



GOOGLE MAPPING AERIAL VIEW

PROPERTY DESCRIPTION

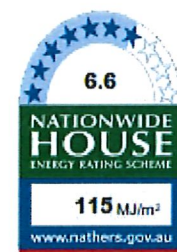
LOT: 299SP250068
SUBURB: MAREEBA
LOCALITY: MAREEBA
LOCAL AUTHORITY: MAREEBA REGIONAL COUNCIL
ZONING: RURAL RESIDENTIAL

AREA OF LOT - 4652m²
AREA OF RESIDENCE - 253.0m²
SITE COVERAGE - 5.44%

AREA OF DRIVEWAY - 340m²

LEGEND

- HYDRANT
- WATER CONNECTION
- ELECTRICAL TURRET
- TELSTRA PIT
- MAN HOLE
- 100mm DOWN PIPE
- POWER POLE
- STREET LIGHT
- SEWER LINE
- CONTOUR LINE
- EXISTING RETAINING
- NEW RETAINING
- ROOF LINE
- STORM WATER LINE
- FENCE
- ELECTRICAL
- TELSTRA COMMUNICATIONS
- WATER LINE



Certificate no.: 0002678969
Assessor Name: Nigel Thorogood
Accreditation no.: VIC/BDV/15/1709
Certificate date: 24 Apr 2018
Dwelling Address: Catherine Atherton Drive
Mareeba, QLD 4880



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ABN: 31614195818
QBCC LIC: 15040397

AREI PLAN CODE:
SERIES 10 ASH3

CLIENT:
CAPITAL HOMES NQ

DRAWING NAME:
SITE PLAN

PROJECT:
PROPOSED RESIDENCE FOR
LYN MOORE AT
LOT 299 CATHERINE ATHERTON DR
MAREEBA

PLAN NUMBER:
1173-18
DATE:
23/04/18
SCALE @ A3
1:200

PAGE NO:
02 OF 08
DRAWN:
N MCLEAN
CHECKED:
BEN DYE

REV.	REVISION DESCRIPTION	APPROV. DATE
B	PRELIMINARY ISSUE	09/04/18
C	CONSTRUCTION ISSUE	18/04/18
D	CONSTRUCTION ISSUE	19/04/18
E	CONSTRUCTION ISSUE	23/04/18

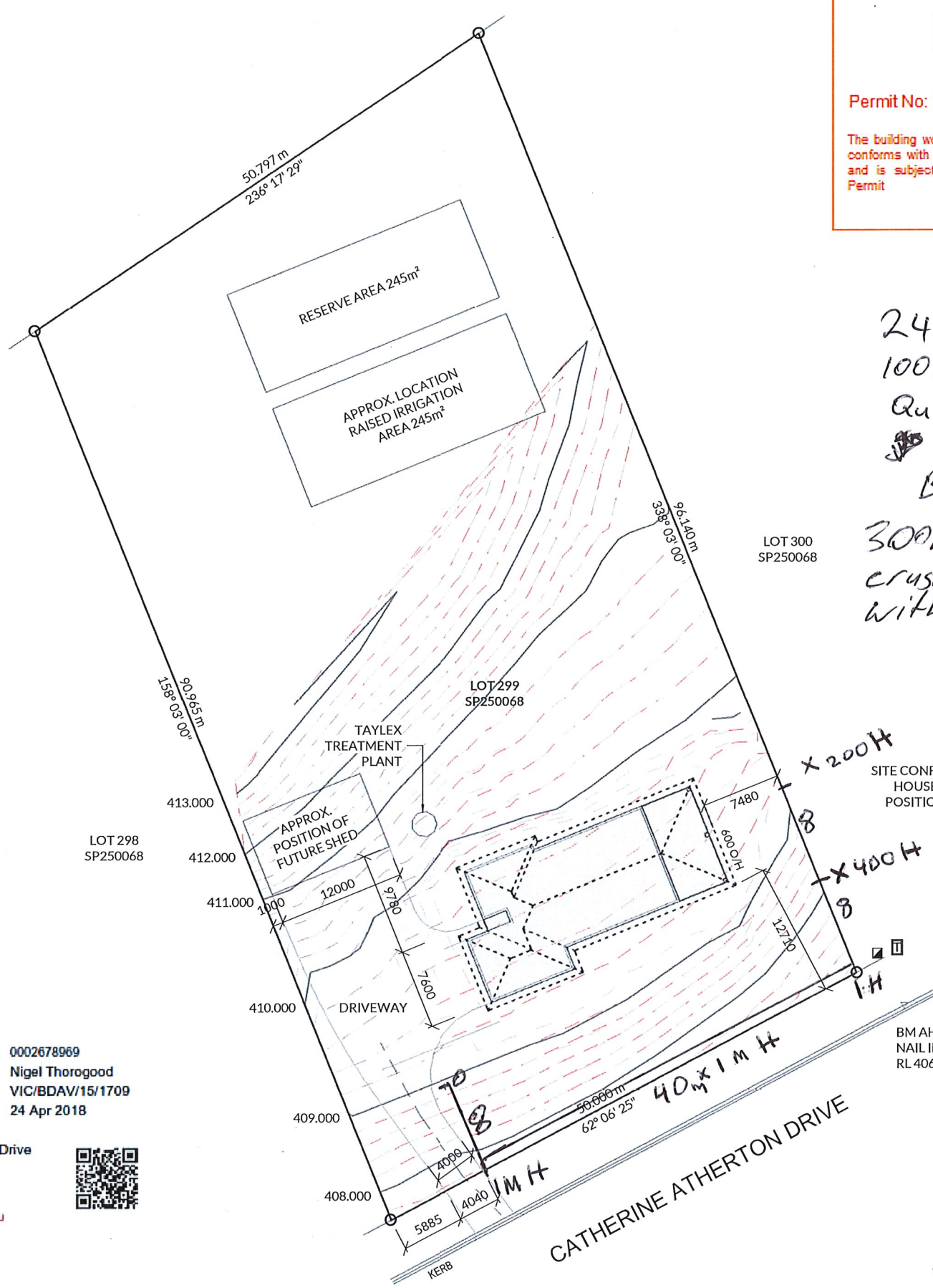
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APPROVED
Permit No: 17000252 Date: 18 May 2018

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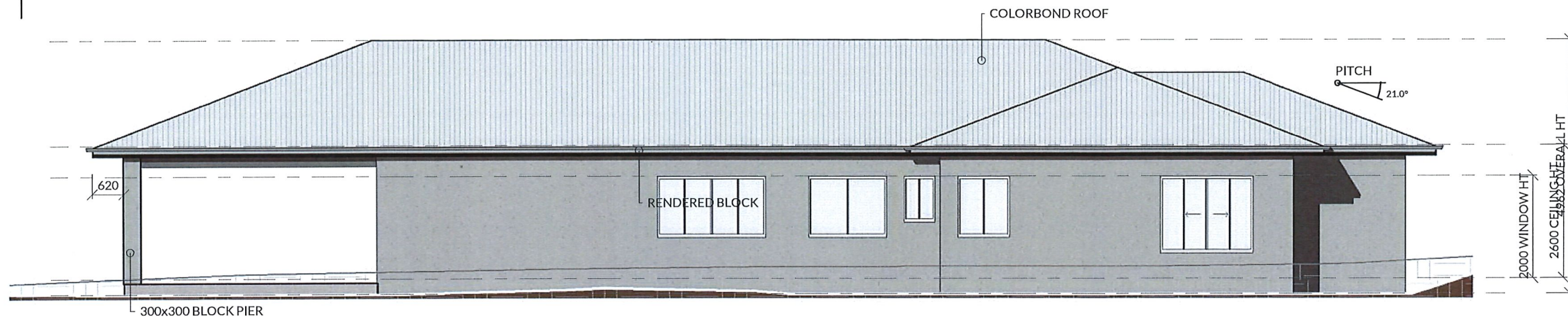


24 cubic meters Quincan.
100ml Ag Pipe.
Quincan to be covered with
GOT
Backfill with Creek sand.
300ml French filled with
crusher dust and cement.
with blocks laged on top.

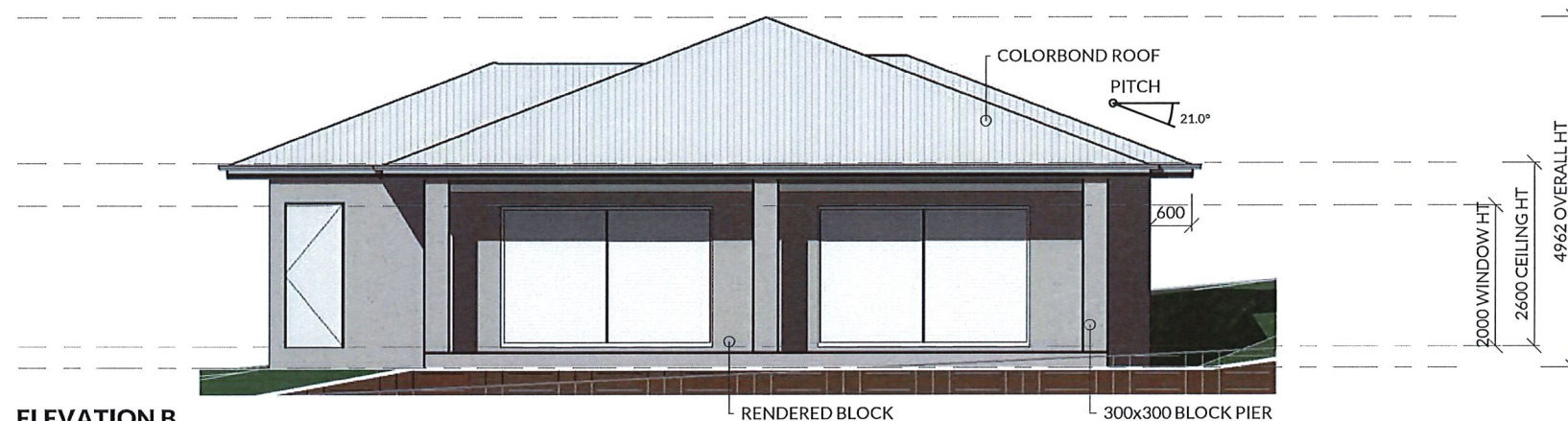
SITE CONFIRM
HOUSE
POSITION

BM AH1000
NAIL IN KERB
RL 406.729

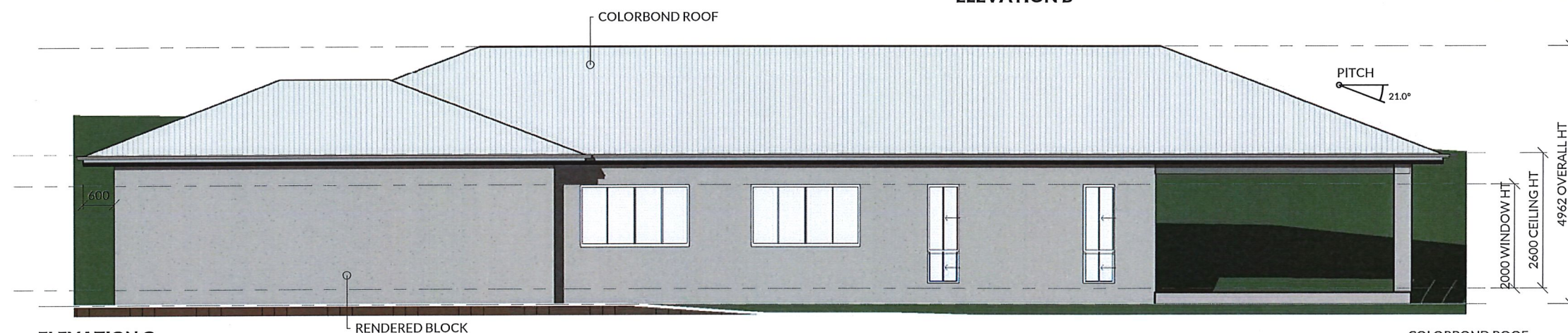
Fencing & Paving.
Afrim Bresa
: 0427125552



