



AGENDA

Wednesday, 17 July 2024

Ordinary Council Meeting

I hereby give notice that an Ordinary Meeting of Council will be held on:

Date: Wednesday, 17 July 2024

Time: 09:30am

Location: Council Chambers

Peter Franks
Chief Executive Officer

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- 2 APOLOGIES/LEAVE OF ABSENCE/ABSENCE ON COUNCIL BUSINESS**
- 3 BEREAVEMENTS/CONDOLENCES**
- 4 DECLARATION OF CONFLICTS OF INTEREST**
- 5 CONFIRMATION OF MINUTES**
Ordinary Council Meeting - 19 June 2024
- 6 BUSINESS ARISING OUT OF MINUTES OF PREVIOUS MEETING**
- 7 DEPUTATIONS AND DELEGATIONS**

8 CORPORATE AND COMMUNITY SERVICES

8.1	KANJINI CO-OP LIMITED - MATERIAL CHANGE OF USE - OUTDOOR SPORT AND RECREATION, FUNCTION FACILITY AND TOURIST PARK - LOT 66 ON RP896904, LOT 67 ON SP328197 AND LOT 68 ON SP282408 - 545 KAY ROAD AND 483 EMERALD FALLS ROAD, MAREEBA - MCU/22/0002
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Date Prepared: 12 February 2024

Author: Coordinator Planning Services

- Attachments:**
1. Proposal Plans [↓](#)
 2. State Assessment and Referral Agency response dated 1 February 2024 [↓](#)
 3. Powerlink Qld advice agency response dated 24 November 2023 [↓](#)
 4. Queensland Parks and Wildlife Service & Partnerships third party advice dated 16 December 2023 [↓](#)
 5. Submissions [↓](#)

APPLICATION DETAILS

APPLICATION		PREMISES	
APPLICANT	Kanjini Co-Op Limited	ADDRESS	545 Kay Road & 483 Emerald Falls Road, Mareeba
DATE LODGED	1 September 2022	RPD	Lot 66 on RP896904, Lot 67 on SP328197 & Lot 68 on SP282408
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Material Change of Use – Outdoor Sport and Recreation, Function Facility and Tourist Park		
FILE NO	MCU/22/0002	AREA	Lot 66 – 294.9 ha Lot 67 – 842.49 ha Lot 68 – 1683.32 ha
LODGED BY	Freshwater Planning Pty Ltd	OWNER	Kanjini Co-Op Limited
PLANNING SCHEME	Mareeba Shire Council Planning Scheme 2016		
ZONE	Rural zone		
LEVEL OF ASSESSMENT	Impact Assessment		
SUBMISSIONS	Thirty-nine (39)		

EXECUTIVE SUMMARY

Council is in receipt of a development application described in the above application details.

The application is impact assessable and 39 properly made submissions were received in response to public notification of the application. 12 of the submissions are in support of the development,

with the remaining largely comprising of similar letters expressing concerns about potential noise and traffic impacts for Kay Road.

The subject site is a 2,820 hectare rural property which has existing approval for bush camping (13 sites) and has also successfully held the Kuranda Roots Festival for the past three (3) years. The application seeks to expand on these activities by carrying out the following development in four (4) stages:

- Six (6) additional camp sites;
- 10 RV/caravan sites and 8 tourist cabins; and
- Two (2) event sites & function facility – cumulative maximum of 12,000 persons per annum, with no single event hosting more than 2,000 persons.

The application and supporting material has been assessed against the Mareeba Shire Council Planning Scheme 2016 and the development can be appropriately conditioned to avoid conflict with any relevant planning instrument.

Careful consideration has been given to the potential noise and traffic impacts and the applicant will have ongoing obligations to manage both for the life of the development.

It is recommended that the application be approved in full with conditions.

OFFICER’S RECOMMENDATION

1. That in relation to the following development application:

APPLICATION		PREMISES	
APPLICANT	Kanjini Co-Op Limited	ADDRESS	545 Kay Road & 483 Emerald Falls Road, Mareeba
DATE LODGED	1 September 2022	RPD	Lot 66 on RP896904, Lot 67 on SP328197 & Lot 68 on SP282408
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Material Change of Use – Outdoor Sport and Recreation, Function Facility and Tourist Park		

and in accordance with the Planning Act 2016, the applicant be notified that the application for a development permit for the development specified in (A) is:

Approved by Council in accordance with the approved plans/documents listed in (B), subject to assessment manager conditions in (C), assessment manager’s advice in (D), concurrence agency conditions in (E), relevant period in (F), further permits in (G), and further approvals from Council listed in (H);

And

The assessment manager does not consider that the assessment manager’s decision conflicts with a relevant instrument.

(A) APPROVED DEVELOPMENT: Development Permit for Material Change of Use – Outdoor Sport and Recreation, Function Facility and Tourist Park

(B) APPROVED PLANS:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
-	Site Plan and Proposal Details	-	-

(C) ASSESSMENT MANAGER’S CONDITIONS (COUNCIL)

(a) Development assessable against the Planning Scheme

1. Development must be carried out generally in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, subject to any alterations:

- found necessary by Council’s delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
- to ensure compliance with the following conditions of approval.

2. Timing of Effect

2.1 The conditions of the development permit must be complied with to the satisfaction of Council’s delegated officer prior to the commencement of the use except where specified otherwise in these conditions of approval.

2.2 Prior to the commencement of use, the applicant must notify Council that all the conditions of the development permit have been complied with, except where specified otherwise in these conditions of approval.

3. General

3.1 The applicant is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.

3.2 All payments or bonds required to be made to the Council pursuant to any condition of this approval must be made prior to commencement of the use and at the rate applicable at the time of payment.

3.3 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council’s delegated officer.

3.4 Waste Management

3.4.1 On site refuge storage area/s must be provided and be screened from view from adjoining properties and road reserve by 1 metre wide landscaped screening buffer or 1.8m high solid fence or building.

3.4.2 Where bulk bins are used and are to be serviced on site, prior to the issue of a development permit for building works, Council's delegated officer must be satisfied that internal access is of adequate design and construction to allow waste collection/delivery vehicles to enter and exit the site in a forward gear only.

3.5 Emissions

Emissions associated with the development must not cause an 'environmental nuisance' within the meaning of the *Environmental Protection Act (1994)* to any sensitive receptor.

3.6 Noise Management

3.6.1 Event Site 2

No amplified music or use of loudspeakers is to occur at Event Site 2 between the hours of 12 midnight and 7:00am the following day.

3.6.2 Noise Management Plan

A noise management plan for the event sites and function facility must be developed by the applicant in conjunction with an acoustic engineer to identify potential impacts and measures to reduce those effects.

To assist in demonstrating that all reasonable and practicable measures have been taken to minimise environmental harm from occurring, the following actions must be included in a noise management plan:

- (i) A site plan including the location of the events, neighbouring land-use details;
- (ii) For all events with over 500 attendees, the distribution of a notification letter to surrounding potentially (within a two (2) kilometre radius of the event sites and function facility) noise-affected premises used for residential or business purposes which includes:
 - a small version of the site plan
 - a description of the planned event
 - the time the event starts and finishes
 - the times for any sound testing to take place

- a description of the proposed measures that will be implemented to minimise noise from the event
 - any changes that have been made to further minimise noise following previous events
 - the name and phone number of a site contact person for any complaints lodged before, during and/or after the event.
 - This letter must be distributed to all potentially affected parties at least one (1) month prior to the event. Please be aware that letter-box drops have the potential to not reach all intended recipients, partly due to delivery staff being unwilling to deliver this information to letterboxes marked with 'no junk mail' stickers. The preferred method for delivery is in an addressed envelope marked 'to the resident' or 'to the occupier'.
 - A copy of the letter must be sent to Council.
- (iii) Undertake acoustic monitoring during the event to ensure that all reasonable and practicable measures are taken to minimise the overall sound level and low frequency noise at noise-affected premises.
- (iv) Maintain a complaints register which must include:
- contact details of all complainants;
 - the time and date the complaint is received;
 - a description of the complaint;
 - a description of the activities occurring which gave rise to the complaint;
 - any action taken as a result of the complaint.
- (v) Following each event, the applicant must notify Council of all complaints and the actions taken as a result of the complaint.
- (vi) The noise management plan must be submitted to Council and be approved by Council's delegated officer prior to the commencement of the use.
- (vii) The approved use must comply with the approved noise management plan at all times.

3.6.3 Investigation of Noise Nuisance Complaints

In the event that a substantiated (in the opinion of Council's delegated officer) noise nuisance complaint is received by Council regarding the

approved use, the complaint will need to be assessed by an independent acoustic consultant at the cost of the applicant.

The complaint shall be assessed against the conditions of approval and the Environmental Protection (Noise) Policy 2019 Acoustic Quality Objectives at the next comparable event/function.

Any additional noise mitigation measures recommended by the independent acoustic consultant are to be implemented by the applicant within three (3) months of Council directing the applicant to do so.

3.7 Maintain Records of Attendee Numbers

The applicant must maintain an up-to-date record of the number of attendees for all on site events and functions.

This record must be provided to Council's delegated officer upon request.

3.8 Bushfire Management

A Bushfire Management Plan for the site, incorporating evacuation procedures for attendees/guests, must be prepared to the satisfaction of Council's delegated officer. The approved use must comply with the requirements of the Bushfire Management Plan at all times.

3.9 A site manager/s must be present on-site at all times to ensure compliance with these conditions of approval.

4. Infrastructure Services and Standards

4.1 Access Crossover

All access crossovers used for this development must be upgraded/constructed/maintained (from the edge of the relevant Council road to the property boundary) in accordance with FNQROC Development Manual standards, to the satisfaction of Council's delegated officer.

4.2 Road Safety Assessment/s

Road Safety Assessment/s must be undertaken by a suitably qualified RPEQ that identifies safety risks for vehicles using:

- Kay Road (between the Kennedy Highway and the subject site); and
- Cobra Road and Emerald Falls Road to the subject site.

The road safety assessment/s must be consider (but not be limited to) the following:

- (i) Road geometry (horizontal & vertical).

- (ii) Carriageway width (pavement, seal and shoulders) – ability for opposing traffic to safely pass each other.
- (iii) Vehicle sightlines.
- (iv) Intersection treatments.
- (v) Causeway crossing including the sharp bends/approaches either side.
- (vi) Other roadside hazards.

The road safety assessment/s must provide recommendations on practical treatments to reduce the risk of any hazards to acceptable levels (e.g. localised pavement widening, signage, linemarking, road edge delineation etc.). The road safety assessment/s must be submitted to Council for review and agreed works must be undertaken by the applicant at no cost to Council, prior to the commencement of the use.

The value (as agreed by Council's delegated officer) of the agreed works undertaken by the applicant shall be credited against the adopted infrastructure charge payable for this development.

The abovementioned works must be approved by Council as part of a subsequent application for operational works.

4.3 Road Pavement Condition Assessment (for all events with over 500 attendees)

A Road Pavement Condition Assessment is to be submitted to Council pre and post events with greater than 500 attendees. The pre-event assessment must be undertaken within a month on the lead up to the event and submitted to Council. The pre-event assessment should detail the location of any existing deficiencies of the road pavement & surface and site photos of the road, especially at areas where turning movements occur including bends in the road. The post event assessment must be submitted to Council within a month following the event.

In review of the pre and post event condition assessments, should it be evident to Council that damage has occurred as a result of the additional event traffic, all rectification works identified shall be undertaken at the applicant's expense.

4.4 Event Traffic Management Plan (for all events with over 100 attendees)

An Event Traffic Management Plan (ETMP) prepared by a suitably qualified RPEQ be submitted for Council approval. The ETMP must give consideration to the management of road safety risks along Emerald Falls Road and Kay Road as a result of increased traffic volumes and provide details of proposed measures to be implemented to manage these risks.

The agreed measures must be implemented for each event with greater than 100 attendees, at no cost to Council.

4.5 Stormwater Drainage/Water Quality

4.5.1 The applicant/developer must take all necessary steps to ensure a non-worsening effect on surrounding land as a consequence of the development.

4.5.2 All stormwater drainage must be discharged to an approved legal point of discharge.

4.6 Car Parking/Internal Driveways

4.6.1 The applicant/developer must ensure that the development is provided with sufficient on-site car parking. No parking of vehicles associated with the development is permitted to occur outside the property boundary or within road reserve.

4.6.2 All car parking spaces, and trafficable areas must be surface treated with gravel or maintained with an intact grass cover so as to minimise erosion and must be appropriately drained prior to the commencement of the use, to the satisfaction of Council's delegated officer.

4.6.3 All parking spaces and trafficable areas must be maintained in good order and safe repair for the life of the development, to the satisfaction of Council's delegated officer.

A sign must be erected in proximity to the access driveway indicating the availability of on-site parking.

4.7 Non-Reticulated Water Supply

The development must be provided with a potable water supply at each function location that can satisfy the standards for drinking water set by the Australian Drinking Water Guidelines 2004 (National Health and Medical Research Council and the National Resource Management Ministerial Council).

All non-potable sources of water must be sign posted "non-potable water supply" or similar in order to deter consumption.

4.8 On-Site Wastewater Management

Should permanent ablutions facilities be constructed onsite, all on site wastewater disposal associated with these facilities must be in compliance with the latest version of On-Site Domestic Wastewater Management Standard (ASNZ1547) to the satisfaction of the Council's delegated officer.

Any on-site wastewater treatment system with a total daily peak design capacity of at least 21 equivalent persons (EP) is an Environmentally Relevant Activity (ERA 63 - Sewerage Treatment) and an Environmental Authority is required.

Note: Portable toilets are authorised for use on-site for all functions, however no black or grey water is to be disposed of on-site, unless through an approved on-site wastewater disposal system.

4.9 Lighting

Lighting associated with evening and nighttime functions must be set up to minimise light spillage and not cause nuisance to any neighbouring property. Where permanent outdoor lighting is proposed, the developer shall locate, design and install lighting in order to prevent the potential for light spillage to cause nuisance to neighbours and must be provided in accordance with Australian Standard 1158.1 – Lighting for Roads and Public Spaces.

Illumination resulting from direct, reflected or other incidental light emanating from the subject land does not exceed eight (8) lux when measured at any point 1.5m outside the property boundary of the subject site. The lighting fixtures installed on site must meet appropriate lux levels as documented within Australian Standard 4282 – Control of the Obtrusive Effects of Outdoor Lighting.

(D) ASSESSMENT MANAGER'S ADVICE

(a) An Adopted Infrastructure Charges Notice has been issued with respect to the approved development. The Adopted Infrastructure Charges Notice details the type of infrastructure charge/s, the amount of the charge/s and when the charge/s are payable.

(b) The Adopted Infrastructure Charges Notice does not include all charges or payments that are payable with respect to the approved development. A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.

(c) Food Premises

Premises proposed for the storage and preparation, handling, packing or service of food must comply with the requirements of the Food Act 2006.

(d) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

(e) Compliance with Acts and Regulations

The erection and use of the building must comply with the Building Act and all other relevant Acts, Regulations and Laws, and these approval conditions.

(f) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.dcceew.gov.au.

(g) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the “cultural heritage duty of care”). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.dsdsatsip.qld.gov.au.

(h) Motor Home Park/Caravan Park/Camping Ground

The applicant is advised that an application to Council for approval to operate under Council *Local Law No 1 (Administration) 2018* is required prior to the commencement of the motor home park/caravan park/camping ground.

(f) Electric Ants

Electric ants are designated as restricted biosecurity matter under the *Biosecurity Act 2014*.

Certain restrictions and obligations are placed on persons dealing with electric ant carriers within the electric ant restricted zone. Movement restrictions apply in accordance with Sections 74–77 of the *Biosecurity Regulation 2016*. Penalties may be imposed on movement of electric ant carriers and electric ants in contravention of the legislated restrictions. It is the responsibility of the applicant to check if the nominated property lies within a restricted zone.

All persons within and outside the electric ant biosecurity zone have an obligation (a **general biosecurity obligation**) to manage biosecurity risks and threats that are under their control, they know about, or they are expected to know about. Penalties may apply for failure to comply with a general biosecurity obligation.

For more information please visit the electric ant website at [Electric ants in Queensland | Business Queensland](#) or contact Biosecurity Queensland 13 25 23.

(g) Powerlink Advice – 24 November 2023

1. *The development must be carried out generally in accordance with the reviewed plans detailed in Table 1.*
2. *The statutory clearances set out in the Electrical Safety Regulation 2013 must be maintained during construction and operation. No encroachment within the statutory clearances is permitted.*
3. *Compliance with the terms and conditions of the easement dealing no. shown in the heading of this letter.*

4. *Compliance with the generic requirements in respect to proposed works in the vicinity of Powerlink Queensland infrastructure as detailed in the enclosed Annexure "A".*

(h) Queensland Parks and Wildlife Service & Partnerships Advice

The proposed development includes a new Camp Site (No.17) to be located close to the boundary of Dinden West Forest Reserve (Emerald Creek) Lot 1 on AP19244. QPWS&P are the owners of this parcel. The proposed camp site will be on the eastern side of the only firebreak between Emerald Creek and Davies Creek road.

Given the fire history and potential for wildfire in this locale, consideration should be given to fire management of all Kanjini Co-op Ltd assets; whereby Kanjini Co-op Ltd should include QPWS&P (as the adjacent landowner) in those considerations for fire management proposals on their estate.

(E) REFFERAL AGENCY CONDITIONS

State Assessment and Referral Agency conditions dated 1 February 2024.

(F) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Material Change of Use – six (6) years (starting the day the approval takes effect).

(G) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

- Development Permit for Building Work
- Development Permit for Operational Works

(H) OTHER APPROVALS REQUIRED FROM COUNCIL

- Compliance Permit for Plumbing and Drainage Work
- Access approval arising from condition number 4.1

2. That an Adopted Infrastructure Charges Notice be issued for the following infrastructure charge/s for:

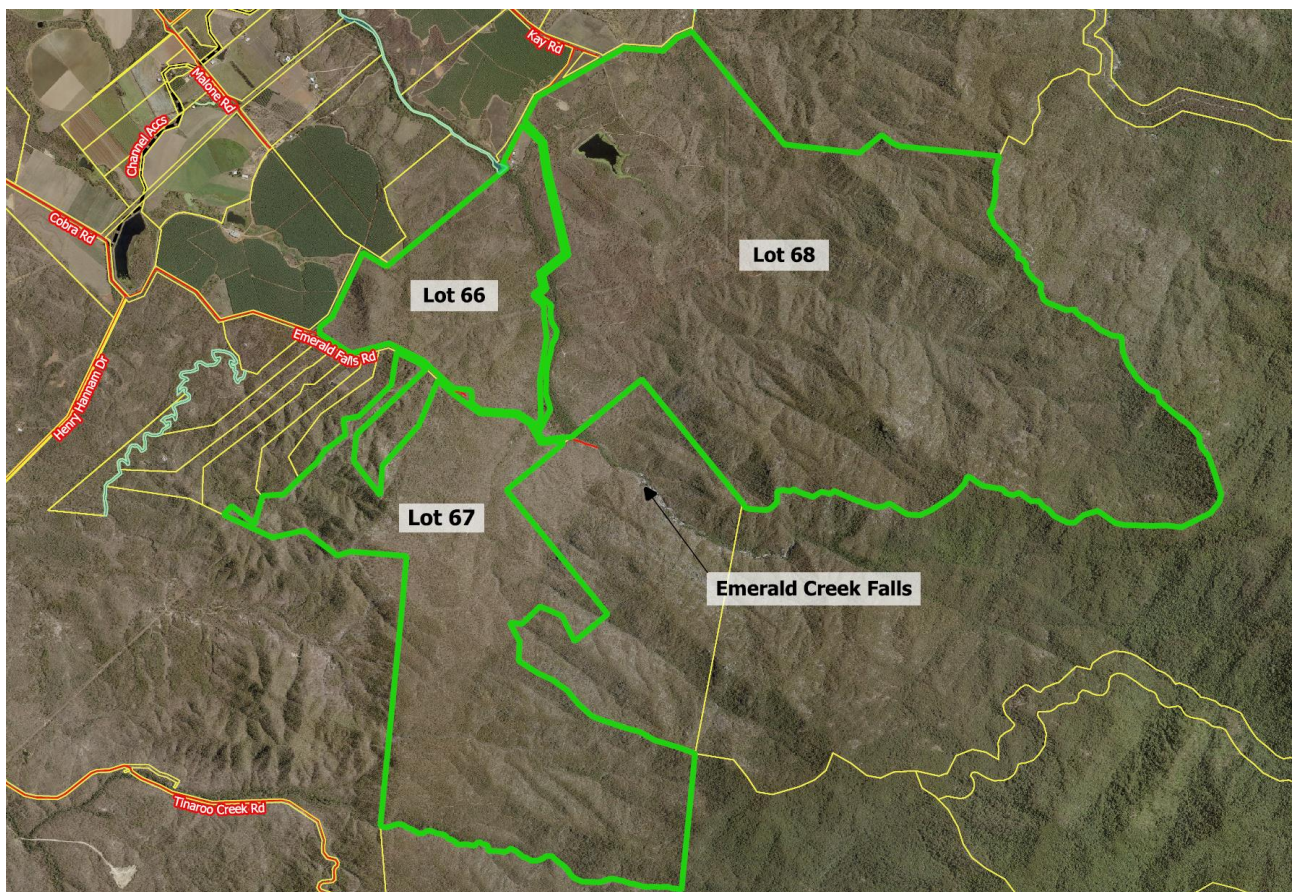
Development Type	Rate	Measure	Charge	Credit Detail	Balance
	per 10 vpd	vpd			
Stage 1	\$5,452.00	8.58	\$4,677.80	Nil	\$4,677.80
Stage 2	\$5,452.00	8.71	\$4,748.70		\$4,748.70
Stage 3	\$5,452.00	6.36	\$3,467.50		\$3,467.50
Stage 4	\$5,452.00	6.85	\$3,734.60		\$3,734.60
TOTAL CURRENT AMOUNT OF CHARGE					\$16,628.60

THE SITE

The subject site is situated at the end of both Kay Road (545 Kay Road) and Emerald Falls Road (483 Emerald End Road) and comprises of the following lots:

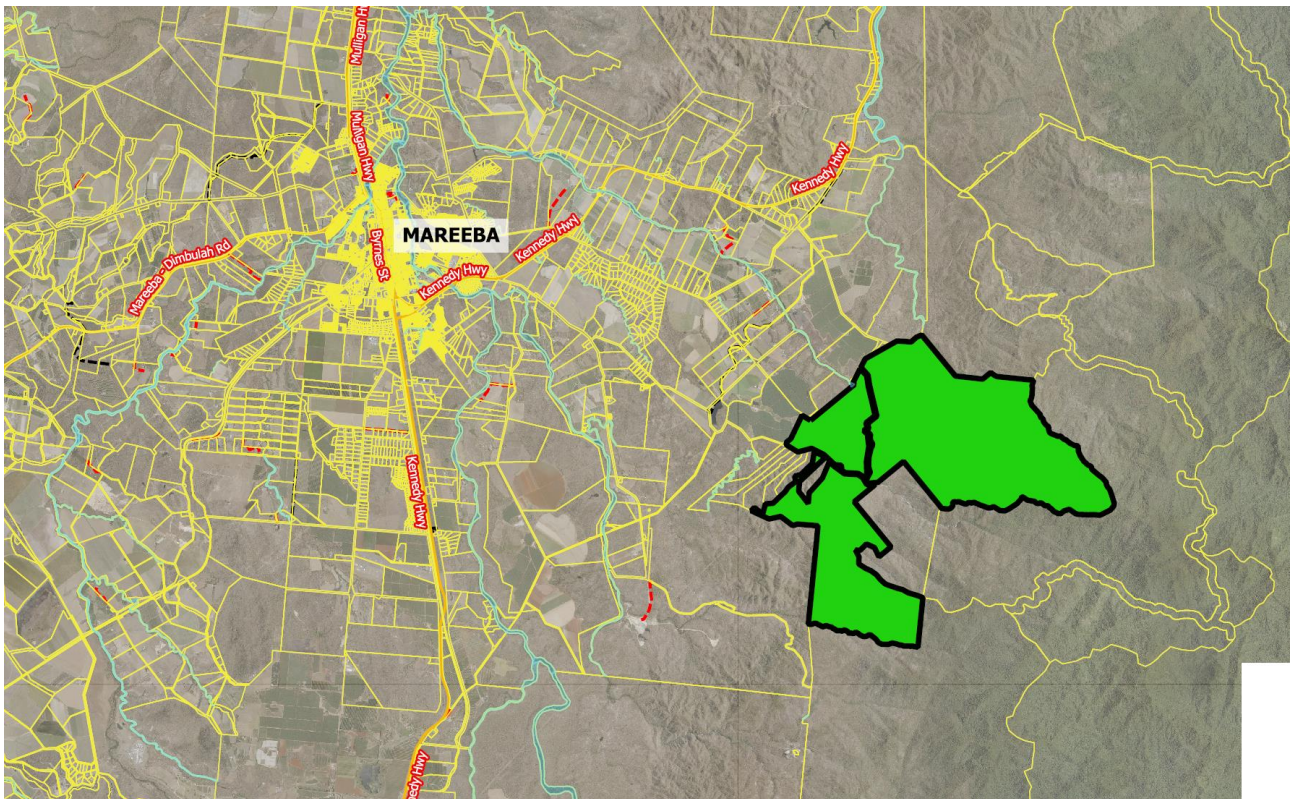
- Lot 66 on RP896904 – area of 294.9 hectares, in excess of 2 kilometres frontage to Emerald Falls Road and unnamed road reserves;
- Lot 67 on SP328197 – area of 842.49 hectares, approximately 1.7 kilometres frontage to Emerald Falls Road;
- Lot 68 on RP896905 – area of 1683.3251 hectares, approximately 330 metres frontage to Emerald Falls Road, 900 metres of frontage to Adler Hill Road and approximately 1.3 km of frontage to mostly unformed section of Kay Road.

The site has a combined area of 2,820.7151 hectares and is zoned Rural under the Mareeba Shire Council Planning Scheme 2016. Kay Road, Adler Hill Road and Emerald Falls Road are all constructed to a formed gravel standard leading up to the site.



Map Disclaimer:

Based on or contains data provided by the State of Queensland (Department of Environment and Resource Management) (2009). In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.



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The site contains an undulating topography leading up to significant mountain ranges at the rear (Dinden National Park). Topographical maps of the site identify two significant landscape features, these being Mt Turtle and an outcrop known as Ogs Brow with elevations of 936 metres and 892 metres respectively. The site is traversed by Emerald Creek, Brindle Creek and multiple undernamed waterways.

Lot 66 is improved by a farm dwelling and multiple outbuildings. Lot 67 is unimproved. Lot 68 is improved by a dwelling house, multiple outbuildings and large dam. A high voltage transmission line and associated easement traverses all three (3) lots.

The majority of the subject site remains covered by remnant vegetation.

BACKGROUND AND CONTEXT

The development application included the following context setting statements by Kanjini Co-Op Limited which explains their philosophy and the reasoning for the current development application:

“We are a Cooperative with a vision “to create and implement innovative social, technological, economic and environmental solutions that are important for global and local resilience and sustainability.” With that vision in mind, we bought this remarkable property, which offers many opportunities to realise that vision.

Our initial 2014 Development Application was for a very limited number of camp sites which were located far apart and designed for private and isolated nature experiences. Sites were built around trees and in harmony with nature and are serviced with innovative and environmentally friendly wheelie-bin composting toilets, which proved to be even better than

anticipated (no smell and no flies). We minimise driving across the creek, do not allow cats, dogs, motor bikes, 4-wheelers or noisy campers. To ensure campers adhere by our rules and leave no rubbish, we require a security bond for each booking. Our campers very much appreciate our strong caring for country philosophy.

Victor Steffenson, Australia's best-known Aboriginal fire practitioner is using our land to showcase his art and we have been practising indigenous inspired fire and land management for over three years now.

We are a member of the northern bettong recovery team as our land is in the heart of the last stronghold of this endangered species. We understand ourselves as stewards of this country and have a strong interest to ensure any activity on this land is sustainable.

The Kanjini Co-Op not only have ties to the land of which they own, but also strong ties to the Community and local groups through Mareeba, the Tablelands and Far North Queensland Region. Below is a small insight into some of the Community Engagement that Kanjini Co-Op provides in relation to the site.

We have made and continue to make our land available for free (some give us a small donation or pay very reduced camping fees) to:

- various scientists (research on northern bettongs, cats, indigenous burning, northern masked owls, vegetation surveys and hands-on classes for JCU and School of Field Studies students)*
- community groups, including but not limited to Rogaining, Mareeba Mountain Goats, Cairns to Karumba charity bike rides, CAFNEC charity bike rides, Tableland Walking Club and birding groups*
- SES (4WD training) and Parks and Wildlife (upper escarpment burns)*
- Firesticks Australia, local Indigenous fire practitioner Victor Steffenson, Aboriginal rangers and local traditional owners*

We also donate hundreds of dollars each year to various local land-care causes including Rural Fire Brigades.

Kanjini has hosted the Roots Festival three times now with up to 1,200 attendees, performers and staff.

There has been no noticeable negative effect on the ecology, in fact several hundred native bushes and trees have been planted and cared for during and as a part of those events. Additionally, Kanjini does not envision events with more 1,500 guests to ensure that minimal impact, if any, is provided to the natural Flora and Fauna of the site.

Additionally, Kanjini is actively engaged in environmental land management, is a member of the Northern Bettong Recovery Team, practices Indigenous inspired fire management, hosts a Wildlife Sanctuary and cooperated with several scientists on various environmental research. Last and not least Kanjini Co-Op Ltd over the last ten years has returned significantly large areas of this property from cleared land to high value regrowth.

Kanjini has such a strong commitment to the environment that we do not allow any dogs or cats on over 99.9% of our land (only exceptions are tenant's house yards) and we take a sizable security bond from all campers to ensure they look after country and leave no trace.

Large events are required to lodge large security bonds with us, and we are committed to ensure they too look after the country and leave no trace.

Freshwater Planning informed us that dance or martial arts workshops also require "Sports and Recreation", even if they are small groups for a few hours, and we have been approached by people who would like to hold such classes in nature. We have been approached for marriages at lake site or Camp 2, which is why we need to apply for the "Functions" use. We have also been approached by Firesticks Alliance Indigenous Corporation as a venue for their events including the National Firesticks Workshop, a one week event with about 500 people camping and participating in various workshops on Indigenous knowledge and land management. The last day would be a stage event and open for another 500-1000 people to join and get a taste and enjoy some music. This event would be held at lake-side (Event Site 2).

We envision holding a yearly Eco-inspirations gathering/field-day at lake-side. To be able to accommodate these and possibly a few more of these type of events in the future, we are asking for more attendees in later Stages of our DA. We can assure Council that we have no intentions to have rave parties on our land."

PREVIOUS APPLICATIONS & APPROVALS

On 10 March 2015, Council approved a development permit DA/14/0054 for Material Change of Use for two (2) Caretaker's Residences and Caravan Park (Bush Camping) over Lot 68 on RP896905.

The approval provided for thirteen (13) bush camping sites throughout Lot 68. All camp sites have been established and are shown on **Attachment 1** as Camp_01 to Camp14. There is no Camp_13.

The applicant states that these camping sites have been successful resulting in a required expansion of six (6) sites forming part of this current development application.

DESCRIPTION OF PROPOSED DEVELOPMENT

The development application seeks a Development Permit for Material Change of Use - Outdoor Sport and Recreation, Function Facility and Tourist Park in accordance with the plans shown in **Attachment 1**.

It is proposed that the development be carried out in the following four (4) stages:

- **Stage 1 (Tourist Park and Outdoor Sport and Recreation)**

Tourist Park use

- four (4) additional camp sites (camps C15 to C18)
- five (5) new RV/caravan sites

Outdoor Sport and Recreation use

- two (2) new event sites (Event Site 1 (Camp_02) and Event Site 2 (existing Lake-side Day Area) – catering for a cumulative maximum of 2,000 persons per annum, with no single event hosting more than 1,500 persons

Ancillary uses

- Manager's Residence (accepted development)
- additional amenities (Toilets/Showers)

- **Stage 2 – Tourist Park and Outdoor Sport and Recreation**

Tourist Park use

- two (2) additional camp sites (camps C19 & C20)
- five (5) additional RV/caravan sites
- three (3) new tourist cabins

Outdoor Sport and Recreation use

- Expansion of the two (2) new event sites – catering for a cumulative maximum of 3,500 persons per annum, with no single event hosting more than 1,500 persons

Ancillary uses

- additional amenities (Toilets/Showers)

• **Stage 3 – Tourist Park, Outdoor Sport and Recreation, and Function Facility**

Tourist Park use

- five (5) additional tourist cabins

Outdoor Sport and Recreation use

- Expansion of the two (2) new event sites – catering for a cumulative maximum of 6,000 persons per annum, with no single event hosting more than 2,000 persons

Functions Facility

- new 300m² GFA function facility and ancillary car parking

• **Stage 4 –Outdoor Sport and Recreation, and Function Facility**

Outdoor Sport and Recreation use

- Expansion of the two (2) new event sites – catering for a cumulative maximum of 12,000 persons per annum, with no single event hosting more than 2,000 persons

A summary of all four (4) stages of the development is:

- 6 additional camp sites (3 sites within Lot 66, 3 sites within Lot 68), bringing the total camp sites on the subject site to 19;
- 10 RV/caravan sites and 8 tourist cabins (all tourist cabins are within Lot 66, all RV/caravan sites are within Lot 68); and
- 2 event sites & function facility – cumulative maximum of 12,000 persons per annum, with no single event hosting more than 2,000 persons (all within Lot 68).

Event Site 1 and Camp Sites C19 & C20 would be accessed via the Emerald Falls Road frontage. The remainder of the proposed development would be accessed via the Kay Road frontage.

The application provides the following description of the proposed site uses:

“It is considered that the proposal provides a Nature-Based, environmentally friendly and educational Farm-based Tourist development that is rapidly becoming an Icon for Nature-Based Farm Stays in Mareeba and within Far North Queensland.

Outdoor Sport and Recreation and Function Facility Uses

The proposal is for the provision of Events (Outdoor Sport and Recreation and Function Facilities) provided over the site and within the existing Camping Areas, being the Lakeside Day Area and Camping Area 2. The Staged Event numbers steadily increase over the Stages with

the proposed Events to be located and associated within the Approved and existing Camping/Day Areas. These Event Areas are already cleared with no clearing proposed with the Outdoor Sport and Recreation and Function Facility Uses. The first Event Area is Camping Area 2 which is accessed from Emerald Falls Road and was the location of last year's Kuranda Roots Festival.

This site contains five existing toilets, two handbasins and three showers, inspected and Approved by Council.

The second Event Area is the Lakeside Day Area, which is accessed from Kay Road and provides a large area that is currently used as one of the Day Areas for campers to hang-out and go for a swim, etc. This area contains running water and three toilets which have been Approved and inspected by Council. In relation to the provision of Events, any additional facilities and services will need to be supplied by the organisers of that particular Event, be it marquees, mobile catering, extra toilets or showers, skip bins for refuse, tents for accommodation, security, etc. Kanjini Co-Op Limited require a large security bond (several thousand dollars) from any Event organiser to ensure they take care of the site's land and facilities and provide adequate facilities and services. For the provision of smaller or particular Outdoor Sport and Recreational Activities, the Kanjini Co-Op makes the particular individual Camping Areas available, again, any additional facilities and services need to be supplied by the organisers, be it marquees, mobile catering, extra toilets or showers, skip bins for refuse, tents for accommodation, security, signs for directions, refresh stations for sports events like Rogaining or Mountain Biking, etc. All Events, large or small, will be recorded and registered with the Kanjini Co-Op Limited.

In relation to the Outdoor Sports and Recreation and Function Facilities, the Kanjini Co-Op has provided the following to Freshwater Planning Pty Ltd:

The 2021 Kuranda Roots festival was held with about 900 people at our Camp 2 site and was a resounding success. The organisers and the local Aboriginal elders would like the Kuranda Roots festival to continue happening at our Camp 2 (proposed Event Site 1). For us to respect the wishes of the local Traditional Owners, we need to successfully apply for a change of use for "Sports and Recreation". The organisers have informed us that attendances over the last 15 years have ranged from 800 to 1100 and that they value the atmosphere of such a medium sized event and like to keep the event from getting too big. We will not allow any event to be any larger than 1500 people at that site.

Freshwater Planning informed us that dance or martial arts workshops also require "Sports and Recreation", even if they are small groups for a few hours, and we have been approached by people who would like to hold such classes in nature. We have been approached for marriages at lake site or Camp 2, which is why we need to apply for the "Functions" use. We have also been approached by Firesticks Alliance Indigenous Corporation as a venue for their events including the National Firesticks Workshop, a one week event with about 500 people camping and participating in various workshops on Indigenous knowledge and land management. The last day would be a stage event and open for another 500-1000 people to join and get a taste and enjoy some music. This event would be held at lake-side (Event Site 2).

*We envision holding a yearly Eco-inspirations gathering/field-day at lake-side. To be able to accommodate these and possibly a few more of these type of events in the future, we are asking for more attendees in later Stages of our DA. **We can assure Council that we have no intentions to have rave parties on our land.***

Tourist Park – Camping Areas

The proposed development includes the additional provision of a further six (6) Camping Areas to those already Approved and existing. With the recent Global Pandemic, Lockdowns, and greater push for eco-friendly and sustainable way of life, the Nature-Based Tourism popularity has taken off which has resulted in the requirement for additional Camping Areas provided over the site. These additional Camping Area will be provided within existing cleared areas an accessed by existing internal access tracks. No clearing is proposed with the additional Camping Areas with each Area provided with the same Environmentally friendly servicing (pit or wheelie-bin composting toilets as Approved with the existing Approval).

Tourist Park – RV Area

The recent surge in the Grey Nomads have seen the increased requirement for the availability for RV Camping spaces on the Tablelands. Due to this popularity, the proposal is to incorporate up to ten (10) RV Sites within the first two stages. The site contains the provision of an existing cleared and previously terraced Area that was previously a Council Quarry. The previous works were provided over the site to fix the existing erosion and to aid in stormwater dispersal. The proposal is for the provision of the terraced areas to be provided as RV Sites. As this area was previously a Council Quarry, there are existing all-weather internal access tracks servicing this site. Due to the Kanjini Co-Op's environmentally and eco friendly approach, all RV's will be required to be self-sufficient, leaving no trace. However, it is expected that the RV Area will be provided with running non-potable water and one pit or wheelie-bin composting toilet for every six (6) RV sites. As the site is already terraced cleared due to its previous Uses, no clearing is proposed nor required for the RV Area.

Tourist Park – Tourist Cabins

The proposed development incorporates the provision of eight (8) Eco-friendly Tourist Cabins supplied over Stages 2 – 3. These Eco-friendly and environmentally sustainable cabins are proposed to be constructed out of recyclable and sustainable materials fitting in with the existing nature, character and amenity of the site and the Kanjini Co-Op way of life. It is expected that the Eco-friendly Tourist Cabins will be provided with running non-potable water and individual or shared wheelie-bin composting toilet or other toilets as approved by Council at the time of building plans being submitted. Kanjini is currently looking into alternatives like worm or other new environmentally friendly toilet designs.

In relation to the Tourist Park Use, the Kanjini Co-Op has provided the following to Freshwater Planning Pty Ltd:

We are already providing a unique camping experience, by offering 13 isolated sites spread over a couple of thousand acres, ensuring privacy and a true nature experience of silence and solitude in pristine country, rather than cramping dozens of camp sites and hundreds of people next to each other.

We offer camping from as little as \$5.40 up to \$21.10 / person / night, depending on location, features and facilities, length of stay, weekend etc). However, our existing camp sites do not create enough income to pay for maintenance and the time it takes to run them, hence we need to increase the number of sites and diversify. We have already transformed an old quarry (it was apparently used by Council to gravel Kay Road) with major erosion problems into five terraces, which are designed for RVs or large caravans and offer spectacular views. We like to start with only a few and slowly increase numbers and might not increase to the maximum applied for if we feel that it gets to crowded or affects the land too negatively. We envision to target the grey-nomad market with very

affordable rates. For the Tourist Cabins we envision to use different construction materials and innovative designs so visitors can experience what it feels like to live in a house built from stones or mud or air-crete etc. We envision 1-3 bedroom cabins to be able to cater to different family needs.

The proposed expansion of the Approved Caravan Park – Bush Camping Use in the form of a Tourist Park will ensure that no change to the existing services is proposed and that the existing level of servicing is appropriate and acceptable for the proposed expansion. The site contains existing and Approved effluent disposal systems and potable and non-potable water supplies, riparian rights for the site and for any firefighting purposes. Any concentrated Stormwater will be appropriately dispersed over the site and into legal points of discharge if required. The site is connected to power and telecommunications. The proposed Tourist Park will ensure that no change to the existing nature, character and amenity of the site and surrounding area is envisaged.

No change to the existing Accesses is proposed with the Tourist Park expansion other than the formalisation of the existing internal access tracks. All internal access tracks can be provided in keeping with the natural and Rural nature of the site and the existing Uses. Any internal access tracks requiring 4WD capabilities will be clearly signed.

While this application certainly has a commercial aspect, it is noted that Kanjini Co-Op Limited already makes this property and its Tourist Facilities freely available to various Community groups and organisations. Approval of this development will allow these groups and others to use improved facilities and expand their activities.

REGIONAL PLAN DESIGNATION

The subject site is included within the Regional Landscape and Rural Production Area land use category in the Far North Queensland Regional Plan 2009-2031. The Regional Plan Map 3- ‘Areas of Ecological Significance’ also identifies the site is:

- *Strategic Rehabilitation Area*
- *State & Regional Conservation Corridors*
- *Wetland Area of General Ecological Significance*
- *Terrestrial Area of High Ecological Significance*
- *Terrestrial Area of General Ecological Significance*

PLANNING SCHEME DESIGNATIONS

Strategic Framework:	Land Use Categories <ul style="list-style-type: none"> • Rural Agricultural Area • Rural Other Natural Resource Elements <ul style="list-style-type: none"> • Biodiversity Area
Zone:	Rural zone
Overlays:	Agricultural Land Overlay Airport Environs Overlay Bushfire Hazard Overlay Environmental Significance Overlay Hill and Slope Overlay Transport Overlay

Planning Scheme Definitions

The proposed use is defined as:

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Function facility	Premises used for conducting receptions or functions that may include the preparation and provision of food and liquor for consumption on site	Conference centre, reception centre	Community use, hotel
Outdoor sport and recreation	<p>Premises used for a recreation or sport activity that is carried on outside a building and requires areas of open space and may include ancillary works necessary for safety and sustainability.</p> <p>The use may include ancillary food and drink outlet(s) and the provision of ancillary facilities or amenities conducted indoors such as changing rooms and storage facilities.</p>	Driving range, golf course, swimming pool, tennis courts, football ground, cricket oval	Major sport, recreation and entertainment facility, motor sport, park, community use
Tourist park	<p>Premises used to provide for accommodation in caravans, self-contained cabins, tents and similar structures for the public for short term holiday purposes.</p> <p>The use may include, where ancillary, a manager’s residence and office, kiosk, amenity buildings, food and drink outlet, or the provision of recreation facilities for the use of occupants of the tourist park and their visitors, and accommodation for staff.</p>	Camping ground, caravan park, holiday cabins	Relocatable home park, tourist attraction, short term accommodation, non-resident workforce accommodation

RELEVANT PLANNING INSTRUMENTS

Assessment of the proposed development against the relevant planning instruments is summarised as follows:

(A) Far North Queensland Regional Plan 2009-2031

Separate assessment against the Regional Plan is not required because the Mareeba Shire Council Planning Scheme appropriately advances the Far North Queensland Regional Plan 2009-2031, as it applies to the planning scheme area.

(B) State Planning Policy

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

(C) Mareeba Shire Council Planning Scheme 2016**Strategic Framework****3.3 Settlement pattern and built environment****3.3.1 Strategic outcomes**

- (5) Primary industries in *Rural areas* are not compromised or fragmented by incompatible and/or unsustainable development, including but not limited to subdivision that results in a detrimental impact on rural productivity. The valued, relaxed rural lifestyle, character and scenic qualities of the *rural area* are preserved and enhanced. The *rural area* is largely maintained to its current extent, while accommodating development directly associated with or reliant on natural resources including rural activities and tourism. *Rural areas* protect the shire's *agricultural area* and ensure food security. *Other rural areas* predominantly remain agricultural grazing properties.

Comment

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development.

The proposed development will be largely screened from view and the character of the locality will be maintained.

The limited areas of Class A and B agricultural land within the subject site are avoided and remain available should they be needed in the future.

Although some built improvements are proposed, the subject land could readily be returned to primary industry – grazing should the currently proposed development cease.

- (8) Risks to infrastructure, buildings and the community posed by bushfires, cyclones, flooding, landslides and other extreme events are minimised. Development is considerate of the potential increased incidence of these hazards induced by climate change.

Comment

The proposed development is not at significant risk from flooding or landslide. Parts of the subject site would be impacted by these hazards; however, the proposed development is sited to avoid these hazards.

Bushfire is a significant hazard over the subject site and adjoining National Park areas. A bushfire hazard management plan will be conditioned to mitigate this risk. The applicant already utilises fire management such as traditional burning and these practices will be taught on site as part of the development.

The cyclone risk is as per other land within 50 kilometres of the coastline. All buildings and structures will need to meet the relevant cyclone rating.

3.3.11 Element—Rural areas

3.3.11.1 Specific outcomes

- (1) *Rural areas* include rural activities and land uses of varying scale, consistent with surrounding land use, character and site conditions.

Comment

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development.

The proposed development will be largely screened from view and the character of the locality will be maintained.

- (3) Tourism, rural industry, intensive animal industries and outdoor recreation facilities are developed in the *rural area* in a way which:
 - (a) does not impede or conflict with agricultural activities and production; and
 - (b) does not compromise rural character and scenic qualities; and
 - (c) does not adversely impact on ecological and biodiversity values.

Comment

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development.

The proposed development will be largely screened from view and the character of the locality will be maintained.

The environmental values of the subject site are essential to the success of the proposed development. Council officers have had a long relationship with this applicant and are aware of the importance they place on the protection of the environment and rehabilitation of degraded areas.

- (5) Rural lifestyle, tourism, outdoor recreation, horticultural activities and natural bushland uses may be considered in *other rural areas* where appropriately located, serviced and otherwise consistent with the Strategic Framework.

Comment

The subject site and proposed development comply. Access and noise management will be appropriately conditioned.

- (6) *Agricultural areas* will be retained in viable holdings and not fragmented or compromised by unsuitable development. Uses and development within this precinct will not cause land use conflicts with primary production or will ensure these conflicts are mitigated.

Comment

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development.

- (7) *Rural areas* preserve lands for future uses beyond the life of the planning scheme.

Comment

Although some built improvements are proposed, the subject land could readily be returned to primary industry – grazing should the currently proposed development cease.

3.3.14 Element—Natural hazard mitigation

3.3.14.1 Specific outcomes

- (1) The risk of loss of life and property associated with bushfires, cyclones, flooding, landslides and other weather related events are minimised through the appropriate use of land having regard to its level of susceptibility to the hazard or potential hazard.

Comment

The proposed development is not at significant risk from flooding or landslide. Parts of the subject site would be impacted by these hazards; however, the proposed development is sited to avoid these hazards.

Bushfire is a significant hazard over the subject site and adjoining National Park areas. A bushfire hazard management plan will be conditioned to mitigate this risk. The applicant already utilises fire management such as traditional burning and these practices will be taught on site as part of the development.

The cyclone risk is as per other land within 50 kilometres of the coastline. All buildings and structures will need to meet the relevant cyclone rating.

3.4 Natural resources and environment

3.4.1 Strategic outcomes

- (1) Mareeba Shire's outstanding natural environment, ecological processes and biodiversity values, including those within *conservation areas* and *biodiversity areas*, are conserved, enhanced and restored. Minimal loss of native vegetation is achieved in the shire through limited clearing of *biodiversity areas*, strategically located rehabilitation areas and the replanting of native vegetation. The impacts of pests and weeds on the natural environment is minimised and managed.
- (2) Natural corridors through the landscape, including *ecological corridors*, and natural areas which provide linkages between areas of significant biodiversity and habitat value are protected and enhanced. Opportunities are realised to connect habitat fragments across the regional landscape through strategic rehabilitation and protection of potential habitat

connection corridors, such as *habitat linkages*. The resilience of natural systems and wildlife to respond to climate change is strengthened by providing maximum connectivity across a range of habitats, allowing species to migrate and retreat.

Comment

The development is to be selectively sited to take advantage of previously cleared/disturbed areas.

Limited clearing is proposed to accommodate the development.

In response to the site's environmental values, the applicant has provided the following statement:

"Kanjini has hosted the Roots Festival three times now with up to 1,200 attendees, performers and staff.

There has been no noticeable negative effect on the ecology, in fact several hundred native bushes and trees have been planted and cared for during and as a part of those events.

Additionally, Kanjini does not envision events with more 1,500 guests to ensure that minimal impact, if any, is provided to the natural Flora and Fauna of the site.

Additionally, Kanjini is actively engaged in environmental land management, is a member of the Northern Bettong Recovery Team, practices Indigenous inspired fire management, hosts a Wildlife Sanctuary and cooperated with several scientists on various environmental research. Last and not least Kanjini Co-Op Ltd over the last ten years has returned significantly large areas of this property from cleared land to high value regrowth.

Kanjini has such a strong commitment to the environment that we do not allow any dogs or cats on over 99.9% of our land (only exceptions are tenant's house yards) and we take a sizable security bond from all campers to ensure they look after country and leave no trace.

Large events are required to lodge large security bonds with us, and we are committed to ensure they too look after the country and leave no trace.

The proposal is for the extension to the existing Nature-Based Tourism Use, being the provision of a Tourist Park including Outdoor Sport and Recreation and Function Facilities with limited clearing proposed (now Function Facility and Tourism Cabins) over the 1,978 hectare site (Lots 66 & 68). It is not considered that the proposal will affect the areas of Environmental Significance over the site.

Any proposed clearing provided within the Mapped Regulated Vegetation will be minimal and minimised ensure not to adversely affect the majority of the Vegetation provided over the site.

Any loss or reduction in the Vegetation is minimised with any possible residual impacts offset by the vast Mapped Regulated Vegetation provided over the site. All interconnectivity will be maintained and enhanced with the proposed development. This is evident with the additional native vegetation being planted as a part of the Roots Festival.

It is considered that the minimal limited clearing of vegetation over the site will not adversely affect the existing Environmental Values and functioning of the site, instead will ensure to maintain and enhance the existing.

3.4.2 Element—Conservation areas

3.4.2.1 Specific outcomes

- (4) New development adjacent to *conservation areas* will:
- (a) be compatible with natural values; and
 - (b) sensitively located and setback from *conservation areas*; and
 - (c) ensure no irreparable disturbances to the areas of ecological significance; and
 - (d) mitigate the cumulative impacts of development; and
 - (e) ensures contaminants do not impact *conservation areas*.

Comment

The development is to be selectively sited to take advantage of previously cleared/disturbed areas.

Limited clearing is proposed to accommodate the development.

In response to the site's environmental values, the applicant has provided the following statement:

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Any proposed clearing provided within the Mapped Regulated Vegetation will be minimal and minimised ensure not to adversely affect the majority of the Vegetation provided over the site.

Any loss or reduction in the Vegetation is minimised with any possible residual impacts offset by the vast Mapped Regulated Vegetation provided over the site. All interconnectivity will be maintained and enhanced with the proposed development. This is evident with the additional native vegetation being planted as a part of the Roots Festival.

It is considered that the minimal limited clearing of vegetation over the site will not adversely affect the existing Environmental Values and functioning of the site, instead will ensure to maintain and enhance the existing.

3.4.3 Element—Pest and weed management

3.4.3.1 Specific outcomes

- (1) Development within, adjoining or surrounding *conservation areas, biodiversity areas, wetlands or watercourses* avoids the incursion of weeds and pests through best practice management practices, sensitive design, landscaping and appropriate setback and buffer distances.

Comment

The applicant will continue to meet their landholder obligation to manage weeds and pests.

- (2) Wildlife predation from domestic animals in *biodiversity areas* is avoided by restricting cats and dogs, providing sufficient fencing or other appropriate mitigation measures.

Comment

Cats and dogs are not permitted over the majority of the site, with the exception of the Managers Residence's yard.

3.4.4 Element—Biodiversity areas

3.4.4.1 Specific outcomes

- (1) Development avoids adverse impacts on the ecological values of *biodiversity areas* and where avoidance is not possible the adverse impacts are minimised and, for an area of high ecological significance, no net loss in biodiversity values is achieved.
- (2) Development on lots containing *biodiversity areas* ensures their ongoing protection and retention through application of conservation covenants or dedication for public use.
- (3) *Biodiversity areas* that are considered to be of regional, state or higher levels of significance are awarded levels of protection commensurate with these values.
- (4) The ecological values of *biodiversity areas* which have been degraded are rehabilitated as part of the development, and commensurate with the scale of development.
- (5) Areas within the Einasleigh Uplands bioregion to the west of the shire are recognised for their high level of endemism and significant biodiversity values.
- (6) Endangered and of-concern ecosystems and threatened species habitat including upland refugia ecosystems, wet sclerophyll, and the habitat of endemic species are protected across all land tenures.

Comment

The development is to be selectively sited to take advantage of previously cleared/disturbed areas.

Limited clearing is proposed to accommodate the development.

In response to the site's environmental values, the applicant has provided the following statement:

"Kanjini has hosted the Roots Festival three times now with up to 1,200 attendees, performers and staff.

There has been no noticeable negative effect on the ecology, in fact several hundred native bushes and trees have been planted and cared for during and as a part of those events.

Additionally, Kanjini does not envision events with more 1,500 guests to ensure that minimal impact, if any, is provided to the natural Flora and Fauna of the site.

Additionally, Kanjini is actively engaged in environmental land management, is a member of the Northern Bettong Recovery Team, practices Indigenous inspired fire management, hosts a Wildlife Sanctuary and cooperated with several scientists on various environmental research. Last and not least Kanjini Co-Op Ltd over the last ten years has returned significantly large areas of this property from cleared land to high value regrowth.

Kanjini has such a strong commitment to the environment that we do not allow any dogs or cats on over 99.9% of our land (only exceptions are tenant's house yards) and we take

a sizable security bond from all campers to ensure they look after country and leave no trace.

Large events are required to lodge large security bonds with us, and we are committed to ensure they too look after the country and leave no trace.

The proposal is for the extension to the existing Nature-Based Tourism Use, being the provision of a Tourist Park including Outdoor Sport and Recreation and Function Facilities with limited clearing proposed (now Function Facility and Tourism Cabins) over the 1,978 hectare site (Lots 66 & 68). It is not considered that the proposal will affect the areas of Environmental Significance over the site.

Any proposed clearing provided within the Mapped Regulated Vegetation will be minimal and minimised ensure not to adversely affect the majority of the Vegetation provided over the site.

Any loss or reduction in the Vegetation is minimised with any possible residual impacts offset by the vast Mapped Regulated Vegetation provided over the site. All interconnectivity will be maintained and enhanced with the proposed development. This is evident with the additional native vegetation being planted as a part of the Roots Festival.

It is considered that the minimal limited clearing of vegetation over the site will not adversely affect the existing Environmental Values and functioning of the site, instead will ensure to maintain and enhance the existing.

3.4.5 Element—Strategic rehabilitation and ecological corridors

3.4.5.1 Specific outcomes

- (1) *Ecological corridors* are major existing habitat corridors that link key *biodiversity areas* within Mareeba Shire and greater Far North Queensland region. Development does not compromise the habitat connectivity of *ecological corridors*.

Comment

The development is to be selectively sited to take advantage of previously cleared/disturbed areas.

Limited clearing is proposed to accommodate the development.

In response to the site's environmental values, the applicant has provided the following statement:

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Any loss or reduction in the Vegetation is minimised with any possible residual impacts offset by the vast Mapped Regulated Vegetation provided over the site. All interconnectivity will be maintained and enhanced with the proposed development. This is evident with the additional native vegetation being planted as a part of the Roots Festival.

It is considered that the minimal limited clearing of vegetation over the site will not adversely affect the existing Environmental Values and functioning of the site, instead will ensure to maintain and enhance the existing.

3.4.6 Element—Watercourses and wetlands

3.4.6.1 Specific outcomes

- (1) Hydrological flows, riparian ecology and ecosystem services of watercourses and wetlands are maintained, protected and enhanced.

- (2) Wetlands of ecological significance are protected from sediment and run off, vegetation clearing, weed invasion and pollution through designated setbacks and buffers. These include the following:
 - (a) Wetlands in the Great Barrier Reef Catchment; and
 - (b) Wetlands of High Ecological Significance as identified through the *Aquatic Biodiversity Assessment and Mapping Method (AquaBAMM)*.
- (3) The water quality of rivers and creeks, which ultimately flow to the Great Barrier Reef and the Gulf of Carpentaria, is not compromised or polluted through sediment, gross pollutants or chemical run off from new or existing development.
- (5) Where development occurs on land including and adjoining watercourses and wetlands it provides appropriate setbacks and buffers and enhances these areas through revegetation.

Comment

Numerous waterways are scattered throughout the subject site. Of these waterways, Emerald Creek has the highest stream order being a stream order 4.

All proposed aspects of the development will achieve the setback relevant to applicable stream order.

Creek and waterway crossings will be minimised.

3.4.8 Element—Air and noise quality

3.4.8.1 Specific outcomes

- (1) The health, well-being, amenity and safety of the community and the environment is protected from the impacts of air emissions, noise and odour through appropriate management and adequate separation distances.
- (3) Land uses which emit high level of noise, including for example motor sports, gun clubs and the like will be appropriately located and managed to mitigate acoustic impacts.

Comment

The development will be conditioned to ensure that it is operated in such a way as to not cause an 'environmental nuisance' as defined by the Environmental Protection Act 1994 with regards to emissions (noise, light, dust etc.). The Kuranda Roots Festival has been held on the subject site (Event Site 2) for the past three (3) years without reports of noise nuisance. The land has been used as a tourist park (12 bush camp sites) since 2015, again without any reports of nuisance being caused.

Due to the size of the subject site and the one (1) kilometre separation distance between Event Site 2 and the closest sensitive land use (dwelling house), an external acoustic assessment was not required. The development has been reasonably conditioned to allow the applicant to manage the event sites and place the most appropriate events at each site (eg events likely to be noisier can be sited at Event Site 1, which has the larger separation distance).

The development has further been conditioned to require a Noise Management Plan and to establish a Complaint Investigation Process. Similar conditions were placed on the Springmount Raceway development approval.

Due to the nature of the proposed development, hours of operation have not been proposed by the applicant. The tourist park aspect will involve guests being on site 24 hours a day, 7 days a week. Similarly, large events (Kuranda Roots Festival) occur over multiple days with guests remaining on site through-out the event.

The only specific hour limit being proposed as a condition is to prevent amplified music at Event Site 2 and the Function Facility between the hours of 12 midnight and 7:00am.

3.4.9 Element—Contaminated land

3.4.9.1 Specific outcomes

- (3) Development of land with substantial Unexploded Ordnance (UXO) potential only proceeds following the conduct of UXO investigations and any necessary remediation by a qualified UXO investigation and remedial search contractor.

Comment

The subject site is impacted by UXO from World War Two training activities.

The State Assessment and Referral Agency has assessed and conditioned UXO.

3.5.2 Element—Local character

3.5.2.1 Specific outcomes

- (3) Development promotes opportunities to foster local arts and culture and celebrate local history and identity.

Comment

The subject site has hosted the Kuranda Roots Festival for the last three (3) years and has approval to host this year's festival.

This festival in particular strongly supports local arts and culture.

3.6 Transport and infrastructure

3.6.1 Strategic outcomes

- (1) *Local collector road* and *state controlled road* networks support the identified hierarchy of *activity centres* and the rural economy of Mareeba Shire. The location, density and scale of development supports the efficient and convenient movement of goods, services and people. Roads are progressively upgraded (including construction of *future state roads and future local connections*) and maintained to a high standard to support higher urban densities, rural production, tourism, commerce, industry and major trip generators.

3.6.2 Element—Road network

3.6.2.1 Specific outcomes

- (1) The shire's road network is upgraded and extended to provide for the safe, efficient movement of vehicles and to cater for new development.
- (4) Development provides off-street parking, loading and manoeuvring areas where possible and practicable.
- (5) Development of new roads and upgrades to existing roads are designed and constructed in accordance with the FNQROC Regional Development Manual as amended.

Comment

Council Officers sought external expert assessment and advice in respect of the developments traffic impacts from NJM Engineering Consulting, a specialist transport engineer.

NJM Engineering Consulting have assessed the applicant's Traffic Impact Assessment (TIA) and recommend reasonable conditions. Safe road access will be ensured through the conditioned Road Safety Assessments, Pavement Condition Assessments and Event Traffic Management Plans.

The applicant will be required to undertake all works identified through the Road Safety Assessments to bring both roads to an acceptable level of safety, prior to the commencement of the use.

Pavement Condition Assessments will be required for all events of 500 or greater attendees. The applicant will be required to repair any road damage caused as a result of the event.

An Event Traffic Management Plan must be in place for all public events of 100 or greater attendees of greater.

3.6.7 Element—Water supply and wastewater services

3.6.7.1 Specific outcomes

- (3) Development in rural areas will demonstrate that it has access to adequate potable water and fire-fighting water supply on-site.

Comment

The development can be conditioned to comply.

- (4) In areas not serviced by reticulated sewerage, on-site effluent disposal systems ensure the environment or amenity is not adversely impacted.

Comment

The development can be conditioned to comply.

3.6.8 Element—Stormwater management

3.6.8.1 Specific outcomes

- (2) Stormwater is managed and measures are implemented to ensure erosion is prevented or minimised and contaminants are not released into surrounding environs.

Comment

The development can be conditioned to comply.

3.6.9 Element—Waste management**3.6.9.1 Specific outcomes**

- (4) On-site waste disposal and recycling areas are provided by development to meet operational requirements of storage, screening and collection.

Comment

The development can be conditioned to comply.

3.6.10 Element—Energy supply**3.6.10.1 Specific outcomes**

- (2) High voltage *major electrical infrastructure* and *energy generation facilities* are protected from conflicting development.

Comment

The development can be conditioned to comply.

3.7 Economic development**3.7.1 Strategic outcomes**

- (1) The rural economy that underpins the settlement pattern of Mareeba Shire prospers and diversifies, with traditional and emerging primary industries continuing to provide the economic base of the shire. Increasing opportunities for value-adding and processing primary product are realised on-farm and within surrounding towns. *Agricultural areas* and rural industries are protected from development which may compromise its ongoing viability. Infrastructure which supports agriculture and primary industry is maintained and protected.
- (2) The *rural area* includes a range of uses which compliment dominant primary industry activities and enhance the shire's economy. Activities including rural industries, intensive agricultural uses, intensive animal industries and expanded forestry and permanent plantations are supported in appropriate locations where impacts on the environment and surrounding land uses are limited and manageable.
- (4) The natural environment, rural and scenic landscapes of Mareeba Shire provide a basis for the development of sustainable tourism enterprises. Mareeba Shire's geographic proximity to Cairns International Airport provides opportunities for increasing visitation and exposure to the shire. Large scale tourist accommodation facilities are developed in key sites across the shire and meet the needs of a range of users. The character and appeal of key *activity centres*, landscape features and *scenic routes* which attract tourists to Mareeba Shire will be maintained and enhanced. The western dry land savannah of the shire accommodates further nature and rural based tourism development.

Comment

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development.

The proposed development will be largely screened from view and the character of the locality will be maintained.

The environmental values of the subject site are essential to the success of the proposed development. Council officers have had a long relationship with this applicant and are aware of the importance they place on the protection of the environment and rehabilitation of degraded areas.

3.7.2 Element—Rural and Agricultural land

3.7.2.1 Specific outcomes

- (1) *Agricultural areas* are preserved for the purpose of primary production and are protected from fragmentation, alienation and incompatible development.
- (2) *Other rural areas* are maintained in economically viable holdings and continue to develop and expand their rural infrastructure and operations.
- (5) Development ensures rural activities in all *rural areas* are not compromised by incompatible development and fragmentation.

Comment

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development.

The proposed development will be largely screened from view and the character of the locality will be maintained.

The environmental values of the subject site are essential to the success of the proposed development. Council officers have had a long relationship with this applicant and are aware of the importance they place on the protection of the environment and rehabilitation of degraded areas.

Although some built improvements are proposed, the subject land could readily be returned to primary industry – grazing should the currently proposed development cease.

3.7.7 Element—Tourism

3.7.7.1 Specific outcomes

- (2) Major tourist accommodation facilities that can accommodate large numbers of overnight visitors in the shire are developed in strategic locations where amenity impacts are mitigated and physical infrastructure appropriately provided.
- (3) Tourist parks in key locations provide sites to accommodate caravans and recreational vehicles across the shire. Facilities to accommodate caravans and recreational vehicles are developed in a variety of urban and, at a limited scale, rural locations, to encourage extended visitations within the shire. Tourist facilities are designed to ensure they provide a high quality of infrastructure and services to visitors.

- (4) The outstanding scenic qualities of the regional landscape and the character and heritage values of the shire's *activity centres* are recognised and protected for their role in promoting and attracting visitors to the shire. Development in scenic and highly visible locations will minimise its impacts on scenic amenity through sensitive location, design, colour and scale.
- (5) A variety of small-scale, low impact tourist facilities are established across the rural landscape, including:
 - (a) tourist attractions and facilities within *activity centres*;
 - (b) cultural interpretive tours;
 - (c) nature based tourism;
 - (d) sports and recreational activities;
 - (e) tourist attractions;
 - (f) adventure tourism;
 - (g) farm based tourism;
 - (h) food based tourism;
 - (i) bed and breakfasts;
 - (j) camping and recreational vehicle facilities;
 - (k) cycle tourism.
- (6) Small scale tourism related development is sensitively designed, scaled and located so as to not compromise the natural landscape values and agricultural values of Mareeba Shire.

Comment

The proposed development is able to be reasonably conditioned and managed to allow it to occur on the subject site.

Relevant Developments Codes

The following Development Codes are considered to be applicable to the assessment of the application:

- 6.2.9 Rural zone code
- 8.2.1 Agricultural land overlay code
- 8.2.2 Airport environs overlay code
- 8.2.3 Bushfire hazard overlay code
- 8.2.4 Environmental significance overlay code
- 8.2.8 Hill and slope overlay code
- 9.3.1 Accommodation activities code
- 9.3.7 Sport and recreation activities code
- 9.4.2 Landscaping code
- 9.4.3 Parking and access code
- 9.4.5 Works, services and infrastructure code

The application included a planning report and assessment against the planning scheme. An officer assessment has found that the application satisfies the relevant acceptable outcomes (or performance outcome where no acceptable outcome applies) of the relevant codes set out below, provided reasonable and relevant conditions are attached to any approval.

Relevant Codes	Comments
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Rural zone code	<p>The application complies or can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.</p> <p>Further discussion is warranted regarding the following performance outcomes:</p> <ul style="list-style-type: none"> • Performance Outcome PO6 – Amenity <p>Refer to planning discussion section of report for commentary.</p>
Agricultural land overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Airport environs overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Bushfire hazard overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Environmental significance overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Hill and slope overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Accommodation activities code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Sport and recreation activities code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Landscaping code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Parking and access code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Works, services and infrastructure code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.

(D) Planning Scheme Policies/Infrastructure Charges Plan

The following planning scheme policies are relevant to the application:

Planning Scheme Policy 4 - FNQROC Regional Development Manual

A condition will be attached to any approval requiring all development works be designed and constructed in accordance with FNQROC Development Manual standards.

(E) Adopted Infrastructure Charges Notice

An infrastructure charge has been calculated for each stage and aspect of the proposed development.

The charge is limited to transport infrastructure only, as no other infrastructure network will be used by the development.

The vehicle per day (vpd) movement assumptions used in the applicant’s Traffic Impact Assessment have been used in the calculation. These assumptions are as follows:

- 0.7 vpd for each camp site (6 sites or 4.2 vpd)
- 0.7 vpd for each tourist cabin (8 cabins or 5.6 vpd)
- 0.7 vpd for each RV/Caravan site (10 sites equals 7 vpd)
- 0.417 vpd for each guest of the Function Facility/Event Sites (12,000 per year or 32.9 guests per day, or 13.7 vpd)

The assumed total for the development is 30.5 vpd.

The 2024/2025 Schedule of Fees and Charges establishes a transport infrastructure charge of \$5,452.00 for each 10 vpd.

The applicable charge for this development is 3.05 x \$5,192.00 or **\$16,628.60**.

Development Type	Rate	Measure	Charge	Credit Detail	Balance
	per 10 vpd	vpd			
Stage 1	\$5,452.00	8.58	\$4,677.80	Nil	\$4,677.80
Stage 2	\$5,452.00	8.71	\$4,748.70		\$4,748.70
Stage 3	\$5,452.00	6.36	\$3,467.50		\$3,467.50
Stage 4	\$5,452.00	6.85	\$3,734.60		\$3,734.60
TOTAL CURRENT AMOUNT OF CHARGE					\$15,835.60

REFERRAL AGENCY

Concurrence

The application triggered referral to the State Assessment and Referral Agency (SARA) as a referral agency for:

- Material change of use that involves clearing native vegetation; and
- Premises contaminated because of unexploded ordnance.

That Department advised in a letter dated 1 February 2024 that they require the conditions to be attached to any approval (**Attachment 2**).

Advice

The application triggered referral to Powerlink Queensland as an advice agency.

Powerlink Queensland responded in a letter dated 24 November 2023 proposing standard conditions to reinforce the applicant's existing obligations under the transmission line easement (**Attachment 3**).

Third Party Advice

The Queensland Parks and Wildlife Service & Partnerships (QPWS&P) has provided third party advice on the proposed development (**Attachment 4**).

QPWS&P has requested that the applicant consult with them, as an adjacent landowner, in relation to ongoing fire management.

An appropriate advice statement has been included as part of the officer's recommendation.

Internal Consultation

Due to the size of the subject site and the one (1) kilometre separation distance between Event Site 2 and the closest sensitive land use (dwelling house), an external acoustic assessment was not required.

Council Officers sought external expert assessment and advice in respect of the developments traffic impacts from NJM Engineering Consulting, a specialist transport engineer.

NJM Engineering Consulting have assessed the applicant's Traffic Impact Assessment (TIA) and recommend reasonable conditions requiring the following actions:

- **Emerald Falls Road**

- (i) Road Safety Assessment

The TIA identifies existing hazards, however recommendations of treatments to address these safety hazards have not been detailed. It is therefore recommended that the development be conditioned to undertake a formal Road Safety Assessment (RSA) in accordance with Austroads Guidelines. The assessment should be undertaken by a suitably qualified RPEQ with TMR accreditation as a Road Safety Auditor. The RSA should provide detail on the locations of any safety hazards and their risk rating in accordance with the methodology detailed in Austroads Guide to Road Safety (Part 6). The RSA report should also provide recommendations on practical treatments for each location that could be implemented to reduce the risks to acceptable levels. This report would need to be submitted to Council for review and approval prior to the Operational Works stage.

As a minimum, it would be considered reasonable to condition the development to implement the treatments identified in the assessment for the high-risk hazards, at their own cost. A design of the agreed treatments should be submitted as part of an Operational Works application for Council acceptance.

(ii) Pavement Condition Assessment

Given the impact of traffic generated by attendees of a large-scale public event, as well as consideration of vehicles requiring access for bump in/ bump out (note: term used for the set up and pack down of the event), it is recommended that a condition be placed on the development that a Road Pavement Condition Report is submitted to Council pre and post large scale events. The pre-event assessment must be undertaken within a month on the lead up to the event and submitted to Council. The report should detail the location of any existing deficiencies of the road pavement & surface and site photos of the road, especially at areas where turning movements occur including bends in the road. The post event report must be submitted within a month following the event.

In review of the pre and post event condition assessments, should it be evident to Council that damage has occurred as a result of the additional event traffic, all rectification works identified shall be undertaken at the applicant's expense.

- **Kay Road**

(i) Road Safety Assessment

Based on the number of traffic hazards along Kay Road and the increase in traffic as a result of the development, it is recommended that the development be conditioned to undertake a formal Road Safety Assessment (RSA) in accordance with Austroads Guidelines. The assessment should be undertaken by a suitably qualified RPEQ with TMR accreditation as a Road Safety Auditor.

The RSA should clearly identify any locations of safety hazards, including consideration of horizontal & vertical geometry, pavement & seal widths. The hazards need to be individually risk rated in accordance with the methodology detailed in Austroads Guide to Road Safety (Part 6) and the report provide recommendations on practical treatments that could be implemented to reduce the risks to acceptable levels. This report would need to be submitted to Council for review and approval prior to the Operational Works stage.

It would be considered reasonable to condition the development to implement the recommended safety improvements between Sabin Road East (inclusive of the intersection) and their access, at their own cost.

A design of the agreed treatments should be submitted as part of the Operational Works application for Council acceptance.

Conditions addressing NJM Engineering Consulting's advice have been drafted and form part of this report's recommendation. A pavement condition assessment has been proposed for both Emerald Falls Road and Kay Road.

An event traffic management plan prepared by a suitably qualified RPEQ will be conditioned for all events of 100 or greater attendees.

PUBLIC NOTIFICATION

The development proposal was placed on public notification from 15 November 2023 to 8 December 2023. The applicant submitted the notice of compliance on 12 December 2023 advising that the public notification requirements were carried out in accordance with the requirements of the Act.

Thirty-nine (39) properly made submissions were received and twenty-seven (27) of those objected to the proposed development. A copy of all submissions is included as **Attachment 5**.

The grounds for objection/support are summarised and commented on below:

Grounds for objection /support	Comment
Applicant has a policy of sustainability and supports traditional owners, clubs. Development would be an asset attracting visitors to the area.	Noted. This is a common opinion expressed by supporting submitters.
Site is ideal due to its large size, natural environment, and distance to neighbours.	Noted. This is a common opinion expressed by supporting submitters.
Concerned about traffic impact on Kay Road. Specifically, the volume of traffic at the start and finish of events; the noise from this traffic in early mornings/evenings; excessive dust and hazardous driving; deterioration of the gravel road and bitumen shoulders; road is not wide enough for two cars to pass.	Council Officers sought external expert assessment and advice in respect of the developments traffic impacts from NJM Engineering Consulting, a specialist transport engineer. NJM Engineering Consulting have assessed the applicant’s Traffic Impact Assessment (TIA) and recommend reasonable conditions. Safe road access will be ensured through the conditioned Road Safety Assessments, Pavement Condition Assessments and Event Traffic Management Plans.
Kay Road is already at capacity with banana, avocado workers and frequent livestock movement. The proposal offers no intent to upgrade Kay Road.	The applicant will be required to undertake all works identified through the Road Safety Assessments to bring both roads to an acceptable level of safety, prior to the commencement of the use.
The intersection of Kay Road and the Kennedy Highway is unsafe with no pull off lane from Cairns.	Pavement Condition Assessments will be required for all events of 500 or greater attendees. The applicant will be required to repair any road damage caused as a result of the event. An Event Traffic Management Plan must be in place for all public events of 100 or greater attendees of greater.
Clearing of vegetation and the associated environmental impacts.	<ol style="list-style-type: none"> 1. The development is to be selectively sited to take advantage of previously cleared/disturbed areas. 2. Limited clearing is proposed to accommodate the development. 3. In response to the environmental significance overlay, the applicant has provided the following statement: 4. <i>“Kanjini has hosted the Roots Festival three times now with up to 1,200 attendees, performers and staff.</i>

	<p>5. <i>There has been no noticeable negative effect on the ecology, in fact several hundred native bushes and trees have been planted and cared for during and as a part of those events.</i></p> <p>6. <i>Additionally, Kanjini does not envision events with more 1,500 guests to ensure that minimal impact, if any, is provided to the natural Flora and Fauna of the site.</i></p> <p>7. <i>Additionally, Kanjini is actively engaged in environmental land management, is a member of the Northern Bettong Recovery Team, practices Indigenous inspired fire management, hosts a Wildlife Sanctuary and cooperated with several scientists on various environmental research. Last and not least Kanjini Co-Op Ltd over the last ten years has returned significantly large areas of this property from cleared land to high value regrowth.</i></p> <p>8. <i>Kanjini has such a strong commitment to the environment that we do not allow any dogs or cats on over 99.9% of our land (only exceptions are tenant's house yards) and we take a sizable security bond from all campers to ensure they look after country and leave no trace.</i></p> <p>9. <i>Large events are required to lodge large security bonds with us, and we are committed to ensure they too look after the country and leave no trace.</i></p> <p>10. <i>The proposal is for the extension to the existing Nature-Based Tourism Use, being the provision of a Tourist Park including Outdoor Sport and Recreation and Function Facilities with limited clearing proposed (now Function Facility and Tourism Cabins) over the 1,978 hectare site (Lots 66 & 68). It is not considered that the proposal will affect the areas of Environmental Significance over the site.</i></p> <p>11. <i>Any proposed clearing provided within the Mapped Regulated Vegetation will be minimal and minimised ensure not to adversely affect the majority of the Vegetation provided over the site.</i></p> <p>12. <i>Any loss or reduction in the Vegetation is minimised with any possible residual impacts offset by the vast Mapped Regulated Vegetation provided over the site. All interconnectivity will be maintained and enhanced with the proposed development. This is evident with the additional native vegetation being planted as a part of the Roots Festival.</i></p> <p>13. <i>It is considered that the minimal limited clearing of vegetation over the site will not adversely affect the existing Environmental Values and functioning of the site, instead will ensure to maintain and enhance the existing."</i></p> <p>The State Assessment and Referral Agency (SARA) have assessed the development's impact on remnant vegetation and have issued conditional approval.</p>
<p>Development will significantly change the amenity of this rural property. The proposed development is within a kilometre of homes. Prolonged noise will cause nuisance.</p>	<p>In terms of sensitive land uses, the closest dwelling is situated approximately 900 metres to the north of the proposed RV/Caravan area/Function Facility. Event Site 2 (beside the large dam) is approximately 1.1 kilometres from the closest dwelling house.</p>

	<p>The development has been conditioned to ensure that it is carried in such a way as to not cause an ‘environmental nuisance’ as defined by the <i>Environmental Protection Act 1994</i> with regards to emissions (noise, light, dust etc.). The Kuranda Roots Festival has been held on the subject site (Event Site 2) for the past three (3) years without reports of noise nuisance. The land has been used as a tourist park (12 bush camp sites) since 2015, again without any reports of nuisance being caused.</p> <p>Due to the size of the subject site and the one (1) kilometre separation distance between Event Site 2 and the closest sensitive land use (dwelling house), an external acoustic assessment was not required. The development has been reasonably conditioned to allow the applicant to manage the event sites and place the most appropriate events at each site (eg events likely to be noisier can be sited at Event Site 1, which has the larger separation distance).</p> <p>The development has further been conditioned to require a Noise Management Plan and to establish a Complaint Investigation Process. Similar conditions were placed on the Springmount Raceway development approval.</p> <p>Due to the nature of the proposed development, hours of operation have not been proposed by the applicant. The tourist park aspect will involve guests being on site 24 hours a day, 7 days a week. Similarly, large events (Kuranda Roots Festival) occur over multiple days with guests remaining on site throughout the event.</p> <p>The only specific hour limit being proposed as a condition is to prevent amplified music/speakers at Event Site 2 and the Function Facility between the hours of 12 midnight and 7:00am.</p>
<p>Potential impacts on Emerald Creek water quality.</p>	<p>All proposed development will be setback from on-site waterways in accordance with the buffers nominated by the Planning Scheme’s Environmental Significance Overlay.</p> <p>The application states that water crossings will be minimised to avoid adverse water quality impacts.</p>
<p>Large gatherings will require sanitation and waste disposal, and this may impact underground aquifers. They rely on bores to supply domestic and stock water.</p>	<p>All on site wastewater disposal must be through an approved on-site wastewater disposal system.</p> <p>Other rubbish waste will be collected on site and disposed of at a lawful waste management facility in Mareeba.</p>

Submitters

Name of Principal submitter	Address
1. Frank Burton	frkburton@gmail.com
2. Mareeba Mountain Goats Inc	Mareebamountaingoats@gmail.com
3. Walter Bonvecchio	Bonwal2000@yahoo.it
4. Djabugay Tribal Aboriginal Corporation	PO Box 495, Kuranda QLD 4881

5. Melinda Norris	tinytropicalhome@gmail.com
6. Rebecca Scott	createmorefuntimes@gmail.com
7. Lynette Alba	8 Elsie Close, Mareeba QLD 4880
8. Scott & Patti Hill	scotnpat@bigpond.com
9. Owen Allen	owen@phoenixfunctions.com.au
10. Victor Steffensen	steffensenvictor@gmail.com
11. Bruce Zell	brucezell@gmail.com
12. Morgyn Quinn, William Johnston, Prahlada Cave and the Kuranda Roots team	rudekatrecords@gmail.com
13. J Ney	251 Kay Road, Mareeba QLD 4880
14. Hazel Bensted	487 Kay Road, Mareeba QLD 4880
15. Sarah Bensted	487 Kay Road, Mareeba QLD 4880
16. Jonathon Bensted	487 Kay Road, Mareeba QLD 4880
17. Courtney Stephenson	487 Kay Road, Mareeba QLD 4880
18. Phil & Alana Bensted	487 Kay Road, Mareeba QLD 4880
19. Dave Srhoj	60 Kay Road, Mareeba QLD 4880
20. Max Srhoj	60 Kay Road, Mareeba QLD 4880
21. Wayne Srhoj	100 East Sabin Road, Mareeba QLD 4880
22. Denise Srhoj	60 Kay Road, Mareeba QLD 4880
23. Megan Srhoj	100 East Sabin Road, Mareeba QLD 4880
24. Bean Sanders	322 Kay Road, Mareeba QLD 4880
25. Mami Oyama	322 Kay Road, Mareeba QLD 4880
26. Luke Antequera	224 Kay Road, Mareeba QLD 4880
27. Narella Antequera	224 Kay Road, Mareeba QLD 4880
28. Des & Joanne Butler	208 Kay Road, Mareeba QLD 4880
29. Jacob Cooper	322 Kay Road, Mareeba QLD 4880
30. Emmett Kerlin	452 Kay Road, Mareeba QLD 4880
31. David Fittock	93 Kay Road, Mareeba QLD 4880
32. Kim Burns	219 Kay Road, Mareeba QLD 4880

33. Alen Cranswick	143 Kay Road, Mareeba QLD 4880
34. John McDowall	63 Rollison Drive, Mareeba QLD 4880
35. Tara Peckham	59 Kay Road, Mareeba QLD 4880
36. Marnie Peckham	59 Kay Road, Mareeba QLD 4880
37. Karen Peckham	59 Kay Road, Mareeba QLD 4880
38. Adam & Diana Spena	128 Kay Road, Mareeba QLD 4880
39. Janice & Brian Herbohn	3823 Kennedy Highway, Mareeba QLD 4880

PLANNING DISCUSSION

Compliance with Performance Outcome PO6 of the Rural zone code is discussed below:

Rural zone code

Amenity

PO6

Development must not detract from the amenity of the local area, having regard to:

- (a) noise;*
- (b) hours of operation;*
- (c) traffic;*
- (d) advertising devices;*
- (e) visual amenity;*
- (f) privacy;*
- (g) lighting;*
- (h) odour; and*
- (i) emissions.*

A06

No acceptable outcome is provided.

Comment

Performance Outcome PO6 of the Rural zone code ensures that new development is appropriately managed to minimise impacts on the amenity experienced in the immediate vicinity of the development site. In terms of sensitive land uses, the closest dwelling is situated approximately 900 metres to the north of the proposed RV/Caravan area/Function Facility. Event Site 2 (beside the large dam) is approximately 1.1 kilometres from the closest dwelling house.

Noise – A condition of approval has been included to ensure that the proposed development is operated in such a way as to not cause an ‘environmental nuisance’ as defined by the *Environmental Protection Act 1994* with regards to emissions (noise, light, dust etc.). The Kuranda Roots Festival has been held on the subject site (Event Site 2) for the past three (3)

years without reports of noise nuisance. The land has been used as a tourist park (12 bush camp sites) since 2015, again without any reports of nuisance being caused.

Due to the size of the subject site and the one (1) kilometre separation distance between Event Site 2 and the closest sensitive land use (dwelling house), an external acoustic assessment was not required. The development has been reasonably conditioned to allow the applicant to manage the event sites and place the most appropriate events at each site (eg events likely to be noisier can be sited at Event Site 1, which has the larger separation distance).

The development has further been conditioned to require a Noise Management Plan and to establish a Complaint Investigation Process. Similar conditions were placed on the Springmount Raceway development approval.

Hours of operation – Due to the nature of the proposed development, hours of operation have not been proposed by the applicant. The tourist park aspect will involve guests being on site 24 hours a day, 7 days a week. Similarly, large events (Kuranda Roots Festival) occur over multiple days with guests remaining on site through-out the event.

The only specific hour limit being proposed as a condition is to prevent amplified music at Event Site 2 and the Function Facility between the hours of 12 midnight and 7:00am.

Traffic – Council Officers sought external expert assessment and advice in respect of the developments traffic impacts from NJM Engineering Consulting, a specialist transport engineer.

NJM Engineering Consulting have assessed the applicant's Traffic Impact Assessment (TIA) and recommend reasonable conditions. Safe road access will be ensured through the conditioned Road Safety Assessments, Pavement Condition Assessments and Event Traffic Management Plans.

The applicant will be required to undertake all works identified through the Road Safety Assessments to bring both roads to an acceptable level of safety, prior to the commencement of the use.

Pavement Condition Assessments will be required for all events of 500 or greater attendees. The applicant will be required to repair any road damage caused as a result of the event.

An Event Traffic Management Plan must be in place for all public events of 100 or greater attendees of greater.

Advertising devices – No advertising devices have been proposed.

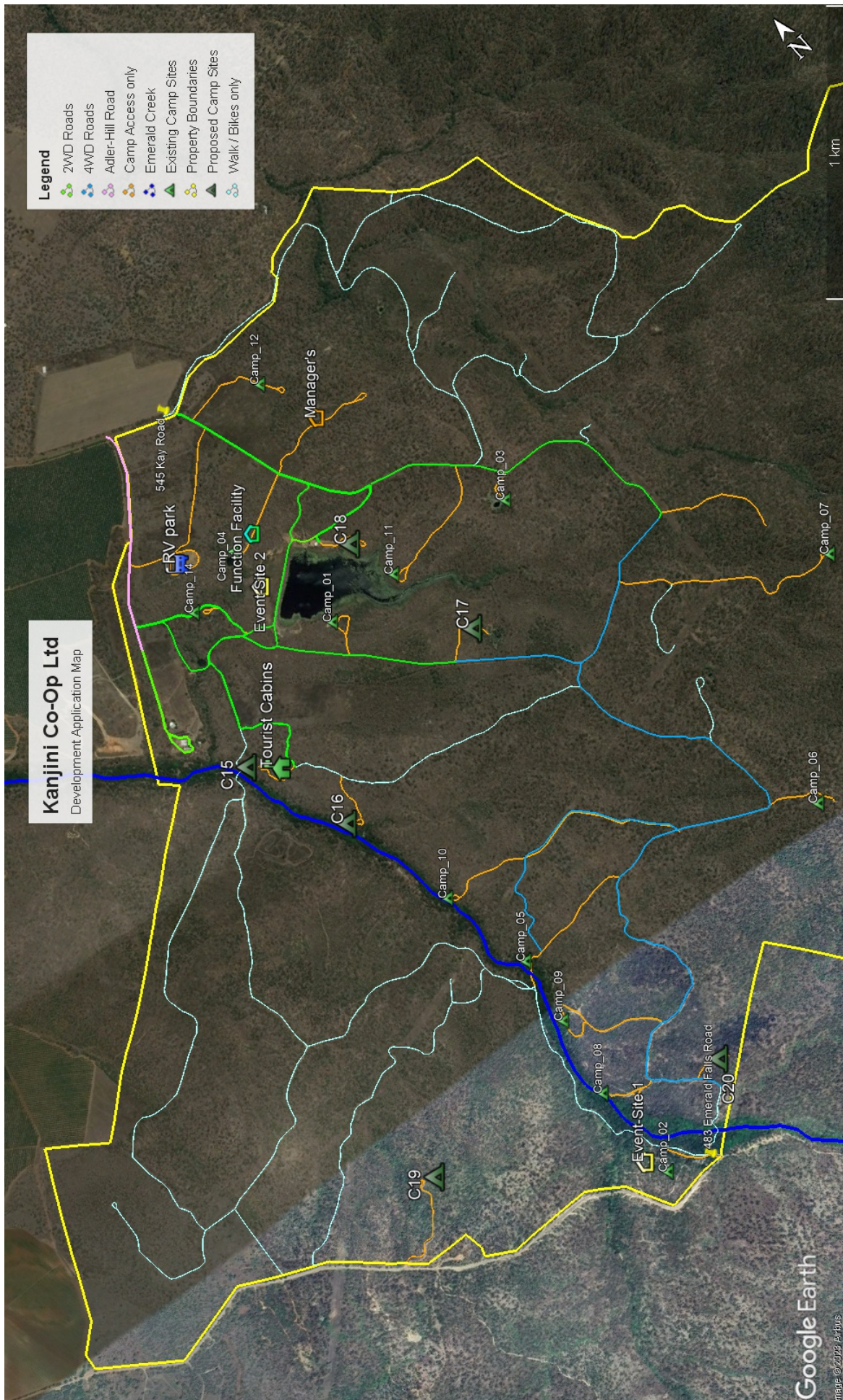
Visual amenity – All proposed development will be largely screened from view (from roads/adjoining lots) by distance and vegetation.

Privacy – Similar to visual amenity, privacy will be maintained due to the subject site's size and the developments distance from sensitive land uses.

Lighting – A condition of approval has been included ensuring that light emitted from the development does not cause nuisance to any neighbouring property.

Odour & Emissions – The proposed development is not likely to produce significant amount of odour or other emissions such as dust and smoke. The significant distance to sensitive land uses will mitigate any potential nuisance emission caused by emissions.

Subject to appropriate conditioning, it is considered that the proposed development can achieve compliance with PO6.



Proposed Event Site 1

The proposed Event Site 1 is at 438 Emerald Falls Road. There is some existing infrastructure, namely two ~70sqm covered decks, five toilets, five showers and two hand basins.

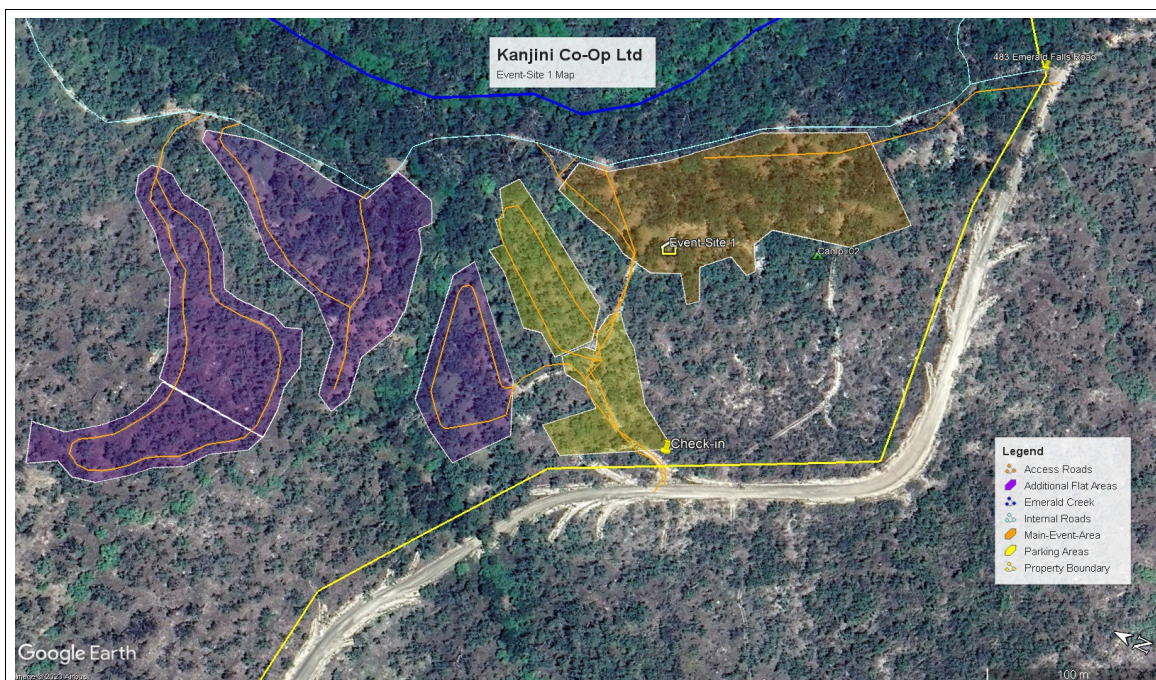
While it always will be the event organiser's responsibility to ensure the supply of sufficient facilities for their event, Kanjini might add more facilities in the future.

The Kuranda Roots Festival used this site in 2021, 2022 and 2023 with great success. Kuranda Aboriginal elders were

very happy to see this over 20 year old event to happen on country and without alcohol.



Indigenous dances at Kuranda Roots festival



Event Site 1 – shaded areas are level areas available for event infrastructure and activities

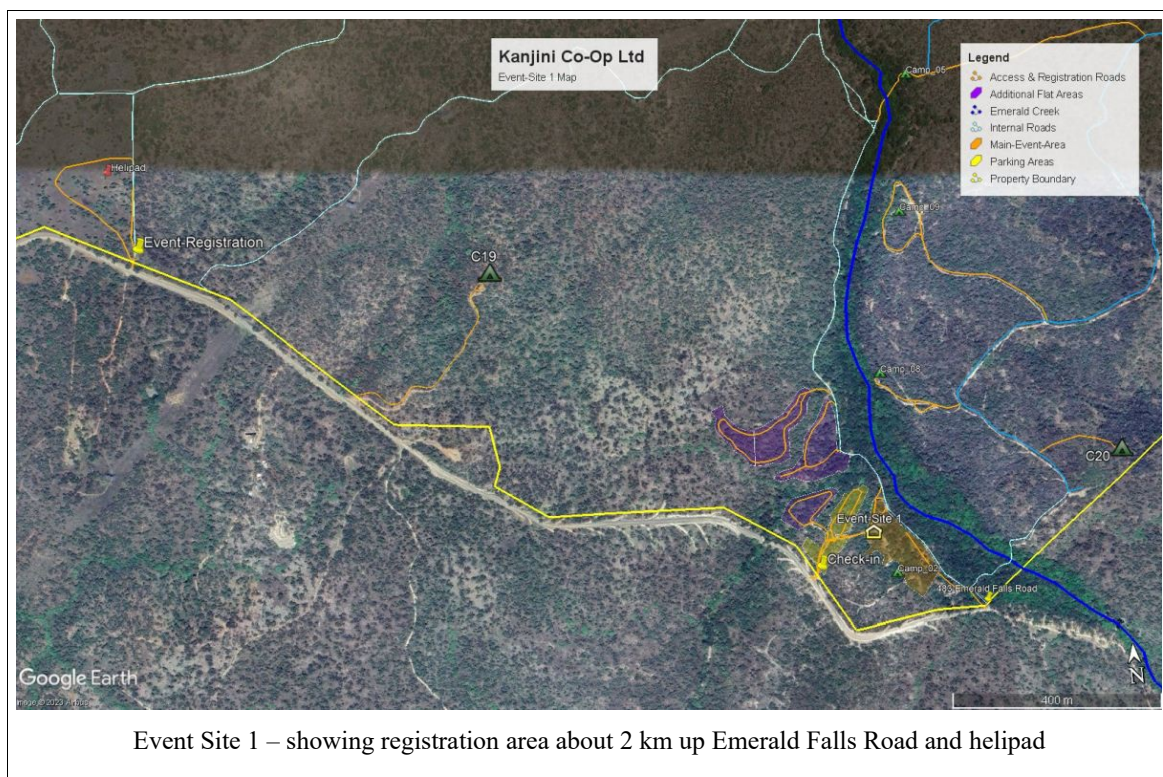
The orange shaded main event area in above "Event-Site 1 Map" map provides about 1.2Ha, shaded by large trees.

The yellow shaded area provides about 0.8Ha for parking.

The purple and blue shaded areas would make about 3Ha of additional level areas available for parking, or other event infrastructure or activities.

Kanjini Co-Op intends to limit any event to about 1,500 - 2,000 guests to minimise any environmental impact and ensure a relaxed family atmosphere.

There is a helipad for emergencies and a separate registration area on our land about two kilometers up Emerald Falls Road (see below map). This registration area features an over 500m long loop road to avoid any cars lining up along Emerald Falls Road during registration.



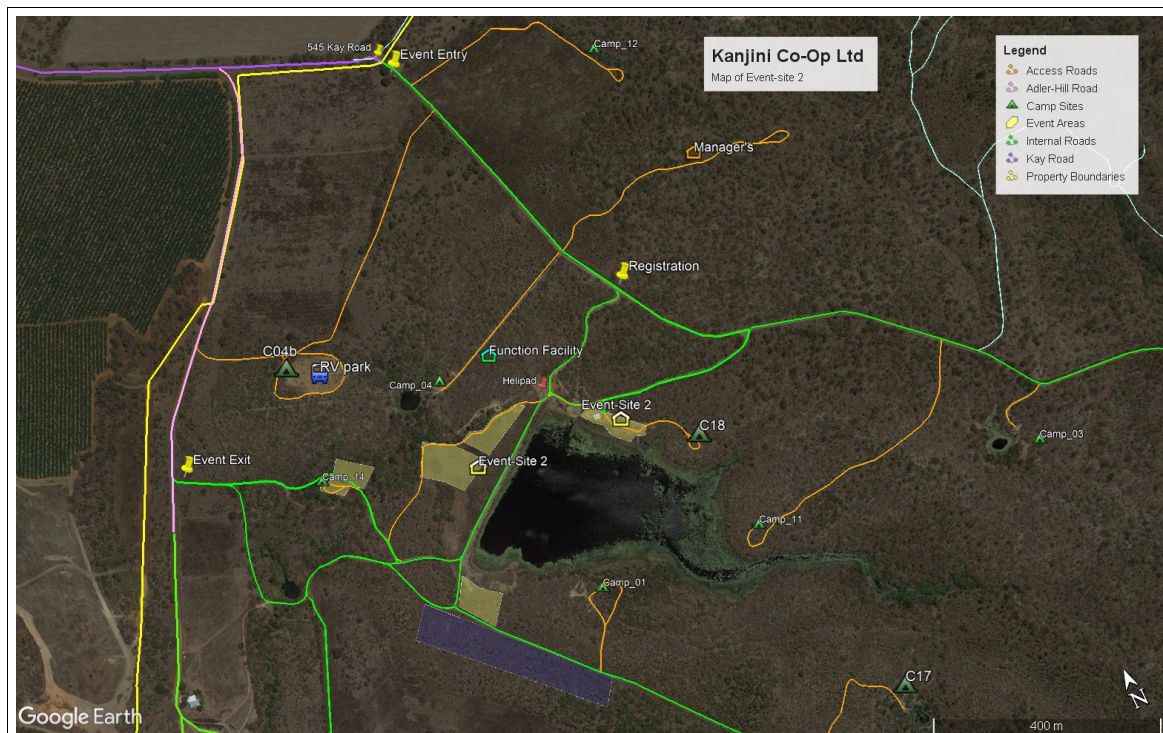
This festival layout has worked very well over the last three years and none of the neighbours within 3km of this site had any issues with the minimal noise and traffic impacts.

Proposed Event Site 2

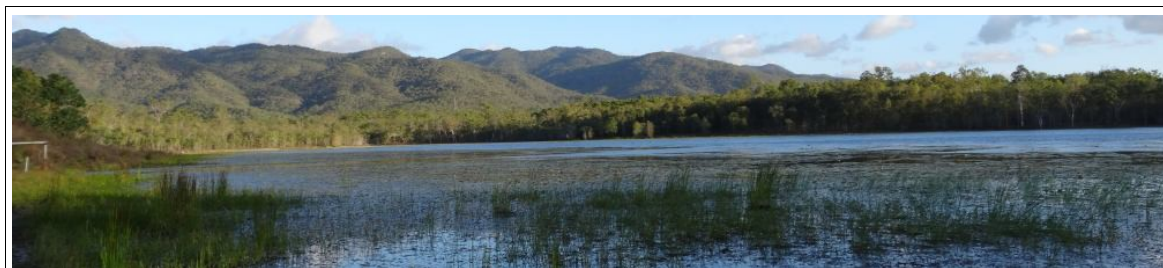
The proposed Event Site 2 is next to our 25 acre lake.
 There is some existing infrastructure, namely three toilets, a hand basin, and an about 100 square meter tarp.
 While it always will be the event organiser's responsibility to ensure the supply of sufficient facilities for their event, we might add more facilities in the future.

The five smaller yellow shaded areas in below map are level areas available for event purposes. They add up to about 2Ha in size.
 The larger blue shaded area in the bottom of the below map can provide another 2Ha of level area for event purposes.

Four camp sites and the proposed function facility are within a short walk from this event site and could also be hired by the event organisers.



Event Site 2 – shaded areas are level areas available for event infrastructure and activities



View across the dam

Proposed Tourist-Cabins

The proposed Tourist Cabin site is utilising an about 2.5Ha area on a ridge within walking distance of Emerald Creek.

The site was chosen because it is naturally already almost totally clear of trees.

The site is serviced by an existing 2WD gravel road.

