1	Flashing Fixing Details

Some drawings have multiple pages, eg. "1 of 3".

Signed

A handwritten signature in blue ink, appearing to read 'R. Nancarrow'.

R. Nancarrow
 for and on behalf of
 TNC ENGINEERING PTY LTD
 (ACN 610 855 260)

Member Institution of Engineers (Aust.), CPEng (NER Structural & Civil) Regn. No. 2741240
 Registered Professional Engineer (Structural & Civil) - Queensland: Regn. No. 13750
 Registered Professional Engineer (Structural & Civil) - Victoria: Regn. No. EC44684
 Registered Building Designer & Professional Engineer (Structural & Civil) - Tasmania: Regn. No. CC6968



**Queensland
Government**

**Department of Housing and Public Works
Form 15 - Compliance certificate
for building design or
specification**

Version 4 - July 2017

NOTE: This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Street address (include no., street, suburb/locality and postcode)

36 Coondoo Street
Kuranda, Qld 4881

Lot and plan details (attach list if necessary)

--

In which local government area is the land situated?

--

Steel framed building and foundations as described in drawings
referenced Job# 183145

--

--

As per attached letter for John Murison at
36 Coondoo Street, Kuranda, QLD, Australia, 4881
for job number 183145

--

Covering letter of certification
ShedSafe Site Specific Design Criteria Analysis

WSS183145 - 2 General Notes

WSS183145 - 3 Layout

WSS183145 - 4 Specification Sheet

WSS183145 - 5 Bracing

WSS183145 - 6 Concrete Piers

WSS183145 - 7 Slab Dimensions

WSS183145 - 8 Connection Details

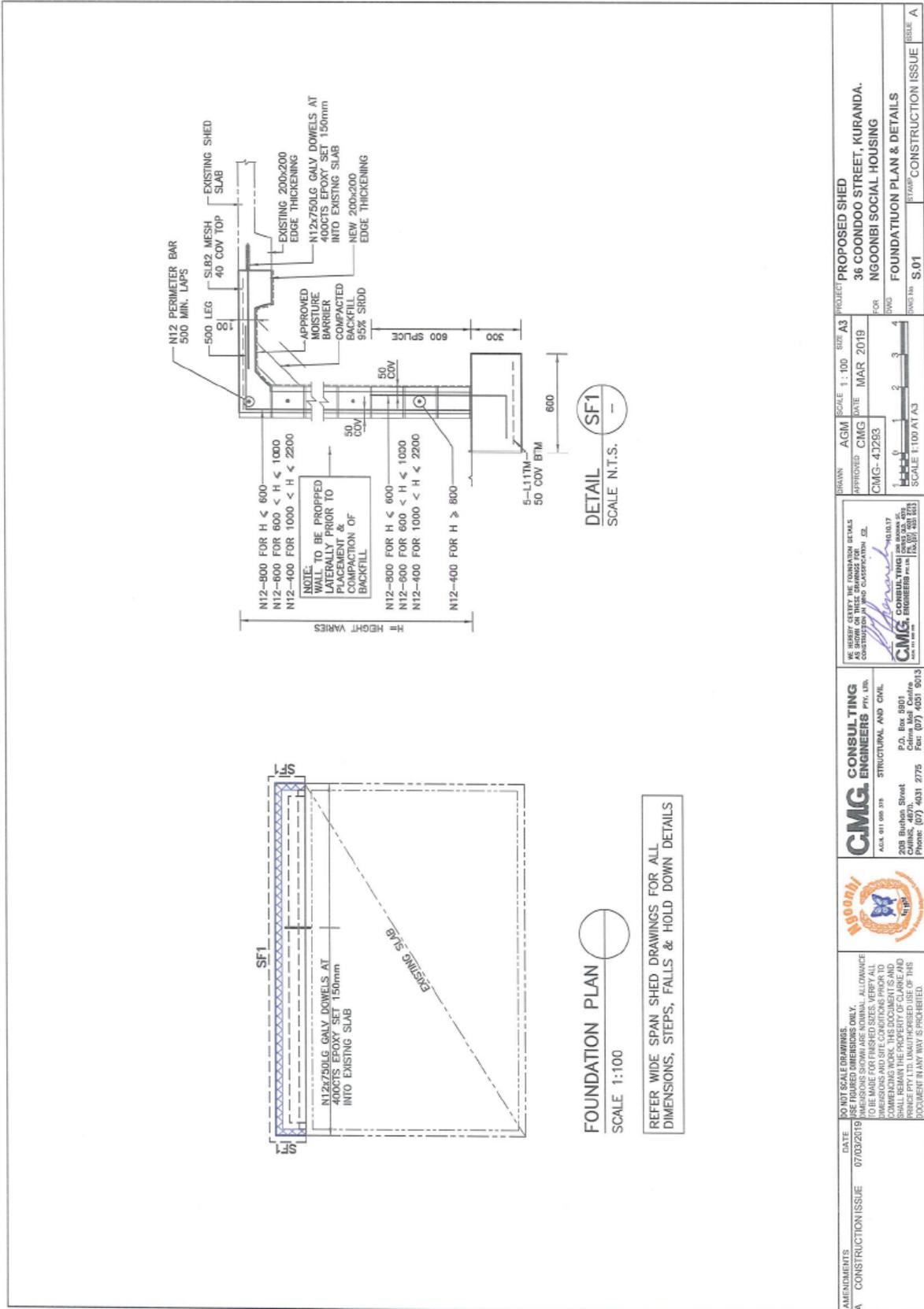
WSS183145 - 9 Flashing Fixing Details

LOCAL GOVERNMENT USE ONLY

Date received		Reference Number/s	
---------------	--	--------------------	--

5. Building certifier reference number	Building certifier reference number <input type="text" value="NA"/>	
6. Competent person details <p>A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.</p> <p>If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.</p> <p>If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.