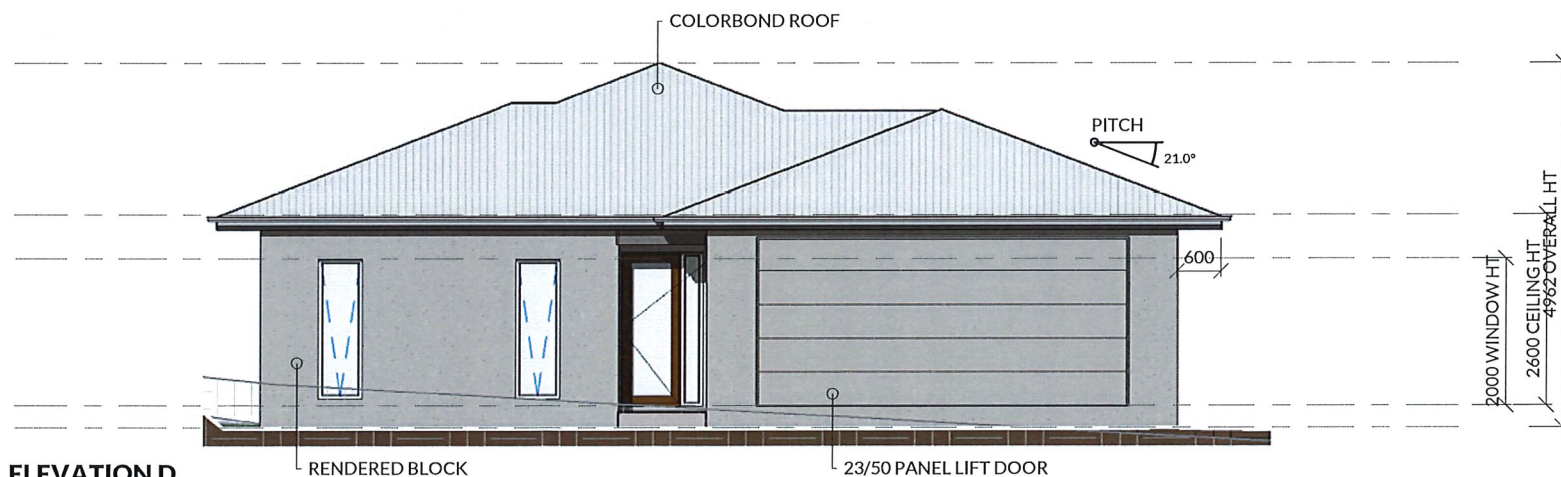
ELEVATION A



ELEVATION B



ELEVATION C



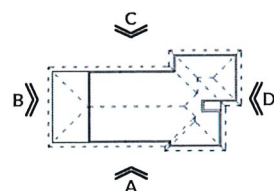
ELEVATION D



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0m .5 1m .5 2m .5 3m .5 4m .5 5m

General Notes

G. General

- G.1

Drawings to be read in conjunction with accompanying architect's plans.
- G.2

Do not scale drawings. All dimensions to be confirmed on site.
- G.3

All construction to be in accordance with relevant Australian standards, the Building Code of Australia and local authority regulations.
- G.4

All workmanship and materials to be in accordance with relevant Australian standards.
- G.5

The structure is to be maintained in a stable condition at all times.

TP. Termite Protection

- TP.1

Termite treatment to be as required by AS 3660.1, the Building Code of Australia and the Qld Master Builders Association's "Home Owners Guide for Termite Management".
- TP.2

Termite protection generally shall be by:

a) ground floor slab as barrier and exposed edge of slab as visual barrier;

b) Termit-mesh or similar approved collars to slab penetrations; &

c) termite resistant (hazard level H2) timber framing generally
- TP.3

Builder to provide access for clear visual inspections to the entire perimeter of the building and the exposed edge of concrete slabs.
- TP.4

A durable notice showing full details of termite treatment used and the date provided to be posted inside the meter box or similar approved location.
- TP.5

Owner to maintain access for clear visual inspections and make periodic inspections.

W. Waterproofing

- W.1

Any exposed structural timber which has any area in contact with another material and which will be inaccessible after fixing is to be given a coat of primer before fixing.

SN. Site Notes

- SN.1

Earthworks to be in accordance with AS 2870.
- SN.2

All water to be drained away from buildings during and after construction.
- SN.3

Finished slab levels to be min 250mm above finished ground level u.n.o.
- SN.4

All levels to be confirmed on site.

F. Footings and Slab Notes

- F.1

Footings have been designed for Class 'M' site classification. Builder to verify site conditions prior to construction.
- F.2

Natural foundations to be grubbed out and free of organic matter and debris and compacted to min 95% SRDD at -5% to +2% of optimum moisture content or not less than 65% density index for cohesionless soils.
- F.3

Fill to slab and foundations shall be an approved non-plastic material compacted in max 200mm layers to min 95% SRDD at -5% to +2% of optimum moisture content or not less than 65% density index for cohesionless soils.
- F.4

Footing trenches to be clean and dry at the time of casting with any softened material removed. Base of all footings to be founded on firm natural ground with min safe bearing capacity of 100 kPa.
- F.5

Pour slab on 200um damp proof membrane laid on 50mm compacted sand.
- F.6

Concrete slab and footings N20. Vibrate concrete and cure slab for min 7 days. Concrete cover to be maintained by the use of approved chairs spaced at approx 750mm centres. Conduits and pipes shall not be placed within cover concrete.

M. Masonry

- M.1

Masonry shall generally comply with AS3700.
- M.2

Unless noted otherwise provide:

a) Bond beams - two course, 1-N16 per course, lap 600

b) Lintel - single course, 1-N16

c) Vertical reinforcement:

i) provide N12 vertical reinforcement at ends, corners and each side of openings and 1200 max centres between

ii) provide additional N12 vertical reinforcement each side of openings greater than 2400

iii) starter bars to be provided at each vertical reinforcing bar bent 200mm at footing and lapping vertical bar 600mm

d) Sills - single course under window openings, 1-N12, extend 200mm past each side of opening

e) Core fill - all cores containing reinforcing to be cleaned and filled with S20 concrete

C. Concrete

- C.1

Concrete generally in accordance with AS3600.
- C.2

Concrete specification unless noted otherwise:

Element	Class & Grade	Max Agg	Max Slump
Groundslab & footings	N20	20mm	80mm
Core fill	S20	10mm	230mm
- C.3

Reinforcement notation:

'N' denotes Grade D500N hot rolled rebar to AS4671

'S' denotes Grade D250N hot rolled rebar to AS4671

'R' denotes Grade R250N hot rolled plain round to AS4671

'L' denotes Grade R500L cold drawn round wire to AS4671

'DW' denotes Grade D500L cold drawn ribbed wire to AS4671

'RL', 'SL', 'L_TM' denotes Grade D500 deformed wire meshes to AS4671
- C.4

Additives shall not be used without the Superintendent's approval.
- C.5

Mechanically vibrate concrete in the form to give maximum compaction without segregation of the concrete.
- C.6

Cure concrete as required by Section 19 of AS3600.
- C.7

Concrete sizes shown are minimum and do not include applied finishes. Do not reduce or hole concrete without Superintendent's approval.
- C.8

Do not place conduits, pipes and the like within the cover concrete.
- C.9

Formwork shall generally comply with AS3610.
- C.10

Stripping of formwork shall comply with Section 19 of AS3600.

T. Structural Timber

- T.1

Timber generally to AS 1684 and AS 1720.
- T.2

Min stress grade F14 unless noted otherwise.
- T.3

Min bolt size M12 unless noted otherwise.
- T.4

Timber framing:

a) 90x35 MGP-12 (H2) framing

b) studs @ 450 crs, 1 row nogging

c) single bottom plate, double top plate

d) M12 cyclone rods at ends, corners, beside openings and otherwise at max 1200mm crs

e) lintels 150x75 F14 hwd unless noted otherwise
- T.5

Wall bracing (where nominated): 4mm F27 structural ply fixed with 2.8Øx30 gal flathead nails @ 100 crs at top & bottom plate, @ 150 crs at vertical edges and @ 300 crs at intermediate studs.

Fix wall bottom plate to joists with M12 bolts @ 900 crs.

Fix wall top plate to trusses with 125x75x6 angle bracket, 1/M12 bolt top plate and truss.

Where bracing wall is parallel to joists or trusses, provide 50x75 F14 hwd nogging @ 900 crs fixed with 2/75mm batten screws each end. 1/M12 bolt thru nogging and wall top plate.