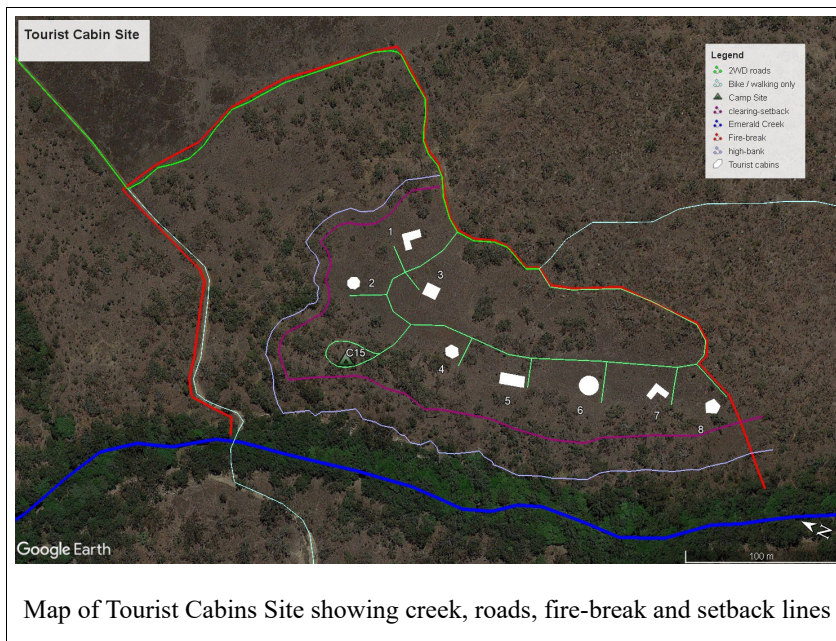
We envision to build eight tourist cabins here and the vision is for each one to be built using unusual designs and materials.

For example there could be a round cabin or a curved one, an octagon or a hexagram, a free-form or spiral or a tower.

Materials used could be rock, mud, straw, air-crete or hemp-crete, some could have green roofs or one could be a hobbit cabin.

If we secure approval without too onerous conditions, we intend to invite architects and designers to come up with innovative and interesting designs.

We are hoping to attract southerners and overseas visitors to Mareeba Shire to experience spending a few days or weeks in such a totally different house, to get a feel for more sustainable living.

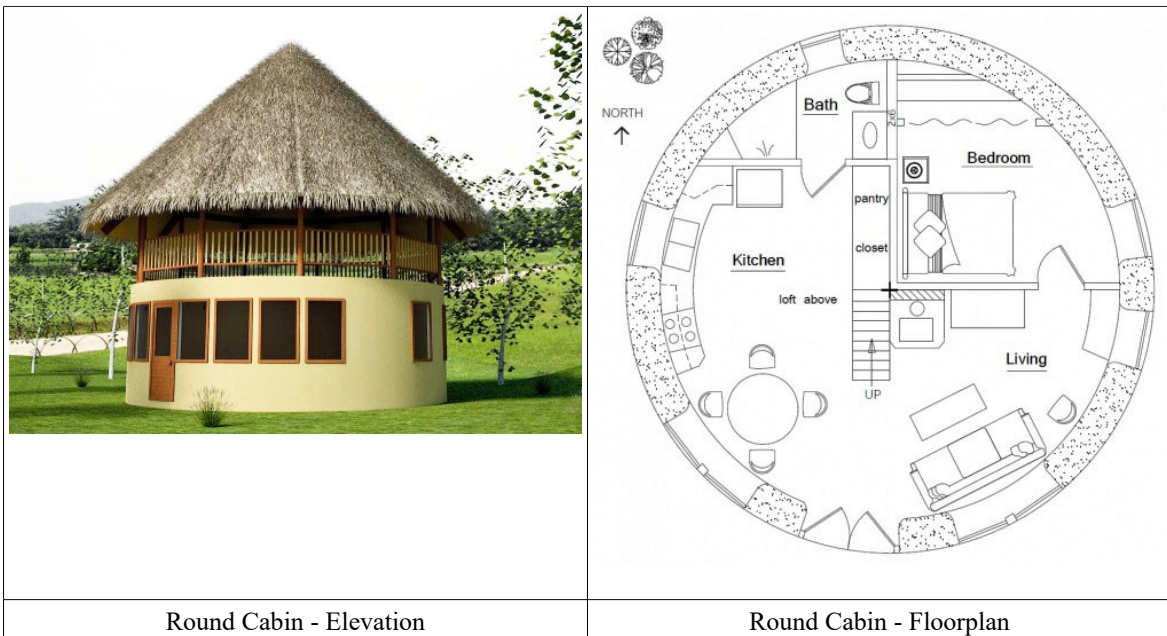
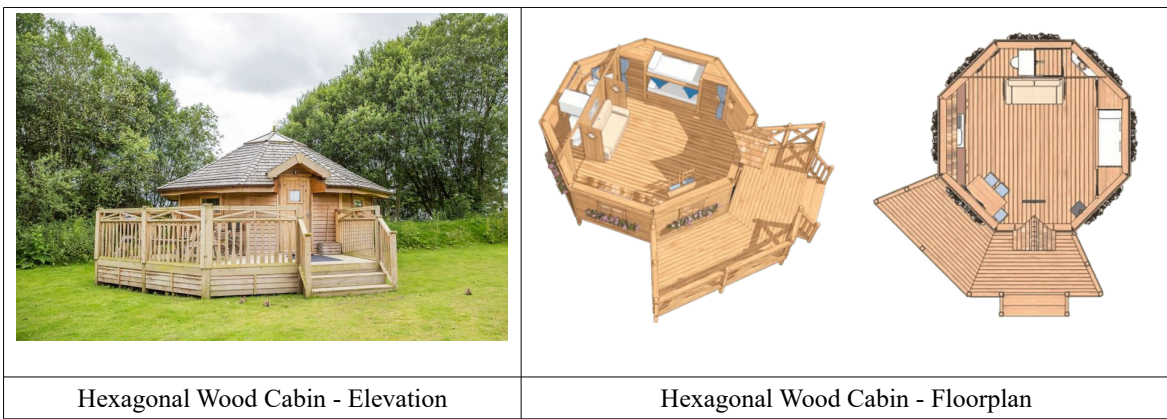
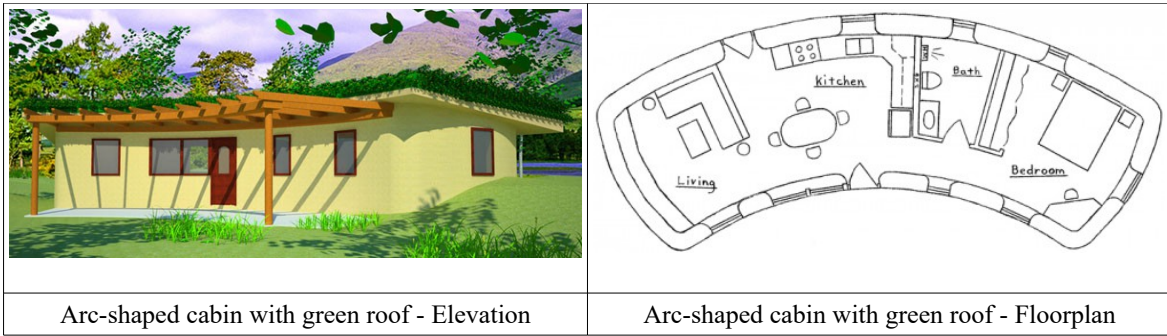


Map of Tourist Cabins Site showing creek, roads, fire-break and setback lines



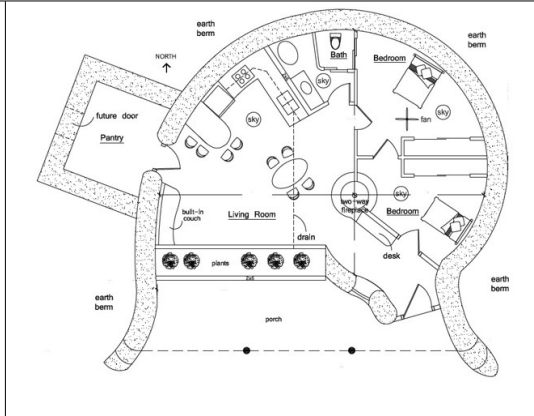
Tourist Cabin Site – Chosen because there is a large natural clearing already

Here a few concept drawings on what these tourist cabins may look like:





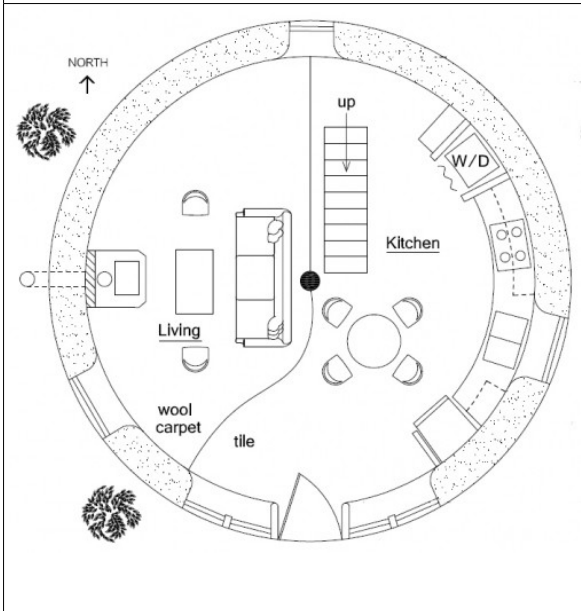
Spiral Cabin - Elevation



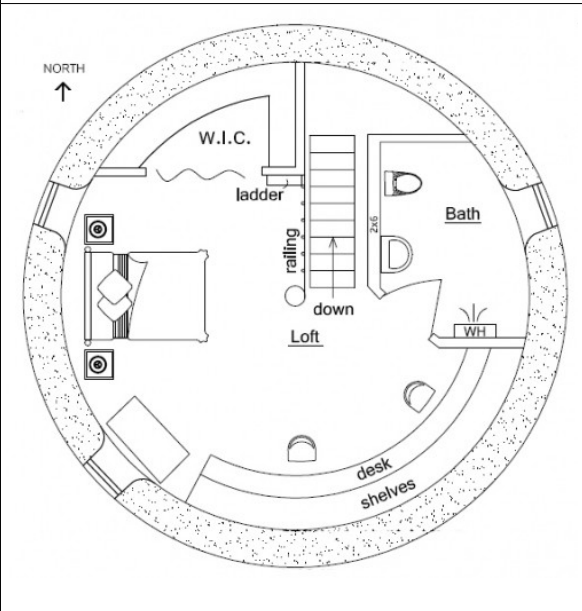
Spiral Cabin - Floorplan



Tower Cabin - Elevation



Tower Cabin - Groundfloor



Tower Cabin - Upstairs

Proposed RV Site

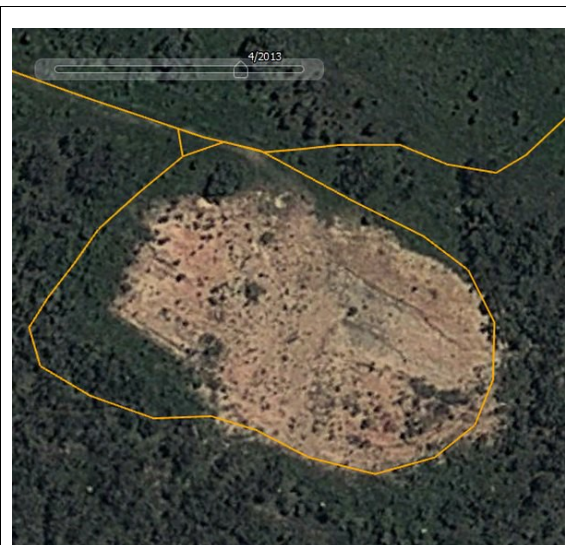
We were told that the proposed RV site was used as a council quarry for road base a long time ago and then again by previous owners or lessees.

When we purchased the property, this area was badly eroded and with hardly any vegetation.

About four years ago we decided to arrest the erosion by shaping the area into five east-facing terraces, offering panoramic views of the mountains, including Kahlpahlm Rock, Bunda Badjigal (Turtle Rock), Mount Tiptree and Mount Haig.



Aerial view of terraces



Google-earth view of the area when we bought the property (orange lines are existing roads)

The lower four terraces are each about ten to twelve meters wide and about sixty meters long, while the top one is triangle shaped and about 800 square meters.

We envision only two to three RV sites on each terrace, with RVs parked in the middle of a terrace, allowing for other RVs to pass behind and still giving plenty of outdoor space on the eastern side of the RV to enjoy the views. Stage 1 of the proposed development will see 5 RV sites used, Stage 2 the other five.

RV's are totally self contained and do not require the provision of any services.

We believe that the location, the views and the numerous activities available on our property will make this a valuable tourist asset for the Mareeba area.



View from RV site

Proposed Events & Functions

The development application includes two event sites and one function facility.

EVENTS:

The proposed Event Site 1 is located at 438 Emerald Falls Road.

The proposed Event Site 2 and Function Facility are located close to each other near our 25 acre (10Ha) lake with access from 545 Kay road.



View over most of our property

Both event sites are at least 1.2km from the nearest neighbouring residence and 2.5km away from each other.

Stage 1 of the development allows for a total of up to 2,000 guests per year to attend various Events and Functions.

Stage 2 of the development allows for up to 3,500 guests per year

Stage 3 of the development allows for up to 6,000 guests per year and the construction of the function facility

Stage 4 of the development allows for up to 12,000 guests per year



View of part of event site 1

These are very modest numbers. For example in stage 1 we can only have one medium sized event like Kuranda Roots and maybe half a dozen smaller functions or other events during a whole year, while stage 4 will allow us to have say four to five medium sized and a dozen smaller functions or other events during the year.

The proposed development is vary small scale considering the vast size of this property and the reason for this development application is not to make large amounts of money, but to share this amazing property with the wider community.

The availability of level areas and practicalities of both event sites is likely to limit the number of people attending any single event to no more than ~1,000-2,000 persons.

The establishment of the event sites does not require any clearing. They already have some facilities and Kanjini Co-Op Ltd might add more facilities to the event sites in the future.

However it will always be the event organiser's responsibility to ensure the supply of sufficient services and facilities for their event (security, medic, traffic control, catering, insurance, stages, marquees, toilets, showers, power etc)



Views at event site 2

Kanjini Co-Op Ltd has already hosted the Kuranda Roots Festival in 2021, 2022 and 2023 with about 700-1,200 persons at the proposed event site 1. These three-day festivals were very successful and without any major incidents and all attendees really enjoyed the beautiful location.

FUNCTIONS:

The proposed function facility will be limited to about 300-400 sqm in size and as such will not be able to accommodate more than 200-300 people (see attached concept drawings).

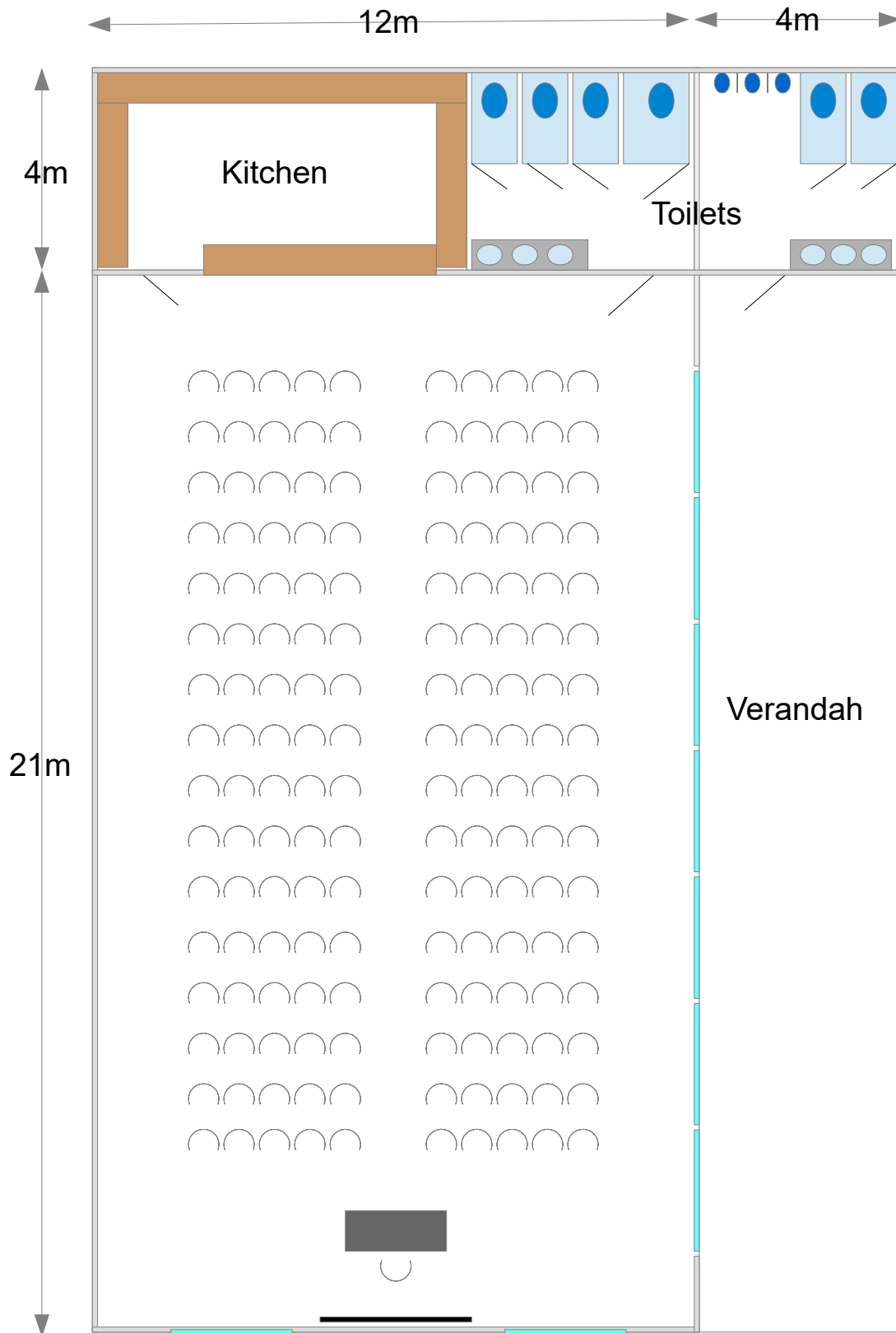
It is overlooking and within walking distance of our 25 acre lake and will offer a stunning backdrop to any marriage or other function.

It is located close to our main entry to ensure easy 2WD access and there is plenty of already cleared parking areas close-by.



View from proposed function facility site

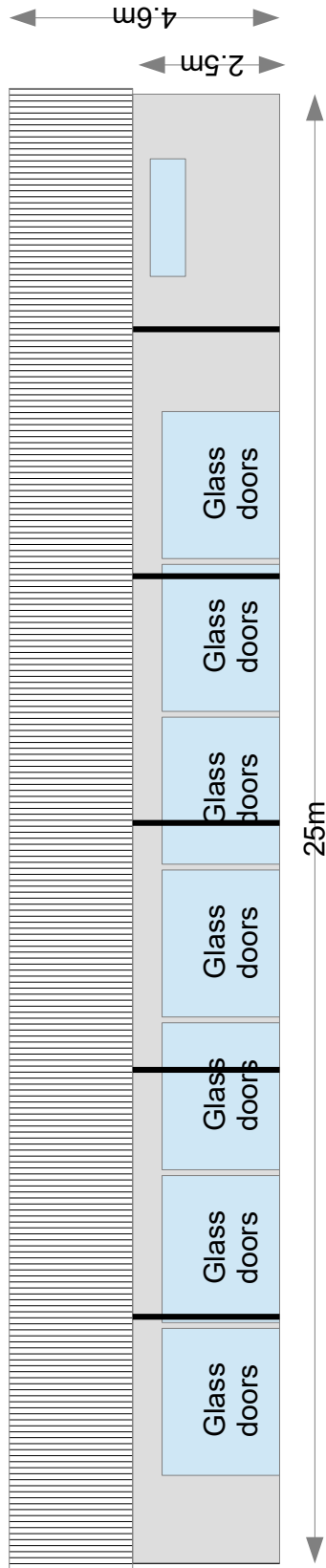
The unique scenic location of these events and function sites have the potential to attract boutique events and functions to Mareeba Shire. For example, we already had an inquiry from a major firm to fly their Sydney staff in for their Christmas function because of the unique scenery



Proposed Function Facility - Layout

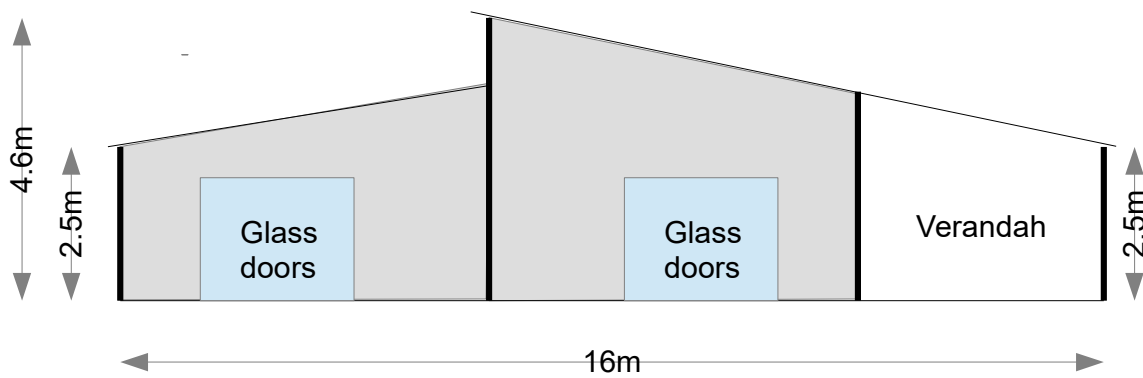
Proposed Function Facility

South-East Elevation



Proposed Function Facility

South-West Elevation



RA6-N



SARA reference: 2303-33622 SRA
 Council reference: MCU/22/0002
 Applicant reference: F21/374

1 February 2024

Chief Executive Officer
 Mareeba Shire Council
 PO Box 154
 Mareeba QLD 4880
 planning@msc.qld.gov.au

Attention: Carl Ewin

Dear Sir / Madam

**SARA referral agency response –
 Emerald Falls Road and Kay Road, Mareeba**

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 10 March 2023.

Response

Outcome:	Referral agency response – with conditions
Date of response:	1 February 2024
Conditions:	The conditions in Attachment 1 must be attached to any development approval
Advice:	Advice to the applicant is in Attachment 2
Reasons:	The reasons for the referral agency response are in Attachment 3

Development details

Description:	Development permit	Material Change of Use for Outdoor Sport and Recreation, Function Facility and Tourist Park
SARA role:	Referral agency	

2303-33622 SRA

SARA triggers: Schedule 10, Part 3, Division 4, Table 3, Item 1 (Planning Regulation 2017) - Material change of use that involves clearing native vegetation
Schedule 10, Part 4, Division 3, Table 1, Item 1 (Planning Regulation 2017) - Premises contaminated because of unexploded ordnance

SARA reference: 2303-33622 SRA

Assessment manager: Mareeba Shire Council

Street address: 483 Emerald Falls Road and 545 Kay Road, Mareeba

Real property description: Lot 66 on RP896904, Lot 67 on SP328197 and Lot 68 on SP282408

Applicant name: Kanjini Co-Op Limited

Applicant contact details: C/- Freshwater Planning Pty Ltd
17 Barron View Drive
Freshwater QLD 4870
freshwaterplanning@outlook.com

Human Rights Act 2019 considerations: A consideration of the 23 fundamental human rights protected under the *Human Rights Act 2019* has been undertaken as part of this decision. It has been determined that this decision does not limit human rights.

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s.30 Development Assessment Rules). Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Charlton Best, Senior Planning Officer, on 07 4037 3200 or via email CairnsSARA@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Brett Nancarrow
Manager (Planning)

cc Kanjini Co-Op Limited C/- Freshwater Planning Pty Ltd, freshwaterplanning@outlook.com

enc Attachment 1 - Referral agency conditions
Attachment 2 - Advice to the applicant
Attachment 3 - Reasons for referral agency response
Attachment 4 - Representations about a referral agency response provisions
Attachment 5 - Documents referenced in conditions

2303-33622 SRA

Attachment 1—Referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application) (Copies of the documents referenced below are found at Attachment 5)

No.	Conditions	Condition timing
Material change of use		
Schedule 10, Part 3, Division 4, Table 3 – Clearing native vegetation — The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Resources to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following conditions:		
1.	Clearing of vegetation must: <ul style="list-style-type: none"> (a) only occur within Area A (Parts A1 – A9) as shown on the attached: <ul style="list-style-type: none"> (i) Vegetation Management Plan, prepared by Queensland Government, reference VMP 2303-33622 SRA, Sheets 1 & 2, version 1; and (ii) Attachment to Vegetation Management Plan VMP 2303-33622 SRA Derived Reference Points for GPS; (b) not exceed 0.8 hectares. 	At all times.
2.	Built infrastructure, other than fences, roads, underground services, must not be established, constructed or located within Area C (Part C1 – C2) as shown on the attached: <ul style="list-style-type: none"> (a) Vegetation Management Plan, prepared by Queensland Government, reference VMP 2303-33622 SRA, Sheets 1 & 2, version 1; and (b) Attachment to Vegetation Management Plan VMP 2303-33622 SRA Derived Reference Points for GPS. 	At all times.
Schedule 10, Part 4, Division 3, Table 1 – Unexploded ordnance — The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Housing, Local Government, Planning and Public Works to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition:		
3.	Provide written confirmation to the Department of Housing, Local Government, Planning and Public Works via email to CairnsSARA@dsdilgp.qld.gov.au by an approved contractor on the Australian Government, Department of Defence, Unexploded Ordnance (UXO) Panel that all proposed use areas upon the site subject to this application have been assessed, remediated and cleared of unexploded ordnances. <p>Specifically, these proposed use areas as shown on the plan entitled 'Kanjini Co-Op Ltd - Development Application Map' that was provided as part of the response to SARA's information request must include but are not limited to:</p> <ul style="list-style-type: none"> • Event site 2; • Tourist cabins (total of 8); • Function facility and associated car parking area; • Bush camp sites 1, 3-5, 10-12, 14-18; • RV park; • Manager's residence; and 	Prior to the commencement of works.

2303-33622 SRA

	<ul style="list-style-type: none">• All vehicular and pedestrian access tracks associated with the abovementioned use areas.	
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2303-33622 SRA

Attachment 2—Advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> , its regulation or the State Development Assessment Provisions (SDAP) (version 3.0). If a word remains undefined it has its ordinary meaning.

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Attachment 3—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for the SARA's decision are:

- Ensures that the proposed development areas upon the site identified as having substantial unexploded ordnance (UXO) potential is investigated and, where necessary, remediated so as to not place another part of the environment, or human health, at risk as a consequence of development.
- The impacts on connectivity or loss of biodiversity and the impact on ecosystem function is considered minimal as the scale of exemption clearing will be small and the extent of adjoining remnant vegetation is large.
- Appropriate fire and safety buffers from existing remnant vegetation have been addressed to maintain the safety of persons and property that will be associated with the proposed development and future buildings and/or infrastructure being constructed upon the proposed lots.
- The proposed development has reasonably avoided clearing where possible and reasonably minimised the adverse impacts of clearing where it cannot be reasonably avoided.
- SARA has carried out an assessment of the development application against State code 13: Unexploded ordnance and State code 16: Native vegetation clearing, and has found that with conditions, the proposed development complies with relevant performance outcomes.

Material used in the assessment of the application:

- The development application material and submitted plans
- *Planning Act 2016*
- *Planning Regulation 2017*
- The State Development Assessment Provisions (version 3.0)
- The Development Assessment Rules
- SARA DA Mapping system
- *Human Rights Act 2019*

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Attachment 4—Representations about a referral agency response provisions

(page left intentionally blank – attached separately)

2303-33622 SRA

Attachment 5—Documents referenced in conditions

(page left intentionally blank – attached separately)

Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

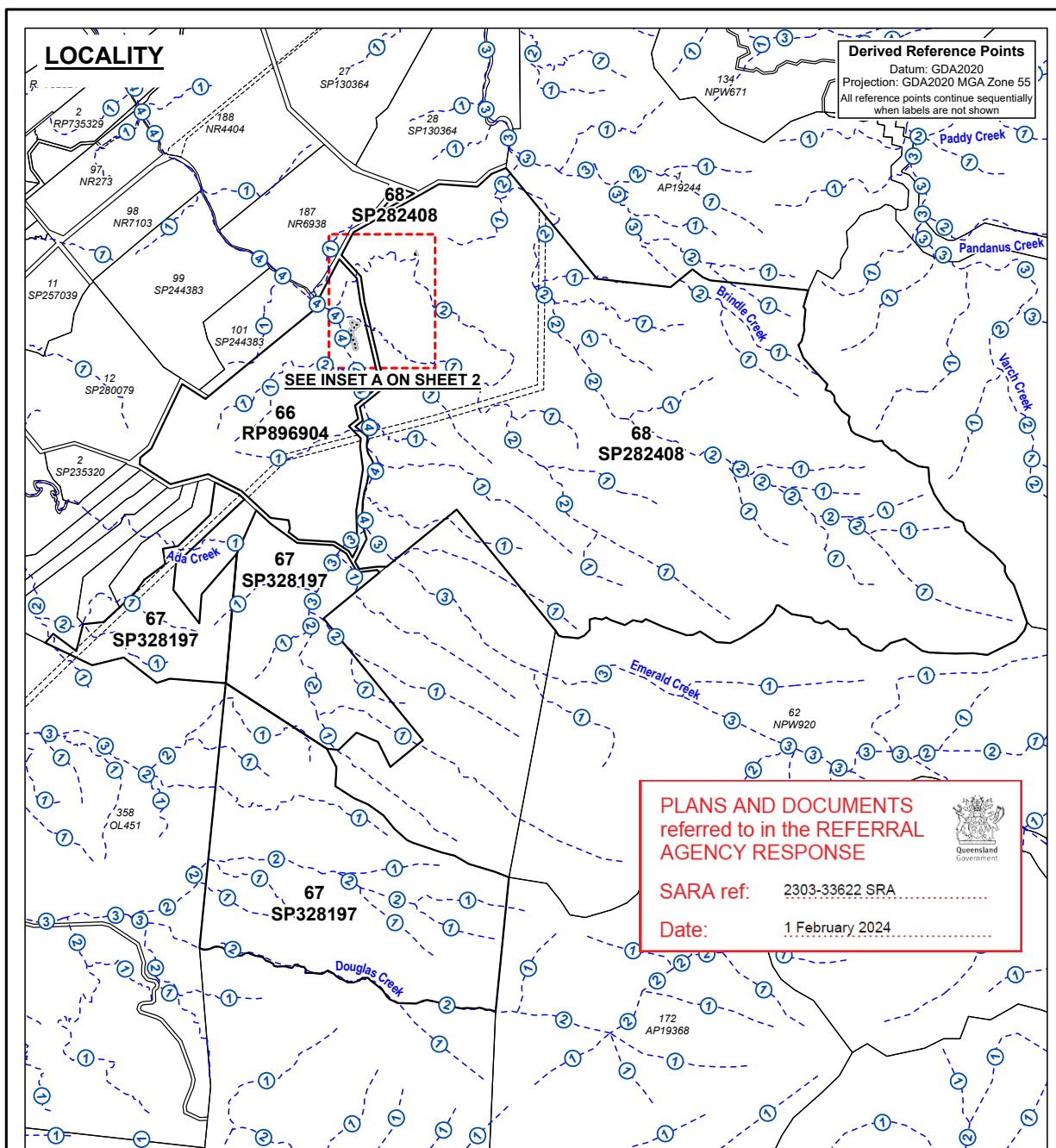
² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

Part 7: Miscellaneous

30 Representations about a referral agency response

30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.



Derived Reference Points
 Datum: GDA2020
 Projection: GDA2020 MGA Zone 55
 All reference points continue sequentially when labels are not shown

PLANS AND DOCUMENTS
 referred to in the REFERRAL
 AGENCY RESPONSE

SARA ref: 2303-33622 SRA
 Date: 1 February 2024

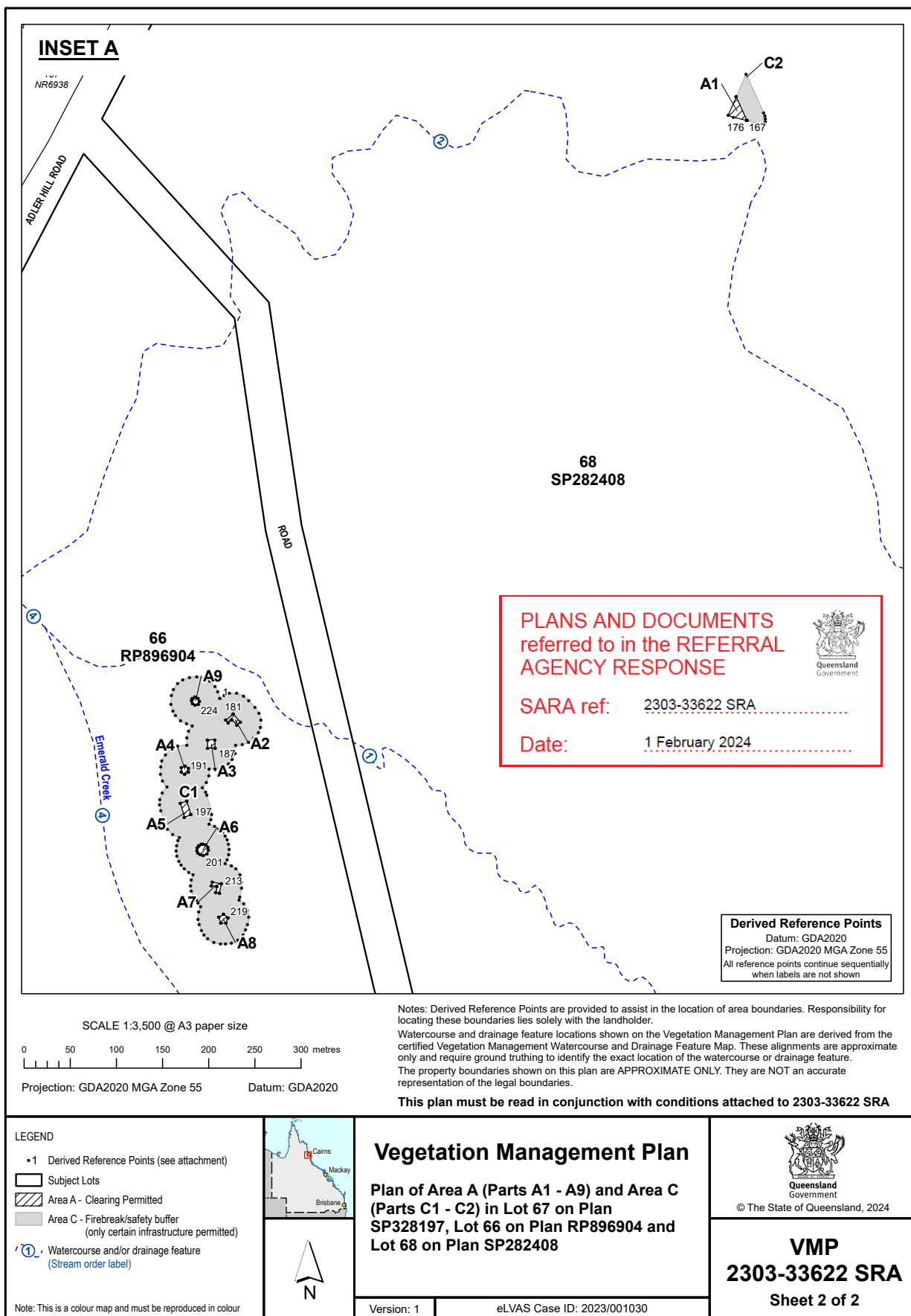
SCALE 1:35,000 @ A3 paper size
 0 500 1,000 1,500 2,000 2,500 3,000 metres
 Projection: GDA2020 MGA Zone 55 Datum: GDA2020

Notes: Derived Reference Points are provided to assist in the location of area boundaries. Responsibility for locating these boundaries lies solely with the landholder.
 Watercourse and drainage feature locations shown on the Vegetation Management Plan are derived from the certified Vegetation Management Watercourse and Drainage Feature Map. These alignments are approximate only and require ground truthing to identify the exact location of the watercourse or drainage feature.
 The property boundaries shown on this plan are APPROXIMATE ONLY. They are NOT an accurate representation of the legal boundaries.

This plan must be read in conjunction with conditions attached to 2303-33622 SRA


<p>LEGEND</p> <ul style="list-style-type: none"> Subject Lots Area A - Clearing Permitted Area C - Firebreak/safety buffer (only certain infrastructure permitted) ① Watercourse and/or drainage feature (Stream order label) <p>Note: This is a colour map and must be reproduced in colour</p>		<p>Vegetation Management Plan</p> <p>Plan of Area A (Parts A1 - A9) and Area C (Parts C1 - C2) in Lot 67 on Plan SP328197, Lot 66 on Plan RP896904 and Lot 68 on Plan SP282408</p> <p>Version: 1 eLVAS Case ID: 2023/001030</p>	<p>© The State of Queensland, 2024</p> <p>VMP 2303-33622 SRA Sheet 1 of 2</p>
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VMGIS-NR-2440



**Attachment to Plan: 2303-33622 SRA
Derived Reference Points
Datum: GDA2020, Projection: MGA Zone 55**

**PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE**



SARA ref: 2303-33622 SRA

Date: 1 February 2024

Notes: Derived Reference Points are provided to assist in the location of area boundaries.
Responsibility for locating these boundaries lies solely with the landholder and delegated contractor(s).
Coordinates start at a point indicated on the accompanying plan and continue sequentially when labels are not shown.


Part ID	Unique ID	Easting	Northing
C1	1	344246	8116387
C1	2	344251	8116390
C1	3	344257	8116392
C1	4	344264	8116392
C1	5	344272	8116390
C1	6	344278	8116385
C1	7	344284	8116377
C1	8	344289	8116371
C1	9	344291	8116363
C1	10	344290	8116356
C1	11	344288	8116350
C1	12	344283	8116344
C1	13	344277	8116340
C1	14	344270	8116337
C1	15	344263	8116336
C1	16	344263	8116328
C1	17	344259	8116321
C1	18	344255	8116316
C1	19	344249	8116312
C1	20	344241	8116311
C1	21	344235	8116311
C1	22	344234	8116303
C1	23	344232	8116296
C1	24	344227	8116291
C1	25	344231	8116286
C1	26	344232	8116282
C1	27	344236	8116267
C1	28	344237	8116261
C1	29	344236	8116255
C1	30	344235	8116251
C1	31	344241	8116248
C1	32	344245	8116245
C1	33	344249	8116242
C1	34	344252	8116238
C1	35	344254	8116234
C1	36	344255	8116229
C1	37	344256	8116223
C1	38	344256	8116217
C1	39	344254	8116212
C1	40	344252	8116208
C1	41	344259	8116206
C1	42	344263	8116202
C1	43	344268	8116196
C1	44	344270	8116188
C1	45	344270	8116182
C1	46	344268	8116172
C1	47	344267	8116169
C1	48	344272	8116164
C1	49	344276	8116157
C1	50	344277	8116150
C1	51	344276	8116142
C1	52	344274	8116136
C1	53	344271	8116131
C1	54	344266	8116125
C1	55	344259	8116122
C1	56	344252	8116121
C1	57	344247	8116121
C1	58	344240	8116122
C1	59	344233	8116126
C1	60	344229	8116131

Part ID	Unique ID	Easting	Northing
C1	61	344226	8116136
C1	62	344224	8116142
C1	63	344222	8116148
C1	64	344223	8116156
C1	65	344225	8116161
C1	66	344222	8116165
C1	67	344221	8116169
C1	68	344218	8116173
C1	69	344215	8116178
C1	70	344214	8116184
C1	71	344215	8116190
C1	72	344217	8116196
C1	73	344212	8116199
C1	74	344208	8116202
C1	75	344204	8116206
C1	76	344202	8116210
C1	77	344200	8116216
C1	78	344199	8116222
C1	79	344199	8116228
C1	80	344201	8116233
C1	81	344202	8116237
C1	82	344195	8116240
C1	83	344189	8116245
C1	84	344186	8116252
C1	85	344182	8116266
C1	86	344181	8116271
C1	87	344181	8116277
C1	88	344184	8116285
C1	89	344189	8116291
C1	90	344184	8116297
C1	91	344182	8116305
C1	92	344182	8116313
C1	93	344183	8116319
C1	94	344187	8116326
C1	95	344193	8116331
C1	96	344200	8116335
C1	97	344210	8116336
C1	98	344210	8116344
C1	99	344212	8116352
C1	100	344216	8116357
C1	101	344210	8116359
C1	102	344204	8116363
C1	103	344198	8116368
C1	104	344195	8116373
C1	105	344193	8116380
C1	106	344194	8116390
C1	107	344196	8116396
C1	108	344200	8116403
C1	109	344206	8116407
C1	110	344213	8116410
C1	111	344221	8116411
C1	112	344229	8116409
C1	113	344235	8116405
C1	114	344241	8116400
C1	115	344244	8116394
C1	116	344223	8116381
C1	117	344224	8116384
C1	118	344222	8116387
C1	119	344219	8116388
C1	120	344216	8116387

Part ID	Unique ID	Easting	Northing
C1	121	344215	8116384
C1	122	344216	8116381
C1	123	344219	8116380
C1	124	344252	8116363
C1	125	344255	8116360
C1	126	344259	8116364
C1	127	344264	8116358
C1	128	344268	8116361
C1	129	344261	8116370
C1	130	344233	8116342
C1	131	344233	8116333
C1	132	344241	8116333
C1	133	344241	8116342
C1	134	344204	8116307
C1	135	344208	8116304
C1	136	344212	8116307
C1	137	344212	8116311
C1	138	344208	8116314
C1	139	344204	8116312
C1	140	344203	8116273
C1	141	344208	8116258
C1	142	344215	8116261
C1	143	344210	8116276
C1	144	344228	8116217
C1	145	344232	8116219
C1	146	344234	8116222
C1	147	344233	8116226
C1	148	344231	8116228
C1	149	344228	8116229
C1	150	344226	8116229
C1	151	344223	8116227
C1	152	344222	8116225
C1	153	344221	8116222
C1	154	344222	8116219
C1	155	344225	8116217
C1	156	344242	8116177
C1	157	344246	8116176
C1	158	344248	8116186
C1	159	344238	8116188
C1	160	344237	8116184
C1	161	344243	8116183
C1	162	344247	8116144
C1	163	344253	8116144
C1	164	344255	8116150
C1	165	344250	8116153
C1	166	344245	8116150
C2	167	344817	8117013
C2	168	344817	8117013
C2	169	344806	8117039
C2	170	344816	8117063
C2	171	344835	8117021
C2	172	344837	8117018
C2	173	344837	8117015
C2	174	344837	8117011
C2	175	344837	8117008
A1	176	344817	8117013
A1	177	344802	8117016
A1	178	344797	8117018
A1	179	344806	8117039
A1	180	344817	8117013

**Attachment to Plan: 2303-33622 SRA
Derived Reference Points
Datum: GDA2020, Projection: MGA Zone 55**

**PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE**

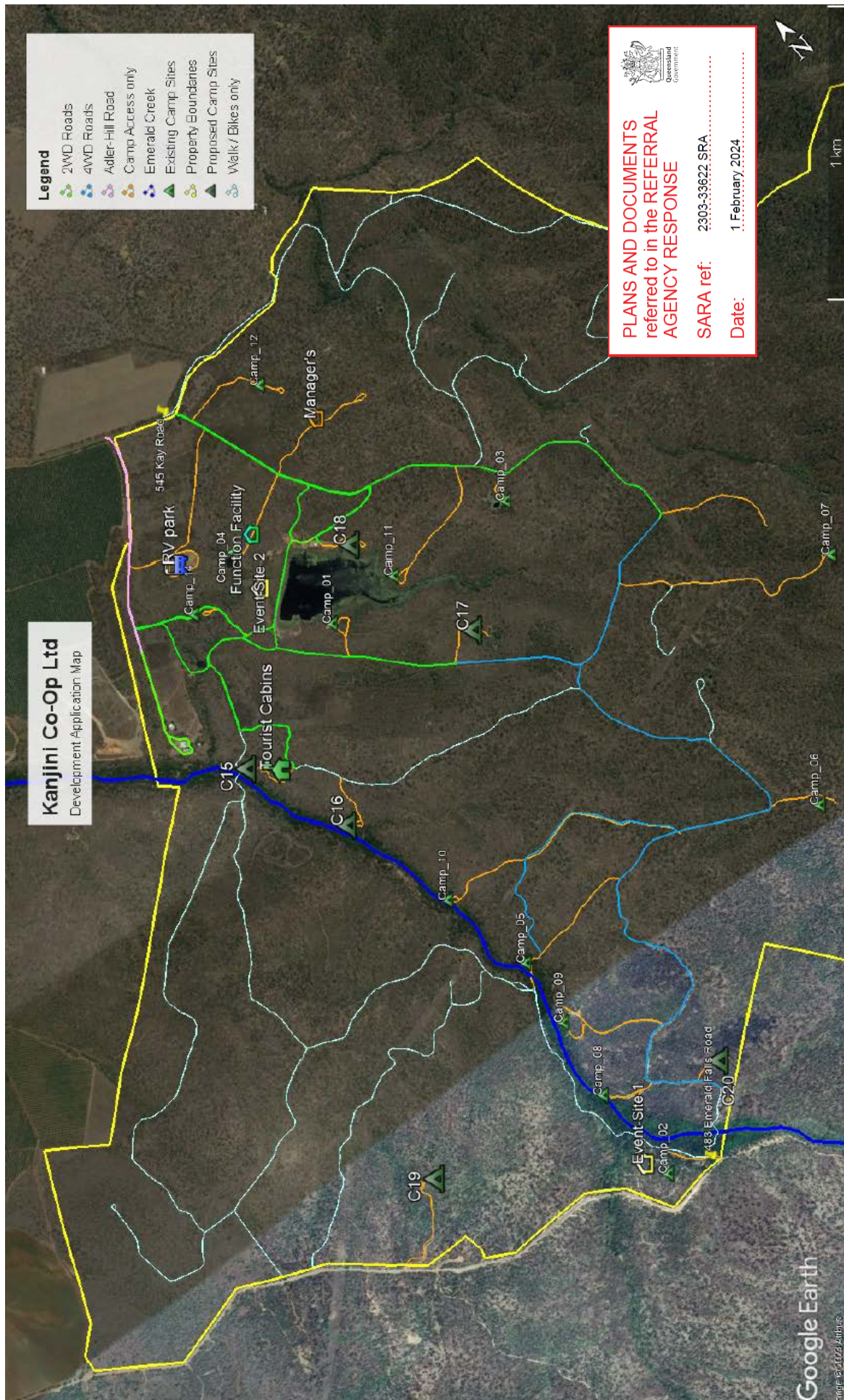


SARA ref: 2303-33622 SRA

Date: 1 February 2024

Notes: Derived Reference Points are provided to assist in the location of area boundaries.
Responsibility for locating these boundaries lies solely with the landholder and delegated contractor(s).
Coordinates start at a point indicated on the accompanying plan and continue sequentially when labels are not shown.

Part ID	Unique ID	Easting	Northing
A2	181	344261	8116370
A2	182	344268	8116361
A2	183	344264	8116358
A2	184	344259	8116364
A2	185	344255	8116360
A2	186	344252	8116363
A3	187	344241	8116333
A3	188	344233	8116333
A3	189	344233	8116342
A3	190	344241	8116342
A4	191	344212	8116307
A4	192	344208	8116304
A4	193	344204	8116307
A4	194	344204	8116312
A4	195	344208	8116314
A4	196	344212	8116311
A5	197	344215	8116261
A5	198	344208	8116258
A5	199	344203	8116273
A5	200	344210	8116276
A6	201	344228	8116217
A6	202	344225	8116217
A6	203	344222	8116219
A6	204	344221	8116222
A6	205	344222	8116225
A6	206	344223	8116227
A6	207	344226	8116229
A6	208	344228	8116229
A6	209	344231	8116228
A6	210	344233	8116226
A6	211	344234	8116222
A6	212	344232	8116219
A7	213	344248	8116186
A7	214	344246	8116176
A7	215	344242	8116177
A7	216	344243	8116183
A7	217	344237	8116184
A7	218	344238	8116188
A8	219	344255	8116150
A8	220	344253	8116144
A8	221	344247	8116144
A8	222	344245	8116150
A8	223	344250	8116153
A9	224	344223	8116381
A9	225	344219	8116380
A9	226	344216	8116381
A9	227	344215	8116384
A9	228	344216	8116387
A9	229	344219	8116388
A9	230	344222	8116387
A9	231	344224	8116384



24 November 2023



Our Ref: DA5493
(MSLink105458, 3418653 & 3751471)

Mareeba Shire Council
PO Box 154
MAREEBA QLD 4880

Kanjini Co-Op Limited
C/- Freshwater Planning Pty Ltd
17 Barronview Drive
FRESHWATER QLD 4870

Attention: Carl Ewin
Email: CarlE@msc.qld.gov.au & info@msc.qld.gov.au
Application: MCU/22/0002

Attention: Matthew Andrejic
Email: FreshwaterPlanning@outlook.com

Dear Sir/Madam,

Referral Agency Response (Advice)

(Given under section 9.2 of the Development Assessment Rules)

Transmission Infrastructure Impacted	
Transmission Corridor	Springmount Tee Woree (275kV) Transmission Line Corridor
Easement ID	Easement A on RP906509 (Dealing No. 702021125) Easement B on RP906509 (Dealing No. 702021125) Easement C on RP906509 (Dealing No. 702021125)
Location Details	
Street address	545 Kay Road & 483 Emerald Falls Road Mareeba
Real property description	Lot 66 on RP896904, Lot 67 SP328197 and Lot 68 on SP282408
Local government area	Mareeba Shire Council
Application Details	
Proposed development:	Material Change of use – Outdoor Sport and Recreation, function facility and Tourist Park
Approval sought	Development permit

We refer to the above referenced development application which has been referred to Powerlink Queensland in accordance with Section 54 of the *Planning Act 2016*.

In accordance with its jurisdiction under Schedule 10 Part 9 Division 2 of the *Planning Regulation 2017*, Powerlink Queensland is a Referral Agency (Advice) for the above development application.

Specifically, the application has been triggered for assessment by Powerlink Queensland because:

1. For **material change of use** – all or part of the premises are subject to a transmission entity easement which is part of the transmission supply network (Table 2 1b)

33 Harold Street, Virginia
PO Box 1193, Virginia, Queensland 4014, Australia
Telephone: (07) 3860 2111 Facsimile: (07) 3860 2100
www.powerlink.com.au

Powerlink Queensland is the registered business name of the Queensland Electricity Transmission Corporation Limited
ABN 82 078 849 233

PLANS AND REPORTS ASSESSED

The following plans and reports have been reviewed by Powerlink Queensland and form the basis of our assessment. Any variation to these plans and reports may require amendment of our advice.

Table 1: Plans and Reports upon which the assessment is based

Drawing / Report Title	Prepared by	Dated	Reference No.	Version / Issue
Kanjini Cooperative Development Application Map – as part of the town planning report	Kanjini Cooperative	2/3/2022		

Powerlink Queensland, acting as a Referral Agency (Advice) under the Planning Regulation 2017 provides its response to the application as attached (**Attachment 1**).

Please treat this response as a properly made submission for the purposes of Powerlink being an eligible advice agency in accordance with the *Planning Act 2016*.

For further information please contact our Property Services Team via email property@powerlink.com.au who will be pleased to assist.

Yours sincerely



for: Narelle Titman
MANAGER PROPERTY

ATTACHMENT 1 – REFERRAL AGENCY (ADVICE) RESPONSE

Powerlink Queensland **supports** this application subject to the inclusion of the following conditions in the Assessment Manager’s Decision Notice.

No.	Condition	Timing	Reason
1	The development must be carried out generally in accordance with the reviewed plans detailed in Table 1.	At all times.	To ensure that the development is carried out generally in accordance with the plans of development submitted with the application.
2	The statutory clearances set out in the <i>Electrical Safety Regulation 2013</i> must be maintained during construction and operation. No encroachment within the statutory clearances is permitted.	At all times.	To ensure that the purpose of the <i>Electrical Safety Act 2002</i> is achieved and electrical safety requirements are met.
3	Compliance with the terms and conditions of the easement dealing no. shown in the heading of this letter.	At all times.	To ensure that the existing rights contained in the registered easement dealings are maintained.
4	Compliance with the generic requirements in respect to proposed works in the vicinity of Powerlink Queensland infrastructure as detailed in the enclosed Annexure "A".	At all times.	To ensure that the purpose of the <i>Electrical Safety Act 2002</i> is achieved and electrical safety requirements are met. To ensure the integrity of the easement is maintained.

Advice to Council and the Applicant

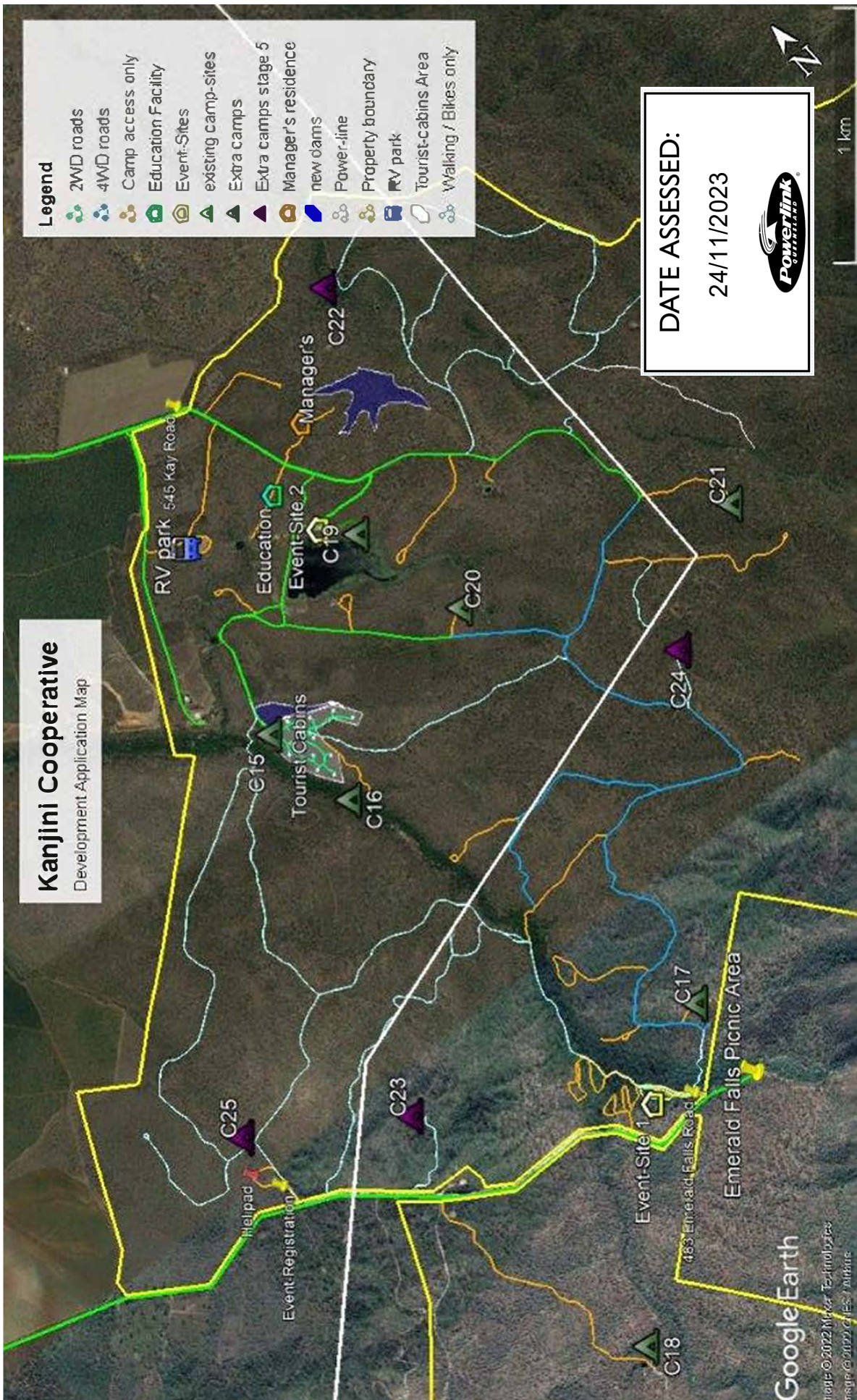
- Should any doubt exist in maintaining the prescribed clearance to electrical infrastructure the applicant is obliged under the *Electrical Safety Act 2002* to seek advice from Powerlink.
- This response **does not constitute an approval to commence operational works within the easement**. Prior written approval is required from Powerlink Queensland before any work is undertaken within the easement area. All works on easement (including but not limited to earthworks, drainage and detention basins; road construction; underground and overhead service installation) require detailed submissions, assessments and consent (or otherwise) by Powerlink. Further, Powerlink may require that such drawings be provided in electronic format (3D DXF or equivalent of final design RL’s AHD and MGA GDA94 in applicable zone)
- In order for Powerlink to maintain and operate a safe and reliable supply of electricity, we require unrestricted 24-hour access to our corridors and infrastructure.

We will require practical access (typically by 4WD vehicle – but to standard no less than existing) to the Powerlink structures.

If it is envisaged that there will be any interference or alteration to our current access arrangements prior, during or after the completion of your works, we require that the applicant contacts our Easement Maintenance Service Provider (Ergon Energy – Peter Gorrie – ph 0417 199 931)
- Compliance with the Electrical Safety Act 2002 including any Code of Practice under the Act and the Electrical Safety Regulation 2013 including any safety exclusion zones defined in the Regulation.

In respect of this application, the exclusion zone for untrained persons and for operating plant operated by untrained persons is six (6) metres from the 275,000-volt wires and exposed electrical parts.

If works have the potential to come within the prescribed clearance to the conductors and electrical infrastructure, then the applicant must seek advice from Powerlink by completing the attached Application for Safety Advice – Form and submitting to property@powerlink.com.au



ANNEXURE A – GENERIC REQUIREMENTS

The conditions contained in this Annexure have been compiled to assist persons (the applicant) intending to undertake work within the vicinity of high-voltage electrical installations and infrastructure owned or operated by Powerlink. The conditions are supplementary to the provisions of the Electrical Safety Act 2002, Electrical Safety Regulation 2013 and the Terms and Conditions of Registered Easements and other forms of Occupational Agreements hereinafter collectively referred to as the “Easement”. Where any inconsistency exists between this Annexure and the Easement, the Easement shall take precedence.

1. POWERLINK INFRASTRUCTURE

You may not do any act or thing which jeopardises the foundations, ground anchorages, supports, towers or poles, including (without limitation) inundate or place, excavate or remove any soil, sand or gravel within a distance of twenty (20) metres surrounding the base of any tower, pole, foundation, ground anchorage or support.

2. STRUCTURES

No structures should be placed within twenty (20) metres of any part of a tower or structure foundation or within 5m of the conductor shadow area. Any structures on the easement require prior written consent from Powerlink.

3. EXCLUSION ZONES

Exclusion zones for operating plant are defined in Schedule 2 of the Electrical Safety Regulation 2013 for Untrained Persons. All Powerlink infrastructure should be regarded as “electrically live” and therefore potentially dangerous at all times.

In particular your attention is drawn to Schedule 2 of the Electrical Safety Regulation 2013 which defines exclusion zones for untrained persons in charge of operating plant or equipment in the vicinity of electrical facilities. If any doubt exists in meeting the prescribed clearance distances from the conductors, the applicant is obliged under this Act to seek advice from Powerlink.

4. ACCESS AND EGRESS

Powerlink shall at all times retain the right to unobstructed access to and egress from its infrastructure. Typically, access shall be by 4WD vehicle.

5. APPROVALS (ADDITIONAL)

Powerlink’s consent to the proposal does not relieve the applicant from obtaining statutory, landowner or shire/local authority approvals.

6. MACHINERY

All mechanical equipment proposed for use within the easement must not infringe the exclusion zones prescribed in Schedule 2 of the Electrical Safety Regulation 2013. All operators of machinery, plant or equipment within the easement must be made aware of the presence of live high-voltage overhead wires. It is recommended that all persons entering the Easement be advised of the presence of the conductors as part of on site workplace safety inductions. The use of warning signs is also recommended.

ANNEXURE A – GENERIC REQUIREMENTS**7. EASEMENTS**

All terms and conditions of the easement are to be observed. Note that the easement takes precedence over all subsequent registered easement documents. Copies of the easement together with the plan of the Easement can be purchased from the Department of Environment & Resource Management.

8. EXPENDITURE AND COST RECOVERY

Should Powerlink incur costs as a result of the applicant's proposal, all costs shall be recovered from the applicant.

Where Powerlink expects such costs to be in excess of \$10 000.00, advanced payments may be requested.

9. EXPLOSIVES

Blasting within the vicinity (500 metres) of Powerlink infrastructure must comply with AS 2187. Proposed blasting within 100 metres of Powerlink infrastructure must be referred to Powerlink for a detailed assessment.

10. BURNING OFF OR THE LIGHTING OF FIRES

We strongly recommend that fires not be lit or permitted to burn within the transmission line corridor and in the vicinity of any electrical infrastructure placed on the land. Due to safety risks Powerlink's written approval should be sought.

11. GROUND LEVEL VARIATIONS**Overhead Conductors**

Changes in ground level must not reduce statutory ground to conductor clearance distances as prescribed by the Electrical Safety Act 2002 and the Electrical Safety Regulation 2013.

Underground Cables

Any change to the ground level above installed underground cable is not permitted without express written agreement of Powerlink.

12. VEGETATION

Vegetation planted within an easement must not exceed 3.5 metres in height when fully matured. Powerlink reserves the right to remove vegetation to ensure the safe operation of the transmission line and, where necessary, to maintain access to infrastructure.

13. INDEMNITY

Any use of the Easement by the applicant in a way which is not permitted under the easement and which is not strictly in accordance with Powerlink's prior written approval is an unauthorised use. Powerlink is not liable for personal injury or death or for property loss or damage resulting from unauthorized use. If other parties make damage claims against Powerlink as a result of unauthorized use then Powerlink reserves the right to recover those damages from the applicant.

ANNEXURE A – GENERIC REQUIREMENTS**14. INTERFERENCE**

The applicant's attention is drawn to s.230 of the Electricity Act 1994 (the "Act"), which provides that a person must not wilfully, and unlawfully interfere with an electricity entity's works. "Works" are defined in s.12 (1) of the Act. The maximum penalty for breach of s.230 of the Act is a fine equal to 40 penalty units or up to 6 months imprisonment.

15. REMEDIAL ACTION

Should remedial action be necessary by Powerlink as a result of the proposal, the applicant will be liable for all costs incurred.

16. OWNERS USE OF LAND

The owner may use the easement land for any lawful purpose consistent with the terms of the registered easement; the conditions contained herein, the Electrical Safety Act 2002 and the Electrical Safety Regulation 2013.

17. ELECTRIC AND MAGNETIC FIELDS

Electric and Magnetic Fields (EMF) occur everywhere electricity is used (e.g. in homes and offices) as well as where electricity is transported (electricity networks).

Powerlink recognises that there is community interest about Electric and Magnetic Fields. We rely on expert advice on this matter from recognised health authorities in Australia and around the world. In Australia, the Federal Government agency charged with responsibility for regulation of EMFs is the Australian Radiation Protection and Nuclear Safety Agency (ARPANSA). ARPANSA's *Fact Sheet – Magnetic and Electric Fields from Power Lines*, concludes:

"On balance, the scientific evidence does not indicate that exposure to 50Hz EMF's found around the home, the office or near powerlines is a hazard to human health."

Whilst there is no scientifically proven causal link between EMF and human health, Powerlink nevertheless follows an approach of "*prudent avoidance*" in the design and siting of new powerlines. This includes seeking to locate new powerline easements away from houses, schools and other buildings, where it is practical to do so and the added cost is modest.

The level of EMF decreases rapidly with distance from the source. EMF readings at the edge of a typical Powerlink easement are generally similar to those encountered by people in their daily activities at home or at work. And in the case of most Powerlink lines, at about 100 metres from the line, the EMF level is so small that it cannot be measured.

Powerlink is a member of the ENA's EMF Committee that monitors and compiles up-to-date information about EMF on behalf of all electricity network businesses in Australia. This includes subscribing to an international monitoring service that keeps the industry informed about any new developments regarding EMF such as new research studies, literature and research reviews, publications, and conferences.

We encourage community members with an interest in EMF to visit ARPANSA's website: www.arpansa.gov.au Information on EMF is also available on the ENA's website: www.ena.asn.au



ASM-FRM-A3074085

Version: 3.0

Powerlink – Application for Safety Advice - Form

Application for Safety Advice – Form

Important: The *Electrical Safety Regulation 2013* and Powerlink Queensland's *Electrical Safety Rules* require a person intending to undertake an activity that has the potential to come within the *Untrained Exclusion Zone* for live electrical equipment to consult with and seek electrical safety advice from the *Electricity Entity* for the equipment.

Important: This Application for Safety Advice is limited to the **time, scope, equipment, procedure** and **location** advised by the Applicant and will become invalid if there any changes to these details.

Part A - To be completed by Applicant (at least **28 days** before commencement of work)

A.1 – Applicant Details	
Name:	
Email Address:	
Contact Number:	
Application Date:	
A.2 – Site Supervisor Details	
Name:	
Email Address:	
Contact Number:	
A.3 – Company Details	
Name:	
Address:	
A.4 – Work Details	
Project Name: (if applicable)	
Project Number: (if applicable)	
Work Location:	
Start Date:	
End Date:	

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Powerlink – Application for Safety Advice - Form	

Part A - To be completed by Applicant (continued)

A.5 – Work Summary (including activities to be undertaken, type of plant, etc.)

--

A.6 – Site Drawing Reference

Drawing No.	Drawing Title / Description

A.7 – Controls (nominated by Applicant / Site Supervisor)

Control No.	Details of Controls
1	
2	
3	
4	
5	

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Part A - To be completed by Applicant (continued)

A.8 – Electrical Clearances	
Are works within the 6m of any live electrical parts, equipment or conductors?	<input type="checkbox"/> Yes <input type="checkbox"/> No – Proceed to Section A.10

A.9 – Nominated Safety Observers		
<i>Note: If answered 'No' in Section A.8, leave this section blank and proceed to Section A.10</i>		
Name	Company	Expiry Date
Evidence of Safety Observer Training Provided:		<input type="checkbox"/> Yes <input type="checkbox"/> No
<i>Note: A suitably qualified Safety Observer is required for any work within the untrained exclusion zone. Evidence must be provided to ensure all nominated Safety Observers have completed the minimum training requirements to perform this role.</i>		

A.10 – Applicant Acknowledgement			
By signing this application, the Applicant acknowledges that they will <u>not</u> allow the commencement of work for which safety advice is being sought until the following requirements have been met:			
<ul style="list-style-type: none"> • Safety advice is given by a Powerlink Queensland Regional Contact Representative (RCR) • Safety advice has been formally accepted by the nominated site supervisor • A risk assessment has been completed by the Applicant / Site Supervisor to identify likelihood and consequences of breaching the <i>untrained exclusion zone</i> • Adequate controls have been implemented to mitigate the risk of breaching the <i>untrained exclusion zone</i> as low as reasonably practicable. 			
Applicant Signature:		Date:	

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Powerlink – Application for Safety Advice - Form	

Part B - To be completed by Powerlink Queensland Regional Contact Representative

B.4 – Approach Distances & Exclusion Zones

Nominal Voltage (Phase-to-phase)	People (mm)	Operating Plant with Safety Observer (mm)	Operating Vehicle with Safety Observer (mm)	Operating Plant without Safety Observer (mm)	Operating Vehicle without Safety Observer (mm)

B.5 – Safety Advice

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Powerlink – Application for Safety Advice - Form	

Part B - To be completed by Powerlink Queensland Regional Contact Representative

B.6 – Other Control Measures		
Establishment of permanent disconnection point for duration of works	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Auto-reclose disabled for duration of works (i.e. proximity permit)	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Additional Comments:		

B.7 – Regional Contact Representative			
Name:			
Email Address:			
Contact Number:			
Signature:		Date:	

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Powerlink – Application for Safety Advice - Form	

Part C - To be completed by Site Supervisor

C.1 – Understanding of Electrical Safety Principles

I have read and understood the: <ul style="list-style-type: none"> • Electrical Safety Code of Practice 2020 • Electrical Safety Regulation 2013 	<input type="checkbox"/> Yes <input type="checkbox"/> No
--	---

Note: If answered 'Yes' to Section B.2, the following must be completed. Otherwise, proceed to Section C.2.

I have read and understood: <ul style="list-style-type: none"> • Powerlink Queensland's Electrical Safety Rules 	<input type="checkbox"/> Yes <input type="checkbox"/> No
---	---

C.2 – Receiver of Safety Advice Declaration

To the best of my knowledge, I confirm that all details provided within this document are true and correct.

I understand and agree to comply with the electrical safety advice provided by Powerlink Queensland's Regional Contact Representative(s).

I agree to comply with any additional requirements as outlined in the Electrical Safety Act 2002, Electrical Safety Regulation 2013 and Powerlink Queensland's Electrical Safety Rules.

The aforementioned safety advice and any other electrical safety requirements will be included in a site safety management plan and site induction procedures. These requirements will be clearly communicated to all personnel involved in the work activities outlined in this document.

I understand that work shall cease and this safety advice will become void under the following circumstances:

- Change to the scope, timing, location or equipment used for the work activities
- Failure to implement adequate control measures in accordance with the electrical safety advice
- As directed by a Powerlink Queensland Regional Contact Representative

I understand that the electrical safety advice provided by Powerlink Queensland's Regional Contact Representative related only to electrical safety requirements. I acknowledge that it is my responsibility to identify and manage any other health and safety risks associated with the work activities.

C.3 – Site Supervisor

Name:			
Signature:		Date:	

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Department of
Environment and Science

Council Ref: MCU/22/0002

16 December 2023

Mr Peter Franks
Chief Executive Officer
Mareeba Shire Council
PO Box 154
MAREEBA QLD 4870

Email: Info@msc.qld.gov.au
deep@msc.qld.gov.au

Dear Mr Franks

The Queensland Parks and Wildlife Service & Partnerships (QPWS&P) is writing in response to a letter received on 15 November 2023 from Mr Matt Andrejic from Kanjini Co-op Ltd regarding the application for a Material Change of Use – Outdoor Sport and Recreation, Function Facility and Tourist Park over Lot 66 on RP896904, Lot 67 on SP328197 and Lot 68 on SP282408; as QPWS&P is an adjacent landowner.

The proposed development includes a new Camp Site (No.17) to be located close to the boundary of Dinden West Forest Reserve (Emerald Creek) Lot 1 on AP19244. QPWS&P are the owners of this parcel. The proposed camp site will be on the eastern side of the only firebreak between Emerald Creek and Davies Creek road.


Given the fire history and potential for wildfire in this locale, consideration should be given to fire management of all Kanjini Co-op Ltd assets; whereby Kanjini Co-op Ltd should include QPWS&P (as the adjacent landowner) in those considerations for fire management proposals on their estate.

Thank you for allowing QPWS&P to provide third party advice to the proposed development, as suggested by Dee Petersen (Council Planning Technical Support Officer) on 11 December 2023.

Should you require any further information, you may contact Mr Jack Coppinger, Senior Ranger Estate Management, of the Queensland Parks and Wildlife Service & Partnerships on telephone 0407 577 176 or by email at jack.coppinger@des.qld.gov.au.

William McCormack Place II
5b Sheridan Street, Cairns
PO Box 2066
CAIRNS QLD 4870
Telephone 07 4222 5310
Website www.des.qld.gov.au
ABN 46 640 294 485

Yours sincerely

A handwritten signature in blue ink, appearing to be 'M. Brien', written on a light-colored background.

Dr Matthew Brien
**A/Regional Director – Northern
Queensland Parks and Wildlife Service & Partnerships
Department of Environment and Science**

Encl: Attachment 1 – Letter to DES (dated 15 Nov 2023)

From: "Frank Burton" <frkburton@gmail.com>
Sent: Wed, 22 Nov 2023 16:57:29 +1000
To: "Info" <info@msc.qld.gov.au>
Subject: Re: Submission MCU220002
Categories: Added to ECM

Dear Sir,

I wholly support the above submission. Kanjini has always had a policy of sustainability and working with the traditional landowners. This development would be an asset for the Mareeba Shire as a whole, attracting many more visitors to the area.

with kind regards,
Frank

--
Frank Burton
mob: +61 428 224 554 (Australia)
PO Box 230
Kuranda 4881

From: "Mareeba Mountain Goats" <mareebamountaingoats@gmail.com>
Sent: Sun, 26 Nov 2023 13:53:43 +1000
To: "Info" <info@msc.qld.gov.au>
Cc: "Mba Mountain Goats" <mareebamountaingoats@gmail.com>; "Kirsty Soda" <steven.soda74@gmail.com>; "Kim Manning" <kimpmaning67@gmail.com>; "info@kanjini.org" <info@kanjini.org>; "Rudi De Faveri" <rudiandmegan@gmail.com>
Subject: Submission Re: MCU/22/0002
Categories: Chantel;Added to ECM

Dear MSC,

Thank you for allowing the opportunity to provide feedback on the above application.

We have been very fortunate over the years to have developed a strong and collaborative relationship with the management team at Kanjini who has continually supported our clubs Mission Statement and Values. Ultimately this relationship has supported access to the excellent resource and habitat and also allowed us to provide unique opportunities for our club and its associated membership base.

Therefore on behalf of the Mareeba Mountain Goats Inc executive team, I fully support this application.

Kind regards, Rudi De Faveri
Mareeba Mountain Goats Inc
Treasurer

From: "walter bonvecchio" <bonwal2000@yahoo.it>
Sent: Mon, 27 Nov 2023 17:13:53 +1000
To: "Info" <info@msc.qld.gov.au>
Subject: Submission Re: MCU/22/0002
Categories: Added to ECM;Chantel

To whom it may concern.

With the present I would like to strongly support this proposed development. I visited the site in several occasions and it would be a wonderful idea to enhance the facilities for visitors. As far as I know it's the only property in Australia where the positive effect of traditional Aboriginal burning can be observed by campers and it would be fantastic, and very important, to keep this tradition at disposition of the public at large. Last but not least the amazing opportunities enjoyed by birdwatchers and nature lovers.

Kind regards.

Walter Bonvecchio
Via Isarco 16
38121 Trento
Italy.

[Sent from Yahoo Mail on Android](#)

From: "Dennis Hunter" <culture@djabugay.org.au>
Sent: Tue, 28 Nov 2023 09:34:03 +1000
To: "Info" <info@msc.qld.gov.au>
Subject: Submission- Re: MCU/22/0002
Attachments: 20231128085637121.pdf
Categories: Chantel;Added to ECM

Cultural Development Officer
Dennis Hunter
E: culture@djabugay.org.au
M: 0497224882
W: 07 40 938116
A: 1496 Kennedy Hwy, Kuranda
QLD 4881

Document Set ID: 4296344
Version: 1, Version Date: 28/11/2023

**Djabugay**

Tribal Aboriginal Corporation

**Djabugay Tribal Aboriginal Corporation
(ICN 1536) - DTAC**

1496 Kennedy Highway

PO Box 495

Kuranda, 4881, Qld

(07) 4093-8116

Culture@djabugay.org.audjabugay.org.au

28/11/2023.

Submission Re: MCU/22/0002.

To whom it may concern,

On behalf of 'Djabugay Aboriginal Corporation' and the Djabugay Nation speaking people.

I'm in full support to see the redevelopment and the visions of Kanjini putting in new sites and facilities for the expansion of visitors coming to see the beautiful area. Kanjini has always consulted with the TO'S and has a really good relationship with the traditional owners due to all respectful events on shared country with the Bulway and Djabugay peoples. We have supported Kanjini co-op Ltd for a number of years throughout their on ground festivals and would love to see the support of "All" networks coming together to be apart of this journey to make this happen. To have the proposed event function and accomodation facilities on well-managed country will be valuable assets for our shire.

Kind Regards

(Cultural Development Officer)

Dennis Hunter.

M: 0497224882

E: culture@djabugay.org.au

Djumburru Nyiwul

From: "Melinda Nature" <tinytropicalhome@gmail.com>
Sent: Wed, 29 Nov 2023 09:13:35 +1000
To: "Info" <info@msc.qld.gov.au>
Cc: "Melinda Nature" <tinytropicalhome@gmail.com>
Subject: Submission Re: MCU/22/0002
Categories: Chantel;Added to ECM

Hello,

I am writing to make it known that I enthusiastically support the development application:
MCU/22/0002

I live in the shire (Koah) and have spent over 25 years in event and festival production in Europe, America and Australia. An extensive part of event producing is building spaces for large gatherings of people for extended periods of time. I know what it takes to run a safe functional space for masses of people. And because of this work, I have experience and connections to the building industry as well.

For over 10 years I have observed the Kanjini team create quality connections with council whilst developing sound considered pathways to cultural, economic and tourism development for their co-op but also for the region. From cultural burns featured on ABC TV, national events and festivals, local tour operators support, camping, land management...the list is long and is very note worthy. They have supported wild life care not for profits, they are very generous to locals offering affordable if not, free hire and use of the land if needed. They offer great incentives for locals to participate and benefit from the property. And from a wild life perspective care take some of the last lands for endangered species of Australia.

Their care and attention to the land is impressive. I have seen quarter acre blocks in the shire that are struggling with upkeep, but these guys have 2.5k acres in a constant state of beauty, safety and functionality.

A development like this in the region will offer:

- work opportunities to many locals
- economic development instant as well as on-going servicing
- unique accommodation options for visitors
- a wow factor not available at this point in time in our region
- Festival and event space that works with the natural environment rather than extracts from it.

This could be Mareeba shires equivalent to "cape trib" or the "wangetti trail". Infact it could and will accomodate those that come to walk the wangetti trail.

I whole heartedly trust that council can see the almost endless potential and benefits that will spring forth by approving this development.

Regards

Melinda Norris
0400 798 425

Connect with us <https://www.facebook.com/tropicaltiny/>

I pay respect to Elders past, present and emerging, for they hold the memories, traditions and culture of this land.

This e-mail and any attachments to it are confidential and may contain private and legally privileged information. Unless expressly authorised by the sender, you must not use, disseminate, copy or distribute the information in this e-mail. If you are not the intended recipient and/or have received this communication in error, please delete all copies of the e-mail immediately.

From: "Create More" <createmorefuntimes@gmail.com>
Sent: Wed, 29 Nov 2023 09:46:29 +1000
To: "Info" <info@msc.qld.gov.au>
Subject: Support Letter for Submission: MCU/22/0002
Categories: Chantel;Added to ECM

Hello,

I am writing to make it known that I enthusiastically support the development application:
MCU/22/0002

I live in the FNQ region from Mission to Millstream with a good stop in Cairns on the way through. I have also spent over 10 years in event and festival production in the region and around Australia and even as far as Mexico. An extensive part of event production is finding and protecting event venues and Mareeba Shire is in need of these facilities - especially in a secluded and private natural environment.

Please approve this development application.

Regards
Rebecca Scott
www.createmore.com.au

From: "michaelalba88@gmail.com" <michaelalba88@gmail.com>
Sent: Wed, 29 Nov 2023 11:53:25 +1000
To: "Info" <info@msc.qld.gov.au>
Subject: Submission Re: MCU/22/0002
Categories: Chantel;Added to ECM

Mareeba Shire Council,
To whom it may concern,

I am writing to support a Kanjini Development Application.

I have attended many small festivals and workshops at Kanjini and I really appreciate that Kanjini shares this amazing property for these events. The campsites, festivals and workshops bring tourists and visitors to the shire who would not normally visit the North.

Community groups are offered reduced prices for events as was the case when our group held a Healing Weekend there recently.

The yearly burning that is carried out with indigenous organizations is inspiring and is the perfect setting for the fire management workshops that are also held there.

I consider this property ideal for larger festivals and tourist cabin accomodation because of its natural environment, it's large size and distant proximity to neighbours properties. I ask the Mareeba Shire Council to support this development application by imposing minimal conditions.

Yours faithfully,

Lynette Alba.
8 Elsie Close, Mareeba. Ph 0429175328.

Sent from my iPad

From: "scotnpat@bigpond.com" <scotnpat@bigpond.com>
Sent: Sat, 2 Dec 2023 12:38:17 +1000
To: "Info" <info@msc.qld.gov.au>
Subject: development application: MCU/22/0002
Categories: Added to ECM

Hi.

We are writing to make it known that we enthusiastically support the development application: MCU/22/0002

We live in the shire (Mareeba) and have have spent many of those years participating and running events held at Kanjini (Emerald Creek Escape Camping), Svargo and the team at Kanjini are very passionate about looking after country with cultural burns (featured on ABC TV) working closely with Captain Cook University documenting endangered species the likes of the RARE Northern Betong and even RARER Northern Masked Owl.

Kanjini also working closely with council to create economic and tourism development for their co-op but also for the region. With camping, cultural events, festivals, continuous land management and wild life preservation (wallaby sanctuary)

Their passion for custodianship of the land is impressive.They strive for constant state of beauty, safety and functionality. Which isn't a easy task for a property of this size, so having a policy of what you bring in, goes out with you as to further keep the property in a constant state of beauty.

A development like this in the region will offer:

- work opportunities to many locals
- economic development
- unique accomodation options for visitors
- Festival and event space that works with the natural environment

This could be Mareeba shires equivalent to Daintree,s Cape Tribulation and the “Wangetti Trail”.

Kanjini has the capacity and already established camping grounds to accomodate those that come to walk the Wangetti Trail.

The potentials of this property are enormous!

We trust that council can see the endless potential and benefits that will spring forth by approving this development.

Regards
Scott & Patti Hill

Document Set ID: 4298003
Version: 1, Version Date: 04/12/2023

From: "Owen Allen" <owen@phoenixfunctions.com.au>
Sent: Mon, 4 Dec 2023 17:52:46 +1000
To: "Info" <info@msc.qld.gov.au>
Subject: Submission Re: MCU/22/0002
Categories: Added to ECM

Dear Mareeba Regional Council,

I am writing in support of the development application: MCU/22/0002 for the property known as 'Kanjini'

I have been a visitor to Kanjini on several occasions over the past 6 years.

I was in attendance at the Indigenous land management and burning field day for the ABC documentary, Big Weather, and saw first hand the commitment and outcome of land management by the owners of Kanjini.

Kanjini is a vast and beautiful tract of land that will benefited in its management by having an income commensurable to that management. I agree with the Kanjini application that a significant festivals and other events, and environment experience tourist accommodation, service will support the environmental vision of Kanjini both through income and the product content of events an accommodation. There are a number of spin-offs that i see likely from the development, most especially that participants to events and tourists availing accommodation, will come away with an improved education about that part of the natural environment of Mareeba region. And, as noted in the application, environmental maintenance work can be woven into events programs e.g. tree planting, so that the events themselves become an environmental and climate change positive.

I look forward to seeing Kanjini develop as an wild environmental parkland which provides access to outdoor and nature-based activities.

with regards

Owen Allen

Director
Phoenix Functions
Atherton
Qld 4883
Australia
+61 0423430941
LinkedIn - <https://www.linkedin.com/in/owen59/>

You ARE the Betterment of the World

From: "Vicus" <steffensenvictor@gmail.com>
Sent: Thu, 7 Dec 2023 10:59:18 +1000
To: "Info" <info@msc.qld.gov.au>
Subject: Letter of You could maybe share that you and Firesticks have been cooperating with Kanjini Co-Op since about five years to transform this property into a showcase of good fire management, a time-proven practice which helps to minimise weeds, to create ...
Attachments: Kanjini - Letter of support 1223.docx
Categories: Added to ECM

Hi,

Please find a letter of support to assist the submission for Kanjini - Sub No. - MCU/22/0002

Please get in touch if there are any questions or support materials further needed.

Respects,

Victor Steffensen
Firesticks Alliance Indigenous Corporation
Director of Mulong
Ph: 0488 970 003
www.firesticks.org.au
www.mulong.com.au
www.livingknowledgeplace.com.au

07\12\23

Mareeba Shire Council
PO box 154, Mareeba QLD 4880

To whom it may concern:

RE: Support letter for the Kanjini tourism development submission to the Mareeba Shire Council. Case number - MCU/22/0002

I am writing in support of the Kanjini tourism and community event develop proposal within the Mareeba shire district. I have been cooperating with Kanjini Co-Op for five years to assist transform this property into a showcase of good fire and land management. This has contributed to training workshops for the local region assisting traditional rangers, private landholders, National Parks, and Rural fire Service. Kanjini has proven to be a great value to the region in supporting these activities and continues to play that role with many local educational events.

Some of this work has already been documented by various TV programs, for example Australian Story's [Fighting Fire with Fire](#) (part of which was filmed on Kanjini land).

The location of this particular property within one hour of an international airport combined with its 25 square kilometer size makes it a great choice to have national and international events and functions relating to land and fire management. To be able to have Firesticks Alliance alongside local stakeholders for functions on this country is extremely useful. We endeavour to continue to value Kanjini as a place for local educational events and encourage the Mareeba Shire Council to approve this Development Application.

For a personal reference please do not hesitate to contact me at any time on the details below. I wish Kanjini the best of luck through this process for the benefit of the region.

Your Sincerely,

V. Steffensen

Victor Steffensen
Lead Practitioner
Firesticks Alliance
Email - steffensenvictor@gmail.com
PH: 0488 970 003

From: "Bruce Zell" <brucezell@gmail.com>
Sent: Thu, 7 Dec 2023 12:18:22 +1000
To: "Info" <info@msc.qld.gov.au>
Subject: Zell - Submission Re: MCU/22/0002
Categories: Added to ECM

To:
Chief Executive Officer
Mareeba Shire Council
info@msc.qld.gov.au

Submission Re: MCU/22/0002

To Whom it may concern

Along with colleagues I strongly encourage Council to approve this application and its go ahead as soon as possible and with minimal conditions.

I have read the Development Application

I believe this Development Proposal to be of great value to the general public. It is clearly designed not to make a lot of money but to share the benefits of this amazing property with the wider community and to showcase and teach sustainable land management.

This relatively small development on this large and unique property will provide another level of accommodation, space, privacy and choice in support of a wide range of quality functions, meetings, workshops etc. which not only people in the local area can enjoy, but which will attract national and international visitors bringing revenue to the region.

I grew up on a farm in the Central West of NSW born in Gilgandra to a farming family who first settled in the Barossa SA in 1880.

I believed that all fires were bad.

Attending Cultural Burning with Victor Steffenson on Kanjini (Ranger Training in 2019) was a turning point for me in understanding that the right fire regimes are an invaluable land management tool.

Over the years on Kanjini I have observed how cool burns have resulted in the return of Bush Foods, Medicine plants and Natives and a reduction of Invasive Species. And a wildfire this October was hot and damaging until it came to Kanjini land where due to years of cultural burning it lost its intensity and took days to creep about 7km uphill, showing the importance of this type of burning for the wider community. Kanjini is an ideal place to teach these practices to

locals and national visitors.

To this end the event, functions and additional accommodation options will be very useful and help to make Mareeba a focal point of sustainable land management.

It is these types of very unique niche opportunities which the Kanjini Co-op plans to host, that make the difference of exceptional value to the local community and to people who travel from other areas.

I have been a regular visitor to Kanjini and have known Svargo for over 40 years and Kanjini Directors for a long time

He is a very grounded, generous, efficient and committed human being of high integrity.

Yours Sincerely
Bruce Zell
ZELL and Associates
Kamerunga Cairns

From: "Rudekat" <rudekatrecords@gmail.com>
Sent: Thu, 7 Dec 2023 20:43:43 +1000
To: "Info" <info@msc.qld.gov.au>; "Svargo Freitag" <info@kanjini.org>; "prahlada prana" <prhlad@gmail.com>
Subject: Submission Re: MCU/22/0002
Attachments: studiofrockled-k-roots22-145.jpg, studiofrockled-k-roots22-48.jpg
Categories: Added to ECM;Chantel

To whom it may concern,

On behalf of the annual Kuranda Roots Festival organising team, I would like to communicate our full support for Kanjini's current Development Application submission to Mareeba Council.

We fully support Kanjini's ongoing vision which encompasses Eco-tourism, Care for Country and Community and grassroots events. Kanjini is a spectacular tract of land with high natural and cultural significance - it is a huge plus for the community to have access to this wonderful land via camping, events and cultural land management practises.

Kuranda Roots has partnered with Kanjini for 3 years to host the annual Kuranda Roots festival, where we attract up to 1200 people to Mareeba Shire as well as showcase over 50 acts from FNQ and abroad. The Kanjini site is absolutely integral to the healthy lifestyle, all ages, music and cultural camp-out experience we are promoting.

We wish to continue creating community events at Kanjini into the future and we hope you will look favourably at their submission,

warm regards

Morgyn Quinn, William Johnston, Prahlada Cave and the Kuranda Roots team.

--



Morgyn Quinn
Managing Director
RudeKat Records//Island Vibe Festival//Kuranda Roots//
(T) +61 (0) 432 986 748

rudekatrecords@gmail.com
www.islandvibe.com.au
www.kurandaroots.com
<http://rudekatrecords.theshirtmill.com.au>

Document Set ID: 4299578
Version: 1, Version Date: 08/12/2023



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Mareeba Shire Council
 P.O. Box 154,
 Mareeba, 4880



Date

Re **MCU/22/0002**

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department

This application states that by stage 4 there will be up to 12,000 persons per annum at events and functions with no single event/function hosting more than 2,000 persons at the function/event facility.

As a ratepayer and resident on Kay Road, I state the following concerns:

- Volume of traffic on Kay Road in short timeframes for example: the start or finish of an event/function.
- The noise of this traffic during the evening and early morning as people leave the event/function, when most residents are sleeping.
- The excessive dust created and hazardous driving as driver visibility is reduced on the gravel road.
- Deterioration of the gravel road and the shoulders of the bitumen from excessive traffic during the wet.
- The road is not wide enough for two cars to pass safely causing hazards.
- Clearing and removal of vegetation which impacts the environment and local wildlife habitat.

As a Material Change of Use, whilst the application projects a strong environmental statement, this is essentially a **commercial application**.

Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	NEY J.E
Address	251 KAY ROAD MAREEBA
Phone No/Email	40933336
Signature	J. E. Ney

Councillors to call.

The Planning Committee will put forward a recommendation and the councillors will vote on the recommendation. We need to lobby the Councillors as well as present documentation to the Planning Department.

This will be in early 2024.

Councillor Danny Bird	0467 304 744
Councillor Mary Graham	0488 393 351
Councillor Mario Mlikota	0428 402 015
Councillor Lenore Wyatt	0447 757 336
Deputy Mayor Kevin Davies	0400 490 493
Mayor Angela Toppin	4086 4659
Councillor Lachlan Bensted	Will be excluded from voting due to proximity of family property

If I can help in any way:

Hazel Bensted 0457 933037

Freshwater Planning Pty Ltd can clarify that the 'The Proposed Development' section of the Development Application nominates the Events and Functions are based upon a per annum figure and not per individual Event or Function. Further, the proposed size of the Function Facility will not allow for more than 300 guests and the available space at both event sites will not allow for any more than 2,000 guests at any single event. Attached to the Response to Information Request is a Proposed Events and Functions Letter as provided by Kanjini Co-Op Limited reaffirming this. In addition to this, for further clarity, please see below:

Page
9

Stage 1 – Tourist Park, Events (Outdoor Sport and Recreation)

Camping Areas – four (4) new sites - camps 15-18
 RV/Caravan Area – five (5) new RV sites
 Events (Outdoor Sport and Recreation) – up to 2,000 persons per annum (existing Lake-side Day Area and Camping Area 2 with no single event hosting more than 1,500 guests)
 Manager’s Residence
 Additional Amenities (Toilets/Showers)

Stage 2 – Tourist Park, Events (Outdoor Sport and Recreation)

Camping Areas – two (2) additional new sites - camps 19-20
 RV/Caravan Area – five (5) additional new RV sites
 Tourist Cabin Area – three (3) new Cabins
 Events (Outdoor Sport and Recreation) – up to 3,500 persons [+1,500] per annum (existing Lakeside Day Area and Camping Area 2 with no single event hosting more than 1,500 guests)
 Additional Amenities (Toilets/Showers)

Stage 3 – Tourist Park, Events (Outdoor Sport and Recreation and Function Facility)

Tourist Cabin Area – five (5) additional new Cabins
 Events (Outdoor Sport and Recreation) and Functions (Function Facility) – up to 6,000 persons [+2,500] per annum (existing Lakeside Day Area and Camping Area 2 with no single event hosting more than 2,000 guests)
 Function Facility – This Building encompasses approximately 300 m² and parking.

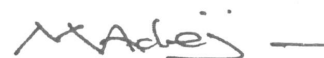
Stage 4 – Events (Outdoor Sport and Recreation and Function Facility)

Events (Outdoor Sport and Recreation) and Functions (Function Facility) – up to 12,000 persons [+6,000] per annum (existing Lakeside Day Area and Camping Area 2 with no single event hosting more than 2,000 guests)

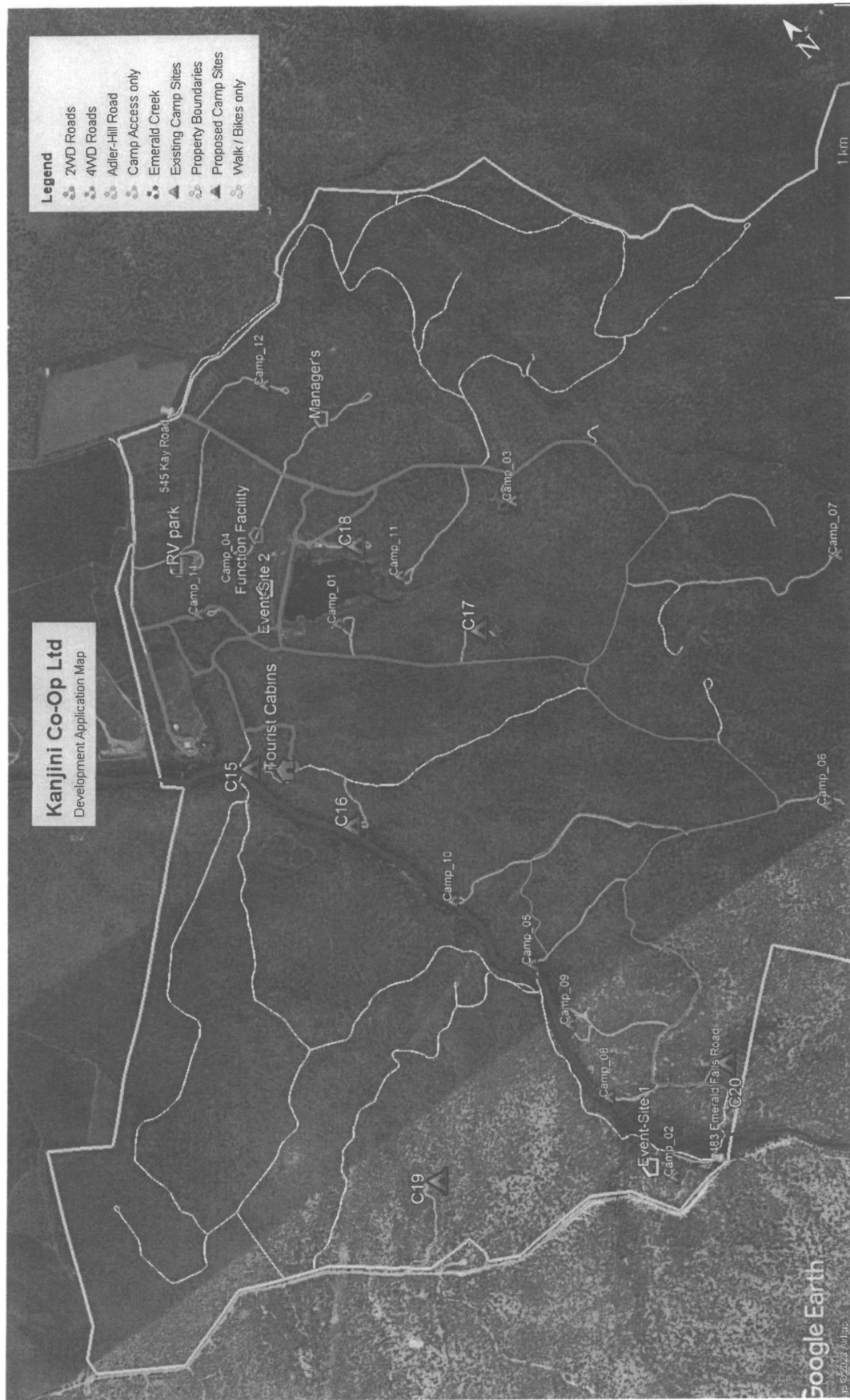
The previous Educational Establishment Facility Building will now only be provided as a Function Facility within Stage 3 and will consist of an approximate building of 300 m² and a Parking Area.

This completes this Response to the Information Request. Please do not hesitate to contact me, in the first instance, should you require further information in relation to the matter.

Yours faithfully,



MATTHEW ANDREJIC
FRESHWATER PLANNING PTY LTD



Kanjini Co-Op Ltd
Development Application Map

Document Set ID: 4299769
Version: 1, Version Date: 08/12/2023

08/12/23

MCU/22/0002

Mareeba Shire Council, Planning Department

Project Manager, Planning Officer Carl Ewin

Coordinator Planning Services Brian Millard



This folder details the response to the MCU/22/0002 application for material change of use from Kanjini Co-op. The first section has been completed by members of my family. The second section has been completed by Kay Road ratepayers, residents and those whose homes are adjacent to Kay Road. All of the above object to the development proposal MCU/22/0002 from the Kanjini Co-op Ltd.

The property, known as Adler Hill prior to the Kanjini purchase, is a historic rural landmark in the Mareeba District. This development proposal will change the amenity of this property significantly.

Kay Road is already at capacity with the Howe Farming banana and avocado workers commute, the transportation of produce from this farm, in addition to the smaller farm businesses also on Kay Road. It is a road which has frequent livestock (cattle and horses) movement by several residents.

It is a school bus route. If a vehicle is at the junction of Kay Road and the Kennedy Highway waiting to turn east or west, the school bus on the morning run, must pull to a halt on the Highway where there is no turn off lane, until the vehicle moves on. There is no room for the bus to negotiate the turn without taking the entire road. The situation is very unsafe in a 100km zone.

This proposal offers no intent to upgrade Kay Road. With a projection of up to 2000 people at any single event, the road will be significantly above capacity. It will increase significantly the danger for the residents, ratepayers and workers to go about their daily business.

This property is owned by a Co-op. No one in the Co-op lives on the property. They aren't interested in becoming part of the fabric of our community. This proposal is a commercial application to make money, masked by an environmental overlay.

I urge you to consider that this historical grazing property will be changed forever. The proposal can be likened to a smaller version of a music event such as 'Savannah in the Round'. Would you enjoy this proposal on the neighbouring property to yours?

Regards

Hazel Bensted

487 Kay Road

Mareeba

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 08/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department

Our family will lose the peace and enjoyment of our property which has been owned by the family for 23 years if this application is approved.

- Large gatherings of people create noise.
- Activities to occupy and entertain people create noise.
- Congregated vehicle numbers create noise with arrival and departure times within a short time frame.

We object to the proposal with consideration to the following:

This application states that by stage 4 there will be up to 12,000 persons per annum at events and functions, with no single event/function hosting more than 2,000 persons at the function/event facility. Within the proposal there will also be a RV Tourist Park.

1. **The junction of Kay Road to the Kennedy Highway is inadequate for large numbers of vehicles.** There is no pull-off lane from Cairns. Cars with caravans turning into Kay Road will create a dangerous, hazardous situation for all road users. Currently B Doubles cannot negotiate the first corner on Kay Road without going over the white line. The morning school bus turning left onto Kay Road takes the entire road to get off the highway.
2. **Kay Road is a country road for residents to access their properties.** Road drivers navigate blind crests, tight bends, gravel road, drivers on the wrong side of the road, a tight corner on gravel road where there have been at least two rollovers by residents who know the road and the conditions and many near misses in blind spots. It is not a road which can cater for travel to events where there are up to 2000 people in attendance. There are many sections of the road where it is hazardous for 2 vehicles to pass safely if speed is involved. There will be travel on the road when an event finishes with large volumes of vehicles late into the evening or early morning. Our homes should be the place to enjoy a peaceful sleep environment. A Traffic Event Management Plan will not address this situation.
3. **The proposed development is within a kilometre of our homes.** From the edge of the dam to our boundary fence is 690 metres. The proposed function facility and event site are located within this distance. The proposal is that at any one point of time up to 2000 people will be on site. A property boundary or fence line will not stop the environmental impact on our property. Noise over a prolonged period of time (eg a week long event and well into the night), dust from high density road use, which will also reduce visibility for drivers unfamiliar with the road, drivers who have no experience driving a dirt road, deterioration of the road which is essential to our farming business. People leaving events intoxicated or drug driving will create a major risk for the ratepayers and residents on Kay Road.

- 4. **Large gatherings require sanitation and waste disposal.** This will impact the underground aquifers. Our property is dependant on our bores to supply all our domestic and stock waters. Underground aquifers are not contained within property boundaries and it is quite likely that leaching particularly during the wet and extreme weather events will occur with wastes from sanitary and waste disposal.
- 5. **Roots Festival** The development proposal states that they did not receive any complaints about the Roots Festival held on Emerald Falls Road. I estimate the nearest residential neighbour to be two kilometres distant in the Emerald Falls area. Our homes are within a kilometre of this proposal.
- 6. **Rural Zone Code**-the proposed development does not meet PO6 and PO7 in regard to noise, hours of operation, traffic.

As a Material Change of Use, whilst the application projects a strong environmental statement, this is essentially a commercial application.

Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Hazel Bensted	
Address	487 Kay Road Arareka	
Phone No/Email	0457 933 031	hazel .bensted@gmail.com
Signature	Bensted	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 7/12/2023

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department

Our family will lose the peace and enjoyment of our property which has been owned by the family for 23 years if this application is approved.

- Large gatherings of people create noise.
- Activities to occupy and entertain people create noise.
- Congregated vehicle numbers create noise with arrival and departure times within a short time frame.

We object to the proposal with consideration to the following:


This application states that by stage 4 there will be up to 12,000 persons per annum at events and functions, with no single event/function hosting more than 2,000 persons at the function/event facility. Within the proposal there will also be a RV Tourist Park.

1. **The junction of Kay Road to the Kennedy Highway is inadequate for large numbers of vehicles.** There is no pull-off lane from Cairns. Cars with caravans turning into Kay Road will create a dangerous, hazardous situation for all road users. Currently B Doubles cannot negotiate the first corner on Kay Road without going over the white line. The morning school bus turning left onto Kay Road takes the entire road to get off the highway.
2. **Kay Road is a country road for residents to access their properties.** Road drivers navigate blind crests, tight bends, gravel road, drivers on the wrong side of the road, a tight corner on gravel road where there have been at least two rollovers by residents who know the road and the conditions and many near misses in blind spots. It is not a road which can cater for travel to events where there are up to 2000 people in attendance. There are many sections of the road where it is hazardous for 2 vehicles to pass safely if speed is involved. There will be travel on the road when an event finishes with large volumes of vehicles late into the evening or early morning. Our homes should be the place to enjoy a peaceful sleep environment. A Traffic Event Management Plan will not address this situation.
3. **The proposed development is within a kilometre of our homes.** From the edge of the dam to our boundary fence is 690 metres. The proposed function facility and event site are located within this distance. The proposal is that at any one point of time up to 2000 people will be on site. A property boundary or fence line will not stop the environmental impact on our property. Noise over a prolonged period of time (eg a week long event and well into the night), dust from high density road use, which will also reduce visibility for drivers unfamiliar with the road, drivers who have no experience driving a dirt road, deterioration of the road which is essential to our farming business. People leaving events intoxicated or drug driving will create a major risk for the ratepayers and residents on Kay Road.

- 4. **Large gatherings require sanitation and waste disposal.** This will impact the underground aquifers. Our property is dependant on our bores to supply all our domestic and stock waters. Underground aquifers are not contained within property boundaries and it is quite likely that leaching particularly during the wet and extreme weather events will occur with wastes from sanitary and waste disposal.
- 5. **Roots Festival** The development proposal states that they did not receive any complaints about the Roots Festival held on Emerald Falls Road. I estimate the nearest residential neighbour to be two kilometres distant in the Emerald Falls area. Our homes are within a kilometre of this proposal.
- 6. **Rural Zone Code**-the proposed development does not meet PO6 and PO7 in regard to noise, hours of operation, traffic.

As a Material Change of Use, whilst the application projects a strong environmental statement, this is essentially a commercial application.

Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Sarah Bensted
Address	487 Kay Road, Maveeba Qld 4880
Phone No/Email	0429 095 018 / sarah-bensted_95@hotmail.com
Signature	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 07/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Jonathon Bensted
Address	487 Kay Road, Mareeba
Phone No/Email	0408 308568
Signature	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 07/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Courtney Stephenson
Address	487 Kay Road, Mareeba
Phone No/Email	0417564739
Signature	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 6.12.23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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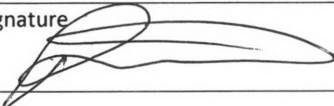
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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Phil & Alana Bensted
Address	Lot 487 Kay Rd
Phone No/Email	0429 097 103 pak.ag.co@outlook.com
Signature	 of Bensted

Mareeba Shire Council
P.O. Box 154,
Mareeba, 4880



Date 01.12.23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department

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As a Material Change of Use, whilst the application projects a strong environmental statement, this is essentially a **commercial application**.

Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	NEY J.E
Address	251 KAY ROAD MAREEBA
Phone No/Email	40933336
Signature	J E NEY

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 7-12-23.

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Dave Srhoj.
Address	60 Kay road
Phone No/Email	0408182644.
Signature	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 7-12-23.

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Max Sohos.
Address	60 Kay road.
Phone No/Email	
Signature	M. Sohos.

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 07/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	WAYNE Schoj
Address	100 EAST SABIN RD
Phone No/Email	0408459190 / wschoj@hotmail.com
Signature	<i>Wayne Schoj</i>

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 01/12/23

Re MCU/22/0002

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	DENISE SRHOJ
Address	60 KAY ROAD MAREEBA 4880
Phone No/Email	0418188178 srhojdm@bigpond.com
Signature	Denise Srhoj

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 07/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department

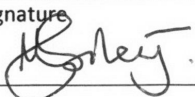
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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	MEGAN SRHOS
Address	100 EAST SABIN RD
Phone No/Email	043222 8629 megsie89@hotmail.com
Signature	

Mareeba Shire Council
P.O. Box 154,
Mareeba, 4880

Date 01/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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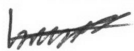
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- Clearing and removal of vegetation which impacts the environment and local wildlife habitat.
- Potential impacts on Emerald Cr water quality.

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Bevan Sanders
Address	322 Kay Road
Phone No/Email	0468928587
Signature	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 07/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Mami Oyama
Address	322 Kay Rd
Phone No/Email	mami008003@gmail.com
Signature	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 07/12/23

Re MCU/22/0002

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	LUKE ANTEQUERA
Address	224 kg RD EMERALD CK
Phone No/Email	0415258517
Signature	Luke Antequera

Mareeba Shire Council
P.O. Box 154,
Mareeba, 4880

Date 08/12/23

Re MCU/22/0002

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	NARELLA ANTEQUERA
Address	224 KAY RD EMERALD CK
Phone No/Email	0415258 517
Signature	<i>N Antequera</i>

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 6.12.23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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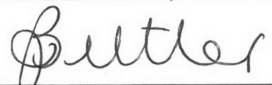
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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Des & Joanne Butler
Address	208 Kay Road, Mareeba Q 4880
Phone No/Email	des-jo@bigpond-com 0409922615 0428451207
Signature	 

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 06/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department

This application states that by stage 4 there will be up to 12,000 persons per annum at events and functions with no single event/function hosting more than 2,000 persons at the function/event facility.

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	JACOB COOPER	
Address	322 Kay Rd. Mareeba. 4880	
Phone No/Email	0438 629 691	jillngrunt@gmail.com
Signature	J. Cooper	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 04/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department

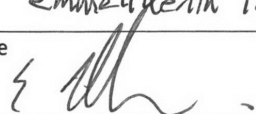
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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Emmett Kerlin.
Address	452 Kay Rd Mareeba 4880
Phone No/Email	emmettkerlin72@gmail.com
Signature	

Mareeba Shire Council
P.O. Box 154,
Mareeba, 4880

Date 07/21/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department

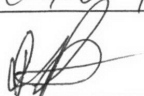
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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	David Fittock
Address	93 Kay Rd. Mareeba
Phone No/Email	0457 933108
Signature	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 1/12/23.

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Kim Burns
Address	219 KAY ROAD.
Phone No/Email	0439 633076
Signature	<i>Kim Burns</i>

Mareeba Shire Council
P.O. Box 154,
Mareeba, 4880

Date 4/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department

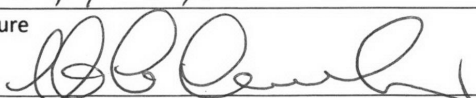
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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	ALLEN CRANSWICK.
Address	143 KAY RD.
Phone No/Email	0427938911 ALLENCRANSWICK@GMAIL.COM
Signature	

Mareeba Shire Council
P.O. Box 154,
Mareeba, 4880

Date 06/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department


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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	JOHN MC DOWALL
Address	63 ROHLISON DRIVE. KAY ROAD
Phone No/Email	0447603229 JOHN.MCDOWALL1956@ICLOUD.COM
Signature	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 05/12/2023

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department


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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Tara Redham
Address	59 Kay road
Phone No/Email	0477176873
Signature	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 05/12/2023

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

Attention Mareeba Shire Council Councillors and the Planning Department


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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	MARNIE PELKHAM
Address	59 KAY RD MAREEBA (Lot 11)
Phone No/Email	04 21 49 03 42
Signature	

Mareeba Shire Council
P.O. Box 154,
Mareeba, 4880

Date 05/12/2023

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	KAREN PECKHAM
Address	Lot 11, or 59 Kay Road
Phone No/Email	
Signature	

Mareeba Shire Council

P.O. Box 154,

Mareeba, 4880

Date 5-12-23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	ADAM & DIANA SPIENA
Address	128 KAY ROAD .
Phone No/Email	40 933 237
Signature	

Mareeba Shire Council
P.O. Box 154,
Mareeba, 4880

Date 05/12/23

Re MCU/22/0002

Application for a Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works

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Objection to Material Change of Use-Outdoor Sport and Recreation, Function Facility, Tourist Park and Operational Works as follows:

Name	Janice + Brian HERBOTH
Address	3823 KENNEDY H'WAY MAREEBA
Phone No/Email	0407601166 Email harbo21@bigpond.com
Signature	J. H. Herboth

8.2 R & M PATANE - MATERIAL CHANGE OF USE - TOURIST PARK (UP TO 74 PERSONS MAXIMUM) - LOTS 1, 2 & 3 ON SP311305 AND LOT 4 ON NR3750 - 49 FICHERA ROAD, MAREEBA - MCU/23/0021

Date Prepared: 10 June 2024
Author: Coordinator Planning Services
Attachments: 1. [Proposal Plans](#) ↓
 2. [Submissions](#) ↓

APPLICATION DETAILS

APPLICATION		PREMISES	
APPLICANT	R & M Patane	ADDRESS	49 Fichera Road, Mareeba
DATE LODGED	5 October 2023	RPD	Lots 1, 2 & 3 on SP311305 and Lot 4 on NR3750
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Material Change of Use – Tourist Park (up to 74 persons maximum)		
FILE NO	MCU/23/0021	AREA	Lot 1 – 4.228 ha Lot 2 – 3.057 ha Lot 3 – 19.06 ha Lot 4 – 41.275 ha
LODGED BY	Freshwater Planning Pty Ltd	OWNER	R & M Patane
PLANNING SCHEME	Mareeba Shire Council Planning Scheme 2016		
ZONE	Rural zone		
LEVEL OF ASSESSMENT	Impact Assessment		
SUBMISSIONS	Six (6)		

EXECUTIVE SUMMARY

Council is in receipt of a development application described in the above application details.

The application is impact assessable and six (6) properly made submissions were received in response to public notification of the application.

The application and supporting material has been assessed against the Mareeba Shire Council Planning Scheme 2016 and does not conflict with any relevant planning instrument.

The key issue of the proposed development is the safe management of traffic on Fichera Road between Tinaroo Creek Road and the site accesses. It is proposed that a RPEQ certified Road Safety Assessment be prepared and any identified safety issues be resolved by the applicant prior to the commencement of the tourist park use.

Draft conditions were provided to the Applicant / care of their consultant and have been agreed.

It is recommended that the application be approved in full with conditions.

OFFICER’S RECOMMENDATION

1. That in relation to the following development application:

APPLICATION		PREMISES	
APPLICANT	R & M Patane	ADDRESS	49 Fichera Road, Mareeba
DATE LODGED	5 October 2023	RPD	Lots 1, 2 & 3 on SP311305 and Lot 4 on NR3750
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Material Change of Use – Tourist Park (up to 74 persons maximum)		

and in accordance with the Planning Act 2016, the applicant be notified that the application for a development permit for the development specified in (A) is:

Approved by Council in accordance with the approved plans/documents listed in (B), subject to assessment manager conditions in (C), assessment manager’s advice in (D), relevant period in (E), further permits in (F), and further approvals from Council listed in (G);

And

The assessment manager does not consider that the assessment manager’s decision conflicts with a relevant instrument.

- (A) APPROVED DEVELOPMENT: Development Permit for Material Change of Use – Tourist Park (up to 74 persons maximum)

- (B) APPROVED PLANS:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
0744 DA01 C	Proposed Overall Site	Gregory G Terzi	06/12/2023
0744 DA02 C	Site-1/B	Gregory G Terzi	06/12/2023
0744 DA03 B	Site-2/A, -2/B and Site 3	Gregory G Terzi	06/12/2023
0744 DA04 C	Site-4	Gregory G Terzi	06/12/2023

- (C) ASSESSMENT MANAGER’S CONDITIONS (COUNCIL)

- (a) Development assessable against the Planning Scheme

1. Development must be carried out generally in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, subject to any alterations:

- found necessary by Council's delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
- to ensure compliance with the following conditions of approval.

2. Timing of Effect

- 2.1 The conditions of the development permit must be complied with to the satisfaction of Council's delegated officer prior to the commencement of the use except where specified otherwise in these conditions of approval.
- 2.2 Prior to the commencement of use, the applicant must notify Council that all the conditions of the development permit have been complied with, except where specified otherwise in these conditions of approval.

3. General

- 3.1 The applicant is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.
- 3.2 All payments or bonds required to be made to the Council pursuant to any condition of this approval must be made prior to commencement of the use and at the rate applicable at the time of payment.
- 3.3 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.

3.4 Waste Management

The applicant shall ensure there is no on site disposal of refuse associated with the approved use unless such refuse is disposed of in refuse bins provided in accordance with the following:

- (i) No refuse is to be stored on site outside the refuse bins at any time.
- (ii) An on-site refuse storage area for all refuse bins must be provided and be screened from view from adjoining properties and road reserve by a 1 metre wide landscaped screening buffer, 1.8m high solid fence or building.

Lids or coverings must be installed on all refuse storage bins when not in use to prevent wildlife scavenging.

3.5 Emissions

Emissions associated with the development must not cause an 'environmental nuisance' within the meaning of the *Environmental Protection Act (1994)* to any sensitive receptor.

Tourist Park guests are not permitted to play amplified music of any kind.

3.6 Bushfire Management

3.6.1 A Bushfire Management Plan, incorporating evacuation procedures, campfire guidelines and fire break/trail maintenance for the campground must be prepared to the satisfaction of Council's delegated officer. The approved use must comply with the requirements of the Management Plan at all times.

3.6.2 The applicant must ensure any open fires are appropriately managed and contained.

3.7 A site manager/s must be present on-site at all times to ensure compliance with these conditions of approval.

3.8 Signage

3.8.1 No more than 1 advertising sign for the approved development is permitted on the subject site.

3.8.2 The sign must not exceed a maximum sign face area of 6m² and must not move, revolve, strobe or flash.

3.8.3 The sign must be kept clean, in good order and safe repair for the life of the approval.

3.8.4 The sign must be removed when no longer required.

3.8.5 The erection and use of the advertisement must comply with the Building Act and all other relevant Acts, Regulations and these approval conditions.

3.9 The campground shall not accommodate more than 74 persons at any time.

Upon request, booking records must be made available to Council demonstrating compliance with this condition.

3.10 The maximum length of stay for any self-contained campers must not exceed seven (7) consecutive days.

4. Infrastructure Services and Standards

4.1 Access Crossover

All access crossovers used for this development must be upgraded/constructed/maintained (from the edge of Fichera Road to the property boundary) in accordance with FNQROC Development Manual standards, to the satisfaction of Council's delegated officer.

4.2 Road Safety Assessment

A Road Safety Assessment must be undertaken by a suitably qualified RPEQ that identifies safety risks for vehicles using:

- Fichera Road (between Tinaroo Creek Road and the access into Camping Site 1/B).

The road safety assessment/s must be consider (but not be limited to) the following:

- (i) Road geometry (horizontal & vertical).
- (ii) Carriageway width (pavement, seal and shoulders) – ability for opposing traffic to safely pass each other.
- (iii) Vehicle sightlines.
- (iv) Intersection treatments.
- (v) Approaches to the Fichera Road Tinaroo Creek bridge.
- (vi) Other roadside hazards.

The road safety assessment must provide recommendations on practical treatments to reduce the risk of any hazards to acceptable levels (e.g. localised pavement widening, signage, line marking, road edge delineation etc.). The road safety assessment must be submitted to Council for review and agreed works must be undertaken by the applicant at no cost to Council, prior to the commencement of the use.

The value (as agreed by Council's delegated officer) of the agreed works undertaken by the applicant shall be credited against the adopted infrastructure charge payable for this development.

The abovementioned works must be approved by Council as part of a subsequent application for operational works.

4.3 Stormwater Drainage/Water Quality

4.3.1 The applicant/developer must take all necessary steps to ensure a non-worsening effect on surrounding land as a consequence of the development.

4.3.2 All stormwater drainage must be discharged to an approved legal point of discharge.

4.4 Car Parking/Internal Driveways

4.4.1 The applicant/developer must ensure that the development is provided with sufficient on-site car parking. No parking of vehicles associated with the development is permitted to occur outside the property boundary or within road reserve.

4.4.2 All car parking spaces, and trafficable areas must be surface treated with gravel or maintained with an intact grass cover so as to minimise erosion and must be appropriately drained prior to the commencement of the use, to the satisfaction of Council's delegated officer.

4.4.3 All parking spaces and trafficable areas must be maintained in good order and safe repair for the life of the development, to the satisfaction of Council's delegated officer.

A sign must be erected in proximity to the access driveway indicating the availability of on-site parking.

4.5 Non-Reticulated Water Supply

All non-potable water supplied to campground visitors must be clearly labelled at each tap - Non Potable Water - not safe for Human Consumption.

In the event that the campground is provided with a potable water supply, it must be treated so as to be potable (safe for drinking in accordance with National Health Medical Research Guidelines).

4.6 On-Site Wastewater Management

4.6.1 No black or grey water from any campground guest is to be discharged on site.

4.6.2 Any accidental discharge of black or grey water on site must be reported to Council immediately.

4.6.3 Should permanent ablutions facilities be constructed onsite, all on site wastewater disposal associated with these facilities must be in compliance with the latest version of On-Site Domestic Wastewater Management Standard (ASNZ1547) to the satisfaction of the Council's delegated officer.

4.6.4 Any on-site wastewater treatment system with a total daily peak design capacity of at least 21 equivalent persons (EP) is an Environmentally Relevant Activity (ERA 63 - Sewerage Treatment) and an Environmental Authority is required.

4.7 Lighting

Lighting associated with the development must be set up to minimise light spillage and not cause nuisance to any neighbouring property. Where permanent outdoor lighting is proposed, the developer shall locate, design and install lighting in order to prevent the potential for light spillage to cause nuisance to neighbours and must be provided in accordance with Australian Standard 1158.1 – Lighting for Roads and Public Spaces.

Illumination resulting from direct, reflected or other incidental light emanating from the subject land does not exceed eight (8) lux when measured at any point

1.5m outside the property boundary of the subject site. The lighting fixtures installed on site must meet appropriate lux levels as documented within Australian Standard 4282 – Control of the Obtrusive Effects of Outdoor Lighting.

(D) ASSESSMENT MANAGER'S ADVICE

- (a) An Adopted Infrastructure Charges Notice has been issued with respect to the approved development. The Adopted Infrastructure Charges Notice details the type of infrastructure charge/s, the amount of the charge/s and when the charge/s are payable.
- (b) The Adopted Infrastructure Charges Notice does not include all charges or payments that are payable with respect to the approved development. A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.
- (c) The change in the use of the building may also require a change in the classification of the building under the Building Act. You are advised to contact a Building Certifier to establish if a change in the classification of the building is required.
- (d) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

- (e) Compliance with Acts and Regulations

The erection and use of the building must comply with the Building Act and all other relevant Acts, Regulations and Laws, and these approval conditions.

- (f) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.dcceew.gov.au.

- (g) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the "cultural heritage duty of care"). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from www.dsdsatsip.qld.gov.au.

(h) Motor Home Park/Caravan Park/Camping Ground

The applicant is advised that an application to Council for approval to operate under Council *Local Law No 1 (Administration) 2018* is required prior to the commencement of the motor home park/caravan park/camping ground.

(i) Electric Ants

Electric ants are designated as restricted biosecurity matter under the *Biosecurity Act 2014*.

Certain restrictions and obligations are placed on persons dealing with electric ant carriers within the electric ant restricted zone. Movement restrictions apply in accordance with Sections 74–77 of the *Biosecurity Regulation 2016*. Penalties may be imposed on movement of electric ant carriers and electric ants in contravention of the legislated restrictions. It is the responsibility of the applicant to check if the nominated property lies within a restricted zone.

All persons within and outside the electric ant biosecurity zone have an obligation (a **general biosecurity obligation**) to manage biosecurity risks and threats that are under their control, they know about, or they are expected to know about. Penalties may apply for failure to comply with a general biosecurity obligation.

For more information please visit the electric ant website at [Electric ants in Queensland | Business Queensland](#) or contact Biosecurity Queensland 13 25 23.

(E) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Material Change of Use – six (6) years (starting the day the approval takes effect).

(F) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

- Development Permit for Operational Works (Dependent on Road Safety Assessment)

(G) OTHER APPROVALS REQUIRED FROM COUNCIL

- Access approval arising from condition number 4.1 (Please contact Planning Section to obtain application form and applicable fee)

2. That an Adopted Infrastructure Charges Notice be issued for the following infrastructure charge/s for:

Development Type	Rate	Measure	Charge	Credit Detail	Balance
	per 10 vpd	vpd			
Tourist Park	\$5,452.00	1.12	\$6,106.00	Nil	\$6,106.00
TOTAL CURRENT AMOUNT OF CHARGE					\$6,106.00

THE SITE

The site is located at 49 Fichera Road, Mareeba and encompasses four (4) freehold allotments with a combined area of 67.62 hectares.

The particular details of the lots are as follows:

- Lot 1 on SP311305, area of 3.057 hectares, frontage of approximately 193 metres to Fichera Road;
- Lot 2 on SP311305, area of 4.228 hectares, frontage of approximately 35 metres to Fichera Road;
- Lot 3 on SP311305, area of 20.973 hectares, frontage of approximately 845 metres to Fichera Road; and
- Lot 4 on NR3750, area of 41.275 hectares, frontage of approximately one (1) kilometre to Fichera Road.

The site is improved by several dwelling houses, multiple farm worker accommodation buildings and numerous farm sheds, most of which are sited in a large cluster at the northern end of the site within Lots 1 and 2. The exception to this is a recently constructed packing shed within Lot 4.

Approximately 25 hectares of the site is planted with fruit trees and the site continues to be actively farmed. A further 20-30 hectares of the site remains covered in remnant vegetation.

Access to the site is obtained off Fichera Road via a single bitumen sealed access and multiple unsealed farm crossovers. Fichera Road is formed to a bitumen sealed standard for the entire frontage of the site.

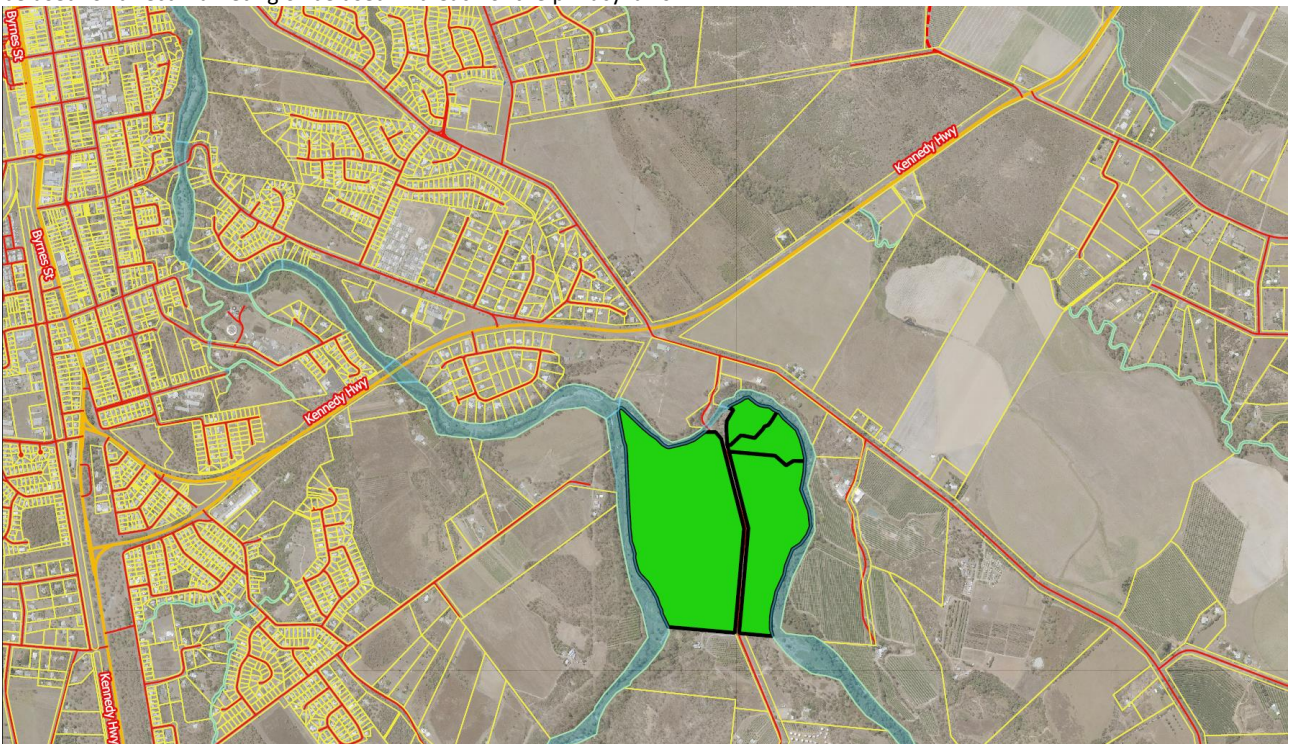
All lots have extensive frontage to Tinaroo Creek and Lot 4 also has extensive frontage to the Barron River.

All surrounding lots are zoned Rural, varying in size and use with some being small rural lifestyle allotments and others being larger rural holdings containing established orchards and other cropping activities.



Map Disclaimer:

Based on or contains data provided by the State of Queensland (Department of Environment and Resource Management) (2009). In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.



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BACKGROUND AND CONTEXT

Nil

PREVIOUS APPLICATIONS & APPROVALS

Council at its ordinary meeting held on 21 August 2019 approved the issue of a development permit for Material Change of Use - Non-resident workforce accommodation (45 beds) & Caretaker's accommodation on Lots 1 and 2 on SP311305.

This development has been completed and the approved use continues on Lots 1 and 2 on SP311305.

DESCRIPTION OF PROPOSED DEVELOPMENT

The development application seeks a Development Permit for Material Change of Use – Tourist Park (up to 74 persons maximum) in accordance with the plans shown in **Attachment 1**.

The proposed development is described as follows:

This well-established family farming property is in an ideal and unique location within its natural environmental and river/creek surroundings. The proposed park is located far enough being approximately 5 kilometres from the heart of the Mareeba township. It is intended that the park will provide a safe, quiet, rural atmosphere, where travellers can see and enjoy the full view of the night sky without the ambient light of an urban setting.

The aim is that the park will cater to a diverse and inclusive range of travellers from the completely off-grid self-contained traveller to those requiring access to disabled toilet/showers, powered sites with potable and non-potable water. The intent is to attract more travellers to the Mareeba Shire where they can make 49 Fichera Road their base camp. This location allows them to set themselves up to explore and soak up the many attractions within the Mareeba Shire and the surrounding regions, experiencing everything that is on offer and hopefully, creating memories that will last a lifetime.

This farming property already operated under a number of management policies. Under our annually audited, globally recognised SEDEX quality assurance program, our existing policies, including waste management, water management, environmental management, biodiversity, fire management and business ethics will be incorporated and embedded into the management of tourist park.

The various camp sites will be designed to provide a variety of options to accommodate a total of 74 travellers/campers at any one time.

Research evidence suggest that modern-day RVs are generally designed to comfortable stay completely off-grid/dry camping for approximately 2 weeks. Therefore, and with this in mind, Base Camp 101 sites will be designed to accommodate self-contained travellers to be allowed a maximum length of stay not exceeding a 7-day maximum.

This proposed tourist park will provide sites that will accommodate the following:

- *Those travellers with self-contained motor homes/caravans and campers, those designed with an onboard toilet, shower and water supply and wastewater holding tanks; and*

- *Those travellers that need power, potable and non-potable water and a supporting ablution block (disabled toilets/showers) and camp kitchen facilities.*

The tourist park proposal provides for development within the following four (4) stages with each stage providing a different experience:

Stage 1 – Nature-Based Eco-Friendly Camping Area

Site 1/B - Sunset Views Camping

This stage proposes one large nature-based eco-friendly camping area that will be provided as self-sufficient camping areas. No amenities are provided with these sites being a zero footprint area, meaning that whatever you bring, you take with you.

Site 1/B will be located adjacent to the orchard in cleared areas accessed via the existing internal tracks.

Sites will be accessible by 4WD, SUV and motorhomes.

Stage 2 – Nature-Based Eco-Friendly Camping Area

Site 2/A - Tinaroo Creek Camping and Site 2/B – Tinaroo Creek Camping

Stage 2 is proposed to be similar to Stage 1, consisting of two large nature-based eco-friendly self-sufficient camping areas. No amenities are provided with these sites being a zero footprint area. These Stage 2 areas are provided with existing internal accesses and may require the removal of some orchard trees. No clearing of any remnant/regulated vegetation is proposed with any Stage 2 nature-based ecofriendly camping areas.

Stage 2 will provide self-sufficient Camping closer to the existing activities and structures over the main portion of the property however, still in a natural and environmental area.

Sites will be accessible by 4WD, SUV and motorhomes.

Stage 3 – Formalised Sites

Site 3

Stage 3 consists of the formalised sites that are provided with amenities which are located within the existing structures on-site. This stage will also contain large, covered parking spaces within the existing adjacent structures. The clearing of some of the existing orchard will be required. This stage utilises the existing internal formed accesses and structures over the site.

Stage 4 – Nature-Based Eco-Friendly Camping Area

Site 4 - Tinaroo Creek Sunrise Views

This final stage, being Stage 4 is proposed to be similar to Stages 1 and 2 and consists of a large nature-based eco-friendly self-sufficient camping area. No amenities are provided with these sites being a zero footprint area. This Stage 4 area is provided with existing internal accesses and no clearing of any remnant/regulated vegetation is proposed with any Stage 4 nature-based eco-friendly area. Stage 4 will also provide self-sufficient camping in larger open spaces in proximity to the main portion of the property however, still in a natural and environmental area.

Sites will be accessible by 4WD, SUV and motorhomes.

With the recent Global Pandemic, Lockdowns, and greater push for eco-friendly and sustainable way of life, the nature-based tourism popularity has taken off which has resulted in the requirement for additional camping areas to be provided within Mareeba and its environs. This need has resulted in the provision provided over the site. These additional camping areas will be provided within existing cleared areas an accessed by existing internal access tracks. No clearing of any remnant or regulated vegetation is proposed with the camping areas.

The proposed tourist park use in addition to the existing use and rural activities will ensure that no change to the existing services is proposed and that the existing level of servicing is appropriate and acceptable for the proposed tourist park. The site contains existing and approved effluent disposal systems and potable and non-potable water supplies, riparian rights for the site and for any firefighting purposes. Any concentrated stormwater will be appropriate dispersed over the site and into legal points of discharge if required. The site is connected to power and telecommunications. The proposed tourist park will ensure that no change to the existing nature, character and amenity of the site and surrounding area is envisaged.

No change to the existing accesses is proposed with the tourist park other than the formalisation of some minor areas of the existing internal access tracks. All internal access tracks can be provided in keeping with the natural and rural nature of the site and the existing uses.

REGIONAL PLAN DESIGNATION

The subject site is included within the Regional Landscape and Rural Production Area land use category in the Far North Queensland Regional Plan 2009-2031. The Regional Plan Map 3- ‘Areas of Ecological Significance’ also identifies the site is:

- *Local Conservation Corridors*
- *Wetland Area of General Ecological Significance*
- *Terrestrial Area of High Ecological Significance*
- *Terrestrial Area of General Ecological Significance*

PLANNING SCHEME DESIGNATIONS

Strategic Framework:	<p>Land Use Categories</p> <ul style="list-style-type: none"> • Rural Agricultural Area • Rural Other <p>Natural Resource Elements</p> <ul style="list-style-type: none"> • Biodiversity Area • Habitat Linkage <p>Transport Elements</p> <ul style="list-style-type: none"> • Principal Cycle Routes <p>Other Elements</p> <ul style="list-style-type: none"> • Major Watercourse
Zone:	Rural zone
Overlays:	Agricultural Land Overlay Airport Environs Overlay Bushfire Hazard Overlay Environmental Significance Overlay

	Flood Hazard Overlay Hill and Slope Overlay Transport Overlay
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Planning Scheme Definitions

The proposed use is defined as:

<i>Column 1 Use</i>	<i>Column 2 Definition</i>	<i>Column 3 Examples include</i>	<i>Column 4 Does not include the following examples</i>
Tourist park	Premises used to provide for accommodation in caravans, self-contained cabins, tents and similar structures for the public for short term holiday purposes. The use may include, where ancillary, a manager’s residence and office, kiosk, amenity buildings, food and drink outlet, or the provision of recreation facilities for the use of occupants of the tourist park and their visitors, and accommodation for staff.	Camping ground, caravan park, holiday cabins	Relocatable home park, tourist attraction, short term accommodation, non-resident workforce accommodation

RELEVANT PLANNING INSTRUMENTS

Assessment of the proposed development against the relevant planning instruments is summarised as follows:

(A) Far North Queensland Regional Plan 2009-2031

Separate assessment against the Regional Plan is not required because the Mareeba Shire Council Planning Scheme appropriately advances the Far North Queensland Regional Plan 2009-2031, as it applies to the planning scheme area.

(B) State Planning Policy

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

(C) Mareeba Shire Council Planning Scheme 2016

Strategic Framework

3.3 Settlement pattern and built environment

3.3.1 Strategic outcomes

- (5) Primary industries in *Rural areas* are not compromised or fragmented by incompatible and/or unsustainable development, including but not limited to subdivision that results in a detrimental impact on rural productivity. The valued, relaxed rural lifestyle, character and scenic qualities of the *rural area* are preserved and enhanced. The *rural area* is largely maintained to its current extent, while accommodating development directly associated with or reliant on natural resources including rural activities and tourism. *Rural areas* protect the shire's *agricultural area* and ensure food security. *Other rural areas* predominantly remain agricultural grazing properties.

Comment

In recent years, Mareeba Shire has experienced an increase in demand for self-contained campgrounds which serve to provide "no thrills" budget locations for travelling tourists to stay for short periods of time.

The rural zone is considered the logical location for such facilities due to the significant natural appeal and very low density.

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development. The applicant has selectively sited the camping areas within the subject land to avoid adverse impacts to the onsite farming operation.

The proposed development will be largely screened from view and the character of the locality will be maintained.

The development complies with Strategic outcome 5.

- (8) Risks to infrastructure, buildings and the community posed by bushfires, cyclones, flooding, landslides and other extreme events are minimised. Development is considerate of the potential increased incidence of these hazards induced by climate change.

Comment

The proposed development is not at significant risk from flooding or landslide. Parts of the subject site would be impacted by these hazards; however, the proposed development is largely sited to avoid these hazards or can be readily relocated should the need arise.

Flood hazard risk is further minimised by the seasonal nature of the proposed use, with peak season occurring outside the wet season.

Bushfire is a significant hazard over much of the subject site. A bushfire hazard management plan will be conditioned to mitigate this risk.

The development complies with Strategic outcome 8.

3.3.11 Element—Rural areas

3.3.11.1 Specific outcomes

- (1) *Rural areas* include rural activities and land uses of varying scale, consistent with surrounding land use, character and site conditions.

Comment

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development.

The proposed development will be largely screened from view and the character of the locality will be maintained.

- (3) Tourism, rural industry, intensive animal industries and outdoor recreation facilities are developed in the *rural area* in a way which:
- (a) does not impede or conflict with agricultural activities and production; and
 - (b) does not compromise rural character and scenic qualities; and
 - (c) does not adversely impact on ecological and biodiversity values.

Comment

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development.

The proposed development will be largely screened from view and the character of the locality will be maintained.

The environmental values of the subject site are essential to the success of the proposed development.

- (5) Rural lifestyle, tourism, outdoor recreation, horticultural activities and natural bushland uses may be considered in *other rural areas* where appropriately located, serviced and otherwise consistent with the Strategic Framework.

Comment

The subject site and proposed development comply. Access and noise management will be appropriately conditioned.

- (6) *Agricultural areas* will be retained in viable holdings and not fragmented or compromised by unsuitable development. Uses and development within this precinct will not cause land use conflicts with primary production or will ensure these conflicts are mitigated.

Comment

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development.

- (7) *Rural areas* preserve lands for future uses beyond the life of the planning scheme.

Comment

No new buildings are proposed, and the subject site will continue to be available for rural use should the proposed development cease.

3.3.14 Element—Natural hazard mitigation

3.3.14.1 Specific outcomes

- (1) The risk of loss of life and property associated with bushfires, cyclones, flooding, landslides and other weather related events are minimised through the appropriate use of land having regard to its level of susceptibility to the hazard or potential hazard.

Comment

The proposed development is not at significant risk from flooding or landslide. Parts of the subject site would be impacted by these hazards; however, the proposed development is largely sited to avoid these hazards or can be readily relocated should the need arise.

Flood hazard risk is further minimised by the seasonal nature of the proposed use, with peak season occurring outside the wet season.

Bushfire is a significant hazard over much of the subject site. A bushfire hazard management plan will be conditioned to mitigate this risk.

3.4 Natural resources and environment

3.4.1 Strategic outcomes

- (1) Mareeba Shire's outstanding natural environment, ecological processes and biodiversity values, including those within *conservation areas* and *biodiversity areas*, are conserved, enhanced and restored. Minimal loss of native vegetation is achieved in the shire through limited clearing of *biodiversity areas*, strategically located rehabilitation areas and the replanting of native vegetation. The impacts of pests and weeds on the natural environment is minimised and managed.
- (2) Natural corridors through the landscape, including *ecological corridors*, and natural areas which provide linkages between areas of significant biodiversity and habitat value are protected and enhanced. Opportunities are realised to connect habitat fragments across the regional landscape through strategic rehabilitation and protection of potential habitat connection corridors, such as *habitat linkages*. The resilience of natural systems and wildlife to respond to climate change is strengthened by providing maximum connectivity across a range of habitats, allowing species to migrate and retreat.

Comment

The development is to be selectively sited to take advantage of previously cleared/disturbed areas.

No further clearing is required to accommodate the development.

3.4.3 Element—Pest and weed management

3.4.3.1 Specific outcomes

- (1) Development within, adjoining or surrounding *conservation areas*, *biodiversity areas*, wetlands or watercourses avoids the incursion of weeds and pests through best practice

management practices, sensitive design, landscaping and appropriate setback and buffer distances.

Comment

The applicant will continue to meet their landholder obligation to manage weeds and pests.

3.4.4 Element—Biodiversity areas

3.4.4.1 Specific outcomes

- (1) Development avoids adverse impacts on the ecological values of *biodiversity areas* and where avoidance is not possible the adverse impacts are minimised and, for an area of high ecological significance, no net loss in biodiversity values is achieved.
- (2) Development on lots containing *biodiversity areas* ensures their ongoing protection and retention through application of conservation covenants or dedication for public use.
- (3) *Biodiversity areas* that are considered to be of regional, state or higher levels of significance are awarded levels of protection commensurate with these values.
- (4) The ecological values of *biodiversity areas* which have been degraded are rehabilitated as part of the development, and commensurate with the scale of development.
- (5) Areas within the Einasleigh Uplands bioregion to the west of the shire are recognised for their high level of endemism and significant biodiversity values.
- (6) Endangered and of-concern ecosystems and threatened species habitat including upland refugia ecosystems, wet sclerophyll, and the habitat of endemic species are protected across all land tenures.

Comment

The development is to be selectively sited to take advantage of previously cleared/disturbed areas.

No further clearing is required to accommodate the development.

3.4.5 Element—Strategic rehabilitation and ecological corridors

3.4.5.1 Specific outcomes

- (1) *Ecological corridors* are major existing habitat corridors that link key *biodiversity areas* within Mareeba Shire and greater Far North Queensland region. Development does not compromise the habitat connectivity of *ecological corridors*.

Comment

The development is to be selectively sited to take advantage of previously cleared/disturbed areas.

No further clearing is required to accommodate the development.

3.4.6 Element—Watercourses and wetlands

3.4.6.1 Specific outcomes

- (1) Hydrological flows, riparian ecology and ecosystem services of watercourses and wetlands are maintained, protected and enhanced.
- (2) Wetlands of ecological significance are protected from sediment and run off, vegetation clearing, weed invasion and pollution through designated setbacks and buffers. These include the following:
 - (a) Wetlands in the Great Barrier Reef Catchment; and
 - (b) Wetlands of High Ecological Significance as identified through the *Aquatic Biodiversity Assessment and Mapping Method (AquaBAMM)*.
- (3) The water quality of rivers and creeks, which ultimately flow to the Great Barrier Reef and the Gulf of Carpentaria, is not compromised or polluted through sediment, gross pollutants or chemical run off from new or existing development.
- (5) Where development occurs on land including and adjoining watercourses and wetlands it provides appropriate setbacks and buffers and enhances these areas through revegetation.

Comment

The following waterway setbacks are applicable:

- Barron River – Stream Order 5 – 50m
- Tinaroo Creek – Stream Order 4 – 25m
- Unnamed Waterway within Lot 4 – Stream Order 1 – 10m

No vegetation clearing is proposed within these setbacks.

All development in proximity to the waterway buffers is self-contained/leave no trace.

3.4.8 Element—Air and noise quality

3.4.8.1 Specific outcomes

- (1) The health, well-being, amenity and safety of the community and the environment is protected from the impacts of air emissions, noise and odour through appropriate management and adequate separation distances.

Comment

The development will be conditioned to ensure that it is operated in such a way as to not cause an 'environmental nuisance' as defined by the Environmental Protection Act 1994 with regards to emissions (noise, light, dust etc.).

3.6 Transport and infrastructure

3.6.1 Strategic outcomes

- (1) *Local collector road* and *state controlled road* networks support the identified hierarchy of *activity centres* and the rural economy of Mareeba Shire. The location, density and scale of

development supports the efficient and convenient movement of goods, services and people. Roads are progressively upgraded (including construction of *future state roads and future local connections*) and maintained to a high standard to support higher urban densities, rural production, tourism, commerce, industry and major trip generators.

3.6.2 Element—Road network

3.6.2.1 Specific outcomes

- (1) The shire's road network is upgraded and extended to provide for the safe, efficient movement of vehicles and to cater for new development.
- (4) Development provides off-street parking, loading and manoeuvring areas where possible and practicable.
- (5) Development of new roads and upgrades to existing roads are designed and constructed in accordance with the FNQROC Regional Development Manual as amended.

Comment

Council Officers sought external expert assessment and advice in respect of the developments traffic impacts from NJM Engineering Consulting, a specialist transport engineer.

NJM Engineering Consulting have assessed the proposal and suggest that the conditions be applied to require a Road Safety Assessment and site access upgrades.

The Road Safety Assessment will be undertaken prior to the commencement of the use and the applicant will be required to undertake all works identified through the Road Safety Assessments to bring Fichera Road up to an acceptable level of safety, prior to the commencement of the use.

3.6.7 Element—Water supply and wastewater services

3.6.7.1 Specific outcomes

- (3) Development in rural areas will demonstrate that it has access to adequate potable water and fire-fighting water supply on-site.

Comment

The development can be conditioned to comply.

- (4) In areas not serviced by reticulated sewerage, on-site effluent disposal systems ensure the environment or amenity is not adversely impacted.

Comment

The development can be conditioned to comply.

3.6.8 Element—Stormwater management

3.6.8.1 Specific outcomes

- (2) Stormwater is managed and measures are implemented to ensure erosion is prevented or minimised and contaminants are not released into surrounding environs.

Comment

The development can be conditioned to comply.

3.6.9 Element—Waste management**3.6.9.1 Specific outcomes**

- (4) On-site waste disposal and recycling areas are provided by development to meet operational requirements of storage, screening and collection.

Comment

The development can be conditioned to comply.

3.7 Economic development**3.7.1 Strategic outcomes**

- (1) The rural economy that underpins the settlement pattern of Mareeba Shire prospers and diversifies, with traditional and emerging primary industries continuing to provide the economic base of the shire. Increasing opportunities for value-adding and processing primary product are realised on-farm and within surrounding towns. *Agricultural areas* and rural industries are protected from development which may compromise its ongoing viability. Infrastructure which supports agriculture and primary industry is maintained and protected.
- (2) The *rural area* includes a range of uses which compliment dominant primary industry activities and enhance the shire's economy. Activities including rural industries, intensive agricultural uses, intensive animal industries and expanded forestry and permanent plantations are supported in appropriate locations where impacts on the environment and surrounding land uses are limited and manageable.
- (4) The natural environment, rural and scenic landscapes of Mareeba Shire provide a basis for the development of sustainable tourism enterprises. Mareeba Shire's geographic proximity to Cairns International Airport provides opportunities for increasing visitation and exposure to the shire. Large scale tourist accommodation facilities are developed in key sites across the shire and meet the needs of a range of users. The character and appeal of key *activity centres*, landscape features and *scenic routes* which attract tourists to Mareeba Shire will be maintained and enhanced. The western dry land savannah of the shire accommodates further nature and rural based tourism development.

Comment

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development.

The proposed development will be largely screened from view and the character of the locality will be maintained.

The environmental values of the subject site are essential to the success of the proposed development.

3.7.2 Element—Rural and Agricultural land

3.7.2.1 Specific outcomes

- (1) *Agricultural areas* are preserved for the purpose of primary production and are protected from fragmentation, alienation and incompatible development.
- (2) *Other rural areas* are maintained in economically viable holdings and continue to develop and expand their rural infrastructure and operations.
- (5) Development ensures rural activities in all *rural areas* are not compromised by incompatible development and fragmentation.

Comment

The size of the subject site and the separation distances to adjoining sensitive land uses mean that surrounding primary industries will not be constrained by the proposed development.

The proposed development will be largely screened from view and the character of the locality will be maintained.

The environmental values of the subject site are essential to the success of the proposed development.

No new buildings are proposed, and the subject site will continue to be available for rural use should the proposed development cease.

3.7.7 Element—Tourism

3.7.7.1 Specific outcomes

- (3) Tourist parks in key locations provide sites to accommodate caravans and recreational vehicles across the shire. Facilities to accommodate caravans and recreational vehicles are developed in a variety of urban and, at a limited scale, rural locations, to encourage extended visitations within the shire. Tourist facilities are designed to ensure they provide a high quality of infrastructure and services to visitors.
- (4) The outstanding scenic qualities of the regional landscape and the character and heritage values of the shire's *activity centres* are recognised and protected for their role in promoting and attracting visitors to the shire. Development in scenic and highly visible locations will minimise its impacts on scenic amenity through sensitive location, design, colour and scale.
- (5) A variety of small-scale, low impact tourist facilities are established across the rural landscape, including:
 - (a) tourist attractions and facilities within *activity centres*;
 - (b) cultural interpretive tours;
 - (c) nature based tourism;
 - (d) sports and recreational activities;
 - (e) tourist attractions;
 - (f) adventure tourism;
 - (g) farm based tourism;
 - (h) food based tourism;

- (i) bed and breakfasts;
 - (j) camping and recreational vehicle facilities;
 - (k) cycle tourism.
- (6) Small scale tourism related development is sensitively designed, scaled and located so as to not compromise the natural landscape values and agricultural values of Mareeba Shire.

Comment

The proposed development is able to be reasonably conditioned and managed to allow it to occur on the subject site.

Relevant Developments Codes

The following Development Codes are considered to be applicable to the assessment of the application:

- 6.2.9 Rural zone code
- 8.2.1 Agricultural land overlay code
- 8.2.2 Airport environs overlay code
- 8.2.3 Bushfire hazard overlay code
- 8.2.4 Environmental significance overlay code
- 8.2.6 Flood hazard overlay code
- 8.2.8 Hill and slope overlay code
- 9.3.1 Accommodation activities code
- 9.4.2 Landscaping code
- 9.4.5 Works, services and infrastructure code

The application included a planning report and assessment against the planning scheme. An officer assessment has found that the application satisfies the relevant acceptable outcomes (or performance outcome where no acceptable outcome applies) of the relevant codes set out below, provided reasonable and relevant conditions are attached to any approval.

Relevant Codes	Comments
Rural zone code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Agricultural land overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Airport environs overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Bushfire hazard overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Environmental significance overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.

Flood hazard overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Hill and slope overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Accommodation activities code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Landscaping code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Works, services and infrastructure code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.

(D) Planning Scheme Policies/Infrastructure Charges Plan

The following planning scheme policies are relevant to the application:

Planning Scheme Policy 4 - FNQROC Regional Development Manual

A condition will be attached to any approval requiring any development works be designed and constructed in accordance with FNQROC Development Manual standards.

(E) Adopted Infrastructure Charges Notice

An infrastructure charge has been calculated for the proposed development.

The charge is limited to transport infrastructure only, as no other infrastructure network will be used by the development.

The vehicle per day (vpd) movement assumption is the same as determined for development application MCU/22/0002, being:

- 0.7 vpd for each camp site (16 sites)

The assumed total for the proposed development is 11.2 vpd.

The 2024/2025 Schedule of Fees and Charges establishes a transport infrastructure charge of \$5,452.00 for each 10 vpd.

The applicable charge for this development is 1.12 x \$5,452.00 or **\$6,106.00**.

REFERRAL AGENCY

This application did not trigger referral to a Referral Agency.

Internal Consultation

Technical Services & NJM Engineering Consulting

Council Officers sought external expert assessment and advice in respect of the developments traffic impacts from NJM Engineering Consulting, a specialist transport engineer.

NJM Engineering Consulting have assessed the proposal and suggest that the conditions be applied to require a Road Safety Assessment and site access upgrades.

The Road Safety Assessment will be undertaken prior to the commencement of the use and the applicant will be required to undertake all works identified through the Road Safety Assessments to bring Fichera Road up to an acceptable level of safety, prior to the commencement of the use.

PUBLIC NOTIFICATION

The development proposal was placed on public notification from 10 April 2024 to 3 May 2024. The applicant submitted the notice of compliance on 7 May 2024 advising that the public notification requirements were carried out in accordance with the requirements of the Act.

Six (6) properly made submissions were received and four (4) of those raised concerns about aspects of the proposed development.

The grounds for objection/support are summarised and commented on below:

Grounds for objection /support	Comment
<p>Concern about traffic safety on Fichera Road between Tinaroo Creek Road and the development access points.</p> <p>A RPEQ certified Traffic Impact Assessment/Road Safety Audit needs to be undertaken and road improvements conditioned.</p> <p>Safety issues are exacerbated by large vehicles (caravans/RVs).</p>	<p>Council Officers sought external expert assessment and advice in respect of the developments traffic impacts from NJM Engineering Consulting, a specialist transport engineer.</p> <p>NJM Engineering Consulting have assessed the proposal and suggest that the conditions be applied to require a Road Safety Assessment and site access upgrades.</p> <p>The Road Safety Assessment will be undertaken prior to the commencement of the use and the applicant will be required to undertake all works identified through the Road Safety Assessments to bring Fichera Road up to an acceptable level of safety, prior to the commencement of the use.</p>
<p>This material change of use should not allow for a future code assessable intensification of the tourist park</p>	<p>The submitters request is noted.</p> <p>The Mareeba Shire Council Planning Scheme 2016’s levels of assessment for the Rural zone make the expansion of an existing tourist park code assessable development. Council cannot condition the proposed development to vary this aspect of the planning scheme.</p>
<p>The development should protect rural amenity and be set back as far as possible from Fichera Road users.</p>	<p>The proposed camping areas are well setback from Fichera Road and screened by the established mango orchard and remnant vegetation.</p>
<p>A quarantine management plan should be developed and implemented to protect horticulture sector.</p>	<p>Farm quarantine practices will be left to the farmer and not conditioned as part of a development approval.</p>

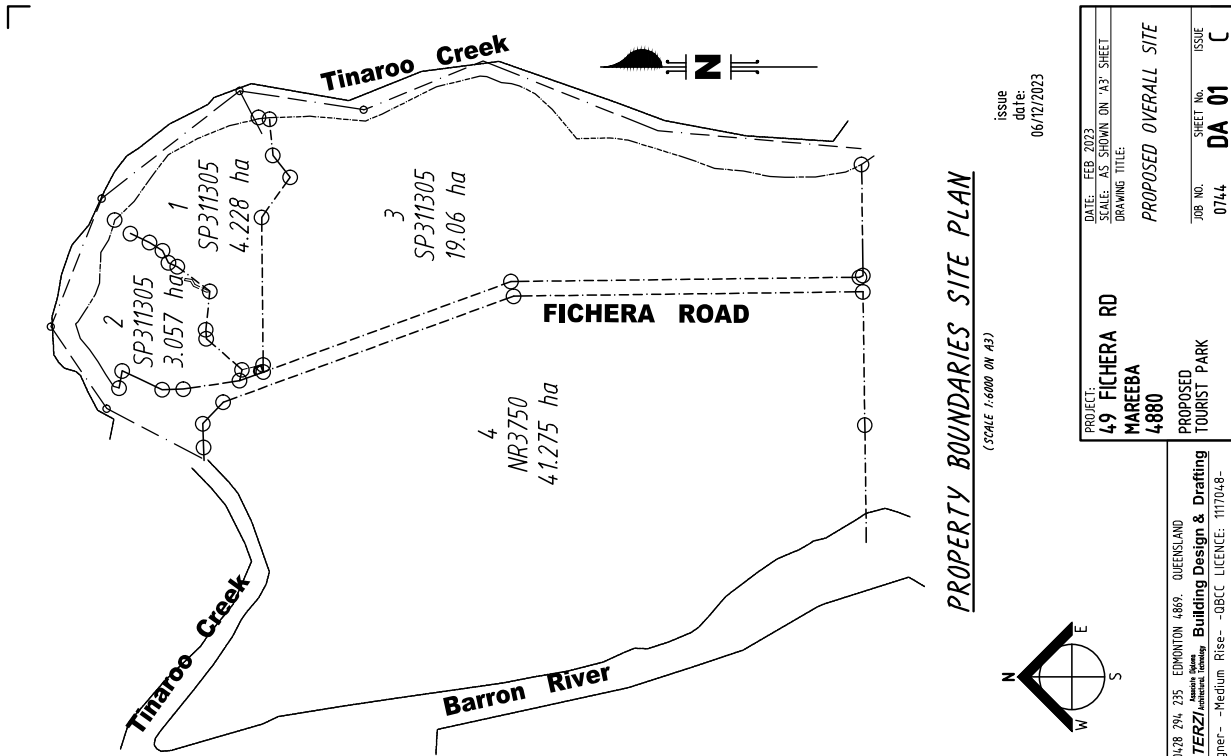
Campsite 1/B is close to property boundary and may impact on privacy/tranquillity.	Campsite 1/B is approximately 340 metres from the submitter’s residence. The majority of this separation distance is filled with mango orchard and remnant vegetation. The proposed development is reasonably separated from neighbouring sensitive receptors. An on-site manager will be conditioned for the tourist park.
Campsite 1/B is in the middle of a commercial mango orchard and guests may be impacted by spraying.	The applicant is also the farm manager. They are in the best position to manage both uses and avoid conflict between the two.
The tourist park will boost economy and meet demand for such facilities.	Noted.

Submitters

Name of Principal submitter	Address
1. D & B Berry	PO Box 983, Mareeba QLD 4880 4barberry@gmail.com
2. M & J Perkowicz	PO Box 749, Mareeba QLD 4880 mjperkowicz@gmail.com
3. T Tiraboschi (The Lime Man)	PO Box 867, Mareeba QLD 4880 thelimeman@bigpond.com
4. A Flegler	216 Lockwood Road, Mareeba QLD 4880 infonq@tropicalabanana.com.au
5. V McCann & R Reddicliffe	PO Box 746, Mareeba QLD 4880 vikki.m.c@hotmail.com
6. D Foley (Dans Mountain Biking)	dan@iig.com.au

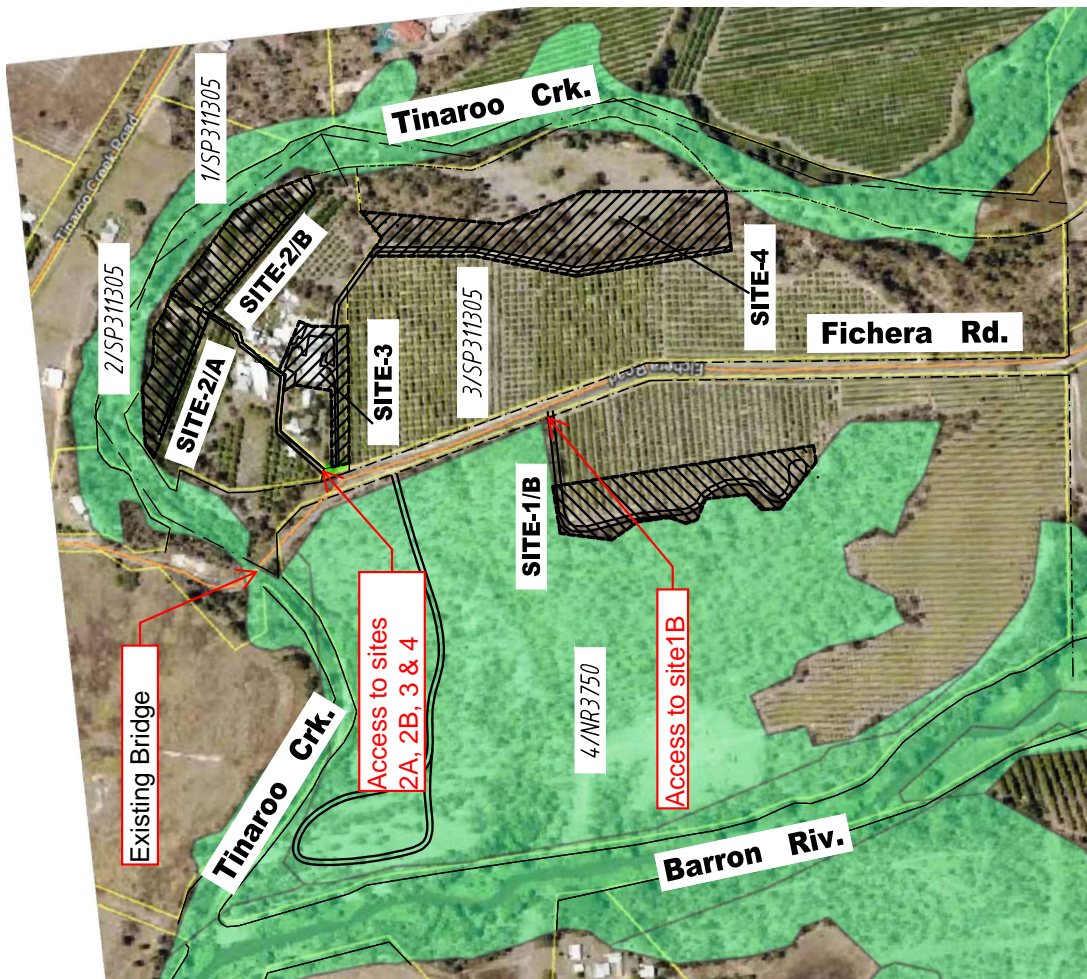
PLANNING DISCUSSION

Nil



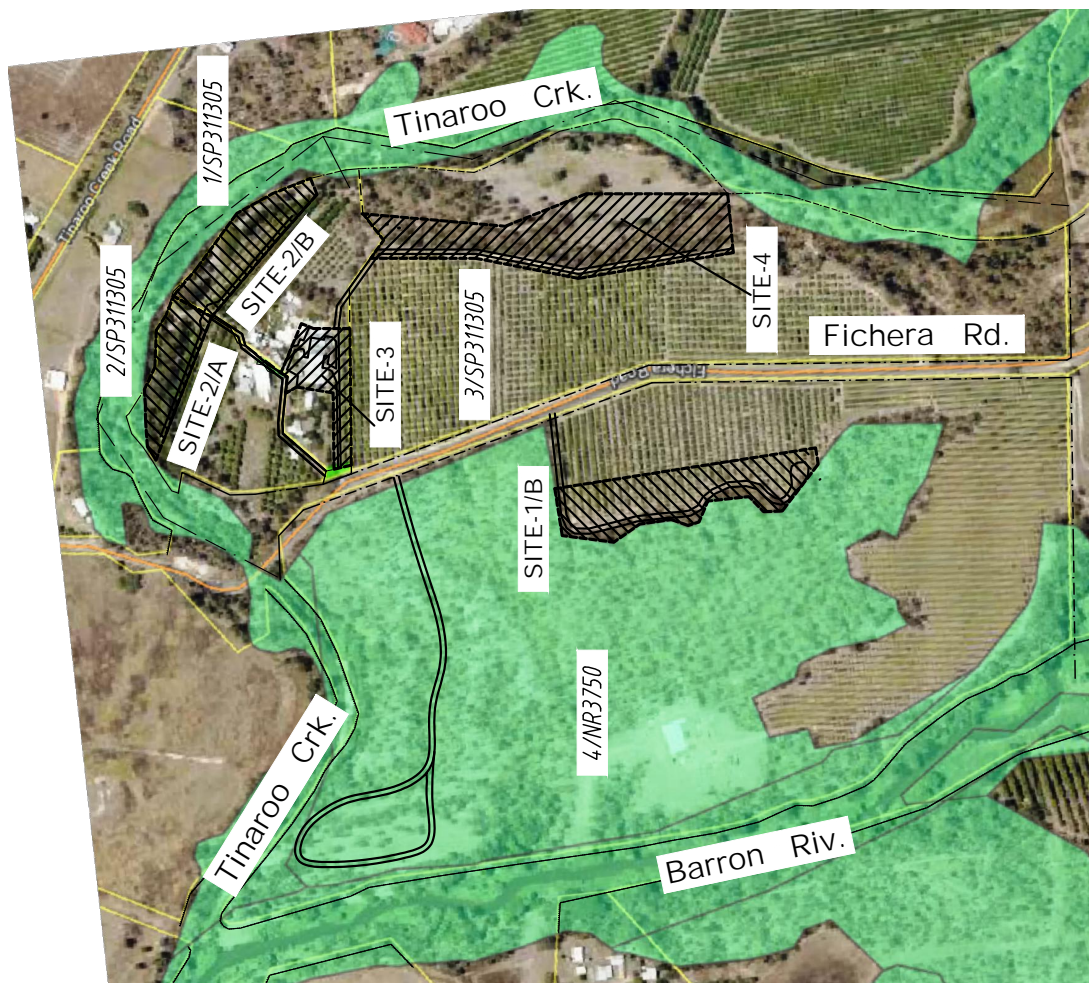
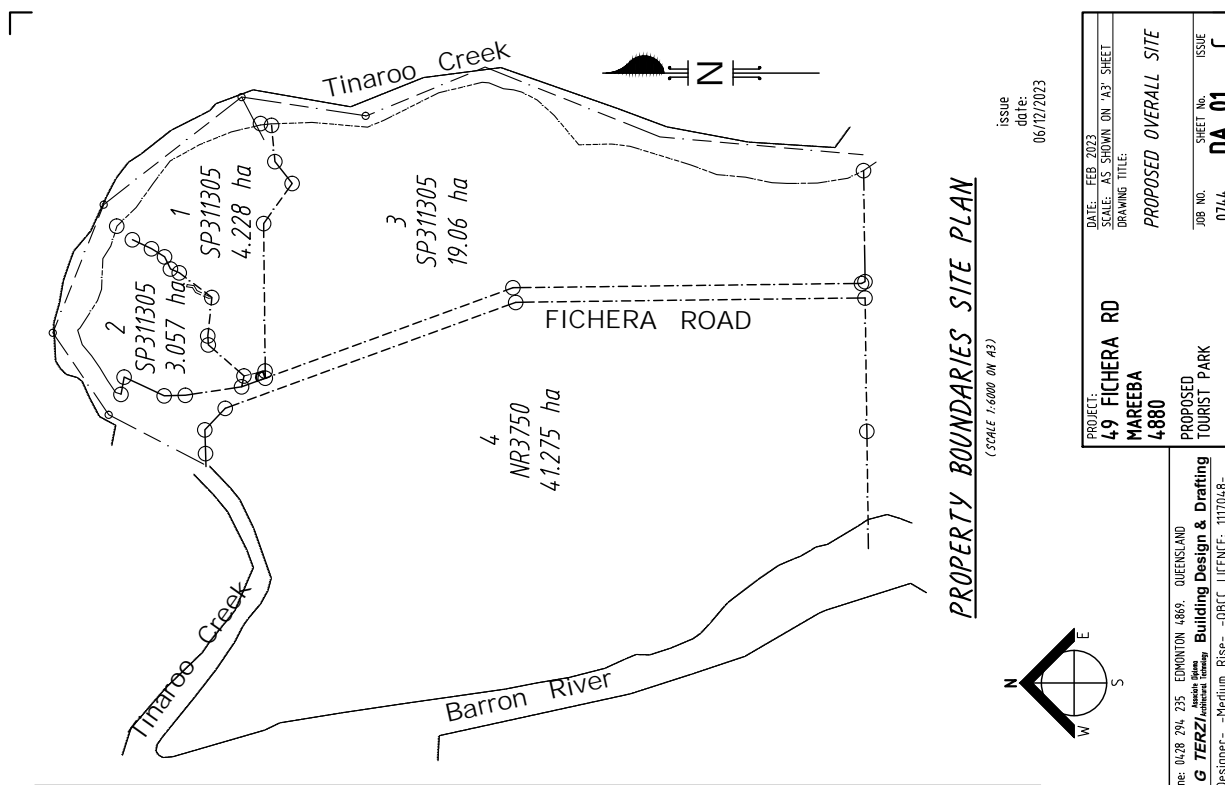
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DRAWING TITLE:	PROPOSED OVERALL SITE
PROJECT:	JOB NO. SHEET NO. ISSUE
49 FICHERA RD	0744 DA 01 C
MAREEBA	
PROPOSED	
TOURIST PARK	

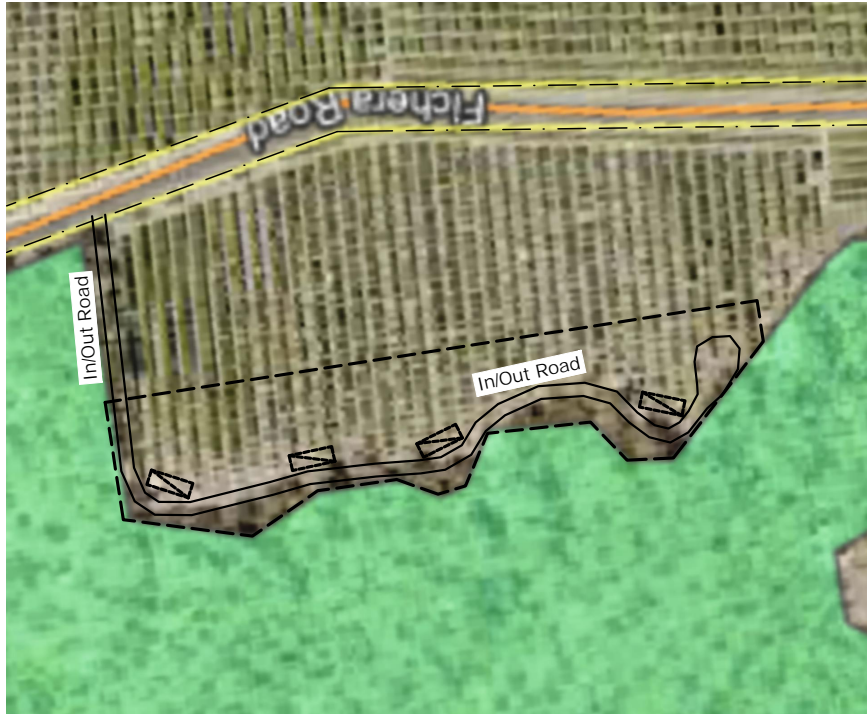
phone: 0428 294 235 EDMONTON 4889 QUEENSLAND
GREGORY G TERZI Architect, Drafting, Building Design & Drafting
 -Building Designer- -Medium Rise- -QBCC LICENCE: 1117048-



Overlay with extract from QLD Globe
(SCALE 1:5000 ON A3)

Document Set ID: 4344253
 Version: 1, Version Date: 05/04/2024





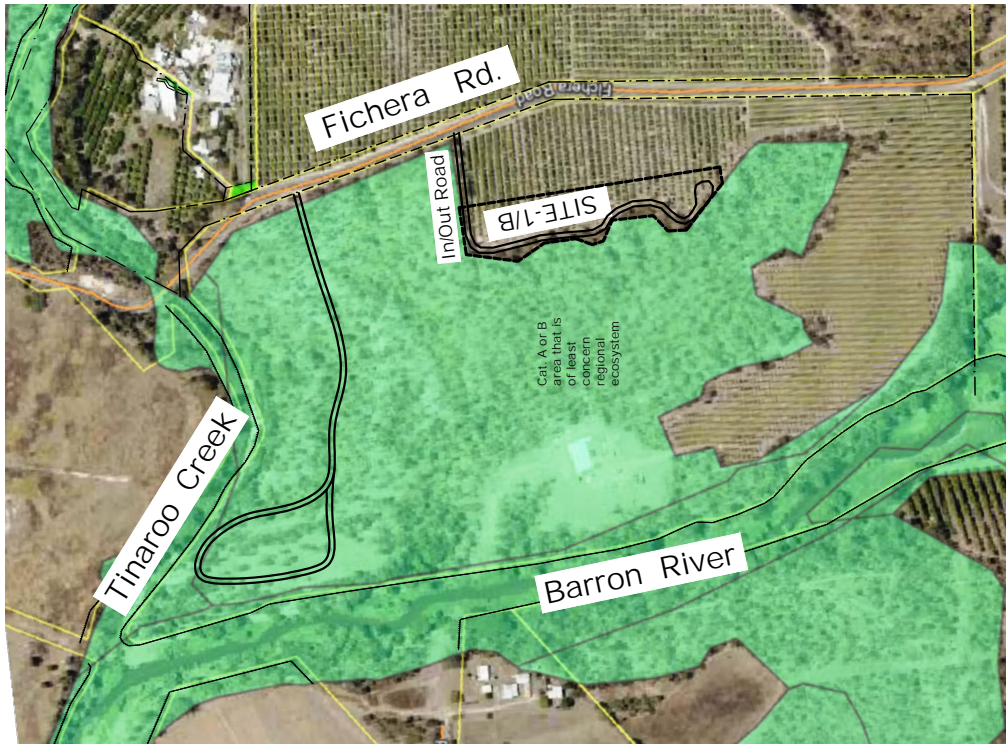
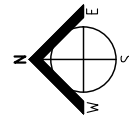
DETAIL SITE-1/B Sunset Views Camping

Overlay with extract from QLD Globe

(SCALE 1:2000 ON A3)

issue date: 06/12/2023

phone: 0428 294 235	EDMONTON 4869, QUEENSLAND
GREGORY G TERZI	Building Design & Drafting
Architect/Designer	Building Licence: 111704-8
-Building Designer- -Medium Rise-	OBCC LICENCE: 111704-8
DATE: FEB 2023	
PROJECT: 49 FICHERA RD	SCALE: AS SHOWN ON 'A3' SHEET
MAREEBA	DRAWING TITLE: SITE-1/B
4880	
PROPOSED TOURIST PARK	JOB NO. SHEET No. ISSUE
	0744 DA 02 C

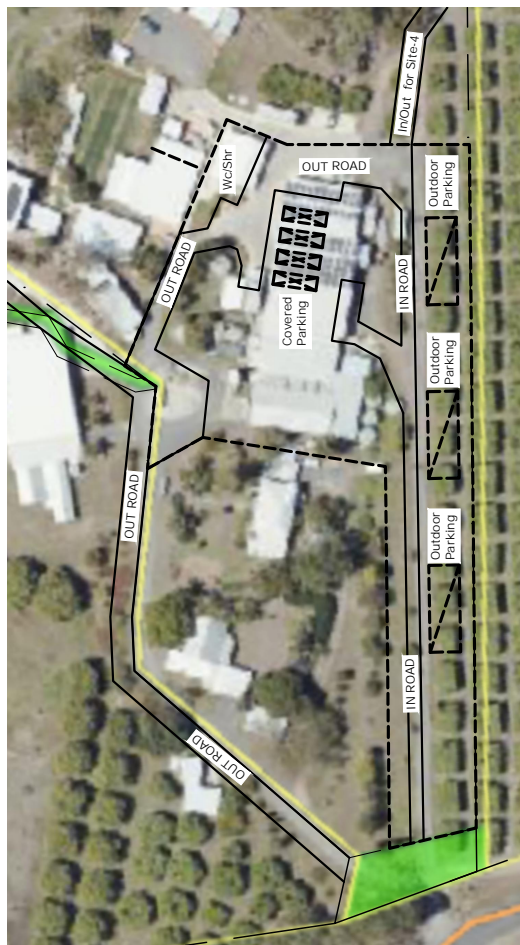


SITE-1/B Sunset Views Camping

Overlay with extract from QLD Globe

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Version: 1, Version Date: 05/04/2024



SITE-3 Powered Site and Day Parking
 Overlay with extract from QLD Globe
 (SCALE 1:1000 ON A3)



SITE-2/A and -2/B Tinaroo Creek Camping
 Overlay with extract from QLD Globe
 (SCALE 1:2000 ON A3)

issue date:
06/12/2023

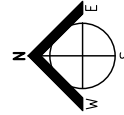
phone: 0428 294 235	EDMONTON 4869, QUEENSLAND
GREGORY G TERZI	Building Design & Drafting
Building Designer - Medium Rise	-QBCC LICENCE: T117048-
PROJECT:	DATE: FEB 2023
49 FICHERA RD	SCALE: AS SHOWN ON 'A3' SHEET
MAREEBA	DRAWING TITLE:
4880	SITE-2/A, -2/B and SITE-3
PROPOSED TOURIST PARK	JOB NO. 0744
	SHEET NO. DA 03
	ISSUE C

Document Set ID: 4344253
 Version: 1, Version Date: 05/04/2024



Document Set ID: 4344253
 Version: 1, Version Date: 05/04/2024

SITE-4 Tinaroo Creek Sunrise View
 Overlay with extract from QLD Globe
 (SCALE 1:2000 ON A3)



issue date:
 06/12/2023

phone: 0428 294 235	EDMONTON 4869, QUEENSLAND
GREGORY G TERZI	Building Design & Drafting
Administrative Services	
- Building Designer -	- Medium Rise - QBCC LICENCE: T117048-
PROJECT:	DATE: FEB 2023
49 FICHERA RD	SCALE: AS SHOWN ON 'A3' SHEET
MAREEBA	DRAWING TITLE:
4880	SITE-4
PROPOSED	JOB NO.
TOURIST PARK	0744
	SHEET No.
	DA 04
	ISSUE
	C



1ST April 2024

Arcella Banana Company
216 Lockwood Rd
Mareeba
4880

To Whom it May Concern

The Arcella Banana Company trading as Tropicana Banana Located at 216 Lockwood Road Mareeba would like to support the development application for a Material Change of Use lodged for 49 Fichera Rd, Application Ref MCU/230021.

Yours Sincerely

Ashley Flegler

Tropicana Banana Mareeba

Tropicana Banana Pty Ltd
ABN 73 103 799 659 EMAIL : infonq@tropicanabanana.com.au
Visit www.tropicanabanana.com.au for farm and market information

D & B Berry
277 Fichera Road / PO Box 983
MAREEBA QLD 4880

1 May 2024

Chief Executive Officer
Mareeba Shire Council
PO Box 154
MAREEBA QLD 4880

Att: Brian Millard; Carl Ewin

**Re: SUBMISSION in relation to MCU/23/0021
APPLICATION FOR A MATERIAL CHANGE OF USE – TOURIST PARK
LOTS 1, 2 AND 3 ON SP311305 AND LOT 4 ON NR3750, 49 FICHERA ROAD, MAREEBA**

As one of the longest residing families still living along Fichera Rd, we have one major concern that has once again been highlighted with this recent Development Application (DA), a concern that is well overdue by Mareeba Shire Council (MSC) to address, and that is of the Traffic Safety from the commencement of Fichera Road off Tinaroo Creek Road where it is a single-lane road access, leading narrowly, indirectly and at a steep gradient, down to a low, single-laned bridge across Tinaroo Creek, then ascending a steep gradient to where the double-lane road commences before turning up onto a level section of Fichera Road.

This first section of Fichera Rd is hazardous and has been for a long time, before large vehicles were added to it, or the increased residents, developments and workers who now use the road. With the numerous DAs approved in recent years only exacerbating the situation, we feel it is fair to say that Fichera Rd is certainly above, or fast approaching, its minor rural road capacity.

It is imperative that MSC affords the time, money, rational and suitable budgeting to improve Fichera Rd's infrastructure and safety, as well as applying Planning Conditions to DAs, particularly when DAs such as this one are presented, to improve the necessary sections of Fichera Rd that such DAs will have a direct impact on.

With that said, this DA is proposing to have large, often slow, at times difficult to manoeuvre vehicles posing issues with traffic flow as they enter / exit the various driveways (some of which are close to the Tinaroo Ck bridge approach). This DA will add to the Traffic Safety concerns we already have with this section of the road. Particularly as the DA entrances involve potential congestion and road use conflict in an area with already a high level of safety concerns that have been tolerated for many years by local resident road users.

Our submission would like to see appropriate Conditions implemented by both the Applicant and Council to ensure that this section of Fichera Rd has – but is not limited to – additional road / verge widening (especially near the top, town side of the bridge approach), a slip lane on approach to the proposed Tourist Park main entrance, and all entrances widened sufficiently so that the Tourist Park travellers, rural workers and owners at the property can access Fichera Rd safely and with minimal disruption to ALL other road users (including cyclists, pedestrians, public transport).

We would like a thorough Traffic Impact Survey (TIA) conducted prior to any Council Decision Notice, with data more relevant to this DA (including post 2021), to capture the recent increases in farming practices (fruit and produce transportation by large vehicles, up to 19m), the use of heavy vehicles outside of peak times, as well as during the season of RV travel, sugar cane harvesting.

The TIA should review heavy vehicle traffic interactions. The TIA should look beyond the “number of vehicles” this DA will increase usage on the road by and go further to look specifically at the safety concerns of vehicular movement with the black spots, blind spots, narrow and or rough road verges that often restrict safe pulling off for two ‘normal-sized’ vehicles to pass by each other in critical sections of the bridge approaches, as well as survey the safety issues at the main entrance to the

Tourist Park as vehicles slow down and reduce the traffic flow behind them, potentially causing difficulties with heavy vehicles having to haul uphill then pause, or even stop on the bridge.

Near misses with large vehicles and or fast vehicles at a crucial, narrow point in the road (just as you commence descending toward the bridge, on the town side) is also of particular concern. Local residents are familiar with this dangerous traffic conflict point, and they are also familiar with where short visual checks can be made before either pausing to Give Way, or proceeding onto the bridge. On at least two occasions, cane trucks headed into town have jack-knifed whilst just heading up from the bridge, due to the awkward cornering in the road infrastructure for large vehicles to handle.

The installation of a traffic light system during cane hauling times was instigated in recent years due to the very nature of road use conflict through this zone. Whilst the traffic lights were welcomed and helped to mitigate the safety concerns, they also caused a level of frustration by local users having to wait up to 4mins at a time, even if there were no large vehicles traversing the bridge area, all because Fichera Rd lacks sufficient infrastructure in this section to accommodate large vehicle use.

Therefore, those new to the road network (tourist in particular) are not familiar with these high risk spots and this heightens the safety issues for all road users, no matter how many vehicles are added to the road. So, with large vehicles, slower drivers not familiar with the road or the DA entrance points, turning vehicles, exiting vehicles etc, it is vastly apparent that this particular section of Fichera Rd is far from safe in its current form. A TIA must consider the "human" element driving this road, with the type of vehicle being crucial over the number of vehicles for the traffic survey.

With the traffic increases in recent years of additional rural workers (who often travel at ridiculous speeds for this road, or are pedestrians walking to town), cyclists training, RV travellers, fruit transporting trucks, sugar cane hauling and additional residents moving into the area (and not including the yet to be seen Winery traffic, and Workforce Accommodation vehicles), it is imperative that MSC gives us applied assurance that this section of road will be improved, preferably at an expedient rate, and that Council Condition this DA with the appropriate road and entrance improvements to minimise road use conflicts and improve the safe movement of all traffic – vehicles, pedestrians and cyclists.

The high use of a minor single-lane rural road commencement, leading into a difficult-to-approach bridge (with blind spots) by large and heavy vehicles, alongside increased residential smaller vehicles, have all led to an exceedingly unsuitable section of road that was not originally designed and built to support such usage, yet local road users are expected to continually tolerate.

Near misses are never counted and there have been plenty.

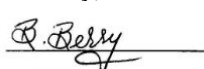
We do not want a serious accident, worse still a fatality, to be the catalyst for improvement.

We trust that Council will further Condition their Report / Decision Notice accordingly in respect to all the other relevant Impact Codes of the Planning Scheme to ensure this DA achieves appropriate outcomes in all Codes. But most importantly that Council will Condition this DA for safer traffic movements for all who use this section of the road.

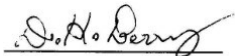
Should Council approve this DA, then a thorough Traffic Safety report prior to appropriate Decision Notice Conditioning on Traffic Safety for Fichera Rd should be the very least Council does with respect to this Development Application.

This Submission is dated 1 May 2024 and is considered a "properly made submission". We await Council's further correspondence.

Sincerely,



BARBARA BERRY



DAVID BERRY

From: [Dan Foley](#)
To: [Info](#)
Subject: RE: Town planning Submission Ref. MCU/23/0021
Date: Thursday, 2 May 2024 8:46:38 AM

Submissions

Mareeba Shire Council

Re: Application Ref: MCU/23/0021 49 Fichera Road, Mareeba

I wish to support above application for the following reasons

- Nature based tourism can significantly stimulate the economy of a local region. Mareeba council has invested in and continues to invest in Nature based tourism but it will Fail if suitable attractive RV sites are not provided.
- Demand exists for both quantity , quality and varied RV sites particularly in Mareeba rural areas. Mareeba area has defined advantages of sunshine and ideal locations to base for visiting and exploring Atherton Tablelands and surrounding regions.
- Nature based active tourist is seeking a rural environment experience and not city/town stay. The site is rural but short distance to heart of Mareeba.
- Approval of development will ensure more RV sites available during peak tourist season also the ideal location insures improved length of stay of visitors which implies more \$ to Mareeba area and employment for locals
- The location and setting is far superior to any existing in the Mareeba area.
- Competition is essential for the best outcome of quality RV sites.
- Precedence in development on Fichera Road already exists for varied accommodation.
- A growing area of nature based tourism is mountain biking , hiking and birdwatching with Davis Creek Trails, Mareeba Skills Park and Mareeba to Atherton rail Trail in close proximity will further increasing demand.
- Growing numbers of local tourists ex Cairns seek weekend camping and RV sites
- I have met Ross , and seen what he has achieved already with his existing rural property and what his vision is to improve his attractive property for others to share . As one of the few longstanding Mareeba families I have no doubt a quality development will occur to benefit the Mareeba community.

Based on my 3 yr local government planning, 10years managerial/investment banking and 31 years local tourism experince I would suggest the approval makes economic sense for the Mareeba community.

Regards, Dan Foley BEc

Dans mountain Biking

www.dansmountainbiking.com

Servicing North Queensland 31 years

0439930128

Martin and Jacqueline Perkowicz
233 Fichera Road
PO BOX 749
MAREEBA QLD 4880

01 May 2024
Chief Executive Officer
Mareeba Shire Council
PO Box 154
MAREEBA QLD 4880

Attention: Brian Millard

RE: Submission for Application for Development Permit for Material Change of Use – Tourist Park (Up to 74 persons maximum) on land located at 49 Fichera Road, Mareeba and described as Lot 4 on Crown Plan NR3750 and Lots 1, 2 & 3 on SP311305, Council Reference MCU23-0021

We advise that we are the residents and owners of land located at 233 Fichera Road, Mareeba. Reference is made to the above-described application that is currently on public notification until 3 May 2024. In this regard, please find attached our Submission dated 01 May 2024 in response to the above application. Please confirm that this letter and the attached Submission are considered by Council as a "properly made submission" in accordance with Section 19.1 (a) of the Development Assessment Rules.

Thank you for your consideration of our concerns.

Sincerely,



Martin and Jacqueline Perkowicz

Submission for Application for Development Permit for Material Change of Use – Tourist Park (Up to 74 persons maximum) on land located at 49 Fichera Road, Mareeba and described as Lot 4 on Crown Plan NR3750 and Lots 1, 2 & 3 on SP311305, Council Reference MCU23-0021

Our primary concerns related to this development application can be summarized as follows:

1. Traffic and Safety
2. Rural Amenity
3. Biosecurity

1. Traffic and Safety

Fichera Road provides a key transport route for sugar cane haulage, and is a road with highly variable traffic counts, with significantly higher traffic during tourist and sugar cane harvesting season of May - September. We have witnessed several incidents in the section between the bridge and the Tinaroo Creek Road intersection where the safety of truck drivers and other road users is jeopardised due to the narrow road on steep and winding bend with poor visibility. With no run-up, sugar cane trucks normally use the bridge to get enough power to go up the hill with a full load of sugar cane, and are put in a very precarious position if another driver approaches them as they are attempting this. We have witnessed several occasions where the truck stalls and must reverse back on to the bridge to start again. It is distressing to watch the drivers navigate and reverse a fully loaded sugar cane truck back onto the bridge with a steep and deep drop off either side. There have been multiple “jack-knifing” and broken-down truck incidents. We have also witnessed a sugar cane truck that has tipped over on another section of road – demonstrating the difficulties these trucks face without the added pressure this development proposal entails. Increasing the traffic volumes with unfamiliar tourists towing caravans directly impacts on all users of the road, and particularly sugar cane trucks, whose haulage period months coincide with peak tourist season of May – September. We believe that in its current state our road has reached its capacity, especially during the tourist season that this proposal would impact. The road and bridge infrastructure needs to be brought to a suitable road standard with two driving lanes before further land development that may result in intensification of road usage.



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 Version: 1, Version Date: 02/05/2024

Submission for Application for Development Permit for Material Change of Use – Tourist Park (Up to 74 persons maximum) on land located at 49 Fichera Road, Mareeba and described as Lot 4 on Crown Plan NR3750 and Lots 1, 2 & 3 on SP311305, Council Reference MCU23-0021

Our requests related to traffic and safety for MCU230021 are as follows:

- That further consideration is given to the safety of the road for all users including pedestrians by this development application. Specifically, we emphasize the need for safety measures around the bridge and its approaches.
- That a full RPEQ certified Road Safety Audit is completed, particularly considering the impact of 4WD caravanning tourist traffic on sugar cane haulage at the steep and windy section of road between the Tinaroo Creek Road Intersection and the bridge, where there have been truck rollovers and jack-knifing incidents in the past. Given that the peak tourism period coincides with sugar cane haulage, this consideration is crucial and appears to have been disregarded.
- That the lighting design for the new entrances and the existing entrance including the existing entrance lights adheres to street lighting standards and provides for suitable visibility without causing glare for drivers.
- That submitters will be notified of any further structural or infrastructure changes or intensification to the proposed usage of this site.
- That this MCU does not provide an avenue for a future Code Assessable intensification of the use of the land (eg. Increase campsites or supporting infrastructure to accommodate up to 74 persons or more) without public notification and submissions, as such intensification will further impact on road safety.

2. Rural Amenity

Our requests related to Rural Amenity for MCU230021 are as follows:

- That conditions are put in place to ensure that there is no further visual amenity quality reduction for our rural road. Please ensure that all tourists and associated infrastructure is minimised to the greatest extent possible and placed well back from the road where it is not visible to the public.

3. Biosecurity

Our requests related to Biosecurity for MCU230021 are as follows:

- That a quarantine management plan is developed and implemented for the life of the development that considers the intensification of use and introduction of tourists to the site, to protect the Mareeba horticulture sector including soil, plant and insects that could adhere to vehicles after camping adjacent to the mango orchard.

Tammy Tiraboschi
PO Box 867
MAREEBA QLD 4880

1 May 2024

Chief Executive Officer
Mareeba Shire Council
PO Box 154
MAREEBA QLD 4880

Att: Brian Millard; Carl Ewin

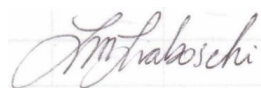
**RE: SUBMISSION in relation to MCU/23/0021
APPLICATION FOR A MATERIAL CHANGE OF USE – TOURIST PARK
LOTS 1, 2 AND 3 ON SP311305 AND LOT 4 ON NR3750, 49 FICHERA ROAD, MAREEBA**

Following on from this cover letter, reference is made to the above-described Development Application that is currently on public notification until 3 May 2024.

Please confirm via return email, that my Submission dated 1 May 2024 is considered by Council as a “properly made submission”.

I await Council’s further correspondance.

Yours faithfully,



TAMMY TIRABOSCHI
thelimeman@bigpond.com

**SUBMISSION in relation to APPLICATION FOR A MATERIAL CHANGE OF USE – TOURIST PARK
LOTS 1, 2 AND 3 ON SP311305 AND LOT 4 ON NR3750, 49 FICHERA ROAD, MAREEBA**

As a regular user of Fichera Rd, I have significant concerns with this Development Application (DA) with respect to public safety in regard to Road Usage (vehicles, pedestrians, cyclists, public transport) and Traffic Safety (vehicular movements in relation to road users) on the external road to this DA.

Whilst I welcome economic growth for our Shire and for all individuals within, I have considerable concern with approving more MCU development to a minor rural road and NOT providing in-depth surveys or reports to assist in the appropriate Conditioning by Council upon such applications, or informing future budgeting and planning by the Council to ensure that all necessary improvements and or conditions for road use conflicts surrounding such developments will be made fairly and for the safety of all road users.

As stated in the Mareeba Shire Council (MSC) Planning Scheme under Parking and Access Codes, Possible Outcome 10 – for Tourist Parks, *the level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users.*

This DA impacts road usage beyond simply the generated number of vehicles per day. I argue that Traffic Safety, in particular traffic movement in relation to the type of vehicles being added, is also an *unacceptable impact* on local road users and any traffic survey or report needs to include: the type of vehicles; movement of large vehicles (potentially up to 19m) turning and entering into private property entrances (even more so when topography and narrow road / bridge networks are involved), as well as speed monitoring on a minor rural road at areas of potential congestion and safety concern.

Thus, in order to look at opportunities to improve traffic impacts generated by this DA, critical sections of Fichera Road need to be reviewed to look at opportunities to improve the safe movement of vehicles and people along the road.

Therefore, I will be addressing:

1. Context of Fichera Rd in relation to this Development Application
2. Areas of Concern
3. MSC Planning Scheme Codes
4. Traffic Survey Report
5. Appendices

1. CONTEXT

Fichera Road is a minor rural road that in regard to this DA will have an impact area of approximately 500m, of which approximately 300m is single lane, with a low, narrow (awkward approach) steep descending / ascending topography to and from the single lane bridge over Tinaroo Creek, that then widens to a 2-lane road approximately 35m after the bridge before levelling out a further 130m on, remaining level to the 3rd access driveway.

First-time travellers to Fichera Road are certainly unfamiliar with the challenges of this road and bridge topography. As local users, it is a frequent occurrence to be confronted by all vehicle types but at least we have the experience (generally) to know the Black Spots, Blind Spots, or where there is a little bit of road verge to pull off onto in cases of sudden need. Our travelling community do not, which is a grave concern with respect to road safety in this very precarious section of Fichera Road (Appendix A).

It is my firm opinion, Council should not give merit to the Response to Information Request received 8 March 2024, as I believe it does not constitute a comprehensive Traffic Impact Assessment (TIA).

Road usage data and traffic safety for the proposed Tourist Park Accesses to the rural property (due to the development's nature), requires a more robust TIA, not just a count of vehicle numbers that equates to usage % increase.

Traffic surveying for this DA must look at road safety (both day and night), proximity to bridge, multiple entrances, vehicular size and movement issues regardless of more or less vehicles. Traffic flow times are of importance too, as most of the large, heavier vehicles will be moving throughout the day as part of existing enterprises (RV park, Fruit Transportation, Sugar Cane Hauling, and in time – Winery Resort and Workforce Accommodation traffic).

Heavy and large vehicle usage data is at the very core of my concerns with this DA due to the nature of such traffic use along this precarious section of road ie. long, large, sight-impaired vehicles that are slow to enter and exit the property access points (entrances); a challenge to move along the narrower road sections of Fichera Rd and the Bridge; and or continuing on as through-traffic to other properties.

Peak times are valid but to some degree less relevant as most the Tourist Park users / visitors move during business hours (predominantly 9am – 4pm) which is when Fichera Rd usage especially for large vehicles increases (eg. existing tourist RVs continuing past the DA entrance; increased fruit freighting in long, large vehicles in last 2 years with new farming practices (not in 2021 traffic data); cane hauling; potential coaches/buses to Winery). Therefore, relevant timed data for traffic movements is applicable as part of Council's information gathering for this DA.

Approaching the DA property from town, the first Main entrance to the property is located on the left, approximately 120m from the bridge (80m of which is a 2-lane road), and the second entrance on the right (proposed in Stage 1 of the original DA plans**) is only another 20m on. The third proposed entrance on the right is a further 200m, with the continued 2-lane road frontage.

*** this 2nd entrance is marked on the recently submitted Amended Plans but not labelled for Sites 1a & 1c, nor mentioned in the Response to Information Request and thus not calculated in the current TIA Report.*

Therefore, Access Management is a critical element that must be reviewed thoroughly when Conditioning this DA (Appendix B – Austroads Guide Access Management excerpt).

2. AREAS of SAFETY CONCERN

First/Main Entrance (to Sites 2a, 2b, 3, 4)

- Tourist Park travellers will have to slow down to turn into a standard driveway
- Park patrons exiting will be slow to accelerate out on to the sloped, curved road
- Entrance will have to absorb traffic of the residents, tenants, workers, tourists
- Workforce vehicles sometimes park near to the driveway on the easement

Implications

- Most used entrance for the whole DA, therefore will have the highest traffic volume influencing traffic conflict concerns
- Other vehicles may get caught on the bridge or have to brake and wait on the bridge or slope, as they try to continue on from the bridge
- Large vehicles potentially travelling behind will be significantly challenged to accelerate up the hill if they have to slow down or stop
- Challenge when vehicles are both entering and exiting the main entrance at the same time
- Slower exiting vehicles will impact town bound traffic as well, as they will be pulling out in a blind-spot location due to the down-sloped curved road approach the town bound traffic will be travelling along
- Sight Distance for exiting traffic is also of concern when the vehicle plans to turn right out of the property and is slow to do so (given the vehicles capacity) and at times will be greeted with traffic entering simultaneously, or through-traffic accelerating up the hill, or traffic coming from the left via a curved, limited-sight approach

Suggestions for Council Decision Notice, but not limited to:

- Construct a slip-lane prior to entering Main entrance from bridge direction
- Widen the 2-lane road and verges to allow for turning vehicles as they exit the property or recommend an alternate property entrance / exit point
- Widen Main entrance and Fichera Rd to allow for easier vehicular movements in accordance with *Department of Main Roads Road Planning and Design Manual, Chapter 13 Intersections at Grade (Appendix C)*.
In particular,
13.2 Network Considerations
13.9 Property Accesses
13.9.4 Rural Property Access

Second Entrance (Sites 1a, 1c) Stage 1 of original DA Proposed Plans

(20m further, on opposite side of road to Main entrance)

- This entrance has not been noted in the Response to Information Request for the Traffic Survey, and is not labelled in the Amended Plans provided with the Response to Information Request
- However, if it is to be developed as per the submitted DA, there would be potential for significant traffic congestion at times when vehicles are either entering, exiting, or travelling through this short section (two entrances, 20m apart, on opposing sides) of Fichera Road

Implications

- Congestion in this area is of particular concern once more because of its proximity to the bridge and proximity and positioning to the Main entrance
- Sloping topography reducing visual accuracy for vehicular movements at the entrances

- The unfamiliarity to first-time travellers of this area therefore not realising traffic flow rates to enter / exit one or both entrances
- Limited Sight Distance with all other traffic interactions

Suggestions for Council Decision Notice, but not limited to:

- Widen the roadway and verges further, add in a slip lane for exiting towards town
- Widen all driveways in accordance with the *Department of Main Roads Road Planning and Design Manual, Chapter 13 Intersections at Grade* (Appendix C).
In particular,
13.2 Network Considerations
13.9 Property Accesses
13.9.4 Rural Property Access

Third Entrance (Site 1b)

(200m further, on right side of road)

- Tourist Park travellers will have to slow down to turn into a standard driveway
- Patrons exiting will be slow to accelerate out on to Fichera road causing through-traffic to slow down

Implications

- This entrance will slow through-traffic along the road as large vehicles accelerate or decelerate to enter / exit the property

Suggestions for Council Decision Notice, but not limited to:

- Widen road plus verges, or add in slip lanes to provide safer entry / exit, and allow flow of through-traffic
- Traffic warning signs erected
- Widen all driveways in accordance with the *Department of Main Roads Road Planning and Design Manual, Chapter 13 Intersections at Grade* (Appendix C).
In particular, *13.2 Network Considerations; 13.9 Property Accesses; 13.9.4 Rural Property Access*

3. MSC PLANNING SCHEME CODES

I ask that Council delegates request a review of the following Possible Outcomes with the Applicant on *MSC Planning Scheme 9.4.3 Parking and Access Code*, with regards to directly looking at the "Access" Code sections and address how these Outcomes will be mitigated.

9.4.3.1. The purpose of the Parking and Access code is to ensure:

(b) the efficient functioning of the development and the local road network

Possible Outcomes 2, 5 and 10 of the Parking and Access Code:

PO 2 Vehicle crossovers are provided to:

- (a) ensure safe and efficient access between the road and premises;
- (b) minimize interference with the function and operation of roads; and
- (c) minimise pedestrian to vehicle conflict.

PO 5 Access to, and manoeuvring within, the site is designed and located to:

- (a) ensure the safety and efficiency of the external road network;
- (b) ensure the safety of pedestrians;

- (c) provide a functional and convenient layout; and
- (d) accommodate all vehicles intended to use the site

PO 10 If for a Tourist park

The level of traffic generated by the development on the surrounding local road network must not result in unacceptable impacts on adjacent land and local road users

4. TRAFFIC SURVEY / REPORT

In a previous MSC Development Application – MCU/23/0001 Revised Traffic Report (dated 27 July 2023), it cited that *“the current daily traffic movements on Fichera Road are approximately 4 times greater than that guided by Austroads”*.

Therefore, I firmly ask that Council delegates request a comprehensive Traffic Report to be conducted (inclusive of a road safety audit or road safety assessment), before their Decision Notice is prepared, to ascertain the capability and safety of Fichera Rd to further absorb the proposed “Development related vehicles” amongst local traffic on this section of road, considering but not limited to:

- Bridge approaches needing review with large, slowing traffic to be accommodated at a critical vicinity to the bridge (entering / exiting at Main entrance)
“Grades cause the need for speed variations, gear changes and braking for all vehicles. Grades cause speed disparities between vehicle types, leading to increased queuing and or overtaking requirements. Where grades cause the disparities in vehicle speeds, and particularly where there is a relatively high percentage of heavy vehicles or cars towing caravans or trailers, passing lanes or turn-out bays should be considered to enable the faster moving vehicles to pass.” Austroads Guide
- Pedestrians and cyclists needing a wider road to safely commute
- Turning traffic that will add to the already challenging passage of vehicles passing by one another as they progress to and from the bridge
- Response to Information Request does not include traffic from the proposed number of sites at Site 1a (5 more) & 1c (unknown), as they were omitted from the Amended Plan recently submitted but are referenced as Stage 1 in the original DA plans
- Any Traffic Survey and Report should include the potential traffic conflict issues IF the 2nd entrance (to Site 1a & 1c) is to remain included with this DA as there would now be two crucial entrances within 20m of each other, on opposing sides of the road, adding to the traffic flow issues for potential conflict, be it with regular vehicles or more importantly the manoeuvring of multiple larger, longer vehicles
- Review the requirements for Minimum Gap Sight Distance and Safe Intersection (driveway) Sight Distance, in accordance with the Austroads Guide
- Information on existing or potential safety and traffic problems should include:
 - . crash history
 - . complex access entrance geometry
 - . Fichera Road currently operating at or above capacity
 - . driveway access turn capacity
 - . driveway access lighting adequacy
 - . “design vehicle” usage specific for this DA (as per Austroads Guide)
 - . vehicle swept paths and road-to-property pavement conditions

CONCLUSION

With regards to this Development Application, it is not simply a matter of how many vehicles it will increase road usage by, but more so it is a matter of the type of vehicles (in particular their length – up to approx 15m) and the way in which they traverse this notorious section of Fichera Rd when involved with the DA Tourist Park.

I would like to see appropriate Conditions applied to ensure that all road users, especially the Tourist Park visitors who are new to this tricky road section, have a safer road experience. This DA should be equitably Conditioned to improve the section of “Development Impacted Road” based on a more robust and thorough Traffic Safety Report, in readiness to commence operations.

In addition, Council needs to be accountable in budgeting for future safety improvements from the start of Fichera Rd through to, and including, the bridge approaches in order to improve road safety through this zone for all users and mitigate the ongoing impact from the numerous developments that Council has approved in recent years, factoring in the increase in residents, large-scaled farming practices, increased rural workers and tourism operators that all now contribute to road usage and the breached capacity Fichera Rd is operating at.

Should Council seek to approve this DA, then a thorough Traffic Safety Report (inclusive of traffic movement, access management), prior to the appropriate Conditioning on Traffic Safety for Fichera Rd, should be the very least Council does with respect to this and future Development Applications along Fichera Road.