</p>	Name (in full) <input type="text" value="Rohan Nancarrow"/> Company name (if applicable) Contact person <input type="text" value="TNC ENGINEERING PTY LTD"/> <input type="text" value="Rohan Nancarrow"/> <input type="text" value="ACN 19 610 855 260"/> Phone no. (business hours) Mobile no. Fax no. <input type="text" value="(07) 5594 2012"/> <input type="text"/> <input type="text" value="(07) 5594 2022"/> Email address <input type="text" value="engineer@steelx.com.au"/> Postal address <input type="text" value="5004 Emerald Islands Dr"/> <input type="text" value="Carrara, Qld 4221"/> Licence or registration number (if applicable) <input type="text" value="RPEQ 13750"/>	
7. Signature of competent person <p>This certificate must be signed by the individual assessed by the building certifier as competent.</p>	Signature Date <input type="text" value="Rohan Nancarrow"/> <input type="text" value="23/01/2019"/>	

The *Building Act 1975* is administered by the Department of Housing and public Works





Department of Housing and Public Works

Form 15 - Compliance Certificate for building Design or Specification Version 4 - July 2017

NOTE	NOTE: This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i> . RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.
1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable. The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address <i>(include no., street, suburb / locality & postcode)</i> 36 Coondoo Street (40293L1) Kuranda Lot & plan details <i>(attach list if necessary)</i> In which local government area is the land situated? Cairns Regional Council
2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	Footings/Ground Slab Concrete Masonry
3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Australian Standard Codes- AS3600, AS 3700, AS/NZS 1170 Parts 1, Local Authority Regulations
4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	CMG Consulting Engineers drawing 40293 Sheets 1
5. Building certifier reference number	Building certifier reference number
6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name <i>(in full)</i> Charles Michael Gianarakis RPEQ 1370 Company name <i>(if applicable)</i> Contact person CMG Consulting Engineers Pty Ltd Charles Gianarakis Phone no. <i>business hours</i> Mobile no. Fax no. 07 40 312775 Email address chas@cmgengineers.com.au Postal address P.O. Box 5901, Cairns Qld 4870 Licence or registration number <i>(if applicable)</i> RPEQ 1370
7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.	Signature Date  7 March 2019