S. Steelwork

- S.1

Generally in accordance with AS 4100, AS 1554.1 and AS 1538.
- S.2

Unless noted otherwise, the following materials shall be used:

a) hot rolled sections Grade C300 plus to AS 3679.1

b) steel hollow sections Grade C350 to AS 1163

c) cold formed steel sections Grade 450 to AS 1397

d) bolts Grade 4.6/S to AS 1111 generally and Grade 8.8/S to AS 1252

e) galvanised bolts to AS 1214

f) welding to comply with AS 1554.1
- S.3

Unless noted otherwise use:

a) 10mm thick cleats, gussets, fins and end plates

b) all bolts to be galvanised to AS 1214

c) 6mm continuous fillet welds to AS 1554.1

d) all structural steelwork galvanised or system painted to equivalent protection

R. Roofing

- R.1

Roof trusses and roof bracing in accordance with manufacturer's specification for C2 (W50C) wind classification.
- R.2

Roof battens - 2 @ 550 crs at ridges and eaves, otherwise 850 crs: Topspan 40 battens fix with 2-No. 12-11x40 Hex Head Type 17 self drilling screws.
- R.3

Roof sheeting fixed in accordance with manufacturer's specification for C2 (W50C) wind classification.

Ultimate and Serviceability Limit State Design
Wind Pressures for Glazing

Wind classification	Design gust wind speed (m/s)		Design pressures for windows (kPa)			
	Vh,u	Vh,s	Greater than 1.2m from corners		Up to 1.2m from corners	
	ULS	SLS	ULS	SLS	ULS	SLS
C1	50	32	± 1.80	± 0.55	- 2.70	- 0.83
C2	61	39	± 2.68	± 0.88	- 4.02	- 1.23

WIND CLASSIFICATION C2

CLASS 'M' SITE

A	8/5/18	Original Issue	KFB	KFB
No.	Date	Issue / Revisions	Dwn	Chkd
Dwg File: K-5099-DWG-001.dwg XRef File: N/A				

CAPITAL HOMES NQ
Proposed residence for Lyn Moore at
Lot 299 Catherine Atherton Dr, Mareeba Qld 4880



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APPROVED

Permit No: 17000252 Date: 18 May 2018

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Job No: K-5099

Sheet: 1 A of 6

Scale: As Shown (A3)

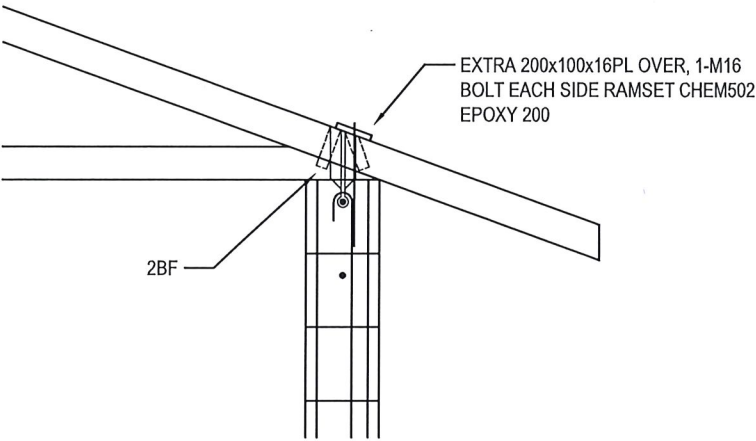
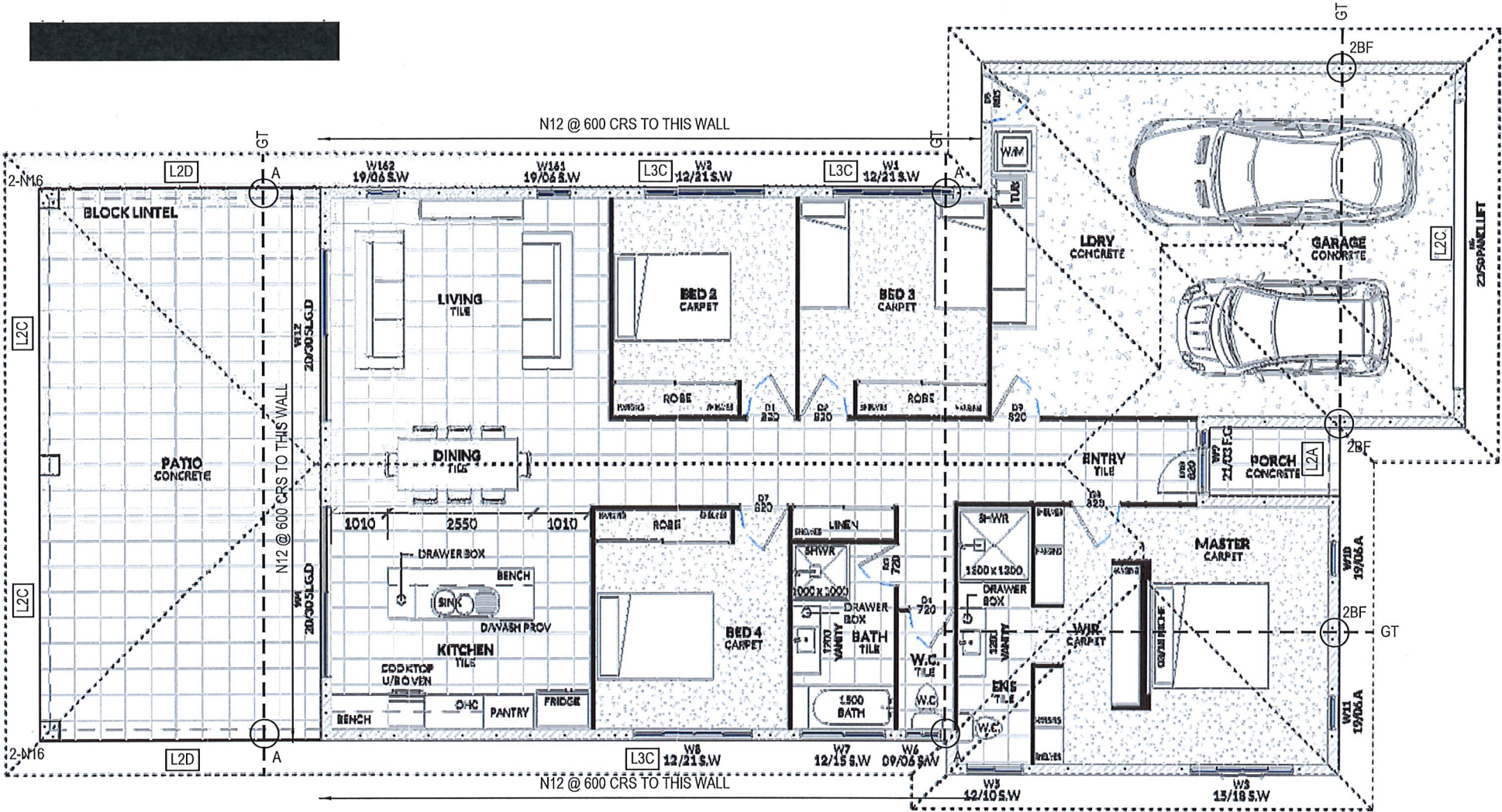
BLOCK REINFORCEMENT AND ROOF LAYOUT PLAN

- INTERNAL WALLS: NON-LOADBEARING
- * 70x35 MGP10 (H2) STUDS @ 600 CRS
 - * 70x35 MGP10 (H2) BOTTOM AND TOP PLATE
 - * FIX BOTTOM PLATE WITH RAMSET @ 900 CRS
 - * 1 ROW NOGGING 1350mm FROM FLOOR

- 200mm MASONRY BLOCK WALL CONSTRUCTION NOTES
- * REFER DETAIL 1 ON SHEET 3
 - * MASONRY WALL CONCRETE CORE FILL S20, 230mm SLUMP, 10mm AGGREGATE, MIN. 300 kg/m3 CEMENTITIOUS (FLYASH/CEMENT) MATERIAL CONTENT

NOTE: THE GARAGE ROLLER DOOR OR GARAGE PANEL LIFT DOOR AND IT'S FIXINGS ARE TO BE C2 CYCLONE RATED TO AS4505.

NOTE: ALL LINTELS [L3A] UNLESS NOTED OTHERWISE. SEE LINTEL DETAILS ON SHEET 3.



TO BE USED IF GIRDER TRUSS REACTION EXCEEDS 44 kN.

DETAIL A

1:20

- NOTE:
- 1) GIRDER TRUSS LAYOUT INDICATIVE ONLY. TO BE CONFIRMED BY TRUSS MANUFACTURER.
 - 2) DETAIL A TO BE USED FOR TRUSS REACTIONS GREATER THAN 44 kN.

BLOCK PLAN

1:100



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A	8/5/18	Original Issue	KFB	KFB

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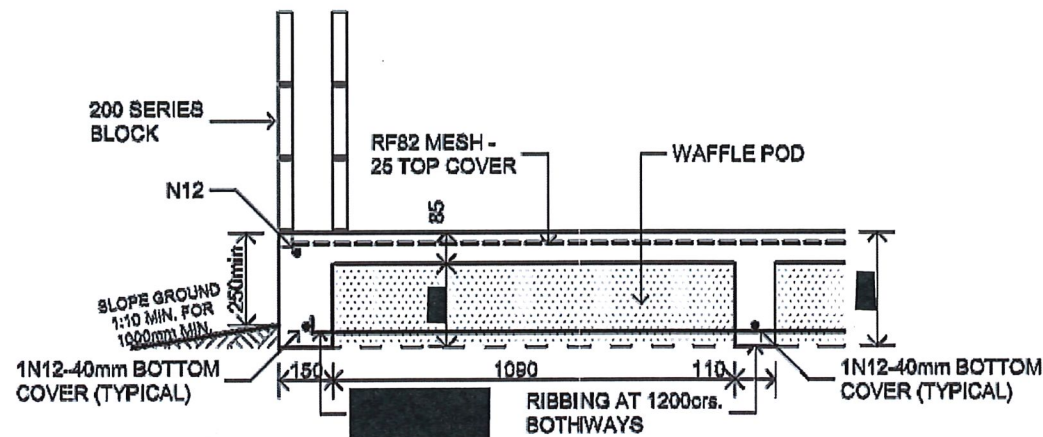
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Job No: K-5099
Sheet: 2 A of 6
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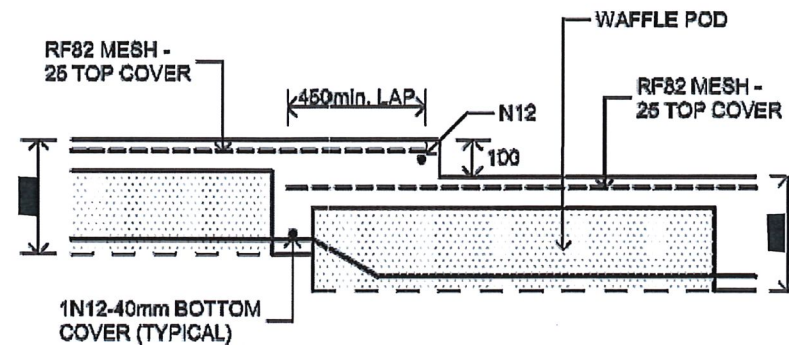