I trust that Council will further Condition their Report / Decision Notice for this DA accordingly in respect to all other relevant Impact Assessable Codes (amenity, biosecurity, bushfire buffers, Land Use conflicts etc) through the Planning Scheme to ensure this DA achieves appropriate outcomes in all Codes. But most importantly I trust that Council will definitely Condition this DA for safer road usage for all who utilise this section of Fichera Road.

Finally, I request that there should be no “minor amendments” allowed to the layout of this DA without seeking further feedback from the Fichera Road community or Submitters and I request that this DA does not allow for future Code Assessable increases of use of the land eg. increase in sites or guest numbers, or supporting infrastructure, without public notification and rights to make submissions, as such an extension would once again impact road safety.

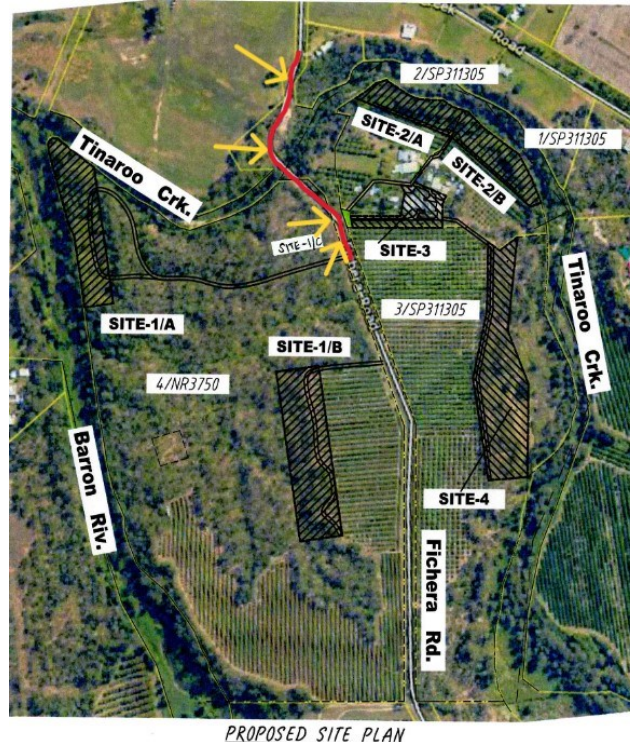
I await Council's further correspondence.

Sincerely,

Tammy Tiraboschi

APPENDIX A

- Hazardous section of Fichera Road
- ➔ Major traffic conflict points



APPENDIX B

Austrroads – Road Designs – Access Management (www.austrroads.com.au)

Access management is the process of controlling the movement of traffic between a road and adjacent land. The purpose of access management is to protect the safety and efficiency of the traffic function of the road, while acknowledging the needs and amenable use of adjacent land, through the provision of safe and appropriate access.

Access management is often an issue on rural arterial roads at locations where sight distance is limited by the horizontal or vertical geometry of the road

The provision of consistent geometric design along roads, particularly roads in rural environments, is an important aspect of road safety. There should certainly be ‘no surprises’ for drivers

Access management, should regulate interruptions to traffic flow to a degree consistent with the transport functions of the road, thus creating safer traffic conditions, smoother traffic flow, and increased capacity

APPENDIX C

Department of Main Roads Road Planning and Design Manual 2006
Chapter 13 Intersections at Grade

My capacity to understand and access appropriate manuals, policies or legislation is limited. Therefore, this document I make reference to may possibly be superseded and although it is from the Department of Main Roads, it refers to road networks and land use relationships and the fundamental aspects that endorse the level of safety I believe should be reviewed by Council for a safer Fichera Road.

Extracted pertinent sections:

13.2 Network Considerations

A road network provides for the movement of people and goods. Its relationship to land use is fundamental. Traffic is a function of land use; land use is a function of access. A road network is an integral part of land use and cannot be considered independently.

Traditionally, roads have operated in a dual function mode. A typical road provides for both through traffic movement (movement function) and the movements necessary to support the adjoining land use (access function).

When traffic volumes are low, the dual function can be accepted; as traffic volumes increase, the problems associated with this duality of operation become very important. This can lead to breakdowns in the service provided in both functions as manifested by delays, accidents, and other malfunctions of the network

13.3.1.1 Design and Check Vehicles

The design vehicle is the largest vehicle likely to regularly use a movement. On most arterial roads this would be a 19.0m long articulated vehicle.

Vehicle turning paths must also be generated for the check vehicle to ensure it can negotiate the intersection (*or property access*).

- point of conflict: the road space desired by one vehicle or traffic movement, which is simultaneously required by another vehicle or traffic movement.
- entering sight distance (ESD): the sight distance required for a vehicle to enter from a side street (*or property access*) and accelerate such that it would not impede traffic on a non-terminating approach, travelling in the same direction.

13.9 Property Accesses

13.9.1 General

The principles of intersection design in the previous parts of this guide also apply to property accesses. Sight distance, design vehicle turning paths and interference to through traffic by decelerating and accelerating vehicles should be considered at all sites.

13.9.4 Rural Property Access

13.9.4.1 General

On rural roads, although there are low turning traffic volumes to widely spaced access points to developments, high speed accidents occur due to low driver expectation of turning vehicles.

Treatment of access to rural properties is dependent upon several criteria including through traffic volumes, turning volume and vehicle type, single or divided carriageway, land use and general topography.

Victoria McCann & Ronald Reddicliffe

134 Fichera Road

Mareeba 4880

(PO Box 746, Mareeba)

Chief Executive Officer

Mareeba Shire Council

PO Box 154

MAREEBA QLD 4880

3rd May 2024

REF: MCU/23/0021

Dear Sir,

We are writing to you in regard to a development application which has been submitted to Mareeba shire Council. The details are below:

49 Fichera Road, Mareeba

Lots 1,2 and 3 on SP311305 and Lot 4 on NR3750

Application reference MCU/23/0021

The applicant is our direct neighbor on Fichera Road and although our overall view is that we do not oppose the development, it does however raise some concerns which I hope will be addressed during the development and approval process. I have outlined these concerns below

- Increased traffic on Fichera Road – the issue which has already been raised by the council for both this development and previous developments.
- Camp site 1b is close to our property boundary and our residence (as shown on the picture below) There is currently no fence or hedgerow etc. in place between the properties. I am concerned about the loss of our privacy and tranquility with the camp site in close range. Campers/tourists can easily wander onto our property when they go for a walk etc. There are also noise concerns and how that would be buffered from us if there were to be rowdy campers. I would like there to be consideration for this taken into the approval of the development application so that we are able to maintain our peaceful rural lifestyle.



- My last concern is that the location of campsite 1b is in the middle of a commercial mango orchard which is frequently and very regularly foliar sprayed. What consideration will be taken there for the campers/tourists when spraying is taking place? I feel this could be a potential Health and Safety issue.

We hope and trust you will take our concerns with high consideration during your approval and decision-making process.

Kind Regards

Victoria McCann & Roanld Reddicliffe

134 Fichera Road Mareeba

8.3 APPLICATION FOR THE INCLUSION OF AN ADDITIONAL PURPOSE ON TERM LEASE 0/217691 - LOT 434 ON SP136214, LOCALITY OF PALMER

Date Prepared: 2 July 2024
Author: Coordinator Planning Services
Attachments: 1. Department of Resources email of 10 June 2024 [↓](#)

EXECUTIVE SUMMARY

Application has been made to the Department of Resources (DoR) for the inclusion of an additional purpose (low key tourism) on Term Lease 0/217691 over land described as Lot 434 on SP136214, Locality of Palmer.

Term Lease 0/217691 commenced on 24 June 2002 and was issued for pastoral purposes.

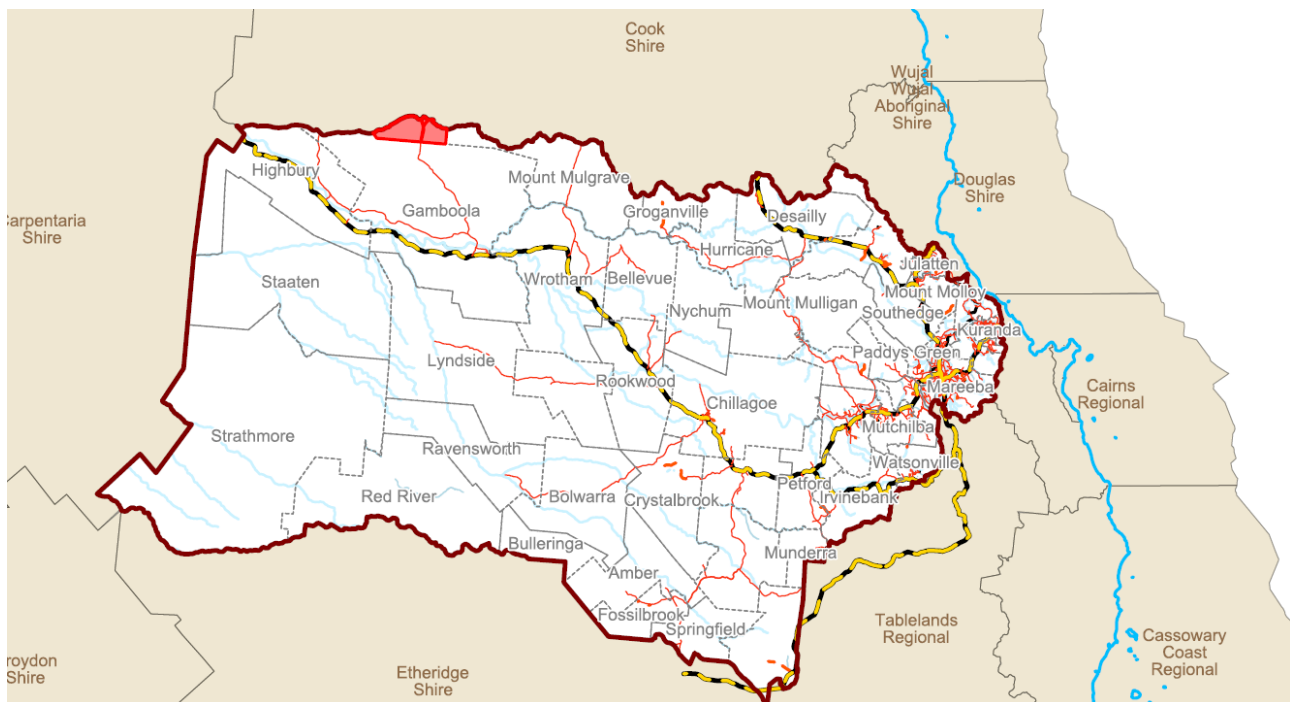
DoR seeks Council's views on the inclusion of the additional purpose.

RECOMMENDATION

That Council offer no objection to the inclusion of the additional purpose of low key tourism on Term Lease 0/217691 over land described as Lot 434 on SP136214, Locality of Palmer and advise the Department of Resources that low key tourism may require development approval under the Mareeba Shire Council Planning Scheme 2016.

BACKGROUND

DNRM is currently considering an application for the inclusion of an additional purpose (low key tourism) to Term Lease 0/217691 over land described as Lot 434 on SP134214, Locality of Palmer.



Based on, or contains data provided by the State of Queensland (Department of Environment and Resource Management) (2009). In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency, or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage, or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.

The subject land is Strathleven Station having an area of 90,000 hectares, with approximately 68,000 hectares falling within Cook Shire and 22,000 hectares falling within Mareeba Shire. The land is situated on the Palmer River approximately 170 kilometres north-west of Chillagoe.

Term Lease 0/217691 commenced in 2002 for pastoral purposes and is current until 23 June 2062.

The proposed low key tourism purpose could include recreational camping activities and use of existing infrastructure for low key tourism activities.

DoR seeks Council's views on the inclusion of the additional purpose.

RISK IMPLICATIONS

LEGAL/COMPLIANCE/POLICY IMPLICATIONS

The subject land is zoned Rural under the Mareeba Shire Council Planning Scheme 2016.

Development of low key tourism activities on the subject land is likely to be assessable development under the Mareeba Shire Council Planning Scheme 2016.

FINANCIAL AND RESOURCE IMPLICATIONS

Capital

Nil

Operating

Nil

LINK TO CORPORATE PLAN

Economy and Environment: A resilient economy that promotes and supports the shire's natural assets and local industry and encourages investment while preserving and future proofing for generations to come.

IMPLEMENTATION/COMMUNICATION

The Department of Resources will be informed of Council's decision by letter.

From: "Moll Johann via eLVAS System - (Production)" <johann.moll@resources.qld.gov.au>
Sent: Mon, 10 Jun 2024 12:19:47 +1000
To: "Info" <info@msc.qld.gov.au>
Cc: "johann.moll@resources.qld.gov.au" <johann.moll@resources.qld.gov.au>
Subject: Request views for amendment to purpose of Term Lease 0/217691 (eLVAS 2022/000627)
Attachments: Resources Views Request letter to Mareeba Shire Co.pdf
Categories: Erika;Added to ECM

Official correspondence from Department of Resources
 Case Id: 2022/000627

Hi,

The department has received an application for an additional purpose being (low key tourism) over Term Lease 0/217691 for Pastoral purpose described as Lot 434 on Survey Plan 136214, locality Palmer.

The Departments requesting view letter is attached for your consideration.

Please provide comments by 8 July 2024 to the address on the letter or by email to lasslsteam1enq@resources.qld.gov.au

Any hard copy correspondence received will be electronically scanned and filed. For this reason, it is recommended that any attached plans, sketches or maps be no larger than A3 sized.

If you have any further queries in relation to this matter, please do not hesitate to contact the department on 4222 5427 and quote reference number 2022/000627.

Regards

Jo Moll
 Land Officer
 Land Services
 Land & Surveying Services
 Department of Resources

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File / Ref number: 2022/000627
Directorate / Unit: Land and Surveying Services
Phone: (07) 4222 5427

10 June 2024

Chief Executive Officer
Mareeba Shire Council
PO Box 154
MAREEBA QLD 4880

Email: info@msc.qld.gov.au



Department of Resources

Dear Sir / Madam,

Application for the inclusion of an additional purpose being (low key tourism) over Term Lease 0/217691 for Pastoral purpose described as Lot 434 on Survey Plan 136214, locality Palmer.

I refer to the above mentioned and wish to advise the department is investigating an application to include an additional purpose of low-key tourism over Term Lease 0/217691 described as Lot 434 on Survey Plan 136214.

Lot 434 on Survey Plan 136214 is currently held as Term Lease 0/217691 for Pastoral purposes by the registered lessee Vincent Dale Bowyer and Wendy Eva Kozicka.

The applicants have made an application to the department for an additional purpose of low-key tourism to be included on Term Lease 0/217691.

The enclosed Smartmap shows the subject land and the surrounding locality.

Please advise the department of your views or requirements including any local non-indigenous cultural heritage values that the department should consider when assessing this application.

Note - If land is required for a public purpose, it can be acquired at any time by negotiation and where necessary acquisition.

Your views, requirements or objections to the application must be received by this Office by close of business on **8 July 2024**. If you offer an objection to the application, a full explanation stating the reason for the objection should be forwarded to this Office.

Postal Address:
Department of Resources
PO Box 5318
Cairns QLD 4870

Telephone: (07) 4222 5427

If you wish to provide a response but are unable to do so before the due date, please contact the author before the due date to arrange a more suitable timeframe. An extension to this due date will only be granted in exceptional circumstances.

If a response is not received by the due date and no alternative arrangements have been made, it will be assumed you have no objections or requirements in relation to this matter and it will proceed without further input from you.

This information has been provided to you in confidence for the purpose of seeking your views on this matter. It is not to be used for any other purpose, or distributed further to any person, company, or organisation, without the express written permission of the department.

If you wish to discuss this matter, please contact Jo Moll on (07) 4222 5427.

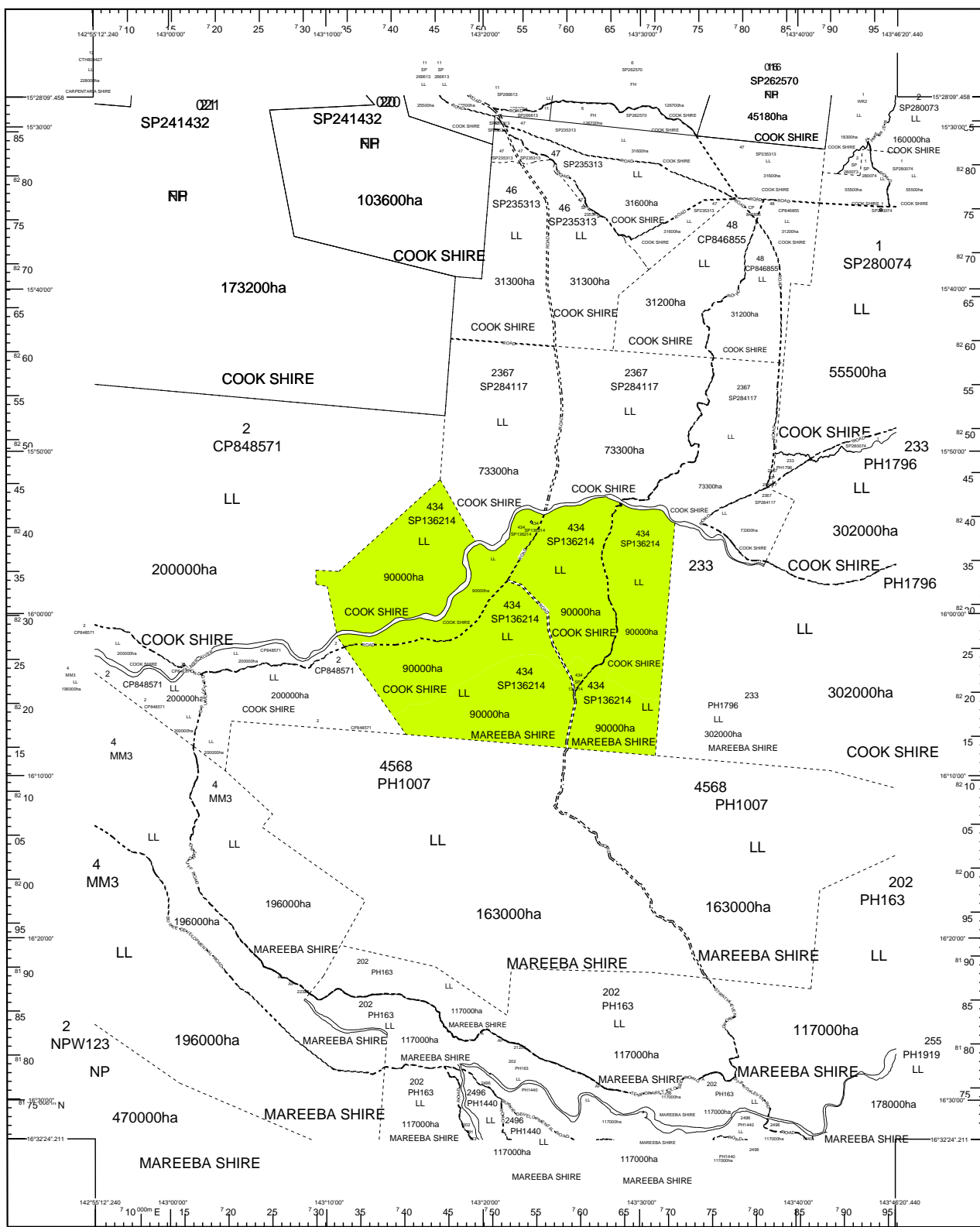
All future correspondence relative to this matter is to be referred to the contact Officer at the address below or by email to lasslsteam1eng@resources.qld.gov.au. Any hard copy correspondence received will be electronically scanned and filed. For this reason, it is recommended that any attached plans, sketches or maps be no larger than A3-sized.

Please quote reference number 2022/000627 in any future correspondence.

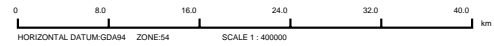
Yours sincerely



Jo Moll
Land Officer
Land Services
Land and Surveying Services



STANDARD MAP NUMBER
7565-14114



SmartMap
An External Product of
SmartMap Information Services
Based upon an extraction from the
Digital Cadastral Data Base



SUBJECT PARCEL DESCRIPTION	
DCDB	
Lot/Plan	434/SP136214
Area/Volume	90000ha
Tenure	LANDS LEASE
Local Government	COOK SHIRE
Locality	PALMER
Segment/Parcel	815273

CLIENT SERVICE STANDARDS

PRINTED 10/06/2024
For additional information regarding this SmartMap see page 2.
Shading Rules have been applied.

DCDB 09/06/2024 (Lots with an area less than 8.000ha are not shown)

Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.

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For further information on SmartMap products visit
<https://www.qld.gov.au/housing/buying-owning-homes/property-land-valuations/smartmaps>



Document Set ID: 4369287
Version Date: 10/06/2024

Additional Information Page

Shading Rules

 Lot Number = 434 and Plan Number = SP136214

8.4 TWO RIVERS COMMUNITY SCHOOL - MATERIAL CHANGE OF USE - EDUCATIONAL ESTABLISHMENT - LOT 71 ON SP292140 - CHEWKO ROAD & 267 MCIVER ROAD, MAREEBA - MCU/23/0012

Date Prepared: 20 June 2024

Author: Coordinator Planning Services

Attachments:

1. Proposal Plans [↓](#)
2. State Assessment and Referral Agency response dated 30 May 2024 [↓](#)
3. Submissions [↓](#)

APPLICATION DETAILS

APPLICATION		PREMISES	
APPLICANT	Two Rivers Community School	ADDRESS	Chewko Road & 267 McIver Road, Mareeba
DATE LODGED	27 July 2023	RPD	Lot 71 on SP292140
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Material Change of Use – Educational Establishment		
FILE NO	MCU/23/0012	AREA	28.73 hectares
LODGED BY	Freshwater Planning Pty Ltd	OWNER	Stelbay Pty Ltd
PLANNING SCHEME	Mareeba Shire Council Planning Scheme 2016		
ZONE	Rural zone		
LEVEL OF ASSESSMENT	Impact Assessment		
SUBMISSIONS	Six (6)		

EXECUTIVE SUMMARY

Council is in receipt of a development application described in the above application details.

The application is impact assessable and six (6) properly made submissions were received in response to public notification of the application.

The application and supporting material has been assessed against the Mareeba Shire Council Planning Scheme 2016 and does not conflict with any relevant planning instrument.

The key issues of the proposed development are the upgrading of access to the development and the establishment of vegetation buffer along the site's southern boundary to protect the ongoing farming activities on the adjoining farm.

Draft conditions were provided to the Applicant / care of their consultant and have been agreed.

It is recommended that the application be approved in full with conditions.

OFFICER’S RECOMMENDATION

1. That in relation to the following development application:

APPLICATION		PREMISES	
APPLICANT	Two Rivers Community School	ADDRESS	Chewko Road & 267 Mclver Road, Mareeba
DATE LODGED	27 July 2023	RPD	Lot 71 on SP292140
TYPE OF APPROVAL	Development Permit		
PROPOSED DEVELOPMENT	Material Change of Use – Educational Establishment		

and in accordance with the Planning Act 2016, the applicant be notified that the application for a development permit for the development specified in (A) is:

Approved by Council in accordance with the approved plans/documents listed in (B), subject to assessment manager conditions in (C), assessment manager’s advice in (D), concurrence agency conditions in (E), relevant period in (F), further permits in (G), and further approvals from Council listed in (H);

And

The assessment manager does not consider that the assessment manager’s decision conflicts with a relevant instrument.

(A) APPROVED DEVELOPMENT: Development Permit for Material Change of Use – Educational Establishment

(B) APPROVED PLANS:

Plan/Document Number	Plan/Document Title	Prepared by	Dated
162/A021 Issue 5	Existing Site - 2021	LIFE Design Consulting	24/07/2023
162/A031 Issue 9	Masterplan – Final Entire Site	LIFE Design Consulting	10/10/2023
162/A041b Issue 7	Masterplan -2041 School	LIFE Design Consulting	10/10/2023
162/A041c Issue 6	Masterplan 2041 School B&W	LIFE Design Consulting	10/10/2023
162/A111 Issue 5	Stage 1 Plan	LIFE Design Consulting	24/07/2023
162/A112 Issue 3	Stage 1 Plan – Parking and Drop-off	LIFE Design Consulting	24/07/2023
162/A121 Issue 5	Stage 2 Plan	LIFE Design Consulting	24/07/2023
162/A131 Issue 6	Stage 3 Plan	LIFE Design Consulting	24/07/2023
162/A141 Issue 4	Stage 4 Plan	LIFE Design Consulting	24/07/2023
162/A151 Issue 4	Stage 5 Plan	LIFE Design Consulting	24/07/2023
162/A161 Issue 7	Final Plan	LIFE Design Consulting	24/07/2023
162/A162 Issue 3	Final Plan – Parking and Drop-off	LIFE Design Consulting	24/07/2023
162/A901 Issue 4	3D Views - Birdseye	LIFE Design Consulting	24/07/2023
162/A902 Issue 4	3D Views - Birdseye	LIFE Design Consulting	24/07/2023
162/A903 Issue 4	3D View from Entry	LIFE Design Consulting	24/07/2023
162/A911 Issue 4	3D Views – Internal courtyard	LIFE Design Consulting	24/07/2023

(C) ASSESSMENT MANAGER’S CONDITIONS (COUNCIL)

(a) Development assessable against the Planning Scheme

1. Development must be carried out generally in accordance with the approved plans and the facts and circumstances of the use as submitted with the application, subject to any alterations:
 - found necessary by Council’s delegated officer at the time of examination of the engineering plans or during construction of the development because of particular engineering requirements; and
 - to ensure compliance with the following conditions of approval.
2. Timing of Effect
 - 2.1 The conditions of the development permit applicable to each stage must be complied with to the satisfaction of Council’s delegated officer prior to the commencement of the relevant stage of the use except where specified otherwise in these conditions of approval.
 - 2.2 Prior to the commencement of each stage of the use, the applicant must notify Council that all the conditions of the development permit have been complied with, except where specified otherwise in these conditions of approval.

3. General

- 3.1 The development approval would not have been issued if not for the conditions requiring the construction of infrastructure or the payment of infrastructure charges within the conditions of approval or the Adopted Infrastructure Charges Notice.
- 3.2 The applicant/developer is responsible for the cost of necessary alterations to existing public utility mains, services or installations required by works in relation to the proposed development or any works required by condition(s) of this approval.
- 3.3 All payments or bonds required to be made to the Council pursuant to any condition of this approval must be made prior to commencement of the use and at the rate applicable at the time of payment.
- 3.4 All works must be designed, constructed and carried out in accordance with FNQROC Development Manual requirements (as amended) and to the satisfaction of Council's delegated officer.
- 3.5 Waste Management
 - 3.5.1 On site refuge storage area/s must be provided and be screened from view from adjoining properties and road reserve by 1 metre wide landscaped screening buffer or 1.8m high solid fence or building.
 - 3.5.2 Where bulk bins are used and are to be serviced on site, prior to the issue of a development permit for building works, Council's delegated officer must be satisfied that internal access is of adequate design and construction to allow waste collection/delivery vehicles to enter and exit the site in a forward gear only.
 - 3.5.3 All waste storage areas must remain covered and no food scraps disposed of on-site so as to not encourage scavenging from wildlife and birdlife.
- 3.6 Noise Nuisance

Refrigeration equipment, pumps, compressors and mechanical ventilation systems must be located, designed, installed and maintained to achieve a maximum noise level of 3dB(A) above background levels as measured from noise sensitive locations and a maximum noise level of 8dB(A) above background levels as measured from commercial locations.
- 3.7 Air Conditioner & Building Plant Screening

The applicant/developer is required to install and maintain suitable screening to all air conditioning, lift motor rooms, plant and service facilities located at the top of or on the external face of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the facade of the building. There are to be no individual external unscreened air conditioning units attached to the exterior building facade.

3.8 Emissions

Emissions associated with the development must not cause an 'environmental nuisance' within the meaning of the Environmental Protection Act (1994) to any sensitive receptor.

3.9 Safety fencing

A child proof fence or physical barrier is provided to prevent unintended access to the following areas, directly from indoor or outdoor areas intended to accommodate children:

- (a) Vehicle manoeuvring and parking areas;
- (b) Refuse storage and servicing areas; and
- (c) Air conditioning, refrigeration plant and mechanical plant.

The location and extent of fencing shall be determined by the applicant/developer after carrying out a risk assessment.

3.10 Student Enrolments

The total number of enrolled students shall not exceed three hundred (300), unless prior approval is granted by Council for an expansion of the existing use.

3.11 Bushfire Management

3.11.1 A Bushfire Hazard Management Plan for the site, incorporating evacuation procedures, must be prepared to the satisfaction of Council's delegated officer. The approved use must comply with the requirements of the Bushfire Hazard Management Plan at all times.

3.11.2 An on-site water supply for firefighting purposes must be provided with a minimum capacity of 5,000 litres that must comprise either:

- (a) a stand-alone tank; or
- (b) a reserve section in the bottom part of the main water supply tank; or
- (c) a dam; or
- (d) a swimming pool.

Where tank water supply is provided, the outlet must be fitted with a 50mm ball valve with a camlock fitting for connection to firefighting appliances.

3.12 Biosecurity Management Plan

A Biosecurity Management Plan must be prepared and implemented for the site.

4. Infrastructure Services and Standards

4.1 Development Access

4.1.1 The access off Chewko Road must be designed and constructed in accordance with FNQROC Development Manual standard drawing

for Rural Access S1105. The width and turn radius of the seal must be determined based on swept paths of the largest vehicle that would enter and exit the site.

- 4.1.2 The full length of the access road from Chewko Road to the property boundary must be upgraded/constructed to provide pavement and seal of a suitable standard to accommodate expected traffic volumes accessing the school.
- 4.1.3 The access road must be of a suitable width to accommodate two-way traffic including two buses passing each other. Turning paths confirming that vehicles can safely navigate the bends along the access road must be provided as part of the Operational Works application.
- 4.1.4 The railway level crossing must be upgraded in accordance with the State Assessment and Referral Agency response dated 30 May 2024.
- 4.1.5 The intersection of the existing access to the neighbouring properties to the south must be formalised from the new access road.

The works described above must be undertaken prior to commencement of use of Stage 1, at no cost to Council and will require approval under an Operational Works permit.

4.2 External Works

- 4.2.1 Design and construct the widening of Chewko Road pavement and seal on both approaches to the access intersection to provide trafficable shoulders of a width and length in accordance with Austroads Guide to Traffic Management Part 6 and Austroads Guide to Road Design Part 4A for a Rural Basic left and right turn treatment (BAL and BAR).

The works described above must be undertaken prior to commencement of use of Stage 1, at no cost to Council and will require approval under an Operational Works permit.

4.3 Revised Traffic Impact Assessment – Stage 6

- 4.3.1 A revised Traffic Impact Assessment (TIA) report must be submitted to Council prior to Stage 6 when all facilities constructed as part of Stage 1 to 5 is in operation. The TIA should analyse the impact that the development related traffic will have on Council's road network as a result of this stage and be based on actual traffic counts at the time.

Any external works determined to be required by Council following review of the revised assessment must be undertaken at no cost to Council and will require approval under an Operational Works permit.

4.4 Car Parking/Internal Driveways

- 4.4.1 The applicant/developer must ensure the development is provided with staged on-site car parking spaces generally in accordance with

the approved plans, which are available solely for the parking of vehicles associated with the use of the premises.

- 4.4.2 All car parking spaces and internal driveways must be concrete, bitumen or asphalt sealed and appropriately drained prior to the commencement of the use and to the satisfaction of Council's delegated officer.
- 4.4.3 The car park must be designed in accordance with AS2890.1 Off-Street Car Parking including parking bay dimensions, aisle widths, speed control etc. The design is to be certified by an RPEQ that the car park provisions comply with Australian standards.
- 4.4.4 An internal traffic circulation design plan demonstrating swept paths must be submitted as part of the development application for Operational Works to demonstrate that adequate provision has been made for the manoeuvring of vehicles and buses.
- 4.4.5 All parking spaces and trafficable areas must be maintained in good order and safe repair for the life of the development, to the satisfaction of Council's delegated officer.

4.5 Stormwater Management

- 4.5.1 Prior to building or operational works commencing, the applicant/developer must submit a Stormwater Management Plan and Report prepared and certified by a suitably qualified design engineer (RPEQ) that meets or exceeds the standards of design and construction set out in the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual to the satisfaction of Council's delegated officer.

The Stormwater Management Plan must allow for the proposed staging of the development.

- 4.5.2 The Stormwater Management Plan must ensure a non-worsening effect on surrounding land as a consequence of the development, and must take all reasonable and practicable measures to ensure discharge occurs in compliance with the Queensland Urban Drainage Manual (QUDM) and the FNQROC Development Manual.
- 4.5.3 The applicant/developer must construct the stormwater drainage infrastructure for the development in accordance with the approved Stormwater Management Plan and Report.
- 4.5.4 All stormwater drainage must be collected from site and discharged to an approved legal point of discharge.

4.6 Landscaping and Fencing

- 4.6.1 Prior to the commencement of the use of the site, a landscape plan must be prepared and submitted to Council's delegated officer for consideration and approval.
- 4.6.2 The landscaping plan must incorporate the following:

- (i) A minimum 10 metre wide vegetated landscape buffer for the full length of the buffer zone shown on the approved plans.
- (ii) A minimum 10 metre wide vegetated landscape buffer for 115 metres along the common boundary with Lot 1 on RP708284, directly to the south of the sports field/running track.
- (iii) A 1.8 metre high colorbond (neutral colour) solid screen fence must be established along the site's common boundary with Lot 1 on RP708284 for the full length of the vegetated landscape buffers required under (i) and (ii).
- (iv) The planting of one (1) shade tree for every six (6) parking spaces.

4.6.3 Landscaping associated with 4.6.2 (i) and (ii) must include ground cover, shrubs and trees that will grow to form an effective buffer of no less than four (4) metres in height.

4.6.4 Plant species are to be generally selected from the Plant Schedule in Planning Scheme Policy 6 - Landscaping and preferred plant species.

4.6.5 The landscaping of the site must be carried out in accordance with the endorsed landscape plan/s, and prior to the commencement of the use, and mulched, irrigated and maintained to the satisfaction of Council's delegated officer.

4.6.6 All landscaping must be maintained for the life of the development.

4.7 Lighting

Where installed, external lighting must be designed and installed in accordance with *AS4282 – Control of the obtrusive effects of outdoor lighting* so as not to cause nuisance to residents or obstruct or distract pedestrian or vehicular traffic.

4.8 Non-Reticulated Water Supply

The development must be provided with a potable water supply that can satisfy the standards for drinking water set by the Australian Drinking Water Guidelines 2004 (National Health and Medical Research Council and the National Resource Management Ministerial Council).

All non-potable sources of water must be sign posted "non-potable water supply".

4.9 On-Site Wastewater Management

All on site effluent disposal associated with the approved use must be in compliance with the latest version of On-Site Domestic Wastewater Management Standard (ASNZ1547) to the satisfaction of the Council's delegated officer.

Note: Any on-site wastewater treatment system with a total daily peak design capacity of at least 21 equivalent persons (EP) is an Environmentally

Relevant Activity (ERA 63 - Sewerage Treatment) and an Environmental Authority is required.

4.10 Electricity Supply

The development must be connected to the electricity supply network.

4.11 Telecommunications Infrastructure

The development must be provided with a connection to the national broadband network or telecommunication services.

(D) ASSESSMENT MANAGER'S ADVICE

(a) An Adopted Infrastructure Charges Notice has been issued with respect to the approved development. The Adopted Infrastructure Charges Notice details the type of infrastructure charge/s, the amount of the charge/s and when the charge/s are payable.

(b) The Adopted Infrastructure Charges Notice does not include all charges or payments that are payable with respect to the approved development. A number of other charges or payments may be payable as conditions of approval. The applicable fee is set out in Council's Fees & Charges Schedule for each respective financial year.

(c) Compliance with applicable codes/policies

The development must be carried out to ensure compliance with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they have not been varied by a condition of this approval.

(d) Compliance with Acts and Regulations

The erection and use of the building must comply with the Building Act and all other relevant Acts, Regulations and Laws, and these approval conditions.

(e) Environmental Protection and Biodiversity Conservation Act 1999

The applicant is advised that referral may be required under the *Environmental Protection and Biodiversity Conservation Act 1999* if the proposed activities are likely to have a significant impact on a matter of national environmental significance. Further information on these matters can be obtained from www.dcceew.gov.au.

(f) Cultural Heritage

In carrying out the activity the applicant must take all reasonable and practicable measures to ensure that no harm is done to Aboriginal cultural heritage (the "cultural heritage duty of care"). The applicant will comply with the cultural heritage duty of care if the applicant acts in accordance with gazetted cultural heritage duty of care guidelines. An assessment of the proposed activity against the duty of care guidelines will determine whether or to what extent Aboriginal cultural heritage may be harmed by the activity. Further information on cultural heritage, together with a copy of the

duty of care guidelines and cultural heritage search forms, may be obtained from www.dsdsatsip.qld.gov.au.

(g) Electric Ants

Electric ants are designated as restricted biosecurity matter under the *Biosecurity Act 2014*.

Certain restrictions and obligations are placed on persons dealing with electric ant carriers within the electric ant restricted zone. Movement restrictions apply in accordance with Sections 74–77 of the *Biosecurity Regulation 2016*. Penalties may be imposed on movement of electric ant carriers and electric ants in contravention of the legislated restrictions. It is the responsibility of the applicant to check if the nominated property lies within a restricted zone.

All persons within and outside the electric ant biosecurity zone have an obligation (a **general biosecurity obligation**) to manage biosecurity risks and threats that are under their control, they know about, or they are expected to know about. Penalties may apply for failure to comply with a general biosecurity obligation.

For more information please visit the electric ant website at [Electric ants in Queensland | Business Queensland](#) or contact Biosecurity Queensland 13 25 23.

(E) REFERRAL AGENCY CONDITIONS

State Assessment and Referral Agency conditions dated 30 May 2024.

(F) RELEVANT PERIOD

When approval lapses if development not started (s.85)

- Material Change of Use – six (6) years (starting the day the approval takes effect).

(G) OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

- Development Permit for Building Work
- Development Permit for Operational Works

(H) OTHER APPROVALS REQUIRED FROM COUNCIL

- Compliance Permit for Plumbing and Drainage Work

2. That an Adopted Infrastructure Charges Notice be issued for the following infrastructure charge/s for:

Development Type	Rate	Measure	Charge	Credit Detail	Balance
Educational Establishment	per m2 GFA	GFA			
Stage 1	\$65.25	To be determined at building stage	To be determined at building stage	\$13,084.80	To be determined at building stage

Stage 2	\$65.25	To be determined at building stage	To be determined at building stage	To be determined at building stage
Stage 3	\$65.25	To be determined at building stage	To be determined at building stage	To be determined at building stage
Stage 4	\$65.25	To be determined at building stage	To be determined at building stage	To be determined at building stage
Stage 5	\$65.25	To be determined at building stage	To be determined at building stage	To be determined at building stage
Stage 6	\$65.25	To be determined at building stage	To be determined at building stage	To be determined at building stage
TOTAL CURRENT AMOUNT OF CHARGE				To be determined at building stage

THE SITE

The subject site is situated at Chewko Road, Mareeba and is described as Lot 71 on SP292140. The rural address for the subject site is 267 Mclver Road, Mareeba, however practical access is only available via Chewko Road.

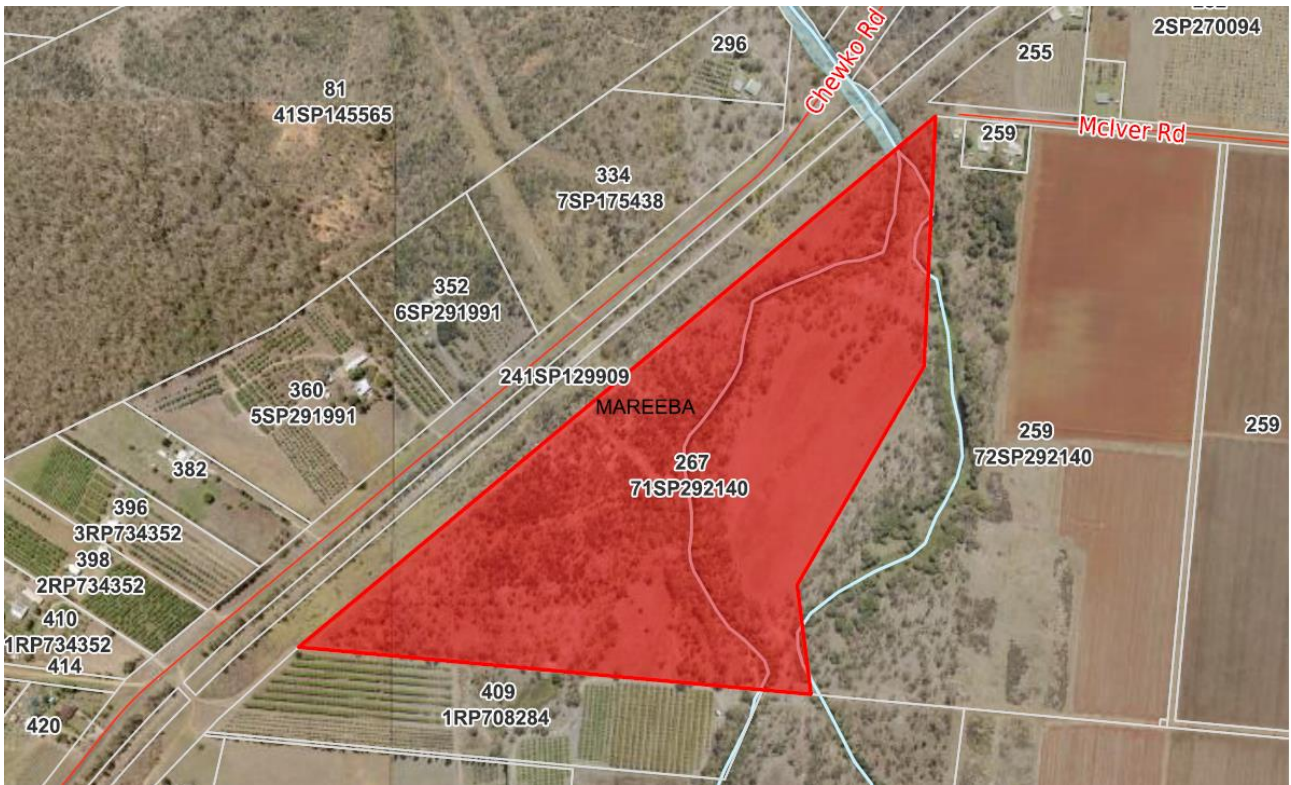
The site is irregular in shape with an area of 28.73 hectares and is zoned Rural under the Mareeba Shire Council Planning Scheme 2016.

The site contains approximately one (1) kilometre of frontage to an unnamed road reserve running parallel to Chewko Road. None of the site’s frontage is constructed. Access is obtained via a gravel driveway at the site’s south-western corner. The gravel driveway crosses a rail level crossing before connecting to Chewko Road.

Chewko Road is constructed to approximately 6 metre wide bitumen sealed standard. The Mareeba-Dimbulah railway line also runs parallel to the site’s frontage.

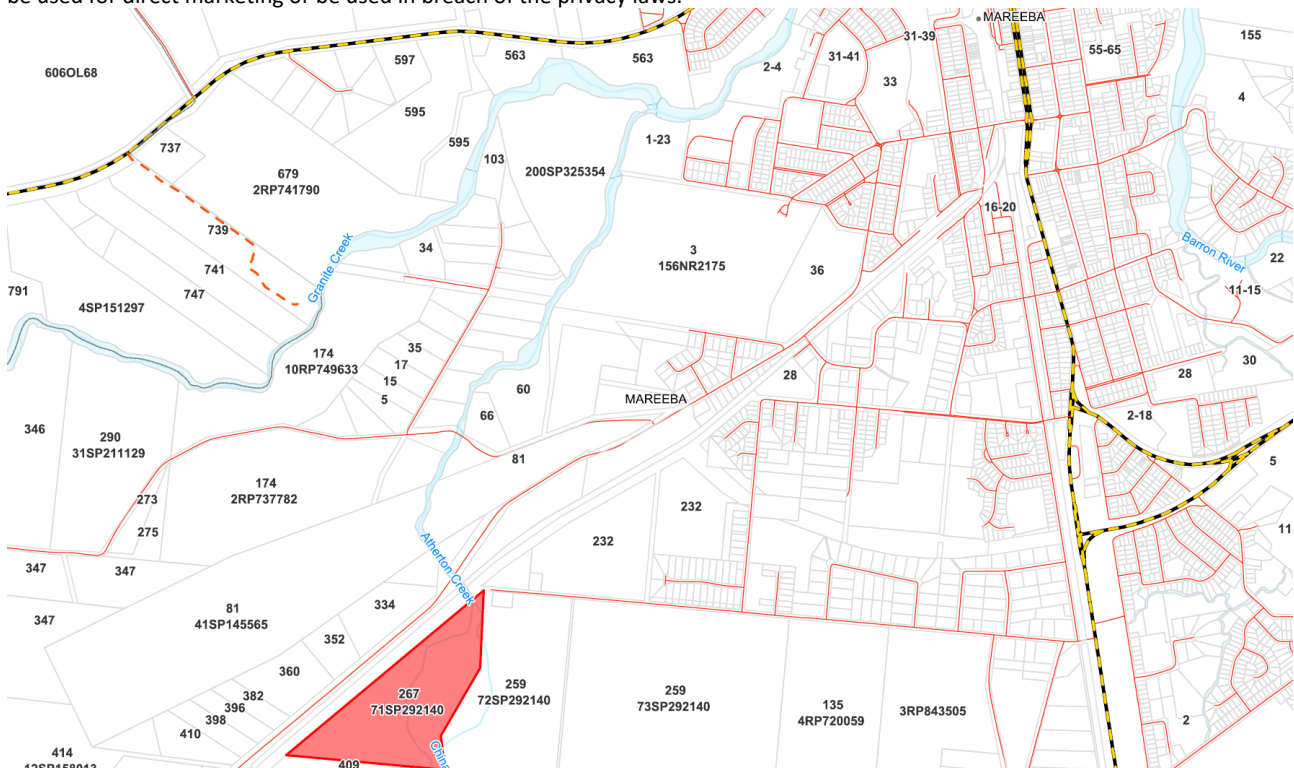
The site is unimproved and mostly vegetated, except for several old agricultural clearings. Chinaman Creek and Atherton Creek both traverse the site.

Surrounding properties are zoned rural and are primarily used for rural purposes.



Map Disclaimer:

Based on or contains data provided by the State of Queensland (Department of Environment and Resource Management) (2009). In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.



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BACKGROUND AND CONTEXT

Nil

PREVIOUS APPLICATIONS & APPROVALS

Nil

DESCRIPTION OF PROPOSED DEVELOPMENT

The development application seeks a Development Permit for Material Change of Use – Educational Establishment in accordance with the plans shown in **Attachment 1**.

The application describes the proposed development as follows:

“The proposed development is for a Material Change of Use – Educational Establishment in the Rural Zone of the Mareeba Shire Council’s Planning Scheme. The site is located at 267 McIver Road, Mareeba and is more particularly described as Lot 71 on SP292140. The site is irregular in shape, has an area of 28.73 hectares and contains Rural Activities. No change to the existing functioning of the Rural Activities will occur as one of the Two Rivers Community School main purpose of the Educational Establishment is to provide an Agriculturally based Education through its Agricultural Activities.

A Development Permit for a Material Change of Use is sought to facilitate the staged construction of the Two Rivers Community School over the existing Rural property. The proposal is to provide an Educational Establishment for an ultimate population of 300 students over six (6) stages as demonstrated on the Life Design Consulting Plans. The Final MasterPlan and Student population is expected to be achieved by 2041. Attached within the Life Design Consulting Proposal Plans are an indicative Layouts, Perspectives and 3D Plans for Stage 1 illustrating a Generic Classroom, Amenities, and the Reception/Tuckshop Building. The proposal has been meticulously designed to incorporate a modern, intelligent, and technologically considered workspace to foster the growth of students within a safe and learned environment. The Staging and proposed Student and Staffing numbers are as follows:

Stage 1

This initial Stage comprises of the construction of two (2) Classrooms, shared Amenities, and a Reception and Resource Centre including a Tuckshop and Kitchen. The first Stage will also see the instalment of the internal accessway, parking area and Bus and Car Drop-Off Areas. Stage 1 will encompass up to fifty (50) students and nine (9) staff.

- *50 Students – 25 male, 25 female*
- *9 Staff – 8 teaching and 1 support staff*
- *Car Parking Area – 22 parking spaces (2 Disabled)*
- *Bus Drop-off Area*
- *4 Vehicle Car Drop-off Area*
- *Resource Centre and Reception including a Tuck Shop/Kitchen (Cooking Classroom)*
- *2 Classrooms*
- *Amenities (shared)*
- *Sports Area*

- *Shared Open Spaces (Playgrounds)*

Stage 2

Stage 2 will increase the Student numbers by twenty (20) and supply an additional two (2) Staff. This Stage will provide an Admin Building inclusive of Entry, Reception, Offices and Staff Room and will utilise the existing Amenities for Staff. A new Student Amenities is proposed within Stage 2. This Stage will also see the construction of an additional two (2) Classrooms, with one being a purpose built Music Classroom. The existing Reception and Resource Centre will be converted to a Multipurpose Classroom.

- *Additional 20 Students – 70 Students in Total – 35 male, 35 female*
- *Additional 2 Staff – 11 Staff Total – 9 teaching and 2 support staff*
- *2 Additional Classrooms (including specific Music Classroom)*
- *Admin Building with Entry, Reception, Offices and Staff Room*
- *Students Amenities*

Stage 3

Stage 3 will increase the Student numbers by fifteen (15) and also supply an additional two (2) Staff. This Stage will facilitate the construction of an Assembly/Multipurpose Hall and additional Shared Open Spaces.

- *Additional 15 Students – 85 Students in Total – 42 male, 43 female*
- *Additional 2 Staff – 13 Staff Total – 10 teaching and 3 support staff*
- *Assembly/Multipurpose Hall*
- *Additional Shared Open Spaces*
- *Fire Booster Pumps and Tanks*

Stage 4

Stage 4 will increase the Student numbers by twenty-five (25) and supply an additional three (3) Staff. This Stage will provide the conversion of the Multipurpose Classroom to a Science Classroom and facilitate the construction of an additional two (2) Classrooms.

- *Additional 25 Students – 110 Students in Total – 55 male, 55 female*
- *Additional 3 Staff – 16 Staff Total – 12 teaching and 4 support staff*
- *2 Additional Classrooms (including specific Science and Resources Classrooms)*

Stage 5

Stage 5 will increase the Student numbers by twenty (20) and supply an additional five (5) Staff. This Stage will facilitate the construction of a Library and Flexible Space [inclusive of Amenities (Washrooms)], two further Classrooms (including specific IT Classroom) and additional Student Amenities. As a result of the increased numbers, an additional parking area containing a further ten (10) parking spaces and an extended Bus Drop-off Area is provided. This Stage will finalise the Primary Precinct.

- *Additional 20 Students – 130 Students in Total – 65 male, 65 female*
- *Additional 5 Staff – 21 Staff Total – 16 teaching and 5 support staff*

- *Library and Flexible Space Building (including Washrooms)*
- *2 Additional Classrooms (including specific IT Classroom)*
- *Student Amenities*
- *Finalisation of the Primary Precinct*
- *Additional Car Parking Area – 10 parking spaces – Totalling 36 parking spaces (4 disabled, 4 Drop-off)*
- *Additional (extended) Bus Drop-Off Areas*

Stage 6

This Final Stage will increase the Student numbers by one-hundred and seventy (170) and supply an additional eight (8) Staff. This Stage will facilitate a full Secondary Precinct and Kindergarten with the construction of a Kindergarten, eight (8) Classrooms including specific Art and Manual Arts Classrooms and further Shared Open Spaces. As a result of the increased numbers, an additional parking area containing a further thirty (32) parking spaces is provided.

- *Additional 170 Students – 300 Students in Total – 150 male, 150 female*
- *Additional 8 Staff – 29 Staff Total – 24 teaching and 5 support staff*
- *Kindergarten*
- *Introduction of a Secondary Precinct*
- *8 Additional Classrooms (including specific Art and Manual Arts Classrooms)*
- *Additional Car Parking Area – 32 parking spaces – Totalling 68 parking spaces (5 disabled, 4 Drop-off)*
- *Bus Parking Area*

The Two Rivers Community School has provided Freshwater Planning Pty Ltd, by way of letter (attached), the following in relation to the proposed Educational Establishment (School) over the site.

*Two Rivers Community School is a proposed new educational institution in Mareeba Shire that aims to provide **high-quality, holistic education** to students from diverse backgrounds and abilities. We believe that schools are an essential part of a growing community, and that Mareeba Shire is a growth area showing a need for local schools to meet the demand. We are experienced educators and active members of the Mareeba community who have a vision of **combining excellence in learning with a community-centred approach** to education. With a combined experience of over 40 years in education in the local area and within Australia, we have the expertise and passion for establishing an institution that excels in fulfilling the needs of our students and community.*

*The school's **mission is to nurture a love for learning** in students and prepare them for their future roles as **positive change-makers in the world**. The school's values are rooted in the wisdom perspective that encourages students to **seek truth, beauty, and goodness** in all aspects of life. The school's ethos is **characterised by inclusivity and care for each student**. The school's culture is shaped by the **principle of service** that inspires students to contribute positively to their communities and the common good.*

The school's curriculum is based on the Australian Curriculum and incorporates place-based learning principles that connect students to their local environment and culture. The school also offers a range of co-curricular and extracurricular activities that enhance students' creativity, character, and well-being. The school's proposed facilities include modern eco-friendly classrooms, a library, a science lab, an art room, a music room, a sports oval, outdoor learning areas and dedicated agricultural spaces.

The proposed school site is situated on land that can be used for agricultural purposes; at Two Rivers Community School, we aim to utilise the most arable land spaces to create educational and learning opportunities for our students based on the rich farming cultural heritage of the tableland's region. We will focus on innovative and sustainable farming methods. We seek to encourage our students to engage with the natural world to gain a deeper appreciation for the environment and the legacy of our farming communities. The school endeavours to provide hands-on agricultural learning experiences, such as planting for food, plant life cycles, biodiversity in natural food systems, soil care, and regenerative land management. We seek to collaborate and partner with local farmers, permaculturists and various field experts to expose our students to a wide range of knowledge and skills. Our school strives to cultivate a sense of community and responsibility among our students towards the natural environment and land care.

Gilboy Hydraulic Solutions have provided engineering commentary in relation to water services and effluent disposal. Gilboy Hydraulic Solutions note that a water supply can be provided via rainwater tanks, riparian rights and bore supply with potable water being able to be appropriately treated.

In relation to effluent disposal, Gilboy Hydraulic Solutions recommends that the proposed educational establishment use a modular on-site treatment system that has the capacity to be expanded in segments as the school capacity increases. Due to the size of the final system, a ERA63 approval will be required from the State, likely as part of Stage 6.

The site gains access via the existing Railway Level crossing and driveway located in the south-western corner and it is intended that the proposed educational establishment utilise this same access location.

Peak traffic for the proposed educational establishment is expected for drop-off and pick-up periods with minimal traffic expected during the school day (9:00 am to 3:00 pm). Growth in traffic will be gradual and spread-out over the six (6) stages of the development.

The proposal provides for sixty-eight (68) vehicle parking spaces over the six (6) stages, including five (5) disabled Spaces and four (4) drop-off spaces. Bus drop-off/bus parking areas will be provided on-site.

The proposed educational establishment has been setback 20 metres from the adjoining southern property to allow for the establishment of a vegetated buffer. This buffer will include a cleared three (3) metre wide area along the southern boundary for maintenance, access, and hazard separation. The balance of the buffer will be planted to achieve reasonable screening between neighbouring farming operations and the proposed development.

REGIONAL PLAN DESIGNATION

The subject site is included within the Regional Landscape and Rural Production Area land use category in the Far North Queensland Regional Plan 2009-2031. Mareeba is identified as a Major

Regional Activity Centre in the Regional Plan. The Regional Plan Map 3- 'Areas of Ecological Significance' also identifies the site is:

- *Wetland Area of General Ecological Significance*
- *Terrestrial Area of General Ecological Significance*

PLANNING SCHEME DESIGNATIONS

Strategic Framework:	<p>Land Use Categories</p> <ul style="list-style-type: none"> • Rural Agricultural Area • Rural Other <p>Natural Resource Elements</p> <ul style="list-style-type: none"> • Biodiversity Area <p>Transport Elements</p> <ul style="list-style-type: none"> • Local Collector Road • Principal Cycle Routes • Railway Network <p>Infrastructure Elements</p> <ul style="list-style-type: none"> • Major Electrical Infrastructure
Zone:	Rural zone
Overlays:	<p>Agricultural Land Overlay Airport Environs Overlay Bushfire Hazard Overlay Environmental Significance Overlay Extractive Resources Overlay Hill and Slope Overlay Regional Infrastructure Overlay Transport Infrastructure Overlay</p>

Planning Scheme Definitions

The proposed use is defined as:

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Educational establishment	<p>Premises used for training and instruction designed to impart knowledge and develop skills.</p> <p>The use may include outside hours school care for students or on-site student accommodation.</p>	<p>Pre-preparatory, preparatory and primary school, secondary school, special education, college, university, technical institute, outdoor education centres</p>	<p>Child care centre, home based child care, family day care</p>

RELEVANT PLANNING INSTRUMENTS

Assessment of the proposed development against the relevant planning instruments is summarised as follows:

(A) Far North Queensland Regional Plan 2009-2031

Separate assessment against the Regional Plan is not required because the Mareeba Shire Council Planning Scheme appropriately advances the Far North Queensland Regional Plan 2009-2031, as it applies to the planning scheme area.

(B) State Planning Policy

Separate assessment against the State Planning Policy (SPP) is not required because the Mareeba Shire Council Planning Scheme appropriately integrates all relevant aspects of the SPP.

(C) Mareeba Shire Council Planning Scheme 2016**Strategic Framework****3.3 Settlement pattern and built environment****3.3.1 Strategic outcomes**

- (1) Mareeba Shire is intended to support a widely dispersed population in a variety of settings, including rural towns, small rural settlements, villages, rural residential areas, cropping lands, grazing lands and broad-hectare grazing properties. Future development maintains this settlement pattern and the distinct character that it provides to the shire. The settlement pattern also ensures the continuing viability of the shire's rural economy, particularly through the provision of high quality services.

Comment

The proposed development reinforces Mareeba's role as a Major Regional Activity Centre and does not compromise the intended settlement pattern.

- (2) Mareeba Shire is supported by a network of compact, *activity centres* of varying scales. These *activity centres* form the primary focus for population growth. Each *activity centre* will maintain its individual character while growing to support and service the local economies of its catchments. The level of service provision within each *activity centre* is consistent with its role and function within the defined activity centre hierarchy. Growth is managed to ensure a high level of centre amenity and streetscape character is maintained, thus fostering vibrant, lively hubs of social interaction, trade and exchange.

Comment

The increased level of service to be offered by the proposed development is consistent with Mareeba's role as a Major Regional Activity Centre.

- (5) Primary industries in *Rural areas* are not compromised or fragmented by incompatible and/or unsustainable development, including but not limited to subdivision that results in a detrimental impact on rural productivity. The valued, relaxed rural lifestyle, character and scenic qualities of the *rural area* are preserved and enhanced. The *rural area* is largely maintained to its current extent, while accommodating development directly associated with or reliant on natural resources including rural activities and tourism. *Rural areas* protect the shire's *agricultural area* and ensure food security. *Other rural areas* predominantly remain agricultural grazing properties.

Comment

The subject site contains three fragmented areas of Class A area agricultural land.

The largest of these areas at approximately 9.2 hectares is the proposed school agriculture area sited between Chinaman and Atherton Creeks. This area will be actively used for agricultural purposes as part of the school's curriculum.

The two smaller areas of Class A will contain the school oval and the school's built infrastructure.

These two smaller areas are already fragmented to the point that their development for school infrastructure will not be a further loss of productive capacity.

The benefits arising from the agricultural training to be offered by the school will far out way the small alienation of Class A land.

A vegetated buffer will be conditioned along the southern boundary of the school to protect farming operations on adjoining Lot 1 on RP708284.

Chewko Road, the rail corridor and unnamed road reserve provide for reasonable buffering of the farming activities on the western side of Chewko Road.

The proposed development does not conflict with this strategic outcome.

- (7) The built environment is ecologically sustainable, achieving energy and resource efficiency and favouring architecture that is sensitive to local character. Development reflects sustainable tropical design principles, is climate responsive and preserves natural features.

Comment

The design of the proposed development as prepared by LIFE Designs achieves this strategic outcome.

- (8) Risks to infrastructure, buildings and the community posed by bushfires, cyclones, flooding, landslides and other extreme events are minimised. Development is considerate of the potential increased incidence of these hazards induced by climate change.

Comment

The development can be reasonably conditioned to comply.

3.3.2 Element—Activity centres network

3.3.2.1 Specific outcomes

- (1) The scale of development in *activity centres* is consistent with their role and function within the defined hierarchy of *activity centres*, which consists of a *major regional activity centre*, a *village activity centre*, *rural activity centres* and *rural villages*.

Comment

Mareeba is a major regional activity centre. The scale of proposed development is consistent with a major regional activity centre.

3.3.3 Element—Major regional activity centre

3.3.3.1 Specific outcomes

- (1) The role and function of Mareeba as the *major regional activity centre* for services in Mareeba Shire is strengthened. Mareeba is to accommodate the most significant concentrations of regional-scale business, retail, entertainment, government administration, secondary and tertiary educational facilities and health and social services within the shire.

Comment

The proposed development does not compromise the role and function of Mareeba as the major regional activity centre for the Mareeba Shire.

- (2) Development within Mareeba over time enhances the Shire's self-sufficiency in terms of services offered, business and employment opportunities.

Comment

The proposed development increases the level of services available within Mareeba.

- (5) Regional scale services and employment are provided in Mareeba, including:
 - (a) primary, secondary and tertiary educational establishments;
 - (b) major supermarkets and large format retailers;
 - (c) factory outlets and warehouses;
 - (d) government administration;
 - (e) hospitals and social services;
 - (f) major recreation and health and fitness facilities.

Comment

The proposed development complies with 5(a).

3.3.11 Element—Rural areas

3.3.11.1 Specific outcomes

- (1) *Rural areas* include rural activities and land uses of varying scale, consistent with surrounding land use, character and site conditions.
- (6) *Agricultural areas* will be retained in viable holdings and not fragmented or compromised by unsuitable development. Uses and development within this precinct will not cause land use conflicts with primary production or will ensure these conflicts are mitigated.
- (7) *Rural areas* preserve lands for future uses beyond the life of the planning scheme.

Comment

The proposed development is sited within the rural zone for the following reason:

The proposed school site is situated on land that can be used for agricultural purposes; at Two Rivers Community School, we aim to utilise the most arable land spaces to create educational and learning opportunities for our students based on the rich farming cultural heritage of the tableland's region. We will focus on innovative and sustainable

farming methods. We seek to encourage our students to engage with the natural world to gain a deeper appreciation for the environment and the legacy of our farming communities. The school endeavours to provide hands-on agricultural learning experiences, such as planting for food, plant life cycles, biodiversity in natural food systems, soil care, and regenerative land management. We seek to collaborate and partner with local farmers, permaculturists and various field experts to expose our students to a wide range of knowledge and skills. Our school strives to cultivate a sense of community and responsibility among our students towards the natural environment and land care.

The subject site contains three (3) fragmented areas of Class A agricultural land.

The largest of these areas at approximately 9.2 hectares is the proposed school agriculture area sited between Chinaman and Atherton Creeks. This area will be actively used for agricultural purposes as part of the school's curriculum.

The two smaller areas of Class A will contain the school oval and the school's built infrastructure.

These two smaller areas are already fragmented to the point that their development for school infrastructure will not be a further loss of productive capacity.

The benefits arising from the agricultural training to be offered by the school will far out way the small alienation of Class A land.

A vegetated buffer will be conditioned along the southern boundary of the school to protect to farming operations on adjoining Lot 1 on RP708284.

Chewko Road, the rail corridor and unnamed road reserve provide for reasonable buffering of the farming activities on the western side of Chewko Road.

The proposed development does not conflict with these specific outcomes.

3.3.14 Element—Natural hazard mitigation

3.3.14.1 Specific outcomes

- (1) The risk of loss of life and property associated with bushfires, cyclones, flooding, landslides and other weather related events are minimised through the appropriate use of land having regard to its level of susceptibility to the hazard or potential hazard.
- (2) Development in an area subject to a natural hazard incorporates appropriate siting and design measures that mitigate risks to infrastructure, buildings and the community.

Comment

The proposed development site is not mapped as being at risk from flood or landslide hazard.

The bushfire hazard is typical of the surrounding area and a bushfire hazard management plan will be conditioned.

All buildings will need to be constructed to the appropriate cyclonic standard.

3.4 Natural resources and environment

3.4.1 Strategic outcomes

- (1) Mareeba Shire's outstanding natural environment, ecological processes and biodiversity values, including those within *conservation areas* and *biodiversity areas*, are conserved, enhanced and restored. Minimal loss of native vegetation is achieved in the shire through limited clearing of *biodiversity areas*, strategically located rehabilitation areas and the replanting of native vegetation. The impacts of pests and weeds on the natural environment is minimised and managed.

Comment

Vegetation will be retained outside Area A on the State Assessment and Referral Agency Vegetation Management Plan VMP 2311-38006 SRA.

No clearing is proposed along the banks of either waterway.

- (2) Natural corridors through the landscape, including *ecological corridors*, and natural areas which provide linkages between areas of significant biodiversity and habitat value are protected and enhanced. Opportunities are realised to connect habitat fragments across the regional landscape through strategic rehabilitation and protection of potential habitat connection corridors, such as *habitat linkages*. The resilience of natural systems and wildlife to respond to climate change is strengthened by providing maximum connectivity across a range of habitats, allowing species to migrate and retreat.

Comment

Vegetation will be retained outside Area A on the State Assessment and Referral Agency Vegetation Management Plan VMP 2311-38006 SRA.

No clearing is proposed along the banks of either waterway.

- (3) The physical condition, ecological health, environmental values and water quality of surface water and groundwater systems, including but not limited to *major waterbodies* and *major watercourses*, is protected, monitored and improved. The impacts of Mareeba Shire's water quality, wetland and riparian health on the Great Barrier Reef and the Gulf of Carpentaria are recognised through integrating sustainable catchment management practices into land use planning. Riparian areas and areas surrounding ecologically significant wetlands will be enhanced as part of new development.

Comment

Vegetation will be retained outside Area A on the State Assessment and Referral Agency Vegetation Management Plan VMP 2311-38006 SRA.

No clearing is proposed along the banks of either waterway.

- (5) The air and acoustic environment of Mareeba Shire is managed to ensure its maintenance or improvement. Development maintains or enhances the health and well-being of the community and the natural environment.

Comment

The development could be conditioned to minimise air and acoustic impacts.

Schools are typically located in dense urban areas with numerous sensitive receptors much closer than being proposed for this development. There is no expectation that this school will cause unacceptable nuisance to surrounding residents.

- (6) Risks to health and safety caused by contaminated land are managed, including through the remediation of contaminated sites and the careful management of unexploded ordinances.

Comment

The subject site is not a known or suspected contaminated site.

The subject site is not identified as being at risk of substantial UXO.

3.4.3 Element—Pest and weed management

3.4.3.1 Specific outcomes

- (1) Development within, adjoining or surrounding *conservation areas, biodiversity areas, wetlands or watercourses* avoids the incursion of weeds and pests through best practice management practices, sensitive design, landscaping and appropriate setback and buffer distances.

Comment

The development can be conditioned to comply.

- (3) Plants used for landscaping and street trees are ideally native species, appropriate for the purpose and the local environment, and do not introduce invasive or exotic plants into the shire.

Comment

The development can be conditioned to comply.

- (4) Operational works ensure appropriate management practices are adopted to minimise the spread of weed species.

Comment

The development can be conditioned to comply.

3.4.4 Element—Biodiversity areas

3.4.4.1 Specific outcomes

- (1) Development avoids adverse impacts on the ecological values of *biodiversity areas* and where avoidance is not possible the adverse impacts are minimised and, for an area of high ecological significance, no net loss in biodiversity values is achieved.

Comment

Vegetation will be retained outside Area A on the State Assessment and Referral Agency Vegetation Management Plan VMP 2311-38006 SRA.

No clearing is proposed along the banks of either waterway.

3.4.6 Element—Watercourses and wetlands

3.4.6.1 Specific outcomes

- (1) Hydrological flows, riparian ecology and ecosystem services of watercourses and wetlands are maintained, protected and enhanced.

Comment

Vegetation will be retained outside Area A on the State Assessment and Referral Agency Vegetation Management Plan VMP 2311-38006 SRA.

No clearing is proposed along the banks of either waterway.

- (3) The water quality of rivers and creeks, which ultimately flow to the Great Barrier Reef and the Gulf of Carpentaria, is not compromised or polluted through sediment, gross pollutants or chemical run off from new or existing development.

Comment

The development will be conditioned to comply.

- (5) Where development occurs on land including and adjoining watercourses and wetlands it provides appropriate setbacks and buffers and enhances these areas through revegetation.

Comment

Vegetation will be retained outside Area A on the State Assessment and Referral Agency Vegetation Management Plan VMP 2311-38006 SRA.

No clearing is proposed along the banks of either waterway.

3.4.8 Element—Air and noise quality

3.4.8.1 Specific outcomes

- (1) The health, well-being, amenity and safety of the community and the environment is protected from the impacts of air emissions, noise and odour through appropriate management and adequate separation distances.

Comment

The development could be conditioned to minimise air and acoustic impacts.

Schools are typically located in dense urban areas with numerous sensitive receptors much closer than being proposed for this development. There is no expectation that this school will cause unacceptable nuisance to surrounding residents.

3.4.9 Element—Contaminated land

3.4.9.1 Specific outcomes

- (1) Development avoids, or appropriately remediates, contaminated land.

Comment

Complies. The subject site is not a known or suspected contaminated site.

- (3) Development of land with substantial Unexploded Ordnance (UXO) potential only proceeds following the conduct of UXO investigations and any necessary remediation by a qualified UXO investigation and remedial search contractor.

Comment

The subject site is not identified as being at risk of substantial UXO.

3.5.3 Element—Cultural heritage

3.5.3.1 Specific outcomes

- (3) Indigenous cultural heritage is protected, preserved and respected in accordance with traditional custom and practice and within the statutory framework of the *Aboriginal Cultural Heritage Act 2003*. 'Areas of Cultural Significance' have been broadly considered in the Strategic Framework.

Comment

An advice statement is included on each decision notice.

3.6 Transport and infrastructure

3.6.1 Strategic outcomes

- (1) *Local collector road and state controlled road* networks support the identified hierarchy of *activity centres* and the rural economy of Mareeba Shire. The location, density and scale of development supports the efficient and convenient movement of goods, services and people. Roads are progressively upgraded (including construction of *future state roads and future local connections*) and maintained to a high standard to support higher urban densities, rural production, tourism, commerce, industry and major trip generators.

Comment

The development can be conditioned to comply.

- (2) *The rail network* is recognised as important strategic infrastructure resulting from significant past investment. Use of the rail network for tourist, passenger and freight movements throughout the shire is protected and enhanced.

Comment

The proposed development will not impact on the ongoing use of the railway network.

3.6.2 Element—Road network

3.6.2.1 Specific outcomes

- (1) The shire's road network is upgraded and extended to provide for the safe, efficient movement of vehicles and to cater for new development.

Comment

The development can be conditioned to comply.

- (4) Development provides off-street parking, loading and manoeuvring areas where possible and practicable.

Comment

The development can be conditioned to comply.

- (5) Development of new roads and upgrades to existing roads are designed and constructed in accordance with the FNQROC Regional Development Manual as amended.

Comment

The development can be conditioned to comply.

3.6.3 Element—Rail network

3.6.3.1 Specific outcomes

- (1) The *railway network* may become more viable and active in response to rising oil prices and greenhouse gas abatement measures, and development should consider the potential for and impacts of ongoing use of the *railway network* for both freight and passenger transport.

Comment

The proposed development will not impact on the ongoing use of the railway network.

3.6.5 Element—Public and active transport

3.6.5.1 Specific outcomes

- (2) Mareeba Shire's *activity centres* are well serviced with walking and cycling infrastructure, including:
 - (a) footpaths;
 - (b) shade trees;
 - (c) seating along key routes and in major trip generation areas;
 - (d) bike paths and lanes, including *principal cycle routes*;
 - (e) end of trip facilities.

Comment

The development can be conditioned to comply as relevant to this site.

3.6.7 Element—Water supply and wastewater services

3.6.7.1 Specific outcomes

- (1) Development is provided with adequate water and wastewater infrastructure in accordance with Council's Desired Standards of Service.

Comment

The development can be conditioned to comply.

- (3) Development in rural areas will demonstrate that it has access to adequate potable water and fire-fighting water supply on-site.

Comment

The development can be conditioned to comply.

- (4) In areas not serviced by reticulated sewerage, on-site effluent disposal systems ensure the environment or amenity is not adversely impacted.

Comment

The development can be conditioned to comply.

3.6.8 Element—Stormwater management

3.6.8.1 Specific outcomes

- (1) Water Sensitive Urban Design principles and adequate infrastructure are integrated into new development, ensuring:
 - (a) water quality objectives are met;
 - (b) a no worsening effect on surrounding land and the environment is achieved;
 - (c) flooding and ponding of water is avoided

Comment

The development can be conditioned to comply.

- (2) Stormwater is managed and measures are implemented to ensure erosion is prevented or minimised and contaminants are not released into surrounding environs.

Comment

The development can be conditioned to comply.

3.6.9 Element—Waste management

3.6.9.1 Specific outcomes

- (4) On-site waste disposal and recycling areas are provided by development to meet operational requirements of storage, screening and collection.

Comment

The development can be conditioned to comply.

3.6.10 Element—Energy supply

3.6.10.1 Specific outcomes

- (1) Adequate, sustainable, reliable and secure electricity supply infrastructure is provided to the shire, including new development.

Comment

The development will comply.

- (2) High voltage *major electrical infrastructure* and *energy generation facilities* are protected from conflicting development.

Comment

High voltage transmission lines run along the unnamed road reserve adjoining the proposed development and across the northern tip of the subject site.

The closest habitable building will be at least 50 metres from the closest transmission line.

3.6.11 Element—Information and communication technology

3.6.11.1 Specific outcomes

- (1) Households, businesses and industry within urban and rural communities are serviced with high-speed fibre-optic, high-speed wireless or satellite broadband internet connections across the shire.

Comment

The development can be conditioned to comply.

3.7 Economic development

3.7.1 Strategic outcomes

- (1) The rural economy that underpins the settlement pattern of Mareeba Shire prospers and diversifies, with traditional and emerging primary industries continuing to provide the economic base of the shire. Increasing opportunities for value-adding and processing primary product are realised on-farm and within surrounding towns. *Agricultural areas* and rural industries are protected from development which may compromise its ongoing viability. Infrastructure which supports agriculture and primary industry is maintained and protected.

Comment

The proposed development is sited within the rural zone for the following reason:

The proposed school site is situated on land that can be used for agricultural purposes; at Two Rivers Community School, we aim to utilise the most arable land spaces to create educational and learning opportunities for our students based on the rich farming cultural heritage of the tableland's region. We will focus on innovative and sustainable farming methods. We seek to encourage our students to engage with the natural world to gain a deeper appreciation for the environment and the legacy of our farming communities. The school endeavours to provide hands-on agricultural learning experiences, such as planting for food, plant life cycles, biodiversity in natural food systems, soil care, and regenerative land management. We seek to collaborate and partner with local farmers, permaculturists and various field experts to expose our

students to a wide range of knowledge and skills. Our school strives to cultivate a sense of community and responsibility among our students towards the natural environment and land care.

The subject site contains three (3) fragmented areas of Class A agricultural land.

The largest of these areas at approximately 9.2 hectares is the proposed school agriculture area sited between Chinaman and Atherton Creeks. This area will be actively used for agricultural purposes as part of the school's curriculum.

The two smaller areas of Class A will contain the school oval and the school's built infrastructure.

These two smaller areas are already fragmented to the point that their development for school infrastructure will not be a further loss of productive capacity.

The benefits arising from the agricultural training to be offered by the school will far out way the small alienation of Class A land.

A vegetated buffer will be conditioned along the southern boundary of the school to protect to farming operations on adjoining Lot 1 on RP708284.

Chewko Road, the rail corridor and unnamed road reserve provide for reasonable buffering of the farming activities on the western side of Chewko Road.

The proposed development does not conflict with this strategic outcome.

- (6) Catalysts for economic diversification and cultural activity such as educational establishments, emerging technology, research and development activities and the arts are encouraged in the shire, preferably near or within Mareeba or the Kuranda district. Creative industries flourish in Mareeba Shire, providing strong cultural legacies and sustained employment opportunities. The shire's unique wet tropical ecosystems and dry tropical savannahs provide further opportunities to develop regional tropical expertise and attract more environmental education and scientific research activities to the shire.

Comment

Complies.

The subject site meets the requirement to be near or within Mareeba.

3.7.2 Element—Rural and Agricultural land

3.7.2.1 Specific outcomes

- (1) *Agricultural areas* are preserved for the purpose of primary production and are protected from fragmentation, alienation and incompatible development.
- (2) *Other rural areas* are maintained in economically viable holdings and continue to develop and expand their rural infrastructure and operations.

- (4) Built infrastructure and non-agricultural uses within farms will be co-located and clustered with existing farm dwellings and infrastructure to prevent encroachment on productive land.
- (5) Development ensures rural activities in all *rural areas* are not compromised by incompatible development and fragmentation.

Comment

The proposed development is sited within the rural zone for the following reason:

The proposed school site is situated on land that can be used for agricultural purposes; at Two Rivers Community School, we aim to utilise the most arable land spaces to create educational and learning opportunities for our students based on the rich farming cultural heritage of the tableland's region. We will focus on innovative and sustainable farming methods. We seek to encourage our students to engage with the natural world to gain a deeper appreciation for the environment and the legacy of our farming communities. The school endeavours to provide hands-on agricultural learning experiences, such as planting for food, plant life cycles, biodiversity in natural food systems, soil care, and regenerative land management. We seek to collaborate and partner with local farmers, permaculturists and various field experts to expose our students to a wide range of knowledge and skills. Our school strives to cultivate a sense of community and responsibility among our students towards the natural environment and land care.

The subject site contains three fragmented areas of Class A agricultural land.

The largest of these areas at approximately 9.2 hectares is the proposed school agriculture area sited between Chinaman and Atherton Creeks. This area will be actively used for agricultural purposes as part of the school's curriculum.

The two smaller areas of Class A will contain the school oval and the school's built infrastructure.

These two smaller areas are already fragmented to the point that their development for school infrastructure will not be a further loss of productive capacity.

The benefits arising from the agricultural training to be offered by the school will far out way the small alienation of Class A land.

A vegetated buffer will be conditioned along the southern boundary of the school to protect to farming operations on adjoining Lot 1 on RP708284.

Chewko Road, the rail corridor and unnamed road reserve provide for reasonable buffering of the farming activities on the western side of Chewko Road.

The proposed development does not conflict with these specific outcomes.

3.7.9 Element— Education, research, culture and the arts

3.7.9.1 Specific outcomes

- (3) New education, research, cultural and arts facilities are established in appropriate, accessible, safe and well serviced locations within Mareeba Shire.

Comment

The subject site is accessible via sealed road with a good flood immunity. The proposed development will be self-reliant in terms of water and sewerage services.

The location allows for the proposed development to include agricultural activities, whilst still being accessible to students. As a comparison, the distance from the Mareeba Post Office to the proposed development is slightly shorter than the distance from the Post Office to the former Mareeba TAFE.

- (4) Education, research, cultural and arts facilities of limited scale are established in *rural areas* only where the facility is dependent on the natural resources of the locality.

Comment

The proposed development is sited within the rural zone for the following reason:

The proposed school site is situated on land that can be used for agricultural purposes; at Two Rivers Community School, we aim to utilise the most arable land spaces to create educational and learning opportunities for our students based on the rich farming cultural heritage of the tableland's region. We will focus on innovative and sustainable farming methods. We seek to encourage our students to engage with the natural world to gain a deeper appreciation for the environment and the legacy of our farming communities. The school endeavours to provide hands-on agricultural learning experiences, such as planting for food, plant life cycles, biodiversity in natural food systems, soil care, and regenerative land management. We seek to collaborate and partner with local farmers, permaculturists and various field experts to expose our students to a wide range of knowledge and skills. Our school strives to cultivate a sense of community and responsibility among our students towards the natural environment and land care.

The benefits arising from the agricultural training to be offered by the school will far out way the small alienation of agricultural land.

Relevant Developments Codes

The following Development Codes are considered to be applicable to the assessment of the application:

- 6.2.9 Rural zone code
- 8.2.1 Agricultural land overlay code
- 8.2.2 Airport environs overlay code
- 8.2.3 Bushfire hazard overlay code
- 8.2.4 Environmental significance overlay code
- 8.2.5 Extractive resources overlay code
- 8.2.8 Hill and slope overlay code
- 8.2.9 Regional infrastructure corridors and substations overlay code
- 8.2.12 Transport infrastructure overlay code

- 9.3.3 Community activities code
- 9.4.2 Landscaping code
- 9.4.3 Parking and access code
- 9.4.5 Works, services and infrastructure code

The application included a planning report and assessment against the planning scheme. An officer assessment has found that the application satisfies the relevant acceptable outcomes (or performance outcome where no acceptable outcome applies) of the relevant codes set out below, provided reasonable and relevant conditions are attached to any approval.

Relevant Codes	Comments
Rural zone code	<p>The application complies or can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.</p> <p>Further discussion is warranted regarding the following performance outcomes:</p> <ul style="list-style-type: none"> • Performance Outcome PO6 – Amenity <p>Refer to planning discussion section of report for commentary.</p>
Agricultural land overlay code	<p>The application complies or can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.</p> <p>Further discussion is warranted regarding the following performance outcomes:</p> <ul style="list-style-type: none"> • Performance Outcomes PO1, PO2 and PO3 <p>Refer to planning discussion section of report for commentary.</p>
Airport environs overlay code	<p>The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.</p>
Bushfire hazard overlay code	<p>The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.</p>
Environmental significance overlay code	<p>The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.</p>
Extractive resources overlay code	<p>The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.</p>
Hill and slope overlay code	<p>The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.</p>

Regional infrastructure corridors and substations overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Transport infrastructure overlay code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Community activities co	<p>The application complies or can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.</p> <p>Further discussion is warranted regarding the following performance outcomes:</p> <ul style="list-style-type: none"> • Performance Outcome PO5 <p>Refer to planning discussion section of report for commentary.</p>
Landscaping code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Parking and access code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.
Works, services and infrastructure code	The application can be conditioned to comply with the relevant acceptable outcomes (or performance outcomes where no acceptable outcome is provided) contained within the code.

(D) Planning Scheme Policies/Infrastructure Charges Plan

The following planning scheme policies are relevant to the application:

Planning Scheme Policy 4 - FNQROC Regional Development Manual

A condition will be attached to any approval requiring any development works be designed and constructed in accordance with FNQROC Development Manual standards.

(E) Adopted Infrastructure Charges Notice

Under Adopted Infrastructure Charges Resolution (No. 1) 2024, a standard charge of \$108.80 per m2 of gross floor area (GFA) applies to an Educational Establishment.

In accordance with Part 4.1(d) of Adopted Infrastructure Charges Resolution (No. 1) 2024, a 40% discount will be applied to development charges where no connection to Council's reticulated water and sewer network exists.

The applicable charge for the proposed development will be \$65.25 per m2 of GFA.

This charge will be payable at each stage when the accurate GFA can be calculated.

Development Type	Rate	Measure	Charge	Credit Detail	Balance
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Educational Establishment	per GFA m2	GFA			
Stage 1	\$65.25	To be determined at building stage	To be determined at building stage	\$13,084.80	To be determined at building stage
Stage 2	\$65.25	To be determined at building stage	To be determined at building stage		To be determined at building stage
Stage 3	\$65.25	To be determined at building stage	To be determined at building stage		To be determined at building stage
Stage 4	\$65.25	To be determined at building stage	To be determined at building stage		To be determined at building stage
Stage 5	\$65.25	To be determined at building stage	To be determined at building stage		To be determined at building stage
Stage 6	\$65.25	To be determined at building stage	To be determined at building stage		To be determined at building stage
TOTAL CURRENT AMOUNT OF CHARGE					To be determined at building stage

REFERRAL AGENCY

The application triggered referral to the State Assessment and Referral Agency (SARA) as a referral agency for:

- Clearing native vegetation; and
- State transport infrastructure thresholds.

That Department advised in a letter dated 30 May 2024 that they require the conditions to be attached to any approval (**Attachment 2**).

These conditions relate to vegetation clearing, railway corridor (stormwater & railway level crossing), public passenger transport (school buses) and pedestrian/cycle access.

Internal Consultation

Technical Services & NJM Engineering Consulting

Council Officers sought external expert assessment and advice in respect of the developments traffic impacts from NJM Engineering Consulting, a specialist transport engineer.

NJM Engineering Consulting have assessed the applicant’s Transport Impact Assessment and recommend reasonable conditions requiring the following actions:

- **Development Access**
 - (i) The access off Chewko Road must be designed and constructed in accordance with FNQROC Development Manual standard drawing for Rural Access S1105. The width and

turn radius of the seal must be determined based on swept paths of the largest vehicle that would enter and exit the site.

- (ii) The full length of the access road from Chewko Road to the property boundary must be upgraded/constructed to provide pavement and seal of a suitable standard to accommodate expected traffic volumes accessing the school.
- (iii) The access road must be of a suitable width to accommodate two-way traffic including two buses passing each other. Turning paths confirming that vehicles can safely navigate the bends along the access road must be provided as part of the Operational Works application.
- (iv) The railway crossing must be upgraded in accordance with relevant standards to the satisfaction of Queensland Rail and Council. (**Note:** Railway level crossing upgrade has been conditioned in the State Assessment and Referral Agency response)
- (v) The intersection of the existing access to the neighbouring property to the south must be formalised to provide safe and accessible access to this property from the new access road.

The works described above must be undertaken prior to commencement of use of Stage 1, at no cost to Council and would require approval under an Operational Works permit.

- **External Works**

- (i) Design and construct the widening of Chewko Road pavement and seal on both approaches to the access intersection to provide trafficable shoulders of a width and length in accordance with Austroads Guide to Traffic Management Part 6 and Austroads Guide to Road Design Part 4A for a Rural Basic left and right turn treatment (BAL and BAR).

The works described above must be undertaken prior to commencement of use of Stage 1, at no cost to Council and would require approval under an Operational Works permit.

- **Revised Traffic Impact Assessment – Stage 6**

- (i) A revised Traffic Impact Assessment (TIA) report must be submitted to Council prior to Stage 6 when all facilities constructed as part of Stage 1 to 5 is in operation. The TIA should analyse the impact that the development related traffic will have on Council's road network as a result of this stage and be based on actual traffic counts at the time.

Any external works determined to be required by Council following review of the revised assessment must be undertaken at no cost to Council and would require approval under an Operational Works permit.

- **Internal Layout**

- (i) The car park must be designed in accordance with AS2890.1 Off-Street Car Parking including parking bay dimensions, aisle widths, speed control etc. The design is to be certified by an RPEQ that the car park provisions comply with Australian standards.

- (ii) An internal traffic circulation design plan demonstrating swept paths must be submitted as part of the development application for Operational Works to demonstrate that adequate provision has been made for the manoeuvring of vehicles and buses.

Conditions addressing NJM Engineering Consulting’s advice have been drafted and form part of this report’s recommendation.

PUBLIC NOTIFICATION

The development proposal was placed on public notification from 8 May 2024 to 31 May 2024. The applicant submitted the notice of compliance on 3 June 2024 advising that the public notification requirements were carried out in accordance with the requirements of the Act.

Six (6) properly made submissions were received with two (2) objecting to the proposed development. A full copy of each submission has been attached for Council’s consideration (**Attachment 3**).

The planning grounds for objection/support are summarised and commented on below:

Grounds for objection /support <small>Note: These are limited to relevant planning considerations.</small>	Comment
<p>Concern about safety and location of school entrance. Submitter suggests two entrances with a new rail level crossing for the school and keeping the existing rail level crossing for 407/409 Chewko Road.</p> <p>The speed limit will need to be reduced on Chewko Road.</p> <p>Cost of upgrades should not be borne by Council/ratepayers.</p>	<p>It is not possible for Council to condition a new rail level crossing as the rail corridor allotment does not form part of this application.</p> <p>The idea for a second rail level crossing was originally put forward by the applicant in a superseded version of this application. The second rail level crossing was removed from the application when the required Queensland Rail landowner’s consent was not forthcoming.</p> <p>The current access arrangements have been reviewed by Queensland Rail and NJM Engineering Consulting. Upgrades to the Chewko Road access intersection, the rail level crossing and the access road have been conditioned to meet the relevant traffic safety standards.</p> <p>Speed limits will be considered during the detailed design preparation.</p> <p>The cost of all upgrades/servicing will be met by the applicant.</p>
<p>Mclver Road will be used as a shortcut.</p>	<p>There is no practical access between the school and Mclver Road.</p>
<p>Submitter requests that the vegetated buffer along the subject site’s southern property boundary be extended to the sports oval site.</p>	<p>Agreed. The buffer should extend to this point and the draft conditions have been worded accordingly.</p>
<p>Submitter does not want the development to place any limitations on their right to farm.</p>	<p>The submitter may continue to farm in accordance with their current legal rights to do so. The vegetated buffer is intended to reduce the potential for future land use conflicts and has been used for a previous school (St Stephens Mareeba) and multiple residential developments on Mclver Road.</p>

<p>The school should have a biosecurity management plan to protect the Mareeba agricultural sector.</p>	<p>Agreed. The development will be conditioned accordingly.</p>
<p>School lighting should be kept minimal to avoid adverse impacts on residents and wildlife.</p>	<p>The standard light emission condition will be imposed.</p>
<p>Noise limits should be set for any evening/after hour functions and school bell should consider chiming/music etc.</p>	<p>The standard environmental emissions condition will be imposed. This condition reinforces the applicant’s obligations under the <i>Environmental Protection Act 1994</i>.</p>
<p>A wildlife corridor exists through the site and should be maintained.</p>	<p>Vegetation clearing is limited to an area of approximately 2 hectares to accommodate the school’s built infrastructure. Vegetation outside of this area, including along both waterways, is protected under the State Assessment and Referral Agency response.</p> <p>Fencing will not be conditioned outside of the cleared areas.</p>
<p>If riparian water is used, sufficient water should be left for other users.</p>	<p>The school’s water supply will be a combination of bore, riparian and rainwater. This combination of sources allows for a balanced supply without excessive use of any individual source.</p>
<p>That Council consider adding a future cycleway to connect to the school.</p>	<p>Noted. For Council’s consideration.</p>
<p>That there be no minor amendments to the development without further public consultation.</p>	<p>Council and the applicant are bound by the <i>Planning Act 2016</i>’s test for ‘Minor Change’. Council cannot approve a change that does not meet the minor change test without further public consultation.</p>
<p>Will the cost of the school be met by State and Federal Govt?</p>	<p>The applicant is able to seek funding as are all other educational facilities.</p>
<p>The school may expand.</p>	<p>The current application is for 300 students as shown on the proposal plans. The school may expand in the future; however this will require a further development application and development approval in order for it to occur.</p>
<p>A 2014 application for a large Islamic school was rejected.</p>	<p>This application was withdrawn and is not relevant to the current application.</p> <p>The underlying faith of the school is not a relevant planning consideration.</p>
<p>Multiple submitters endorse the proposed development as it will be of great benefit to the community and serve Mareeba’s continuing growth.</p>	<p>Noted.</p>
<p>Submitter objects to the development on the basis that it may impact on their farming practices (spraying etc).</p>	<p>The submitter is located on the western side of Chewko Road.</p> <p>Chewko Road, the rail corridor and unnamed road reserve provide for reasonable buffering of the farming activities on the western side of Chewko Road.</p> <p>The closest point of the submitter’s farm is approximately 165 metres from the closest habitable school building. Vegetation present in the Chewko Road reserve and the rail corridor further buffer the site.</p>

Submitters

Name of Principal submitter	Address
1. E Maksuti	42 Catherine Atherton Drive, Mareeba QLD 4880
2. C & S Bassani	PO Box 468, Mareeba QLD 4880
3. A Islam	akilislam@gmail.com
4. M Iminov	259 Mclver Road, Mareeba QLD 4880 cynthiamurat@hotmail.com
5. A Webb	1 Owens Street, Mareeba QLD 4880 webbyfnq@gmail.com
6. M & T Tiraboschi	PO Box 867, Mareeba QLD 4880 thelimeman@bigpond.com

PLANNING DISCUSSION

Compliance with Performance Outcome PO6 of the Rural zone code, Performance Outcomes PO1, PO2, PO3 of the Agricultural land overlay code and Performance Outcome PO5 of the Community activities code is discussed below:

Rural zone code

Amenity

PO6

Development must not detract from the amenity of the local area, having regard to:

- (a) noise;*
- (b) hours of operation;*
- (c) traffic;*
- (d) advertising devices;*
- (e) visual amenity;*
- (f) privacy;*
- (g) lighting;*
- (h) odour; and*
- (i) emissions.*

A06

No acceptable outcome is provided.

Comment

Of the matters nominated in PO6, those most likely to impact local area amenity are traffic and privacy.

Traffic impacts are expected to be typical for a school, being peak movements at drop off and pick up times. Traffic outside of the times is expected to be minimal.

Traffic impacts will be minimised through the conditioning of road and access upgrades. Provided these upgrades are undertaken, local area amenity is expected to be maintained.

Privacy for the adjoining farm to the south will be maintained through the conditioning of a vegetated buffer and fencing along the relevant length of the common boundary.

Standard conditions to protect amenity in respect to the other matters will be applied to the development.

Agricultural land overlay code

PO1

*The fragmentation or loss of productive capacity of land within the 'Class A' area or 'Class B' area identified on the **Agricultural land overlay maps (OM-001a-n)** is avoided unless:*

- (a) an overriding need exists for the development in terms of public benefit;*
- (b) no suitable alternative site exists; and*
- (c) loss or fragmentation is minimised to the extent possible.*

AO1

Buildings and structures are not located on land within the 'Class A' area or 'Class B' area identified on the Agricultural land overlay maps (OM-001a-n) unless they are associated with:

- (a) animal husbandry; or*
- (b) animal keeping; or*
- (c) cropping; or*
- (d) dwelling house; or*
- (e) home based business; or*
- (f) intensive animal industry (only where for feedlotting); or*
- (g) intensive horticulture; or*
- (h) landing; or*
- (i) roadside stalls; or*
- (j) winery.*

Comment

The subject site contains three fragmented areas of Class A area.

The largest of these areas at approximately 9.2 hectares is the proposed school agriculture area sited between Chinaman and Atherton Creeks. This area will be actively used for agricultural purposes as part of the school's curriculum.

The two smaller areas of Class A will contain the school oval and the school's built infrastructure.

These two smaller areas are already fragmented to the point that their development for school infrastructure will not be a further loss of productive capacity.

The benefits arising from the agricultural training to be offered by the school will far out way the small alienation of Class A land.

PO2

*Sensitive land uses in the 'Class A' area, 'Class B' area or the 'Broadhectare rural' area identified on the **Agricultural land overlay maps (OM-001a-n)** are designed and located to:*

- (a) avoid land use conflict;*
- (b) manage impacts from agricultural activities, including chemical spray drift, odour, noise, dust, smoke and ash;*
- (c) avoid reducing primary production potential; and*
- (d) not adversely affect public health, safety and amenity.*

A02

No acceptable outcome is provided.

Comment

A vegetated buffer will be conditioned along the southern boundary of the school to protect to farming operations on adjoining Lot 1 on RP708284.

Chewko Road, the rail corridor and unnamed road reserve provide for reasonable buffering of the farming activities on the western side of Chewko Road.

PO3

Development in the 'Class A' area or 'Class B' area identified on the Agricultural land overlay maps (OM-001a-n):

- (a) ensures that agricultural land is not permanently alienated;*
- (b) ensures that agricultural land is preserved for agricultural purposes; and*
- (c) does not constrain the viability or use of agricultural land.*

A03

No acceptable outcome is provided.

Comment

The subject site contains three fragmented areas of Class A area.

The largest of these areas at approximately 9.2 hectares is the proposed school agriculture area sited between Chinaman and Atherton Creeks. This area will be actively used for agricultural purposes as part of the school's curriculum.

The two smaller areas of Class A will contain the school oval and the school's built infrastructure.

These two smaller areas are already fragmented to the point that their development for school infrastructure will not be a further loss of productive capacity.

The benefits arising from the agricultural training to be offered by the school will far out way the small alienation of Class A land.

Community activities code**PO5**

Community activities are highly accessible to the community they serve and are located to encourage multi-purpose trips.

AO5.2

Development is located:

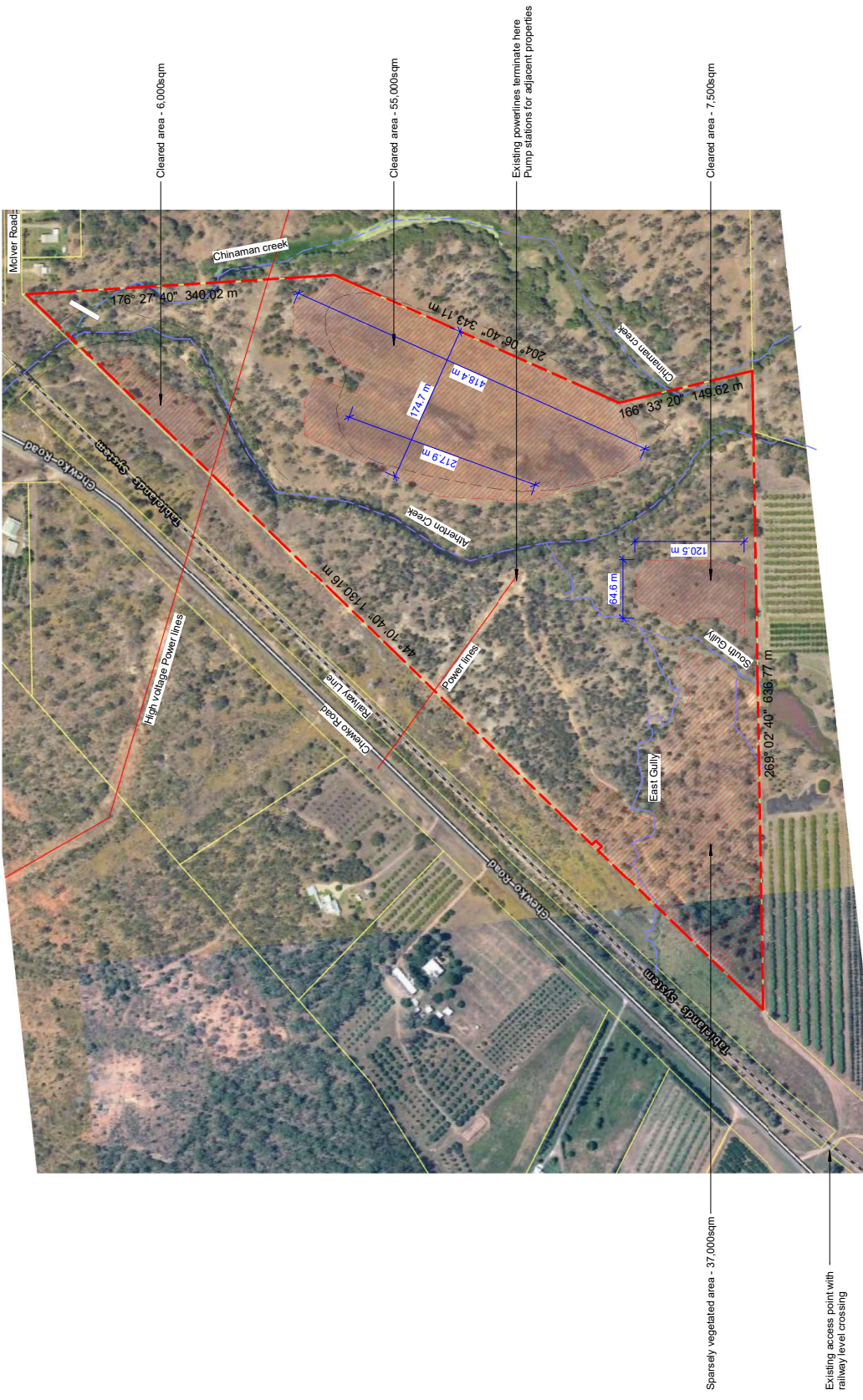
- (a) within 800 metres walking distance of the Centre zone; or*
- (b) within 400 metres walking distance of a public transport stop; or*
- (c) provided with a connection to the pedestrian and cycle network.*

Comment

There are no sites suitable for an agricultural based school which would meet the criteria under AO5.2.

The subject site balances good accessibility with the site features needed to offer an agricultural based curriculum.

The subject site satisfies overall outcome (d) in that it is accessible, functional and safe.