LOCAL GOVERNMENT USE ONLY

Date received	Reference Numbers		Approved form 15 Version 4 2017
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ATTACHMENT 2

RA9-N



Department of
**State Development,
 Manufacturing,
 Infrastructure and Planning**

SARA reference: 1905-10979 SRA
 Council reference: MCU/19/0006
 Applicant reference: J000899:NGO:KLG

7 June 2019

Chief Executive Officer
 Mareeba Shire Council
 PO Box 154
 Mareeba Qld 4880
 planning@msc.qld.gov.au

Attention: Kristy Gilvear

Dear Sir/Madam

SARA response—36 Coondoo Street, Kuranda – 714NR7409 - Low Impact Industry
 (Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the Department of State Development, Manufacturing, Infrastructure and Planning on 10 May 2019.

Response

Outcome:	Referral agency response - No requirements Under section 56(1)(a) of the <i>Planning Act 2016</i> , the department advises it has no requirements relating to the application.
Date of response:	7 June 2019
Reasons:	The reasons for the referral agency response are in Attachment 1 .

Development details

Description:	Development permit	Material change of use for Low impact industry - expansion to existing Mechanics Workshop
SARA role:	Referral Agency.	
SARA trigger:	Schedule 10, Part 8, Division 2, Subdivision 3, Table 2 (Planning Regulation 2017)	
SARA reference:	1905-10979 SRA	
	Development application for a material change of use on or near a Queensland heritage place	

Page 1 of 4

Far North Queensland regional office
 Ground Floor, Cnr Grafton and Hartley
 Street, Cairns
 PO Box 2358, Cairns QLD 4870

1905-10979 SRA

Assessment Manager: Mareeba Shire Council
Street address: 36 Coondoo Street, Kuranda
Real property description: 714NR7409
Applicant name: Ngoonbi Community Services Indigenous Corporation
Applicant contact details: PO Box 228
BABINDA QLD 4861
kristy@gilvearplanning.com.au

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s. 30 Development Assessment Rules). Copies of the relevant provisions are in **Attachment 2**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Tony Croke, Principal Planner, on 40373205 or via email CairnsSARA@dsmip.qld.gov.au who will be pleased to assist.

Yours sincerely



Brett Nancarrow
Manager (Planning)

cc Ngoonbi Community Services Indigenous Corporation, kristy@gilvearplanning.com.au

enc Attachment 1 - Reasons for referral agency response
Attachment 2 - Representations about a referral agency response provisions

Attachment 1—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for the department's decision are:

- The premises is adjacent to a State heritage place known as the Kuranda Fig Tree Avenue, which comprises 27 mature fig trees that span the 430 metre length of Coondoo Street on both sides.
- Works are not proposed in the Kuranda Fig Tree Avenue.
- There is an existing two storey building on the street front and an existing shed at the rear of the premises. The premises has an existing access to the street.
- The proposed development is at the rear of the premises approximately 30 metres from the fig trees.
- The land slopes gently down from the street. The proposed shed will be behind the existing two storey building.
- The proposed development will not have a detrimental impact on the cultural heritage significance of the Kuranda Fig Tree Avenue.

Material used in the assessment of the application:

- The development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- The *State Development Assessment Provisions* (version 2.4 effective 16 November 2018), as published by the department
- The Development Assessment Rules
- SARA DA Mapping system

Attachment 2— Representations about a referral agency response provisions

(page left intentionally blank)

Development Assessment Rules—Representations about a referral agency response (concurrency)

The following provisions are those set out in sections 28 and 30 of the *Development Assessment Rules*¹ regarding **representations about a referral agency response (concurrency)**.

Part 6: Changes to the application and referral agency responses and Part 7: Miscellaneous

28 Concurrency agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrency agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrency agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrency agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrency agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrency agency proposes to change its referral agency response under section 28.2(a), the concurrency agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrency agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrency agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

² In the instance an applicant has made representations to the concurrency agency under section 30, and the concurrency agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

30 Representations about a referral agency response

30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.