Job No: K-5099		
Sheet: 3	A	of 6
Scale: As Shown (A3)		

Job No: K-5099			
Sheet:	4	A	of 6
Scale: As Shown (A3)			



WAFFLE POD DETAIL
1:20



PATIO & GARAGE STEP DOWN DETAIL
1:20

SITE CLASS.	D1	D2	SLAB MESH
A	310mm	225mm	SL82
S	310mm	225mm	SL82
	310mm	225mm	SL82
-D	310mm	225mm	SL82*
I	385mm	300mm	SL82*
I-D	385mm	300mm	SL82*
			* SL92

FOOTING NOTES

1. THE BUILDING PLATFORM SHALL BE COMPACTED TO 95% SRDD IN ACCORDANCE WITH A.S. 3798
2. THE FINISHED GROUND LEVEL OF ALL THE PERIMETER SHALL BE GRADED TO FALL 1 IN 10 FOR 1000mm MINIMUM.
3. MINIMUM 50mm OF BEDDING SAND COMPACTED TO 95% SRDD SHALL OVERLAY THE COMPLETED BUILDING PLATFORM BUT IS NOT REQUIRED AT THE BOTTOM OF INTERNAL or EXTERNAL THICKENINGS.
4. ALL SLABS SHALL BE UNDERLAIN WITH A 200UM VAPOUR BARRIER LAPPED 200min. and SHALL CONTINUE UNDER ALL INTERNAL THICKENINGS and TO THE BOTTOM EXTERNAL EDGE OF PERIMETER EDGE THICKENINGS.
5. ALL SLABS SHALL COMPLY WITH AS2870-2011 WITH PARTICULAR ATTENTION PAID TO THE DETAILING and CONSTRUCTION REQUIREMENTS OF SECTIONS 5 and 6 OF THAT CODE. COVER :- FOOTINGS - 50 BOTTOM, 50 TOP and SIDES SLABS - 20 INTERNAL, 40 EXTERNAL.
6. CURE SLAB MINIMUM 7 DAYS.



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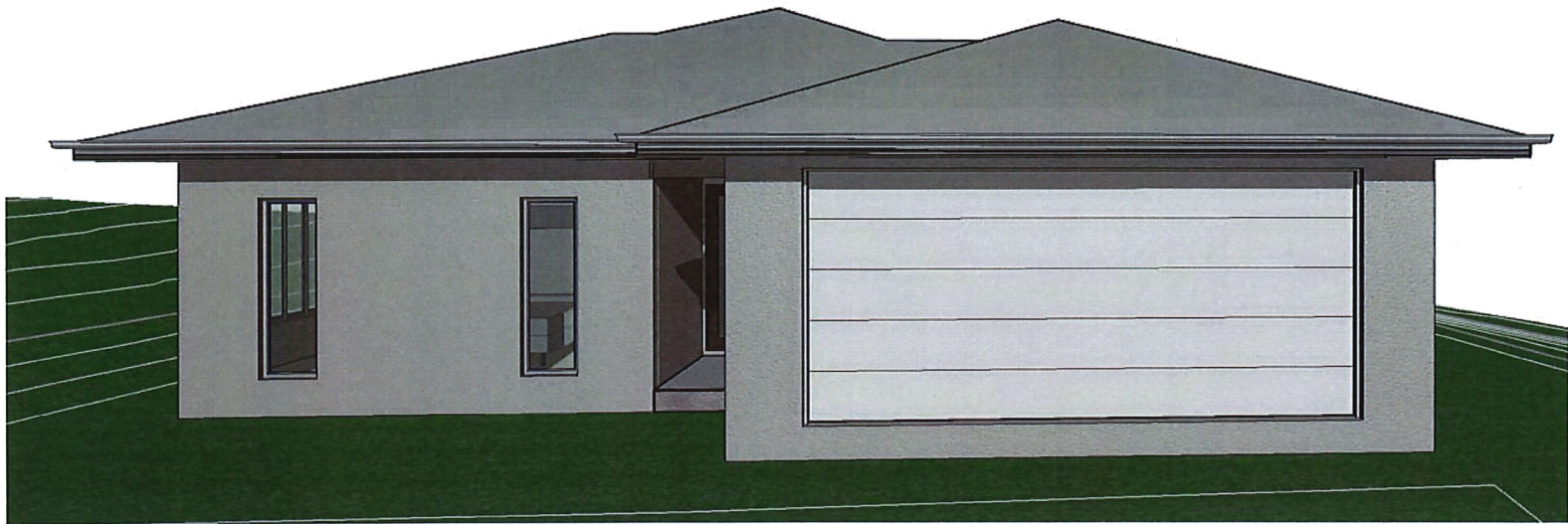
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CONSTRUCTION DRAWINGS

PROPOSED RESIDENCE FOR

LYN MOORE

ADDRESS

LOT 299 CATHERINE ATHERTON DRIVE
MAREEBA Q 4880



PAGE LIST	
PAGE NO	PAGE TITLE
01	COVER
02	SITE PLAN
03	FLOOR PLAN
04	3D VIEWS
05	ELEVATIONS
06	CROSS SECTION
07	FOUNDATION PLAN
08	ELECTRICAL & FIXTURES PLAN

GENERAL NOTES:

- ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH:
 - THE CURRENT NATIONAL CONSTRUCTION CODES (NCC)
 - THE STATE DEVELOPMENT CODE
 - BUILDING REGULATIONS
 - CURRENT ISSUES OF AUSTRALIAN STANDARDS & MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED
- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES.
- SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING.
- 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.
- ALL DIMENSIONS IN MILLIMETERS.
- DIMENSIONS TAKE PREFERENCE TO SCALE AND ARE TO STRUCTURE NOT FINISH ON NEW WORK. EXISTING WALLS MAY BE NOMINALLY DIMENSIONED.
- OWNER REMAINS RESPONSIBLE FOR ONGOING MAINTENANCE OF BUILDING. STRUCTURAL ELEMENTS IN PARTICULAR ARE TO REMAIN PROTECTED BY THE METHODS SHOWN AND LISTED IN THESE DRAWINGS.

WET AREA NOTES:

- ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC AND AS 3740.1 REQUIREMENTS.
- ALL WALL AND FLOOR PENETRATIONS IN WATERPROOFED AREAS TO BE WATERPROOFED BY SEALING WITH A PROPRIETARY FLANGE SYSTEM OR SEALANT.
- ACHIEVE MINIMUM REQUIRED FALLS TO ENSURE WATER DRAINAGE TO FLOOR AND SHOWER WASTES. MIN. FALL TO FLOOR WASTES TO BE 1:100, MIN. FALL TO SHOWER WASTES TO BE 1:80.

SITE WORKS NOTES:

- POSITION OF DWELLING TO BE CONFIRMED BY SURVEYOR & CLIENT PRIOR TO ANY SITE WORKS.
- ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/ PLUMBER IN ACCORDANCE WITH NCC VOL. 2.3.1.2 & 3.5.2 AND STATE LEGISLATION/ LOCAL PLANNING SCHEME HOUSE CODE AND AS 3500 ALL PARTS.
- BUILDER TO ENSURE THAT ACTUAL SEWER LINE AND MANHOLE POSITIONS MATCH THOSE AS SHOWN AS BASED ON LOCAL AUTHORITY DOCUMENTS. ANY DISCREPANCIES MUST BE BROUGHT TO ATTENTION AND RESOLVED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- BUILDER TO DETERMINE APPROPRIATE PLATFORMING METHOD ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. FINISHED FLOOR LEVEL IS TO BE ABOVE THE MINIMUM LEVEL AS PER LOCAL AUTHORITIES REQUIREMENTS & TO COMPLY WITH NCC VOL. 2.3.1.2.3.
- FALL OF LAND UNKNOWN AND IS TO BE CONFIRMED ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION. ANY REQUIRED EARTHWORKS INCLUDING CUT, FILL, BATTERS AND RETAINING MUST COMPLY WITH THE CURRENT NCC VOLUME 2 3.1.1, AS 3798 & AS 4200.
- THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING, 1000mm WIDE, IS TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1 IN 20 MINIMUM.
- STORMWATER MUST BE CONNECTED TO A LEGAL POINT OF DISCHARGE -
 - ROOFWATER/STORMWATER PIPE
 - BUBBLERS TO COUNCIL SPECIFICATION.
 - RAINWATER TANK, OVERFLOW MUST CONNECT TO STORMWATER SYSTEM.
- SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES.
- ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER.

WET AREA NOTES (CONT.):

- WATERSTOPS TO BE INSTALLED IN ALL LOCATIONS REQUIRED BY AS3740.
- ALL UNENCLOSED SHOWERS ARE TO HAVE A WATERSTOP INSTALLED FLUSH WITH THE FLOOR SURFACE.
- ALL ENCLOSED SHOWERS WITHOUT HOBBS ARE TO HAVE A WATERSTOP INSTALLED UNDER THE SHOWER FRAME, FINISHING A MINIMUM OF 5MM ABOVE THE FLOOR SURFACE.

PATH/DRIVEWAY NOTES:

- DRIVEWAY SLOPE NOT TO EXCEED 1:4. CHECK WITH LOCAL AUTHORITY REQUIREMENTS PRIOR TO CONSTRUCTING ANY DRIVEWAYS, PATHWAYS OR CROSSOVERS BETWEEN THE PROPERTY BOUNDARY AND ROAD KERB.
- PROVIDE A LAYER OF SAND A MINIMUM OF 20mm THICK UNDER THE SLAB, COMPACTED AND LEVELED.
- SLAB THICKNESS, MESH TO ENGINEERS DESIGN.

3D VIEW NOTES:

- GROUND LINE OR SLOPE OF SITE IS NOT REPRESENTED ON 3D VIEWS.
- FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
- 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

ELECTRICAL NOTES:

- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE NCC PART 3.7.2 - SMOKE ALARMS. SMOKE ALARMS MUST COMPLY WITH AS 3786.
 - ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS
 - ALL SMOKE ALARMS TO BE INTERCONNECTED
 - INSTALL LOCATIONS:
 - ON EACH LEVEL OF LIVING SPACE
 - OUTSIDE EACH BEDROOM AREA
 - IN EVERY BEDROOM
- THIS PLAN IS INDICATIVE ONLY AND IS TO BE USED ONLY AS AN EXAMPLE. OWNERS TO NOMINATE FINAL POSITIONS OF ELECTRICAL APPLIANCES, LIGHTING AND ELECTRICAL FITTINGS.