Issue	Details	Issue	Date
1	Preparation	24/07/2023	15/07/19
2	Updated with survey info	SBW	24/07/2022
3	Updated for Review	SBW	12/09/2022
4	Updated for Review	SBW	20/02/2023
5	Final Design Layout	SBW	24/07/2023

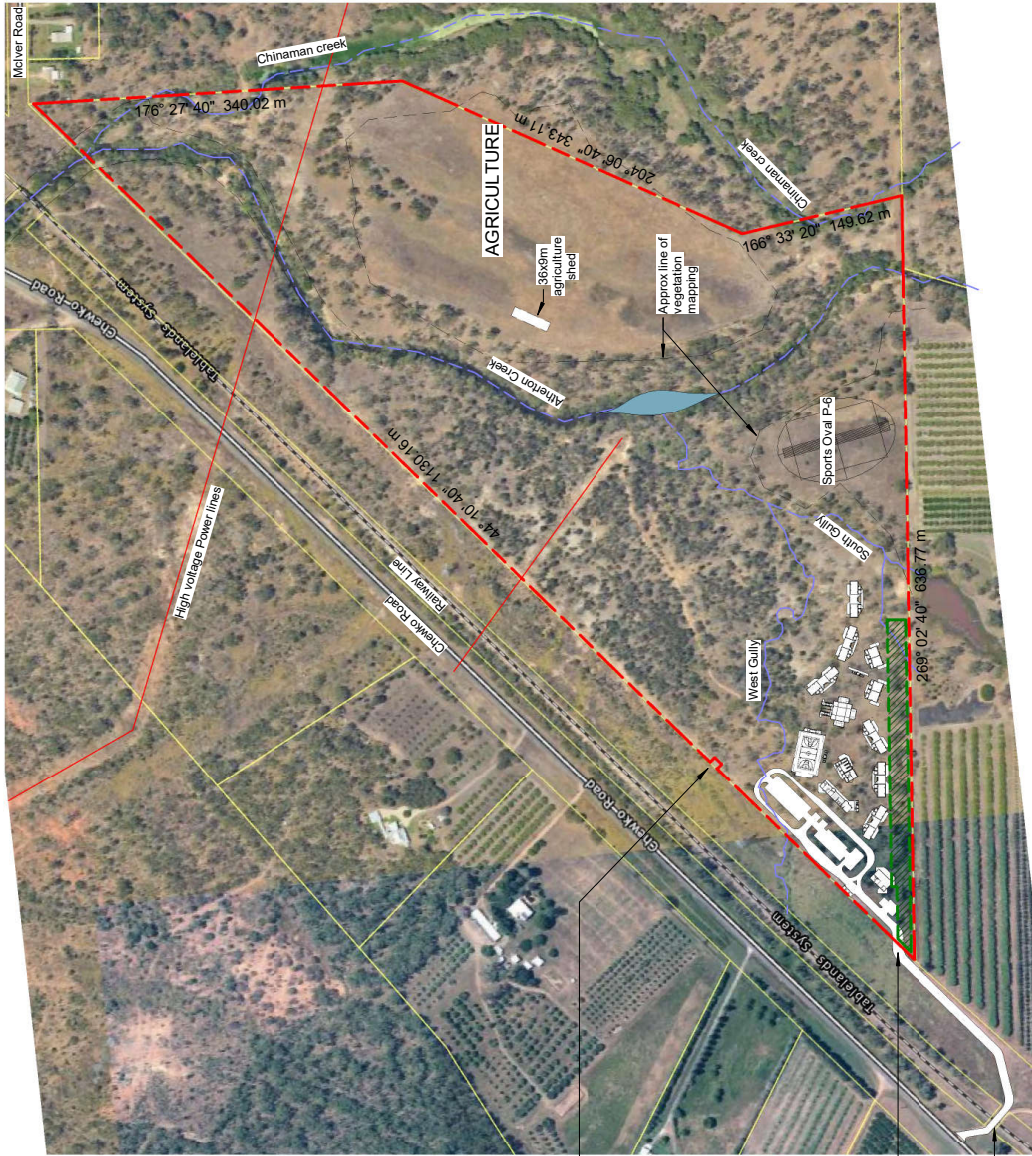
1 : 4000 @ A3
Existing Site - 2021
 162 / A021
 24/07/2023 15:07:19

Contact: Stuart Wittington BCOAG-5335, 0490 908 716, stuart@lifedesign.net.au www.lifedesign.net.au

Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural



Document Set ID: 4939977
 Version: 1, Version Date: 15/11/2023



Suggested Emon Transformer location if required (TBC)

Site Entry

Existing access point with railway level crossing



Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural

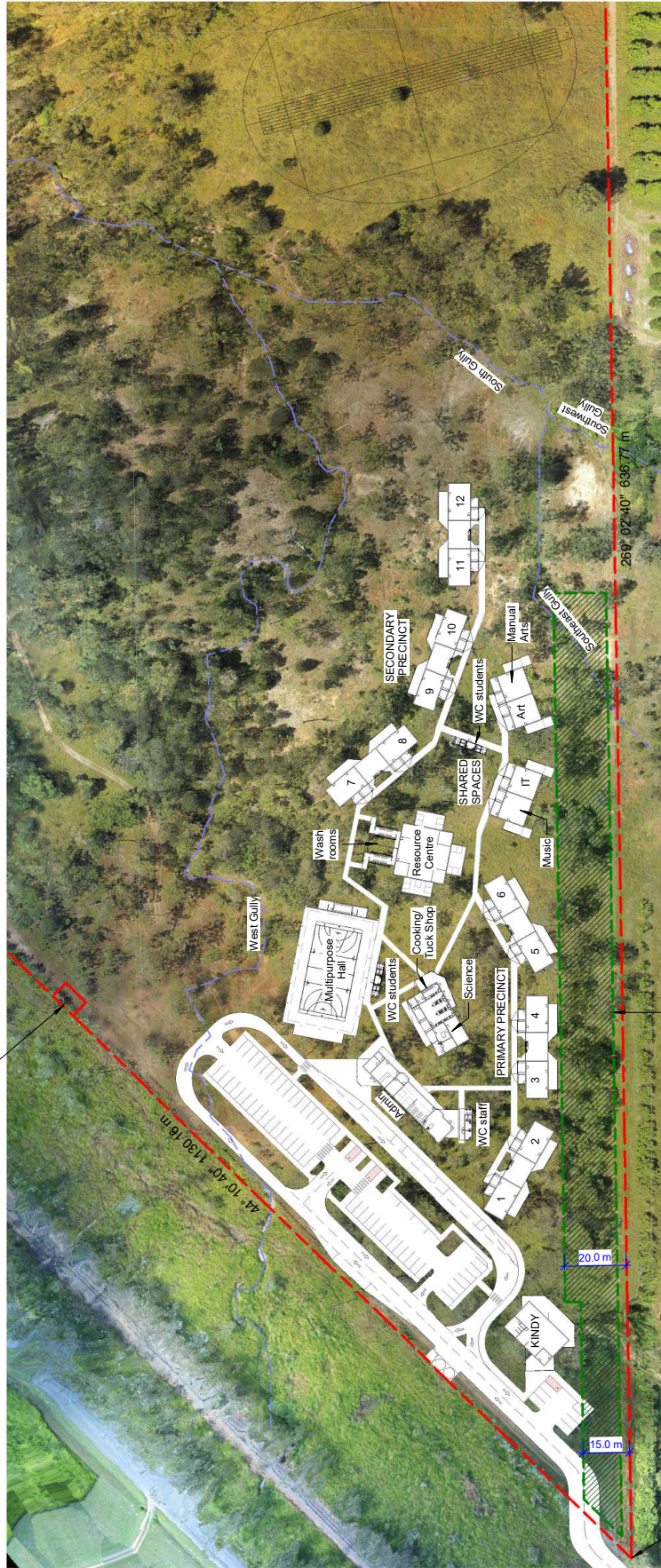
1 : 4000 @ A3
Masterplan - Final Entire Site
 162 / A031
 10/10/2023 15:35:32

Issue	Details	Issue	Date
9	Updated Civil and Shed	SBW	10/10/2023
8	Updated Parking Layout	SBW	24/07/2023
7	Revised Access Point	SBW	20/07/2023
6	Updated Angles with revised parking	SBW	19/05/2023
5	Updated Labels	SBW	13/01/2023
4	Updated for Review	SBW	12/01/2023

Document Set ID: 4939977
 Version: 1, Version Date: 15/11/2023

Contact: Stuart Whittington BCOA-6335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au

Suggested Eigon Transformer location if required (TEC)



Site height datum
Heights are indicative only - confirm on site

Buffer zone if required



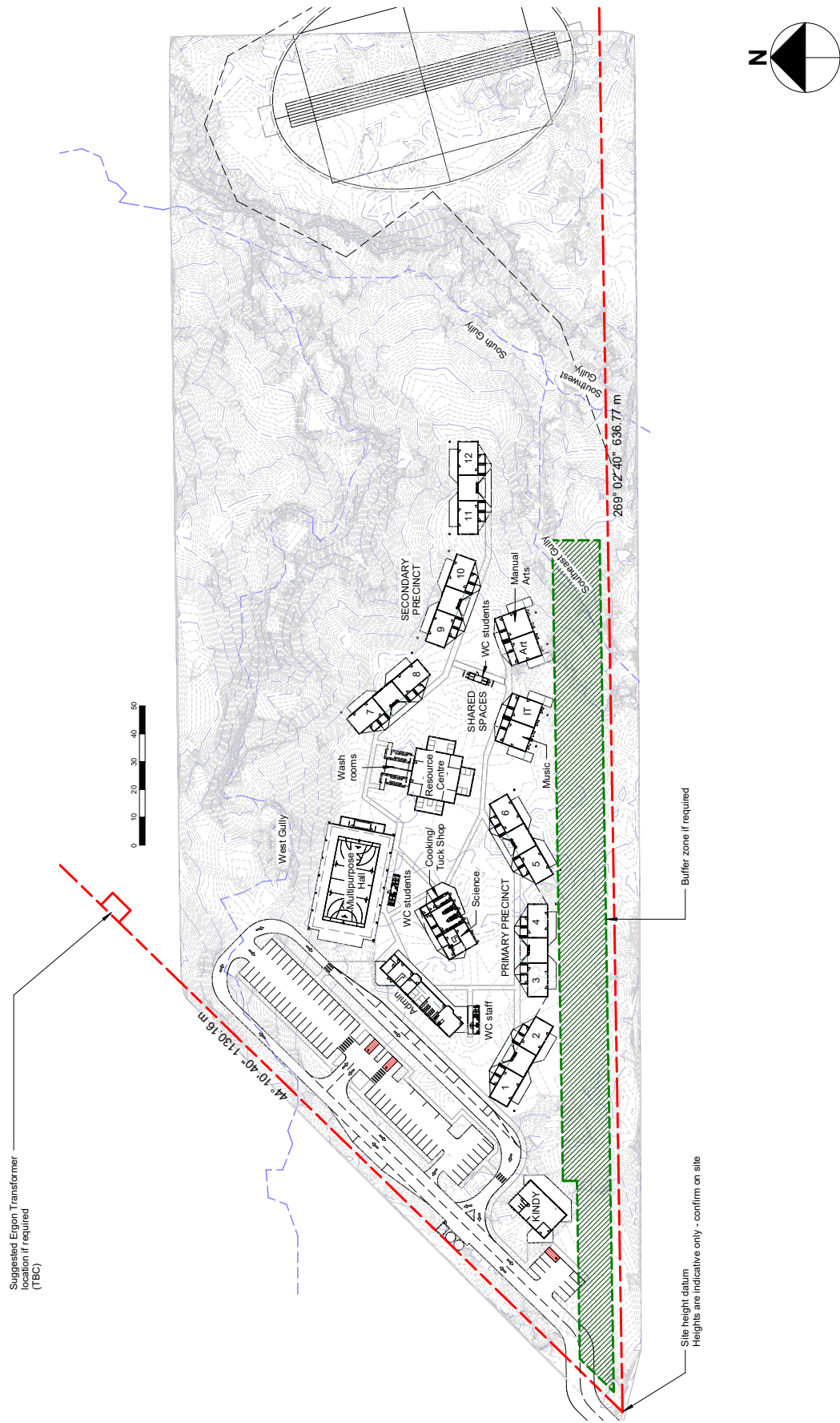
Two Rivers Community School, Mareeba
267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
Lot 71 on SP292140, 287,300sqm, Zoned Rural

1 : 1250 @ A3
Masterplan - 2041 School
162 / A041b
10/10/2023 15:35:38

Issue	Details	Issue	Date
7	Updated Civil and Ebed	SBW	10/10/2023
6	Updated Parking Layout	SBW	24/07/2023
5	Revised Access Point	SBW	20/07/2023
4	Updated Plans with revised parking	SBW	19/02/2023
3	Updated for Review	SBW	12/09/2022
2	Updated with Survey info	SBW	14/02/2022

Document Set ID: 49326977
Version: 1, Version Date: 15/11/2023

Contact: Stuart Withington B0AQ-6335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au



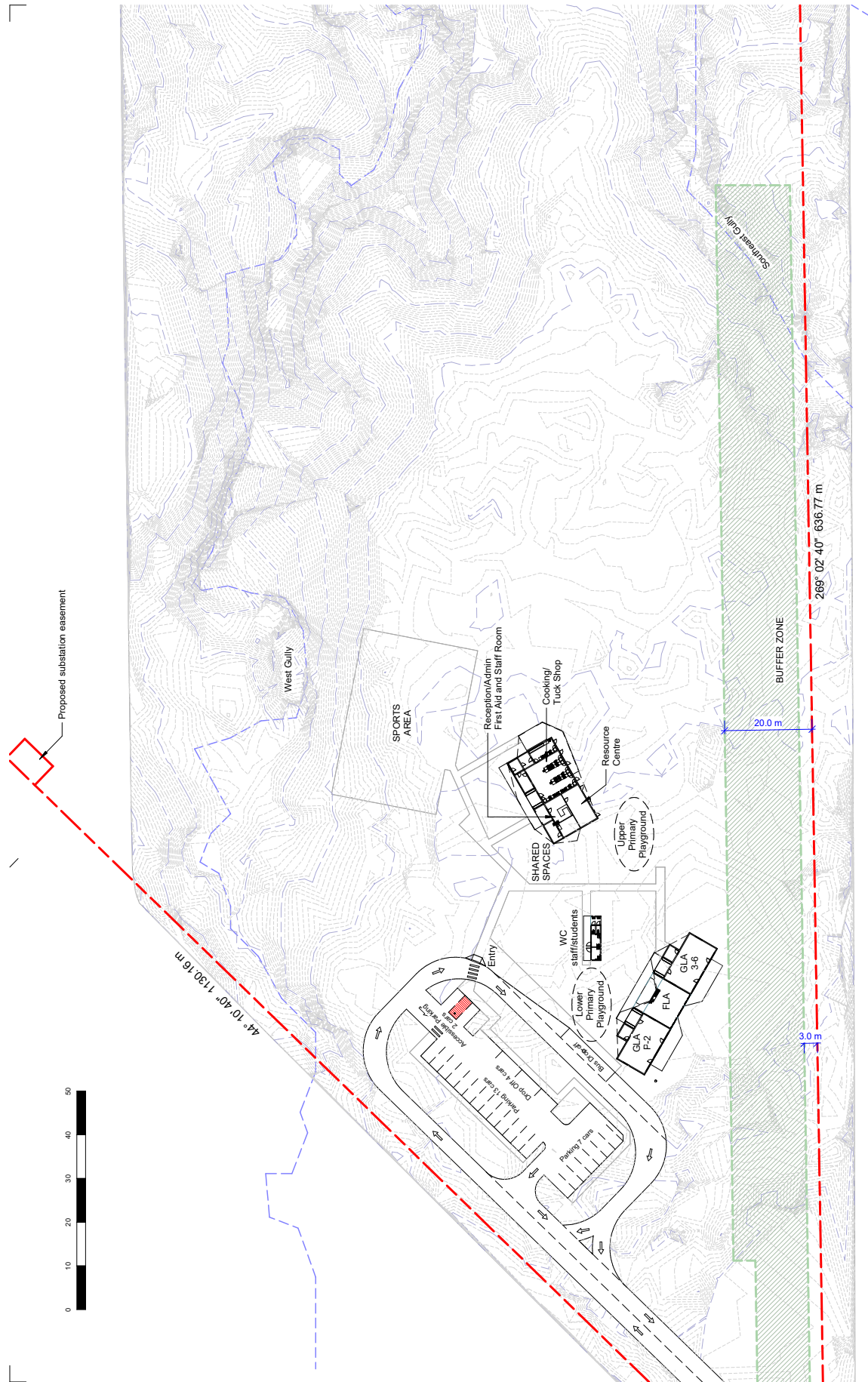
Issue	Details	Issue	Date
1	Update site survey info	SBW	14/12/2022
2	Updated for Review	SBW	12/02/2023
3	Designs with revised parking	SBW	19/02/2023
4	Revised Access Point	SBW	24/07/2023
5	Updated Parking Layout	SBW	24/07/2023
6	Updated Civil and Ebed	SBW	10/10/2023

1 : 1250 @ A3
Masterplan 2041 School B&W
162 / A04.1c
 10/10/2023 15:36:19
 Contact: Stuart Whittington B0AQ-6335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au

Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural

LIFE
Design
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Document Set ID - 49326977
 Version: 1, Version Date: 15/11/2023



1 : 750 @ A3
Stage 1 Plan
 162 / A111
 24/07/2023 15:08:56

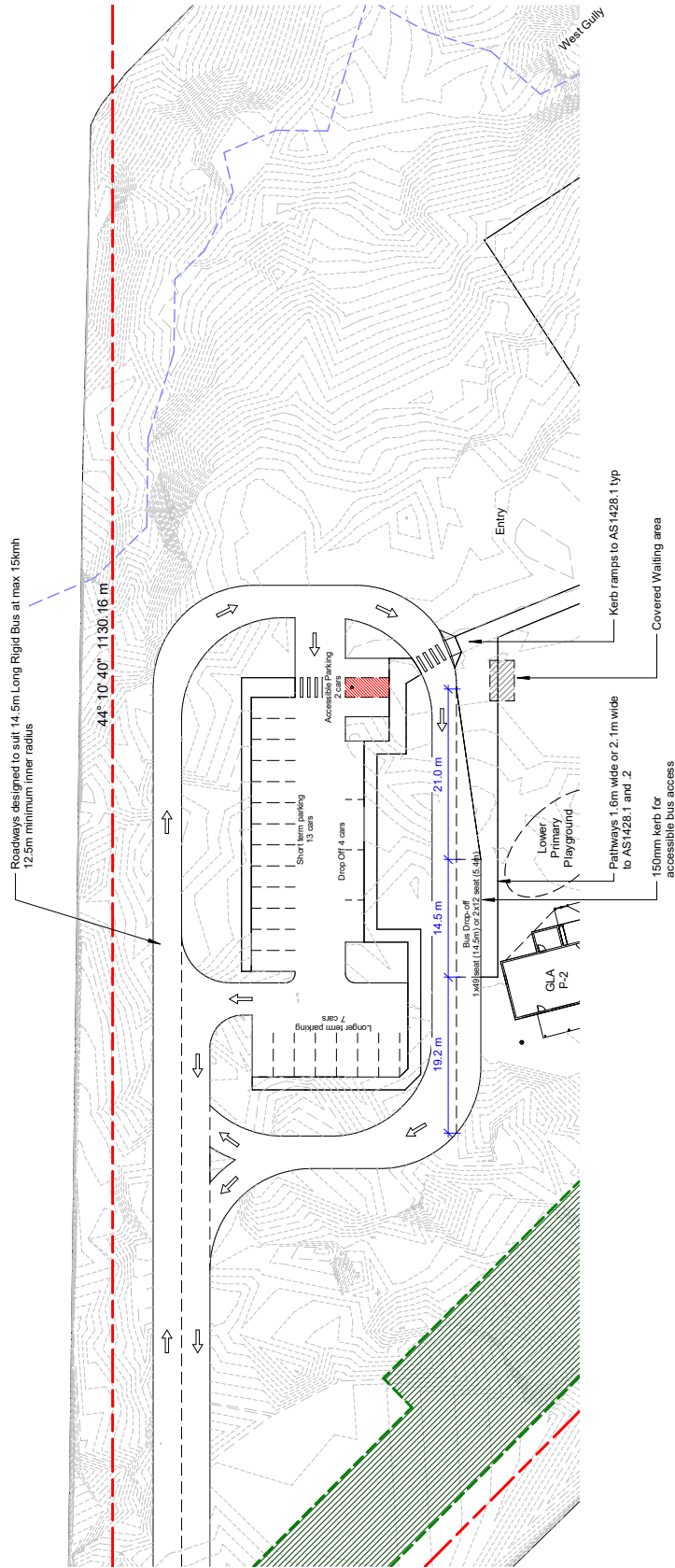
Issue	Details	Issue	Date
5	Updated Parking Layout	SBW	24/07/2023
4	Revised Access Point	SBW	20/07/2023
3	Updated Staging	SBW	19/07/2023
2	Updated Staging	SBW	07/11/2022
1	Updated P. Review	SBW	12/12/2022

Contact: Stuart Wittington BOAG-5335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au

Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural

LIFE
 Design
 CONSULTING

Document Set ID: 49326977
 Version: 1, Version Date: 15/11/2023



Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural

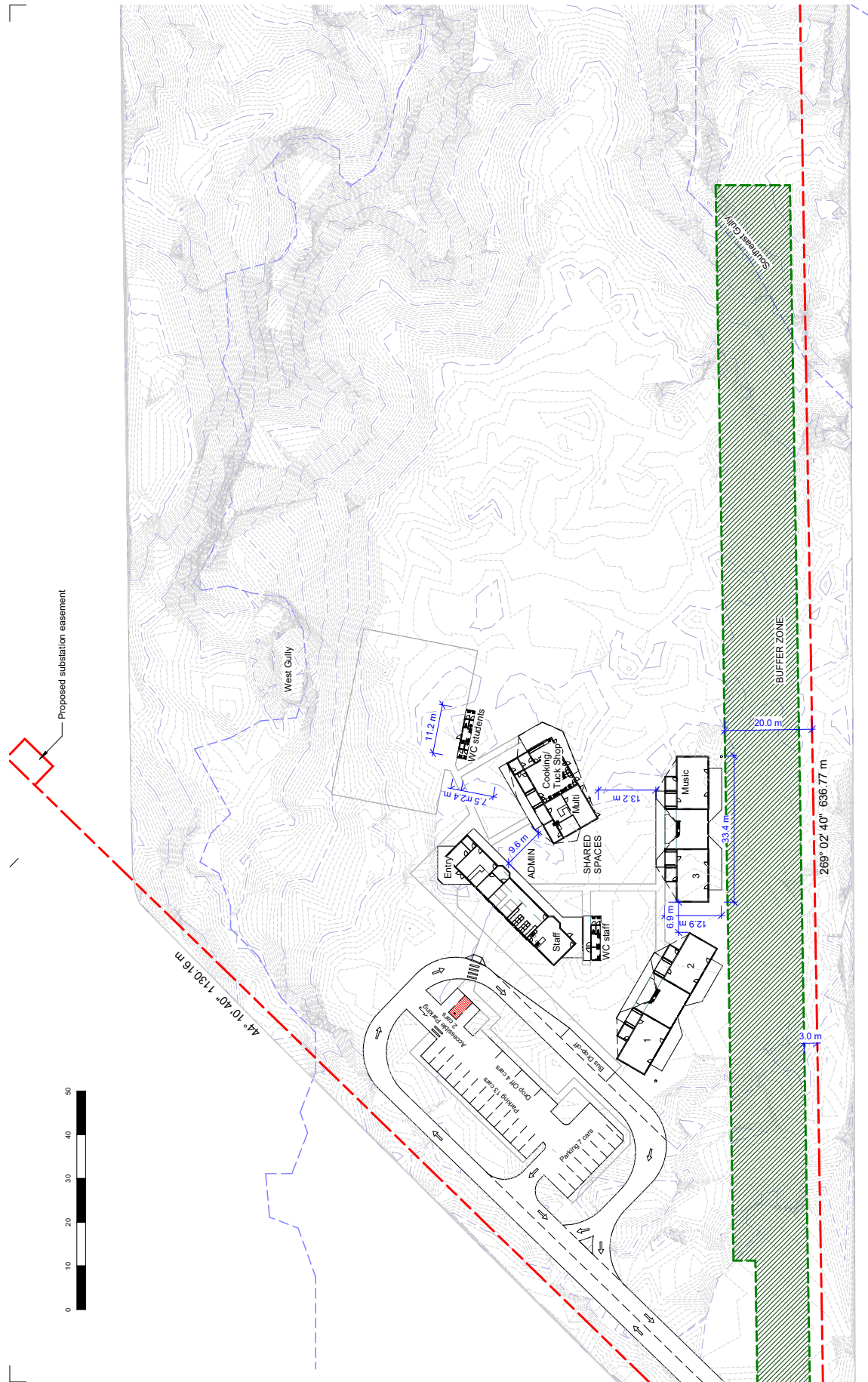
1 : 500 @ A3
Stage 1 Plan - Parking and Drop-off
 162 / A112
 24/07/2023 15:09:00

Issue	Details	Issue	Date
3	Updated Parking Layout	SBW	24/07/2023
2	Revised Access Point	SBW	20/07/2023
1	Parking Layout	SBW	21/07/2023

Contact: Stuart Whittington B0AQ-5335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au



Document Set ID: 49326977
 Version: 1, Version Date: 15/11/2023



1 : 750 @ A3
Stage 2 Plan
162 / A121
24/07/2023 15:09:01

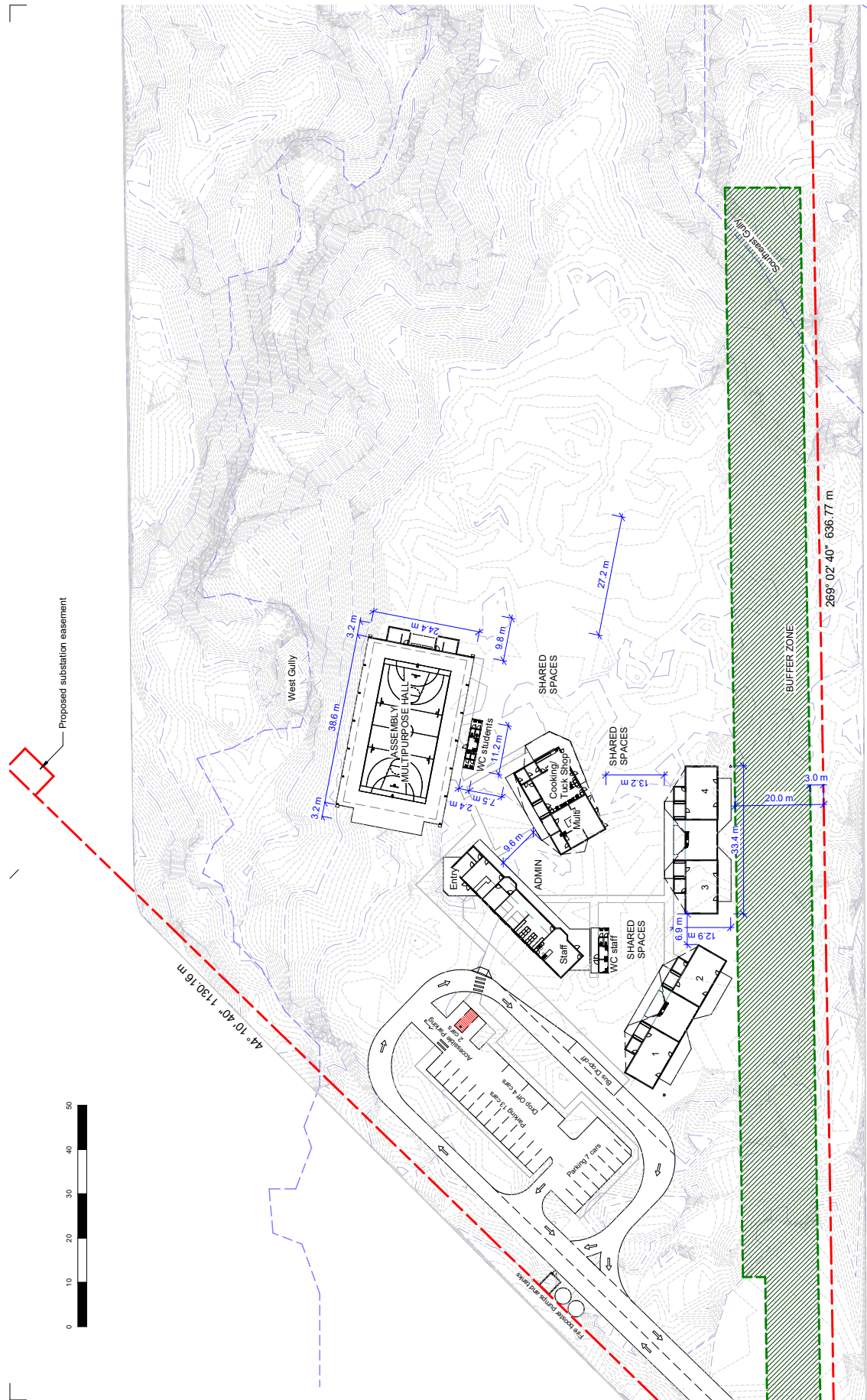
Issue	Details	Issue	Date
1	Updated Staging	SBW	07/11/2022
2	Updated Staging	SBW	12/12/2022
3	Updated Staging with revised parking	SBW	19/02/2023
4	Revised Access Point	SBW	20/07/2023
5	Updated Parking Layout	SBW	24/07/2023

Contact: Stuart Whittington B0AQ-6335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au

Two Rivers Community School, Mareeba
267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
Lot 71 on SP292140, 287,300sqm, Zoned Rural



Document Set ID: 4939977
Version: 1, Version Date: 15/11/2023



1 : 750 @ A3
Stage 3 Plan
162 / A131
24/07/2023 15:09:04

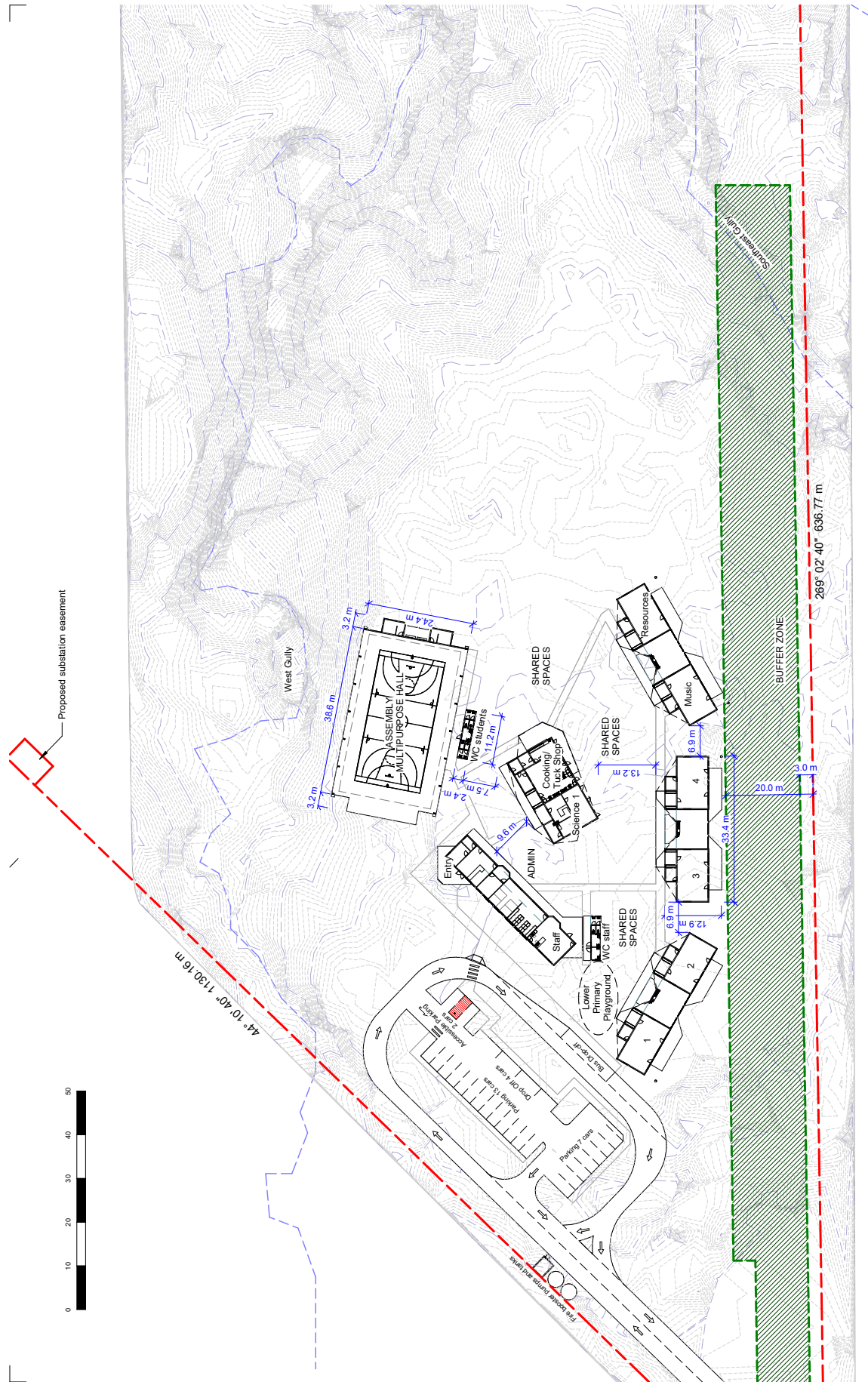
Issue	Details	Issue	Date
6	Updated Floor Plans	SBW	24/07/2023
5	Revised Access Point	SBW	21/07/2023
4	Updated Stages with revised	SBW	19/06/2023
3	Updated Staging	SBW	07/11/2022
2	Updated for Review	SBW	12/09/2022
1	Updated Masterplan Options	SBW	02/05/2022

Contact: Stuart Wittington B0AG-5335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au

Two Rivers Community School, Mareeba
267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
Lot 71 on SP292140, 287,300sqm, Zoned Rural



Document Set ID: 49326977
Version: 1, Version Date: 15/11/2023



1 : 750 @ A3
Stage 4 Plan
162 / A141
24/07/2023 15:09:06

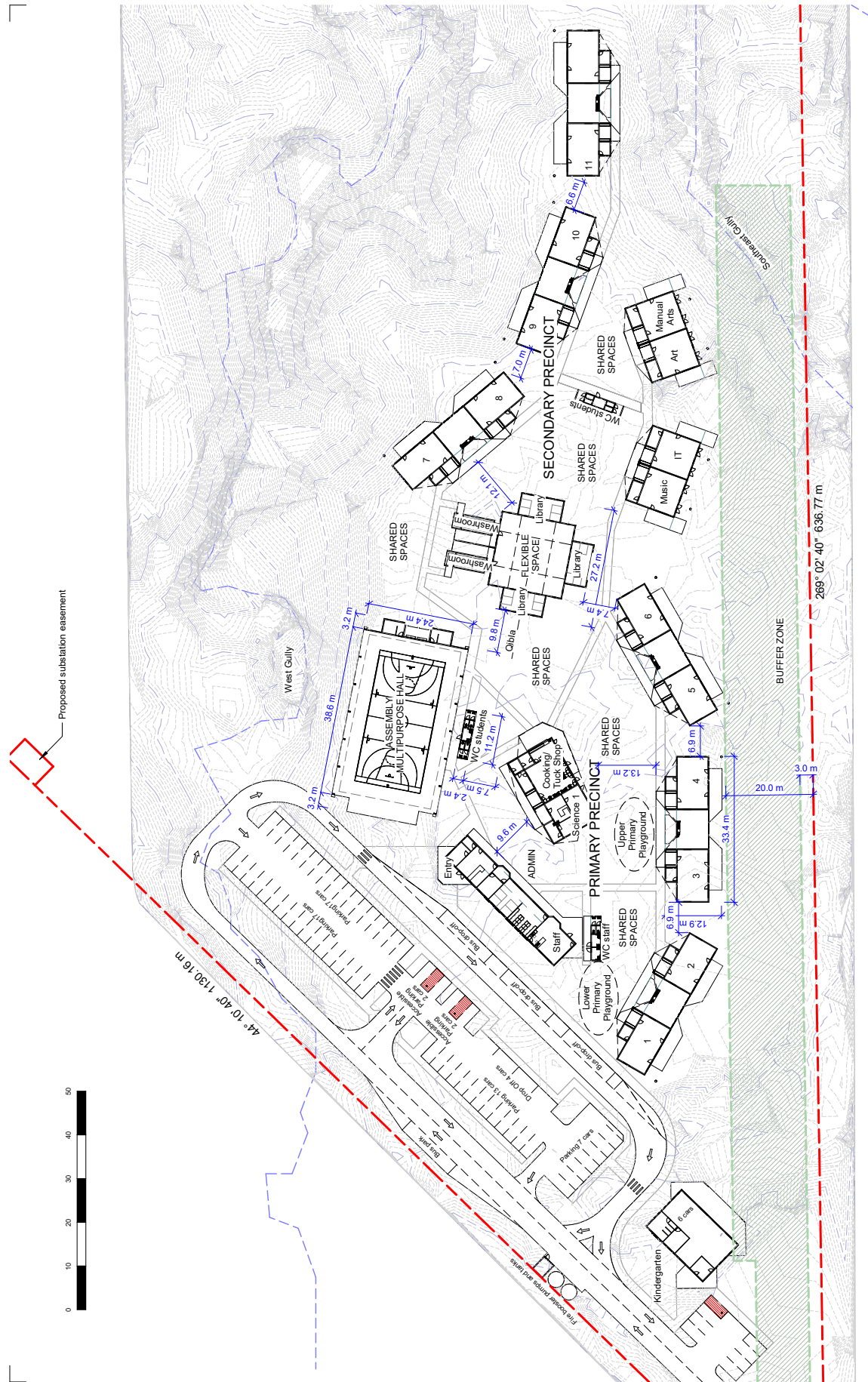
Issue	Details	Issue	Date
4	Updated Prelims Layout	SBW	24/07/2023
2	Updated Stages with revised parking	SBW	19/06/2023
1	Original Staging	SBW	07/11/2022

Contact: Stuart Whittington BOMG-5335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au

Two Rivers Community School, Mareeba
267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
Lot 71 on SP292140, 287,300sqm, Zoned Rural

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Document Set ID: 49392677
Version: 1, Version Date: 15/11/2023



Issue	Details	Issue	Date
7	Updated Floor Plans	SBW	24/07/2023
6	Revised Access Point	SBW	20/07/2023
5	Updated stages with revised	SBW	19/06/2023
4	Updated Layouts	SBW	13/01/2023
3	Updated Staging	SBW	07/11/2022
2	Updated Floor Plans	SBW	12/10/2022

1 : 750 @ A3
Final Plan
 162 / A161
 24/07/2023 15:09:21

Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural

LIFE
 Design
 CONSULTING

Document Set ID: 49326977
 Version: 1, Version Date: 15/11/2023
 Contact: Stuart Wittington B0AQ-5335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au



1 Persp - Birdseye from car park



2 Persp - Birdseye from East



Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural

3D Views - Birdseye
 162 / A901
 24/07/2023 15:10:12

@ A3

Issue	Details	Issue	Date
4	Updated Prelim Layout	SBW	24/07/2023
3	Revised Access Point	SBW	20/07/2023
2	Updated for Review	SBW	13/09/2022
1	Updated Prelim Layout	SBW	14/02/2022

Document Set ID: 49326977
 Version: 1, Version Date: 15/11/2023

Contact: Stuart Wittington B0AQ-5335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au



1 Persp - Birdseye from North



2 Persp - Birdseye from South



Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural

3D Views - Birdseye @ A3
 162 / A902
 24/07/2023 15:10:54

Issue	Details	Issue	Date
1	Update with Survey info	SBW	14/02/2022
2	Updated for Review	SBW	13/03/2022
3	Revised Access Point	SBW	20/07/2023
4	Updated Final Layout	SBW	24/07/2023

Document Set ID: 4936977
 Version: 1, Version Date: 15/11/2023

Contact: Stuart Whittington B0AQ-6335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au



1 Persp - Entry



2 Persp - from bridge



Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural

@ A3
3D View from Entry
 162 / A903
 24/07/2023 15:11:30

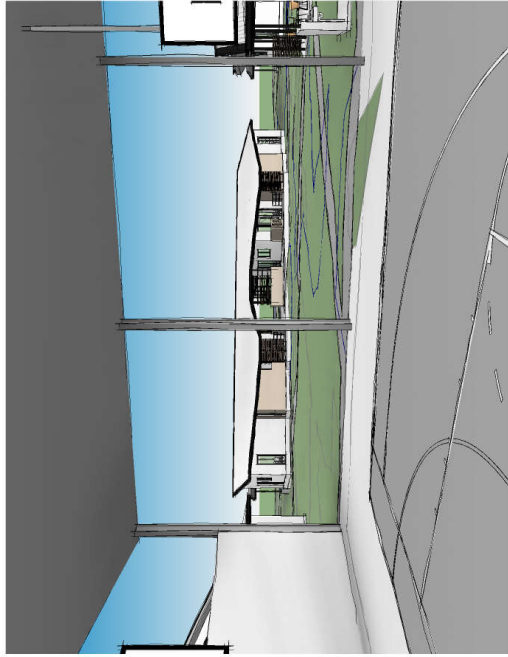
Issue	Details	Issue	Date
1	Update Entry Info	SBW	14/02/2022
2	Update Entry Info	SBW	14/02/2022
3	Revised Access Point	SBW	20/07/2023
4	Updated Final Layout	SBW	24/07/2023

Document Set ID: 49326977
 Version: 1, Version Date: 15/11/2023

Contact: Stuart Whittington B0AQ-6335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au



1 Persp - Courtyard from North



4 Persp - Courtyard from Hall



3 Persp - Courtyard from Entry



2 Persp - Courtyard from South



Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural

3D Views - Internal courtyard
 162 / A911
 24/07/2023 15:12:06

Issue	Details	Issue	Date
1	Update Entry Info	SBW	14/12/2022
2	Update for Review	SBW	13/03/2023
3	Revised Access Point	SBW	20/07/2023
4	Update Panels Layout	SBW	24/07/2023

Document Set ID: 4939977
 Version: 1, Version Date: 15/11/2023

Contact: Stuart Wittington BOAG-6335, 0490 906 716, stuart@lifedesign.net.au www.lifedesign.net.au

RA6-N



SARA reference: 2311-38006 SRA
 Council reference: MCU/23/0012
 Applicant reference: F22/31

30 May 2024

Chief Executive Officer
 Mareeba Shire Council
 PO Box 154
 Mareeba QLD 4880
 planning@msc.qld.gov.au

Attention: Carl Ewin

Dear Sir/Madam

SARA referral agency response

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 21 December 2023.

Response

Outcome:	Referral agency response – with conditions
Date of response:	30 May 2024
Conditions:	The conditions in Attachment 1 must be attached to any development approval
Advice:	Advice to the applicant is in Attachment 2
Reasons:	The reasons for the referral agency response are in Attachment 3

Development details

Description:	Development permit	Material change of use - Educational Establishment
SARA role:	Referral agency	
SARA trigger:	Schedule 10, Part 3, Division 4, Table 3, Item 1 (10.3.4.3.1) of the Planning Regulation 2017 - Clearing native vegetation	

2311-38006 SRA

Schedule 10, Part 9, Division 4, Subdivision 1, Table 1, Item 1 (10.9.4.1.1.1) of the Planning Regulation 2017 - State transport infrastructure thresholds

SARA reference: 2311-38006 SRA

Assessment manager: Mareeba Shire Council

Street address: 267 Mciver Road, Mareeba

Real property description: Lot 71 on SP292140

Applicant name: Two Rivers Community School C/- Freshwater Planning Pty Ltd

Applicant contact details: 17 Barron View Drive
Freshwater QLD 4870
freshwaterplanning@outlook.com

Human Rights Act 2019 considerations: A consideration of the 23 fundamental human rights protected under the *Human Rights Act 2019* has been undertaken as part of this decision. It has been determined that this decision does not limit human rights.

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s.30 Development Assessment Rules). Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Isley Peacey, Senior Planning Officer, on 4037 3202 or via email CairnsSARA@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Brett Nancarrow
Manager (Planning)

cc Two Rivers Community School, freshwaterplanning@outlook.com

enc Attachment 1 - Referral agency conditions
Attachment 2 - Advice to the applicant
Attachment 3 - Reasons for referral agency response
Attachment 4 - Representations about a referral agency response provisions
Attachment 5 - Documents referenced in conditions

2311-38006 SRA

Attachment 1—Referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application) (Copies of the documents referenced below are found at Attachment 5)

No.	Conditions	Condition timing
Material change of use – Educational Establishment		
10.3.4.3.1 – Native vegetation clearing - The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Resources to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	Clearing of vegetation must: (a) only occur within Area A(A1) and Area C(C1) as shown on the attached: (i) Vegetation Management Plan, prepared by Queensland Government, reference VMP 2311-38006 SRA, Sheet 1 of 1, version 1; and (ii) Attachment to Vegetation Management Plan VMP 2311-38006 SRA Derived Reference Points for GPS; (b) not exceed 3.314 hectares.	At all times
2.	Built infrastructure, other than for roads, tracks, fences and underground services, must not be established, constructed or located within Area C(C1) as shown on the attached: (i) Vegetation Management Plan, prepared by Queensland Government, reference VMP 2311-38006 SRA, Sheet 1 of 1, version 1; and (ii) Attachment to Vegetation Management Plan VMP 2311-38006 SRA Derived Reference Points for GPS.	At all times
3.	Any person(s) engaged or employed to carry out the clearing of vegetation under this development approval must be provided with a full copy of this development approval and must be made aware of the full extent of clearing authorised by this development approval.	Prior to clearing

No.	Conditions	Condition timing
Material change of use – Educational Establishment		
10.9.4.1.1.1– State transport infrastructure thresholds—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
Stormwater management		
4.	(a) The stormwater management of the development must not cause a worsening to the operating performance of the railway corridor such that any works on the land must not: (i) create any new discharge points for stormwater runoff onto the railway corridor. (ii) concentrate or increase the velocity of flows to the railway corridor. (iii) interfere with and/or cause damage to the existing stormwater drainage on the railway corridor (iv) surcharge any existing culvert or drain on the railway corridor. (v) reduce the quality of stormwater discharge onto the railway	(a) At all times

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	<p>corridor.</p> <p>(b) Submit RPEQ certification, with supporting documentation, to the Program Delivery and Operations Unit, Far North Queensland Region (Far.North.Queensland.IDAS@tmr.qld.gov.au) within the Department of Transport and Main Roads, confirming that the development has been designed in accordance with part (a) of this condition.</p> <p>(c) Submit RPEQ certification, with supporting documentation, to the Program Delivery and Operations Unit, Far North Queensland Region (Far.North.Queensland.IDAS@tmr.qld.gov.au) within the Department of Transport and Main Roads, confirming that the development has been constructed in accordance with part (a) of this condition.</p>	<p>(b) Prior to obtaining development approval for operational work or building work, whichever occurs first, for the first stage</p> <p>(c) Within 20 business days of the completion of works, for the relevant stage</p>
Railway level crossing safety		
5.	<p>(a) The railway level crossing of the Mungana Branch Line at Chewko Road (ID: LXR_02336) must be upgraded to include the following:</p> <ul style="list-style-type: none"> (i) the road approaching the crossing is aligned to be perpendicular to the railway corridor between its intersection with Chewko Road and extending for at least 20m beyond the outer rail track (edge running rail) on the southern approach to the crossing. (ii) a road carriageway width at the level crossing that is at least 7.5m (2 x 3.75m traffic lanes), plus a 1.5m wide verge on both sides of the road. (iii) a sealed surface of asphaltic concrete, or similar material, which extends over the crossing and for a minimum distance of 10m from the outer rail track (edge running rail) on each road approach to the crossing, ensuring a maximum grade change of 6%, in accordance with the following standards: <ul style="list-style-type: none"> • 'Level crossings – Details of Sign Posting', prepared by Queensland Rail, dated 13/08/20, drawing number QR-C-S3394 and issue A. • 'Level crossings – Details of Private and Queensland Rail Maintenance Road Grading and Sign Posting', prepared by Queensland Rail, dated 13/08/20, drawing number QR-C-S3395 and issue A. • a RPEQ certified crossing foundation suitable for the proposed weight and volume of the maximum design vehicle. <p>(b) Provide written evidence from the railway manager to the Program Delivery and Operations Unit, Far North Queensland Region (Far.North.Queensland.IDAS@tmr.qld.gov.au) within the Department of Transport and Main Roads confirming that the development has been designed and constructed in accordance with part (a) of this condition.</p>	<p>(a) and (b) Prior to the commencement of operational work or building work, whichever occurs first</p>
6.	<p>(a) The railway level crossing of the Mungana Branch Line at Chewko Road (ID: LXR_02336) must be upgraded to include the following safety controls in accordance with AS1742.7:2016 <i>Manual of uniform traffic control devices, Part 7: Railway Crossings</i>, comprising the following for each road approach to the level crossing:</p> <ul style="list-style-type: none"> (i) a RX-2 assembly with R6-25 signage with two pipe posts in accordance with section 2.2.2 of AS1742.7:2016 <i>Manual of uniform traffic control devices, Part 7: Railway Crossings</i> and associated Queensland Rail's 'Standard Level 	<p>(a) and (c) Prior to the commencement of operational work or building work, whichever occurs first</p>

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	<p>Crossings Traffic Signs for Private & QR Maintenance Level Crossings', dated 25/05/2005 and drawing number 2588;</p> <p>(ii) stop lines in accordance with section 3.3 and Figure 4.6 of AS1742.7:2016 <i>Manual of uniform traffic control devices, Part 7: Railway Crossings</i>;</p> <p>(iii) no-overtaking barrier line in accordance with Section 3.5 and Figure 4.6 of AS1742.7:2016 <i>Manual of uniform traffic control devices, Part 7: Railway Crossings</i>; and</p> <p>(iv) incident Reporting Signage (quoting crossing reference 2336) in accordance with 'Level Crossings – Incident Reporting Sign', prepared by Queensland Rail, dated 16/02/06, drawing number 2622 and Issue A</p> <p>(v) railway crossing advance warning signage on both Chewko Road approaches to the railway level crossing in accordance with Section 2.2.5 and Figure 4.10 of AS1742.7:2016 <i>Manual of uniform traffic control devices, Part 7: Railway Crossings</i></p> <p>(vi) railway crossing advance warning signage on the southern approach (Unnamed Road) to the railway level crossing in accordance with:</p> <ul style="list-style-type: none"> • Section 2.2.5 and Figure 4.10 of AS1742.7:2016 <i>Manual of uniform traffic control devices, Part 7: Railway Crossings</i>; OR • Figure 4.5 of AS1742.7:2016 <i>Manual of uniform traffic control devices, Part 7: Railway Crossings</i>. <p>(b) The existing safety controls at the railway level crossing of the Mungana Branch Line at Chewko Road (ID: LXR_02336) namely, the railway crossing stop assembly (RX-2) must be removed.</p> <p>(c) Provide written evidence from the railway manager to the Program Delivery and Operations Unit, Far North Queensland Region (Far.North.Queensland.IDAS@tmr.qld.gov.au) within the Department of Transport and Main Roads confirming that the development has been designed and constructed in accordance with part (a) and (b) of this condition.</p>	<p>(b) Following the completion of part (a) of this condition</p>
Public passenger transport		
<p>7.</p>	<p>(a) Provide a school bus setdown facility at the location shown on the Stage 1 Plan – Parking and Drop-off, prepared by Life Design, dated 24/07/2023, drawing number 162/A112 and issue 3 (as amended in red).</p> <p>(b) The school bus setdown facility must be in accordance with the <i>Disability Standards for Accessible Public Transport 2002</i> made under subsection 31(1) of the <i>Disability Discrimination Act 1992</i> and include the following components:</p> <p>(i) one (1) continuous bus zone with capacity to accommodate the setdown of 1 x single unit rigid bus of 14.5m in length in accordance with Section 5.6.3.1 and Table 5-7 of Chapter 5 of the <i>Public Transport Infrastructure Manual 2015</i>.</p> <p>(ii) bus zone line marking and bus zone signage at either end of the bus zone in accordance with AS1742.11 – Manual of uniform traffic control devices, Part 11: Parking controls.</p> <p>(iii) a waiting area with shelter, seats and a bin in accordance with P2.1 – P2.4, S2, Outcome 1, Table 2 of <i>Planning for Safe Transport Infrastructure at Schools</i>.</p>	<p>(a) and (b) Prior to the commencement of use for Stage 1</p>

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8.	<p>(a) Provide a school bus setdown facility at the location shown on the Final Plan – Parking and Drop-off, prepared by Life Design, dated 24/07/2023, drawing number 162/A162 and issue 3 (as amended in red).</p> <p>(b) The school bus setdown facility must be in accordance with the <i>Disability Standards for Accessible Public Transport 2002</i> made under subsection 31(1) of the <i>Disability Discrimination Act 1992</i> and include the following components:</p> <ul style="list-style-type: none"> (i) one (1) continuous bus zone with capacity to accommodate the concurrent setdown of 3 x single unit rigid buses of 14.5m in length with independent operation in-between in accordance with Section 5.6.3.1 and Table 5-7 of Chapter 5 of the <i>Public Transport Infrastructure Manual 2015</i>. (ii) bus zone line marking and bus zone signage at either end of the bus zone in accordance with AS1742.11 – Manual of uniform traffic control devices, Part 11: Parking controls. (iii) a waiting area with shelter, seats and a bin in accordance with P2.1 – P2.4, S2, Outcome 1, Table 2 of <i>Planning for Safe Transport Infrastructure at Schools</i>. 	(a) and (b) Prior to the commencement of use for Stage 5
9.	<p>The property access and internal roadway shown on Masterplan 2041 School B&W, prepared by Life Design, dated 10/10/2023, drawing number 162/A041c and issue 6 (as amended in red) must be designed and constructed to be in accordance with the following to accommodate a single unit rigid bus of 14.5m in length:</p> <ul style="list-style-type: none"> (c) accommodate the swept path of a single unit rigid bus of 14.5m in length in accordance with Austroads Design Vehicles and Turning Path Templates; (d) include wayfinding signage to identify the separate vehicular routes to passenger loading zones, parking areas, exits and the like in accordance with the Queensland Manual of Uniform Traffic Control Devices, Part 2: Traffic Control Devices for General Use; and (e) provide priority movement to the 'bus route' over private vehicle routes by installing give way pavement marking and signage in accordance with sections 2.5 and 5.5.2 of Queensland Manual of Uniform Traffic Control Devices, Part 2: Traffic Control Devices for General Use. 	Prior to the commencement of use for the relevant stage
Pedestrian and cyclist access		
10.	<ul style="list-style-type: none"> (a) Provide the external and internal pedestrian pathway network, generally in accordance with the Stage 1 Plan – Parking and Drop-off, prepared by Life Design, dated 24/07/2023, drawing number 162/A112 and issue 3 (as amended by SARA in red). (b) The active transport network in part (a) of this condition must be in accordance with Table 1: Active Transport and Schedule 1 of <i>Planning for Safe Transport Infrastructure at Schools</i>. 	(a) and (b) Prior to the commencement of use for the relevant stage

Attachment 2—Advice to the applicant and assessment manager

Advice to the applicant:

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> , its regulation or the State Development Assessment Provisions (SDAP) (version 3.0). If a word remains undefined it has its ordinary meaning.
Clearing of native vegetation	
2.	To request an electronic file of the GPS coordinates/Derived Reference Points contained in an Attachment of this decision notice, email a request to the Department of Resources at vegetation.support@resources.qld.gov.au include application reference 2311-38006 SRA.
Works on a railway corridor	
3.	<p>Pursuant to section 255 of the <i>Transport Infrastructure Act 1994</i>, the railway manager’s written approval is required to carry out works in or on a railway corridor or otherwise interfere with the railway or its operations.</p> <p>All works in the railway corridor such as but not limited to pipeline crossings, service and utility connections and level crossing upgrades will require relevant approvals to be obtained from the railway manager such as a licence to enter and construct and a wayleave agreement. Please refer to Queensland Rail specification MD-20-173 – <i>Civil Non-Queensland Rail Underground Services in Queensland Rail Property</i>.</p> <p>Please note: The Department of Transport and Main Roads advise that the upgrades to the railway level crossing will be designed and constructed by the railway manager (Queensland Rail) or its approved contractor at the applicant’s expense. The applicant is responsible for obtaining any necessary approvals, contract arrangements, and/or other agreements from the railway manager for the design and construction of the upgraded level crossing.</p> <p>You will also need to contact the railway manager to discuss available track closures to schedule the work, if approved.</p> <p>Please be advised that this referral agency response does not constitute an approval under section 255 of the <i>Transport Infrastructure Act 1994</i> and that such approvals need to be separately obtained from the railway manager.</p> <p>The applicant should contact the Queensland Rail property team at QRPropertyWayleaves@qr.com.au in relation to obtaining the necessary approvals.</p>

Advice to the Assessment Manager under section 56(3) of the *Planning Act 2016*:

General advice	
1.	<p>The railway level crossing of the Mungana Branch Line at Chewko Road (ID: LXR_02336) is a public level crossing and will need to be included within the Interface Agreement with Queensland Rail.</p> <p>Please contact Queensland Rail to discuss this - QRPropertyWayleaves@qr.com.au</p>

Attachment 3—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for the SARA’s decision are:

The development complies with SDAP State code 6: Protection of state transport networks. Specifically, the development:

- Does not have an adverse impact on state transport infrastructure, public passenger transport infrastructure, active transport infrastructure and public passenger services
- Maintains the operating performance of the transport network;
- Ensures development enables safe and convenient access to public passenger transport
- does not create a safety hazard for users of state transport infrastructure or public passenger services
- does not result in a worsening of the physical condition or operating performance of the state transport network
- does not compromise the state’s ability to cost-effectively construct, operate and maintain state transport infrastructure
- provides public passenger transport infrastructure to enable development to be serviced by public passenger transport;
- provides safe and direct access to public passenger transport infrastructure or active transport infrastructure, including access by cycling and walking.

The development complies with SDAP State code 16: Native vegetation clearing. Specifically, the development:

- clearing is minimised in order to conserve vegetation, avoid land degradation and loss of biodiversity, and maintain ecological processes;
- greenhouse gas contributions are minimised through continued ability for carbon sequestration processes to occur;
- adequate vegetation is maintained to sustainably manage the impacts of clearing on ecosystems and biodiversity, and avoids significant residual impacts upon MSES; and
- impacts on vegetation are minimised where avoidance is not possible.
- There are no notices requiring compliance, vegetation management requirements or legally secured offset areas within the development site.

Material used in the assessment of the application:

- the development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- the SDAP (version 3.0), as published by SARA
- the Development Assessment Rules
- SARA DA Mapping system
- State Planning Policy mapping system
- section 58 of the *Human Rights Act 2019*

Attachment 4—Representations about a referral agency response provisions

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Attachment 5—Documents referenced in conditions

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Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

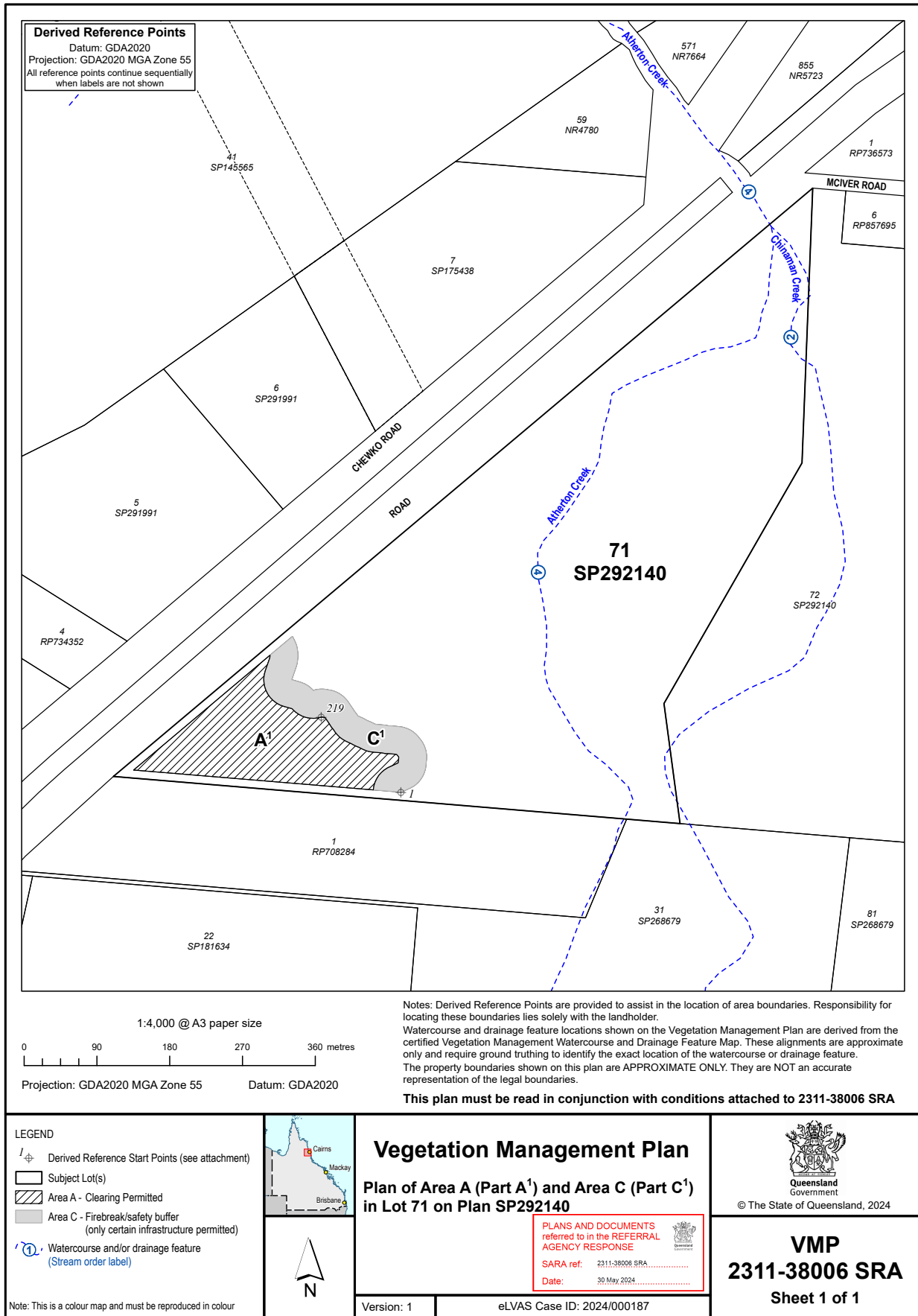
² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

Part 7: Miscellaneous

30 Representations about a referral agency response

30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.



Derived Reference Points
 Datum: GDA2020
 Projection: GDA2020 MGA Zone 55
 All reference points continue sequentially when labels are not shown

Notes: Derived Reference Points are provided to assist in the location of area boundaries. Responsibility for locating these boundaries lies solely with the landholder.
 Watercourse and drainage feature locations shown on the Vegetation Management Plan are derived from the certified Vegetation Management Watercourse and Drainage Feature Map. These alignments are approximate only and require ground truthing to identify the exact location of the watercourse or drainage feature.
 The property boundaries shown on this plan are APPROXIMATE ONLY. They are NOT an accurate representation of the legal boundaries.

This plan must be read in conjunction with conditions attached to 2311-38006 SRA

LEGEND
 I ⊕ Derived Reference Start Points (see attachment)
 □ Subject Lot(s)
 ▨ Area A - Clearing Permitted
 ■ Area C - Firebreak/safety buffer (only certain infrastructure permitted)
 ① Watercourse and/or drainage feature (Stream order label)
 Note: This is a colour map and must be reproduced in colour



Vegetation Management Plan
Plan of Area A (Part A¹) and Area C (Part C¹) in Lot 71 on Plan SP292140
 PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE
 SARA ref: 2311-38006 SRA
 Date: 30 May 2024


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VMP
2311-38006 SRA
 Sheet 1 of 1

Version: 1 eLVAS Case ID: 2024/000187

VMGIS-NR-2413

**Attachment to Plan: 2311-38006 SRA
Derived Reference Points
Datum: GDA2020, Projection: MGA Zone 55**

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE



SARA ref: 2311-38006 SRA

Date: 30 May 2024

Notes: Derived Reference Points are provided to assist in the location of area boundaries. Responsibility for locating these boundaries lies solely with the landholder and delegated contractor(s). Coordinates start at a point indicated on the accompanying plan and continue sequentially when labels are not shown.

Part ID	Unique ID	Easting	Northing
C1	1	329230	8117242
C1	2	329196	8117245
C1	3	329196	8117250
C1	4	329198	8117254
C1	5	329200	8117259
C1	6	329203	8117263
C1	7	329206	8117266
C1	8	329209	8117269
C1	9	329214	8117272
C1	10	329218	8117274
C1	11	329218	8117274
C1	12	329226	8117278
C1	13	329227	8117278
C1	14	329227	8117279
C1	15	329227	8117284
C1	16	329227	8117285
C1	17	329227	8117286
C1	18	329225	8117288
C1	19	329225	8117289
C1	20	329224	8117289
C1	21	329215	8117290
C1	22	329215	8117290
C1	23	329210	8117290
C1	24	329207	8117290
C1	25	329206	8117291
C1	26	329197	8117291
C1	27	329192	8117292
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C1	29	329183	8117295
C1	30	329178	8117298
C1	31	329176	8117298
C1	32	329174	8117299
C1	33	329170	8117301
C1	34	329169	8117302
C1	35	329162	8117305
C1	36	329158	8117307
C1	37	329154	8117310
C1	38	329151	8117313
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C1	55	329113	8117334
C1	56	329108	8117336
C1	57	329104	8117338
C1	58	329100	8117341
C1	59	329096	8117344
C1	60	329096	8117345

Part ID	Unique ID	Easting	Northing
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C1	63	329080	8117350
C1	64	329076	8117352
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C1	119	329139	8117369
C1	120	329140	8117368

Part ID	Unique ID	Easting	Northing
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C1	122	329140	8117368
C1	123	329141	8117368
C1	124	329143	8117368
C1	125	329145	8117368
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C1	129	329153	8117364
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C1	131	329157	8117362
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C1	159	329210	8117325
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C1	174	329240	8117320
C1	175	329242	8117318
C1	176	329244	8117317
C1	177	329246	8117316
C1	178	329247	8117315
C1	179	329249	8117313
C1	180	329251	8117311

GENERAL NOTES:

- PROPOSED LEVEL CROSSINGS SHALL BE SUBMITTED TO THE MANAGER CIVIL ENGINEER FOR APPROVAL.
- FOR DETAILS OF ALL ROAD SIGNS AND ASSEMBLIES FOR RELEVANT CROSSINGS REFER TO THE MAIN ROADS DEPARTMENT ROAD DESIGN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES PART 7 AND QUEENSLAND RAIL LEVEL CROSSING SAFETY STANDARD MD-10-115.
- THE INFRASTRUCTURE MAINTENANCE SHALL LAISE WITH AND ADVISE ROAD AUTHORITIES TO KEEP ROADWORK AT LEVEL CROSSINGS FROM IMPROVING THE ROAD GRADING LIMITS SHOWN ON OR-C-53395.
- ROAD PAVEMENT TO BE SEALED WITH ASPHALTIC CONCRETE OR A SIMILAR MATERIAL FOR A MINIMUM DISTANCE OF 10.0M ON BOTH SIDES OF THE RAILWAY.
- A CHANGE IN GRADE FROM THESE POINTS SHALL BE VERTICAL CURVE. ALL ROAD SIGNS AND ASSEMBLIES SHALL BE DETERMINED BY DESIGN SPEED AND OTHER RELEVANT CRITERIA AS REQUIRED BY THE MAIN ROADS DEPARTMENT PLANNING AND DESIGN MANUAL AND AUSTRADRS PUBLICATIONS.
- WHISTLE BOARDS ARE TO BE PROVIDED AT ALL CROSSINGS (INCLUDING THOSE EQUIPPED WITH ACTIVE PROTECTION) AND ARE TO BE LOCATED AS PER QUEENSLAND RAIL LEVEL CROSSING SAFETY STANDARD MD-10-115.
- STANDARD FENCE FOR DETAILS REFER STANDARD DRAWING Nos 2544, 2549 AND 2549.
- CONDUIT INSTALLATION SHALL BE IN ACCORDANCE WITH AS4799, 1.2M MIN. BELOW SURFACE LEVEL.
- DRAINAGE REQUIREMENTS TO BE DETERMINED AT THE SITE BY THE MAIN ROADS DEPARTMENT CIVIL ENGINEER. THE FENCE IS TO BE CONSTRUCTED CLOSER THAN 4.0M TO EDGE OF PAVEMENT.
- FOR LEVEL CROSSINGS WITH OVERHEAD LIVE WIRES WARNING SIGNS SHALL BE USED IN ACCORDANCE WITH STANDARD DRAWINGS No. OR-C-53400.
- WHERE GRIDS ARE REQUIRED, I.e. IN AREAS WHERE STOCK IS KEPT FROM ENTERING THE CROSSING, THE GRIDS AS DETAILED ON STANDARD DRAWING No. 1974 SHALL BE USED.
- THIS DRAWING SUPERSEDES STANDARD DRAWING No. 2586 AND 2587.
- FOR REMOVAL OF LEVEL CROSSING REFER TO QUEENSLAND RAIL STANDARD DRAWING 2923.
- GUARDRAILS TO BE PROVIDED AS NECESSARY WHERE INSUFFICIENT FOR ROAD ENVIRONMENT. GUARDRAILS TO BE DESIGNED IN ACCORDANCE WITH MAIN ROADS DEPARTMENT "ROAD PLANNING AND DESIGN MANUAL" AND ASINZ 3845 "ROAD SAFETY BARRIER SYSTEMS".
- THIS DRAWING DOES NOT COVER SIGNAL AND OPERATIONAL SYSTEM REQUIREMENTS. ADVICE IS TO BE SOUGHT FROM THE SIGNALING MANAGER.
- REFER TO QUEENSLAND RAIL STANDARD DRAWING OR-C-53395 FOR ROAD GRADING LIMITS.
- ROAD PAVEMENT CROSSFALL SHALL BE ROTATED OVER THE WHISTLE BOARD. REFER TO MAIN ROADS DEPARTMENT ROAD DESIGN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES PART 7 AND QUEENSLAND RAIL LEVEL CROSSING SAFETY STANDARD MD-10-115.
- FOR DETAILS OF LIVESTOCK AND MACHINERY PRIVATE LEVEL CROSSING REFER TO QUEENSLAND RAIL STANDARD DRAWINGS No. 2701, 2702 AND OR-C-53396.
- FOR DETAILS OF MAINTENANCE ACCESS ROAD LAYOUT REFER TO QUEENSLAND RAIL STANDARD DRAWING OR-C-53395.

PLAN OF TYPICAL PUBLIC LEVEL CROSSING WITH ROADWAY SQUARE TO TRACK
(MULTI TRACKS SIMILAR)
SCALE 1:250

PLAN OF TYPICAL PRIVATE LEVEL CROSSING WITH ROADWAY SQUARE TO TRACK
(MULTI TRACKS SIMILAR)
SCALE 1:250

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 2311-38006 SRA

Date: 30 May 2024

PLAN OF TYPICAL PUBLIC LEVEL CROSSING WITH ROADWAY AT ANGLE TO TRACK
(MULTI TRACKS SIMILAR)
SCALE 1:250

PLAN OF TYPICAL PRIVATE LEVEL CROSSING WITH ROADWAY AT ANGLE TO TRACK
(MULTI TRACKS SIMILAR)
SCALE 1:250

NOTE: SIGNAGE TO BE DETERMINED BY LEVEL CROSSING RISK ASSESSMENT IN ACCORDANCE WITH QUEENSLAND RAIL SAFETY MANAGEMENT SYSTEM STANDARD MD-10-115 - LEVEL CROSSING SAFETY

FILE No	DESCRIPTION	NAME	REVISION DATE
2018858			

REVISION	BY	DATE	DESCRIPTION
DESIGN	P. SURESH	13/03/20	ISSUED FOR PERMIT
DRAWN	G. DUTTON	13/03/20	ISSUE APPROVED
CHK	A. SWEENEY	13/03/20	ISSUED FOR PERMIT

Queensland Rail
ACN 132 181 090

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Network - Civil Engineering

STANDARD

LEVEL CROSSINGS

DETAILS OF SIGN POSTING

DRAWING NUMBER: **QR-C-53394**

ISSUE: **A**

GENERAL NOTES:

- PROPOSED LEVEL CROSSING SHALL BE SUBMITTED TO THE MANAGER CIVIL ENGINEERING FOR APPROVAL.
- REFER QR-C-5394 FOR PLAN OF TYPICAL LEVEL CROSSINGS.
- RESPONSIBILITIES FOR PRIVATE AND QUEENSLAND RAIL MAINTENANCE CROSSINGS ARE DETAILED IN LEVEL CROSSING SAFETY STANDARD MD-10-15.
- ROAD PAVEMENT SHALL BE 200MM MIN. COMPACTED UNBOUND ROAD BASE. BALLAST SHALL NOT BE USED AND SEALED WITH ASPHALT. MIN. 10.0M ON BOTH SIDES.
- ANY RELAXATION OF THE ROAD GRADING LIMITS SHOWN WILL REQUIRE APPROVAL FROM THE CIVIL MANAGER ENGINEERING.
- A CHANGE IN GRADE FROM THESE POINTS SHALL BE VERTICAL CURVE AND OTHER RELEVANT CRITERIA AS REQUIRED BY THE MAIN ROADS DESIGN AND DESIGN MANUAL AND AUSTRAS PUBLICATIONS FOR THE DESIGN VEHICLE ARTICULATED VEHICLE - LOW LOADER, UNLESS OTHERWISE APPROVED BY THE MANAGER CIVIL ENGINEERING.
- DRAINAGE REQUIREMENTS TO BE DETERMINED AT THE SITE BY THE CIVIL MANAGER ENGINEERING. NOT TO BE CONSTRUCTED CLOSER THAN 4.0M TO EDGE OF PAVEMENT.
- THIS DRAWING SUPERSEDES QUEENSLAND RAIL STANDARD DRAWING NO. 2586 AND 2587.
- FOR REMOVAL OF LEVEL CROSSING REFER TO QUEENSLAND RAIL STANDARD DRAWING NO. 2823.
- THIS DRAWING DOES NOT COVER SIGNAL AND OPERATIONAL SYSTEM REQUIREMENTS. NOTICE IS TO BE SOUGHT FROM THE SIGNALING MANAGER.

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 2311-38006 SRA

Date: 30 May 2024

GENERAL NOTES:

- PROPOSED LEVEL CROSSING SHALL BE SUBMITTED TO THE MANAGER CIVIL ENGINEERING FOR APPROVAL.
- REFER QR-C-5394 FOR PLAN OF TYPICAL LEVEL CROSSINGS.
- RESPONSIBILITIES FOR PRIVATE AND QUEENSLAND RAIL MAINTENANCE CROSSINGS ARE DETAILED IN LEVEL CROSSING SAFETY STANDARD MD-10-15.
- ROAD PAVEMENT SHALL BE 200MM MIN. COMPACTED UNBOUND ROAD BASE. BALLAST SHALL NOT BE USED AND SEALED WITH ASPHALT. MIN. 10.0M ON BOTH SIDES.
- ANY RELAXATION OF THE ROAD GRADING LIMITS SHOWN WILL REQUIRE APPROVAL FROM THE CIVIL MANAGER ENGINEERING.
- A CHANGE IN GRADE FROM THESE POINTS SHALL BE VERTICAL CURVE AND OTHER RELEVANT CRITERIA AS REQUIRED BY THE MAIN ROADS DESIGN AND DESIGN MANUAL AND AUSTRAS PUBLICATIONS FOR THE DESIGN VEHICLE ARTICULATED VEHICLE - LOW LOADER, UNLESS OTHERWISE APPROVED BY THE MANAGER CIVIL ENGINEERING.
- DRAINAGE REQUIREMENTS TO BE DETERMINED AT THE SITE BY THE CIVIL MANAGER ENGINEERING. NOT TO BE CONSTRUCTED CLOSER THAN 4.0M TO EDGE OF PAVEMENT.
- THIS DRAWING SUPERSEDES QUEENSLAND RAIL STANDARD DRAWING NO. 2586 AND 2587.
- FOR REMOVAL OF LEVEL CROSSING REFER TO QUEENSLAND RAIL STANDARD DRAWING NO. 2823.
- THIS DRAWING DOES NOT COVER SIGNAL AND OPERATIONAL SYSTEM REQUIREMENTS. NOTICE IS TO BE SOUGHT FROM THE SIGNALING MANAGER.

DESIGN VEHICLE (LOW LOADER)
SCALE 1:100

TYPICAL DRAINAGE SECTION
SCALE 1:50

TYPICAL DETAIL OF SIGN POSTING AT ACTIVELY PROTECTED PRIVATE LEVEL CROSSING & UNFENCED PRIVATE CROSSINGS
SCALE 1:50

ROAD GRADING LIMITS AT LEVEL CROSSINGS
(TO PROVIDE UNDERBODY CLEARANCE FOR ROLLINGSTOCK AND ROAD VEHICLES)
SCALE 1:100

NOTE:
A CHANGE IN GRADE FROM THESE POINTS SHALL BE BY VERTICAL CURVE. THE RADIUS AND LENGTH SHALL BE DETERMINED BY DESIGN SPEED AND ROAD GRADE. REFER TO THE MAIN ROADS DESIGN AND DESIGN MANUAL AND AUSTRAS PUBLICATIONS FOR THE DESIGN VEHICLE ARTICULATED VEHICLE - LOW LOADER, UNLESS OTHERWISE APPROVED BY THE CIVIL MANAGER.

ALTERATIONS

FILE NO	DESCRIPTION	NAME	DATE
20/18558			

QUALITY CONTROL

NO.	DESCRIPTION	DATE
1		

SCALES SHOWN

SCALE	ORIGINAL	DATE
1:50		
1:100		
1:250		

DESIGNED BY: P. SHRESTHA (101002) APPROVED BY: P. SHRESTHA (101002)

DRAWN BY: J. CHAPMAN (101002) CHECKED BY: J. CHAPMAN (101002)

DESIGNER: J. CHAPMAN (101002) PROJECT MANAGER: A. SWEENEY (101002)

SCALE: 1:50

QueenslandRail
ACN 132 181 090

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Network - Civil Engineering

LEVEL CROSSING

STANDARD

DETAILS OF PRIVATE AND QUEENSLAND RAIL MAINTENANCE ROAD GRADING AND SIGN POSTING

DRAWING NUMBER: QR-C-5395

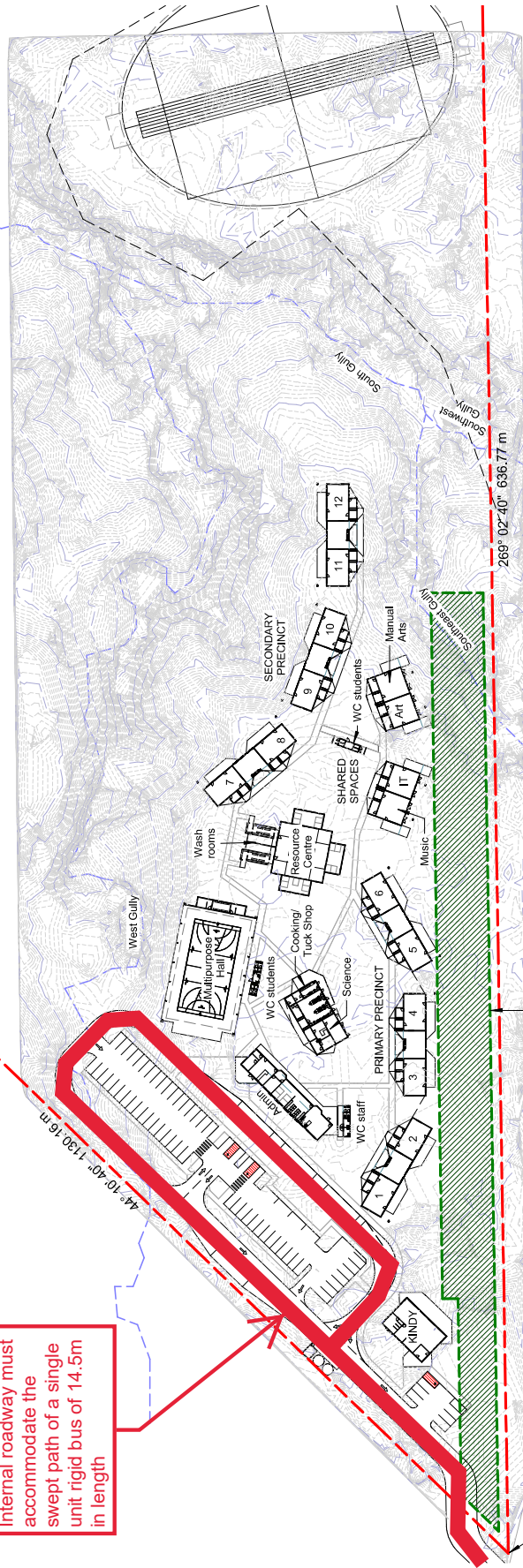
ISSUE: A

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE
SARA ref: 2311-38006 SRA
Date: 30 May 2024



Suggested Ecton Transformer location if required (TBC)

Internal roadway must accommodate the swept path of a single unit rigid bus of 14.5m in length



Amended in red by SARA on 30 May 2024



Buffer zone if required

Site height datum
 Heights are indicative only - confirm on site

Issue	Details	Initial	Date
1	Update site survey info	SBW	15/05/2023
2	Update site survey info	SBW	15/05/2023
3	Alignments with revised parking	SBW	20/07/2023
4	Revised Access Point	SBW	20/07/2023
5	Updated Parking Layout	SBW	10/08/2023
6	Updated Civil and Road	SBW	10/08/2023

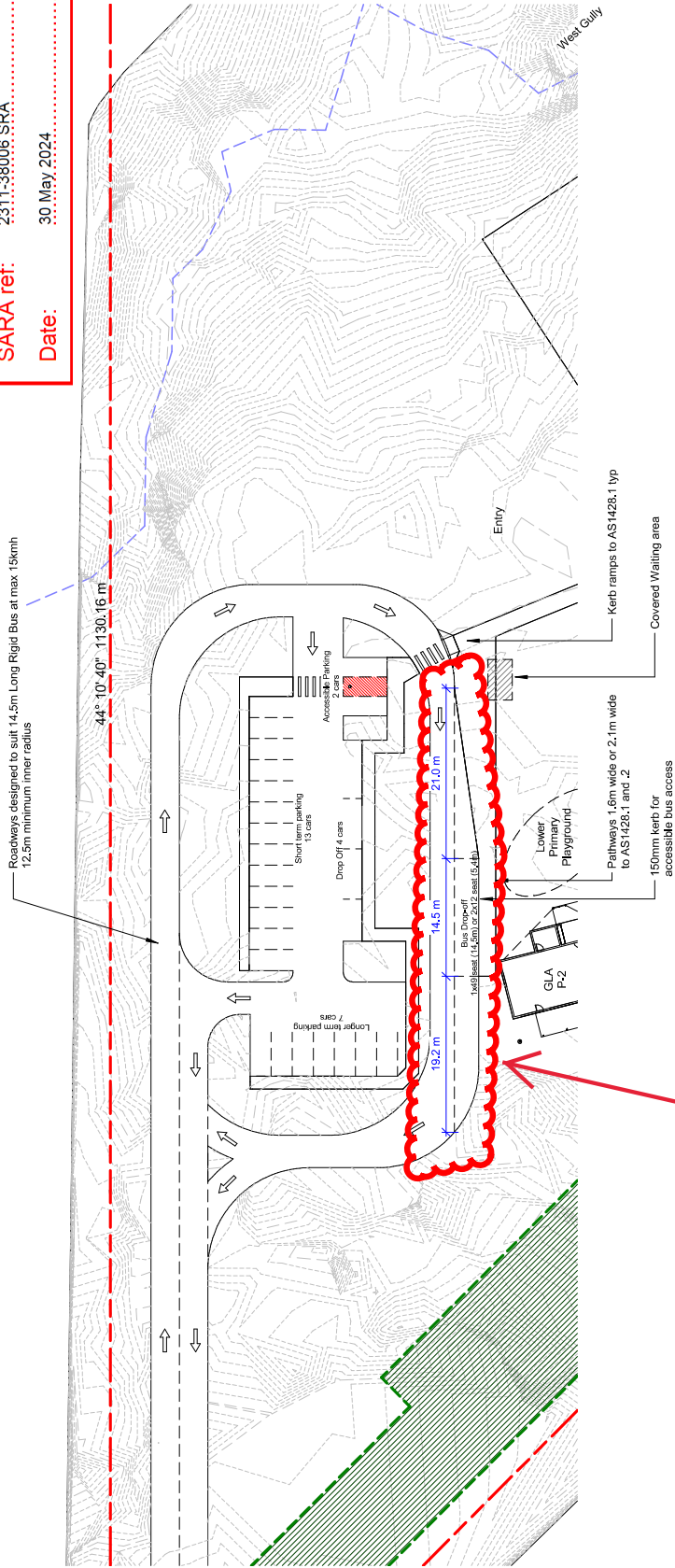
1 : 1250 @ A3
Masterplan 2041 School B&W
 162 / A041c
 10/10/2023 15:36:19

Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural



Contact: Stuart Winington BOVA65335, 0490 908 716, stuart@lifedesign.com.au www.lifedesign.com.au


PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE
SARA ref: 2311-38006 SRA
Date: 30 May 2024



Amended in red by SARA on
30 May 2024

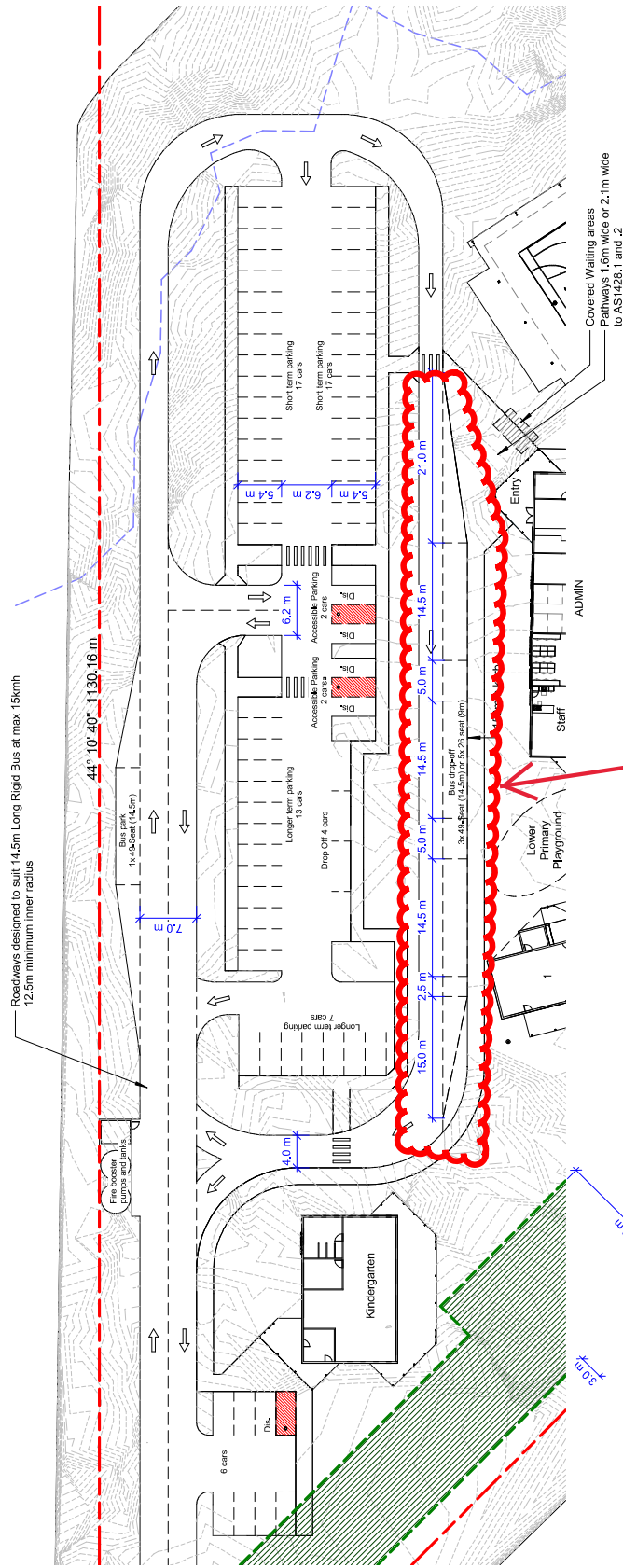
Provide bus setdown facility in accordance with the conditions of the SARA Referral Agency Response

Issue	Details	Initial	Date
3	Updated Parking Layout	SBW	24/07/2023
2	Revised Access Point	SBW	20/07/2023
1	Parking Layouts	SBW	20/04/2023

1 : 500 @ A3
Stage 1 Plan - Parking and Drop-off
162 / A112
 24/07/2023 15:09:00
 Contact: Stuart Whittington BOVA65335, 0490 908 716, stuart@lifedesign.com.au www.lifedesign.com.au

Two Rivers Community School, Mareeba
 267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
 Lot 71 on SP292140, 287,300sqm, Zoned Rural





Amended in red by SARA on
30 May 2024

Provide bus setdown facility in accordance with the conditions of the SARA Referral Agency Response

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE
SARA ref: 2311.38006.SRA
Date: 30 May 2024

Issue	Details	Initial	Date
1	Parking Layouts	SBRW	24/07/2023
2	Revised Access Point	SBRW	20/07/2023
3	Updated Parking Layout	SBRW	24/07/2023

Final Plan - Parking and Drop-off

1 : 500 @ A3
162 / A.162
24/07/2023 15:09:26

Two Rivers Community School, Mareeba
267 McIver Road, Mareeba QLD 4883 (access off Chewko Road)
Lot 71 on SP292140, 287,300sqm, Zoned Rural



Contact: Stuart Withington BOVA65335, 0490 908 716, stuart@lifedesign.com.au www.lifedesign.com.au

From: "Akil Islam" <akilislam@gmail.com>
Sent: Fri, 31 May 2024 08:22:15 +1000
To: "Info" <info@msc.qld.gov.au>
Subject: Support for MCU/23/0012
Attachments: Letter - Two River - A Islam - FINAL.pdf

Dear Councillors,

Attached is my letter of support for the following application.

Thanks for your consideration.

Kind regards,

Dr Akil Islam

30/05/2024

RE: SUPPORT FOR THE TWO RIVERS COMMUNITY SCHOOL PROJECT

Dear Mayor and Councillors,

I am an Australian General Practitioner and have served Mareeba and surrounds for 11 years in rural general practice - completing two medical Fellowships, supervising trainee general practitioners, providing medical education for remote GPs, teaching our own JCU medical students and, most recently, advising the Federal Government on patient access and medical workforce constraints over the entire Far North Queensland region, from Mackay to the Torres Strait.

I am also a proud, practising Muslim, a husband, and a father to two primary school aged children.

These teachings, according to my belief, are the foundation and framework upon which one can understand and interact appropriately with everything around them; live a life of purpose and service; and perfect their character - with balance, guidance, mercy and moral strength.

Thus, I write specifically to voice my support of the Two Rivers Community School proposal, a faith-based Muslim independent school, and also request your support of the school proposal.

I attend the community information session, from which I can report there was broad acceptance of the School's philosophy and objectives by all attendees, who hailed from different backgrounds. The School's vision was to provide an educational environment that values moral conduct, spiritual growth, refinement of character, coexistence with nature, permacultural principles, an individualised approach to learning, social cohesion and transmission of Islamic traditions **as equal and complimentary** to academic progression and excellence. This is encapsulated in its motto of 'knowledge, devotion and service'.

The School fills a clear and pressing need within the Islamic community of Mareeba to cater for the educational needs of its growing next generation of children; in a format based on its own values and traditions, whilst at the same time harmoniously incorporating aspects of our local society, culture, environment and industry.

The Muslim community of Mareeba has been present for nearly 100 years and has contributed positively in every aspect of our society. The Muslim community has always approached other community groups with openness, fairness and respect. It should not be denied this unique opportunity to develop its own school.

Importantly, its proposed site has also gained significant support by neighbours. They are excited by the new development and appreciative of the considerate manner by which the School's committee have engaged with them.

Cohesion, mutual respect, kindness, morality and collaboration has been a key ingredient to making Mareeba the special place it is to live and grow a family. This project is led by some of the best senior educators in the Far North Queensland

region; it has been coordinated by some of our most upstanding local citizens; and it has on its team some of our country's finest technical experts. It is a formula for success.

I therefore strongly encourage you to lend your support to this visionary project, and assist the School's committee in achieving its aims of establishing a uniquely local, community-driven, vibrant faith-based school.

Your sincerely,

Dr Akil Islam MBBS (UWA) FRACGP FACRRM CHIA

General Practitioner, Amaroo Medical

GP Advisor, Workforce Prioritisation and Planning, Northern Queensland Primary Health Network

REVISED ADDITIONAL INFORMATION



1

Planning Act 2016

Application No. MCU/23/0012

Proposal Application for a Development Permit for Material Change of Use-Educational Establishment

Street Address 267 Mclver Road and Chewko Road Mareeba

Real Property Description: Lot 71 on SP292140

Planning Scheme: Mareeba Shire Council Planning Scheme 2016

Objection to Two Rivers Community School MCU/23/2012

Name Alan Webb

1 Owens Street Mareeba 4880

0414893460 email: webbyfnq@gmail.com

Dear Mareeba Shire Council,

- Submission for the Two River community school.

This is an application for a development that has been done with absolute deliberate dedication of thought and planning over some years.

I would like to comment on traffic safety on Chewko Road.

The road will need major upgrading on Chewko Road from the change of speed sign to the entrance of the school. As the road is now it barely accommodates the large flow of trucks going to and from the sand pit further out.

For road safety, the top of the rise at the speed sign will have to be reduced for traffic travelling right into the Sports complex road.

The road will need widening further down and beyond the bridge and the causeway across Atherton Creek often floods.

This necessary upgrade of the road will be expensive and should not be borne by council.

- Without doubt there will be other serious costs incurred and demanded from council over the next decade as this proposed development increases in size and scope as stated in the application.



MAREEBA SHIRE COUNCIL

Document Set ID: 4366909
Version: 1, Version Date: 03/06/2024

2

Noted, however, that there is a large and detailed section of the application devoted to traffic and parking. McIver Road will undoubtedly be used as a shortcut.

Provision for electrical power would demand that three phase connections will be required. Does this mean an upgrade to existing line facilities, where will the upgrades to power lines be connected at what price?

How many of these sealed road, sealed parking and water, sewage and power connection improvements are costs to be carried by the Two Rivers complex.

- For this project I note that a comprehensive plan for clean water retrenchment use and sewerage waste has been presented. Final usage at stage six will be at least 35 megaliters per year. Then there is constant maintenance on top of that.

A small orchard uses a similar amount at about ten thousand dollars per annum.

There are many millions of dollars involved at this stage, without other forward projections and variations to plans.

Will these costs be covered by state or federal education allocations paid for by the taxpayer?

This application for change of purpose mentions that it is for a Community School and I will add my objections to this submission.

In 2014 the plan for a large Islamic school in Mareeba was rejected with a key issue being a failure to engage directly with the broader community of Mareeba. It was clear with the development application that it was intended to move quietly through the planning process without discussion.

- That application was the groundwork for an illegal foreign imported form of government and culture that is separate and at odds with the established means of Australian law and culture that has been the mainstay of this nation since 1901. This double standard is now admitted and becoming apparent in our capital cities.

Indeed, there are suburbs and areas in the cities of Australia and the western world that are no longer considered safe for Christians or others to be in and there are existing precedents in the city areas that have failed to create a safe environment where a cohesive community and enmeshed society exists.

These 2024 applications although on much reduced scale, may have similar problems in the future.

3

I note that in the 110-page document that is presented by Freshwater Planning to council that 109 pages are for planning and infrastructure.

Only one is for education, the most important reason for this application.

Two Rivers has provided just three paragraphs to explain the educational aspects of this submission, namely page four of 17 of the Two River Community School introduction. It fails to address the broader community impact regarding accommodation required for staffing the facility, local business engagement for supply and local demand, community safety with increased traffic in a township already overcrowded with the COVID migration from the southern market, plus with the contract farm workers.

The other impact to be considered is building the infrastructure and failing to consider the local market impact such as the overcrowded and limited housing or rental market since the COVID epidemic that changed our housing market for availability.

A further point for consideration is that, if approved, there will be many and various variation applications, as the project progresses. Who will check on these to ensure that they are kept within the original specs. Will there be a variation to plans requesting onsite habitation at a later date?

The limited information in the business modelling for locally provided services and supply

Two Rivers claims Holistic education, to whom?

The document provided indicates that whilst all religions are welcome the predominant ethos is Islamic teaching so it focusses on a very limited market share of education but opens up international and southern educational markets for boarding school children which are from the city

Diverse to what?

I do believe that a poignant point to make is the lack of consultation and a solid business case indicating a market of students locally for this type of school which would substantiate the applicants claim of a build to meet local needs.

It would be a reasonable assumption that if the application was submitted by the local long term Muslim society that is well established in Mareeba that it may have greater merit. However, the absence of their support and silence could indicate there is no local Muslim support for this establishment to succeed and students would have to be identified for boarding if arranged from interstate or overseas.

4

If the international market is the actual target student model the Commonwealth Government has recently launched a crackdown on the number of 'international student visas', again in contradiction to the planning statements made in the applicant's documents.

The 2021 census data indicates that there are only 190 residents indicating their religion as Muslim in Mareeba. In fact, it only represents 0.8 percent of the populous and has only risen from 147 in 2016. A snapshot of demography with adult to child ratios indicate that there is a clear lack of Islamic students available to fill this school locally from within community.

The census data also states that Islam is ranked tenth, below Buddhism which also does not have a local school relating to its religious affiliation.

The size of the proposal and lack of demographic locally would indicate an ulterior purpose and the possibility of a material change of use to the Council when student numbers are not achieved when the primary purpose is an educational facility.

Despite the significant media attention and community discontent regarding the lack of transparency and community engagement in 2014 the applicant has made no attempt to allay any underlying intention by increasing communication broadly across the community with this application.

- The director states that this schools includes is diverse and will include the Jew, Hindu, Sik, the Buddhist or indeed the Christian that this School is beholden to accept, however, the utter reality is that none of these diverse faiths will willingly attend, via the Australian education curriculum and fails to address the existing long-term issues associated with the differentiation of the Sunni and Shiite which creates conflict?

While intensely planned with genuine dedication and the directors' ambitions, he has indicated from discussion that he requires a selection of students away from the State system to a commendably more disciplined education regime and smaller classes.

So, is then a private school with fee paying students? Then no taxpayers' monies should be granted.

The land is donated, then the Two Rivers corporation should self-finance for this enterprise yourselves. There may well be business entities in Mareeba that are associated with this project.

5

Their focus on agriculture is commendable but the area available for cultivation is quite small and if livestock is added then it becomes unworkable. Will the agriculture, irrigation machinery required demand taxpayers funding as well? Water allocation?

Nothing is really stated behind these rather vague statements.

This application, I believe, has now moved on from a local council decision to both state and federal, as funding from both treasuries are necessary to proceed.

The Two Rivers director stated that a figure of 11,000 dollars per student is allocated for, but I do not understand this process.

The west and Australia are involved in a fundamental battle with Islam right now.

Why bring an Islamic holistic training school to Mareeba? There are enough in the capitol cities right now, accountable to none, relying on federal funds to exist.

The council must call for a vote from the Mareeba shire ratepayers', by a referendum, or a poll (survey).

A simple yes or no.

There should not be a need for any discussion before a prepoll, as major stakeholders may begin to use external influence for results.

This is not a decision for the shire councilors alone, and this process will alleviate councilors from any form of responsibility of the end decision.

The present national and international events should be a deciding factor for many.

I have approached and queried many people in Mareeba, it is surprising how many are ignorant of the school, that it is a Muslim entity, and from the immediate negative responses, it is obvious that the submission has been kept at a low level of media advertisement.

More than one person has stated that there is a Catholic school why not a Muslim school. My response is that Christian education does not teach "killing the Infidel.", as is written in other books. None but the teachers of this school will ever know what is taught after normal school hours.

The Two Rivers director has said that he has past experience at other similar education centers. Where is the local area and Australian examples?

As for students, the director states that he will canvas for local students only, none from interstate or overseas. How will this ever be verified?

6

Importing students for schools and universities is an issue of corrupt practices that the federal opposition is bringing before parliament this year.

A further point that must be mentioned is the timing of this application.

- I mentioned this to the director at a meeting, and asked of him this very question.

Have the present national and international issues with Islam and the west events been taken into consideration by the directors?

Considering the antisemitism occurring right now in the nation, how would this school be expected to enroll a student of Jewish faith?

Has the insult to Australia by a foreign flag carrying mob at the Sydney Opera house and subsequent illegal street marches by others wearing masks and again carrying a foreign flag been considered? These mobs and activists also threatened violence to any that disagreed.

The recent events at Australian universities are also a source of genuine concern for all Australians including the Mareeba community that services a marginal area of the population and it does not address the majority.

- There is a genuine and increasing disquiet in the Australian public about these outrageous events from a Muslim minority and the lack of any clear direction or statements from all senior Labor political positions, particularly the PM Albanese, who is in danger of losing a large voter base for any perceived public indiscretions to that minority.

This reflects badly with the mainstream Australians and Mareeba is part of that, allowing an element of apathy.

The director then stated, and I quote, “we do not want another Christchurch here”.

As a further example of the Mareeba dilemma, we are part of the Europe that is suffering at the unexpected wave of the incredible numbers of forced illegal immigration and that large areas of some nations are Muslim “no-go” areas to other faiths. (Sydney as well.)

Sweden is close to social unrest against certain immigrants, and if that social unrest and pushback gets violent, then all of Europe will be engulfed in anti-Muslim wave.

There are European Nations that are now rejecting the EU and the enforced refugee and immigration policies, Norway has forcibly expelled thousands, there are riots in Ireland, Belgium has a new government that has all but closed its borders to Muslims. Italy has changed its attitude.

7

Denmark is now actively reacting against immigration. Switzerland has stopped further Muslim developments.

Hungary, Slovenia, Poland now Austria will not allow Muslims and there are no riots or antisemitic unrests in these nations, or applications for community schools.

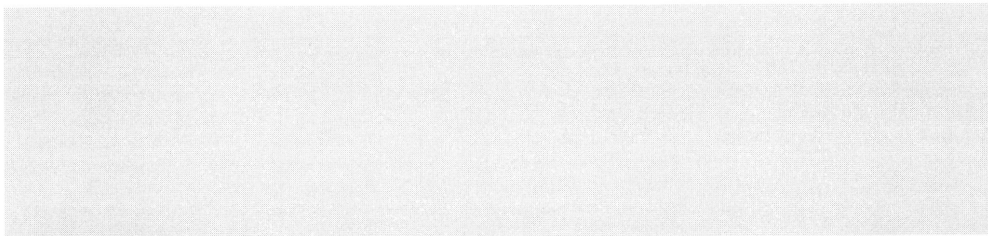
The EU itself is under intense pressure and in denial from failed policies.

Mareeba, with its heritage, is a micro's part of this, and councilors should consider this in their decision-making process for this school, the future is written above.

Considering the above, perhaps the directors of this Two River school be consulted to consider cancelling or at least delaying the application for some time, until these very serious social national disruptions have settled and quietened down from the public concerns, is a further point of discussion for council.

Thanking you Yours faithfully

Alan Webb 1 Owens Street Mareeba 4880



CJ & SJ Bassani

398 Chewko Road

P.O. Box 468

Mareeba

PH. 0428970056



24th May 2024

To the Mayor and Councillors

Care of the Town Planning Department

We are putting in a submission to object against the proposed establishment of the school that is going on 267 Mc Iver and Chewko Road, on Lot 71 on SP 292140.

Our reason for this objection is this is a zoned rural area, we have a citrus orchard over the road from this proposed site, and we have great concerns how this will affect us in our farming practices in the future.

We spray chemicals and fertilizers throughout the year on our trees and although all care is taken to avoid spray drift , we are really concerned how having a school across the road will affect our spraying practices.

This is our livelihood and having a school in a rural zone may impact our farming future. Perhaps having a school in a rural zone is not ideal.

This is rural farm area since the tobacco era and our orchard is our only form of income.

We have great fear that this school will not let our farm operate.

Yours Faithfully

Charlie Bassani

Sharon Bassani

Elvis Maksuti
42 Catherine Atherton Drive
Mareeba QLD 4880

Mareeba Shire Council
PO Box 154
Mareeba QLD 4880

17/05/2021

Dear Councillors,
Re: Letter of Support – Two Rivers School, Application Ref: MCU/23/0012

I would like to voice my support for the proposed development of Lot 71, 267 McIver Road. I believe the Two Rivers Community School would be a great development for the Mareeba community in general and the Mareeba Islamic Community in particular.

For the Community in general it will provide jobs in the development and ongoing maintenance/administration of the site and an alternative option for education that focuses on a more holistic and nature-based approach. The development of the Two Rivers Community School will also foster links between the Mareeba Islamic Community and the wider community by providing greater opportunities to host and engage with the wider public, something that is limited by the size of our current mosque and hall.

For the Mareeba Islamic Community, the development of the school will aid us in delivering more quality educational and spiritual programs to our young people while engaging them with the natural world. A long-standing part of the Mareeba community, the Mareeba Islamic Community have begun to outgrow our current facilities. The development of the school would alleviate the need for more space on our holy days and during the month of Ramadan.

I can envisage no way in which the development of this land into a school would negatively impact the Mareeba community.

Yours sincerely
Elvis Maksuti

From: "Limes" <thelimeman@bigpond.com>
Sent: Fri, 31 May 2024 14:01:25 +1000
To: "Info" <info@msc.qld.gov.au>; "Planning" <planning@msc.qld.gov.au>; "Brian Millard" <BrianM@msc.qld.gov.au>
Subject: SUBMISSION - MCU/23/0012
Attachments: Submission_MCU_23_0012_Educational Establishment.pdf
Importance: High

Dear Brian,

Please see attached our Properly Made Submission for MCU/23/0012 –
EDUCATIONAL ESTABLISHMENT LOT 71 ON SP292140, 267 MCIVER ROAD,
MAREEBA

Can you please confirm receipt of this Submission by return email.

Regards,
Marco & Tammy Tiraboschi

The Lime Man

Cure for headaches: Take a lime, cut it in half, and rub it on your forehead. The throbbing will go away.

Marco & Tammy Tiraboschi
PO BOX 867
MAREEBA QLD 4880

31 May 2024

Chief Executive Officer
Mareeba Shire Council
PO Box 154
MAREEBA QLD 4880

Attention: Brian Millard
RE: Submission for MCU/23/0012

**MATERIAL CHANGE OF USE – EDUCATIONAL ESTABLISHMENT
LOT 71 ON SP292140, 267 MCIVER ROAD, MAREEBA**

We are the neighbouring property owners adjacent to the proposed Educational Establishment (School Site). We are in full support of this MCU Development Application, however we have concerns that we would like Council to address as part of their Report and Decision Notice upon this Application.

Our primary concerns and suggested considerations related to this Development Application can be summarized as follows:

1. School Entrance – Traffic and Road Safety
2. Land Use Conflicts
3. Rural Amenity
4. Biodiversity
5. Water – Riparian Rights
6. Cycle Network Consideration for Council

1. School Entrance – Traffic and Road Safety

Our concerns related to the proposed School Entrance, traffic & safety for MCU/23/0012 are as follows:

- That serious consideration is given to the location of the Entrance to the School Site, with respect to traffic safety issues that will be incurred due to the required T-Intersection at Chewko Road:
 - i) proximity to the numerous Property Accesses
 - ii) through traffic movements (in relation to Sight Distance; Queued enter/exit traffic)

We strongly implore that both Council and QLD Rail meet on-site to view the current/proposed Entrance located at 407/409 Chewko Rd, in person, to best see the implications of traffic and road safety concerns we have with respect to developing a T-Intersection at this current entrance location.

As regular users of the current entrance there are significant concerns for Traffic Safety at this location, especially as the Traffic volume is set to increase exponentially*.

** Data response by Freshwater Planning to SARA (4 May 2024) shows that with no development = 20 vehicles per day (VPD) and it is projected to reach 418 VPD by Development completion = nearly 21 times the current traffic volume moving through this entrance / proposed Intersection (excluding heavy vehicles, buses and future residences). Stage 1 = 4 x VPD; Stage 2 = 5.4 x VPD; Stage 3 = 6 x VPD; Stage 4 = 8.2 x VPD; Stage 5 = 8.1 x VPD; Stage 6 = 20.9 x VPD*

We are aware there have been discussions regarding the proposed School Entrance. We are aware that QLD Rail has a role in this matter due to the School Entrance having to cross a QLD Rail Corridor.

We respect the probable constraints within the Rail Corridor, however we wish to put forth 3 possible outcomes to be considered. **With No.3 being our preferred option*

1. Use Existing Entrance located at 407/409 Chewko Road
2. Combine both 407/409 Chewko Rd Property Access entrance with a New Entrance directly located for the School Site
3. Two Entrances (xxx m apart): the current Property Access entrance for 407/409 Chewko Rd; and one new entrance for the School

1. Existing Entrance / Property Access

The current Property Access entrance, by means of this Development, will become a T-Intersection with Limited Sight Distance for exiting and through traffic due to the bend in Chewko Rd, that is within approx 50m of the entrance.

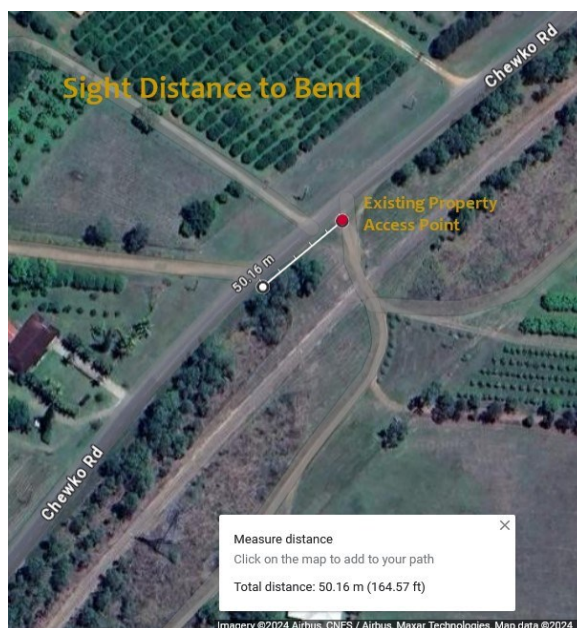
Therefore, we believe all Sight Distance criteria applicable to Intersections are of utmost importance to the safe development of this entrance along Chewko Rd. As well, there are 2 Property Access entrances within this 50m Sight Distance, entering from the opposite side of Chewko Rd, both with multiple residents using the Accesses which also add to traffic flow concerns. See Figure 1.

If combining the current Property Access for 407/409 Chewko Rd with the Development road/traffic needs, we request confirmation / planning on how the revised Property Access will be achieved within the scope of the School Entrance road. Will our Property Access be another intersection off the School road? Where will our Property Access enter/exit the School road?

It is to be noted that currently there are only 2 residences using this Property Access, with the potential to be up to 4 residences in the future with the existing Lots in this location (407 (Lot 21), 409 (Lot 1, Lot 22), and an entrance easement for property access to Lot 31).

Therefore, road and traffic planning should include an appropriate Property Access crossover point coming from the School Entrance road for all current and future residents if the existing entrance is to be used.

Figure 1



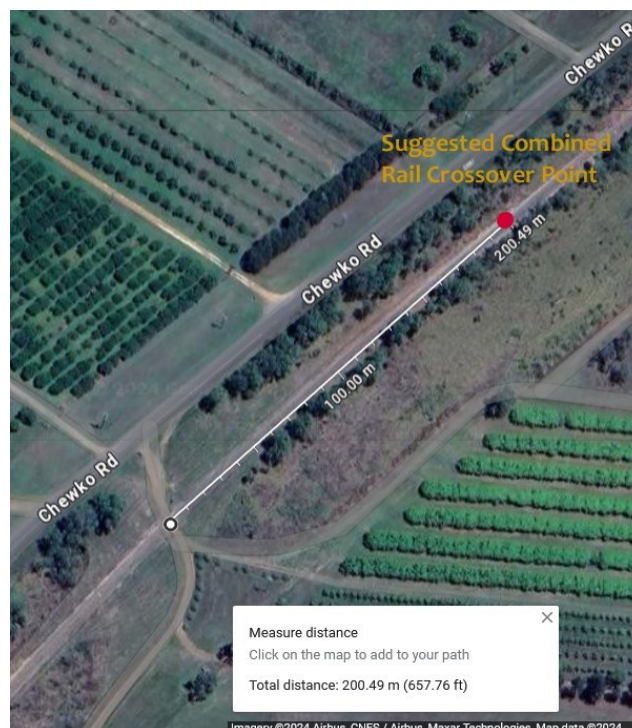
2. Combine our Property Access with School Access at a **New Entrance**

Regarding QLD Rail’s seeming limitations on having 2 level crossings in close proximity to one another (ie. keeping our current Property Access and adding the School Entrance separately), we would be open to combining both entrances closer to the Development site and removing our current Property Access as a level crossing, therefore assisting with QLD Rail’s probable level crossing proximity requirements; and locating the combined entrance further from the traffic safety issues (Sight Distance) with the bend in Chewko Rd and other Property Accesses entering from the opposite side of Chewko Rd.

By combining the entrances, the following benefits would be:

- the new level crossing / Intersection would be further away from the significant traffic safety concerns with the bend in Chewko Rd
- the new entrance / Intersection would have greater Sight Distance safety measures in both directions of Chewko Rd for entering, exiting and through traffic
- the new entrance / Intersection would be at a safer distance from the congestion of other Property Access roads that occur on the opposite side of Chewko Rd
- the new entrance would significantly reduce the length (from approx 260m to 100m) of the two-lane road infrastructure that the Developers would incur if developing a School road from the current entrance at 407/409 Chewko Rd

Again, should this suggested proposal take effect, we request confirmation / planning on how the revised Property Access for 407/409 Chewko Rd will be achieved within the scope of the School entrance road. Will our Property Access be another intersection off the School road? Where will our Property Access enter/exit the School road?



3. Two Entrances – one Property Access (existing); one School Intersection/Entrance (proposed)

** Our preferred option*

A quick review along the Mungana Branch Railway Corridor, within our capacity as regular citizens, shows there are in fact other level rail crossings within close proximity to one another which indicates that it is possible for QLD Rail to accommodate an additional entrance for this Development. See Appendix A

By adding a New Entrance and Level Rail Crossing, the following benefits would be:

- we retain the current entrance for Property Access only and thus no need for an additional Property Access crossover point along the proposed School road
- the new level crossing / Intersection would be further away from the significant traffic safety concerns with the bend in Chewko Rd
- the new entrance / Intersection would have greater Sight Distance safety measures in both directions of Chewko Rd for entering, exiting and through traffic
- the new entrance / Intersection would be at a safer distance from the congestion of other Property Access roads that occur on the opposite side of Chewko Rd at our Current Access:
Presently at the entrance of 407/409 Chewko Rd, including 120m either side, there are 5 entrances to 8 separate Titles (7 Residences) all accessing Chewko Rd. Whereas, if the School entrance / intersection was to be moved to approximately 375m North-East towards town, then within 150m either side of the new School entrance, only 2 Property Accesses to only 2 Titles with only 2 residences occur, which is a significant Traffic Impact and Safety difference
- the new entrance would have less Stacking of traffic implications at the level crossing due to being a direct entrance into the School site, not a sweeping entrance with a Property Access crossover included soon after the rail crossing, where further traffic stacking can occur
- the new entrance would significantly reduce the length (from approx 260m to 100m) of the two-lane road infrastructure that the Developers would incur if developing a School road from the current entrance at 407/409 Chewko Rd

APPENDIX A – Examples of Queensland Rail: Close Proximity Level Crossings

Example 1 of 3 Level Crossings approximately 319m apart



Example 2 of 3 Level Crossings approximately 312m apart



Suggested Development Entrance – Example 3 of 3
Level Crossings approximately 375m apart



2. Land Use Conflicts

Our requests related to Land Use Conflicts for MCU/23/0012 are as follows:

- That the proposed vegetation buffer for the building site also extends to include the full extent of the Sports Oval site further along the southern boundary, which is highly important to mitigate our established and future farming practices, as well as for privacy
- That we can continue all farming practices upon our cropping land (spraying, slashing, appropriate management of feral animals, etc) without hinderance by the proposed Development
- That there is a biosecurity management plan in place that considers the intensification of use and introduction of personnel to the School site, to protect the Mareeba agriculture sector

3. Rural Amenity

Our requests related to Rural Amenity for MCU/23/0012 are as follows:

- School lighting is kept to a minimum, to reduce the impact of light flooding upon surrounding rural residents, rural landscape and animal corridors
- Noise limits are set, in particular for any evening functions (Fetes, Graduation Ceremonies, Sporting events etc) so as to be conducive to neighbouring rural properties and neither be excessive in volume nor beyond reasonable time frames
- School alarm / bell systems be set to reduce noise disturbance to neighbouring properties or consider using chiming/music eg. Mountain Creek State School on the Sunshine Coast, QLD

4. Biodiversity

Our requests related to Biodiversity for MCU/23/0012 are as follows:

- A noteworthy wildlife corridor exists upon this site and ought to be conserved in a manner reasonable with this Development for both land and aquatic animals (notably the echidnas, macropods, fish, pythons etc that exist within this natural ecosystem) to continue traversing the property
- That suitable fencing is used to maintain a balance between keeping pests out (ie. pigs) and allowing wildlife corridors to operate to the greatest extent, wherever possible
- We wish for it to be noted that there is a reasonable population of Scrub Pythons living in the creek systems, some of significant size and age, that we would hope will be left within the waterways to co-exist with this Development. As local users of both the Atherton Creek and Chinaman Creek systems for the past 50 years, we have sighted a reasonable population of Scrub Pythons living in the creek systems
- By the very ethos of this Development, we hold confidence in that the Developers will be mindful of the school population impacting these local waterways and such ecosystems

5. Water

Our requests related to Water for MCU/23/0012 are as follows:

- That if riparian rights are utilised for this Development, that sufficient water can be safeguarded for other users and the waterway ecosystem of the Atherton and Chinaman Creek systems

6. Cycle Network

Our requests related to Cycle Network for MCU/23/0012 are as follows:

- As stated in the MSC Planning Scheme, Community Activities Code AO5.2 provide a connection to the pedestrian and cycle networks, that Council considers adding to its future Planning, a cycleway to extend from Roiko Rd intersection through to the School site, to allow the safe movement of students and other community members to and from the School as cyclists or pedestrians

Finally, we request that there be no “minor amendments” allowed to the layout of this Development without seeking further feedback from Submitters and we request that this Development does not allow for future Code Assessable increases of use of the land eg. increase in size, buildings or supporting infrastructure, without public notification and rights to make submissions.

We ask and trust that Council, as it is their correct procedure, will Condition their Report / Decision Notice for this Development accordingly in respect to all other relevant Impact Assessable Codes including, but not limited to: rural zone, building, parking, community activity, effluent treatment, amenity, biosecurity, landscaping, bushfire buffers, environmental significant areas, land use conflicts etc through the Planning Scheme to ensure this Development achieves appropriate outcomes and safeguards in all applicable Codes.

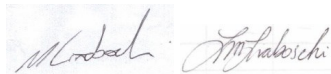
But most importantly we trust that Council will definitely Condition this Development for safer road usage and accesses for all who will utilise this section of Chewko Road.

In conclusion, we would like to highlight our support for this MCU Development, as we believe it is of great benefit to the families who will utilise it, as well as it will represent and compliment the positive and forward progress of the Mareeba Shire community.

We wish the Developers every success in their pursuit of this Educational Establishment.

We await Council’s response to our Submission.

Sincerely,



Marco & Tammy Tiraboschi

From: "cynthia murat" <cynthiamurat@hotmail.com>
Sent: Fri, 31 May 2024 11:23:11 +1000
To: "Info" <info@msc.qld.gov.au>
Subject: Endorsement for proposed development application (Ref: MCU/23/0012)

To whom it may concern,

Subject: Endorsement for proposed development application (Ref: MCU/23/0012)

As a resident of McIver Road, a neighbouring property to the proposed development, I am pleased to write this letter to endorse and support the approval of this important project.

The approval, aims and outcomes of the proposed development will be of great benefit for our local community and will serve the educational needs of many as Mareeba continues to grow and diversify.

Kind Regards,

Muhammadaziz Iminov
259 McIver Road,
Mareeba QLD 4880

8.5 DEVELOPMENT & GOVERNANCE QUARTERLY REPORT - APRIL TO JUNE 2024

Date Prepared: 4 June 2024

Author: Manager Development and Governance

Attachments: Nil

EXECUTIVE SUMMARY

This report presents the key activities of the Development and Governance Group for the April to June 2024 quarter.

RECOMMENDATION

That Council receives the quarterly report of the Development and Governance Group for the April to June 2024 quarter.

GOVERNANCE, COMPLIANCE AND RECORDS**Land Tenure Instruments**

Council recorded two (2) Licence Agreement renewals for premises at the Chillagoe Hub, and one (1) Management Agreement renewal for the Mareeba Heritage Centre Inc.

Tom Gilmore Mareeba Aviation Industrial Precinct

Council recorded nil (0) new tenure instruments during the period.

Council consented to two (2) sublease arrangements during the period.

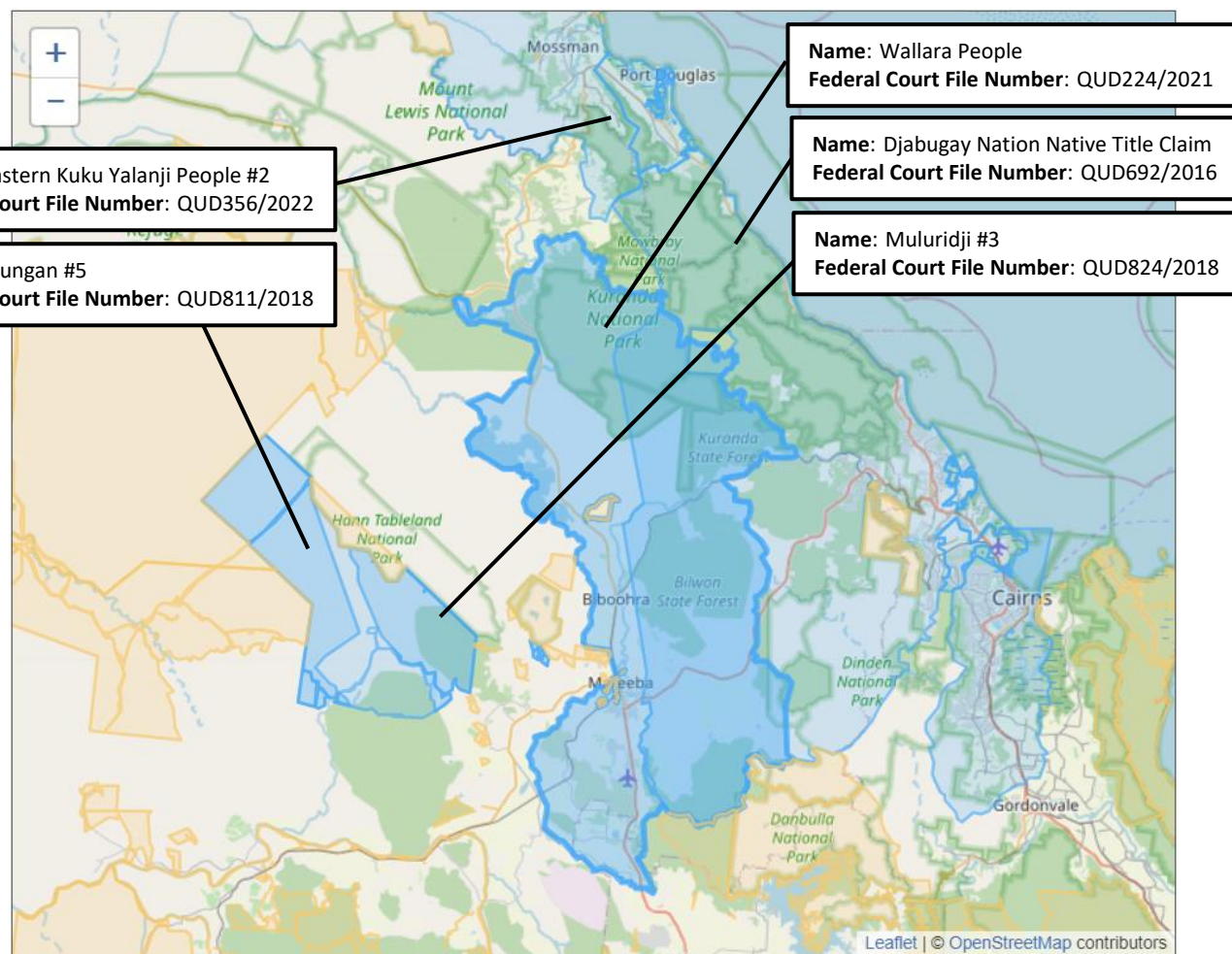
Mareeba Industrial Park

Council recorded three (3) new land sale settlements during the period.

Currently there remain seven (7) developed lots available for sale.

Native Title

There are currently five (5) Native Title claims within Mareeba Shire:



Indigenous Land Use Agreements (ILUA)

Council has five (5) Indigenous Land Use Agreements (ILUAs) that establish the context in which Council operates with specific groups on matters of Native Title and Cultural Heritage. Officers from the Development and Governance and Customer and Community Services Groups commenced organising the annual ILUA meetings with each of the Traditional Owner groups which will be held July to September 2024.

On 30 April 2024, Council issued a Native Title and Cultural Heritage Consultation Notice to the Muluridji People under the terms of the ILUA to initiate consultation relevant to a proposed Social Housing for Seniors Triplex at Doyle Street Mareeba.

Notifiable Breaches – internal

Council recorded nil (0) notifiable breaches during the quarter.

Right to Information and Information Privacy

Council recorded receipt of nil (0) new Right to Information and Information Privacy Access Applications.

Council recorded receipt of one (1) notification from the Office of Information Commissioner of acceptance of an application for external review.

Unreasonable Complainant Conduct

Council recorded nil (0) new cautionary notice actions undertaken during the period under Council's *Unreasonable Complainant Conduct Policy*.

Administrative Action Complaints

Details of complaints received/processed during the period ending 30 June 2024 are displayed in the following table as aligned with the same period in 2023:

	Apr – Jun 2024	Apr – Jun 2023
Complaints carried over from previous period	2	3
Complaints carried over from previous period finalised during this reporting period	2	3
Complaints lodged during reporting period	11	10
Complaints finalised during reporting period	8	8
Complaints still in process (not finalised) during reporting period	3	2

BUILDING, PLUMBING AND TRADEWASTE

Building Applications

In 2018, Council resolved to no longer provide building certification in the major population areas of Mareeba Shire. In 2020, Council resolved not to provide building certification across the entire jurisdiction, however Council is still responsible for the applications it had received up until this point. Generally, approved building applications are granted two (2) years to complete the approved building works. Council's Policy is to provide one (1) extension for all applications upon valid request where works have begun. Therefore, some applications may continue for a maximum of two (2) further years.

The below table provides information on issued building approvals that remain the responsibility of the Council:

Current applications as of 1 April 2024	7
Completed	1
Cancelled	0
Current applications as of 30 June 2024	6

Plumbing Applications

The below table provides information on plumbing approvals that are the responsibility of the Council:

Current applications as at 1 April 2024	322
New Applications	41
Completed	25
Cancelled	0
Current applications as of 30 June 2024	363

Trade Waste

The 2024 Trade Waste inspection program for Mareeba was completed late June. Council is working with some businesses that had some minor defects to be attended too.

Regulatory

Building, Plumbing, and Trade Waste Services had 101 customer requests this quarter of which 90 were resolved. In comparison to the same quarter in 2023, Council received 105 customer requests.

Compliance

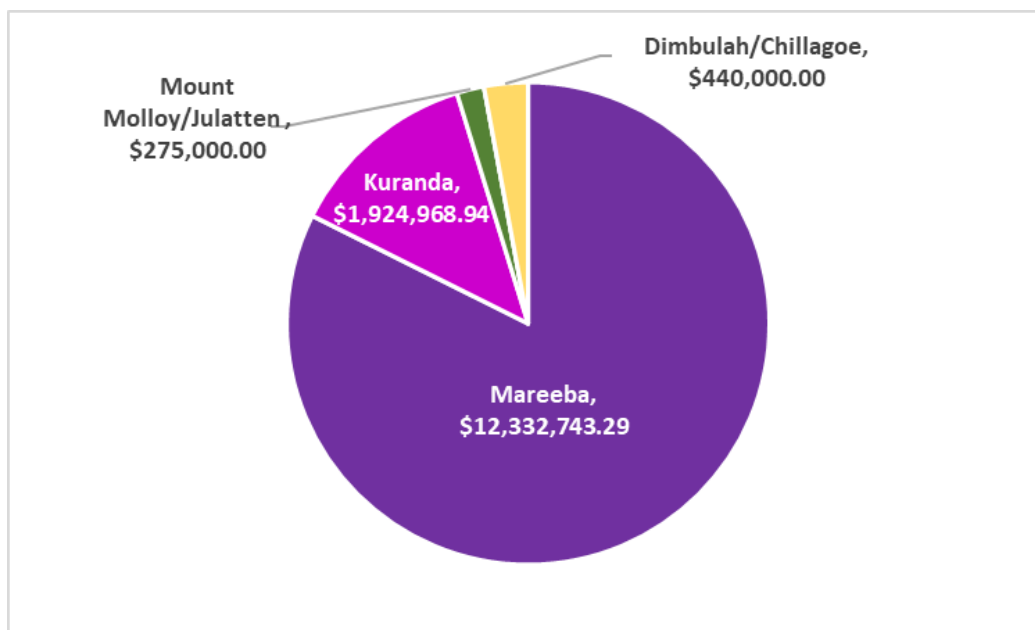
Council continues to progress 42 escalated building and plumbing compliance enforcement actions for unapproved structures relevant to 25 properties across the jurisdiction. A strategic risk management approach to non-compliance complaints has been actively pursued since September 2022 with each complaint managed as a low, medium or high risk compliance matter.

Building

The total value of Council's dwelling and commercial approvals is on par with the same quarter last year.

Value of Building Applications April – June 2024

Quarter	April-June 2024		April-June 2023	
	\$	A	\$	A
Total	\$14,972,712	84	\$14,773,952	93



REGIONAL LAND USE PLANNING

New Development Applications

16 development applications were lodged in the June quarter 2024 compared to 10 lodged in the June quarter 2023. Development applications and other planning matters received/approved during the June quarter 2024 as compared to the YTD comparisons are listed below.

	Apr – Jun 2024	2023/24 YTD	2022/23 YTD
New Development Applications lodged	16	54	41
Decision Notices issued under delegated authority	10	28	26
Negotiated Decision Notices issued under delegated authority	0	0	0
Decision Notices issued (from Council Minutes)	4	14	16
Negotiated Decision Notices issued (from Council Minutes)	0	1	0
Extensions to relevant period issued	0	1	1
Extensions to relevant period issued (from Council Minutes)	0	2	0
Change to existing Development Approval issued	0	3	1
Referral Agency Response approvals issued under delegated authority	4	19	27
Survey Plans endorsed	4	27	23
Notices issued under Planning Act	0	0	0
Planning Appeals and other Court proceedings	0	0	0

LOCAL LAWS AND ENVIRONMENTAL HEALTH

Local Laws

Local Law Complaints and Enquiries	Apr - Jun 2024	Apr - Jun 2023	Apr - Jun 2022
Animal Attack	33	32	40
Barking Complaints	57	38	84
Council traps	39	40	28
Cruelty	2	2	0
Enquiries, Unregistered, Hygiene, unleashed	154	120	186
Missing/Lost/Found	8	24	9
Restrained for Collection	47	41	37
Straying Animals	92	143	144
Too many animals	17	8	14
Total	449	448	542

In the last quarter, the following impounds were recorded for dogs:

- Animal returned to owner 1st occasion for free (dog was wandering but was registered): Nine (9) dogs.
- Animal caught wandering (not registered or registered and previously returned to owner): 131 dogs were impounded.

Dog Registration

Mareeba Shire has the highest dog registration per capita compared to neighbouring Local Government Areas. As at 30 June 2024, Council has a registered population of 4,085 dogs in the shire with 1,065 dog renewals outstanding. The 1,065 outstanding renewals are the current dog registrations which have not been renewed or owners have not advised of a change in circumstances for the next financial year.

Reminder letters were sent out on 4 July 2024 for the 1,065 outstanding dog registrations.

Dog Registrations	Apr - Jun 2024	Apr - Jun 2023	Apr - Jun 2022
Deceased	354	331	311
Left the area	136	189	162
New registrations	193	196	204

Other Local Laws Matters

	Apr - Jun 2024	Apr - Jun 2023	Apr - Jun 2022
Abandoned Vehicles	31	28	33
Commercial Use of Roads	15	13	23
Illegal Camping	13	9	7
Illegal Signs	0	0	6
Obstruction of Footpath	3	0	2
Overgrown	80	30	75
Parking, illegal parking	18	7	15
Other	6	12	4
Total	166	99	165

Local Laws Amendments

Work has commenced on a minor review of the Local Laws to amend and update as required. This includes amending the Local Law for Temporary Accommodation to enable a friend or relative to reside in a temporary caravan on a dwelling allotment under certain conditions as a short-term option for the housing crisis, for example, until a rental property becomes available, or the purchase of a property settles. Council is progressing this amendment to have it available for public consultation by end of July 2024.

Environmental Health

The Environmental Health section responded to a total of 140 enquiries, complaints and service requests for the quarter relating to the following matters:

	Apr - Jun 2024	Apr - Jun 2023	Apr - Jun 2022
Flying Foxes	2	1	0
Food Complaints	2	4	0
Food Enquiry	27	32	24
Food General	21	15	16
General Service Enquiry	12	18	43
Health Enquiry	4	7	4
Illegal Dumping	7	13	9
Other	10	8	6
Pollution	17	32	28
Public Health Complaint/enquiry	2	4	2
Total	140	134	132

Notices Issued, Inspections Carried Out, Applications Processed

	Apr - Jun 2024	Apr - Jun 2023	Apr - Jun 2022
Animal Management infringements issued	13	12	18
Animals Impounded	145	120	140
Compliance Notices Issued	34	22	29
Food Inspections Undertaken	95	45	26
Local Laws infringements issued	19	24	29
Regulated Parking infringements issued	13	1	76
Warning letters issued	61	58	88

Food inspections are continuing to be undertaken this last quarter, due to Council’s contractor continuing the routine inspections throughout the shire.

COMMUNITY HOUSING PROJECTS

Local Housing Action Plan (LHAP)

Council adopted the Mareeba Shire Local Housing Action Plan on 24 January 2024 and implementation has commenced, including partnering with the Mareeba Community Housing Company and the Dept of Housing, Local Government, Planning and Public Works to build new social housing units for seniors with government funding.

New Duplex for Social Housing for Seniors

Council is partnering with Mareeba Community Housing Company and the Department of Housing, Local Government, Planning and Public Works to build a new social housing duplex for seniors in Mareeba with government funding. Tenders have been awarded with construction due to commence mid July 2024.

Proposed New Triplex for Social Housing for Seniors

Council and the Mareeba Community Housing Company are partnering on a project to build a new triplex for seniors with Council contributing a site for the triplex on reserve land in Mareeba. An application for government funding has been submitted.

LINK TO CORPORATE PLAN

Community: An informed and engaged community which supports and encourages effective partnerships to enhance the liveability of the shire.

Economy and Environment: A resilient economy that promotes and supports the shire's natural assets and local industry and encourages investment while preserving and future proofing for generations to come.

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance while delivering affordable levels of identified services within the Shire.

IMPLEMENTATION/COMMUNICATION

Nil

KEY COMMUNICATION MESSAGES – INTERNAL USE ONLY

8.6 OPERATIONAL PLAN 2023/24 PROGRESS REPORT

Date Prepared: 5 July 2024

Author: Manager Development and Governance

Attachments: 1. [Operational Plan 2023/24 Progress Report June 2024](#) 

EXECUTIVE SUMMARY

The attached report provides information regarding the progress of the 2023/24 Operational Plan projects.

RECOMMENDATION

That Council receives and notes the progress report on the implementation of the 2023/24 Operational Plan for the period April to June 2024.

BACKGROUND

The Local Government Regulation 2012 provides that a local government must prepare and adopt an annual operational plan for each year. The Operational Plan is a statement of specific works to be undertaken and services to be provided to progress the goals and objectives set out in a Council's Corporate Plan over a period of one (1) year.

Council adopted the Operational Plan for 2023/24 on 21 June 2023.

In accordance with section 174(3) of the Local Government Regulation 2012, the Chief Executive Officer must present a written assessment of the local government's progress towards implementing the annual operational plan at meetings of the local government held at regular intervals of not more than three (3) months.

RISK IMPLICATIONS**LEGAL/COMPLIANCE/POLICY IMPLICATIONS**

It is a statutory requirement for an assessment of progress in implementing the Operational Plan to be presented to Council at least on a quarterly basis.

FINANCIAL AND RESOURCE IMPLICATIONS***Capital***

Nil

Operating

Nil

LINK TO CORPORATE PLAN

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance while delivering affordable levels of identified services within the Shire.

IMPLEMENTATION/COMMUNICATION

Nil.

Financial Sustainability						
“A council that continuously operates in a cost-effective manner while managing council’s assets and reserves to ensure a sustainable future.”						
Project	Corporate Plan Ref	Corporate Plan Goal	Business Section	Performance Measures	Actions Taken April to June 2024	Progress:
Long-term Financial Plan	FIN 1 FIN 2	Long-Term Financial Plan that supports effective and sustainable financial management Effective and sustainable financial management	Finance Development & Governance	<ul style="list-style-type: none"> Ensure Long Term Asset Management Plan and Financial Plan aligns with revised Sub-Asset Management Plans and Local Government Infrastructure Plan 		<ul style="list-style-type: none"> Not commenced In Progress Completed
Comprehensive Asset Revaluations: <ul style="list-style-type: none">LandBuildingsDrainage	FIN 1	Long-Term Financial Plan that supports effective and sustainable financial management	Finance	<ul style="list-style-type: none"> comprehensive revaluations 	<ul style="list-style-type: none"> Valuers provided draft reports which have been reviewed and currently with auditors. Will be included in 30 June 2024 Financial Statements. 	Completed
Internal Access to Financial Information	FIN 3 FIN 4	Effective Business Management A Skilled and Sustainable Workforce	Finance	<ul style="list-style-type: none"> More users able to operate financial systems and locate relevant documentation Provide additional in-house training and support 	<ul style="list-style-type: none"> Continuing improvement on reporting options and training available as requested 	Completed

Financial Sustainability							
“A council that continuously operates in a cost-effective manner while managing council’s assets and reserves to ensure a sustainable future.”							
Project	Corporate Plan Ref	Corporate Plan Goal	Business Section	Performance Measures	Actions Taken April to June 2024	Progress:	
Technology One enhancements	FIN 3	Effective and sustainable financial management	Information Systems	<ul style="list-style-type: none"> Provide further enhancements Transition to ClAnywhere 	<ul style="list-style-type: none"> Work continuing on the transition of Payroll Processing Commenced planning for Property and Rating CIA transition preparatory tasks. 	In Progress	<ul style="list-style-type: none"> Not commenced In Progress Completed
Mareeba Industrial Estate	FIN 3	Effective business management	Development & Governance	<ul style="list-style-type: none"> Adopt Masterplan Implement Promotional Strategy 	<ul style="list-style-type: none"> Awaiting final drawings with completion due next quarter Land sales are on trend with 3 sales finalised this quarter and 2 lots on hold leaving 5 remaining lots interested buyers Digital Marketing continuing with monthly social media and google advertising by MPO Masterplan development for Eastern and Western precincts nearing completion 	In Progress	In Progress

Financial Sustainability							
“A council that continuously operates in a cost-effective manner while managing council’s assets and reserves to ensure a sustainable future.”							
Project	Corporate Plan Ref	Corporate Plan Goal	Business Section	Performance Measures	Actions Taken April to June 2024	Progress:	
Mareeba Airport Precinct Tom Gilmore Mareeba Aviation Industrial Precinct	FIN 3	Effective business management	Tourism & Economic Development	<ul style="list-style-type: none"> Produce Promotional Strategy 	<ul style="list-style-type: none"> Discussions commenced with Trade & Investment QLD regarding opportunities available at Mareeba Airport Work with consultants to design promotional engagement strategy workshop is in progress Digital marketing promotion continues via Council social media 	<ul style="list-style-type: none"> In Progress 	<ul style="list-style-type: none"> Not commenced In Progress Completed
Customer Service Standards and Process	FIN 3	Effective business management	Customer & Community	<ul style="list-style-type: none"> Customer request systems and processes reviewed to determine appropriate responses including resolution timeframes 	<ul style="list-style-type: none"> Implementation of animal e-notice registrations 	In Progress	
ICT Strategy implementation:	FIN2 FIN 3	Effective and sustainable financial management Effective business management	Information Systems	<ul style="list-style-type: none"> Transition to Teams Calling 	Nil	Completed	

Financial Sustainability						
“A council that continuously operates in a cost-effective manner while managing council’s assets and reserves to ensure a sustainable future.”						
Project	Corporate Plan Ref	Corporate Plan Goal	Business Section	Performance Measures	Actions Taken April to June 2024	Progress: <ul style="list-style-type: none"> • Not commenced • In Progress • Completed
Sustainable Workforce	FIN 4	A skilled and sustainable workforce	Human Resources	<ul style="list-style-type: none"> • Training and development of workforce where required to improve efficiencies and ensure workplace safety 	<ul style="list-style-type: none"> • Leadership Training Program follow up sessions for participants completed. • Further stages based upon feedback have been planned progressively to October 2024 • Organisational wide training program continues to meet compliance and operations requirements. 	Completed
Workforce Management	FIN 1	Long-Term Financial Plan that supports effective and sustainable financial management	All	<ul style="list-style-type: none"> • Implement efficiencies & cost saving measures identified in 2022 review 	<ul style="list-style-type: none"> • Review of Recruitment and Selection Policy and Procedures undertaken and being progressively implemented. 	Completed
	FIN 2	Effective and sustainable financial management		<ul style="list-style-type: none"> • Review Recruitment Process & Employer Branding initiatives 		
	FIN 3	Effective business management				

Community

“An informed and engaged community which supports and encourages effective partnerships to enhance the liveability of the shire.”

Project	Corporate Plan Ref	Corporate Plan Goal	Business Section	Performance Measures	Actions Taken April to June 2024	Progress: • Not commenced • In Progress • Completed
Arts Connection to Tourism	COM 1	An engaged community	Customer & Community	<ul style="list-style-type: none"> Implementation of public mural action plan 	<ul style="list-style-type: none"> Completed in March 2024 	Completed
Enhanced Online Presence	COM 1	An engaged community	Information Systems	<ul style="list-style-type: none"> Improved capacity and information sharing Increased web-based forms 	<p>Further review of web site content and on-line interaction enhancements have been undertaken</p>	Completed

Transport and Council Infrastructure “The provision of quality services and infrastructure for our growing community that is planned and managed using sound asset management principles”						
Project	Corporate Plan Ref	Corporate Plan Goal	Business Section	Performance Measures	Actions Taken April to June 2024	Progress: Not commenced In Progress Completed
Review Asset Management Plans across asset classes	TCI 1	Sustainable Infrastructure for the future.	Assets & Projects	<ul style="list-style-type: none"> Undertake data verification 	<ul style="list-style-type: none"> Reviewed condition, defect and asset management plan data to develop capital project candidates for Council funding consideration in alignment with the Long Term Financial Plan. 	Completed
	TCI 4	Public spaces and facilities	Technical Services	<ul style="list-style-type: none"> Undertake condition assessment and defect identification across individual asset classes. 	<ul style="list-style-type: none"> Facility inspections / defect assessments / condition rating ongoing. 	In Progress
	COM2	An active, safe and healthy community	Finance	<ul style="list-style-type: none"> Document and review prioritisation and response times for maintenance and operational activities Improvement of asset management processes to be reflected in Long Term Asset Management Plan and Long Term Financial Plan 	<ul style="list-style-type: none"> Stormwater asset data verification ongoing 	In Progress

Transport and Council Infrastructure “The provision of quality services and infrastructure for our growing community that is planned and managed using sound asset management principles”						
Project	Corporate Plan Ref	Corporate Plan Goal	Business Section	Performance Measures	Actions Taken April to June 2024	Progress: Not commenced In Progress Completed
Local Government Infrastructure Plans Review (LGIP)	TCI 1 FIN 2	Sustainable Infrastructure for the future Effective and sustainable financial management	Development & Governance Finance Technical Services Water and Waste	<ul style="list-style-type: none"> Conduct 5 year review of LGIP 	<ul style="list-style-type: none"> Project list finalised after asset management plans completed 	In Progress
Parks and Open Spaces Strategy	TCI4	Public spaces and facilities	Assets & Projects	<ul style="list-style-type: none"> Complete planned construction for financial year 	<ul style="list-style-type: none"> Construction works progressed once rainfall eased with a number of projects completed. 	Completed
New Kuranda Cemetery	TCI 1	Sustainable Infrastructure for the future	Technical Services	<ul style="list-style-type: none"> Complete required operational works to enable internments 	<ul style="list-style-type: none"> Works completed 	Completed

Economy and Environment

“A resilient economy that promotes and supports the shire’s natural assets and local industry and encourages investment while preserving and future proofing for generations to come”

Project	Corporate Plan Ref	Corporate Plan Goal	Business Section	Performance Measures	Actions Taken April to June 2024	Progress: <ul style="list-style-type: none"> • Not commenced • In Progress • Completed
Waste Management Services Strategy	EAE 1	Environmentally responsible and efficient waste and wastewater management	Water & Waste	<ul style="list-style-type: none"> • Commence review and update of Waste Strategy to align with Regional Waste Plan and Council’s future waste management needs 	<ul style="list-style-type: none"> • FNQROC received confirmation from the Office Circular Economy at Department Environment Science & Innovation of approval to award funding to FNQROC for the Regional Coordinator Position. 	In Progress
	TCI 1	Sustainable Infrastructure for the future	Finance			
Planning Scheme Review	EAE 2	A Sustainable Planning Scheme	Development & Governance	<ul style="list-style-type: none"> • Commence 10 Year review of MSC Planning Scheme and supporting documents • Prepare scope of works and community profile for 10 Year review 	<ul style="list-style-type: none"> • Scope of works commenced • Data collection for updated demographic profile commenced 	In Progress
Temporary Local Planning Instrument (TLPI)	EAE 2	A Sustainable Planning Scheme	Development & Governance	<ul style="list-style-type: none"> • Amend the Planning Scheme to address the TLPI in accordance with Queensland Government advice 	Nil	Completed

Governance

“Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance and affordable levels of service delivered to the community”

Project	Corporate Plan Ref	Corporate Plan Goal	Business Section	Performance Measures	Actions Taken April to June 2024	Progress: Not commenced In Progress Completed
Housing Strategy	EAE3	Support and encourage sustainable industrial and commercial growth and development	Development & Governance	<ul style="list-style-type: none"> Investigate options for addressing the housing crisis Investigate options for sustainable social housing for seniors 	<ul style="list-style-type: none"> Tender awarded for new duplex for seniors by Mareeba Community Housing Company (MCHC) Awaiting outcome of MCHC application for state funds for new triplex for seniors Amendment of Local Law for Temporary Accommodation commenced 	In Progress
Cybersecurity Enhancements	GOV2	Strong focus on compliance and enterprise risk	Information Systems	<ul style="list-style-type: none"> Monitor security measures as defined by the ACSC Essential 8 Establish incident response partnership 	<ul style="list-style-type: none"> Continued implementation of ACSC Essential 8 mitigation strategies 	Completed
Compliance Review	GOV 2	Strong focus on compliance and enterprise risk	Human Resources	<ul style="list-style-type: none"> Comply with relevant legislative requirements Comply with requirements of the LGW Mutual Risk Obligation program 	<ul style="list-style-type: none"> No non-compliance with employment related legislative requirements identified. Ongoing review of HR processes indicates compliance. All requirements of LGW Mutual Risk Met to date met and SMS compliant 	Completed

8.7 COUNCIL POLICY REVIEW

Date Prepared: 14 June 2024

Author: Coordinator Governance & Compliance

Attachments:

1. [Water Restriction Policy](#) ↓
2. [Public Interest Disclosure Management Plan](#) ↓
3. [Process for Making Local Laws \(for repeal\)](#) ↓
4. [Statement of Management Intent - Flying-fox Roost Management](#) ↓
5. [Procurement Policy](#) ↓

EXECUTIVE SUMMARY

As part of the ongoing organisation-wide compliance policy review work, amended and newly created instruments, along with instruments marked for repeal, are presented to Council for consideration.

RECOMMENDATION

That Council:

1. Repeals the:
 - (a) Water Restriction Policy – adopted 19 July 2023
 - (b) Public Interest Disclosure Management Plan – adopted 19 July 2023
 - (c) Process for Making Local Laws – adopted 19 July 2017
 - (d) Statement of Management Intent – Flying-fox Roost Management – adopted 3 December 2014
 - (e) Procurement Policy – adopted 21 June 2023
2. Adopts the:
 - (a) Water Restriction Policy
 - (b) Public Interest Disclosure Management Plan
 - (c) Statement of Management Intent – Flying-fox Roost Management
 - (d) Procurement Policy

BACKGROUND***Water Restriction Policy*****Purpose**

To provide a framework and for the declaration and management of water restrictions in the Mareeba Shire Council jurisdiction.

Summary of amendments

1. Header matrix – update review officer field;
2. Section 3 subheading 2 Specified circumstances giving rise to restrictions, point 7 – insert footnote reference to Council’s Drought Management Plan;

3. Section 9 Related Documents and References – insert reference to Council’s Drought Management Plan (2023).

All remaining content continues as relevant for a further term.

Public Interest Disclosure Management Plan

Purpose

To ensure that disclosure of information about suspected wrongdoing in the public sector can be properly assessed and, if necessary, appropriately investigated in accordance with requirements of the *Public Interest Disclosure Act 2010* (Qld) (PID Act) and any relevant standards.

Summary of amendments

1. Header matrix – update position descriptions;
2. Section 16 Related Documents and References – apply updates to listed instruments.

All remaining content continues as relevant for a further term.

Process for Making Local Laws

Proposed repeal

Section 29(1) of the *Local Government Act 2009* (Qld) (LGA) provides that a local government may decide its own process for making a local law to the extent that the process is not inconsistent with Part 1, Division 2 of the LGA. At the time of the 2017 adoption of this instrument, it was deemed appropriate that Council adopt a process for the making of local laws to facilitate the 2018 major review of Council’s suite of Local laws – primarily to declare Council’s position on the previously mandated minimum 21 days for public consultation. Operation of the wording in section 29(1) of the LGA precludes a mandate for Council to adopt a process for the making of local laws where Council seeks to default to the requirements for the making of local laws declared under Part 1, Division 2 of the LGA. The content of Council’s existing *Process for Making Local Laws* is therefore assessed as redundant and deemed no longer required.

Statement of Management Intent – Flying-fox Roost Management

Purpose

To declare the approach that Mareeba Shire Council (Council) will take to the management of flying-fox roosts in the Mareeba Shire.

Summary of amendments

1. Section 1 Authority – update redundant State department references and format statutes;
2. Section 2 Purpose – modernise wording;
3. Section 3 Location of UFFMA – update embedded State department weblinks;
4. Section 4 Council intentions and Considerations – modernise wording and format statute references;
5. Section 5 Further Information – modernise wording and update State department references;
6. Apply minor grammatical and sentence structure corrections throughout.

All remaining content continues as relevant for a further term.

Procurement Policy**Purpose**

To set out Council's position on the acquisition of goods and services and relevant procurement principles to ensure all Council officers adhere to sound contracting principles in the course of day to day operations to achieve value for money for Council.

Summary of amendments

1. Header matrix – Policy Type field; omit term 'Council', insert term 'Governance'; Author field; omit Manager Finance, insert Director Corporate & Community Services;
2. Section 2 Scope – insert new second para mandating adherence by all categories of personnel; insert reference to Council's relevant administrative procurement guidelines;
3. Section 3 Policy Statement – revise heading to 'Procurement Principles';
4. Section 3.1 Principles – revise heading to 'Contracting Principles';
5. Section 3.1.1 Value for Money; omit entire bullet point series and simplify and modernise wording;
6. Section 3.1.3 Development of Competitive Local Business and Industry – modernise reference to promotion of competitive local business; omit final paragraph and bullet point series;
7. Section 3.1.4 Environmental Protection – omit entire bullet point series;
8. Section 3.1.5 Ethical Behaviour and Fair Dealing – revise heading to include term 'Probity';
9. Section 3.2 Compliance with Council Workplace Health and Safety Procurement Procedures – omit entire section content; insert single para reference to adherence with WH&S procurement procedure and purchasing and supplier control instrument suite;
10. Section 4 Purchasing Guidelines – revise heading to 'Procurement of Goods and Services';
11. Section 4.1 Purchasing Guidelines – revise heading to 'Purchasing Requirements'; Omit entire section content; insert single para reference to new instrument *Guidelines for Procurement Administration*;
12. Section 4.2 Minor and Petty Cash Purchases up to \$100.00 (Exclusive of GST) – omit paras two and three;
13. Section 4.3 Summary of Procurement Thresholds – table line three; insert reference to VendorPanel;
14. Section 4.5 Purchases Between \$5,000 (Exclusive of GST) – modernise wording and insert reference to VendorPanel and new instrument *Guidelines for Procurement Administration*;
15. Section 4.6 Medium Sized Contracts – Purchases Between \$15,000 and \$200,000 (Exclusive of GST) – modernise wording and insert reference to new instrument *Guidelines for Procurement Administration*
16. Section 4.7 Large Sized Contracts – Purchases Above \$200,000 (Exclusive of GST) – update reference to new instrument *Guidelines for Procurement Administration*;
17. Section 4.8 Large Sized Contracts – omit heading
18. Section 4.8.1 Invitations to Tender – transfer content to new section 4.7.1 Invitations to Tender; omit redundant para 3 and para 5; insert reference to VendorPanel;
19. Section 4.8.2 Expressions of Interest Invitations – transfer content to new Section 4.7.2 Expressions of Interest Invitations;
20. Section 4.8.3 Variations to Tender or Contract – omit entire content; insert new Section 4.8 Variations to Tender or Contract; insert reference to new instrument *Guidelines for Procurement Administration*
21. Section 4.8.4 Approved Variations – omit section;
22. Section 4.9 Assessing Procurement Value – omit para 1; modernise para 2; omit para 4;

23. Section 4.10 Exceptions to Requirements to Invite Written Quotations and Tenders – modernise para 1 intro wording;
24. Section 4.11 Register of Pre-Qualified Suppliers - Section 232 of the Regulation – omit words ‘Register of’ from heading title; omit para 4; insert reference to new instrument *Guidelines for Procurement Administration*;
25. Section 4.12 Preferred Supplier Arrangements - Section 233 of the Regulation – rename section title to ‘Sole Supplier/Preferred Supplier Arrangements – Sections 235/233 of the Regulation’; modernise wording and bullet point series for single and specialised supplier arrangements by resolution of Council;
26. Section 4.13 Exception for LGA Arrangement - Section 234 of the Regulation – amend section title to ‘Local Buy/LGA Arrangement - Section 234 of the Regulation’; omit para 2 definition of LGA Arrangement;
27. Section 4.14 Exception for Tender Consideration Plan – Section 230 of the Regulation – rename section title to ‘Tender Consideration Plan – Section 230 of the Regulation’; omit bullet point series;
28. Section 4.15 Exception for Contractor on and Approved Contractor List – Section 231 of the Regulation – rename section tile to ‘Contractor on an approved Contractor List – Section 231 of the Regulation’; moit bullet point series;
29. Section 4.16 Electronic Tendering – omit reference to phrase ‘Electronic Tender Box’; insert reference to VedorPanel;
30. Section 4.17 Australian Business Registration Number (ABN) – omit bullet point series;
31. Section 4.18 Publish Details of Contracts Worth \$200,000 (Exclusive of GST) or More – omit entire section;
32. Section 4.19 Disposal of Land and Non-Current Assets – transfer content to new section 4.18 Disposal of Land and Non-Current Assets;
33. Section 4.20 Corporate Credit Cards – omit entire content; insert new content and update as new section 4.19;
34. Section 4.20 Budgetary Provisions (new) – build new section;
35. Section 4.21 Delegations – amend section title to ‘Financial Delegations’; insert final sentence mandating requirement for recording of financial delegations in Council’s Register of Delegations;
36. Section 4.22 Limitations (new) – build new section;
37. Section 5 Responsibilities – omit entire section;
38. Section 6 Definitions – omit ‘Council’ definition; update definition ‘Electronic Tender Box’; insert new definition ‘Emergent works’; insert new definition ‘LGA Arrangement’; omit definition ‘Sound Contracting Principles’; insert definition ‘Pre-Qualified’; insert new definition ‘Sole Supplier’; insert new definition ‘quote for tender consideration plan’; omit definition ‘Procurement Team’; insert new definition ‘Preferred supplier arrangement (PSA)’; insert new definition ‘Register of pre-qualified suppliers’; omit definition ‘Tender Response’;
39. Section 7 Related Documents and References – update and reformat instruments;

FINANCIAL AND RESOURCE IMPLICATIONS

Capital

Nil

Operating

Nil

LINK TO CORPORATE PLAN

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance while delivering affordable levels of identified services within the Shire.

IMPLEMENTATION/COMMUNICATION

Policy library and website updated to publish.



Water Restriction Policy

Policy Type	Governance Policy	Version:	5.0
Responsible Officer	Manager Water and Waste	Date Approved:	17/07/2024
Review Officer:	Director Infrastructure Services	Review Due:	17/06/2025
Author:	Manager Water and Waste	Commencement:	17/07/2024

1. PURPOSE

To provide a framework and for the declaration and management of water restrictions in the Mareeba Shire Council jurisdiction.

2. SCOPE

This policy applies to all users of potable water within the Mareeba Shire Council jurisdiction.

3. POLICY STATEMENT

Council as water service provider holds the authority to restrict water supply where it is considered necessary.

Restriction types

Council may impose the following types of restrictions:¹

1. The volume of water supplied to a customer or type of customer; or
2. The hours when water may be used on premises for stated purposes; or
3. The way water may be used on premises.

Restrictions will be determined and declared to align with the restriction level tables appearing in the Appendix to this policy.

Specified circumstances giving rise to restrictions

Council may impose restrictions only if:²

1. there is an urgent need for the water restriction; or
2. the available water supply has fallen to a level at which unrestricted use of water is not in the public interest; or
3. Council has a reasonable and comprehensive strategy for demand management for water and the restriction is essential to ensure the aims of the strategy are met; or

¹ See *Water Supply (Safety and Reliability) Act 2008* (Qld) s 41(1).

² *Ibid* s 41(2).

Water Restriction Policy

4. the relevant State Minister has published a notice under specific legislation requiring Council to impose the water restriction;³ or
5. Council is directed, under a water supply emergency declaration, a water supply emergency regulation or an approved water supply emergency response to impose a restriction;⁴ or
6. Council is directed by the State regulator to impose the restriction;⁵ or
7. Council has an outdoor water use conservation plan and the restriction is a measure to be implemented under the plan.⁶

4. APPROVAL TO IMPOSE RESTRICTIONS

Decisions on the imposition of water restrictions will be initiated via recommendation by Council's Director Infrastructure Services to Council's Chief Executive Officer. Any urgent action taken by the Chief Executive Officer to implement a water restriction must be accompanied by a report to Council.

5. NOTIFICATION OF WATER RESTRICTIONS

Where circumstances necessitate that water restrictions are imposed within the jurisdiction, the following will apply:

1. Having regard to the circumstances under which the restriction is imposed, Council will give notice to anyone affected via notice posted in the local printed media.⁷
2. Having regard to the requirements under the legislation and without limiting point 1 above, in emergency circumstances, the notice will be given in the way the Chief Executive Officer considers appropriate.⁸

In ordinary circumstances, water restrictions will take effect on the day after the notice is given. Where the restriction results from an urgent need or an emergency declaration, the restriction will take effect immediately when the restriction is imposed.⁹

6. EXEMPTIONS

Upon written application by water users, Council may approve conditional exemptions to water restrictions¹⁰ based upon the following grounds:

1. for reasons of public health and safety;
2. to allow the undertaking of essential works;
3. for minor or infrequent uses of water outside the restrictions (e.g., sporting or community events);

³ See *Water Supply (Safety and Reliability) Act 2008* (Qld) s 41(2)(d). See also *Water Act 2000* (Qld) ss 25B, 25F.

⁴ See *Water Supply (Safety and Reliability) Act 2008* (Qld) s 41(2)(e). See also *Water Act 2000* (Qld) ss 25B, 25E, 25H.

⁵ See *Water Supply (Safety and Reliability) Act 2008* (Qld) s 42(2).

⁶ See *Drought Management Plan* s 3.

⁷ See *Water Supply (Safety and Reliability) Act 2008* (Qld) s 43(1).

⁸ *Ibid* s 43(2)-(3).

⁹ *Ibid* s 43(4).

¹⁰ *Ibid* s 41(5).

Water Restriction Policy

7. NON-COMPLIANCE WITH WATER RESTRICTIONS

Failure to comply with water restrictions is an offence and Council may impose penalties as deemed necessary to ensure the effectiveness of the water restriction.¹¹

8. DEFINITIONS

Potable water – means drinkable water—water suitable for human consumption.

Water service provider – means Mareeba Shire Council¹²

9. RELATED DOCUMENTS AND REFERENCES

Drought Management Plan (MSC)
Local Government Act 2009 (Qld)
Local Government Regulation 2012 (Qld)
Water Act 2000 (Qld)
Water Supply (Safety and Reliability) Act 2008 (Qld)

10. REVIEW

It is the responsibility of the Director Infrastructure Services to monitor the adequacy of this policy and recommended appropriate changes. This policy will be formally reviewed annually or as otherwise determined by Council.

¹¹ Ibid ss 41(6), 43(5), 169. See also *State Penalties Enforcement Regulation 2014 (Qld)* sch 1.

¹² See *Water Supply (Safety and Reliability) Act 2008 (Qld)* sch 3. Applied in the context of this policy to mean Mareeba Shire Council.

APPENDIX - WATER RESTRICTION LEVELS



Water Restrictions - Level 1

LEVEL 1	
PURPOSE	
Private gardens -watering	No manual or automated sprinklers, micro spray or drip watering systems to be used between the hours of 8am and 6pm. Hand held hoses, fitted with a trigger nozzle; watering cans or buckets can be used at any time.
Public parks / gardens / road reserves - watering Other than Parks and Gardens of significance or Heritage Gardens as determined by Council	No manual or automated watering systems to be used between the hours of 8am and 6pm. Hand held hoses, fitted with a trigger nozzle; watering cans or buckets can be used at any time.
Private gardens and public gardens - filling or topping up of ponds	Existing ponds can only be topped up to their normal level and only by means of hand held hoses, fitted with a trigger nozzle or by means of watering cans or buckets filled directly from taps.
Fountains	Fountains may operate normally.
Paved areas - cleaning	Hosing of paved areas is prohibited unless cleaning is required as a result of an accident, fire, health hazard or other emergency. The use of a bucket filled directly from a tap is permitted at any time.
Private swimming pools or spas - filling or topping up	Filling new pools - no restrictions. Existing pools and spas may be topped up as per garden watering times.
Farm dams and tanks - topping up	Farm dams must not be topped up except - <ul style="list-style-type: none"> • Dams or tanks providing water for firefighting, public health or stock watering purposes but only to the extent necessary to reasonably provide for those purposes; or • In the case of other dams or tanks, with the written permission of the Authority. Tanks - no restrictions
Sports grounds - watering	No manual or automated sprinklers, micro spray or drip watering systems to be used between the hours of 8am and 6pm. Hand held hoses, watering cans or buckets can be used at any time. Active playing surfaces may be watered prior to events to maintain the ability to be used for the intended purpose.
Commercial market garden or plant nursery - watering of plants	No restrictions.
Window cleaning	Windows can be cleaned at any time using - <ul style="list-style-type: none"> • High pressure, low volume cleaners; • Trigger hoses; • Buckets or watering cans.



Water Restrictions - Level 1

LEVEL 1	
PURPOSE	
Mobile water tankers - filling	Mobile water tankers - no restrictions.
Motor vehicle dealers' vehicles - cleaning	Water must not be used to clean vehicles except by means of - a) Commercial car washing facilities that recycle water; b) Watering cans or buckets filled directly from taps; or c) Trigger hoses.
Food transport vehicles - cleaning	Water must not be used to clean vehicles except by means of - a) Automatic washing systems which recycle water; or b) Trigger hoses; c) Commercial car wash facilities using trigger hoses; or d) Watering cans or buckets filled directly from taps; e) High pressure, low volume cleaner.
Other vehicles (cars, trucks, boats, jet skis) - cleaning	Water must not be used to clean vehicles except by means of - a) Automatic washing systems which recycle water; or b) Commercial car wash facilities using trigger hoses; or c) Watering cans or buckets filled directly from taps; or d) Trigger hoses e) Boat motors may be flushed and rinsed after use.
Construction industry - use of water in	Unless otherwise exempted by the Authority in writing, hoses must not be used except trigger hoses.
Any purpose not included in any other items of this column other than for use inside domestic premises and for domestic and farm animals	Water must not be used without the written permission of the Authority.
New lawns - residential	New lawns can be watered on the day of installation for a period of two hours at any time with sprinkler with timer shut off on any day between the hours of 6pm and 8am. Hand held hoses fitted with a trigger nozzle can be used at any time.

Failure to comply with Water Restrictions may incur penalties as described in s 43 (5) of the Water Supply (Safety and Reliability) Act 2008.



Water Restrictions - Level 2

LEVEL 2	
PURPOSE	
Private gardens -watering	No manual or automated sprinklers, micro spray or drip watering systems to be used on Mondays. Odd numbered houses - sprinklers allowed on Tuesdays, Thursdays and Saturdays, between the hours of 6am and 8am and 6pm and 8pm only. Even numbered houses - sprinklers allowed Wednesdays, Fridays and Saturdays, between the hours of 6am and 8am and 6pm and 8pm only. Hand held hoses, fitted with a trigger nozzle; watering cans or buckets can be used at any time.
Public parks / gardens / road reserves - watering Other than Parks and Gardens of significance or Heritage Gardens as determined by Council	No manual or automated watering systems to be used on Mondays. Sprinklers allowed on Tuesdays, Thursdays and Saturdays, between the hours of 10pm and 5am only. Hand held hoses, fitted with a trigger nozzle; watering cans or buckets can be used at any time.
Private gardens and public gardens - filling or topping up of ponds Fountains	Existing ponds can only be topped up to their normal level and only by means of hand held hoses, fitted with a trigger nozzle or by means of watering cans or buckets filled directly from taps. Fountains must not operate unless they recycle water. Water lost from fountains must not be replaced except by means of hand held hoses or by means of watering can or buckets filled directly from taps.
Paved areas - cleaning	Hosing of paved areas is prohibited unless cleaning is required as a result of an accident, fire, health hazard or other emergency. The use of a bucket filled directly from a tap is permitted at any time.
Private swimming pools or spas - filling or topping up	Filling new pools - no restrictions. Existing pools and spas may be topped up as per garden watering times.
Farm dams and tanks - topping up	Farm dams and tanks must not be topped up except - <ul style="list-style-type: none"> • Dams or tanks providing water for firefighting, public health or stock watering purposes but only to the extent necessary to reasonably provide for those purposes; or • In the case of other dams or tanks, with the written permission of the Authority.
Sports grounds - watering	Sprinklers, micro spray or drip systems, can be used between 6am and 8am and 6pm and 8pm. Hand held hoses, watering cans or buckets can be used at any time. Active playing surfaces may be watered prior to events to maintain the ability to be used for the intended purpose.
Commercial market garden or plant nursery - watering of plants	No restrictions.



Water Restrictions - Level 2

LEVEL 2	
PURPOSE	
Window cleaning	Windows can be cleaned at any time using - <ul style="list-style-type: none"> • High pressure, low volume cleaners; • Trigger hoses; • Buckets or watering cans.
Mobile water tankers - filling	Mobile water tankers must not be filled except - <ul style="list-style-type: none"> • Between the hours of 8am and 8pm with the written permission of the Authority; or • Tankers supplying water for use inside domestic premises, or for firefighting or stock watering purposes.
Motor vehicle dealers' vehicles - cleaning	Water must not be used to clean vehicles except by means of - <ul style="list-style-type: none"> a) Commercial car washing facilities that recycle water; b) Watering cans or buckets filled directly from taps; or c) Trigger hoses, which can be used only to rinse vehicles after washing.
Food transport vehicles - cleaning	Water must not be used to clean vehicles except by means of - <ul style="list-style-type: none"> a) Automatic washing systems which recycle water; or b) Trigger hoses; c) Commercial car wash facilities using trigger hoses; or d) Watering cans or buckets filled directly from taps; e) High pressure, low volume cleaner.
Other vehicles (cars, trucks, boats, jet skis) - cleaning	Water must not be used to clean vehicles except by means of - <ul style="list-style-type: none"> a) Automatic washing systems which recycle water; or b) Commercial car wash facilities using trigger hoses; or c) Watering cans or buckets filled directly from taps; or d) Trigger hoses, which can be used only to rinse vehicles after washing; e) Boat motors may be flushed and rinsed after use.
Construction industry - use of water in Any purpose not included in any other items of this column other than for use inside domestic premises and for domestic and farm animals	Unless otherwise exempted by the Authority in writing, hoses must not be used except trigger hoses. Water must not be used without the written permission of the Authority.
New lawns - residential	New lawns can be watered on the day of installation for a period of one hour at any time with sprinkler with timer shut off. On any day between the hours of 6am and 8am and 6pm and 8pm for a period of 14 days after the installation date (receipt of installation required), by sprinkler with timer shut off. After 14 days from the day of establishment all level 2 water restrictions apply including watering times - <ul style="list-style-type: none"> • Odd numbered properties between 6am and 8am and 6pm and 8pm, Tuesdays, Thursdays and Saturdays; • Even numbered properties between 6am and 8am and 6pm and 8pm, Wednesdays, Fridays and Sundays. Hand held hoses fitted with a trigger nozzle can be used at any time.

Failure to comply with Water Restrictions may incur penalties as described in s 43 (5) of the Water Supply (Safety and Reliability) Act 2008.



Water Restrictions - Level 3

LEVEL 3	
PURPOSE	
Private gardens -watering	Watering by manual or automated sprinklers, micro spray or drip watering systems and hand held hoses are prohibited on Mondays. Odd numbered houses - sprinklers allowed on Tuesdays and Saturdays, between the hours of 6am and 7am and 6pm and 7pm only. Even numbered houses - sprinklers allowed Wednesdays and Saturdays, between the hours of 6am and 7am and 6pm and 7pm only. Hand held hoses, fitted with a trigger nozzle can be used on any day except Mondays. Watering cans or buckets can be used at any time.
Public parks / gardens / road reserves - watering Other than Parks and Gardens of significance or Heritage Gardens as determined by Council	Watering by attended hand held hoses, fitted with a trigger nozzle to only be used between 6am and 7am and 6pm and 7pm only.
Private gardens and public gardens - filling or topping up of ponds	Newly constructed ponds must not be filled for the first time without the written permission of the Authority. Existing ponds can only be topped up to their normal level and only by means of hand held hoses, fitted with a trigger nozzle or by means of watering cans or buckets filled directly from taps.
Fountains	Fountains must not operate unless they recycle water. Water lost from fountains must not be replaced.
Paved areas - cleaning	Hosing of paved areas is prohibited unless cleaning is required as a result of an accident, fire, health hazard or other emergency. The use of a bucket filled directly from a tap is permitted at any time.
Private swimming pools or spas - filling or topping up Farm dams and tanks - topping up	Filling new pools - no restrictions. Existing pools and spas may be topped up as per garden watering times. Farm dams and tanks must not be topped up except - <ul style="list-style-type: none"> • Dams or tanks providing water for firefighting, public health or stock watering purposes but only to the extent necessary to reasonably provide for those purposes; or • In the case of other dams or tanks, with the written permission of the Authority.
Sports grounds - watering	Non active playing surfaces must not be waters without the written permission of the Authority. Active playing surfaces can only watered using - <ul style="list-style-type: none"> • Sprinklers; micro spray or drip systems between the hours of 6am and 8am and 6pm and 8pm; or • With hand held hoses immediately before or at the time of use; or • With watering cans or buckets filled directly from taps.



Water Restrictions - Level 3

LEVEL 3	
PURPOSE	
Commercial market garden or plant nursery - watering of plants	No restrictions.
Window cleaning	Water must not be used to clean windows except by means of a bucket or watering can filled directly from a tap.
Mobile water tankers - filling	Mobile water tankers must not be filled except - <ul style="list-style-type: none"> • Between the hours of 8am and 8pm with the written permission of the Authority; or • Tankers supplying water for use inside domestic premises, or for firefighting or stock watering purposes.
Motor vehicle dealers' vehicles - cleaning	Water must not be used to clean vehicles except by means of - <ol style="list-style-type: none"> a) Commercial car washing facilities that recycle water; b) Watering cans or buckets filled directly from taps; or c) Trigger hoses, which can be used only to rinse vehicles after washing.
Food transport vehicles - cleaning	Water must not be used to clean vehicles except by means of - <ol style="list-style-type: none"> a) Automatic washing systems which recycle water; or b) Trigger hoses; c) Watering cans or buckets filled directly from taps; d) High pressure, low volume cleaner.
Other vehicles (cars, trucks, boats, jet skis) - cleaning	Water must not be used to clean vehicles except by means of - <ol style="list-style-type: none"> a) Automatic washing systems which recycle water; or b) Commercial car wash facilities using trigger hoses; or c) Watering cans or buckets filled directly from taps; or d) Boat motors may be flushed and rinsed after use for a maximum of 5 minutes. Unless otherwise exempted by the Authority in writing, hoses must not be used except trigger hoses.
Construction industry - use of water in	Water must not be used without the written permission of the Authority.
Any purpose not included in any other items of this column other than for use inside domestic premises and for domestic and farm animals	
New lawns - residential	New lawns can be watered on the day of installation for a period of one hour at any time with sprinkler with timer shut off. On any day between the hours of 6am and 7am and 6pm and 7pm for a period of 14 days after the installation date (receipt of installation required), by sprinkler with timer shut off. After 14 days from the day of establishment all level 3 water restrictions apply including watering times - <ul style="list-style-type: none"> • Odd numbered properties between 6am and 7am and 6pm and 7pm, Tuesdays, and Saturdays; • Even numbered properties between 6am and 7am and 6pm and 7pm, Wednesdays and Sundays. Hand held hoses fitted with a trigger nozzle can be used at any time except Mondays. Watering cans or buckets can be used at any time.

Failure to comply with Water Restrictions may incur penalties as described in s 43 (5) of the Water Supply (Safety and Reliability) Act 2008.



Public Interest Disclosure Management Plan

Policy Type	Governance Procedure	Version:	5.0
Responsible Officer	Coordinator Governance & Compliance	Date Approved:	17/07/2024
Review Officer:	Manager Development & Governance	Review Due:	17/06/2025
Author:	Coordinator Governance & Compliance	Commencement:	17/07/2024

1. PURPOSE

Mareeba Shire Council (Council) is committed to fostering an ethical, transparent culture. In pursuit of this, Council values the disclosure of information about suspected wrongdoing in the public sector so that it can be properly assessed and, if necessary, appropriately investigated. Council will provide support to an employee or others who make disclosures about matters in the public interest.

This *Public Interest Disclosure Management Plan* (PID Plan) demonstrates this commitment and ensures that practical and effective procedures are implemented which comply with the requirements of the *Public Interest Disclosure Act 2010* (Qld) (PID Act) and any relevant standards.

By complying with the PID Act,¹ Council will:

- promote the public interest by facilitating public interest disclosures (PIDs) of wrongdoing
- ensure that PIDs are properly assessed and, where appropriate, properly investigated and dealt with
- ensure appropriate consideration is given to the interests of persons who are the subject of a PID
- ensure protection from reprisal is afforded to persons making PIDs

As required under the PID Act,² the Chief Executive Officer will implement procedures to ensure that:

- any employee who makes a PID is given appropriate support
- PIDs made to Council are properly assessed and, where appropriate, properly investigated and dealt with
- appropriate action is taken in relation to any wrongdoing which is the subject of a PID
- a management program for PIDs made to Council, consistent with the PID Standard³ issued by the Queensland Ombudsman, is developed and implemented
- public officers who make PIDs are offered protection from reprisal by Council or other public officers of Council.

Council’s PID Plan is available for public viewing via Council's website. The PID Plan will be reviewed annually and updated as required to ensure it meets the requirements of the PID Act and the relevant standard⁴ issued by the Queensland Ombudsman.

2. SCOPE

This PID Plan applies across Council and to members of the public.

This PID Plan establishes procedures for:

¹ See *Public Interest Disclosure Act 2010* (Qld) s 3.

² Ibid s 28.

³ See *Public Interest Disclosure Standard No. 1/2019* s 8 Standard 1.1.

⁴ Ibid s 8 Standard 1.2.

Public Interest Disclosure Management Plan

- Persons wishing to make a PID to Council in accordance with the PID Act
- The receipt, assessment and management of a PID
- Assisting public officers (i.e. discloser and subject officer) affected by a PID.

3. PID MANAGEMENT PROGRAM

The Council PID management program encompasses:

- commitment to encouraging the internal reporting of wrongdoing
- senior management endorsement of the value to Council of PIDs and the proper management of PIDs
- a communication strategy to raise awareness among employees about PIDs and Council’s PID procedure
- a training strategy to give employees access to training about how to make a PID, information on the support available to a discloser, and advice on how PIDs will be managed
- specialist training and awareness about PIDs for senior management and other staff who may receive or manage PIDs, disclosers or workplace issues relating to PIDs
- the appointment of a specialist officer/unit to be responsible for issues related to the management of PIDs
- ensuring effective systems and procedures are in place so that issues and outcomes from PIDs inform improvements to service delivery, business processes and internal controls
- regular review of the Public Interest Disclosure Procedure and evaluation of the effectiveness of the PID management program.

The Chief Executive Officer has designated the following roles and responsibilities for managing PIDs within Council:

Role	Responsibilities	Officer
PID Coordinator	<ul style="list-style-type: none"> • Principal contact for PID issues within Council • Documents and manages implementation of PID management program • Reviews and updates PID procedure annually • Maintains and updates internal records of PIDs received • Reports data on PIDs to Queensland Ombudsman • Assesses PIDs received • Provides acknowledgment of receipt of PID to discloser • Undertakes risk assessments in consultation with disclosers and other relevant officers • Liaises with other agencies about referral of PIDs • Allocates Investigator and Support Officer to PID matter 	Manager Development & Governance Contact number: 1300 308 461 or 07 4086 4605 Email: info@msc.qld.gov.au
PID Support Officer	<ul style="list-style-type: none"> • Provides advice and information to discloser on Council PID procedure • Assesses the immediate protection needs of the discloser 	As assigned by PID Coordinator

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	<ul style="list-style-type: none"> Coordinates and provides support to the discloser Works with management to foster a supportive work environment Proactively contacts discloser throughout PID management process and provides updates on progress of investigation Keeps records of all aspects of case management of the discloser, including all contact and follow-up-action 	
Investigator	<ul style="list-style-type: none"> Conducts investigation of information in PID in accordance with terms of reference Prepares report for delegated decision-maker 	An appropriate internal or external investigator will be appointed for each PID investigated depending upon the type of disclosure and other relevant considerations

4. WHAT IS A PUBLIC INTEREST DISCLOSURE?

Under the PID Act, any person can make a disclosure⁵ about a:

- substantial and specific danger to the health or safety of a person with a disability
- substantial and specific danger to the environment
- reprisal because of a belief that a person has made, or intends to make a disclosure.

In addition, public sector officers can make a disclosure⁶ about the following public interest matters:

- corrupt conduct
- maladministration that adversely affects a person’s interests in a substantial and specific way
- a substantial misuse of public resources
- a substantial and specific danger to public health or safety
- substantial and specific danger to the environment.

A discloser can have either a ‘reasonable belief’ that wrongdoing has occurred or provide evidence which tends to show the wrongdoing has occurred.

A disclosure amounts to a PID and is covered by the PID Act even if the:

- discloser reports the information as part of their duties – such as an auditor reporting a fraud
- or an occupational health and safety officer reporting a safety breach
- disclosure is made anonymously – the discloser is not required to give their name or any identifying information⁷
- discloser has not identified the material as a PID – it is up to Council to assess information received and decide if it is a PID⁸
- disclosure is unsubstantiated following investigation – the discloser is protected when the information they provide is assessed as a PID, whether or not it is subsequently investigated or found to be substantiated.

⁵ See *Public Interest Disclosure Act 2010* (Qld) s 12.

⁶ *Ibid* s 13.

⁷ *Ibid* s 21.

⁸ *Ibid* ss 11-13, 15, 17.

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5. WHO CAN A PUBLIC INTEREST DISCLOSURE BE DISCLOSED TO?

A PID must be made to the ‘proper authority’ to receive disclosures of the type being made. Disclosers are encouraged to make a disclosure to an appropriate officer of Council⁹ first. If the matter is not resolved, or the discloser is concerned about confidentiality, the disclosure may be made to another appropriate agency.

Whom to contact within Council	Other agencies that can receive PIDs:
<p>Any person (including employees) can make a disclosure to:</p> <ul style="list-style-type: none"> • The employee's direct supervisor • The employee's manager • The Manager Organisational Development • The Senior Human Resources Advisor • The Manager Development & Governance • The Chief Executive Officer or another member of the Executive Management Team 	<p>Disclosures can be made to an agency that has a responsibility for investigating the information disclosed:</p> <ul style="list-style-type: none"> • Crime and Corruption Commission (CCC) for disclosures about corrupt conduct including reprisal • Queensland Ombudsman for disclosures about maladministration • Queensland Audit Office for disclosures about a substantial misuse of resources • Department of Child Safety, Youth and Women for disclosures about danger to the health and safety of a child or young person with a disability • Department of Communities, Disability Services and Seniors for disclosures about danger to the health and safety of a person with a disability • Office of the Public Guardian for disclosures about danger to the health and safety of a person with a disability • Department of Environment and Science about disclosures about danger to the environment • A Member of the Legislative Assembly (MP) for any wrongdoing or danger • The Chief Judicial Officer of a court or tribunal in relation to a disclosure about wrongdoing by a judicial officer.

6. HOW TO MAKE A PUBLIC INTEREST DISCLOSURE

A discloser can make a PID either verbally or in writing.¹⁰ To assist in the assessment, and any subsequent investigation of a PID, disclosers should:

- provide contact details (this could be an email address that is created for the purpose of making the disclosure or a telephone number)
- provide as much information as possible about the suspected wrongdoing, including:
 - who was involved
 - what happened
 - when it happened
 - where it happened
 - whether there were any witnesses, and if so who they are

⁹ Ibid s 6(g).

¹⁰ Ibid ss 17, 65.

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- any evidence that supports the PID, and where the evidence is located
- any further information that could help investigate the PID.

A PID also can be made anonymously however the discloser is encouraged to provide their name and contact details. Disclosing a PID anonymously can make it difficult to investigate the issue, to seek clarification or more information, or to provide the discloser with feedback. If the discloser decides to disclose anonymously, they will need to provide sufficient information for the matter to be investigated, as it will not be possible for Council to contact the discloser asking for clarification or more information.

A person who gives information to a proper authority, knowing that it is false or misleading, and intending that it be acted upon as a PID, commits a criminal offence under the PID Act.¹¹ If the individual is an employee the person may also face disciplinary action for providing intentionally false information.

Any protections under the PID Act are not extended to those who intentionally make a PID that they know is false. This is different from information that turns out to be incorrect or unable to be substantiated.

7. ASSESSING A PUBLIC INTEREST DISCLOSURE

Once the matter has been assessed as a PID, Council will advise the discloser:¹²

- that their information has been received and assessed as a PID
- the action to be taken by Council in relation to the disclosure, which could include referring the matter to an external agency, or investigating
- the likely timeframe involved
- the name and contact details of the Council support officer they can contact for updates or advice
- of the discloser’s obligations regarding confidentiality
- the protections the discloser has under the PID Act
- the commitment of Council to keep appropriate records and maintain confidentiality, except where permitted under the PID Act
- how updates regarding intended actions and outcomes will be provided to the discloser
- contact details for the Council Employee Assistance Program.

If the PID has been made anonymously and the discloser has not provided any contact details, Council will not be able to acknowledge the PID or provide any updates.

Upon receiving a PID, Council will conduct a risk assessment to assess the likelihood of the discloser suffering reprisal action because of having made the disclosure. This assessment will take into account the actual and reasonably perceived risk of the discloser suffering detriment, and will include consultation with the discloser.¹³

Consistent with the assessed level of risk, Council will arrange any reasonably necessary support or protection for the discloser.

8. REFERRING A PUBLIC INTEREST DISCLOSURE

If Council decides there is another proper authority that is better able to deal with the PID, the PID may be referred to that agency.¹⁴ This may be because:

- the PID concerns wrongdoing by that agency or an employee of that agency
- the agency has the power to investigate or remedy the matter.

In these cases, the discloser will be advised of the action taken by Council. It may also be necessary to refer the PID to another agency because of a legislative obligation, for example, refer a matter to the Crime and

¹¹ See *Public Interest Disclosure Act 2010* (Qld) s 66.

¹² See *Public Interest Disclosure Act 2010* (Qld) ss 32, 36-41. See also *Public Interest Disclosure Standard No. 2/2019* s 8 Standard 2.2 s 2.2.2.

¹³ See *Public Interest Disclosure Standard No. 2/2019* s 8 Standard 2.4 s 2.4.2.

¹⁴ See *Public Interest Disclosure Act 2010* (Qld) s 31.

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Corruption Commission where there is a reasonable suspicion that the matter involves or may involve corrupt conduct (as required by section 38 of the *Crime and Corruption Act 2001*).

The confidentiality obligations of the PID Act permit appropriate officers of Council to communicate with another agency about the referral of a PID. Officers will exercise discretion in their contacts with any other agency.

9. DECLINING TO TAKE ACTION ON A PUBLIC INTEREST DISCLOSURE

Under the PID Act, Council may decide not to investigate or deal with a PID in various circumstances, including:

- the information disclosed has already been investigated or dealt with by another process
- the information disclosed should be dealt with by another process
- the age of the information makes it impractical to investigate
- the information disclosed is too trivial and dealing with it would substantially and unreasonably divert Council from the performance of its functions
- another agency with jurisdiction to investigate the information has informed Council that an investigation is not warranted.

If a decision is made not to investigate or deal with a PID Council will give the discloser written reasons for that decision. If the discloser is dissatisfied with the decision they can request a review by writing to the Chief Executive Officer of Council within 28 days of receiving the written reasons for decision.¹⁵

10. INVESTIGATING A PUBLIC INTEREST DISCLOSURE

If a decision is made to investigate a PID, this will be done with consideration for the:

- principles of natural justice
- obligation under the PID Act to protect confidential information¹⁶
- obligation under the PID Act to protect officers from reprisal¹⁷
- interests of subject officers.

If as a result of investigation, the information about wrongdoing provided in the PID is substantiated, appropriate action will be taken.

Where the investigation does not substantiate wrongdoing, Council will review systems, policies and procedures to identify whether there are improvements that can be made and consider if staff training is required.

The discloser and subject officer(s) should be separately informed of the investigation findings and any steps taken as a result. If a PID is substantiated, the discloser should receive advice of this and of any action that will be taken in response. Actions may include one or more of the following:

- stopping the conduct or preventing it from recurring (e.g. providing training and awareness)
- implementing or changing policies, procedures or practices
- offering mediation or conciliation
- taking disciplinary action against a person responsible for the conduct
- referring the conduct to the Queensland Police Service or another person, organisation or entity that has the jurisdiction to take further action.

If the discloser is dissatisfied with Council's response to a PID they made they may raise the matter with the Chief Executive Officer. Disclosers are also entitled to raise the matter with other appropriate entities if they are dissatisfied with Council's response.

¹⁵ Ibid s 30.

¹⁶ Ibid s 65.

¹⁷ Ibid ss 40-42.

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11. ORGANISATIONAL SUPPORT FOR DISCLOSERS

Disclosers should not suffer any form of detriment as a result of making a PID. In the event of reprisal action being alleged or suspected, Council will:

- attend to the safety of disclosers or affected third parties as a matter of priority
- review its risk assessment and any protective measures needed to mitigate any further risk of reprisal
- manage any allegation of a reprisal as a PID in its own right.

Details about disclosures, investigations, and related decisions will be kept secure and accessible only to the people involved in the management of the PID. Council will ensure that communication with all parties involved will be arranged discreetly to avoid identifying the discloser wherever possible.

While Council will make every attempt to protect confidentiality, a discloser's identity may need to be disclosed to:

- provide natural justice to subject officers
- respond to a court order, legal directive or court proceedings.

Disclosers should be aware that while Council will make every attempt to keep their details confidential,¹⁸ it cannot guarantee that others will not try to deduce their identity. Information and support will be provided to the discloser until the matter is finalised.

Making a PID does not prevent reasonable management action. That means that the discloser will continue to be managed in accordance with normal, fair and reasonable management practices during and after the handling of the PID.

12. RIGHTS OF SUBJECT OFFICERS

Council acknowledges that for officers who are the subject of a PID the experience may be stressful. Council will protect their rights by:

- assuring them that the PID will be dealt with impartially, fairly and reasonably in accordance with the principles of natural justice
- confirming that the PID is an allegation only until information or evidence obtained through an investigation substantiates the allegation
- providing them with information about their rights and the progress and outcome of any investigation
- referring them to the Employee Assistance Program for support.

Information and support will be provided to subject officer until the matter is finalised.

13. RECORD KEEPING

In accordance with its obligations under the PID Act and the *Public Records Act 2002*,¹⁹ Council will ensure that:

- accurate data is collected about the receipt and management of PIDs²⁰
- anonymised data is reported to the Office of the Queensland Ombudsman²¹ in their role as the oversight agency, through the PID reporting database.

The following details should be recorded about PIDs received by Council:

- the name of the discloser, if known
- the information disclosed

¹⁸ Ibid s 65.

¹⁹ See *Public Interest Disclosure Act 2010* (Qld) s 66. See also *Public Records Act 2002* s 7(1)(a).

²⁰ See *Public Interest Disclosure Act 2010* (Qld) s 29.

²¹ See *Public Interest Disclosure Standard No. 3/2019* Standard 3.2.

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- any action taken on the PID
- any other information required by a standard issued under the PID Act.

If a Member of Parliament or other entity refers a PID to Council, the name of the MP or other entity must also be recorded.

If a PID was made orally, Council will ensure a written version of the PID is accepted as accurate by the discloser.

14. REPORTING

The PID coordinator will report on a quarterly basis to the EMT:

- The total number of PIDs received during the quarter
- How many PIDs were resolved and the nature of the resolved PIDs
- The length of time to resolve PIDs.

15. DEFINITIONS

Council – means the Mareeba Shire Council including all elected representatives, employees, contractors, volunteers, a Standing or Joint Standing Committee, committee members and any entity under direct Council ownership, management, sponsorship or financial control.

Corrupt Conduct: As defined within the *Crime and Corruption Act 2001*:²²

(1) Corrupt conduct means conduct of a person, regardless of whether the person holds or held an appointment, that—

(a) adversely affects, or could adversely affect, directly or indirectly, the performance of functions or the exercise of powers of—

- (i) a unit of public administration; or
- (ii) a person holding an appointment; and

(b) results, or could result, directly or indirectly, in the performance of functions or the exercise of powers mentioned in paragraph (a) in a way that—

- (i) is not honest or is not impartial; or
- (ii) involves a breach of the trust placed in a person holding an appointment, either knowingly or recklessly; or
- (iii) involves a misuse of information or material acquired in or in connection with the performance of functions or the exercise of powers of a person holding an appointment; and

(c) is engaged in for the purpose of providing a benefit to the person or another person or causing a detriment to another person; and

(d) would, if proved, be—

- (i) a criminal offence; or
- (ii) a disciplinary breach providing reasonable grounds for terminating the person's services, if the person is or were the holder of an appointment.

(2) Without limiting subsection (1), conduct that involves any of the following could be corrupt conduct under subsection (1)—

- (a) abuse of public office;
- (b) bribery, including bribery relating to an election;
- (c) extortion;
- (d) obtaining or offering a secret commission;
- (e) fraud;
- (f) stealing;

²² See *Crime and Corruption Act 2001* s 15.

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- (g) forgery;
- (h) perverting the course of justice;
- (i) an offence relating to an electoral donation;
- (j) loss of revenue of the State;
- (k) sedition;
- (l) homicide, serious assault or assault occasioning bodily harm or grievous bodily harm;
- (m) obtaining a financial benefit from procuring prostitution or from unlawful prostitution engaged in by another person;
- (n) illegal drug trafficking;
- (o) illegal gambling.

Detriment: includes

- (a) personal injury or prejudice to safety; and
- (b) property damage or loss; and
- (c) intimidation or harassment; and
- (d) adverse discrimination, disadvantage or adverse treatment about career, profession, employment, trade or business; and
- (e) financial loss; and
- (f) damage to reputation, including, for example, personal, professional or business reputation.

Discloser: a person who makes a disclosure in accordance with the PID Act.

Maladministration: As defined within the PID Act²³, maladministration is administrative action that—

- (a) was taken contrary to law; or
- (b) was unreasonable, unjust, oppressive, or improperly discriminatory; or
- (c) was in accordance with a rule of law or a provision of an Act or a practice that is or may be unreasonable, unjust, oppressive, or improperly discriminatory in the particular circumstances; or
- (d) was taken—
 - (i) for an improper purpose; or
 - (ii) on irrelevant grounds; or
 - (iii) having regard to irrelevant considerations; or
- (e) was an action for which reasons should have been given, but were not given; or
- (f) was based wholly or partly on a mistake of law or fact; or
- (g) was wrong.

Natural Justice: Natural justice applies to any decision that can affect the rights, interests or expectations of individuals in a direct or immediate way. Natural justice is at law a safeguard applying to an individual whose rights or interests are being affected. The rules of natural justice, which have been developed to ensure that decision-making is fair and reasonable, are: avoid bias; and give a fair hearing. Act only on the basis of logically probative evidence.

Organisational support: for the purposes of this procedure, organisational support means actions such as, but not limited to:

- providing moral and emotional support
- advising disclosers about agency resources available to handle any concerns they have as a result of making their disclosure
- appointing a mentor, confidante or other support officer to assist the discloser through the process
- referring the discloser to the agency's Employee Assistance Program or arranging for other professional counselling
- generating support for the discloser in their work unit where appropriate
- ensuring that any suspicions of victimisation or harassment are dealt with
- maintaining contact with the discloser

²³ See *Public Interest Disclosure Act 2010* (Qld) sch 4

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- negotiating with the discloser and their support officer a formal end to their involvement with the support program when it is agreed that they no longer need assistance.

Proper Authority: A person or organisation that is authorised under the PID Act to receive disclosures.

Public officer: A public officer, of a public agency, is an employee, member or officer of the entity.

Reprisal: The term 'reprisal' is defined within the PID Act²⁴ as causing, attempting to cause or conspiring to cause detriment to another person in the belief that they or someone else:

- has made or intends to make a disclosure; or
- has been or intends to be involved in a proceeding under the PID Act against any person.

Reprisal within the PID Act is a criminal offence and investigations may be undertaken by the Queensland Police Service.

Subject officer: An officer who is the subject of allegations of wrongdoing made in a PID.

16. RELATED DOCUMENTS AND REFERENCES

Administrative Action Complaint Management Policy (MSC)

Bullying and Occupational Violence Policy (MSC)

Code of Conduct for Councillors (MSC)

Crime and Corruption Act 2001 (Qld)

Employee Code of Conduct (MSC)

Enterprise Risk Management Policy (MSC)

Local Government Act 2009 (Qld)

Misconduct and Discipline Policy (MSC)

Ombudsman Act 2001 (Qld)

Public Interest Disclosure Act 2010 (Qld)

Public Interest Disclosure Policy (MSC)

Public Interest Disclosure Standard No. 1/2019 - PID Management Program (Queensland Ombudsman)

Public Interest Disclosure Standard No. 2/2019 - PID Assessing, Investigating and Dealing with PIDs (Queensland Ombudsman)

Public Interest Disclosure Standard No. 3/2019 - PID Recording and Reporting (Queensland Ombudsman)

Public Records Act 2002 (Qld)

Public Sector Ethics Act 1994 (Qld)

Staff Grievance Policy (MSC)

17. REVIEW

It is the responsibility of the Manager Development & Governance to monitor the adequacy of this procedure and implement and approve appropriate changes. This procedure will be formally reviewed every 12 months (1 year) or as required by Council.

²⁴ Ibid s 40

Mareeba Shire Council**OFFICER'S REPORT****SUBJECT: ADOPTION OF PROCESS FOR MAKING LOCAL LAWS****MEETING:** Ordinary**MEETING DATE:** 19 July 2017**REPORT OFFICER'S
TITLE:** Compliance Coordinator**DEPARTMENT:** Corporate and Community Services**EXECUTIVE SUMMARY**

Section 28 of the Local Government Act 2009 (LGA) provides the head of power for Local Governments to make Local Laws. It states "A local government may make and enforce any local law that is necessary or convenient for the good rule and local government of its local government area."

The Council may, at any time, make a resolution pursuant to section 29(1) of the LGA to decide a different process for making a particular local law, as long as the process complies with the requirements of Chapter 3, Part 1 of the Act.

OFFICER'S RECOMMENDATION

"That Council in accordance with section 29 of the Local Government Act 2009 adopt the Process for Making Local Laws as attached."

BACKGROUND

Council's Local Laws were last reviewed during the period of amalgamation and made in 2011 and are therefore titled "*Tablelands Regional Council Local Laws 2011*". In order to remove the reference to Tablelands Regional Council from the title, Council needs to make new local laws and repeal the existing laws.

As a number of areas in the current local laws have been noted as being redundant, deficient or requiring amendment, it is suggested that Council commences a review of the existing local laws before resolving to make the new local laws.

Section 28 of the LGA provides the power for Councils to make a local law while section 29 requires that Councils adopt a local law making process which is consistent with the LGA. The LGA no longer requires the minimum 21 days for public consultation however many Councils have maintained this timeframe in their process for making local laws. Some Councils have referred to their Community Engagement Policy for the process of engaging with the community which provides them with flexibility in the process. For Mareeba Shire, it is suggested that Council maintains the 21 day minimum as Council's Community Engagement Policy has not been reviewed for some time and contains no timeframes or defined process for consultation.

LINK TO CORPORATE PLAN

Governance - Develop a clear communication plan to engage with communities, including by increased councillor availability, to achieve a greater understanding of Council decision making processes and policies.

CONSULTATION

Internal
Manager Development and Governance

External
Nil

LEGAL AND RISK IMPLICATIONS (STATUTORY BASIS, LEGAL AND RISKS)

Nil

POLICY IMPLICATIONS

Nil

FINANCIAL & RESOURCE IMPLICATIONS

Capital
Nil

Operating
Advice and process requirements to be provided by Barrister, Dr Michael Limerick.

Is the expenditure noted above included in the 2015/2016 budget?
Nil

If not you must recommend how the budget can be amended to accommodate the expenditure
Nil

IMPLEMENTATION/COMMUNICATION

On commencement of the review of Local Laws, Managers and Coordinators will be briefed on the review process and be encouraged to participate in reviewing Local Law provisions relevant to their sections.

ATTACHMENTS

1. Local Law Making Process

Date Prepared: 10 July 2017



Process for Making Local Laws

FOR REPEAL

Council Policy <input checked="" type="checkbox"/>	Internal Policy <input type="checkbox"/>	Guideline/Procedure <input type="checkbox"/>
Draft <input checked="" type="checkbox"/>	Final <input type="checkbox"/>	Version:
File ref:	Policy Section:	Development & Governance
Date Adopted:	Review Date:	
Author:	Compliance Coordinator	Review Officer: Manager Development & Governance



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For repeal



1. FOREWORD

Pursuant to section 29(1) of the Local Government Act 2009 ('the LGA'), this document sets out the Council's process for making a local law.

2. INTRODUCTION

The LGA provides as follows:

29(1) Local law making process

A local government may decide its own process for making a local law to the extent that the process is not inconsistent with this part.

As section 29(1) indicates, Chapter 3, Part 1 of the Act sets out minimum procedural requirements that must be complied with by the Council in making any local law, but apart from these requirements, it is a matter for the Council to decide its own process for making a local law. The Local Government Act 2009 is much less prescriptive about local law making processes than the previous Local Government Act 1993, particularly in relation to public consultation. The former Act generally required public consultation for a minimum of 21 days for all local laws except model local laws and interim local laws.

This document sets out the general processes decided by the Council for making different types of local laws. For completeness, the document incorporates and repeats the processes required per the Act, but its main function is to fill in the gaps by indicating the Council's own processes for matters not stipulated by the Act.

3. DEFINITIONS (SEE SECTION 26, LGA)

1. A **local law** is a law made by a local government.
2. A **model local law** is a local law that the Minister has approved, by gazette notice, as being suitable for adoption by all local governments.
3. An **interim local law** is a local law that has effect for 6 months or less.
4. A **subordinate local law** is a local law that—
 - is made under a power contained in a local law; and
 - provides for the detailed implementation of the broader principles contained in the local law.

4. APPLICATION

The process set out in this document will be applicable whenever the Council decides to make a new local law (including one that amends an existing local law) unless the Council makes a resolution amending this process. The Council may, at any time, make a resolution pursuant to section 29(1) of the LGA to decide a different process for making a particular local law, as long as the process complies with the requirements of Chapter 3, Part 1 of the Act. This document indicates the elements of the local law-making process that are



stipulated by the Act and therefore cannot be changed by the Council by using the words 'legislative requirement'.