ELEVATION NOTES:

- WALL FINISHES AND WINDOW TYPES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS.
- GROUND LINE SHOWN ON ELEVATIONS DOES NOT RELATE TO ACTUAL SLOPE OF SITE.
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SECTION NOTES:

- TRUSS DESIGN IS INDICATIVE ONLY AND IS NOT PRESCRIPTIVE. FINAL DESIGN TO TRUSS MANUFACTURER SPECIFICATIONS.
- ALL PINE TO BE JD4 MIN.
- ALL HWD. TO BE F14 MIN.
- GROUND LINE SHOWN DOES NOT RELATE TO ACTUAL SLOPE OF SITE.
- FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
- SECTIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

FOUNDATION NOTES:

- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES. SITE CLASSIFICATION IS TO BE CONFIRMED BY INSPECTION OF FOOTING EXCAVATIONS.
- PLUMBER RESPONSIBLE TO LOCATE AND CONFIRM SEWER HOUSE CONNECTION LOCATION ACCURATELY PRIOR TO COMMENCEMENT. PLUMBER IS TO VERIFY WITH SITE SUPERVISOR PRIOR TO SETTING OUT FIXTURE DRAINAGE POINTS. NO AMENDMENTS OR SPECIAL FIXTURES HAVE BEEN NOMINATED.
- WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL ACHIEVED TO SUPPORT CONCRETE.
- REBATE GARAGE DOORS & SLIDING GLASS DOORS 20mm, AND SHOWER RECESSES 50mm IN LOCATIONS SHOWN.
- ACCORDING TO MANUF' SPEC. OR BUILDERS DIRECTIONS.
- MINIMUM COVER TO GROUND - 50mm.
- TOP COVER TO SLAB REINFORCEMENT - 30mm.
- GRADE FINISHED GROUND SURFACE TO DIVERT WATER AWAY FROM BUILDING.
- WATERPROOF MEMBRANE IS 0.2mm POLYETHYLENE. JOINTS ARE TO BE LAPPED 300mm AND TAPED.
- REINFORCEMENT TO BE SUPPORTED ON PLASTIC CHAIRS AT 1000mm CRS.
- ALL CONCRETE IS TO BE MECHANICALLY VIBRATED DURING PLACING.
- FILL MATERIAL AND SAND UNDER SLABS IS TO BE COMPACTED TO 95% OF MAX. DRY DENSITY.
- FLOORS TO ALL WET AREAS TO HAVE A FALL TO A FLOOR WASTE.

TERMITE RISK NOTES:

- TERMITE CONTROL BARRIERS TO BE IN ACCORDANCE WITH AS 3660.1 AND NCC CLAUSE 3.1.3.
- ANY UNTREATED TIMBER POSTS, STAIRS AND THE LIKE SHALL BE SET 75MM MINIMUM CLEAR OF GROUND FOR VISUAL TERMITE CONTROL.
- TWO APPROVED NOTICES SHALL BE AFFIXED TO THE DWELLING AS REQUIRED ADVISING OWNERS OF THE METHOD OF TERMITE RISK MANAGEMENT USED, AND THEIR ONGOING RESPONSIBILITY FOR THE MAINTENANCE OF THE SYSTEMS.
- BUILDER TO CONFIRM WITH OWNER THE CHOSEN METHOD OF TIMBER PROTECTION.
- OWNER REMAINS RESPONSIBLE FOR ONGOING INSPECTION OF STRUCTURAL TIMBER ELEMENTS, AND THAT BARRIERS ARE NOT COMPROMISED.
- WHERE CONCRETE SLAB FORMS BARRIER, SLAB TO BE CONSTRUCTED AS PER AS2870. SLAB & FOOTINGS TO BE "MONOLITHIC". TERMIMESH FLANGE TO BE CLAMPED TO PIPES AND SET IN SLAB. 75MM MIN OF EXPOSED SLAB EDGE TO REMAIN ABOVE FINISHED PERIMETER LEVEL. EXPOSED EDGE NOT TO BE COVERED BY SOIL, RENDERED OR TILED, BUT MAY BE PAINTED. WHERE BRICKWORK CONCEALS EDGE OF SLAB, IN ADDITION TO ABOVE, PROVIDE TERMIMESH BARRIER BELOW D.P.C. FIXED TO SLAB EDGE.
- INSTALL ANT CAPPING TO ALL BRICK PIERS, TIMBER OR CONC STUMPS. KEEP TIMBER CLEAR OF GROUND WHEN ON STEEL ANCHORS. NON-TIMBER ITEMS (EG STEEL POSTS) NEED NO PROTECTION FROM TERMITES.
- ALL PRIMARY BUILDING ELEMENTS AS DEFINED BY THE BUILDING CODE OF AUSTRALIA INCLUDING THE QLD VARIATION ARE EITHER NATURALLY TERMITE RESISTANT AS PER APPENDIX 'C' OF AS3660.1 OR HAVE BEEN CHEMICALLY TREATED TO RESIST ATTACK FROM TERMITES IN ACCORDANCE WITH APPENDIX 'D' OF AS 3660.1-2000. IN ADDITION, ALL SLAB PENETRATIONS ARE ALSO PROTECTED WITH CHEMICAL SYSTEMS COMPLYING WITH AS3660.1-2000.

FLOOR PLAN NOTES:

- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE NCC PART 3.7.2 - SMOKE ALARMS. SMOKE ALARMS MUST COMPLY WITH AS3786.
 - ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS
 - ALL SMOKE ALARMS TO BE INTERCONNECTED
 - INSTALL LOCATIONS:
 - ON EACH LEVEL OF LIVING SPACE
 - OUTSIDE EACH BEDROOM AREA
 - IN EVERY BEDROOM
- WALL FINISHES AND WINDOW TYPES ON 3D VIEWS ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
- BUILDER TO CONFIRM ALL DIMENSIONS PRIOR TO CONSTRUCTION. DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE CLADDING/LININGS (UNO).
- S.S. BALUSTRADING TO COMPLY WITH CURRENT NCC VOLUME 2 SECTION 3.9.2.3 'WIRE BALUSTRADING CONSTRUCTION'
- DOORS TO W.C.'S TO HAVE LIFT OFF HINGES (ONLY IF THE DOORS SWING IN TOWARDS THE W.C.).
- MASONRY CONSTRUCTION TO AS 3700.
- REFER ENGINEERS DRAWINGS & SPECIFICATIONS FOR ALL STRUCTURAL DETAILS, FRAMING, BRACING, TIE DOWN AND SLAB/FOOTING DETAILS.
- SEAL WET AREAS IN ACCORDANCE WITH AS3740 & NCC REQUIREMENTS.
- PROVIDE FLOOR WASTE TO ALL WET AREAS, NOT INCLUDING LAUNDRY.

ROOF DRAINAGE NOTES:

- ALL GUTTER AND DOWNPIPE WORKS TO AS/NZS 3500.3 AND CURRENT NCC VOLUME 2 PART 3.5.2.
- DOWNPIPES (DP) TO BE 100mmØ UPVC.
- TEMPORARY DOWNPIPES TO BE PROVIDED AT DP LOCATIONS DURING CONSTRUCTION DRAINING ROOFWATER ONTO GROUND, 2M MIN AWAY FROM BUILDING.
- THE ROOF DRAINAGE SYSTEM MUST BE PROVIDED WITH AN OVERFLOW TO PREVENT THE BACKFLOW OF WATER INTO THE BUILDING.
- THE AREA SPECIFIC RAINFALL INTENSITY MUST BE SELECTED FROM NCC TABLE 3.5.2.1 OR FROM AS/NZ3500.
- EAVES GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 500 WITH SUPPORT BRACKETS AT 1.2m MAXIMUM CENTRES.
- DOWNPIPES MUST SERVE NOT MORE THAN 12 METERS OF GUTTER LENGTH FOR EACH DOWNPIPE WHICH MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS. EAVES GUTTERS MUST BE PROVIDED WITH AN OVERFLOW SYSTEM WHERE DOWNPIPES ARE LOCATED MORE THAN 1.2 METRES FROM A VALLEY GUTTER.
- DOWNPIPES (DP) TO BE MAX. 12m LINEAL APART.

DP Ø	GUTTER	MAX ROOF AREA
100mm MIN.	7900mm² MIN	35m² CROSS SECT. AREA

ENERGY EFFICIENCY NOTES:

- ALL TAPWARE & SHOWERS TO BE 3 STAR MIN.
- ALL TOILETS TO BE 4 STAR MIN.
- ELECTRIC HOT WATER SYSTEM TO BE INSTALLED.
- BUILDING TO BE CONSTRUCTED IN ACCORDANCE WITH QUEENSLAND DEVELOPMENT CODE MP4.1- SUSTAINABLE BUILDINGS.