5. PROCESSES FOR MAKING LOCAL LAWS

(A). PROCESS FOR MAKING A MODEL LOCAL LAW

<u>Step</u>	<u>Explanation</u>
1. Council makes a resolution proposing to adopt the model local law and to repeal any existing local laws that would be inconsistent with the model local law.	<p>This places Council's intention to adopt the new local law on the public record and enables consideration of any consultation or public interest test processes required.</p> <p>Under the Act, the model local law can include a provision to repeal any existing local law that would be inconsistent with the model local law (see s.29A(2)(b) LGA). This will avoid the need for a separate repealing local law requiring a State interest check.</p>
2. Council reviews the model local law to identify any possible anti-competitive provisions, using the 'Guidelines to assist Local Governments to identify possible anti-competitive provisions in proposed local laws and proposed local law policies'	Legislative requirement – s.38 LGA, s.16 <i>Local Government Regulation 2012</i> .
3. If the model local law contains possible anti-competitive provisions, Council undertakes a Public Interest Test process in line with the 'National Competition Policy Guidelines for conducting public interest tests on possible anti-competitive provisions in local laws and local law policies'	Legislative requirement – s.38 LGA, s.16 <i>Local Government Regulation 2012</i> .
4. Council undertakes any appropriate community engagement in accordance with the Council's 'Community Engagement Policy' and 'Guide to Engagement'	Depending on the significance and impact of the proposed model local law, engagement might involve public advertising for a period of weeks and consideration of submissions by the public. Model local laws have already been subjected to Statewide community consultation by the State prior to gazettal, so the Council may decide not to undertake further engagement or to limit engagement to the subordinate local laws made under the model local law, as these generally contain the detailed regulation.
5. Council makes a resolution adopting the model local law (assuming any Public Interest Test/community engagement confirms the Council's desire to proceed).	Legislative requirement – local laws must be made by resolution (see s.29(2) LGA).
6. Council gives public notice of the local law by	Legislative requirement – s.29B LGA. See

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publishing a notice of the making of the local law in the Government Gazette and on the Council's website, within one month of the date of the resolution to make the local law	s.29B(3) and (4) for requirements for the notices.
7. As soon as practicable after the notice is published in the Gazette, Council ensures copies of the local law are available for inspection and purchase by the public at its public office.	Legislative requirement – s.29B(5) LGA
8. Within 14 days after the notice is published in the Gazette, Council forwards to the Minister: a) a copy of the notice; and b) a copy of the local law in electronic form.	Legislative requirement – s.29B(7) LGA
9. Council updates its local law register	Legislative requirement – s.31 LGA and s.14 Local Government Regulation 2012

(B) PROCESS FOR MAKING A LOCAL LAW THAT IS NOT A MODEL LOCAL LAW OR INTERIM LOCAL LAW

<u>Step</u>	<u>Explanation</u>
1. Council makes a resolution proposing to make the local law.	This places Council's intention to adopt the new local law on the public record and enables consideration of any consultation or public interest test processes required.
2. Council contacts any relevant State government entities to seek their views about the overall State interest in the proposed local law.	Legislative requirement – s.29A(3) LGA.
3. Council reviews the local law to identify any possible anti-competitive provisions, using the 'Guidelines to assist Local Governments to identify possible anti-competitive provisions in proposed local laws and proposed local law policies'	Legislative requirement – s.38 LGA, s.16 Local Government Regulation 2012.
4. If the local law contains possible anti-competitive provisions, Council undertakes a Public Interest Test process in line with the 'National Competition Policy Guidelines for conducting public interest tests on possible anti-competitive provisions in local laws and local law policies'	Legislative requirement – s.38 LGA, s.16 Local Government Regulation 2012).
5. Council undertakes any appropriate community engagement in accordance with the Council's 'Community Engagement Policy' and 'Guide to Engagement'	Depending on the significance and impact of the proposed local law, engagement might involve public advertising for a period of weeks and consideration of submissions by the public.
6. Council considers the results of the State interest check, engagement with the community and Public Interest Test consultations and makes any amendments to the	Note that if the Council decides to change the draft local law, it will then consider whether or how much further community

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 **Mareeba**
SHIRE COUNCIL **Process for Making Local Laws**

proposed draft local law as necessary	engagement might be required regarding the revised draft.
7. Council makes a resolution to make the local law (either in its original form or as amended during step 6)	Legislative requirement – local laws must be made by resolution (see s.29(2) LGA).
8. Council gives public notice of the local law by publishing a notice of the making of the local law in the Government Gazette and on the Council’s website, within one month of the date of the resolution to make the local law	Legislative requirement – s.29B LGA. See s.29B(3) and (4) for requirements for the notices.
10. As soon as practicable after the notice is published in the Gazette, Council ensures copies of the local law are available for inspection and purchase by the public at its public office.	Legislative requirement – s.29B(5) LGA
11. Within 14 days after the notice is published in the Gazette, Council forwards to the Minister: a) a copy of the notice; and b) a copy of the local law in electronic form.	Legislative requirement – s.29B(7) LGA
12. Council updates its local law register	Legislative requirement – s.31 LGA and s.14 Local Government Regulation 2012

(C) PROCESS FOR MAKING AN AMENDMENT TO AN EXISTING LOCAL LAW

To amend an existing local law requires a separate amending local law that contains the amendments. For example, the amending local law might contain only one provision, which inserts a new offence into the existing local law. To make an amendment to a local law, the process is the same as for making an entirely new local law – i.e. the process will be as per ‘B. PROCESS FOR MAKING A LOCAL LAW OTHER THAN A MODEL LOCAL LAW OR INTERIM LOCAL LAW’.

This process will also apply where the Council amends an adopted model local law.

(D) PROCESS FOR MAKING AN INTERIM LOCAL LAW

The process for making an interim local law is the same as set out above under ‘B. PROCESS FOR MAKING A LOCAL LAW OTHER THAN A MODEL LOCAL LAW OR INTERIM LOCAL LAW’, except that steps 3 and 4 relating to anti-competitive provisions do not apply (see section 38(3) LGA). An interim local law can only have effect for 6 months or less (section 26(4) LGA) and must contain a provision stating when the local law expires (section 29(4) LGA).



(E) PROCESS FOR MAKING A SUBORDINATE LOCAL LAW

Step	Explanation
1. Council makes a resolution proposing to make the subordinate local law.	This places Council's intention to adopt the new subordinate local law on the public record and enables consideration of any consultation or public interest test processes required.
2. Council reviews the subordinate local law to identify any possible anti-competitive provisions, using the 'Guidelines to assist Local Governments to identify possible anti-competitive provisions in proposed local laws and proposed local law policies'	Legislative requirement – s.38 LGA, s.16 <i>Local Government Regulation 2012</i> .
3. If the subordinate local law contains anti-competitive provisions, Council undertakes a Public Interest Test process in line with the 'National Competition Policy Guidelines for conducting public interest tests on possible anti-competitive provisions in local laws and local law policies'	Legislative requirement – s.38 LGA, s.16 <i>Local Government Regulation 2012</i> .
4. Council undertakes any appropriate community engagement in accordance with the Council's 'Community Engagement Policy' and 'Guide to Engagement'	Depending on the significance and impact of the proposed subordinate local law, engagement might involve public advertising for a period of weeks and consideration of submissions by the public.
5. Council considers the results of any engagement with the community and Public Interest Test consultations and makes any amendments to the proposed draft subordinate local law as necessary	Note that if the Council decides to change the draft subordinate local law, it will then consider whether or how much further community engagement might be required regarding the revised draft.
6. Council makes a resolution making the subordinate local law (either in its original form or as amended during step 5)	Legislative requirement – local laws must be made by resolution (see s.29(2) LGA).
9. Council gives public notice of the subordinate local law by publishing a notice of the making of the subordinate local law in the Government Gazette and on the Council's website, within one month of the date of the resolution to make the local law	Legislative requirement – s.29B LGA. See s.29B(3) and (4) for requirements for the notices.
10. As soon as practicable after the notice is published in the Gazette, Council ensures copies of the subordinate local law are available for inspection and purchase by the public at its public office.	Legislative requirement – s.29B(5) LGA
11. Within 14 days after the notice is published in the Gazette, Council forwards to the Minister: a) a copy of the notice; and b) a copy of the local law in electronic form.	Legislative requirement – s.29B(7) LGA
12. Council updates its local law register	Legislative requirement – s.31 LGA and s.14 <i>Local Government Regulation 2012</i>

**(F) PROCESS FOR MAKING AN AMENDMENT TO A SUBORDINATE LOCAL LAW**

To amend an existing subordinate local law requires a separate amending subordinate local law that contains the amendments. To make an amendment to a subordinate local law, the process is the same as for making an entirely new subordinate local law – i.e. the process will be as per 'E. PROCESS FOR MAKING A SUBORDINATE LOCAL LAW'.

6. SUPPORTING DOCUMENTATION

Local Government Act 2009

Local Government (Operations) Regulation 2010

SUBJECT: ADOPTION OF PROCESS FOR MAKING LOCAL LAWS

Moved by Cr Toppin

Seconded by Cr Brown

"That Council in accordance with section 29 of the Local Government Act 2009 adopt the Process for Making Local Laws as attached."

CARRIED

For repeal



Statement of Management Intent – Flying-fox Roost Management

Policy Type	Governance Statement	Version:	2.0
Responsible Officer	Coordinator Health & Local Laws	Date Approved:	17/07/2024
Review Officer:	Manager Development & Governance	Review Due:	17/06/2028
Author:	Coordinator Health & Local Laws	Commencement:	17/07/2024

1. PURPOSE

To declare the approach that Mareeba Shire Council (Council) will take to the management of flying-fox roosts in the Mareeba Shire.

2. SCOPE

This Statement of Management Intent applies across the Mareeba Shire Council jurisdiction.

3. POLICY STATEMENT

3.1 AUTHORITY

Under the *Nature Conservation Act 1992* (Qld), local governments in Queensland have an as-of-right authority to undertake roost management at flying-fox roosts in designated Urban Flying-Fox Management Areas (UFFMAs). An UFFMA for a local government area is defined by maps available from the website of the Department of Environment, Science and Innovation (DESI).

Outside an UFFMA, a local government requires a flying-fox roost management permit (FFRMP), available from EHP. A non-council applicant requires a FFRMP irrespective of the location of the roost.

Further information on the Queensland Government’s roost management framework is available by searching for the term ‘roost management’ on the DESI webpage www.desi.qld.gov.au

3.2 LOCATION OF THE UFFMA

A map of the Mareeba Shire Council UFFMA is available at the following webpage: <https://www.qld.gov.au/environment/plants-animals/animals/living-with/bats/flying-foxes/roost-monitoring-locations/urban-management-areas>

Residents who wish to view a map of their own property in relation to the UFFMA can do so through the following website: <https://environment.desi.qld.gov.au/wildlife/animals/living-with/bats/map-request>

3.3 COUNCIL INTENTIONS AND CONSIDERATIONS

Council will coordinate the management of flying-fox roosts on Council owned or State land placed under the control of Council pursuant to the *Land Act 1994* (Qld) within and outside the UFFMA. Costs relating to the management of the flying-fox roost will be negotiated prior to the application for or implementation of any permit or action.

<p>Human Rights Compatibility Statement This policy has been drafted in alignment with obligations under s 58 of the <i>Human Rights Act 2019</i> (Qld).</p>
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Statement of Intent – Fly-fox Roost Management

Where a flying-fox roost is on Council owned or State land placed under the control of Council pursuant to the *Land Act 1994* (Qld) and either State land or private land, Council will work with the relevant landholder to manage the flying-fox roost. Costs relating to the management of the flying-fox roost will be the responsibility of both Council and the relevant landholders and will be negotiated prior to the application for or implementation of any permit or action.

Please note, Mareeba Shire Council's intent is to not be involved in the management of flying-fox roosts solely on State land or private land or a combination of the two.

Factors that Council will consider before deciding whether to take any action at particular sites, includes:

- The wellbeing impacts and concerns that nearby residents are experiencing;
- Whether there are any risks to human health or wellbeing from a roost;
- Whether a roost is on Council land and State land or private land, whether consent for Council to undertake management has been provided by all relevant landholders, and full cost recovery, proportionate to the land, has been agreed to before commencement of dispersal action.

Additional factors that Council will consider in deciding the most appropriate action to take at particular sites, includes:

- The cost of various management actions; and who would contribute to these costs;
- The number of each species of flying-foxes at a roost, and what Council's intention would be should the flying-foxes be breeding or rearing their young;
- Whether good outcomes may be achieved with minimal management interventions (such as community education) or moderate management interventions such as 'nudging' or 'buffering', processes by which the impact of an existing roost may be managed by its reduction.

Further factors that Council will consider, where Council decides, for particular sites, that the most appropriate action is dispersal, includes:

- The number of years that flying-foxes have used a particular roost site
- The likelihood of flying-foxes relocating to a site of greater conflict with the community
- Whether flying-foxes at the site are capable of independent flight at the time of year proposed for driving them away
- Whether a proposed management action may cause harm to flying-foxes.

If residents are dissatisfied with Council's approach at a particular roost site, they may apply for a permit directly from EHP.

If a roost is on private land, low impact activities may be undertaken by a person as-of-right under the relevant code of practice. The *Code of practice – Low impact activities affecting flying-fox roost*. Council's roost management dispersal actions will be undertaken in compliance with the *Code of Practice – Ecologically sustainable management of flying-fox roosts*.

3.4 FURTHER INFORMATION

For further information on flying-fox management contact Mareeba Shire Council on 1300 308 461 or visit Council's website at <http://www.msc.qld.gov.au> or visit the DESI website at <http://www.desi.qld.gov.au>

4. REPORTING

No additional reporting is required

Statement of Intent – Fly-fox Roost Management
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5. DEFINITIONS

Definitions are needed to explain the terminology used in the policy.

6. RELATED DOCUMENTS AND REFERENCES

Code of Practice – Ecologically sustainable management of flying-fox roosts (State of Queensland 2021)

Code of practice – Low impact activities affecting flying-fox roost (State of Queensland 2021)

Land Act 1994 (Qld)

Nature Conservation Act 1992 (Qld)

7. REVIEW

It is the responsibility of the Manager Development & Governance to monitor the adequacy of this policy and implement and approve appropriate changes. This policy will be formally reviewed every four (4) years or as required by Council.



Procurement Policy

Policy Type	Governance Policy	Version:	3.0
Responsible Officer	Manager Finance	Date Approved:	17/07/2024
Review Officer:	Director Corporate & Community Services	Review Due:	17/06/2025
Author:	Director Corporate & Community Services	Commencement:	17/07/2024

1. PURPOSE

This policy sets out Council’s position on the acquisition of goods and services and carrying out of the procurement principles to ensure all Council officers adhere to sound contracting principles in the course of day-to-day operations to achieve value for money for Council.

2. SCOPE

This policy applies to the procurement of all goods, materials, equipment and related services, construction contracts, service contracts (including maintenance) and consultant services.

The principles outlined in this policy must be followed by Council officers, labour hire, volunteers, contractors, and consultants when procuring any goods, services and works for any Council related activity or purpose and should be read in conjunction with the Guidelines for Procurement Administration.

3. PROCUREMENT PRINCIPLES

3.1 CONTRACTING PRINCIPLES

All Council purchases must be carried out in compliance with the *Local Government Act 2009* (“the Act”) and the *Local Government Regulation 2012* (“the Regulation”). In particular, Chapter 6, Part 3 – Default contracting procedures of the Regulation apply.

Council employees must have regard to the following contracting principles in all procurement activities:

3.1.1 Value for Money

Council must harness its purchasing power to achieve the best value for money. The concept of value for money is not restricted to price alone.

3.1.2 Open and Effective Competition

Purchasing should be open and transparent, and result in effective competition in the provision of goods and services. Council must give fair and equitable consideration to all prospective suppliers.

3.1.3 Development of Competitive Local Business and Industry

Council's policy is to support local businesses and industries where practicable to support the viability of local businesses in all townships within the Mareeba Shire Council area.

In accordance with section 104(3)(c) of the Act, Council wishes to pursue the principle and objectives of enhancing the capabilities of local business and industry as part of the process of making its purchasing

Procurement Policy

decisions. For this purpose, local suppliers shall be allowed certain concessions in respect to contracted arrangements:

- (i) **Price**
Prices offered by local suppliers shall be considered to be comparable with non-local suppliers where the local supplier’s offered price is no more than 10% higher (up to the tolerance of \$5,000) than the lowest priced offered. (E.g., the local supplier can be evaluated as price comparable when the local supplier price is less than or equal to the non-local supplier price, excluding GST + 10%, where the 10% margin is less than \$5,000).
- (ii) **Local Business Development**
In the evaluation of tenders or offers, Council may attribute a portion of the selection criteria to local business preference. The score weighting applied to the local business preference criteria shall be no more than a 10% weighting within the overall criteria (100%).

In order to apply the Local Business Preference component, employees must seek and evaluate tenders and offers from non-local suppliers. It is not intended that this preference be granted at officer discretion.

3.1.4 Environmental Protection

Council promotes environmental protection through its purchasing procedures.

3.1.5 Ethical Behaviour, Fair Dealing and Probity

Council employees involved in purchasing are to behave with impartiality, fairness, independence, openness, integrity, and professionalism in their discussions and negotiations with suppliers and their representatives.

The use of probity advisors or probity auditors shall be considered where the large-scale procurement arrangement is sensitive, highly complex, of public interest or likely to be challenged.

3.2 WORKPLACE HEALTH AND SAFETY PROCUREMENT CONSIDERATIONS

Council employees involved in purchasing are to abide by Council's *Workplace Health and Safety Procurement procedures (WP3.6.1 Purchasing and Supplier Control Guidelines, and WP3.7.1 Contractor Management Procedure)*.

4. PROCUREMENT OF GOODS AND SERVICES

4.1 PURCHASING REQUIREMENTS

The approved method for procurement is outlined in Council’s *Guidelines for Procurement Administration*.

4.2 MINOR AND PETTY CASH PURCHASES UP TO \$100 (EXCLUSIVE OF GST)

Purchases of minor amounts of goods and services to the value of \$40 may be made from petty cash as an expense reimbursement. However, expense reimbursements of up to \$100 may be made by petty cash where an emergency or immediate payment is required.

Please refer to Council’s *Petty Cash Procedure* for further information.

4.3 SUMMARY OF PROCUREMENT THRESHOLDS

Purchase of Goods and Services

Procurement Policy

Exclusive of GST	Inclusive of GST	Documentation required
Less than \$5,000	Less than \$5,500	One (1) Verbal Quote
\$5,000 to \$15,000	\$5,500 to \$16,500	Two (2) Written Quotes
\$15,000 to \$200,000	\$16,500 to \$220,000	Three (3) Written Quotes on VendorPanel
Greater than \$200,000	Greater than \$220,000	Tenders on VendorPanel

4.4 PURCHASES UP TO \$5,000 (EXCLUSIVE OF GST)

Purchases of goods and services to the value of \$5,000 must be raised in Council's electronic purchase order system. There is no requirement for multiple quotes for purchases up to \$5,000.

Low value items (purchases valued at less than \$2,000) may be made by corporate credit card where purchases are irregular and where it is more cost effective to do so.

4.5 PURCHASES BETWEEN \$5,000 AND UP TO \$15,000 (EXCLUSIVE GST)

Goods or services to this value require a minimum of two (2) written (or emailed) quotes except where the acquisition was an emergency purchase or acquired from a sole-supplier or under a formal preferred supplier arrangement. Details of quotes are to be input into the purchase requisition and the quote must be attached to the requisition.

VendorPanel is preferred to be used to source quotes for all purchases between \$5,000 and \$15,000. However, other written quotes will be accepted.

In cases of a genuine emergency or where a sole supplier exists a notation shall be included in the electronic purchase order system field.

Where a pre-qualified supplier arrangement is being used, the contract number of the pre-qualified supplier arrangement shall be placed in the relevant field within Council's electronic purchase order system.

Please refer to the *Guidelines for Procurement Administration* for further information.

4.6 MEDIUM SIZED CONTRACTS - PURCHASES BETWEEN \$15,000 AND \$200,000 (EXCLUSIVE OF GST)

Section 225 of the Regulation states that a local government cannot enter into a medium-sized contract unless it first invites written quotes for the arrangement, and requires that:

- The invitation must be given to at least three (3) persons/entities who the local government considers can meet the requirements, at competitive prices.

VendorPanel is to be used to source quotes for all medium sized contracts.

The local government may decide not to accept any of the quotes received. If the local government does decide to accept a quote, it must accept the quote most advantageous to the organisation, having regard to the sound contracting principles in section 104 of the LGA.

Please refer to the *Guidelines for Procurement Administration* for further information.

4.7 LARGE SIZED CONTRACTS - PURCHASES ABOVE \$200,000 (EXCLUSIVE OF GST)

Section 226 of the Regulation states that a local government cannot enter into a large-sized contract unless it first invites written tenders in accordance with section 228.

Procurement Policy

Section 228(2) requires that Council invite written tenders under section 228(4) or invite expressions of interest under section 228(5) before considering whether to invite written tenders.

Please refer to Council's *Guidelines for Procurement Administration* for further information.

4.7.1 Invitations to Tender

Section 228(4) of the Regulation specifies the invitation must;

- be published on the local government's website for at least 21 days; and
- allow written tenders to be given to the local government while the invitation is published on the website.

Also, the local government must take all reasonable steps to publish the invitation for tenders or for expressions of interest in another way to notify the public about the tender process e.g. (relevant industry publication, eprocurement site or newspaper).

Tenders are to be submitted to the Electronic Tender Box (VendorPanel).

Council may decide not to accept any tenders it receives, however, if it does decide to accept a tender, it must be the most advantageous to Council having regard to the Sound Contracting Principles in Section 3 of this Policy document.

4.7.2 Expressions of Interest Invitations

Section 228(3)(a) and (b) of the Regulation, requires that where Council believes that it would be in the public interest to invite expressions of interest before seeking written tenders, this decision must be formally resolved and recorded in minutes.

The Expression of Interest invitation must:

- be published on the local government's website for at least 21 days; and
- allow written tenders to be given to the local government while the invitation is published on the website.

Also, the local government must take all reasonable steps to publish the invitation for tenders or for expressions of interest in another way to notify the public about the tender process e.g. (relevant industry publication, e-procurement site or newspaper).

Under section 228(7), if Council invites Expressions of Interest, the local government may prepare a shortlist and invite written tenders from shortlisted parties.

4.8 VARIATIONS TO TENDER OR CONTRACT

During the management of a contract, there may be occasions when variations occur. A variation is when there is a change to the agreed scope of works, due to a variety of factors such as time or delays, methodology changes or latent conditions or cost implications.

For an original purchase order involving a cost of more than \$200,000, if the cumulative value of variations exceeds 20% of the value of the original purchase order or \$200,000, whichever is the lesser, the variation and all further variations must be considered by Council's Executive Management Team, with a consolidated report of all these variations presented to Council as part of the Monthly Finance Report.

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Please refer to Council's *Guidelines for Procurement Administration* for further information.

4.9 ASSESSING PROCUREMENT VALUE

Where it is *likely* that the value of the contractual arrangement *could* exceed \$200,000, employees shall invite tenders or expressions of interest.

The **entire contract value** includes contracted sum, possible variations, possible project overruns, project contingencies, retainers and retentions.

4.10 EXCEPTIONS TO REQUIREMENTS TO INVITE WRITTEN QUOTATIONS AND TENDERS

Chapter 6, Part 3, Division 3 of the Regulation identifies exceptions for medium and large-sized contracts. The following exceptions apply to all procurement over \$5,000.

4.11 PRE-QUALIFIED SUPPLIERS - SECTION 232 OF THE REGULATION

The organisation may enter into an arrangement without first inviting tenders or quotations if it is entered with a supplier from a register of pre-qualified suppliers (ROPS) only where a register of pre-qualified suppliers has been determined by Council resolution.

A register of pre-qualified suppliers of particular goods or services may be established only if:

- the preparation and evaluation of invitations each time the goods or services are needed would be costly; or
- the capability or financial capacity of the supplier of the goods or services is critical; or
- (the supply of the goods or services involves significant security considerations; or
- a precondition of an offer to contract for the goods or services is in compliance with particular standards or conditions decided by Council; or
- the ability of local business to supply the goods or services needs to be identified or developed.

Please refer to Council's *Procedure for Procuring Pre-Qualified Suppliers* for further information.

4.12 SOLE SUPPLIER/PREFERRED SUPPLIER ARRANGEMENTS – SECTIONS 235/233 OF THE REGULATION

Section 235 of the Regulation specifies that Council can only enter a medium or large sized contract without first inviting quotes or tenders if:

- Council resolves that it is satisfied that there is only one supplier reasonably available to it; or
- Council resolves that, because of the specialised or confidential nature of the services that are sought, it would be impractical or disadvantageous for the local government to invite quotes or tenders; or
- a genuine emergency exists; or
- the contract to purchase goods is made at an auction; or
- the contract is for the purchase of second-hand goods; or
- the contract is made with, or under an arrangement with a government body.

The organisation may also enter into an arrangement without first inviting tenders or quotations only where a preferred supplier arrangement has been determined by Council resolution, section 233 of the Regulation, however Mareeba Shire Council does not utilise Preferred Supplier Arrangements.

Procurement Policy

4.13 LOCAL BUY/LGA ARRANGEMENT – SECTION 234 OF THE REGULATION

Under this provision, the organisation may enter into an arrangement without first inviting written quotes or tenders if the contract is an LGA arrangement.

The term *Local Buy* does not mean Council's local business preference described in section 3.1.3 of this policy.

4.14 TENDER CONSIDERATION PLAN – SECTION 230 OF THE REGULATION

The Council may enter into a contract without first inviting written quotes or tenders if Council decides, by resolution, to prepare a quote or tender consideration plan and formally prepares and adopts the plan.

4.15 CONTRACTOR ON AN APPROVED CONTRACTOR LIST – SECTION 231 OF THE REGULATION

The exception to seek written quotations and tenders from Contractors is available if Council has an Approved Contractor list.

Mareeba Shire Council does not utilise Contractor lists.

4.16 ELECTRONIC TENDERING

Tender submissions are to be made electronically via the Electronic Tender Box (VendorPanel).

4.17 AUSTRALIAN BUSINESS REGISTRATION NUMBER (ABN)

Council will only procure from suppliers who can provide an ABN. The only exception to this will be where a supplier is eligible to complete the Australian Taxation Office Statement by a Supplier form and provides the completed form to Council prior to making the supply or providing the service to Council.

4.18 DISPOSAL OF LAND AND NON-CURRENT ASSETS

As per Section 227 of the Regulation, Council must not enter into a valuable non-current asset contract (disposal of a valuable non-current asset) unless it first invites written tenders for the contract under Section 228 or offers the non-current asset for sale by auction or offers the non-current asset for sale by auction.

Council may dispose of a valuable non-current asset other than by tender or auction in accordance with Section 236 of the Regulation.

4.19 CORPORATE CREDIT CARDS

In some instances, a credit card will be issued for one or a number of specific uses only, in these cases the cardholder must adhere to stringent guidelines. When this occurs, the specific guidelines will be clearly stated and included on the Corporate Credit Card Agreement form assigned to that employee.

Please refer to Council's current *Corporate Credit Card Policy* for further information.

4.20 BUDGETARY PROVISIONS

It is expected that all goods and services acquired are in accordance with the adopted annual budget and/or a Council Resolution, and sufficient funds must be available to meet the full cost of the proposed procurement.

Procurement Policy

4.21 FINANCIAL DELEGATIONS

The Chief Executive Officer has the delegated authority to expend funds as provided for in the budget, taking into account all other limitations as set out in this policy. The Chief Executive Officer will establish the positions and authorised financial delegation limits assigned to each department.

The positions are authorised to contract on behalf of Council and/or approve purchase orders, for expenditure up to their financial delegation limits. By approving a purchase order, all employees are confirming that they have taken full notice of this policy and will comply with all of the requirements of this policy.

4.22 LIMITATIONS

There are limitations, notwithstanding the financial delegation, in regard to the type of purchases permitted by individuals.

The restricted purchases and approved methods for this procurement is outlined in Council's *Guidelines for Procurement Administration*.

5. REPORTING

Council must comply with reporting requirements set out in both the *Local Government Act 2009* and the *Local Government Regulation 2012*.

6. DEFINITIONS

Contract – means a formal legally binding instrument between Council and a Contractor which details the terms which govern the performance of work

Contractor – means the entity who enters into a formal contract to perform work for Mareeba Shire Council

Electronic Tender Box - Council's chosen online portal for receiving quotes and tender submission is VendorPanel.

Emergent works - late notice of requirements to purchase but still require the full provisions of the purchasing policy. Emergent works that are urgent due to a genuine sudden state or condition considered a risk to public safety, the environment, workplace health and safety or legislative requirements which requires a significant and immediate response.

Large sized contracts - contracts of value above \$200,000 exclusive of GST.

LGA arrangement - one that has been entered into by LGAQ Ltd or an associate entity which LGAQ Ltd is the only shareholder, such as *Local Buy* which is the Local Government Association of Queensland's procurement services company.

Local Supplier is a supplier that:

- a) is beneficially owned by persons who are residents or ratepayers in the Mareeba Shire Council; or
- b) has its principal place of business/registered office within the Mareeba Shire Council; or
- c) otherwise has a place of business within the Mareeba Shire Council which solely or primarily employs persons who are residents or ratepayers of the Shire.

Medium sized contracts - contracts of value between \$15,000 to \$200,000 exclusive of GST.

Procurement Policy

Non-Local Supplier is a supplier that does not fit the definition of local supplier.

Preferred supplier arrangement (PSA) - An arrangement for the supply of goods or services under agreed pricing conditions for a stated period. A PSA is different from other arrangements as it ranks the suppliers. The first preference has first right of refusal.

Pre-Qualified supplier is a supplier who has been assessed by the local government as having the technical, financial and managerial capability necessary to perform contracts on time and in accordance with agreed requirements.

A **quote or tender consideration plan** is a document stating:

- the objectives of the plan; and
- how the objectives are to be achieved; and
- how the achievement of the objectives will be measured; and
- any alternative ways of achieving the objectives, and why the alternative ways were not adopted; and
- the proposed terms of the contract for the goods or services; and
- a risk analysis of the market from which the goods or services are to be obtained.

Register of pre-qualified suppliers (ROPS) - A pre-qualified supplier is a supplier who has been assessed by Council as having the technical, financial and managerial capability necessary to perform contracts on time and in accordance with agreed requirements. The ROPS is compiled after a tender process.

Sole Supplier - a supplier of goods or services that no other suppliers can provide or with the constraints of distance it not being viable for other suppliers to compete for the supply of goods or services.

Principal contractor – holds the meaning assigned under section 293 of the WHS Reg.

Site – means a workplace as defined under section 8 of the WHS Act

7. RELATED DOCUMENTS AND REFERENCES

Advertising Spending Policy (MSC)

AS/NZS ISO 31000:2018 Risk Management - Guidelines (Standards Australia)

Council's Standard Terms and Conditions for Goods and Services (MSC)

Council's Standard Terms and Conditions for Professional Services (MSC)

Corporate Credit Card Policy (MSC)

Employee Code of Conduct (MSC)

Entertainment and Hospitality Policy (MSC)

Gifts and Benefits Register (MSC)

Guidelines for Procurement Administration (MSC)

Local Government Act 2009 (Qld)

Local Government Regulation 2012 (Qld)

Non-Current Asset Policy (MSC)

Petty Cash procedure (MSC)

Procedure for Procuring Pre-Qualified Suppliers (MSC)

Work Health and Safety procedure: WP3.6.1 Purchasing and Supplier Control (MSC)

Work Health and Safety procedure: WP3.7.1 Contractor Management Procedure (MSC)

Procurement Policy

8. REVIEW

It is the responsibility of the Director Corporate and Community Services to monitor the adequacy of this policy and recommend appropriate changes. This policy will be formally reviewed annually or as required by Council.

8.8 SALE OF LOTS 418 AND 419 K2351 KINGSBOROUGH

Date Prepared: 25 June 2024

Author: Coordinator Governance & Compliance

Attachments: 1. Valuation Report - Lots 418 and 419 K2351 [↓](#)

EXECUTIVE SUMMARY

This report seeks approval for sale of Lots 418 and 419 K2351, Caledonia Street Kingsborough via exception provisions in accordance with requirements under section 236 of the *Local Government Regulation 2012* (Qld).

RECOMMENDATION

That Council:

1. Determines that section 236(1)(c)(iv) of the *Local Government Regulation 2012* (Qld) applies to the proposed sale of Lots 418 and 419 K2351 Caledonia Street Kingsborough;
2. Approves the sale of Lots 418 and 419 K2351 to the owners of adjoining Lot 401 SP334809 conditional upon:
 - (a) The buyer meeting the required combined unimproved formal land valuation of \$10,000.00 exclusive of GST for Lots 418 and 419; and
 - (b) The amalgamation of Lots 418 and 419 into the land holdings of Lot 401 SP334809; and
 - (c) all administrative costs associated with preparation of instruments including but not limited to, Contract of Sale, surveying of the land, transfer of title, and Titles Registry fees being borne by the buyer.

BACKGROUND

Council is in receipt of correspondence from the landowners of Lot 401 SP334809 Main Street Kingsborough (the enquirer) seeking to purchase adjoining Lots 418 and 419 K2351 Caledonia Street Kingsborough. Council has no use for this land and as long as it is amalgamated into the purchasers property it will create no residential lots which could be on sold.

Unimproved land value

Lot 418 holds no improvements and 419 holds one dilapidated and valueless improvement (shed) upon the land. Lot 418 is 405m² in size with Lot 419 set at 809m² (total 1214m²) with a combined formally valued unimproved land value of \$10,000.00 exclusive of GST as at 9 May 2024 (see attached valuation report).

Sale of land – relevant law

Section 236 of the LGR provides for exemptions from the requirement to offer the land for sale via tender or auction, most relevantly:

236(1)...a local government may dispose of land other than by tender or auction if—

(c) for the sale of land or an interest in land—

(iv) the land is sold to a person who owns adjoining land if—

- (A) the land is not suitable to be offered for sale by tender or auction for a particular reason, including, for example, the size of the land or the existence of particular infrastructure on the land; and
- (B) there is not another person who owns other adjoining land who wishes to acquire the land; and
- (C) it is in the public interest to sell the land without a tender or auction; and
- (D) the sale is otherwise in accordance with sound contracting principles;...

RISK IMPLICATIONS

Legal and Compliance

The recommendation in this report complies with the requirements of the Local Government Act and Regulation.

FINANCIAL AND RESOURCE IMPLICATIONS

Capital

Nil.

LINK TO CORPORATE PLAN

Financial Sustainability: A council that continuously operates in a cost-effective manner while managing council's assets and reserves to ensure a sustainable future.

Economy and Environment: A resilient economy that promotes and supports the shire's natural assets and local industry and encourages investment while preserving and future proofing for generations to come.

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance while delivering affordable levels of identified services within the Shire.

IMPLEMENTATION/COMMUNICATION

Council resolution to be communicated to the enquirer.



**VALUATION OF
LOTS 418 & 419 K2351
CALEDONIA STREET
KINGSBOROUGH
FAR NORTH QUEENSLAND**



ATHERTON TABLELANDS
PAPUA NEW GUINEA

CAIRNS
TOWNSVILLE

SUNSHINE COAST
GOLD COAST

BRISBANE
MELBOURNE

[07 4092 7522](tel:0740927522)
admin@npvaluers.com.au

Liability limited by a scheme approved under Professional Standards Legislation



EXECUTIVE SUMMARY

This executive summary must be read in context of and in conjunction with the full valuation report. All comments, terms and conditions contained in the full valuation report relate directly to this Executive Summary.

Property Address: Lots 418 and 419 Caledonia Street, Kingsborough, Far North Queensland.

Instructions: This valuation has been prepared in response to an instruction received 24th May 2024 from [REDACTED], Mareeba Shire Council, to assess the property for Sales purposes.

Registered Owner/s: Mareeba Shire Council

Date of Inspection: 9th June 2024

Date of Valuation: 9th June 2024

Date of Issue: 10^h June 2024

Property Type: Vacant land

Our Reference: 17676

Site Area: 1,214m²

Planning: Rural – Mareeba Shire Planning Scheme.

Property Synopsis: This is an aggregation of two rectangular shaped, gently sloping parcels of land totalling 1,214m². A CGI structure in very poor condition is located on the property. It is considered to be of no value.

Critical Assumptions: This valuation is current at the date of valuation only. The value assessed herein may change significantly and unexpectedly over a relatively short period (including as a result of general market movements or factors specific to the particular property). We do not accept liability for losses arising from such subsequent changes in value. Without limiting the generality of the above comment, we do not assume any responsibility or accept any liability where this valuation is relied on after the expiration of 3 months from the date of the valuation, or such earlier date if you become aware of any factors that have any effect on the valuation.

This valuation is for the use only of the party to whom it is addressed and of no other purpose. No responsibility is accepted to any third party who may use or rely on the whole or any part of the content of this valuation.

Valuation Approach: Direct Comparison



Estimated Selling Period: 6-12 months

Market Valuation: As at 9th May 2024
\$10,000 (Ten Thousand Dollars)

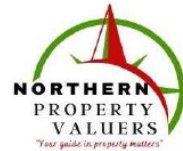
Signature of Valuer:



AAPI - Certified Practicing Valuer
QLD Registered Valuer Number. 5179
NORTHERN PROPERTY VALUERS

Lots 418 & 419 Caledonia Street, Kingsborough.
File Reference: 17676

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1.0 INSTRUCTIONS

The instructions to Northern Property Valuers are summarised below:

1.1 *Property Address:*

We have been instructed to value the property located at Lots 418 & 419 Caledonia Street, Kingsborough, Far North Queensland.

1.2 *Instructing Party:*

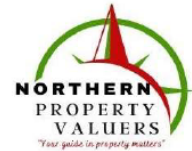
We have been instructed by [REDACTED], Mareeba Shire Council to assess the Market Value of the above property for **Sales** purposes.

1.3 *Market Value Definition:*

In accordance with the International Valuation Standards Council (IVSC) 2020 and as adopted by the Australian Property Institute, 'Market Value' is defined as follows:

"The estimated amount for which an asset or liability should exchange on the valuation date between a willing buyer and a willing seller in an arm's length transaction after proper marketing and where the parties had each acted knowledgeably, prudently and without compulsion".

We have adopted the definition above for the purpose of the present valuation.



2.0 TITLE DETAILS

2.1 *Real Property Description:*

Lots 418 & 419 on Crown Plan K2351

2.2 *Land Area:*

1,214m²

2.3 *Tenure:*

Freehold

2.4 *Registered Owners:*

MAREEBA SHIRE COUNCIL as per RP Data Searches of Queensland Department of Resources data.

2.5 *Easements, Encumbrances and Interests:*

No Title Search of the property has been undertaken or sighted. Reliance should not be placed upon the valuation report unless or until a Title Search is undertaken, and in the event that the Title Search reveals any information or discrepancy which may affect the value of the property, the valuer's opinion should be obtained before reliance is placed on the valuation.



3.0 LOCAL AUTHORITY DATA

3.1 Local Government Area:

Mareeba Shire Council

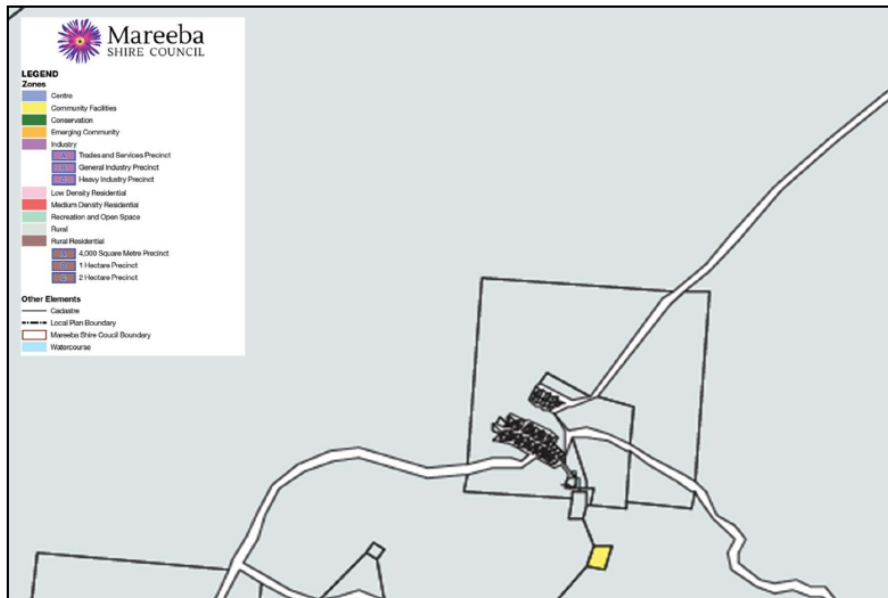
3.2 Department of Resources Site Value:

N/A.

3.3 Planning:

Town planning details are summarised as follows:

- Area Zoning: "Rural Planning Area" confirmed by online reference to the local planning scheme
- Planning Scheme: Mareeba Shire Planning Scheme 2016 – Major Amendment No.1 of 2023 which took effect on 8th December 2023.



- Land Use Conformity: Conforms with zoning

Lots 418 & 419 Caledonia Street, Kingsborough.
File Reference: 17676

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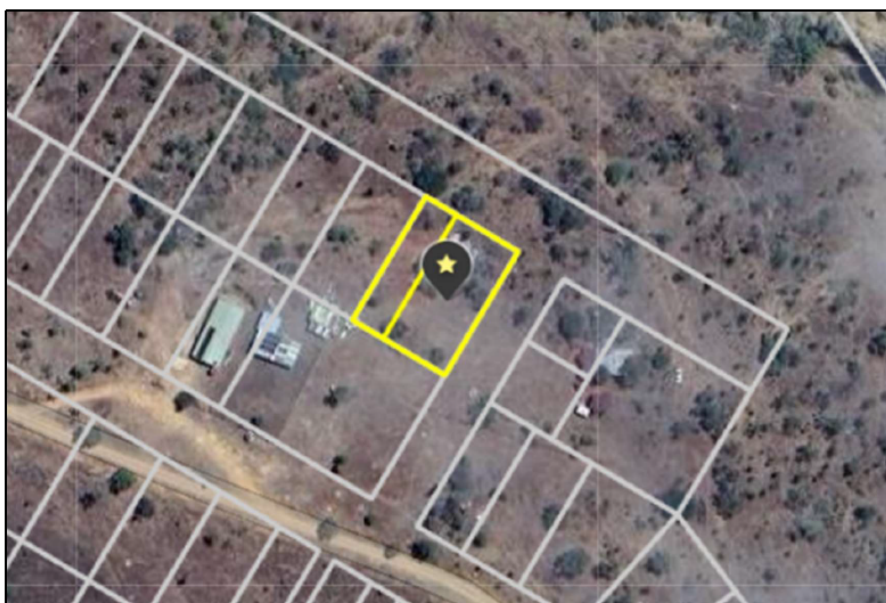


4.0 LOCATION / SERVICES

4.1 Situation and Identification:

The subject aggregation is located on the south western corner of the intersection of Caledonia and Halpin Streets, Kingsborough, Far North Queensland. The property has been identified by reference to the cadastral plan. A surveyor as an expert, not the valuer, would confirm the property identification.

The general locality and property being valued is highlighted below:



Source: Google Maps

4.2 Locality and Surrounding Development:

Kingsborough is an old, deserted mining town with few remaining structures. A large home site is situated to the east on the weir. The area is semi-isolated and situated to the north of Dimbulah via the Mount Mulligan Road.

A few of the small lots within the township are improved.

4.3 Services:

There do not appear to be any services connected to the subject property.



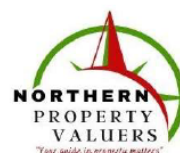
4.4 Road System Access:



Main Street, Kingsborough is a gravel gazetted, roadway with earth verges. Caledonia Street and Halpin Street were inaccessible as were over-grown and the roadways were not visible or accessible.

Lots 418 & 419 Caledonia Street, Kingsborough.
File Reference: 17676

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5.0 LAND REPORT

5.1 Shape and Dimensions:

This is an aggregation of two rectangular shaped parcels of land with frontage to Caledonia Street of approximately 30.3 metres and depth of approximately 40.4 metres. Total land area of 1,214m².

5.2 Topography:



The site has a gently sloping topography. It provides an adequate building contour with no apparent adverse features.

5.3 Environmental Factors:

Far North Queensland is in an area susceptible to cyclone activity hence the property may be exposed to strong wind and rain during cyclonic events. As all properties within the locality are similarly affected, this is considered to be a general risk only. We confirm that this has been considered within the assessment.

The subject property is located within the Medium Potential Bushfire Hazard Intensity overlay under the planning scheme. Currently the market does not penalise the value of properties located within potential bushfire affected areas. However, it is likely that the market would penalise properties within affected zones, should a significant fire event occur, for a significant period thereafter, even if the subject property was not directly affected. We also recommend that appropriate insurance cover is obtained.

5.4 Heritage Implications:

We have not undertaken any formal heritage searches, and our valuation is made on the assumption that there are no heritage issues relating to the property. If any heritage issues are found to relate to the property, we reserve the right to review our valuation.

5.5 Native Title Claims:

We have not undertaken any formal native title searches, and our valuation is made on the assumption that there are no Native Title Claim issues relating to the property. If any Native Title Claim issues are found to relate to the property, we reserve the right to review our valuation.



6.0 IMPROVEMENTS

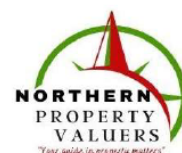
6.1 General Description:

The subject lots are being assessed as vacant land. A CGI structure in very poor condition is located on the subject. It is considered to be of no value.



6.2 Site Improvements:

There are no other improvements forming part of the property.



7.0 VALUATION CONSIDERATIONS

7.1 Market Overview:

The property market eased, and a slight decline was evident, for most segments from 2017 to 2019. No obvious changes were evident in 2020; however, sales evidence shows the introduction, in 2020, by the Australian Federal Government, of the Home Builder grant which provided eligible owner-occupiers (including first home buyers) with a grant of \$25,000 to build a new dwelling or substantially renovate an existing dwelling had a positive effect on the residential market. Buyers are now prepared to pay above previous highs to acquire a property. The recent increases in interest rates by the Reserve Bank may result in a future downturn, however, it appears as though buyers are in a waiting game at the present time. Although values are holding, it is apparent that the volume of sales have decreased.

7.2 Highest and Best Use:

Highest and best use is defined by the Australian Property Institute (API) as:

“The use of an asset that maximises its potential and that is physically possible, legally permissible and financially feasible.”

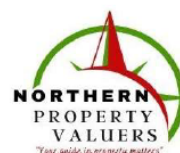
Within the Town Planning Scheme, the property is designated as “Rural”.

The Use of the property a Rural Lifestyle Property is considered to be the highest and best use.

7.3 Valuation Approach:

The appropriate method of valuation is the Direct Comparison Approach.

The Direct Comparison Approach compares the property directly with recent sales of similar properties within the surrounding locality, having regard to the identified sales evidence and the various attributes and qualities of the property.



8.0 SALES EVIDENCE

8.1 Direct Comparison Approach:

A brief summary is shown below as they are the most comparable to the subject property.

Sale No. 1

Address: [REDACTED] **Sale Date:** 02/08/2023

Price: \$25,000 **Site Area:** 1,012m²

Comments: This is a 1,012m², near level, rectangular shaped, internal allotment. Electricity, telephone and reticulated town are available for connection.

Comparison: Superior locality, smaller land area, superior town services. Overall superior.

Sale No. 2

Address: [REDACTED] **Sale Date:** 18/07/2022

Price: \$20,000 **Site Area:** 728m²

Comments: This is a 728m², gently sloping, rectangular shaped, internal allotment with minor improvements including a 144m² colorbond shed, gravel driveway and fencing.

Comparison: Similar locality, smaller land area, superior structural improvements. Overall superior.

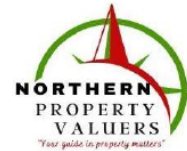
Sale No.3

Address: [REDACTED] **Sale Date:** 29/06/2022

Price: \$22,000 **Site Area:** 1,012m²

Comments: This is a 1,012m², near level, triangular shaped, corner allotment. Electricity, telephone and reticulated town are available for connection.

Comparison: Superior locality, smaller land area, superior town services. Overall superior.



9.0 VALUATION

Having regard to the sales evidence, we consider that the subject property lies in the range between \$8,000 and \$12,000. We have therefore adopted a **Market Value of \$10,000**.

9.1 Valuation Apportionment:

Total Valuation	\$10,000
(Ten Thousand Dollars)	

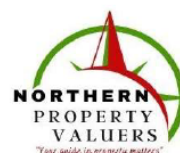
Signed:



[Redacted] API
 AAPI - Certified Practicing Valuer
 QLD Registered Valuer Number. 5179
NORTHERN PROPERTY VALUERS

10.0 ANNEXURES

1. Definition of Market Value
2. Limitations and Warranties
3. Instructions
4. General Locality Map



10.1 Definition of Market Value:

Market Value is defined as:

The estimated amount for which an asset or liability should exchange on the valuation date between a willing buyer and a willing seller in an arm's length transaction after proper marketing, where the parties had each acted knowledgeably, prudently and without compulsion.

10.2 Limitations and Warranties:

This valuation is for the use only of the party to whom it is addressed and for no other purpose. No responsibility is accepted to any third party who may use or rely on the whole or any part of the content of this valuation.

This valuation is current at the date of valuation only. The value assessed herein may change significantly and unexpectedly over a relatively short period (including as a result of general market movements or factors specific to the particular property). We do not accept liability for losses arising from such subsequent changes in value. Without limiting the generality of the above comment, we do not assume any responsibility or accept any liability where this valuation is relied on after the expiration of 3 months from the date of the valuation, or such earlier date if you become aware of any factors that have any effect on the valuation.

This report has been prepared for the private and confidential use of our client. It should not be reproduced in whole or any part without the express written authority of Northern Property Valuers or relied upon by any other party for any other purpose. Reliance on this report should only be taken upon sighting a signed original document.

The comparative sales evidence used in this report are considered to be the most relevant sales based on our research. In many cases, we have relied upon sales evidence from online property databases such as RP Data and information provided by Estate Agents. As we have not physically inspected the interior of the sales evidence quoted, we cannot guarantee the accuracy of the information provided.

This valuation assumes that all improvements have been constructed in accordance with the appropriate planning and building regulations in force at the time of construction, and that all appropriate approvals have been obtained from the relevant authorities. The valuation is made on the basis that there are no encroachments by or upon the property. If the instructing party has any concerns regarding encroachments, they should be referred to a Registered Surveyor for advice or current survey report.

This Valuation inspection and Report does not constitute a structural survey and is not intended as such. We have carried out an inspection only of the exposed and readily accessible areas of the improvements. Note, the Valuer is not a building construction or structural expert and is therefore unable to certify the structural soundness of the improvements. Readers of this report should make their own enquiries. This Valuation has been based on the condition of the structural improvements and the property in general as at the inspection date, and if the property has to be sold in circumstances where its condition has deteriorated, and/or essential fixtures/fittings removed there is likely to be a significant write down in the asset value when compared to the current assessment. Under these circumstances the Valuer will not be responsible for any reduction in value.

Unless stated as otherwise in this report we advise that we have not searched or been provided with a copy of the current Title or Registered Plans and that any dimensions or land areas quoted in this report have been obtained from third party information sources and whilst every endeavour has been made to verify such information, we accept no responsibility for inaccuracy of any information provided and relied upon.

A Certificate of Title search has not been undertaken and this valuation is made on the assumption that the property is free of any easements or encumbrances that would detrimentally affect the fair market value of the subject property. If any encumbrances or onerous restrictions apply, the valuer reserves the right to amend the valuation accordingly.

The client acknowledges and recognizes that the Valuer is not expert in identifying environmental hazards and compliance requirements affecting properties. The Valuer has endeavoured to identify all matters of environmental concern and the effect they might have on the value of the property. However, the Valuer will not be held liable nor responsible for his/her failure to identify all such matters of environmental concern and the impact which any environmental related issue has on the property and its value including loss arising from site contamination; or the non-compliance with environmental laws; or costs associated with the clean-up of the property to which an environmental hazard has been recognized, including action by the Environmental Protection Agency to recover clean-up costs pursuant to the relevant Environmental Protection Act.

We advise that we have not undertaken any search to confirm whether or not the property is subject to flooding or other impediments caused by excess water saturation. Should any flooding or other impediments caused by excess water saturation concerns become apparent, the valuer should be consulted and reserves the right to reassess any effect on the value stated in this report.



Unless stated as otherwise in this report we advise that at the time of inspection, the subject property did not reveal any obvious signs of pest or termite infestation. The valuer is not a pest inspector/expert, and the absence of pests/termites can only be confirmed by a suitable qualified expert with the use of specialist equipment. Should any pest or termite infestation concerns be detected, the valuer reserves the right to reassess any effect on the value stated in this report.

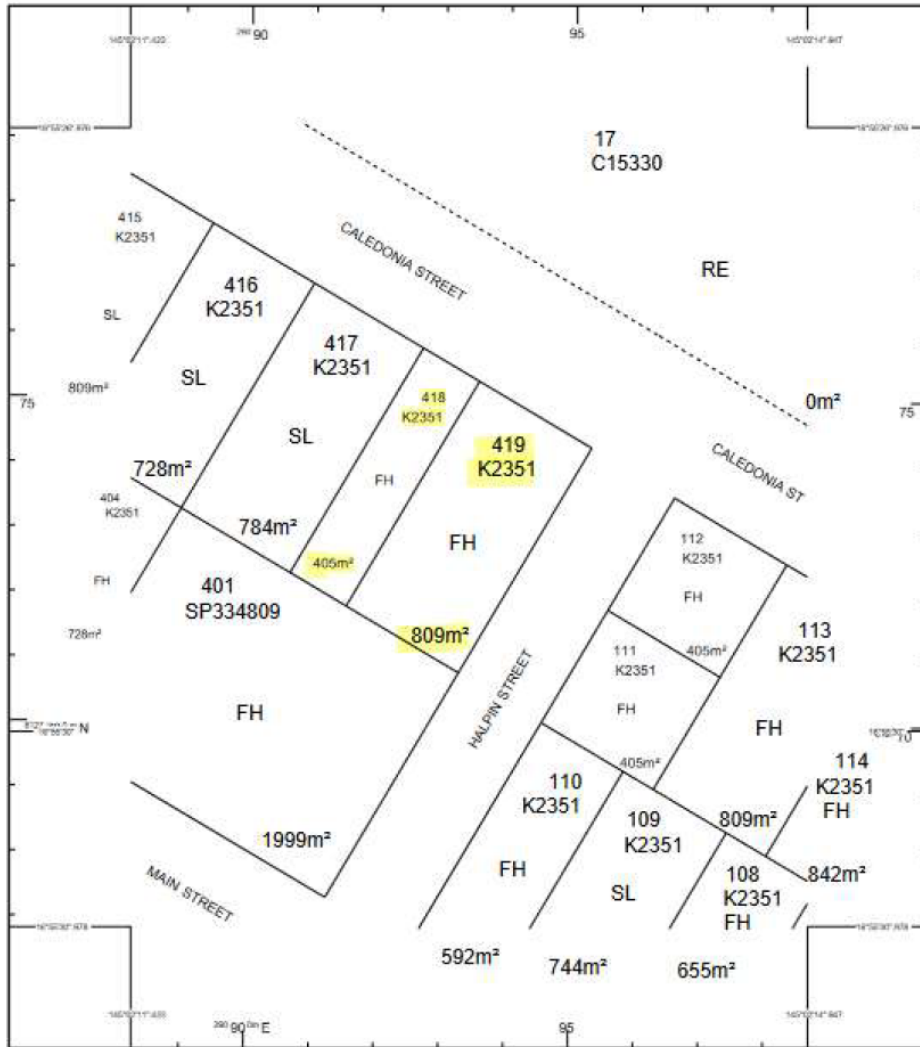
If the property contained in this report is subject to strata title, then we advise that we have not conducted a search of the Body Corporate records and our valuation assumes there are no outstanding requisitions or legal liabilities. We recommend the Introducer/Funder conduct a search of the Body Corporate records prior to the advancement of mortgage funds should they deem this necessary.

The Valuer has no pecuniary interest in the said property, past, present or prospective, and the opinion is free of any bias in this regard. This valuation has been made in conformity with the Code of Professional Ethics and Conduct laid down by the Australian Property Institute.

LIABILITY LIMITED BY A SCHEME APPROVED UNDER PROFESSIONAL STANDARDS LEGISLATION.



10.3 Smartmap:



STANDARD MAP NUMBER
7964-33423



SmartMap

An External Product of
Geomatics Information Services
Based upon an extraction from the
Digital Cadastral Data Base



SUBJECT PARCEL DESCRIPTION

DCDB	4 (SPACE)
Lot/Plan	809m²
Area/Volume	FREHOLD
Taxus	SHARREISA SHIRE
Local Government	THORNTON REGION
Locality	611823
Segment/Parcel	

CLIENT SERVICE STANDARDS

APPROVED 04/10/2024

OCDB 25/05/2024

Users of the information recorded in this document (the Information) accept all responsibility and all associated with the use of the Information and should seek independent professional advice in relation to dealings with property.

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Queensland
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(Department of Resources) 2024

Lots 418 & 419 Caledonia Street, Kingsborough.
File Reference: 17676

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10.4 General Locality Map:



Lots 418 & 419 Caledonia Street, Kingsborough.
File Reference: 17676

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8.9 LEASE F - MAREEBA AIRPORT AVIATION INDUSTRIAL PARK

Date Prepared: 4 July 2024
Author: Coordinator Governance & Compliance
Attachments: Nil

EXECUTIVE SUMMARY

This report further seeks approval to grant consent to extend the current lease on Lease Area F for twelve months and rescind the resolution made on 16 May 2018 to renew the lease for this lease area for a further 40 years.

Council has not developed a formal policy regarding what should occur when an aviation lease reaches full term. To ensure consistency is applied to the handling of expiring aviation leases, Council only offers short term extensions until the policy is finalised.

RECOMMENDATION

That Council:

1. Rescind resolution ITEM-12 Mareeba Aerodrome – Lease Area F – R & L Rudd of Wednesday 16 May 2018; and
2. Consent to continued tenure of lease area F commencing 22 August 2024 by R & L Rudd on hold over of the existing terms under Queensland Titles Registry dealing reference Lease 718058473 for a period not exceeding 12 months.

BACKGROUND

Current lessee R & L Rudd hold a lease interest over lease area F at the Mareeba Airport Aviation Industrial Park eastern precinct. The lease is due to expire on date of 21 August 2024. The site holds built improvements upon the land. There exists no option for consecutive lease dealing registered with the Queensland Titles Registry to provide the current lessee with continuing tenure beyond 21 August 2024.

Council has not developed a formal policy regarding what should occur when an aviation lease reaches full term. To ensure consistency is applied to the handling of expiring aviation leases, it is recommended that requests for long term renewal of expiring leases not be considered while Council reviews all current aviation leases and develops a formal policy position.

2018 resolution

In response to a request from Mr Rudd dated 8 May 2018 seeking a consecutive lease for a further extended term over lease area F; Council, at its ordinary meeting of 16 May 2018, resolved as follows:

“That, in relation to the request by Mr Richard Rudd for an extension of the current lease held by R & L Rudd over lease area F at the Mareeba Airport:

- 1. Council agree to grant R & L Rudd a new standard consecutive lease with an initial term of 20 years plus 2 x 10 year options over lease area F to take effect on expiry of the current lease on 21 August 2024, with the rental for the first year of the new term being the current market rental applicable at that time and with the proviso that the rental shall be not less than that paid in the last year of the existing lease.*
- 2. All costs associated with the preparation of the new lease are to be met by R & L Rudd.”*

However, R & L Rudd did not elect to progress matters and a new consecutive lease instrument was not drafted, executed and registered with the Titles Registry. Therefore Council may rescind the previous resolution.

LEGAL/COMPLIANCE/POLICY IMPLICATIONS

Council to seek further advice on administrative and practical requirements for handling of expiring leases over lease sites holding improvements upon the land.

FINANCIAL AND RESOURCE IMPLICATIONS

Capital

Nil

Operating

Setting of properly considered lease fees for lease sites holding improvements upon the land will assist in bringing all leases at the aviation facility up to a level that will enable cost recovery of Airport operations.

LINK TO CORPORATE PLAN

Financial Sustainability: A council that continuously operates in a cost-effective manner while managing council’s assets and reserves to ensure a sustainable future.

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance while delivering affordable levels of identified services within the Shire.

IMPLEMENTATION/COMMUNICATION

The current lessee of lease area F to be informed of the Council resolution. Undertaking of research on the impacts and requirements for renewal of lease interests holding improvements upon the land.

8.10 FINANCIAL STATEMENTS PERIOD ENDING 30 JUNE 2024

Date Prepared: 2 July 2024
Author: Manager Finance
Attachments: Nil

EXECUTIVE SUMMARY

The purpose of this report is to provide Council with an overview of financial matters for the period 1 July 2023 to 30 June 2024.

RECOMMENDATION

That Council receives the Financial Report for the period ending 30 June 2024.

BACKGROUNDFinancial Summary

Due to financial year end and the number of processes that need to occur, the Budgeted Income Statement for the year ending 30 June 2024, will be presented to Council at its next meeting on 21 August 2024.

Work has commenced on preparing the financial statements and it is anticipated that the draft accounts will be completed by 14 August 2024 and presented to Audit Committee before the external audit commences from 19 August 2024.

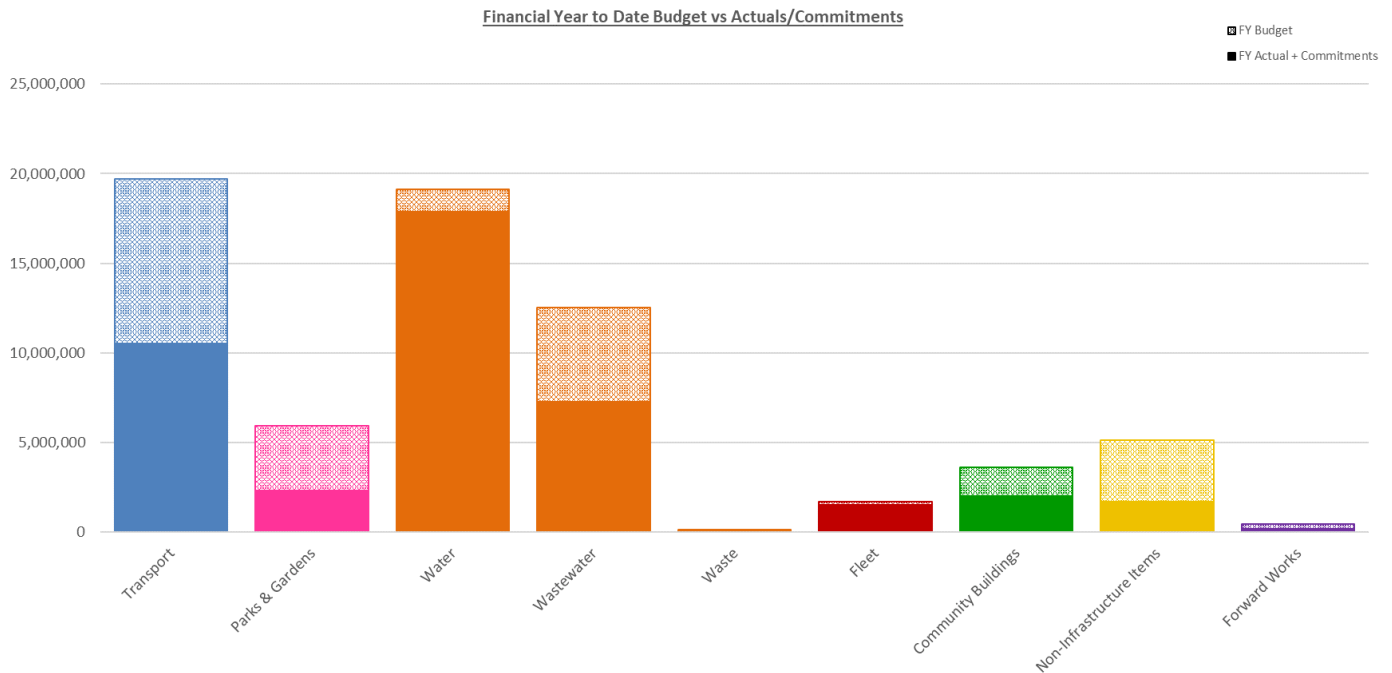
Capital Expenditure

Total capital expenditure of \$43,494,337 (including commitments) has been spent for the period ending 30 June 2024 against the 2023/24 adjusted annual capital budget of \$68,330,670.

There are a number of multi-year projects with budgets allocated in 2023/24 for construction in future years. The unallocated commitments reflected in the graph below will be expended in 2024/25. Some examples projects include:

- Ootann Road
- Atherton Street Pump Station
- Constance/Herberton Street Roundabout
- Rankin/Walsh Street Roundabout

Any capital projects not completed by 30 June, will be carried forward into 2024/25. A report will be presented to Council in August.



Loan Borrowings

Council's loan balance is \$6,469,125 as at 30 June 2024.

Rates and Charges

The total rates and charges payable as at 30 June 2024 are \$1,969,158 which is broken down as follows:

Status	30 June 2024		30 June 2023	
	No. of properties	Amount	No. of properties	Amount
Valueless land	-	-	4	77,881
Payment Arrangement	84	59,627	66	41,267
Collection House	314	1,167,400	252	1,172,030
Exhausted – awaiting sale of land	6	57,741	6	46,069
Sale of Land	7	74,225	60	1,009,525
Other (includes supplementary rates notices) *	252	610,165	248	35,545
TOTAL	663	1,969,158	636	2,383,317

*Included in this total are the 12 mining leases that are under voluntary administration, total rates and charges for the mining leases outstanding as at 30 June 2024 are approximately \$572,767.

The Rate Notices for the period ending 30 June 2024 were issued on 5 February 2024 totalling \$21,875,586, with discount due date being 8 March 2024.

During the month of June, Collection House received payments of \$127,285.

Council Officers have commenced the process to acquire the identified valueless land properties as per the October 2023 Council Report, the associated rates and charges have already been written off with the final stages of acquisition reaching completion by the end of this calendar year.

Sundry Debtors

The total outstanding for Sundry Debtors as at 30 June 2024 is \$146,205 which is made up of the following:

Current	30 days	60 days	90 + days
\$130,734	\$5,851	\$3,375	\$6,245
90%	4%	2%	4%

Procurement

There were no emergency purchase orders for the month of June 2024.

Vandalism Expenses

For the 2023/24 financial year, a total of \$31,088 has been spent on repairs and maintenance due to vandalism. These costs include employee expenses and materials and services.

RISK IMPLICATIONS

Nil

Legal/Compliance/Policy Implications

Section 204 of the *Local Government Regulation 2012* requires the financial report to be presented to local government if the local government holds its ordinary meetings more frequently (than once per month) - to a meeting in each month.

FINANCIAL AND RESOURCE IMPLICATIONS

Nil

LINK TO CORPORATE PLAN

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance while delivering affordable levels of identified services within the Shire.

IMPLEMENTATION/COMMUNICATION

Nil

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8.11 SAVANNAH IN THE ROUND SPONSORSHIP

Date Prepared: 24 June 2024

Author: Manager Customer and Community Services

Attachments: Nil

EXECUTIVE SUMMARY

The purpose of this report is to seek Council's endorsement of assistance to Savannah in the Round 2024 under the Community Partnership Program.

Boasting an impressive lineup of international and Australian country, pop, roots and rock artists, as well as Indigenous dance, storytelling, cultural displays/workshops, a fun fair, local produce stalls, and paddock to plate dining experiences, Savannah in the Round appeals to a diverse demographic, including couples and groups of young adults, families, grey nomads, backpackers and more.

RECOMMENDATION

That Council provides a cash donation of \$5,000 to Sound Australia towards delivering Savannah in the Round 2024.

BACKGROUND

Council has received a request from Sound Australia for a funding contribution towards the annual Savannah in the Round Festival.

Council has been a sponsor of Savannah in the Round since the inaugural festival in 2021.

Tourism and Events Queensland (TEQ) have committed to a three-year Major Strategic Partnership (2023-2025) with Sound Australia.

In 2023 over 17,100 people attended the festival over three days with more than 23,600 visitor nights being spent in the Shire as a result of this event. Sound Australia are projecting total festival attendance of 20,000 for the 11th – 13th October 2024 festival.

RISK IMPLICATIONS

Nil.

LEGAL/COMPLIANCE/POLICY IMPLICATIONS

Nil.

FINANCIAL AND RESOURCE IMPLICATIONS***Operating***

The \$5,000 cash donation is to be allocated from the 2024/2025 Community Partnership Program budget.

LINK TO CORPORATE PLAN

Community: An informed and engaged community which supports and encourages effective partnerships to enhance the liveability of the Shire.

Economy and Environment: A resilient economy that promotes and supports the shire's natural assets and local industry and encourages investment while preserving and future proofing for generations to come.

IMPLEMENTATION/COMMUNICATION

Notify Sound Australia of outcome of request for funding.

9 INFRASTRUCTURE SERVICES

9.1 TRAFFIC ADVISORY COMMITTEE - MINUTES OF MEETING HELD 18 JUNE 2024

Date Prepared: 5 July 2024

Author: Director Infrastructure Services

Attachments: 1. [Traffic Advisory Committee - Minutes of Meeting held 18 June 2024](#) ↓

EXECUTIVE SUMMARY

The purpose of this report is to present the Minutes of the Mareeba Shire Council Traffic Advisory Committee Meeting held on Tuesday 18 June 2024.

RECOMMENDATION

That Council receives the minutes of the Traffic Advisory Committee Meeting held Tuesday, 18 June 2024.

BACKGROUND

The Traffic Advisory Committee (TAC) is an advisory committee to Council under Section 265 of the *Local Government Regulation 2012*. The TAC provides information and advice to Council regarding traffic, road and transport matters.

RISK IMPLICATIONS

Financial

There are ongoing costs associated with investigation of traffic matters to ensure a safe road environment for our community. In most cases, any safety improvements on Council roads determined from these investigations will be funded from operational budgets or referred for consideration in future capital budget deliberations.

LEGAL/COMPLIANCE/POLICY IMPLICATIONS

Nil

FINANCIAL AND RESOURCE IMPLICATIONS

Capital

Nil

Operating

Internal resources for investigation and follow up actions.

LINK TO CORPORATE PLAN

Community: An informed and engaged community which supports and encourages effective partnerships to enhance the liveability of the shire.

Transport and Council Infrastructure: The provision of quality services and infrastructure for our growing community that is planned and managed using sound asset management principles.

Economy and Environment: A resilient economy that promotes and supports the shire's natural assets and local industry and encourages investment while preserving and future proofing for generations to come.

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance while delivering affordable levels of identified services within the Shire.

IMPLEMENTATION/COMMUNICATION

Nil



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**MINUTES
 TRAFFIC ADVISORY COMMITTEE**

Tuesday 18 June 2024
 Commenced at 9:30am

Members Present:

John Ridgway	Queensland Police (QPS) – Sergeant
Kim Yap	Department of Transport and Main Roads (TMR) – Principal Engineer (via Teams)
Lenore Wyatt	Mareeba Shire Council (MSC) – Councillor
Glenda Kirk	Mareeba Shire Council (MSC) – Director Infrastructure Services
Marjorie Anthony	Mareeba Shire Council (MSC) – Secretariat

Non-Members Present:

Amy Braes	Mareeba Shire Council (MSC) – Councillor
Ross Cardillo	Mareeba Shire Council (MSC) – Councillor
Marita Stecko	Department of Transport and Main Roads (TMR) – Senior Advisor (Road Safety)
Kim Kadel	Department of Transport and Main Roads (TMR) – Advisor (Road Safety)

1. WELCOME

The Chair opened the meeting at 9:30am welcoming all and thanking everyone for their participation. Apologies were noted as follows:

Apologies

Kevin Davies (Chair)	Mareeba Shire Council (MSC)
Michael Ringer	Department of Transport & Main Roads (TMR) – Principal Engineer
Derek Garner	Queensland Police (QPS) – Senior Sergeant
Sam Wakeford	Mareeba Shire Council (MSC) – Manager Technical Services
Mary Graham	Mareeba Shire Council (MSC) – Councillor
Angela Toppin	Mareeba Shire Council (MSC) – Mayor

2. MINUTES OF THE PREVIOUS MEETING

Minutes of the meeting held 23 January 2024 were noted as being true and correct.

Moved by Sgt John Ridgway

Seconded by Marita Stecko

3. BUSINESS ARISING FROM PREVIOUS MINUTES

3.1 Walsh Street Temporary Traffic Measures

- Temporary works are in place and continue to be monitored.
- QPS advises non-compliance by motorists is occurring in this area which they are acting upon.
- MSC has engaged a consultant (Bitzios) to undertake a traffic study (completed) and prepare concept and detailed designs for upgrade of this section of road on 2023/24
- MSC advise based on preliminary feedback from consultant, there will be a significant change to the parking arrangements and confirms that information from QPS is considered in traffic study.
- Phase 2 of the design process underway; consultants on track with completion of the preliminary design anticipated mid 2023; detailed design to follow; water main replacement

to be undertaken as part of the project before any traffic works, construction proposed post wet season 2024. MSC to ensure emergency services notified of works when construction is undertaken.

- Walsh Street water main replacement to commence in July 2023
- Walsh Street AC water main replacement works complete; detailed design to commence prior to end of 2023.
- MSC to provide an update to Mareeba Chamber, as initiator of the request.
- Consultation completed with adjacent businesses. Detailed Design underway; draft Concept Plans tabled for the information of members only.
- MSC advised angle parking on Walsh Street to be retained south of Coles loading dock, with minor loss of car parks. Pedestrian crossing is staggered improving pedestrian safety. Procurement of drainage pipes underway to address stormwater drainage issues.
- This project is programmed to be delivered following the Herberton / Constance Street Upgrade.

3.2 Byrnes / Rankin Streets Drainage (Glenda Kirk)

- MSC raised with TMR the issue of stormwater drainage at the corner of Byrnes / Rankin Street intersection which has resulted in inundation of footpaths, particularly on the western side of Byrnes Street north of the intersection and east of the intersection (near McDonald's and in the Coles car park)
- MSC advised there has been notable change since the traffic lights were installed in 2019/20 seeking a joint approach between TMR and Council to determine what can be done to alleviate some of the issues in the short term and requesting some priority be given around this issue.
- MSC information and sketches were provided to TMR on 14 February 2023
- TMR to inspect the area with MSC officers following this meeting of 21 March 2023
- MSC is proposing to undertake a design project to address long-standing issues with stormwater drainage and pedestrian access in the CBD in the 2023/24 capital works program to gain a clear understanding of the funding required for the improvements.
- MSC advised it seeks rectification of the drainage issue created since the installation of the traffic lights prior to the coming wet season. TMR advised detailed analysis to be undertaken with MSC providing data and assistance; TMR to liaise with MSC.
- Discussions have commenced with TMR regarding review of Byrnes/Rankin drainage rectification. Investigation is currently being carried out by TMR. TMR has engaged consultant and report is being prepared.
- Council has undertaken condition assessment of most stormwater assets in CBD and identified extents for CBD drainage assessment ready for engagement of consultant.
- TMR estimate overall rectification works at \$1.5M which is currently unfunded. Interim measures are proposed by TMR to help alleviate some of the issues. Advice on timeframe of interim measures unable to be provided by TMR.
- TMR advised the grated inlet pit has been upgraded with elevated grate to reduce blockage and increase capacity. This change to the pit inlet is considered a position improvement from stormwater capacity perspective as it will maximise the capacity of the crossroad box culvert. Additional works will be required in future to further improve drainage issues on Byrnes Street.

3.3 Byrnes Street, Mareeba – Through Traffic Keep Right Signage (Former Cr Mlikota)

- Community seeks a bigger "Through Traffic Keep Right" sign on the north side of Byrnes Street
- Suggesting the sign is similar in size to the current Mareeba Traffic Area P2 sign located in the centre median near the raised pedestrian crossing near Llyod Street
- MSC reiterated with TMR bigger signage is required, TMR to liaise with MSC on sizing and location with signage being potentially installed under RMPC
- Signs have arrived, installation scheduled by Council for late September under RMPC.

- *Through Traffic Keep Right* sign installed early October on the north side of Byrnes Street (in centre median near Red Rooster).
- Similar signage required on the Byrnes Street southern entrance; TMR advised to carry out installation under RMPC.
- Through Traffic Keep Right signage installed on the southern entrance.
- There being no further action required by this committee, it is recommended the item be removed from the agenda.

3.4 32B Kennedy Highway (Mareeba-Atherton) – Pedestrian facilities near Mclver Road / Martin Avenue / Connection Road

- TMR to undertake detailed analysis for the provision of pedestrian facilities on Kennedy Highway near Mclver Road / Martin Avenue / Mareeba Connection Road. MSC developed with TMR their Walking Network Plans adopting the Priority Works Program in March 2023. MSC / TMR to work together to plan for pedestrian connectivity in this location.
- TMR advises pedestrian count undertaken and utilization was low.
- MSC provided proposal details to TMR (Darryl Jones) on 7 December 2023; MSC advised officers meeting with TMR to discuss project planning.
- No further updates available from TMR at this meeting.

32B Kennedy Highway (Mareeba-Atherton) – Mclver Road Intersection Upgrade

- MSC advise of future rehabilitation and widening project of Mclver Road from Kennedy Highway to western end of Owens Street
- MSC seeking TMR's interest in working with council to upgrade the Kennedy Highway intersection
- Council will forward details of proposal to TMR. Potential opportunity to revisit pedestrian connectivity in relation to Item 3.14 above.
- Council rehabilitation and widening project proceeding from Ray Road intersection towards the west. MSC will contact TMR again regarding the potential upgrading of the intersection.

3.5 32B Kennedy Highway (Mareeba-Atherton) – Dust issue generated by HVs parking / pulling over between Martin Avenue and highway

- Again, residents are complaining to council about the dust being generated by HVs using the area as a depot and motorists pulling over off the bitumen when heading south. The dust blows across the highway to James Street on the western side of the highway.
- MSC advise contractors are utilizing the area for private use not for MSC Projects.
- TMR advise permit which expires on 30 May 2024 issued to Ergon allowing use of the area as a temporary laydown area whilst undertaking upgrade works in the region. Ergon have been requested by TMR to exit the laydown area via Martin Avenue to help alleviate the dust issue.
- MSC advised dust is generated by general traffic and HV's coming from Cairns and the north pulling over off the Highway.
- MSC to investigate options such as signage and installation of bollards and extending the pullover of parking area near Seary Road under RMPC.
- TMR inspected the site on 28 May 2024; MSC waiting advice from TMR on proposal.
- TMR advised contractor has been asked to enter / exit the laydown area using the Martin Avenue side road rather than entering / exiting directly onto the highway.

3.6 32B Kennedy Highway (Mareeba-Atherton) – Request for overtaking lanes

- QPS enquired why there are no south bound overtaking lanes between Mareeba and Atherton advising the line marking completed under the recent upgrade works limited overtaking opportunities for motorists.
- TMR followed up after the meeting and advised Kennedy Highway (Mareeba–Ravenshoe) / Mareeba Shire – An overtaking lane project is funded in QTRIP \$3M starting in 2024/25. Location has not been finalised yet.

-
- Item to remain on Agenda pending TMR Planning team providing MSC with an update on future plans for overtaking lanes following the meeting.
 - TMR's OTL Prioritisation Planning Study identified the need for a number of new OTL's on the Kennedy Highway between Mareeba and Atherton. One new overtaking lane has been identified in the short term, and two more in the longer term. The design of a new northbound overtaking lane, south of Vicary Road, is currently being finalised. TMR is planning to commence construction in 2024.
 - TMR advise construction of a northbound overtaking lane on the Kennedy Highway, south of Vicary Road, Mareeba will commence Monday 8 July 2024, weather and construction conditions permitting. Project is expected to be completed early 2025.

3.7 TMR Mareeba Southern Approach

- In December 2022, the following Agenda items were combined and re-titled 'TMR Mareeba Southern approach';
 - 32A/32B Kennedy Highway / Byrnes Street T-Intersection
 - Mareeba Connection Road / Byrnes Street merge lane signage
 - Mareeba Heritage Centre - Requests for Improvements - entry / exit to VIC carpark
 - Mareeba Bypass
 - B-Double Route – access to Reynolds Street Industrial Area / Kennedy Hwy via Costin Street
 - HV parking between Martin Avenue and Kennedy Highway
- TMR followed up after the meeting and advised:
 - **Mareeba Bypass** – TMR is progressing with the Preliminary Evaluation (Options development) phase. MSC will continue to be involved in planning discussions. More information can be found at [Mareeba - Dimbulah Road, Mareeba Bypass | Department of Transport and Main Roads \(tmr.qld.gov.au\)](https://www.tmr.qld.gov.au/department-of-transport-and-main-roads)
- TMR advised 32A/32B intersection is being designed for signalised Intersection; delivery will be carried out when funding is available.
- TMR considering B-Double route as part of the Mareeba Bypass Planning; TMR propose to have draft updates from Planning Team on progress.
- TMR confirmed a Mareeba Bypass Planning project is underway. The current planning project will look at the full bypass, it will progress planning for the southern section and review and confirm the alignment of the northern section.
- \$2.2M has been allocated to the Planning Project by Qld Government under the Transport System Planning Program and it is anticipated the business case for the alignment will be completed late 2024.
- Construction of the Mareeba Bypass currently remains unfunded.
- MSC seeks from TMR updated COMMs on the installation of the proposed traffic lights at the intersection of the Kennedy Highway and Byrnes Street which were programmed to commence late May 2024.

3.8 32A Kennedy Highway (Cairns-Mareeba) – Edmund Kennedy Bridge Rest Area

- Numerous comments posted on social media regarding the current poor state of this toilet facility on the outskirts of Mareeba. This facility is heavily utilised by motorists.
- MSC advised toilet facility is maintained by council under RMPC but the issue is with the dilapidated state of the building which is TMR responsibility.
- TMR advise a paint refresh of the facility will be carried out under RMPC. MSC currently preparing costs of the works. The Chair requested before and after photos be provided.

3.9 32A Kennedy Highway / Kay Road Intersection - Improvements for Heavy Vehicles

- Further works programmed by TMR as part of High Risk Roads Targeted Road Safety Program; upgrade works to be carried out at priority intersections including Kay Road.
- TMR advised works will be considered in Tranche 3 of the High Risk Roads Upgrade Programme.

-
- TMR followed up after the meeting and advised the current intersection geometry includes a widened sealed pavement for the left turn and a right turn lane of sufficient length and width for the right turn into Kay Road. The intersection is lit. Any upgrade to this intersection is unfunded and is a lower priority against other state priorities.
 - Item to remain on Agenda pending TMR Planning team providing MSC with an update following the meeting.
 - Further correspondence received from school bus driver raising concerns of no turning lane, stating there are more heavy vehicles utilizing Kay Road than light vehicles. Council to provide traffic count data for Kay Road to TMR.
 - TMR confirmed traffic data received and passed onto their planning team.
 - TMR to provide update following meeting.

3.10 32A Kennedy Highway (Cairns - Mareeba) - Barron River Bridge, Kuranda - Weight Restrictions

- Testing and maintenance works by TMR continue; Contract to investigate long-term solutions for the bridge awarded to Arup
- Ongoing testing and monitoring program continues to ensure the bridge remains safe; TMR progressing a planning study to investigate long-term solutions. Inspections will be carried out every 3 months with rehabilitation works being carried out where necessary
- Testing and maintenance works on the bridge continue. Planning study to investigate long-term solutions is progressing with the planning project confirming the preferred alignment and scope of a replacement bridge over the Barron River, including a viable delivery strategy that also considers the ongoing management and rehabilitation of the existing bridge
- Planning, including Business Case, has commenced with geotechnical investigations in progress.
- Stakeholder Survey results not known at time of TAC meeting. MSC / TMR meeting scheduled for 25 January 2024. MSC raised concerns regarding the further reduced load limit of the bridge to 42.5t.
- TMR advise recent inspections identified an issue with some Macalloy bars. The Macalloy post-tensioning bars were retrofitted to provide additional strength after the bridge opened to traffic in 1963. Crews will recommence inspections and carry out works to protect the macalloy bars with works expected to be complete by late June 2024. Any changes to the current traffic conditions on the bridge (single lane operation and 42.5t load limit) will be advised. The planning study for a long-term solution for the bridge is progressing as quickly as possible and expected to be completed in late 2024. Detailed design and construction of a long-term solution are currently unfunded.

3.11 BDR – Request for flood camera at Trimble’s Crossing

- Due to the remoteness of Trimble's Crossing on the Burke Developmental Road, it would be an advantage for TMR to deploy flood monitoring camera at this location. Cameras would provide an opportunity for TMR / MSC to monitor flood levels and the condition of the crossing surface once flood waters subsided with up-to-date travel information passed onto the public.
 - TMR advised as funding becomes available cameras will be rolled out at other locations; TMR have completed and prioritized a list of locations for future camera locations.
 - TMR followed up after the meeting and advised they plan to install a camera at Trimble’s Crossing later in 2023, before the next wet season.
 - TMR confirmed flood cameras will be installed at Trimble’s Crossing by end of November 2023 prior to the coming wet season.
 - TMR advised this is currently in procurement; it is planned to deliver the camera by December 2023, prior to the next wet season.
 - Procurement underway by TMR, it is anticipated camera will be installed early April 2024.
 - TMR advise the BDR Trimble’s Crossing solar-powered satellite flood monitoring camera will be publicly available. Normally for satellite flood cameras, an image is uploaded to QLD Traffic once per day, when available. TMR advise cameras are expected to be installed mid-July 2024
-

3.12 Herberton-Petford Road, Irvinebank - Request to upgrade to a single coat seal

- Complaints received from residents regarding the condition of the Herberton - Irvinebank Road with MSC asking if it was possible for TMR to provide an upgrade to a single coat dust seal. TMR advised MSC to list as a defect through RMPC. MSC and TMR to develop a programme including crossings for minor staged improvements.
- Due to numerous engineering constraints TMR does not support dust sealing of gravel resheeted roads, general issues involve non-compliant material specifications, geometric design constraints etc.
- Residents have expressed with MSC their frustrations regarding works and the limited funding for this road network.
- Item to remain on Agenda pending TMR Planning team providing MSC with an update following the meeting.
- TMR raised with their Planning team for future inclusion.
- TMR advised no change.
- TMR advised there is no change.
- Committee agreed to remove from the Agenda placing the item on a standing order list for future reference.

3.13 Mulligan Highway - Bilwon Road Intersection, Biboohra – Slip land and reduction of speed limit

- TMR advised the upgrade works on the Mulligan Hwy / Bilwon Rd intersection at Biboohra will not progressing as initially planned as additional funding is required to carry out the project. TMR applying for further funding and advised the outcome of this application may take some time. MSC expressed disappointment advising MSC has been advocating for this upgrade since December 2018 and requested a speed limit review in the interim. QPS supportive of the request.
- The Chair advised the temporary reduced speed limit is working well advising feedback from residents has been positive. QPS confirmed reports of good level of compliance regarding speed. TMR advised construction of this intersection is programmed for late August 2024 with an anticipated completion date of early 2025. Following completion of construction works MSC will propose to have the temporary reduced speed limit made permanent.

3.14 Myola Road – Concerns raised by residents regarding speeding traffic

- QPS received a petition from Myola Road residents expressing their concerns regarding increased number of vehicles speeding, visibility at hidden driveways from Warril Creek. Residents request council consider traffic reduction measures and a regular police presence in the area.
- QPS advised regular patrols are carried out and will continue to monitor.
- Council has received a copy of the petition via QPS and will investigate the matters raised.
- Council will undertake traffic counts and investigate potential options for speed reduction measures and report findings back to Committee in early 2024.
- QPS will continue to monitor.
- Traffic counters scheduled for deployment by MSC end of January 2024.
- MSC advised traffic counters deployed on a number of roads in the area. Speed zones were reviewed identifying the speed is relevant for the road alignment; therefore, a reduction of speed limit was not warranted. It is thought that the people who are speeding are locals.
- QPS advised they will continue to monitor the area.
- There being no further action required by this committee, it is recommended the item be removed from the agenda.

3.15 Future Funding Opportunities**3.17.1 Tablelands Heavy Vehicle Management Strategy**

-
- TMR advised plans are with strategic planners for these works, TMR will follow up regarding website approval and will send link if approved for updates available.
 - TMR links to FND projects with webpages provided to members with June 2022 Minutes.
 - Heavy vehicle stopping facility constructed at the top of the Rex Range near Nile Mile Road (Mossman-Mt Molloy Road). MSC seeking an update on other locations on the northern and southern approaches to Mareeba and Springs Road.
 - TMR followed up after the meeting and advised Tablelands Heavy Vehicle Management Strategy is current and it is being updated at this stage. The implementation (construction) of changes / additional HV rest areas is currently unfunded.
 - Item to remain on Agenda pending TMR Planning team providing MSC with an update following the meeting.
 - The Tablelands Heavy Vehicle Management Strategy is complete and is being used to inform heavy vehicle improvements on the Tablelands. TMR is continuing to apply for funding to progress the outcomes of the strategy.
 - Item to be moved to end of Agenda as note for future funding opportunities.
 - TMR advise these projects remain unfunded, TMR continuing to make application for funding.
 - TMR advise project remains unfunded.
 - Committee agreed to remove from the Agenda and place on a Standing Order List for future reference.

4. NEW REQUESTS / CORRESPONDENCE

4.1 Mareeba Chamber Requests

4.1.1 Kuranda Range Road

- TMR advised March/April 2024 emergency works carried out to prevent further damage to the road. Ongoing undermining of the road was occurring due to the ongoing wet season impacts at several locations. Works took longer than anticipated due to wet weather, available material supplies and challenging site conditions.
- TMR is designing long-term solutions for repair and recovery works to the damaged road network. These are complex sites which require detailed investigation and design based on the forward material availability and construction methodologies. Once the design and program of works is finalised, TMR will advise stakeholders of the expected construction timeframes and traffic arrangements for the works. The long-term works are expected to start later this year.

4.1.2 32A/32B Kennedy Highway / Mareeba – Proposed traffic lights

- MSC seeks from TMR updated COMMs on the installation of the proposed traffic lights at the intersection of the Kennedy Highway and Byrnes Street which were programmed to commence late May 2024.

4.2 2024/25 Flashing School Zone Signage

- TMR (Road Safety) seek from MSC site recommendations for flashing school zone signage suggesting several locations.
 - Julatten State School – Euluma Creek Road
 - Bibbohra State School – Glendon Street
 - Mount Molloy State School – Fraser Road
 - Cairns Hinterland Steiner School – Boyles Road
 - St Stephen's Catholic College – Cater Road
- MSC supports the proposed recommended locations as identified by the Department.
- TMR confirmed no official advice received to date, MSC will be advised once this information has been received.

4.3 Kuranda Timber Pillar Signage

-
- MSC raised concerns regarding the deteriorating Kuranda Pillar structure, seeking advice from TMR. MSC Officers advised scope to be identified and an application made to TMR for a Road Corridor Permit for departmental approval.
 - There being no further action required by this committee, it is recommended the item be removed from the agenda.

4.3 Abandoned Vehicles

- MSC have been working with QPS and TMR and now has arrangements in place.
- QPS will notify council via email providing details of any abandoned vehicles they become aware of within our shire.
- There being no further action required by this committee, it is recommended the item be removed from the agenda.

5. ROAD, TRAFFIC & TRANSPORT MATTERS BY AGENCY

- a) **QPS Update** - Nil
- b) **TMR Update** - Nil
- c) **Traffic Changes** - Nil
- d) **Minor temporary traffic changes** - Nil

6. GENERAL BUSINESS

6.1 32 Kennedy Highway / Gilmore Road Intersection - Lighting

- The Mareeba Chamber sought an update from TMR as to the progress of installing lighting at the intersection of Kennedy Highway and Gilmore Road like other intersections along the Kennedy Highway.
- TMR followed up after the meeting advising works are progressing and the street lights are expected to be installed by the end of June 2024, weather and construction conditions permitting.

6.2 664 Mareeba-Dimbulah Road – Request for turning lane into Mareeba Rodeo Grounds

- MSC advised with the increased usage of Kerribee Park concerns were raised regarding traffic turning right from the Mareeba-Dimbulah Road into the grounds.
- To facilitate safe vehicle turning into the park, it was suggested TMR investigate the construction of a passing / turning lane at the entrance and look at road shoulder wear in this location.

6.3 Walking Network Improvements - Ceola Drive / Anzac Avenue

- Advice on resident feedback was sought by QPS on the new barrier edging installed along Ceola Drive and Anzac Avenue.
- MSC implemented a pilot project installing low-cost improvements to the walking/cycling network to increase walkability in Mareeba. Project is funded by the Qld Government's Cycle Network Local Government Grants Program.
- Concerns were raised with council regarding loss of access to unapproved/informal secondary driveways to properties and the lack of space for school buses to pull over. Council advises this route is not an approved school bus route.
- A notable reduction in speed has unofficially been reported on Ceola Drive; in the future, traffic counters will be deployed, and statistics from earlier periods will be compared.
- MSC advised this is a pilot project where council will monitor the effectiveness and make necessary adjustments where required. A review of the trial will be completed by end of 2024 to determine the effectiveness of the treatments.

7. NEXT MEETING

9:30am Tuesday 17 September 2024

8. CLOSURE

There being no further business to discuss, the chair thanked everyone for their attendance and contribution and closed the meeting at 10:32am.

9.2 LONG TERM ASSET MANAGEMENT PLAN 2024-25 TO 2033-34

Date Prepared: 21 June 2024
Author: Assets & Projects Support Officer
Attachments: 1. LTAMP 2024-25 to 2033-34 [↓](#)

EXECUTIVE SUMMARY

Council adopted its first Long Term Asset Management Plan in March 2017. The plan was last reviewed in June 2023. This report provides the next Long-Term Asset Management Plan for Council's review and adoption in accordance with the *Local Government Act 2009* s104.

RECOMMENDATION

That Council adopts the Long Term Asset Management Plan 2024-25 to 2033-34

BACKGROUND

Council manages assets with a current replacement cost of \$948 million, with the objective to deliver services for the ongoing prosperity, liveability and sustainability of the Shire. The assets include transport; water; wastewater; waste; community housing; aviation and industrial facilities; office buildings and depots; parks and gardens; plant and fleet. Striking an optimal balance between affordability, levels of service and risk management of these assets is key to achieving Council's Corporate Vision of, "A growing, confident and sustainable Shire".

The Long-Term Asset Management Plan (LTAMP) has been developed in accordance with the requirements of the *Local Government Act 2009* and *Local Government Regulation 2012* and references the International Infrastructure Management Manual (IIMM). It is consistent with the Long Term Financial Plan 2024-25 to 2033-34 which aims to maintain financial and infrastructure capital over the long term.

The LTAMP demonstrates how Council will meet its legislative requirements in relation to asset management over the next ten (10) years. The plan provides background information around asset management and our legislative requirements as well as an overview of our strategic framework, asset management principles and community aspirations. The plan also outlines the state of our assets, service levels, future demand, lifecycle management, a financial summary and an assessment of our asset management maturity. The plan then provides strategies to ensure the sustainable management of assets in our asset register.

The strategies, together with the Long-Term Financial Plan are intended to ensure officers can provide advice based on a strategic approach to inform Council's expenditure decisions. This will support an optimal balance between affordability, levels of service and risk management.

This version includes updated strategies for sustainable management of assets, updated links to the Corporate Plan Community Strategic Priorities and Goals and an updated estimated capital and operational expenditure in the "state of the assets" summary. It also now includes a table "LGIP Ten-Year Capital Expenditure Forecast", projecting trunk infrastructure expenditure for Mareeba Shire's Local Government Infrastructure Plan (LGIP). These updates ensure that the LTAMP remains part of and consistent with the long-term financial forecast, the asset register, and the Corporate Plan and the LGIP.

RISK IMPLICATIONS

Financial

The LTAMP will improve Council's financial and infrastructure capital sustainability.

Infrastructure and Assets

This plan sets the framework for management of infrastructure and assets.

Legal and Compliance

A Long-Term Asset Management Plan is required under the *Local Government Act 2009* and *Local Government Regulation 2012*.

FINANCIAL AND RESOURCE IMPLICATIONS

Capital

The Long-Term Asset Management Plan Ten (10) Year Capital Expenditure Forecast is consistent with the Long-Term Financial Plan and informs annual Capital budgets.

Is the expenditure noted above included in the current budget?

Capital budgets are informed by the Long-Term Asset Management Plan Ten (10) Year Capital Expenditure Forecast and the Long-Term Financial Plan.

Operating

The Long-Term Asset Management Plan Ten (10) Year Operational Expenditure Forecast is consistent with the Long-Term Financial Plan and informs annual Operational budgets.

Is the expenditure noted above included in the current budget?

Operational budgets are informed by the Long-Term Asset Management Plan Ten (10) Year Operational Expenditure Forecast and the Long-Term Financial Plan.

LINK TO CORPORATE PLAN

Financial Sustainability: A council that continuously operates in a cost-effective manner while managing council's assets and reserves to ensure a sustainable future.

Community: An informed and engaged community which supports and encourages effective partnerships to enhance the liveability of the Shire.

Transport and Council Infrastructure: The provision of quality services and infrastructure for our growing community that is planned and managed using sound asset management principles.

Economy and Environment: A resilient economy that promotes and supports the shire's natural assets and local industry and encourages investment while preserving and future proofing for generations to come.

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance while delivering affordable levels of identified services within the Shire.

IMPLEMENTATION/COMMUNICATION

This plan will be published on Council's website and the adopted strategies put in place to ensure the sustainable management of the assets in conjunction with Council's Annual Operational Plan.



Long Term Asset Management Plan

For the period 2024-25 to 2033-34





Long Term Asset Management Plan 2023-24 to 2032-33

DOCUMENT REVISION HISTORY

This document is Version 2.5, of the Long-Term Asset Management Plan and covers the period 2025-2034.

Date	Version	Revision details
March 2017	1.0	Long Term Asset Management Plan 2017-2026 adopted by Council.
August 2018	2.0	Long Term Asset Management Plan second release and major update. Includes updated Enterprise Risk Management Framework and incorporation of Asset Management Policy into the body of the LTAMP.
October 2019	2.1	Long Term Asset Management Plan Version 2.1. Minor update including updated Long-Term Financial Plan capital renewal and upgrade figures for the period 2020-2029.
June 2021	2.2	Long Term Asset Management Plan Version 2.2. Minor update including: <ol style="list-style-type: none"> 1. Section 4 State of the Assets data updated. 2. Section 8 Financial Summary updated. 3. Section 10 Asset Management Strategies updated.
May 2022	2.3	Long Term Asset Management Plan Version 2.3. Minor update including: <ol style="list-style-type: none"> 1. Executive Summary Current Replacement Cost updated. 2. Section 4 State of the Assets data updated and capital expenditure for asset service delivery now included. 3. Section 8 Financial Summary updated. <ul style="list-style-type: none"> • 2032 Mareeba WTP Upgrades are noted as being addressed in the Water Asset Management Sub Plan. • Waste capital expenditure is on hold while the Regional Waste Plan is developed. 4. Section 10 Asset Management Strategies updated.
May 2023	2.4	Long Term Asset Management Plan Version 2.4. Minor update including: <ol style="list-style-type: none"> 1. Cover page dates updated (page 1). 2. Section 1 Executive Summary dates updated (page 4). 3. Section 3 Overview MSC Corporate Plan dates updated (page 6). 4. Section 4 Overview data updated and Capital and Operational expenditure for asset service delivery updated (page 10). 5. Section 8 Financial Summary 10-year forecast charts for Capital and Operational expenditure updated (page 17). 6. Section 10 Asset Management Strategies Table 10 1.1 Council’s current commitments comment updated (page 20) and Table 11 2.2 Actions comment updated (page 21). 7. Photos updated (pages four, five, eight and twelve.)
June 2024	2.5	Long Term Asset Management Plan Version 2.5. Minor update including: <ol style="list-style-type: none"> 1. Cover page dates updated (page 1). 2. Section 1 Executive Summary assets replacement cost and dates updated (page 5). 3. Section 3 Overview MSC Corporate Plan dates updated (page 7). 4. Section 4 Overview data updated and Capital and Operational expenditure for asset service delivery updated (page 11). Capital replacement, residual value and depreciation data updated in Table 2 and Chart in Figure 5 updated (page 12). 5. Section 7 Capital Investments Decisions, paragraph Updated (page 17).



Long Term Asset Management Plan 2023-24 to 2032-33

		<p>6. Section 8 Financial Summary 10-year forecast charts for Capital and Operational expenditure updated. LGIP(pages 18 and 19).</p> <p>7. Section 10 Reference to PPT updated to project initiative assessments and included reference to the Corporate Plan Strategy and Goals for Community (page 22).</p> <p>8. Photos updated (pages 5, 6, 9, 13 and 19).</p> <p>9. Section 11 Reference document dates updated. These updates reference through the whole document.</p>
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Next Review Date:	June 2025
Date Adopted:	



Long Term Asset Management Plan 2023-24 to 2032-33

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1. Executive Summary

Mareeba Shire Council (MSC) manages assets with a current replacement cost of \$948 million¹, to deliver fundamental services for the ongoing prosperity, liveability and sustainability of the shire. The assets include transport; water; wastewater; waste; community housing; aviation and industrial facilities; office buildings and depots; parks and open spaces; plant and fleet. Striking an optimal balance between affordability, levels of service and risk management of these assets is key to achieving Council's Corporate Vision of, "A growing, confident and sustainable Shire".

The Long-Term Asset Management Plan (LTAMP) has been developed in accordance with the requirements of the Local Government Act 2009 and Local Government Regulation 2012, referencing the International Infrastructure Management Manual (IIMM). It is consistent with the Long Term Financial Plan 2024-25 to 2033-34 with the objective of maintaining financial and infrastructure capital over the long term.

The LTAMP demonstrates how Mareeba Shire Council will meet its legislative requirements in relation to asset management over the next ten years. The plan provides background information around asset management and our legislative requirements as well as an overview of our strategic framework, asset management principles and community aspirations; the state of our assets, service levels, future demand, lifecycle management, a financial summary and an assessment of our asset management maturity. The plan then provides strategies to ensure the sustainable management of assets in our asset register.

The strategies together with the Long Term Financial Plan are intended to ensure officers can provide frank and transparent advice to inform Council's expenditure decisions. This will support an optimal balance between affordability, levels of service and risk management in the pursuit of ongoing prosperity, liveability and sustainability for the people of the Mareeba Shire.



Photo 1 Mareeba Township, North Facing.

¹ Figure as at 30 June 2023

2. Legislation

This document has been prepared to demonstrate how Mareeba Shire Council intends to meet the asset management requirements of the *Local Government Act 2009* ('The Act') and the *Local Government Regulation 2012*. According to the Act, local governments must establish a system of financial management that includes a long-term asset management plan (*Local Government Act 2009.s104*).

Under the *Local Government Regulation 2012.s167-168*:

S167

- (1) Councils must prepare and adopt a long-term asset management plan.
- (2) The long-term asset management plan continues in force for the period stated in the plan unless the local government adopts a new long-term asset management plan.
- (3) The period stated in the plan must be 10 years or more.