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ABN: 31614195818
QBCC LIC: 15040397

AREI PLAN CODE:
SERIES 10 ASH3

CLIENT:
CAPITAL HOMES NQ

DRAWING NAME:
COVER

PROJECT:
**PROPOSED RESIDENCE FOR
LYN MOORE AT
LOT 299 CATHERINE ATHERTON DR
MAREEBA**

PLAN NUMBER:
1173-18
DATE:
23/04/18
SCALE @ A3
NTS

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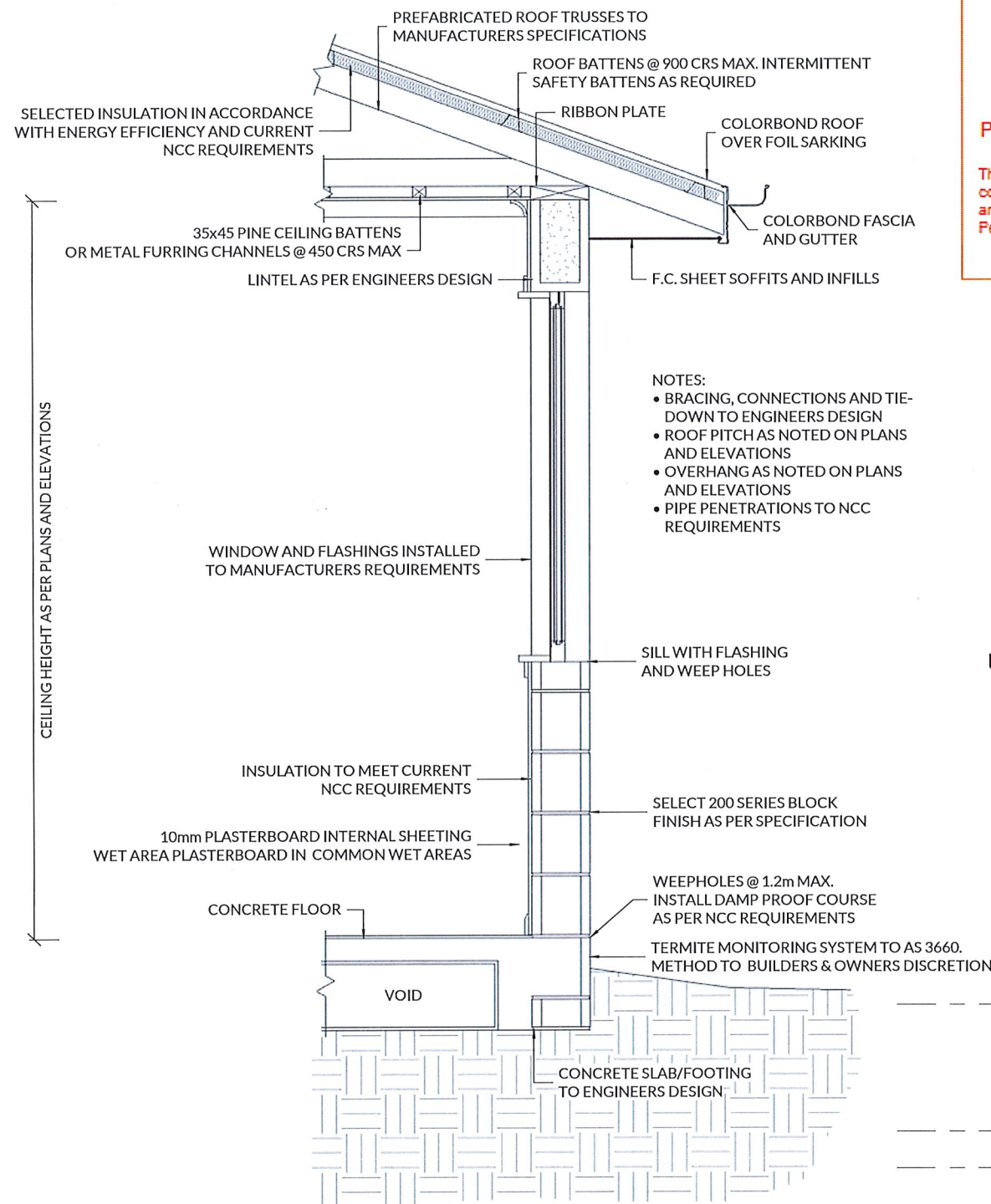
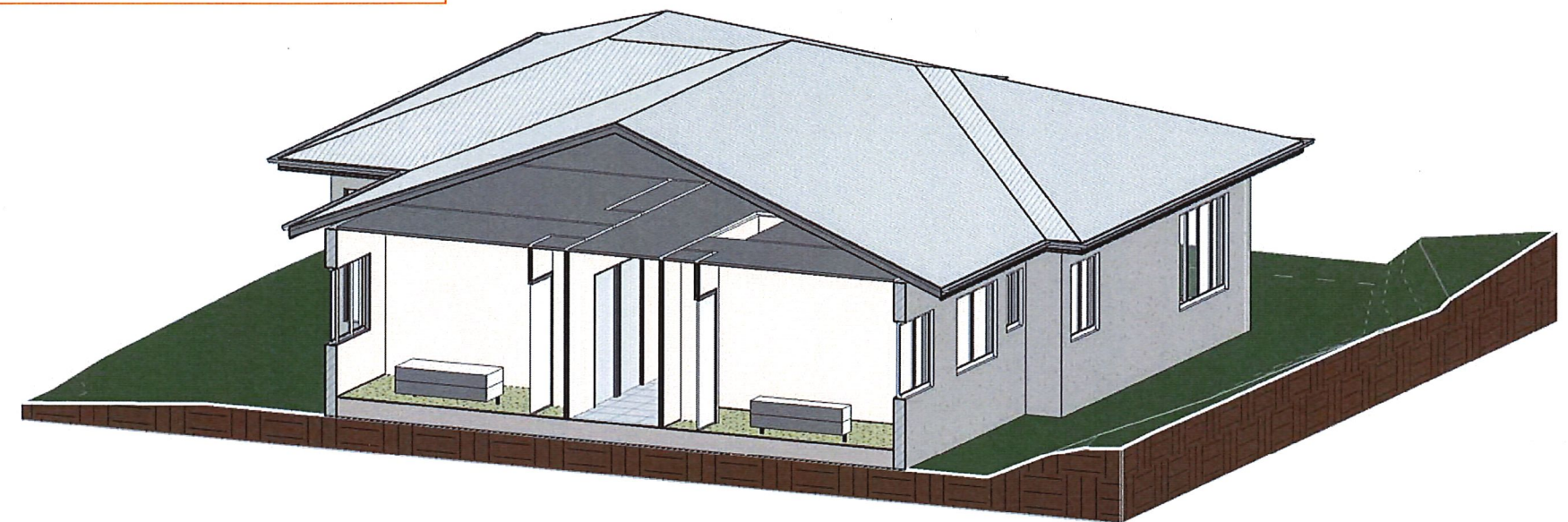
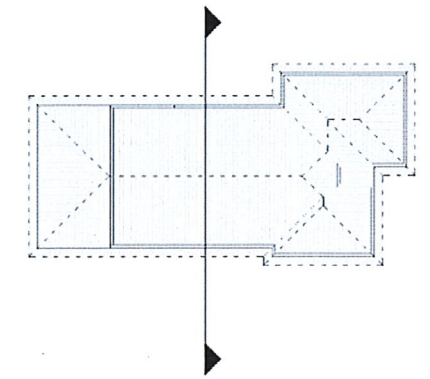
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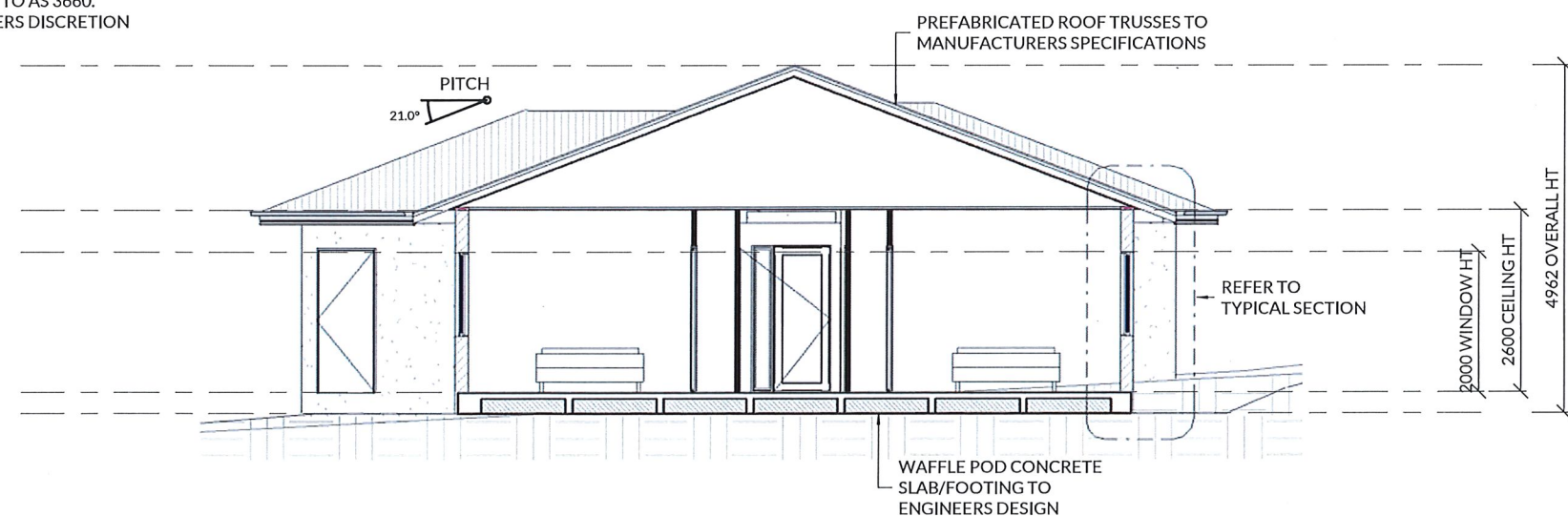
APPROVED

Permit No: 17000252 Date: 18 May 2018

The building work described on this drawing specification conforms with the provisions of the Building Act 1975 and is subject to the conditions of the Development Permit



TYPICAL SECTION BLOCK STRIP FOOTING
1:20



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AREI PLAN CODE:
SERIES 10 ASH3

CLIENT:
CAPITAL HOMES NQ

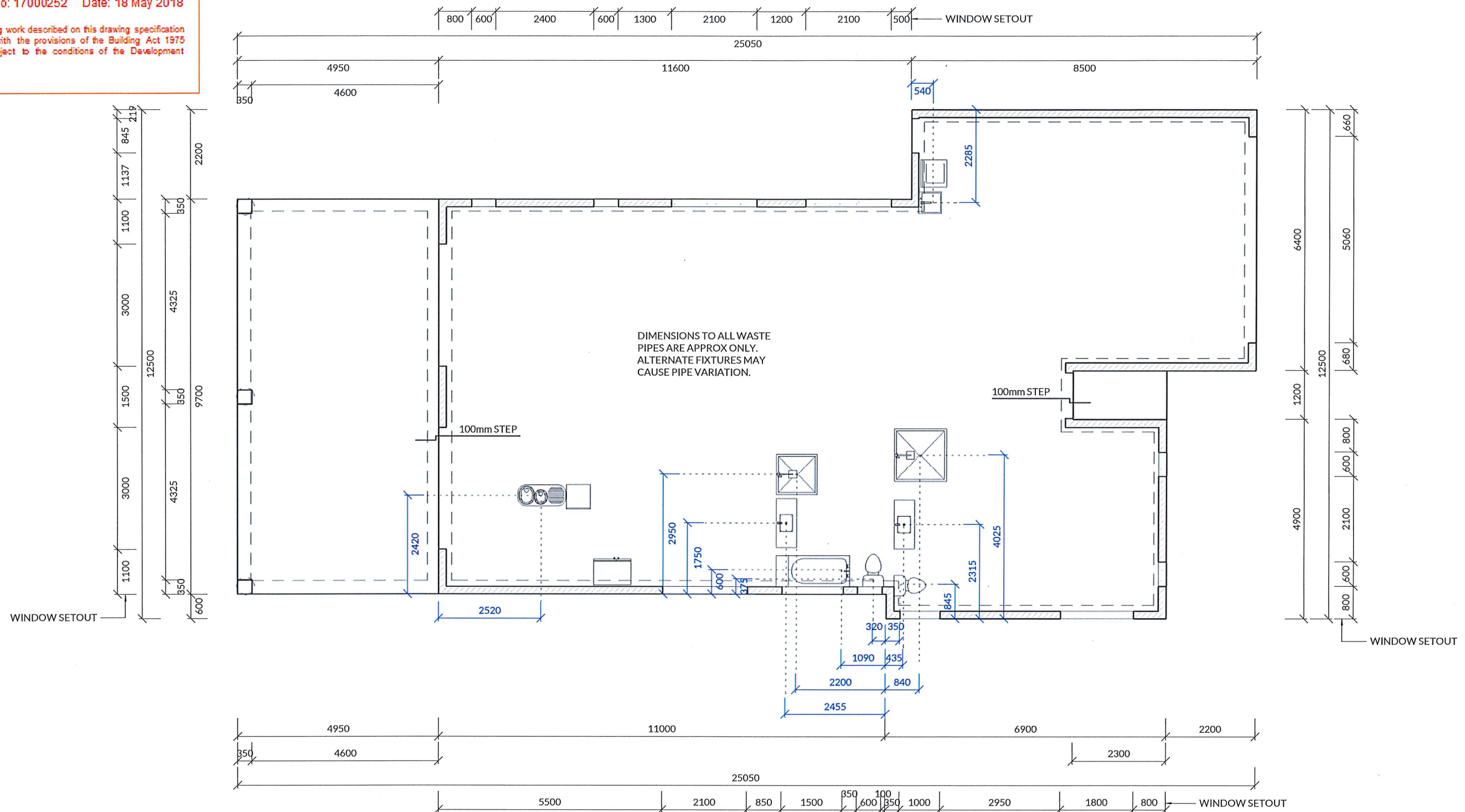
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CROSS SECTION

PROJECT:
**PROPOSED RESIDENCE FOR
LYN MOORE AT
LOT 299 CATHERINE ATHERTON DR
MAREEBA**

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0m 0.5 1m 1.5 2m 2.5 3m 3.5 4m 4.5 5m



1. THIS PLAN IS INDICATIVE ONLY AND WILL DIFFER ON SITE. PLUMBER TO SUBMIT AS CONSTRUCTED PLAN TO COUNCIL.
2. INSPECTION OPENINGS AND VENTS ARE TO BE INSTALLED WHERE REQUIRED.
3. ALL PLUMBING WORKS AS PER RELEVANT AUSTRALIAN STANDARDS.



AREI PLAN CODE:
SERIES 10 ASH3

CLIENT:
CAPITAL HOMES NQ

DRAWING NAME:
FOUNDATION PLAN

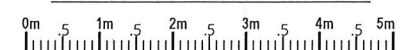
PROJECT:
**PROPOSED RESIDENCE FOR
LYN MOORE AT
LOT 299 CATHERINE ATHERTON DR
MAREEBA**

PLAN NUMBER: 1173-18	PAGE NO: 07 OF 08
DATE: 23/04/18	DRAWN: N MCLEAN
SCALE @ A3 1:100	CHECKED: BEN DYE

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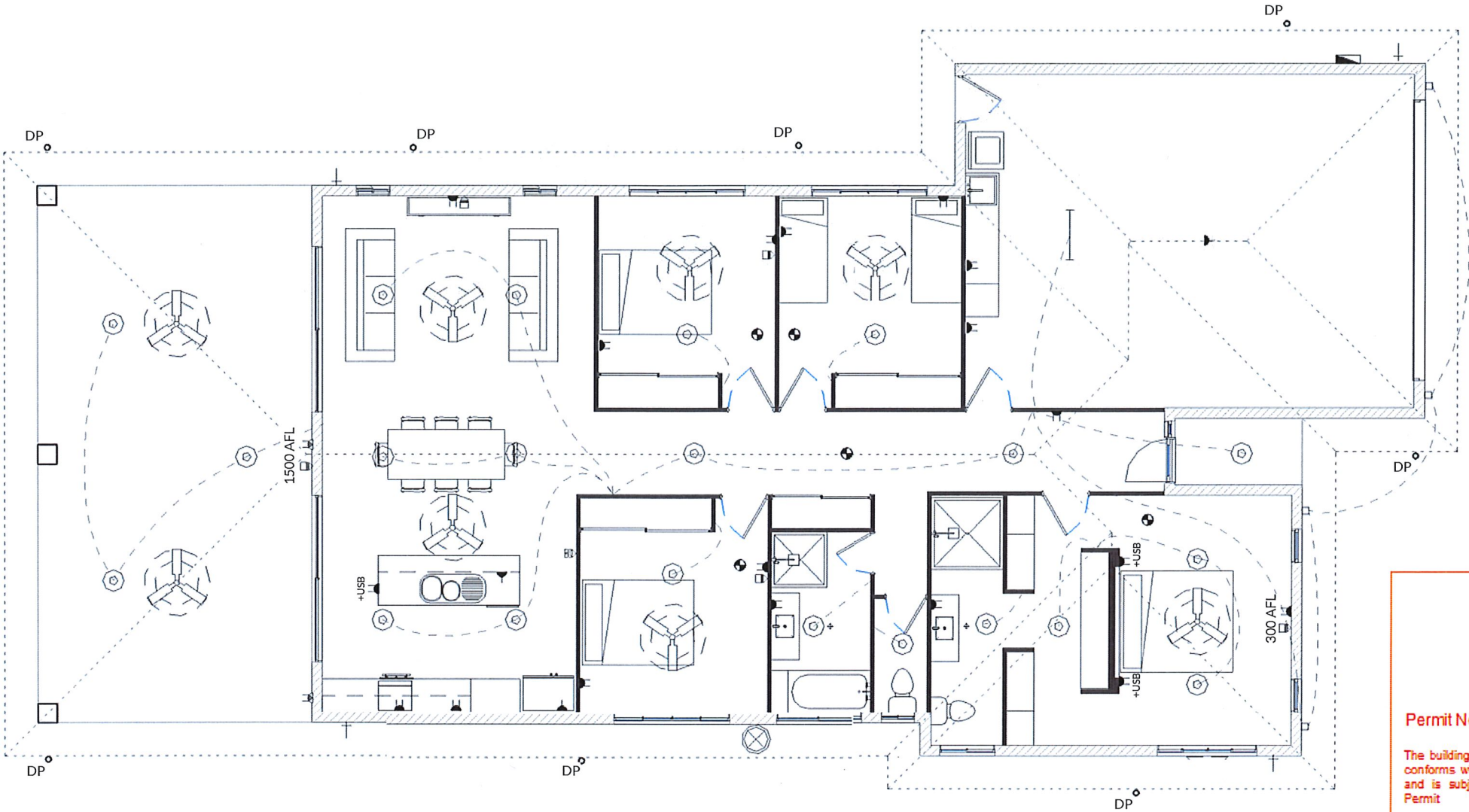
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ELECTRICAL & FIXTURES LEGEND

SYMBOL DESCRIPTION

- DOWN LIGHT RECESSED
- FLUORO SINGLE 900mm
- FLUORO DOUBLE 900mm
- OYSTER FLUORO LIGHT
- UP/DOWN LIGHT
- EXTERIOR SENSOR LIGHT
- FLOOD LIGHT EXTERNAL
- FLOOD LIGHT EXTERNAL (2)
- HEAT LAMP LIGHT
- GPO SINGLE
- GPO DOUBLE
- GPO SINGLE WATERPROOF
- GPO DOUBLE WATERPROOF
- TELEVISION POINT
- PHONE/DATA POINT
- DISTRIBUTION BOX
- ANTENNA
- METER BOX
- SMOKE DETECTOR
- AIR CON HEAD (SPLIT)
- AIR CON UNIT (SPLIT)
- HOT WATER SYSTEM
- FLOOR WASTE
- GAS BOTTLES
- HOSE COCK
- EXHAUST CEILING FAN
- EXHAUST WALL FAN
- CEILING FAN
- CLOTHES LINE



EMERGENT
BUILDING APPROVALS

APPROVED
Permit No: 17000252 Date: 18 May 2018

The building work described on this drawing specification conforms with the provisions of the Building Act 1975 and is subject to the conditions of the Development Permit

ENERGY EFFICIENCY NOTES:

1. ALL TAPWARE & SHOWERS TO BE 3 STAR MIN.
2. ALL TOILETS TO BE 4 STAR MIN.
3. ELECTRIC HOT WATER SYSTEM TO BE INSTALLED.
4. THIS LAYOUT HAS BEEN DESIGNED TO SHOW 100% ENERGY EFFICIENT LIGHTING, (INTERNAL, INCLUDING GARAGE).
5. F - INDICATES LIGHT FITTINGS TO HAVE ENERGY EFFICIENT FLOURESCENT GLOBES INSTALLED.

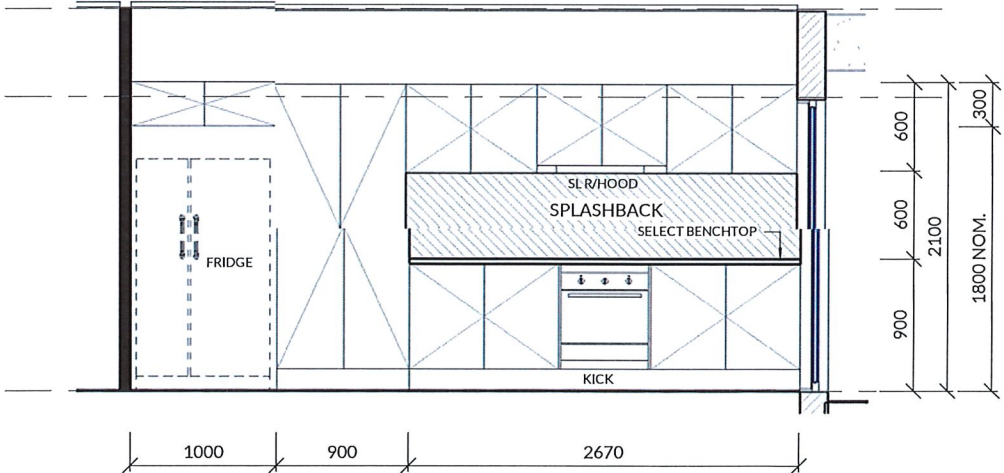
POWER POINT HEIGHTS AFL

- LIGHT SWITCHES 1150mm AFL
- WALL MOUNTED LIGHTS 2000mm AFL
- POWER OUTLETS (STANDARD) 300mm AFL

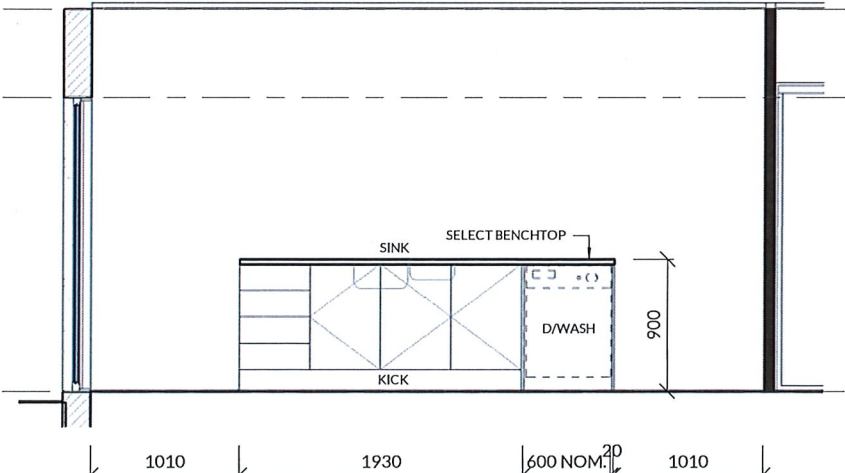
POWER OUTLETS OTHER

- M/WAVE OVEN ROWER 1800mm AFL
- M/WAVE UNDER BENCH 300mm AFL
- KITCHEN BENCH 1000mm AFL
- REFRIGERATOR 1500mm AFL
- RANGEHOOD 1800mm AFL
- D/WASH 300mm AFL
- VANITY BASINS 950mm AFL
- LAUNDRY BENCH 1000mm AFL
- W/MACHINE 1500mm AFL

ELECTRICAL LINE



ELEVATION K1 - KITCHEN NORTH
1:50



ELEVATION K2 - KITCHEN SOUTH
1:50



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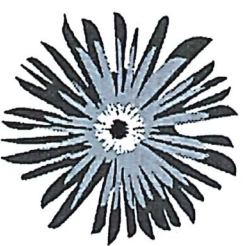
DRAWING NAME:
ELECTRICAL & FIXTURES PLAN

PROJECT:
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LOT 299 CATHERINE ATHERTON DR
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Mareeba

SHIRE COUNCIL

65 Rankin Street
PO Box 154 MAREEBA QLD 4880

P: 1300 308 461
F: 07 4092 3323

W: www.msc.qld.gov.au
E: info@msc.qld.gov.au

Council Ref: DEV-APP-GEN:RP: krp

Your Ref: PD/18/0060

17 May 2018

Compliance Permit

Plumbing and Drainage Act 2002 s. 85(5)(a)

F Vittori
PO Box 937
MAREEBA QLD 4880

Dear Sir/Madam

LAND DESCRIBED AS: Lot 299 SP 250068
SITUATED AT: Catherine Atherton Drive MAREEBA QLD 4880
PERMIT NO: PD/18/0060

Your application for the compliance assessment of plans for regulated work (that is plumbing and drainage work) under section 85 of the Plumbing and Drainage Act 2002 was decided on 17th May 2018 by the Mareeba Shire Council.

Council has decided to issue you with a Compliance Permit subject to the following conditions:

- (1) All work to be in accordance with the requirements of the Plumbing and Drainage Act 2002.
- (2) Inspection and Testing shall be in accordance with Section 20 of the Standard Plumbing and Drainage Regulation 2003. 48 hours notice must be given prior to all inspections.

The following inspections are required:-

- a) Before plumbing or drainage under a floor slab are covered;
- b) Sanitary drainage below ground before backfill is placed;
- c) Plumbing in the building before it is covered;
- d) Once plumbing and drainage work is completed; and
- e) At other stages stated in the conditions on the compliance permit.

The responsible person must make the request for the inspection under (d) (ie the final inspection) within seven days of completing the work.

- (3) The issue of this permit does not:-
 - (i) Indicate the effluent disposal will be satisfactory, OR
 - (ii) Prejudice Council's right to require additional or remedial works.

- (4) An as constructed plan of all plumbing and drainage works (drawn to scale) must be provided to Council prior to the issue of a Compliance Certificate.

(5) Floor Level:

Height above overflow relief gully: The floor level of the lowest plumbing/drainage fixture must be at least 250mm above the finished ground level adjacent to the building (the term "lowest plumbing drainage fixture" includes shower waste, floor waste and wash-down gully.)

The purpose of this condition is to ensure that the following requirements of AS/NZS 3500.2:2003 are complied with.

4.6.6.6 Height Below Lowest Fixture

A minimum height of 150mm shall be maintained between the top of the overflow gully riser and the lowest fixture connected to the drain.

This height shall be measured vertically from the overflow level of the fully riser, or from the invert level of the overflow pipe, to the appropriate point given in Table 4.3 (in AS/NZS 3500.2:2003).

4.6.6.7 Height Above Surrounding Ground

The minimum height between the top of the overflow gully riser, or the invert of the overflow pipe, and the surrounding ground surface level shall be 75mm, except where the gully riser is located in a path or a paved area, where it shall be finished at a level so as to prevent the ponding and ingress of water.

- (6) A Form 3 (Verification of Covered Works) must be provided to Council for the land disposal area and associated works which have not been visually inspected prior to the issue of a Compliance Certificate.

The following plans and documents were assessed for compliance with the Standard Plumbing Drainage Regulation 2003 (SPDR).

The plans and documents were not assessed for the use of certified items (s.30 SPDR) but this will be rigorously enforced during the compliance assessment of the work.

Council notes that the proposed work may or may not involve connecting to sewerage and water infrastructure.

Enquiries about this permit can be made to the Mareeba Shire Council's Building and Plumbing Services on 1300 308 461.

Yours faithfully



ROBERT PRIZMIC Licence No: 25630
ACTING SUPERVISOR OF BUILDING AND PLUMBING SERVICES

CC To:
L C Moore
Unit 9 78-82 Trinity Beach Road
TRINITY BEACH QLD 4879

CC To:
Emergent Building Approvals
PO Box 2784
MAREEBA QLD 4880

17 May 2018

Compliance Permit
Plumbing and Drainage Act 2002 s. 85(5)(a)

Roy Walker Plumbing
PO Box 354
ATHERTON QLD 4883

Dear Sir/Madam

RE: Catherine Atherton Drive MAREEBA QLD 4880
Permit Number: HSP/18/0002

Your application for the compliance assessment of plans for regulated work (that is plumbing and drainage work) under section 85 of the Plumbing and Drainage Act 2002 was decided on 17th May 2018 by the Mareeba Shire Council.

Council has decided to issue you with a Compliance Permit subject to the following conditions:

- (1) All work to be in accordance with the requirements of the Plumbing and Drainage Act 2002.
- (2) Inspection and Testing shall be in accordance with Section 20 of the Standard Plumbing and Drainage Regulation 2003 (48 hours notice must be given prior to all inspections).
- (3) The issue of this permit does not:-
 - (i) Indicate the effluent disposal will be satisfactory, OR
 - (ii) Prejudice Council's right to require additional or remedial works.
- (4) An as constructed plan of the AWTs and Land Application Area, drawn to scale, must be provided along with the Commissioning Certificate.
- (5) The manufacturer, facility builder or the authorised representative, must furnish a 12 month initial service policy to the owner. The initial policy must contain provisions for the number of inspection/service visits over the 12 months as required under the Approval for On-site Sewage Treatment Plants. A copy of this service policy must be provided to Council along with the Commissioning Certificate.

CERTIFICATION

All on-site sewerage facilities must, following installation, be certified by the designer, certifying that the facility conforms to the design requirements and specifications and, that such equipment has been installed and commissioned in accordance with the manufacturer's instructions and, any conditions applied by Council. The owner should hold the certification documentation and a copy of this certificate must be supplied to the local government.

Prepare a set of "as-built" or "work-as-executed" plans/details to be lodged with the owner or occupier of the facility being serviced by the on-site system and with the relevant regulatory authority if required. This installation record should include:

- (i) A Detailed sketch showing the location of all parts of the wastewater system, site facilities (building, driveways, etc.) and property boundaries;
- (ii) Details of setback, irrigation areas, reserve areas;
- (iii) The sizes and capacities of any equipment, such as a pump and the wastewater-treatment unit;
- (iv) The equipment supplier's repair or maintenance agency;
- (v) The servicing schedule and duties.

OPERATION AND MAINTENANCE

On-site sewerage facilities are prone to failure if operated and maintained incorrectly. All on-site sewerage facilities require a high degree of user dedication in terms of operation and maintenance, to ensure that the design performance of the facility is achieved for the expected life of the facility.

Operation and maintenance procedures are to be set out for all aspects of the on-site sewerage facility by the designer, manufacturer and/or facility builder. The administration procedures should ensure that:

- (a) Operation and maintenance guidelines are available to all owners and users of an on-site sewerage facility;
- (b) Operation and maintenance procedures are undertaken to a regular schedule appropriate to the nature and type of treatment and land application facility and, in accordance with the manufacturer's/facility builder's instructions; and
- (c) Continuity of operation and maintenance is achieved throughout changes of ownership, occupier and/or use or development of the site.

MAINTENANCE

The local government must ensure that owners of on-site sewerage facilities are in possession of a current maintenance contract where applicable under the Conditions of Approval of the On-site Sewage Treatment Plant and include with the rates notice or other regular communication, a reminder of their maintenance obligations.

The following plans and documents were assessed for compliance with the Standard Plumbing Drainage Regulation 2003 (SPDR).

The plans and documents were not assessed for the use of certified items (s.30 SPDR) but this will be rigorously enforced during the compliance assessment of the work.

Council notes that the proposed work may or may not involve connecting to sewerage and water infrastructure.

Enquiries about this permit can be made to the Mareeba Shire Council's Building and Plumbing Services on 1300 308 461.

Yours faithfully



ROBERT PRIZMIC

Licence No: 25630

ACTING SUPERVISOR OF BUILDING AND PLUMBING SERVICES

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