And;

S168

The contents of the long-term asset management plan must:

- (a) provide for strategies to ensure the sustainable management of the assets mentioned in the local government's asset register and the infrastructure of the local government; and
- (b) state the estimated capital expenditure for renewing, upgrading and extending the assets for the period covered by the plan; and
- (c) be part of, and consistent with, the long-term financial forecast.



Photo 2 Mareeba Anzac Memorial Park Landscaping and Safety Upgrade.

Long Term Asset Management Plan 2023-24 to 2032-33

3. Overview

Strategic Framework

There are several planning documents that help Council achieve the community’s desired outcomes. This plan is prepared under the guidance of the Corporate Plan, Community Plan, Local Government Infrastructure Plan and Long Term Financial Plan. This Long-Term Asset Management Plan establishes our asset management principles together with our current practices; and develops strategies to ensure the sustainable management of our assets. The plan also provides the estimated capital expenditure for renewal, upgrade and extension of assets for the period 2024-25 to 2033-34 and is consistent with the long-term financial forecast.



Figure 1 Our Asset Management Strategic Framework

Long Term Asset Management Plan 2023-24 to 2032-33

Asset Management Principles

Council aims to strike an optimal balance between affordability, levels of service and risk management to maintain our financial and infrastructure capital over the long term and support Council's Vision of "A growing, confident and sustainable Shire".

Where possible, funding will provide some flexibility for Council to assess and plan priority projects. However, where there are funding constraints, statutory obligations for safety across each asset class should take precedence.

Our principal focus areas for asset management are:

1. Understand the risk profile associated with Mareeba Shire Council's asset portfolio;
2. Correlate agreed service levels with available funds to justify planned expenditure to the community and government stakeholders;
3. Affordability for the whole community;

so that Council can:

4. Ensure infrastructure and financial capital sustainability by:
 - o Understanding the business consequences of reducing capital or maintenance budgets over a ten-year period; and
 - o Facilitating appropriate project prioritisation and deferral to meet budget constraints

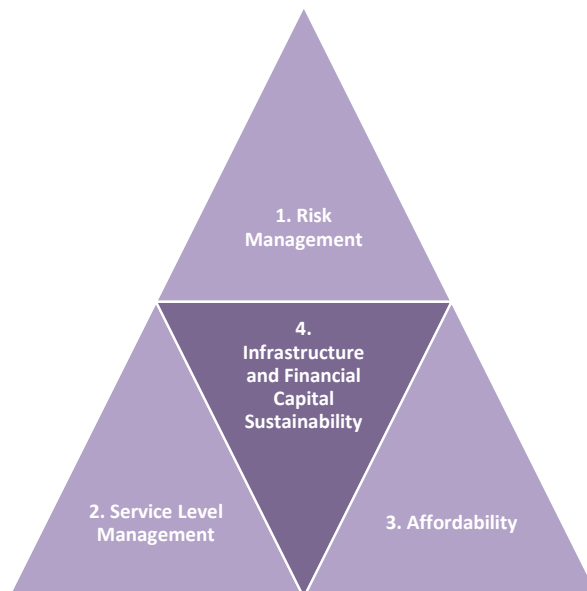


Figure 2 Asset Management Principles

Community Aspirations

Council engages with the community through reference groups, user groups and through Councillor representation.

Requests for maintenance and capital works are investigated and prioritised for consideration and scheduling as part of our maintenance works and potentially as a capital works proposal. Capital works proposals are assessed against a multi-criteria and risk assessment framework that is approved by Council on an annual basis prior to the Capital Works planning period.

Our community's aspirations have been through community meetings and grouped into the areas of Transport Networks, Water Waste and Wastewater, Community Facilities, Parks Opens Spaces and Trails and Aviation Facilities & Industrial Estates. These aspirations are summarised in Figure 3.

Transport networks

- Are well maintained and upgraded with adequate capacity for future population , economic growth and enhanced community safety in a rural and remote shire.

Water, waste and wastewater

- Infrastructure meets the needs of our growing population and is managed sustainably.

Community facilities

- Support our growing and diverse population and enable safe, active, healthy, vibrant lifestyles.

Parks, open spaces and trails

- Foster health and wellbeing in our rural and remote towns and districts.

Aviation facilities and industrial estates

- Meet increased demand contribute to jobs and economic growth.

Figure 3 Community Aspiration Summary



Photo 3 Granite Creek Sewerage Pump Station Refurbishment

Long Term Asset Management Plan 2023-24 to 2032-33

Asset Management Governance

Asset Management is an issue for everyone across the organisation. A team approach reduces the risk of silos being created and ensures that specialist skills are brought together effectively.

A multi-disciplinary asset management team has been established with the following responsibilities:

Councillors

- Act as custodians of community assets;
- Set and approve asset management plans with linkage to Council’s Corporate Plan;
- Set levels of service, risk and cost standards based on the community’s needs, legislative requirements and Council’s ability to fund;
- Ensure asset investment decisions consider whole of life costs and balance the investment in new/upgraded assets with the required investment in asset renewal to meet specified levels of service; and
- Ensure appropriate resources for asset management activities are made available.

Chief Executive Officer and Executive Management Team

- Provide strategic direction and leadership;
- Review existing policies and develop new policies related to asset management; and
- Monitor and review performance of Council’s managers and staff in achieving the asset management strategy.

Managers and Staff

- Work collaboratively to develop and implement asset management plans;
- Deliver levels of service to agreed risk and cost standards; and
- Manage infrastructure assets in consideration of long term sustainability.

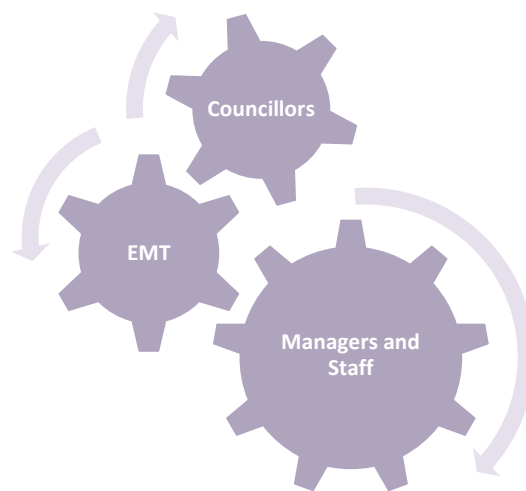


Figure 4 Asset Management Governance

4. State of the Assets

Council generates approximately \$40.7M in net rates and utility charges and owns approximately \$948M² (Current Replacement Cost) of assets that are managed to deliver services to the community. Council also receives other funding including grants which brings our total operating revenue to approximately \$56.1M. The following tables provide a snapshot of our assets, and service delivery profile including an operational budget of \$36.4M for service delivery and capital budget of \$24.6M.

Table 1 Assets and Service Delivery Snapshot

Service	Assets	#	Operational Budget 2024-25	Capital Budget 2024-25
Transport	Roads	2304 km	9,411,222	\$8,481,880
	Footpaths	51.12km		
	Kerb & channel	240km		
	Drainage	44.2 km		
	Street Lighting	N.a	\$205,000	
	Street Cleaning	N.a	\$1,045,840	
	Bridges	81	\$1,548,924	
	Major Culverts	130		
	Minor Culverts	3071		
Facilities	Depots	9	\$349,490	\$1,588,000
	Caravan Parks	2	\$104,629	
	Commercial Buildings	1	\$138,295	
	Council Buildings	53	\$241,006	
	Aquatic Facilities	3	\$947,561	
	Community Housing	108	\$10,470	
	Industrial Estates	1	\$20,426	
	Aerodromes	3	\$803,897	
	General Facilities		\$2,052,356	
	Public Halls	14		
	Public Toilets	28		
Water³	Treatment Plants	4	\$3,896,537	\$6,182,080
	Water Reservoirs	15	\$2,201,367	
	Pump Stations	14		
	Water Mains	261.5 km		
Wastewater³	Treatment Plants	2	\$2,614,482	\$6,594,000
	Reticulation		\$1,661,595	
	Pump Stations	30		
	Length sewerage mains	136.03 km		
Manholes	2053			
Plant & Fleet	Plant and Fleet	215	\$2,747,063	\$937,000
Waste	Landfills and trenches	1	\$363,699	\$220,000
	Waste Transfer Stations	10	\$3,696,258	
Parks & Open Spaces	Parks & Rec Reserves	222 ha	\$2,050,031	\$531,000
	Cemeteries	10	\$328,815	\$40,000
TOTAL			\$36,438,963	\$24,573,960

² Figure as at 30 June 2023

³ Asset data as at 30 June 2023



Long Term Asset Management Plan 2023-24 to 2032-33

Table 2 Capital Replacement, Residual Value and Depreciation 2023

Asset Class	Current Replacement Cost	Residual Value	Depreciated Replacement Cost	Annual Depreciation Expense
Transport	\$531,835,608	-	\$410,197,325	\$6,012,071
Facilities	\$115,061,732	-	\$84,984,387	\$1,603,732
Water	\$115,523,032	-	\$66,329,863	\$1,440,006
Wastewater	\$113,209,480	-	\$80,868,175	\$1,685,477
Land	\$15,819,422	-	\$15,819,422	-
Fleet	\$7,153,220	\$1,475,500	\$2,860,643	\$374,067
Waste	\$9,435,845	-	\$3,005,789	\$478,152
Other (IT, Office Equipment, Telecommunications)	\$3,068,660	-	\$1,079,907	\$150,602
Parks & Open Spaces	\$2,810,387	-	\$1,905,871	\$118,086
WIP	\$33,921,361	-	\$33,921,361	-
Total⁴	\$947,838,747		\$700,972,742	\$11,862,193

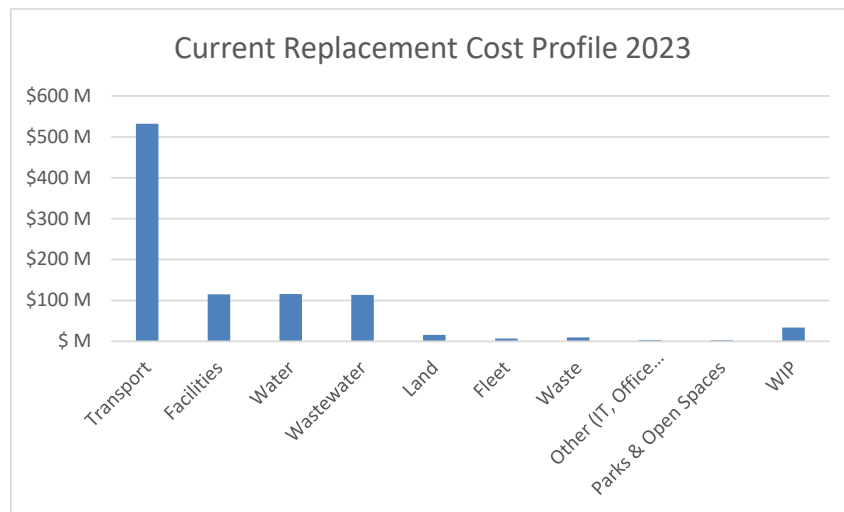


Figure 5 Asset Replacement Cost Profile 2023

⁴ Figures as at 30 June 2023

5. Service Levels

"Levels of service are the outputs a customer receives from Council. Level of Service statements describe what Council is intending to deliver, commonly relate to service attributes such as quality, reliability, responsiveness, sustainability, timeliness, accessibility and cost and *should be written in terms the end user can understand and relate to*". (IPWEA, 2020)

Documentation of levels of service are being developed through the asset management plan development for individual asset classes. The maturity of these levels of service documents vary between asset classes and are prioritised for improvement through annual asset management maturity assessments and the Operational Plan planning process.

Desired levels of service have been adopted by Council in MSC's Local Government Infrastructure Plan (Jacobs Pty Ltd, 2018).

We can maintain current levels of service for the next ten years based on current knowledge and projections in the Long-Term Financial Plan. However, caution is required when making capital investment decisions to avoid creating funding pressure from allocating funding to new projects, instead of maintaining and renewing existing assets (IPWEA, 2020). Further asset data verification and analysis has been prioritised by Council in the Operational Plan to confirm and formalise our current asset knowledge.



Photo 4 R2R Bilwon Road Rehabilitation and Culverts

6. Future Demand

Demand Forecast

Population growth and ultimate residential development capacity are provided within the Local Government Infrastructure Plan (LGIP) and supporting documents. These were prepared in accordance with the requirements of the *Planning Act 2016* to assist Council's in its long-term asset and financial planning. (Jacobs Pty Ltd, 2018).

Table 3 Existing and Projected Population

Priority Infrastructure Area (PIA)	Existing and projected population			
	2016	2021	2026	2031
Chillagoe	188	195	203	212
Dimbulah	372	386	402	419
Kuranda	1,906	1,978	2,062	2,146
Mareeba	8,902	9,241	9,631	10,022
Total PIA	11,368	11,801	12,299	12,798
Total outside PIA	10,189	10,804	11,263	11,724
Total for area of Planning Scheme	21,557	22,605	23,562	24,522

(Jacobs Pty Ltd, 2018)

Demand Management

Demand for new services is managed through a combination of managing existing assets, upgrading existing assets, providing new assets to meet demand, including conditions on development applications to build new infrastructure and demand management. Demand management practices include non-asset solutions, insuring against risks and managing failures (NAMS and IPWEA, 2020). An example of how Mareeba uses non-asset demand management solutions is enacting water restrictions and encouraging water conservation methods during periods of drought.

Asset Planning

The LGIP establishes assumptions about future growth and urban development including the assumptions of demand for each trunk infrastructure network, the priority infrastructure areas and the desired standards of service for each trunk infrastructure network the desired standard of performance. Schedules of works for existing and future trunk infrastructure have been developed for water supply, wastewater, storm water, transport, public parks and land for community facilities (Jacobs Pty Ltd, 2018). The LGIP Schedules of Works inform the capital works planning processes and development approval conditions.



7. Lifecycle Management

Background Data

MSC uses Technology One to store asset data. Council has well developed asset registers including most core asset data such as asset ID, description, replacement value, depreciation, year of installation and essential financial reporting information.

“Asset condition is a measure of the asset's physical integrity. Information on asset condition underpins effective, proactive asset management programs by enabling prediction of maintenance, rehabilitation and renewal requirements. Asset condition is also critical to the management of risk, because it is linked to the likelihood that the asset will physically fail.” (IPWEA, 2020).

Condition assessments are currently managed differently depending on asset class and asset criticality. Condition assessments are scheduled to meet regulatory requirements and inform the capital renewal planning process. In addition to defect identification, an overall condition rating is assigned to the asset which is used to inform the capital renewal prioritisation process.

Table 4 Condition Rating Criteria

Score	Score Description	Criteria
1	Very Good	Approximately 0 - 20% of useful life consumed.
2	Good	Approximately 20 - 40% of useful life consumed.
3	Fair	Approximately 40 - 60% of useful life consumed.
4	Poor	Approximately 60 - 80% of useful life consumed.
5	Very Poor/Unsafe	Approximately 80 - 100% of useful life consumed.

(Mareeba Shire Council, 2020)

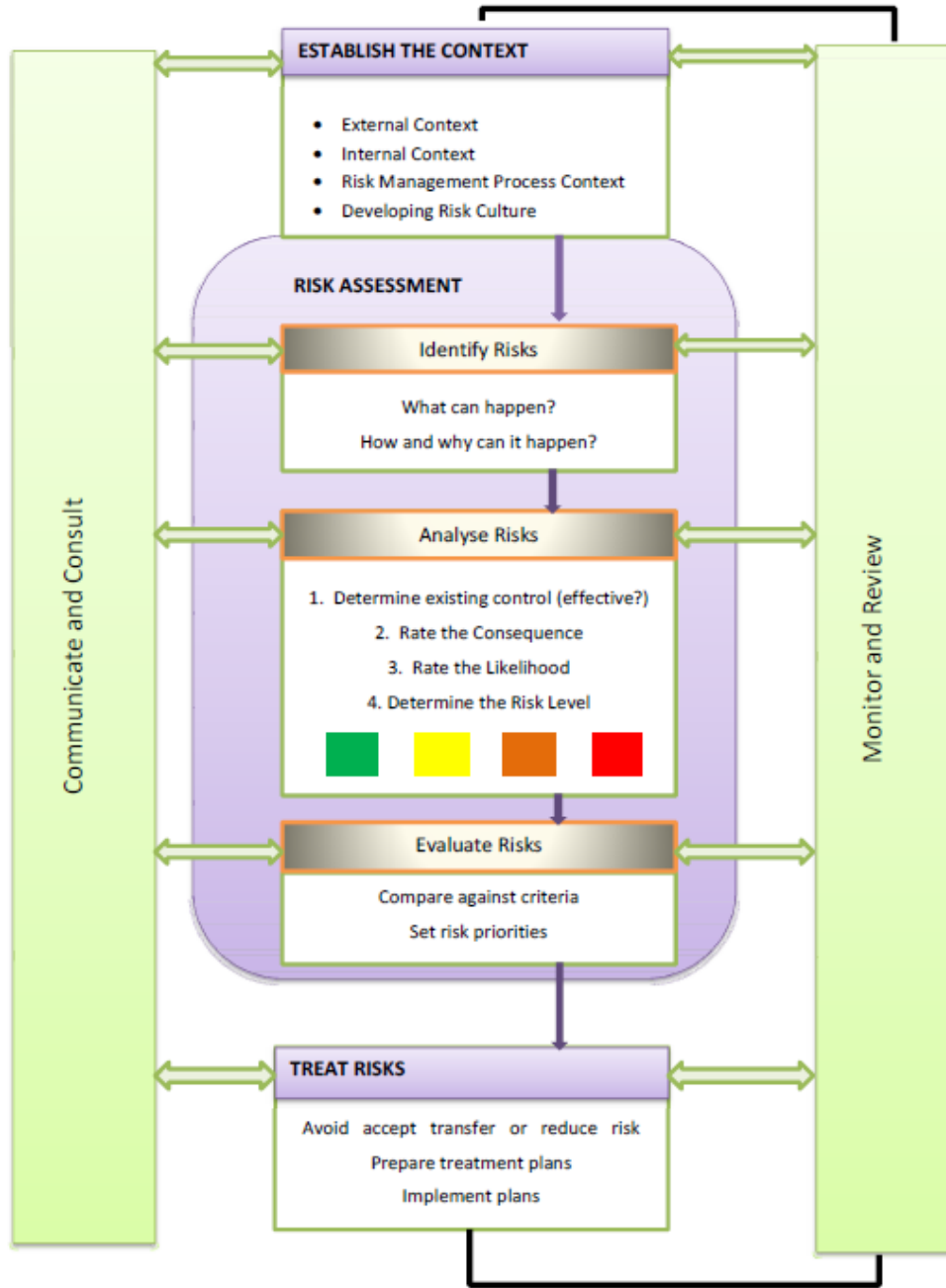
MSC has prioritised asset data verification, including condition assessment and defect identification, as a primary strategic focus area for improvement and this has been captured as an initiative in the Operational Plan.

Risk Management

Asset risks are managed using Council's Enterprise Risk Management Framework, Policy and Process. AS/NZS ISO 31000 defines risks as events that may cause failure to achieve objectives. Risk management involves identifying risks, evaluating them and managing the risks. Mareeba Shire has completed initial network level risk assessments for each asset class and has used this to inform the development of project initiatives within the TechnologyOne Project Lifecycle Management module.

In addition, for each capital project proposal, a basic risk assessment of the current situation to the Council and the community is completed. This shows the risk of 'doing nothing'. Risk is assessed by combining the likelihood of a risk occurring and the consequence of the risk should the event occur. This is consistent with the AS NZS ISO 31000:2009 Risk Management Standard.

Table 5 Summary of Council's Risk Management Process



(AS/NZS ISO 31000:2009)



Long Term Asset Management Plan 2023-24 to 2032-33

Critical Assets

Critical assets are those which are the most important for delivering the required service, and/or have the highest consequences, but not necessarily a high likelihood, of failure (IPWEA, 2020). The failure impact factors currently considered in our risk management framework include Health and Safety, Environment, Financial, Service Delivery/IT, Infrastructure and Assets, Legal/Compliance and Political/Reputation (Mareeba Shire Council, 2022).

Critical assets are a primary focus of the individual asset management plans for prioritised risk treatment. For Mareeba Shire Council it is proposed that critical assets could include the assets identified in Table 6.

Table 6 Examples of Possible Critical Assets

Asset Class	Critical Assets	Likelihood of Failure	Consequence of Failure	Risk Rating
Transport	Bridges and Major Culverts	Rare	Catastrophic	Moderate
Water	Treatment Plants	Possible	Major	Significant
	Reservoirs	Possible	Major	Significant
	Trunk Mains	Possible	Major	Significant
Wastewater	Treatment Plants	Rare	Major	Moderate
	Pump Stations	Possible	Major	Significant
	Trunk Mains	Unlikely	Major	Moderate
Facilities	Aviation Facilities	Rare	Catastrophic	Moderate
Parks and Open Spaces	Playground Equipment	Unlikely	Major	Moderate
Waste	Mareeba Landfill	Unlikely	Major	Moderate

Operations and Maintenance Plans

"Maintenance includes all actions necessary for keeping an asset as near as possible to its original condition but excluding rehabilitation or renewal. Maintenance slows down deterioration and delays the need for rehabilitation or replacement. It ensures that Council can continue delivering the required level of service." (IPWEA, 2020)

Operations and Maintenance planning processes are tailored for each asset class to comply with relevant legislation and regulations. Operations and maintenance works are progressively being incorporated into the TechnologyOne Works Order module so that planned maintenance can be scheduled and tracked, and defects and unplanned maintenance can be recorded and analysed.

Capital Investment Decisions

Council adopts capital investment decision criteria each year, which are then applied to all project initiatives captured in the Project Lifecycle Management module in TechnologyOne. The process includes a multicriteria analysis to inform capital investment decisions. This assessment is combined with remaining useful life, condition data and the LGIP Schedules of Works to form the basis of the 10 year works plan for each asset class. Project initiatives are entered into TechnologyOne from a variety of sources including condition assessments, asset register renewal data, community and Councillor requests. Council's ongoing verification of asset data (see [Table 10 Strategy One: Develop our asset knowledge](#)) will continually improve the quality of information available to inform our capital investment decisions.

8. Financial Summary

"Financial and asset management should complement each other rather than there being a separation between the activities. Outputs from asset management strategies and activities should flow into financial management processes and vice versa. Much more financial information is typically required to properly manage assets than might be required to comply with regulatory or accounting standards" (IPWEA, 2020) .

Mareeba Shire's Long Term Financial Plan presents a point in time forecast, and whilst it complies with accounting standards and regulation, there is an identified opportunity to improve and ensure a seamless connection between the asset management strategies and activities and the long-term financial plan. The central component of this improvement process is to undertake asset data verification, and this has been committed to by Council in the annual Operational Plan.

The Water Capital Expenditure Forecast increase in 2032 is for planned upgrades to the Mareeba Water Treatment Plant and these are addressed in the Water Asset Management Sub Plan. Waste capital expenditure is on hold until the MSC Waste Strategy is reviewed.

Table 7 Ten-Year Capital Expenditure Forecast (\$,000)

Asset Class	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034
Buildings	1,588	1,122	1,155	1,190	1,226	1,263	1,300	1,339	1,380	1,421
Plant & equipment	937	910	937	965	994	1,024	1,055	1,087	1,119	1,153
Roads, drainage & bridges	8,482	9,451	9,735	10,027	10,327	10,637	10,956	11,285	11,624	11,972
Parks and Open Spaces	571	79	81	84	86	89	92	94	97	100
Water	6,182	18,007	12,447	5,232	3,309	4,256	4,613	24,286	3,617	3,725
Wastewater	6,594	17,186	8,488	2,279	2,129	2,729	2,616	5,174	4,178	4,335
Waste⁵	220	110	113	117	120	124	128	131	135	139
Total	24,574	46,865	32,957	19,894	18,192	20,122	20,760	43,397	22,150	22,845

Table 8 LGIP Ten-Year Capital Expenditure Forecast (\$,000)

Asset Class	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034
Buildings	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Plant & equipment	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Roads, drainage & bridges	930	1,110	930	3,640	2,070	1,140	970	7,210	440	450
Parks and Open Spaces	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Water	2,265	82	8,678	2,018	51	617	1,245	1,198	57	18,714
Wastewater	4,906	-	6,061	-	-	471	-	1,975	-	-
Waste	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	8,101	1,192	15,669	5,658	2,121	2,228	2,215	10,383	497	19,164

⁵ Waste capital expenditure is on hold until the MSC Waste Strategy is reviewed

Long Term Asset Management Plan 2023-24 to 2032-33

Table 9 Ten-Year Operational Expenditure Forecast (\$,000)⁶

Asset Class	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034
Buildings	4,668	4,808	4,952	5,101	5,254	5,411	5,574	5,741	5,913	6,091
Plant & equipment	2,747	2,829	2,914	3,002	3,092	3,185	3,280	3,378	3,480	3,584
Roads, drainage & bridges	12,211	12,577	12,955	13,343	13,744	14,156	14,581	15,018	15,469	15,933
Parks and Open Spaces	2,379	2,450	2,524	2,600	2,678	2,758	2,841	2,926	3,014	3,104
Water	6,097	6,280	6,468	6,662	6,862	7,068	7,280	7,499	7,723	7,955
Wastewater	4,276	4,404	4,536	4,673	4,813	4,957	5,106	5,259	5,417	5,579
Waste	4,060	4,182	4,307	4,436	4,570	4,707	4,848	4,993	5,143	5,297
Total	36,438	37,531	38,657	39,817	41,011	42,242	43,509	44,814	46,159	47,543



Photo 5 Mareeba Aquatic Centre Mural

9. Asset Management Maturity

Our Asset Management Continuous Improvement Process is outlined in Figure 6 Asset Management Continuous Improvement Process (IPWEA, 2020).

The first step is to assess asset management performance. Council officers assess and review our asset management processes and documentation on an annual basis and identify improvement actions. The annual maturity assessment is based on the core Asset Management Plan Structure in the International Infrastructure Management Manual and is consistent with the Institute of Public Works Engineering Australia (IPWEA) NAMS+ guidelines. The second step is moderation by the relevant

⁶ Includes Depreciation Expense

Long Term Asset Management Plan 2023-24 to 2032-33

Senior Management Team members, and then reporting to EMT so that priorities and methodology for improvements can be agreed.

The maturity assessment and improvement actions are captured in the TechnologyOne Database, including historical information, so that progression and improvements can be tracked. Key priorities are included in the Operational Plan (step three), so that delivery of the improvements (step four) can be monitored through formal corporate processes by Council (step five).

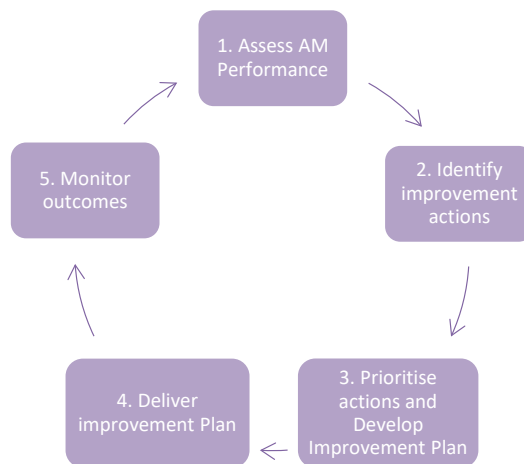


Figure 6 Asset Management Continuous Improvement Process (IPWEA, 2018).

Our goal is to work towards 'Core' asset management maturity, and strategies have been developed to commence this improvement progress. An Asset Management Plan at a 'Core' level of maturity contains asset data including: condition and performance information, description of services, service levels, critical assets, future demand forecasts, asset management processes, a ten-year financial forecast and a three-year improvement plan. This is considered the level of information needed to enable Council to meet the required level of service in the most cost-effective manner, through management of assets for present and future customers. It allows Council to look at the lowest long-term cost rather than short term savings when making decisions. (IPWEA, 2020)

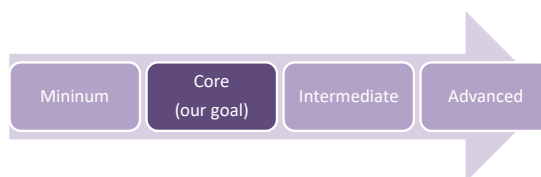


Figure 7 Asset Management Improvement Maturity Index (IPWEA, 2020)

The Asset Management Plan Structure is detailed in Table 8 (IPWEA, 2020) and questions have been developed to ascertain our progress.



Long Term Asset Management Plan 2023-24 to 2032-33

Table 10 Asset Management Plan Structure and Maturity Review Questions

1. Levels of Service	
Customer research and expectations	<ul style="list-style-type: none"> Customer request (CR) history used? Community Plan information used?
Strategic and corporate goals	<ul style="list-style-type: none"> Do strategic and corporate goals reflect service delivery?
Legislative requirements	<ul style="list-style-type: none"> Referenced and being implemented?
Current levels of service (what we provide now)	<ul style="list-style-type: none"> Documented? Financial analysis complete? Target KPIs? Measured and reported?
Desired levels of service	<ul style="list-style-type: none"> Desired levels of service (what the community would like).
2. Future Demand	
Demand drivers	<ul style="list-style-type: none"> Considered? Documented?
Demand forecast	<ul style="list-style-type: none"> Are upgrades reactive or planned? Are PIP assets planned and budgeted?
Demand impact on assets	<ul style="list-style-type: none"> Demand analysis predicts changes in utilisation. Impacts of new & upgraded assets on existing assets considered?
Demand management plan	<ul style="list-style-type: none"> Any demand management processes in place or documented?
Asset programs to meet demand	<ul style="list-style-type: none"> Is there a long-term asset upgrade/new program identified to meet projected demand? Are any major projects identified formally or informally to meet expected demand increases?
3. Lifecycle Management	
Background Data	<ul style="list-style-type: none"> How current, reliable and complete is data (age, condition, capacity, performance, historical data). How easy is it to retrieve data in the format you require?
Risk Management Plan	<ul style="list-style-type: none"> Network level risk assessment complete? Critical assets and any other high-risk assets identified? Risk mitigation plan in place for these assets? Priority on critical assets for renewal over other asset renewals or upgrades?
Routine Operations and Maintenance Plan	<ul style="list-style-type: none"> Reactive or planned maintenance? Documented or captured in works orders? Maintenance cost forecasts informing the LTFP?
Renewal Plan	<ul style="list-style-type: none"> Has a 10-year forecast been prepared using: Asset useful lives checked against operational knowledge? Network level risk assessment informs asset renewals? Asset renewal plan documented? Or are renewals funded reactively (when they are failing)?
Creation/Acquisition/Upgrade Plan	<ul style="list-style-type: none"> Has a 10-year forecast been prepared based on demand analysis, condition assessment and risk management? Is the forecast optimised based on whole of life costing (including operating and maintenance expenditure), or are upgrades proposed in an ad-hoc manner? Is there any process in place to determine the cumulative consequences of asset growth?
Disposal Plan	<ul style="list-style-type: none"> Has an assessment of no longer required assets been completed and plans made to dispose or decommission?
Service Consequences and Risks	<ul style="list-style-type: none"> Have service consequences and risks associated with budget constraints (inability to complete identified projects) and been documented?
4. Financial Summary	
Financial Statements and Projections	<ul style="list-style-type: none"> Financial reporting shows historical trends and current position for operational / maintenance / renewal / upgrade / expansion costs.
Funding Strategy	<ul style="list-style-type: none"> Has 10-year renewal and upgrade forecast been matched to available funding? Have any methods of raising additional revenue or managing risks been identified for unfunded projects
Valuation Forecasts	<ul style="list-style-type: none"> As per accounting standards.
Financial Assumptions	<ul style="list-style-type: none"> As per accounting standards.
Forecast Reliability and Confidence	<ul style="list-style-type: none"> Reviews of useful life, residual method and depreciation method are carried out and documented annually. All assets with remaining life of < 2 years are reviewed against forward works programs and useful/remaining life adjusted to recognise projected remaining life (in progress). Asset reporting functionality
5. Improvement and Monitoring	
Asset Management Maturity	<ul style="list-style-type: none"> Basic, core or advanced?
Improvement Program	<ul style="list-style-type: none"> Any informal or documented improvements in place?
Monitoring and Review	<ul style="list-style-type: none"> Are procedures monitored for compliance or reviewed for improvement?
Performance Measures	<ul style="list-style-type: none"> Are identified KPI's collected, monitored and used for improvements?



Long Term Asset Management Plan 2023-24 to 2032-33

10. Asset Management Strategies

Two strategies have been developed to mature Mareeba Shire Council's asset management processes and implement an integrated risk-based plan that delivers an optimal balance between affordability and levels of service. This Long Term Asset Management Plan has been developed to ensure services are provided to the community in alignment with the Council's Corporate Plan Strategy and Goals for the Community, which include COM1 An engaged community, COM2 An active, safe and healthy community and COM3 A community being prepared and resilient to emergencies and disasters.

Table 11 Strategy One: Develop our asset knowledge

Improvement Action	Desired Outcome	Council's Current Commitments	Corporate Plan Goal - Line of Sight
1.1 Further develop and annually review individual Asset Management Plans across the organisation.	Individual asset management sub plans workshopped with Council.	Operational Plan Project to continue to review Asset Management Sub Plans across asset classes	FIN1 Long-Term Financial Plan that supports effective and sustainable financial management Maintain and enhance long-term financial plans. All decisions should support Council's strategic direction of financial sustainability.
1.2 Develop sustainable and fair levels of service and performance monitoring framework with a clear line of sight to Corporate Goals.	Ensure that service levels are written in terms the end user can understand and relate to.	Include in asset management sub plans referencing and informing Long Term Financial Plan and Forecast.	TC1 Sustainable Infrastructure for the future Maintain Council infrastructure that sustains industry and development and supports future growth of the region. Where possible develop infrastructure to mitigate against future severe weather events.
1.3 Improve our ability to forecast, manage and plan for new assets to meet future demand.	Better utilisation of existing assets and reduction in capital expenditure where possible.	Include in asset management sub plans referencing and informing the Local Government Infrastructure Plan (LGIP).	TC14 Public spaces and facilities Encourage partnerships with community, private sector and government to better utilise council facilities and spaces. EAE1 Environmentally responsible and efficient waste and wastewater management Promote the minimisation of waste the community creates.
1.4 Verify data in asset registers.	To maintain and improve confidence in asset register data.	Continue improving data verification.	TC1 Sustainable Infrastructure for the future Maintain and enhance Asset Management Plans.
1.5 Progressively improve planned condition and defect inspection programs.	Improve understanding of the existing assets to facilitate better decision making.	Continue improving condition assessments and defect identification using TechnologyOne mobility and defect capture modules.	TC1 Sustainable Infrastructure for the future Maintain and enhance Asset Management Plans Operate, maintain and renew existing Council infrastructure in accordance with Long Term Asset Management Plan. Maintain Council infrastructure that sustains industry and development and supports future growth of the region.
1.6 Review all asset classes to confirm and document critical assets and high-level business risks for all asset classes.	Allow Council to understand its overall risk exposure and plan to manage risk to acceptable levels.	Review and refine as asset management sub plans are developed.	GOV2 Strong focus on compliance and enterprise risk Enterprise risk management process is commonly understood across the organisation to manage risk identification and cost effectively control identified risks

Long Term Asset Management Plan 2023-24 to 2032-33

Table 12 Strategy Two: Mature our Asset Lifecycle Management

Action	Desired Outcome	Actions	Corporate Plan Goal - Line of Sight
2.1 Increase use of whole of life costing and optimisation for capital investment decision making.	To ensure all aspects of financial sustainability are considered in the capital works planning process.	Continue including whole of life cost as a criterion for project initiatives.	FIN1 Long-Term Financial Plan that supports effective and sustainable financial management All decisions should support Council's strategic direction of financial sustainability
2.2 Review and improve capital project acceptance criteria, multicriteria analysis and risk-based decision framework in the project initiative assessments.	To continually improve decision making on all projects and to ensure the best outcome for the whole community is achieved.	Annually reviewed and adopted by Council prior to Capital Works proposal identification.	GOV2 Strong focus on compliance and enterprise risk Enterprise risk management process is commonly understood across the organisation to manage risk identification and cost effectively control identified risks.
2.3 Refine Operational Strategies.	Effective asset utilisation and readiness for incident response.	Ensure operational plans and processes are identified and included in asset management sub plans. Refine and develop new plans if gaps are identified for improvement.	TCI1 Sustainable Infrastructure for the future Operate, maintain and renew existing Council infrastructure in accordance with Long Term Asset Management Plan.
2.4 Refine Maintenance Strategies including Levels of Service and Intervention Levels, workplans for planned and unplanned maintenance.	To deliver the required functionality and performance by retaining an asset as near as practicable to its original condition (excluding rehabilitation and renewal).	Review and refine service levels when asset management sub plans are developed and reviewed, optimising with affordability, risk management and long term financial and infrastructure sustainability.	TCI1 Sustainable Infrastructure for the future Maintain Council infrastructure that sustains industry and development and supports future growth of the region.
2.5 Update the Long Term Financial Plan covering ten years incorporating asset management plan capital and operational/maintenance expenditure projections with a sustainable funding position.	Sustainable funding model to provide Council services.	Update the Long Term Financial Forecast annually with consideration to the updated capital and operational expenditure forecasts developed in each asset management sub plan.	FIN1 Long-Term Financial Plan that supports effective and sustainable financial management Maintain and enhance long-term financial plans
2.6 Ensure the Long Term Financial Plan continues to form the basis for the annual budgets.	Long term financial planning drives budget deliberations.	Implement annually during the budgeting process. Ongoing improvements to be included in the LTFP with new information from asset management sub plans.	FIN1 Long-Term Financial Plan that supports effective and sustainable financial management All decisions should support Council's strategic direction of financial sustainability

11. References

AS/NZS ISO 31000:2009. (n.d.). *AS/NZS ISO 31000:2009*.

ISO 55000 Series

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Mareeba Shire Council. (2024). *Project Initiatives Condition Criteria*.

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NAMS and IPWEA. (2020). *International Infrastructure Management Manual*. National Asset Management Steering Group (NAMS) and Institute of Public Works Engineers Australia (IPWEA).

9.3 INFRASTRUCTURE SERVICES, CAPITAL WORKS MONTHLY REPORT - JUNE 2024

Date Prepared: 24 June 2024

Author: Manager Assets and Projects

Attachments:

1. **Capital Works Highlights - June 2024** [↓](#)
2. **Capital Works Summary - June 2024** [↓](#)

EXECUTIVE SUMMARY

The purpose of this report is to provide an update on capital works projects undertaken by the Infrastructure Services Department during the month of June 2024.

RECOMMENDATION

That Council receives the Infrastructure Services Capital Works Monthly Report for the month of June 2024.

BACKGROUND

Council's Capital Works program is focussed on renewal and upgrade of Council infrastructure to achieve Council's corporate vision of "A growing, confident and sustainable Shire". The program is funded through a combination of Council's own funding and external grants and subsidies.

RISK IMPLICATIONS**Financial**

The capital works program is tracking within budget.

Infrastructure and Assets

Projects included in the current capital works program were identified through Council's Project Prioritisation Tool (PPT) which uses a risk-based, multi-criteria approach to rank projects in order of priority. The PPT is aligned with Council's Long-Term Financial Plan and Asset Management sub-plans, which focus of renewal of existing assets.

FINANCIAL AND RESOURCE IMPLICATIONS**Capital**

All capital works are listed in and funded by the 2023/24 Capital Works Program.

LINK TO CORPORATE PLAN

Transport and Council Infrastructure: The provision of quality services and infrastructure for our growing community that is planned and managed using sound asset management principles.

IMPLEMENTATION/COMMUNICATION

Infrastructure Services Capital Works Report Project Highlights – June 2024



Project Name: Bicentennial Lakes Revitalisation Project

Program: Parks and Open Spaces

Background

This project will activate the Lakes, breathing life back into the area and surrounds for the enjoyment of our community and visitors.

Scope of Work

The Bicentennial Lakes Project will completely revitalise the Lakes, starting in the southern section between Rankin Street and Keeble Street. In the southern section, the weirs will be removed, and the lakes will be filled to allow for more parkland. A watercourse will remain, although it will be narrower to encourage seasonal rains to flow through into the northern section. Water will no longer stagnate in a series of weirs. The increased parkland will allow for the addition of a playground and outdoor facilities.

Key Features:

- Bulk earthworks to improve the movement of water - complete
- Earthworks to increase parkland in the southern section - complete
- Construction of a playground and pump track - complete
- New toilet facility - complete
- Footpath improvements – internal playground pathways complete
- Construction of outdoor facilities – complete

Progress Update

Waterway improvements

Waterway has been re-established following ex-Jasper flooding.

Mason Street Playground

Toilet, pump track, playground internal pathways, playground, picnic shelter, picnic setting and seating complete.

Footpath renewal Connecting Mason Street to Flat Footbridge Footpath Renewal is complete.

Infrastructure Services Capital Works Report

Project Highlights – June 2024



Bicentennial Lakes Reconfigured Stream Waterway



Mason Street Playground Hill Slides and Flying Fox



Mason Street Playground hill slides and talking tubes



Mason Street Playground Picnic Shelter



Mason Street Playground Stepping Logs

Infrastructure Services Capital Works Report

Project Highlights – June 2024



Mason Street Flying Fox and Hill Slides



Mason Street Playground Bike Rack, Bin, Swing, Picnic Setting



Mason Street Bin and Pathways



Mason Street Pump Track

Infrastructure Services Capital Works Report Project Highlights – June 2024



Project Name: Irvinebank Swing and Picnic Facility Upgrade

Program: Parks and Open Spaces

Background:

As part of Council’s Parks and Open Spaces Strategy, improvements to Bill Newburn Park in Irvinebank were identified as a priority in the 3 year Action Plan. This project will deliver a swing set and additional picnic settings for Irvinebank.

Scope of Work

The works includes 1x Picnic Table and Bench Seats with concrete base, 1 covered picnic shelter with concrete base and 1 double swing set with double washed certified playground soft fall sand.

Progress Update

Double swing set installed, hexagonal picnic setting relocated, and new covered picnic shelter installed.



Irvinebank Bill Newburn Park Hexagonal Table Relocated and Swing Set



Irvinebank Bill Newburn Park New Picnic Setting

Infrastructure Services Capital Works Report

Project Highlights – June 2024



Project Name: Anzac Park, Kuranda Parkland Upgrade

Program: Parks and Open Spaces

Background

The Anzac Park Kuranda Upgrade was identified as the key priority project in the Kuranda Infrastructure Masterplan 2022-2031, which was adopted by Council in May 2022. The Kuranda Infrastructure Agreement (KIA) Review Stakeholder Reference Group prioritized the Anzac Park Upgrade feature as their highest priority project for the Masterplan for safety and accessibility.

Scope of Work

This project will see a refresh of Anzac Park. This includes the removal of the water feature, the updating of existing seating, pathways and signage and landscaping. Once complete, Council officers will engage with Kuranda Envirocare to name and signpost significant trees within the park.

Progress Update

Water fountain has been removed and is being repurposed into a rock garden seating area. Exposed aggregate concrete pathways and table setting concrete pads have been poured. Picnic settings and landscaping continuing.



Upgrade footpaths and picnic setting slabs



Footpaths and boulder feature rocks

Infrastructure Services Capital Works Report Project Highlights – June 2024



Project Name: Mareeba Cemetery New Mausoleum

Program: Cemeteries

Background

The mausoleum wall is frequently chosen for burials rather than a Headstone on Beam and an additional mausoleum is required.

Scope of Work

The works is the construct of a new Mausoleum Wall.

Progress Update

Construction of the Mausoleum Wall including concrete structure and feature brickwork is complete. Stone works have commenced and the project is scheduled for completion in mid-July.



Mareeba Cemetery Mausoleum Wall Construction Nearing Completion

Infrastructure Services Capital Works Report Project Highlights – June 2024



Project Name: Springmount Road Culvert and Curve Widening (Ch 11.35 – 12.7)

Program: Rural Roads

Background

Springmount Road is classed as a Local Road of Regional Significance (LRRS) under the Roads and Transport Alliance and a critical transport route, servicing the regional sugar mill and landfill facilities as well as quarrying and agricultural properties.

In 2020, Council received a request through the Traffic Advisory Committee from a representative from the heavy transport industry to widen several curves on Springmount Road to provide adequate lane widths to cater for heavy vehicles.

The project is jointly funded (50%/50%) by the Queensland Government under the Transport Infrastructure Development Scheme (TIDS) and by Council.

Scope of Works

The scope of works includes the widening and bitumen sealing of three narrow sections of pavement and extension of five (5) culverts between Chainage 11.35 and Chainage 12.70.

Progress Update

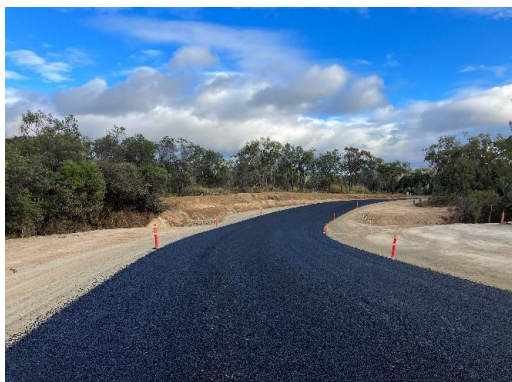
In June, all road works were completed and bitumen sealed. Road furniture installation and line marking will be undertaken in early July.



Application of bitumen prior to 10mm second coat



Section 1 seal complete



Section 2 seal complete



Section 3 seal complete

Infrastructure Services Capital Works Report Project Highlights – June 2024



Project Name: Myola Road – Mill/Fill and Seal

Program: Urban Streets

Background

In the 2023/2024 Capital Works Program Road to Recovery (R2R) funding was made available to undertake pavement milling with asphalt patching followed by a C170 bitumen seal to waterproof a three (3) km section of Myola Road to extend the pavement’s functional life.

Progress Update

Part of the section requiring treatment is adjacent to the Kuranda District State College and works were programmed to commence at the start of the June school holidays and will continue until school returns. Works will recommence early August at the southern end of Myola Road when the contractor has completed other prior commitments.



Example of pavement failure on Myola Road



Milling of failed section



Milled patch prior to asphalt filling



Compaction of asphalt filling

Infrastructure Services Capital Works Report Project Highlights – June 2024



Project Name: Granite Creek Pedestrian Bridge Deck Replacement

Program: Bridges

Background

The pedestrian bridge crossing Granite Creek near Eales Park in Mareeba is regularly topped by flood waters and the bridge deck and concrete approaches required replacement to maintain safety standards for walker and cyclists.

Progress Update

Deck replacement works commenced mid-June and were completed by the end of the month along with the replacement of the concrete approaches to the bridge.



Pedestrian bridge before repair



Pedestrian bridge after repair



Pedestrian bridge before repair



Pedestrian bridge after repair

Infrastructure Services Capital Works Report Project Highlights – June 2024



Project Name: Mareeba Water Plant Filtration System Upgrade

Program: Water

Background

As part of the Mareeba Shire Water Strategy, Council has committed to undertaking upgrades to the Mareeba Water Treatment Plant to cater for future growth and ensure that safe and reliable drinking water continues to be supplied to residents and businesses. One of these upgrades is replacement of the ageing filtration system through construction of a new 6-cell filter block.

In addition to its own funds, Council has received grant funding towards upgrade of the Mareeba Water Plant Filtration System through the Queensland Government's Building Our Regions program.

Scope of Works

The scope of works includes:

- Construction of a new filtration system consisting of 6 dual media filters with inlet valve/penstock and magnetic flowmeter
- Construction of small new building to house backwashing system
- Construction of a new backwashing system consisting of backwash pumps, air scour blowers, float switches, backwash control valves, filter to waste capability, connection to existing wastewater handling system and associated pipework and valves
- All necessary valve actuators, motors, drives and instrumentation for automated control of the filters and connection to existing electrical and SCADA control systems
- Modification of existing pipework to connect to new filters
- Earthworks and building approvals
- Commissioning and Testing
- Removal of redundant equipment

Progress Update

Works have progressed well with the contractor doing the electrical and mechanical fit out along with the installation of the inlet troughs and valving.

Infrastructure Services Capital Works Report Project Highlights – June 2024



Installation of inlet troughs and electrical and mechanical equipment under way

Infrastructure Services Capital Works Report Project Highlights – June 2024



Project Name: Mareeba Water Plant Booster Pump Station Project

Program: Water

Background

As part of the Mareeba Shire Water Strategy, Council has committed to undertaking upgrades to the Mareeba Water Treatment Plant to cater for future growth and ensure that safe and reliable drinking water continues to be supplied to residents and businesses.

The upgrading of the existing Mareeba Water Plant Booster Pump Station will achieve two (2) critical elements; to lift the firefighting capacity in the Mareeba Township area as there are significant and ongoing pressure issues on the western side of the township, and to ensure Council meets the minimum required water pressure standards to its residents due to increased residential developments particularly on the eastern side and to the southern side of Mareeba.

Mareeba Water Plant Booster Pump Station Upgrade is funded by the Federal Government through the Black Summer Bushfire Recovery Grants Program (BSBRGP) and Mareeba Shire Council.

Scope of Works

The project will upgrade the clear water pump station at the Mareeba township Kowa Street water treatment plant (WTP). The works to be completed are:

- Structural design and certification of new Mareeba BPS building and associated building services works (HVAC, Fire Protection and Building Hydraulics)
- Procurement of pumps, generators and VSD's;
- Construction of the Booster Pump Station including the provision of pumps, switchboards, generator and surge vessels;
- Connection of the new pump station to existing trunk water infrastructure;
- Site civil, pavements, conduits and drainage, and site reinstatement works;
- Construction of concrete slab mounted surge vessel on inlet to Centenary Park BPS and associated pipeworks; and
- Commissioning of the Booster Pump Station for Council operation.

Progress Update

Works commenced and have progressed well in June with the contractor undertaking the following.

- Electrical Works:
Electrical pits and conduiting completed from EP-03 to treatment building.
 - Concreting of Class D electrical pit lids ongoing.
 - Electrical conduiting continuing to booster pump station following Pipeline 1 installation.
- Water main pipework
 - Building electrical, lighting, HVAC, and fire suppression rough in works completed.
 - Switch room ceiling installed.
 - Electrical cable tray installation continuing.

Infrastructure Services Capital Works Report Project Highlights – June 2024



Site construction works and electrical and mechanical fit out underway.

Infrastructure Services Capital Works Report Project Highlights – June 2024



Project Name: Mareeba Water Plant Raw Water Pump Station Project

Program: Water

Background

The existing raw water pump station (including electrical controls) is located below the 1-in-100 year return river flood level presenting an on-going hazard for Council. The project will upgrade the raw water pump station at the Mareeba Township Kowa Street water treatment plant (WTP) to provide a new kiosk-style electrical control station that is located above the 1-in-100 year return flood level, in addition to replacement of the existing pumps with new pumps.

Grant funding for the Mareeba Water Treatment Plant Raw Water Pump Station Upgrade through the Queensland Government Local Government Grants and Subsidies program (LGGSP) and Mareeba Shire Council.

Scope of Works

The scope of this project is to construct a new Booster Pump Station (BPS) at the Mareeba WTP which includes:

- Modifications to the existing roof opening, hatch replacement, provision of handrails and stairway.
- Demolition works above ground and in the pump well (confined space entry).
- Maintaining RAW water supply for the duration of the works.
- Switchboard manufacture and underground cabling works (electrical and SCADA).
- Staged pump replacement in a confined space dry well (2 No. pumps).
- Pipework modifications, new fittings, and custom S.S. pipework fabrication within a confined
- Staged pump commissioning and overall project commissioning.

Progress Update

The internal infrastructure has been removed to allow for installation works for the new mechanical and electrical equipment.

**Infrastructure Services Capital Works Report
Project Highlights – June 2024**



Stripping out the old pumps and pipe work to make way for new infrastructure.

Project Code	Project Description	Project Stage	Project Comment
Program: 01 Rural and Urban Roads Reseal Program (Renewal)			
P0001020	23/24 Reseal & Asphalt Program	Completed	The 23/24 Reseal Program was completed in June including line marking.
P00835	DRFA Gully Betterment	Construction	Works continue on the Gully Betterment Program, crossings in the Western Area. On track for completion prior to end of year wet season.
Program: 02 Gravel Resheet			
P0001022	23/24 Gravel Resheet Program	Completed	The resheet on sections of Springfield Road has been delayed due to emergent works in the Gamboola area. Resheeting at Karma Waters and Hurricane Road will commence 01/07/2024.
Program: 03 Urban Streets			
P0001023	Recovery Way (WTS) Rehab Ch 0.176-0.272	Not Commenced	Quotations yet to be called.
P0001024	Myola Rd Ch 0.2-3.06	Construction	Milling & asphalt filling works commenced 24/06/2024 and are expected to be completed mid-late August 2024. The bitumen sealing will be carried out early September 2024 after the asphalt has had time to release the volatiles. Line marking to follow
P00791	Hastie/Constance Upgrade (School)	Completed	Works complete. Ergon have energized the street lights.
P00795	TIDS 23-27 Herberton/Constance Inter	Design	Electrical/Lighting Design end of June, minor modification to civil design to incorporate public feedback and electrical design underway. Design changes anticipated mid July.
P00797	TIDS 22/23 24/25 Rankin/Walsh St R'bout	Design	Design underway, anticipate 70% designs by end of July.
P00943	Design Only Mclver Rd Ch. 0.00-7.20	Design	Design project transferred to Consultant. Draft design targeted for August 2024.
Program: 04 Rural Roads			
P0000948	TIDS 23/24 Springmount Rd Ch 11.35-12.7	Construction	Project was bitumen sealed 26/06/2024. Road furniture currently being installed and the line marking will be applied in two weeks when the volatiles settle down in the bitumen seal. All costs have been accrued with TMR & the final claim will be sent after the line marking invoice has been received.
P0000949	TIDS 23-25 Springmount Rd Ch 6.7-7.55	Construction	Intersection works are progressing and the culvert widening will be completed this month.
P0003753	MBA Byrnes St Safety Upgrades	Not Commenced	
P00801	TIDS Ootann Rd Section 1&2 Widen & Seal	Construction	Crew is establishing at Ootann Road & will commence work 2nd week of July 2024.
Program: 05 Bridges			
P00711	Granite Ck Mba Replace Footbridge Deck	Completed	Project complete June 2024.
P00712	Palm Cl Mba Replace Footbridge Boards	Construction	Works commenced late June 2024.
P00713	Bicentennial Lakes F/bridge Safety Upgr	Procurement	Hand rails will be installed July 2024.
P00839	Bullaburrah Ck Rd C'way Relieving Slab	Not Commenced	Not commenced.

Project Code	Project Description	Project Stage	Project Comment
P00840	Clohesy River Barron St Inspect & Design	Planning	Survey continue to monitor for potential subsidence, with review inspection undertaken after each wet season.
P00841	Bolton Rd Inspect/Design/Repl Girders	Planning	Draft Report received, review underway.
P00842	Barron Riv. Bridge Oakforest Rd Insp/Des	Design	Preliminary Design received, technical specifications to be finalised by Consultant. Quotation for works to be undertaken in August 2024.
P00843	Barron River Cwy Henry H Dr Repl Slabs	Not Commenced	Not commenced.

Program: 06 Drainage

P0001021	23/24 Minor Culvert & C/ways Program	Completed	Springmount Road culvert replacement is complete. Further culvert works have been planned for Austin Road & Grievsen Road.
P00844	MBA Amaroo Drainage Upgrades	Design	Design to be finalised July 2024.
P00938	Tilse Street Upgrade Drainage	Completed	Practical Complete. QA documentation and Financial close out underway.

Program: 07 Traffic Facilities

P0000947	Mareeba Aerodrome Safety & Repairs	Procurement	Awaiting fire-fighting system upgrade quotation from Contractor, updated advice will receive early July 2024. Line marking and Lighting amendments tendered end of June 2024.
P0000951	Anzac Ave LATM Upgrades	Procurement	Speed activated signage and line marking works to be completed. Design of Anzac Avenue to be commenced August with target draft review date December 2024.

Program: 08 Parking

P00715	Borzi Park Mba Carparking Masterplan	On Hold	On hold pending sporting clubs' grant applications.
P00846	MBA Heritage Centre Carpark Extension	Design	Layout Plan and Quantities completed. Engagement to commence.

Program: 09 Footpaths

P0001026	23/24 Footpath Renewal Program	Construction	Bicentennial Lakes 80m section of old paver footpath replaced with 2m wide concrete.
P0001027	23/24 Footpath Upgrade Program	Planning	Works to be undertaken in conjunction with Lighter, Affordable and Effective Walking Network Program.

Program: 10 Parks and Gardens

P0001028	Mary Andrews Park Repaint Play Equip	Construction	Repairs will be undertaken week of 01 July 2024.
P0001029	Kda Com Precinct Parks Upgrade	Planning	Planning to progress in 2024.
P00805	Chillagoe Parks Improvement	Construction	Replacement edging materials received and installation. Sand refresh to be completed in July 2024.
P00807	KDA Centenary Park Playground Upgrade	Construction	Repurposed Hans Pehl signage structures have been installed. Footpath improvements to be programmed.
P00809	MBA Bicentennial Lakes (Southern) D&C	Construction	Playground construction complete. Opened to the public 26 June 2024. Further footpath works to be programmed.
P00860	KDA Anzac Park Landscaping	Construction	Concrete path works complete. Final landscaping to commence.

Project Code	Project Description	Project Stage	Project Comment
P00861	KDA Coondoo Street Refurb	Planning	Bush Tourism grant application successful. Works to be programmed once deed of agreement is finalised.
P00862	KDA CBD Planter Boxes & Gardens	Planning	Bush Tourism grant application successful. Works to be programmed once deed of agreement is finalised.
P00865	IRV Bill Newburn Park Refresh	Completed	The swing set was installed June 2024.
P00939	Roscommon Park -Renew Exercise Equipment	Construction	Contractor has submitted his sail layout and footing design to his Engineer for structural approval; issuing of a RPEQ Form 15.

Program: 11 Water

P0001036	23/24 AC Water Main Replace Program	Completed	Majority of replacements completed with minor works outstanding.
P0001037	23/24 Water Telemetry/SCADA Upgrades	Completed	Works completed June 2024.
P0001038	23/24 Retic Valve/Hyd Replace Program	Completed	Works are completed and project can be closed out once commitments are cleared.
P0001039	23/24 Retic Smart Meter Replace Program	Completed	Works for 23/24 FY completed and once commitments are cleared project can be closed out.
P00730	Mba WTP Study for Upgrade of WW System	Construction	Works are unlikely to be completed by 30 June as we need two key projects at the Mareeba WTP to be commissioned before we can finalise. Anticipated completion is September.
P00733	BOR6 MWTP Filtration Upgrade	Construction	Project is running extremely well and will be completed on time.
P00824	MBA Clear Water Booster Pump Station	Construction	Project suffered form some delays during inclement weather and materials supply chain issues but should be completed on schedule.
P00874	MBA WTP Raw Water Pumps & Electrics	Construction	Project works progressing well and should be completed late August.
P00876	BOR6 22/23 Water Forward Design Program	Design	Qld State Govt agreed to use funds for the design of a 10ML water reservoir, design completed June 2024.
P00878	MBA Decommission Basalt St Elevated Tank	Construction	This work will be done in conjunction with the commissioning of the booster pump station.
P00879	MBA Decommission Granite Ck Pump Station	Planning	Project cannot commence until the new water booster station project has been commissioned.
P00882	WTP Minor Infrastructure Replacements	Completed	Equipment arrived and has been installed and project can be closed out if commitments are cleared.

Program: 12 Wastewater

P0001040	Mba WWTP Purchase Forklift	Procurement	Fleet are sourcing a forklift which has been ordered and staff have started their forklift driver training.
P0001041	Mba WWTP Inlet Works Replacements	Construction	New inlet screens have been installed and commissioned and working well. There is some minor works yet to be completed and once these are done the project will be closed out.
P0001042	Kda WWTP Intet Works Replacements	Completed	New inlet screen installed and commissioned and working well. If commitments are cleared the project can be closed out.
P0001043	Atherton St Pump Station Refurb	Not Commenced	Project subject to grant funding.
P0001044	Robins St SPS Rising Main Upgrade	Completed	Project completed and can be closed out once commitments are cleared.
P0001046	23/24 WW Telemetry/SCADA Upgrades	Construction	Project completed June 2024.

Infrastructure Services Capital Works Summary Report - June 2024



Project Code	Project Description	Project Stage	Project Comment
P0001047	23/24 WW CCTV & Relining Program	Completed	Project completed with reduced scope in June 2024.
P0001049	23/24 WW Manhole Rehab/Replace Prog	Completed	Project works are completed and the project can be closed out once commitments are cleared.
P0001050	Kennedy Hwy PS Control Board Upgrade	Construction	Inclement weather has continually hampered the progress on this project and will be pushed out until weather improves for a reasonable period of time.
P0001053	23/24 WWPS Refurbishment Program	Construction	The new switchboard for Thoree SPS will not be ready until at least end of October and then it will have to be fitted out and installed. There are some change out of pump station equipment that also needs to occur at various pump stations.
P00886	MBA Bi-Lakes Sewer Main Capacity	Completed	Project has been completed and once final progress claims have been processed project can be closed out.
P00889	22/23 MBA Sewer CCTV & Relining	Construction	Sewer reticulation smoke detection and CCTV imaging works currently underway with an expected completion timeframe of end of June.
P00894	Minor WW Pump Station Refurbishments	On Hold	Subject to grant funding.

Program: 13 Waste

Program: 15 Fleet

P0001067	Fleet Replace #401 Mini Excavator	On Hold	On hold.
P0001068	Fleet Replace #619 Job Truck Tipper	Completed	Vehicle in service 7th June 2024.
P0001069	Fleet Replace #1206 Mitsu Pool Vehicle	Completed	New vehicle to be delivered 3 June 2024.
P0001071	Fleet Replace #1231 Toyota WW	Procurement	Vehicle has been ordered expected delivery date July 2024.
P0001072	Fleet Replace #1313 Nissan Dual Cab	Completed	Vehicle delivered 22 March 2024, vehicle in service
P0001074	Fleet Replace #2055 Mitsu P&G	Completed	Vehicle in final stages of fit out.
P00427	GPS Vehicle Management System	In Progress (for the non-infrastructure projects)	As new equipment comes on line, Procurement will commence. Expected September 2024.

Program: 16 Depots and Council Offices

P0001064	Mba Depot Admin Building Refurb	Construction	Stage 2 works complete. Stage 3 and kitchen works commenced.
P00759	Kowa St MSC Depot Emergency Generator	Planning	Investigations recommenced; delivery targeted prior to end of 2024.
P00940	Kowa St MSC Depot New Fuel Bowser	Planning	Options under assessment.

Program: 17 Community Buildings

P0001059	Mba/Dim Aquatic Condition Assessment	Planning	RFQ development has begun, intent to release to market Late July 2024, with delivery of project prior to end of year.
P0001062	23/24 Amenities Refurbishment Program	Construction	Project practical completion achieved, financial close out to occur in July.
P0003756	MBA Davies Park Field 1 Lighting Upgrade	Design	

Project Code	Project Description	Project Stage	Project Comment
P00749	Aquatic Facility Upgrades & Splash Park	Construction	Preliminary works have commenced. Advised the new switchboard manufacture is 90% complete. Waiting on Ergon to finalise their work schedule to undertake the power upgrade. Project completion expected mid-July.
P00793	MBA Women's Restroom Refurb	Planning	Investigations for options to be commenced July 2024.
P00819	22/23 Shire Toilet Facility Repl Program	Construction	Arnold Park Toilet Repairs/Refurbishment following significant vandalism incident. Doors ordered awaiting on delivery and installation.
P00905	KDA Community Prec. Toilet Refurb	Completed	Painting works completed.
P00909	KDA Aquatic Cnt 25m Pool Aquaris Upgrade	Procurement	Delays due to contractor availability, works remain required.
P00941	23/24 Park/Sporting LED Lights Arnold Pk	Design	Reviewing Electrical Engineering Report.
P00942	22/23 DIM Town Hall A/C/Solar/Lighting	Construction	Split system air conditioners complete. Distribution board replacement complete.

Program: 18 Non-Infrastructure Items

P0000946	Mba Cemetery New Mausoleum Wall	Construction	Feature brick complete. Stone works commenced and to be available for interments mid July 2024.
P0001085	Mba Cemetery Expansion Planning	Planning	Investigations into concept options identified, to commence July 2024.
P00446	Kuranda New Cemetery	Construction	Toilet complete & lawn beam installed. General tidy up in progress and available for interments from mid July 2024.
P00932	MBA MIP Expansion	Design	Engagement process for Consultant of Detailed Design to be commenced August 2024, following review of masterplan by EMT & Council.

9.4 PARKS AND OPEN SPACES QUARTERLY REPORT APRIL 2024 - JUNE 2024

Date Prepared: 28 June 2024

Author: Manager Assets and Projects

Attachments: 1. Parks and Open Spaces Quarterly Report April 2024 to June 2024 [↓](#)

EXECUTIVE SUMMARY

The purpose of this report is to provide an update on projects being delivered under the Parks and Open Spaces Three-Year Action Plan during the months of April 2024 – June 2024.

RECOMMENDATION

That Council receives the Parks and Open Spaces Action Plan Progress Report for the months of April 2024 – June 2024.

BACKGROUND

Council adopted its Parks and Open Spaces Strategy and Three-Year Action Plan in February 2022.

The Parks and Open Spaces Strategy 2022-2031 has been developed to achieve Council's vision to enhance the Shire's liveability and visual appeal, and to encourage active communities and economic development. The Strategy was developed using a structured community engagement and internal consultation process.

Alongside the Strategy, a Three-Year Action Plan was developed for implementation of initial priority projects, with monthly updates provided to Council on the progress of the action plan, with each project presented to Council in detail prior to construction.

The format of the information on project status has been updated and information is provided in the legend within the attached progress report.

FINANCIAL AND RESOURCE IMPLICATIONS

Parks and Open Spaces 3 Year Action Plan - Project Update: April 2024 – June 2024

Legend

	Project scheduled
	Project scheduled but not yet started
	Project in planning stage
	Project started
	Project complete
	Project Updated in this Report
	Project Not Updated in this Report

Project	2022	2023	2024	Monthly Update to Council
RAIL TRAIL				
Mareeba Rail Trail Stage 1 (Mareeba to Airport)				Works Complete
BETTER PLAYGROUNDS				
Geraghty Park (Julatten)				Not commenced. Design to commence in 2023/24. Subject to suitable grant funding to also upgrade the playground equipment.
Chillagoe Playground Improvement				Half Basketball Court construction completed April 2024. Minor refurbishments of Pat Kinnear Park Playground (Chillagoe Hall) to be completed as resourcing allows following ongoing wet weather events.
Dimbulah Parks Revitalisation				Pump track, swing set, seating and fence complete.
Kuranda Community Precinct				Not commenced. Design to commence in mid-2023/24. Potential grant application to leverage Council's funds.
General Playground and Fitness Equipment Renewals - Various Locations				Roscommon Park Speewah. Fitness equipment, artificial turf and shade sail installed.
IMPROVE BICENTENNIAL LAKES				
Bicentennial Lakes (Southern) Upgrade				Waterway stream has been re-established following ex-Jasper flooding. Toilet, pump track, playground internal pathways, playground, picnic shelter, picnic setting and seating complete. Footpath renewal Connecting Mason St to Flat Footbridge Footpath Renewal is complete. Further footbridge and footpath renewals commencing as budget allows.
Bicentennial Lakes (Northern) Upgrade				Community engagement complete for Bicentennial Lakes Northern precinct. Growing Regions Grant Funding Secured. https://msc.qld.gov.au/current-community-consultation/
IMPROVE PARKS AND OPEN SPACES				
Amaroo Park				Playground and carpark construction complete Masterplan Complete.
Mareeba Town Walking Trails Upgrades				The Walking Network Plan has been adopted by Council and a Priority Works Program has been developed. Works have commenced for construction of priority projects.

Parks and Open Spaces 3 Year Action Plan - Project Update: April 2024 – June 2024

				<ol style="list-style-type: none"> 1. Constance and Atherton Street Intersection 2. Lloyd and Constance Street intersection 3. Lloyd and Walsh Street intersection 4. Ceola Drive – a walking/cycling lane along the western side of Ceola Drive. 5. Anzac Avenue – a walking lane and marked parking bays at the missing connection near Durston Street <p>This project was funded by the Department of Transport and Main Roads.</p>
Gregory Terrace (Kuranda) Park Upgrade				Not commenced. Design to commence in mid- 2024.
Kuranda Town Walking Trails Upgrades				Council was granted funding under the Walking Local Government Grants program and a Walking Network Plan and a Priority Works Program have been adopted by Council.
Kuranda Tourism Parks and Open Space Upgrades*				<p>Centenary Park Kuranda – Playground construction is complete. Further works to refresh the surrounding stone retaining walls and footpaths are in the planning stages.</p> <p>Community consultation complete for Coondoo Street lighting upgrades, pathway refresh and improvements for Anzac Park Kuranda.</p> <p>Works to commence when ground conditions are suitable following wet weather events for Anzac Park.</p> <p>Works to commence shortly. This project has received \$200,000 in funding from the Queensland Government.</p>
Bill Newburn Park (Irvinebank) Upgrade				Picnic shelter has been installed & the hexagonal seat relocated. Swing set installed. Project complete.
Anzac Park (Mareeba) Revitalisation				Project complete.
Toilet Facilities Improvements - Various Locations				Centenary Park Mareeba, Mareeba Cemetery and Mt Molloy Vains Parks toilet refurbishment has been completed. 2024-25 projects will be considered by the new Council.
Footpaths Improvements - Various Locations				<p>Footpaths renewed along Rankin St and Basalt Gully (Stewart St), Mareeba. Pedestrian bridge improvements for Basalt Gully (Stewart St) and Granite Creek (Eales Park to Ward St) under design. Walking Network Priority Works Programs have been developed and adopted for Kuranda and Mareeba.</p> <p>Footpaths are planned to be renewed for Bicentennial Lakes Southern Section, Lloyd St and Atherton Street and are now in procurement.</p> <p>Kuranda footpaths refurbishment works on Coondoo Street and around Centenary Park Kuranda to commence shortly.</p>
Park Entrance Signage Improvements - Various Locations				Ten park entrance signs have been replaced in February 2022. Funding for this project has been fully expended.
WATER PARK				

Parks and Open Spaces 3 Year Action Plan - Project Update: April 2024 – June 2024

<p>New Mareeba Water Splash Park</p>				<p>Splash Park officially opened 24 June 2023. The project was funded by the Department of State Development, Infrastructure, Local Government and Planning to provide the Splash Park and upgrades to existing infrastructure at the Mareeba Aquatic Centre to the value of \$1.5M. The remaining construction funding was contributed by Council, who will also be responsible for the ongoing maintenance and operating costs.</p>
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*Tourism projects in Kuranda to be funded by the Kuranda Infrastructure Levy

9.5 INFRASTRUCTURE SERVICES, TECHNICAL SERVICES OPERATIONS REPORT - JUNE 2024

Date Prepared: 24 June 2024
Author: Manager Technical Services
Attachments: Nil

EXECUTIVE SUMMARY

The purpose of this report is to outline Council's Fleet, Design, Soils Lab, Survey, Quality, GIS, Facilities and Investigation Services activities undertaken by Infrastructure Services during the month of June 2024.

RECOMMENDATION

That Council receives the Infrastructure Services, Technical Services Operations Report for June 2024.

BACKGROUND

Technical Services

Design, quality, and investigations:

Investigation activities undertaken in June included:

Activity	Current Requests	Closed Requests
Road Infrastructure Review	65	12
Drainage Investigations	35	3
NHVR Permit Applications	0	22
Traffic Count Surveys	0	6
Parks Investigations	3	0
Miscellaneous e.g. Planning; Local Laws	30	20
Before You Dig Requests	0	131

Soil Laboratory:

Council's Soil Laboratory provides NATA-accredited soil and material testing for internal and external services. The extended wet season has continued to limit the quantity of testing in June, however 236 tests were completed with the majority being for external clients.

GIS

Ongoing improvements to GIS data associated with water, sewerage, roads, underground stormwater, and kerbs asset data sets continues, as information is received from other areas of Council.

Operational Works and Subdivisions

To ensure ongoing compliance with development conditions, both during construction and on-maintenance, Council undertakes routine inspection and monitoring of sites. The following developments remain current:

Locality	Subdivisions Name	Status
Kuranda	Jum Rum Rainforest Estate Stage 1, Fallon Road	On-maintenance
Kuranda	Christensen Road, Myola Heights – Stage 2a	On-maintenance
Mareeba	Emerald End Road and Country Road – Stage 3	On-maintenance
Mareeba	Emerald End Road and Country Road – Stage 4	Under construction
Mareeba	The Rise – Catherine Atherton Drive – Stage 3	On-maintenance
Mareeba	Amaroo Stage 13a	On-maintenance
Mareeba	Amaroo Stage 12 – Drainage Infrastructure	On-maintenance
Mareeba	Prestige Gardens Stage 1-4	On-maintenance
Mareeba	Prestige Gardens Stage 5-6	Under construction
Mareeba	7 Haren Street	On-maintenance
Mareeba	Mareeba Roadhouse and Accommodation Park, Williams Close	On-maintenance - Monitoring
Kuranda	112 Barnwell Road widening	Monitoring

Disaster Recovery Funding Arrangements (DRFA)

The DRFA is jointly funded by the Commonwealth and Queensland governments to help alleviate the costs of relief and recovery activities undertaken in disaster-affected communities by delivering recovery activities to return affected eligible assets back to pre-event condition. The status of declared disaster events currently being managed are provided below:

Program	Status
2022 DRFA	Far North Queensland Low Pressure Trough, that occurred 1 – 7 February 2022. The Gamboola Crossing bridge remains the only current project, with approximately half the structure now completed. Work remains on track for completion prior to end of year.
2022 Betterment	Contract has commenced with works planned for completion by end of 2024 dry season. Significant progress within the Western area was made during June.
2023 DRFA	Northern and Central Queensland Monsoon and Flooding Event, 20 December 2022 – 30 April 2023. Contracts for the reconstruction of essential infrastructure were awarded April 2024, with contract pre-start meetings occurring.
2023 Cyclone	Declared event December 2023 - 'Tropical Cyclone Jasper, associated rainfall and flooding, 13 – 28 December 2023'. Emergency response activities continue, with the QRA providing an extension to the Emergent Period. Damage assessments are continuing. Landslip Remediation Projects: Hilltop Close and Barron Falls Road significantly progressed in June 2024. Julatten, Mt Lewis Road, Bridge and Jarawee Road, Kuranda, Landslip: Council resolved to award following review by QRA. Emerald End Road and Carmen Road crossings: Tender for construction released in June 2024.

Facilities

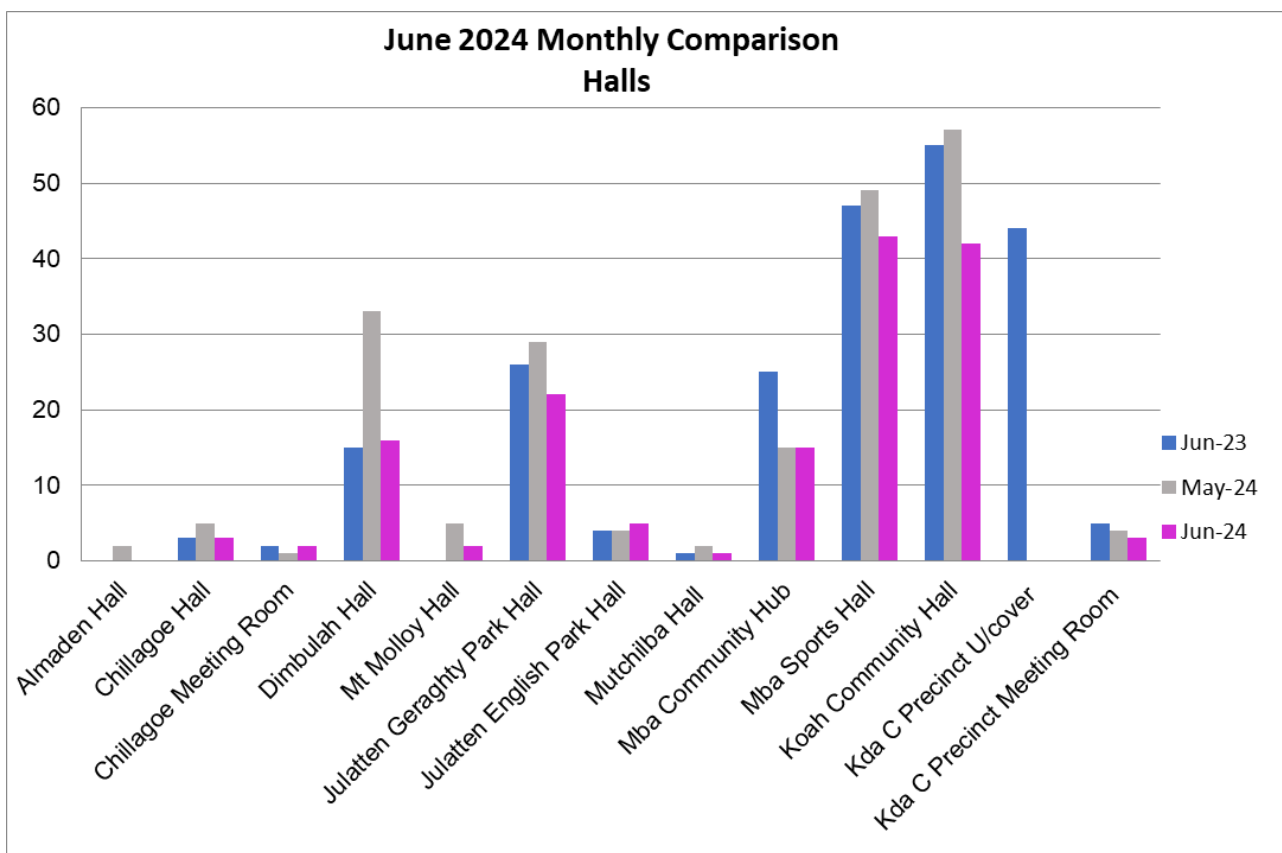
Asset Inspections:

Facility asset condition and defect inspections continue, and a review of internal facility processes/practices is underway to seek efficiency improvements. Inspections are currently targeted towards assisting in the development the Facilities Asset Management sub plan.

Facility maintenance programs, arising from the defect listing, are progressing well with works underway at numerous facilities.

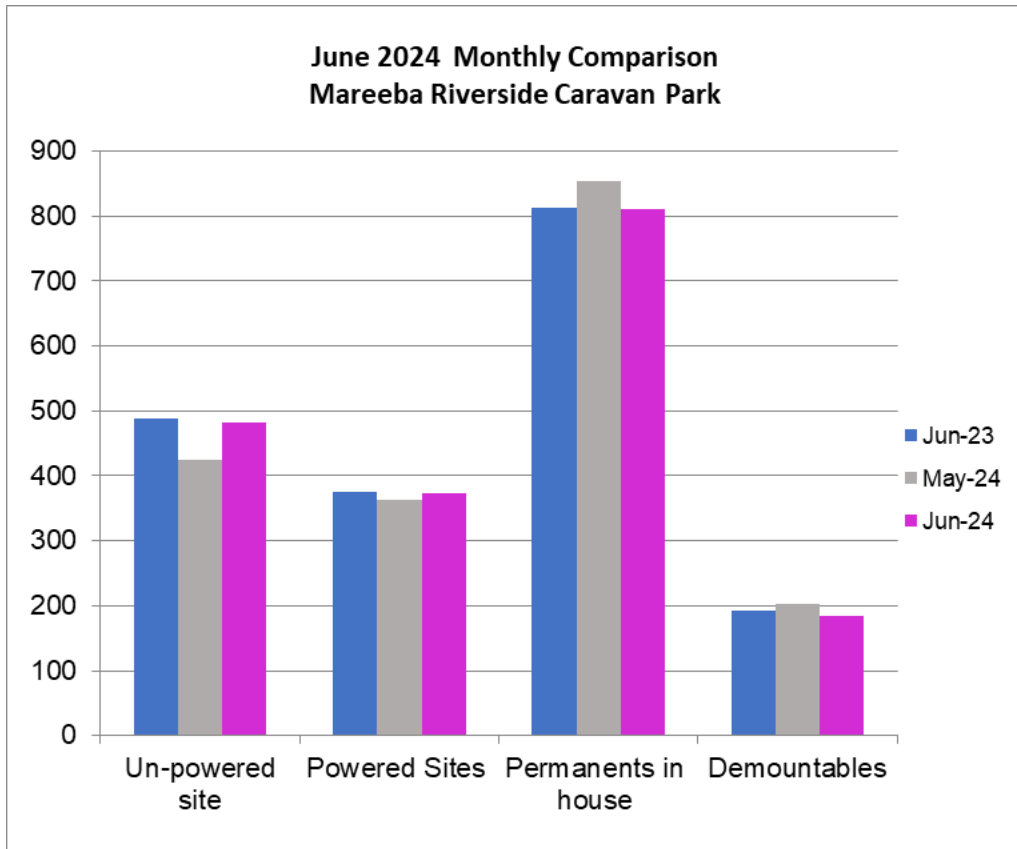
Community Halls:

Maintaining safe and efficient access to Council’s Community Halls is recognised as an important aspect for the community's ongoing wellbeing. Although a reduction in usage has been recorded, numbers remain strong.

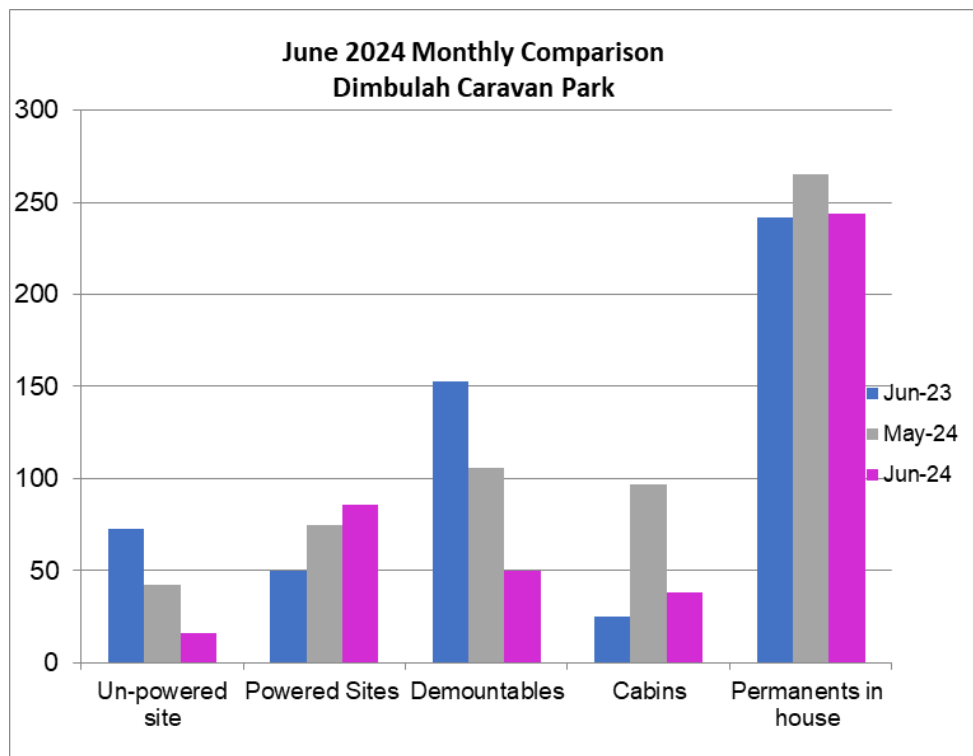


Caravan Parks:

Mareeba Riverside Caravan Park tenant numbers remain stable.

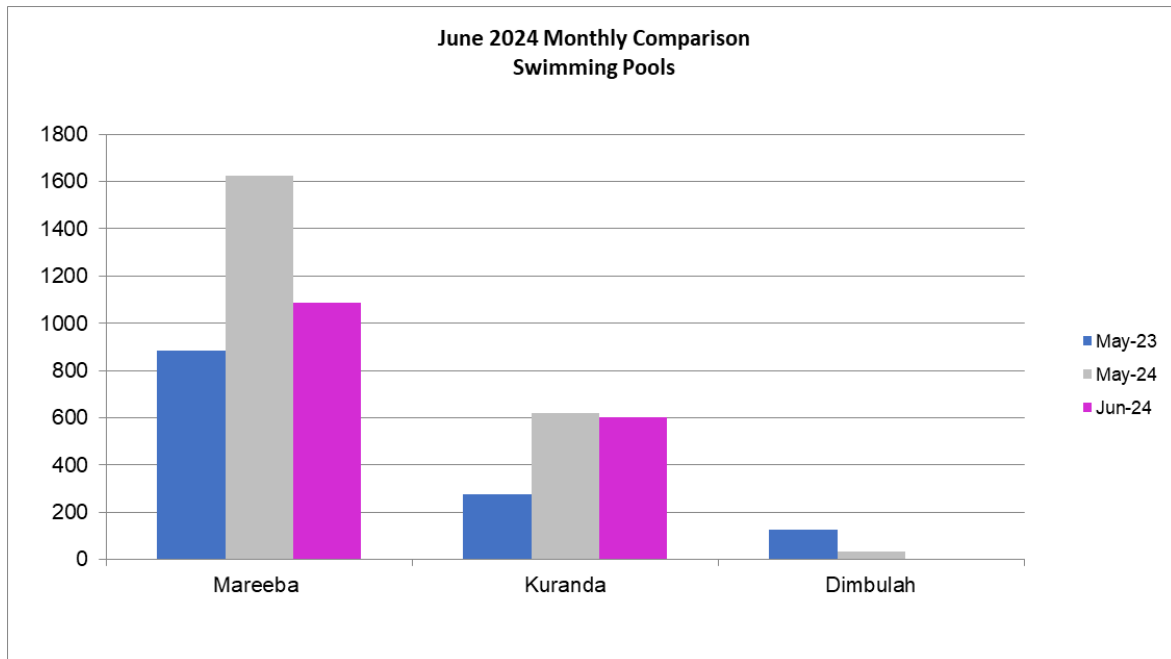


Dimbulah Caravan Park user numbers (total) have reduced slightly overall, which aligns with historic trends as we approach the cooler months.



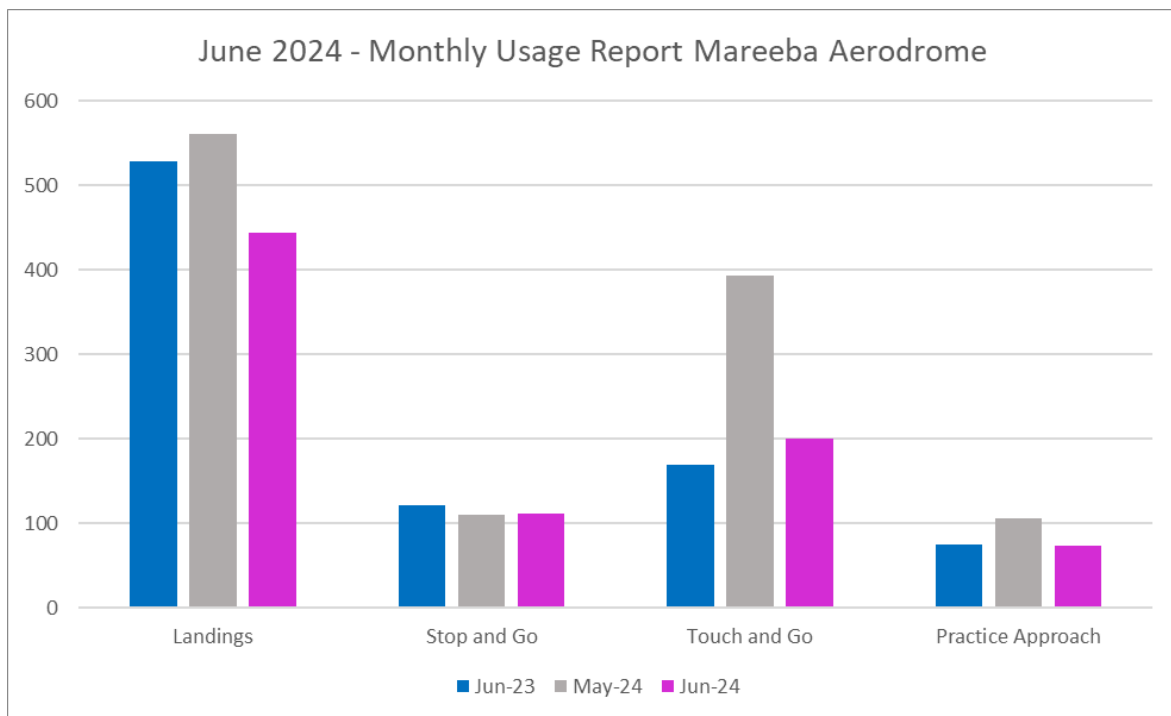
Aquatic Centres

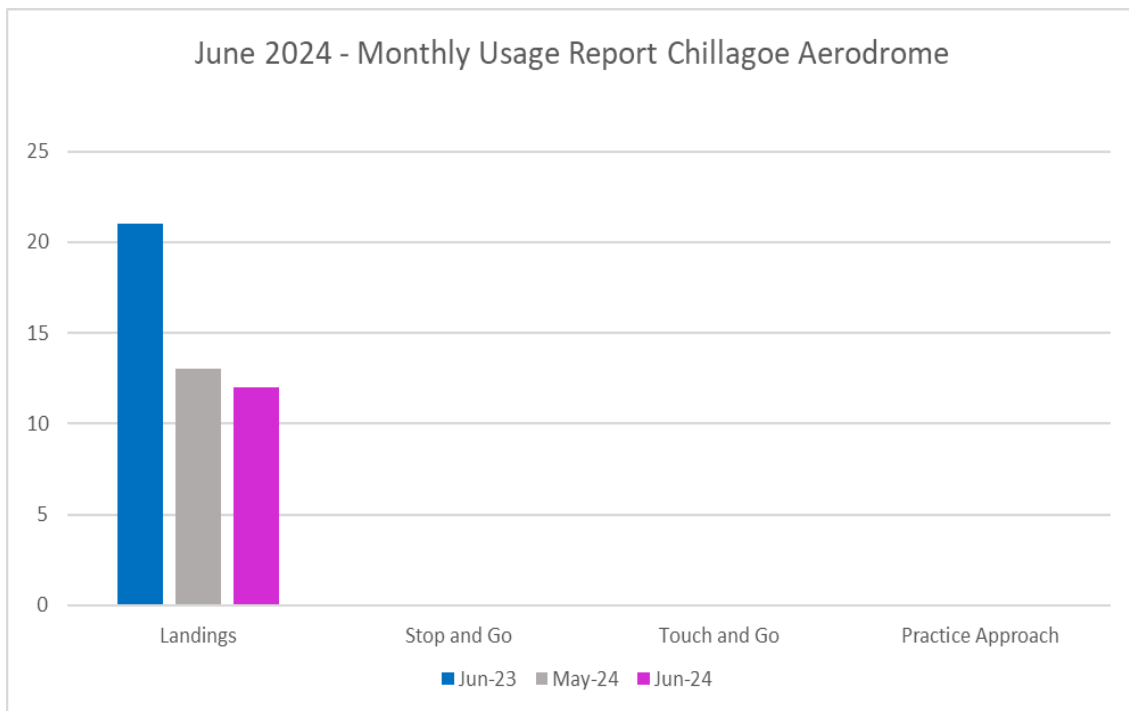
Attendance numbers have shown indications of a potential winter slowdown when compared to May 2024 however remain significantly stronger than previous years June numbers. Dimbulah pool closed for winter from 12 May 2024.



Aerodromes:

The data recorded below is current for the month of June, however there is usually a lag of some data for each current month from the service provider, which continues to be updated into the next month.





FINANCIAL AND RESOURCE IMPLICATIONS

Operating

Additional cost associated with graffiti and vandalism is expected and will be accommodated within existing budget allocations.

LINK TO CORPORATE PLAN

Financial Sustainability: A council that continuously operates in a cost-effective manner while managing council’s assets and reserves to ensure a sustainable future.

Transport and Council Infrastructure: The provision of quality services and infrastructure for our growing community that is planned and managed using sound asset management principles.

Community: An informed and engaged community which supports and encourages effective partnerships to enhance the liveability of the Shire.

Economy and Environment: A resilient economy that promotes and supports the shire's natural assets and local industry and encourages investment while preserving and future proofing for generations to come.

9.6 T-MSC2024-14 2024-2025 WATER MAIN REPLACEMENT

Date Prepared: 3 July 2024
Author: Manager Water and Waste
Attachments: Nil

EXECUTIVE SUMMARY

The purpose of this report is to provide Council with an assessment of the tenders received for T-MSC2024-14 2024-2025 Water Main Replacement.

RECOMMENDATION

That Council awards Tender T-MSC2024-14 2024-2025 Water Main Replacement to A & B Civil Pty Ltd for the amount of \$942,718.47 excluding GST.

BACKGROUND

Tenders for T-MSC2024-14 2024-2025 Water Main Replacement closed at 1:00pm, Monday 17 June 2024. The scope of the works includes supply and installation of a new water main on Keeble Street, Eccles Street and through Adams Street. Works for the new watermain installation will generally be limited to the road reserve between the edge of road and property boundary.

The existing water main is typically asbestos cement (AC) and will be decommissioned by grouting in situ. Council has advised tenderers that the works are required to be practically complete by February 2025.

The works are generally concentrated in the road pavement along Keeble Street, Eccles Street and Adams Street, as such there will be some localised disruption to traffic for the duration of the project and this will be well communicated to residents and pedestrian traffic will be accounted for where required.

Tender Evaluation

Four (4) tender submissions were received. A summary of the tender prices at opening is provided in *Table 1* below;

Table 1: Tendered Price at opening

Tenderer	Tendered Price (excluding GST)
A & B Civil Pty Ltd	\$942,718.47
JR Pipelines Pty Ltd	\$1,211,142.44
Top Rock Quarry T/A fgf developments Pty Ltd	\$1,466,469.81
Terranovus Civil T/A Northern Civil Earthworks Pty Ltd	\$1,142,909.12

Tender Assessment

During the Tender Assessment process, Council officers sought clarification from some of the tenderers regarding the priced and non-priced criteria of the submissions, clarifications did not affect tender the tendered values.

Tenders were assessed in accordance with the evaluation criteria stated in the tender documentation and as provided in *Table 2* below;

Table 2: Evaluation Criteria

Criteria	Weighting
Tendered Price	40%
Relevant Experience	15%
Key Personnel Skills and Experience	15%
Tenderer's Resources	10%
Demonstrated Understanding	20%
Total	100%

Each tender was evaluated and scored against the criteria, with the criteria scores then weighted to provide a total weighted score for each submission. Additionally, each tender has been assessed for conformance, compliance, and discrepancies, against the requested response schedules.

All tenders were conforming, with all tenderers assessed as capable of completing the works. Except the tender received from Terranouvs Civil T/A Northern Civil Earthworks Pty Ltd which was assessed as not conforming with the conditions as detailed in the invitation to tender.

A summary of the Tender assessment, incorporating the evaluation against conformance, price and non-priced base criteria, resulted in the ranking of submissions displayed in *Table 3* below.

Table 3: Tender Evaluation Summary

Tenderer	Score (100%)	Rank
A & B Civil Pty Ltd	87 %	1
JR Pipelines Pty Ltd	66 %	2
Top Rock Quarry T/A FGF Developments Pty Ltd	66 %	3
Terranouvs Civil T/A Northern Civil Earthworks Pty Ltd	68 %	Non-conforming

RISK IMPLICATIONS

Financial

Council has allocated funding under the 2024/25 capital budget.

Council has received approval of funding towards the 2024-25 Water Main Replacement Program through the Australian Government’s Local Roads and Community Infrastructure Program Phase 4. Projects receiving funding under this grant program must be completed by 30 June 2025

Infrastructure and Assets

The water infrastructure requires upgrading to ensure continuity of supply to customers.

FINANCIAL AND RESOURCE IMPLICATIONS

Capital

Yes.

Is the expenditure noted above included in the current budget?

Yes.

LINK TO CORPORATE PLAN

Transport and Council Infrastructure: The provision of quality services and infrastructure for our growing community that is planned and managed using sound asset management principles.

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance and affordable levels of service delivered to the community.

IMPLEMENTATION/COMMUNICATION

Tenderers to be notified of the outcome of this report.

Council's Corporate Communications team will be engaged prior to works commencing to develop a media campaign to inform the public on the project with key points being addressed, such as the project itself, potential road lane closures and traffic disruptions along with the benefits of the project.

9.7 INFRASTRUCTURE SERVICES, WATER AND WASTE OPERATIONS REPORT - JUNE 2024

Date Prepared: 24 June 2024
Author: Manager Water and Waste
Attachments: Nil

EXECUTIVE SUMMARY

The purpose of this report is to summarise Council’s Water and Waste activities undertaken by the Infrastructure Services Department during the month of June 2024.

RECOMMENDATION

That Council receives the Infrastructure Services, Water and Waste Operations Report for June 2024.

BACKGROUND

Water and Wastewater Treatment:

All treatment plants are generally performing satisfactorily. Interim measures to address damage to Kuranda Water Treatment Plant intake infrastructure which resulted from Cyclone Jasper and ongoing rain is continuing.

Connections have been updated with information provided by the Rates Section to correspond with annual KPI reporting.

Water Treatment	Mareeba	Kuranda	Chillagoe	Dimbulah	Mt Molloy*
Water Plant average daily production (kL)	8542	777	229	405	122
Number of Connections	4,141	1053	127	246	111
Average daily water consumption per connection (L)	2063	738	1,803	1646	1095

* Mt Molloy is an untreated, non-potable water supply

Wastewater Treatment	Mareeba	Kuranda
Wastewater Plant average daily treatment (kL)	2,315	214
Number of Connections	3,519	356
Average daily inflow per connection (L)	658	602

Mareeba Water Treatment Plant Upgrades:

Three (3) critical infrastructure projects at the Mareeba Water Treatment Plant (MWTP) have commenced as part of Council’s 10-year Water Strategy:

- MWTP Filtration System Upgrade

- MWTP Raw Water Pump Upgrade
- MWTP Booster Pump Station Upgrade

These projects will increase capacity of the plant and ensure that Council is able to supply safe water to residents and businesses in Mareeba now and into the future. Completion of the upgrades is programmed for mid-2024 for the booster pump station and raw water pump station projects and late 2024 for the filtration project.

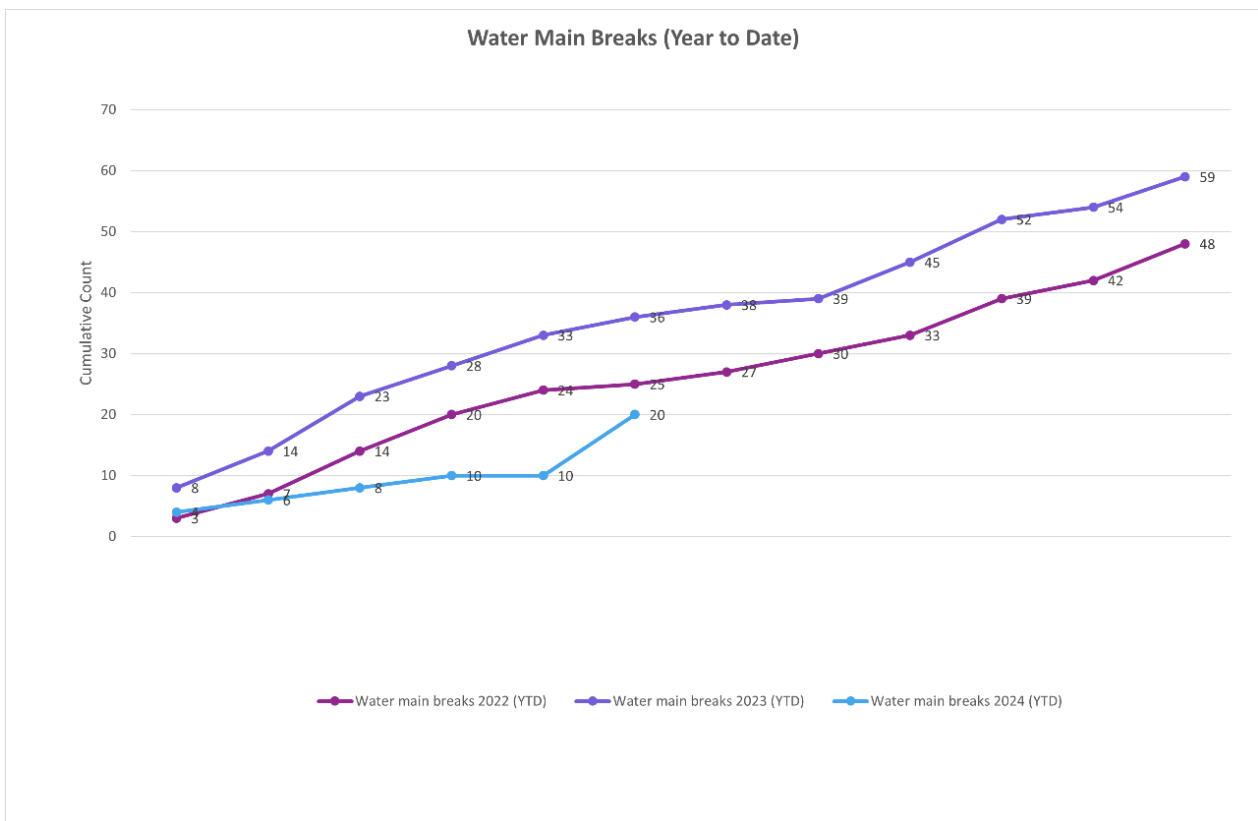
While these works occur at the Mareeba Water Treatment Plant there may be disruptions from time-to-time. As a result, the community has been asked to conserve water and reduce consumption during the upgrades. It may be necessary to introduce water restrictions to enable certainty of water supply to residents.

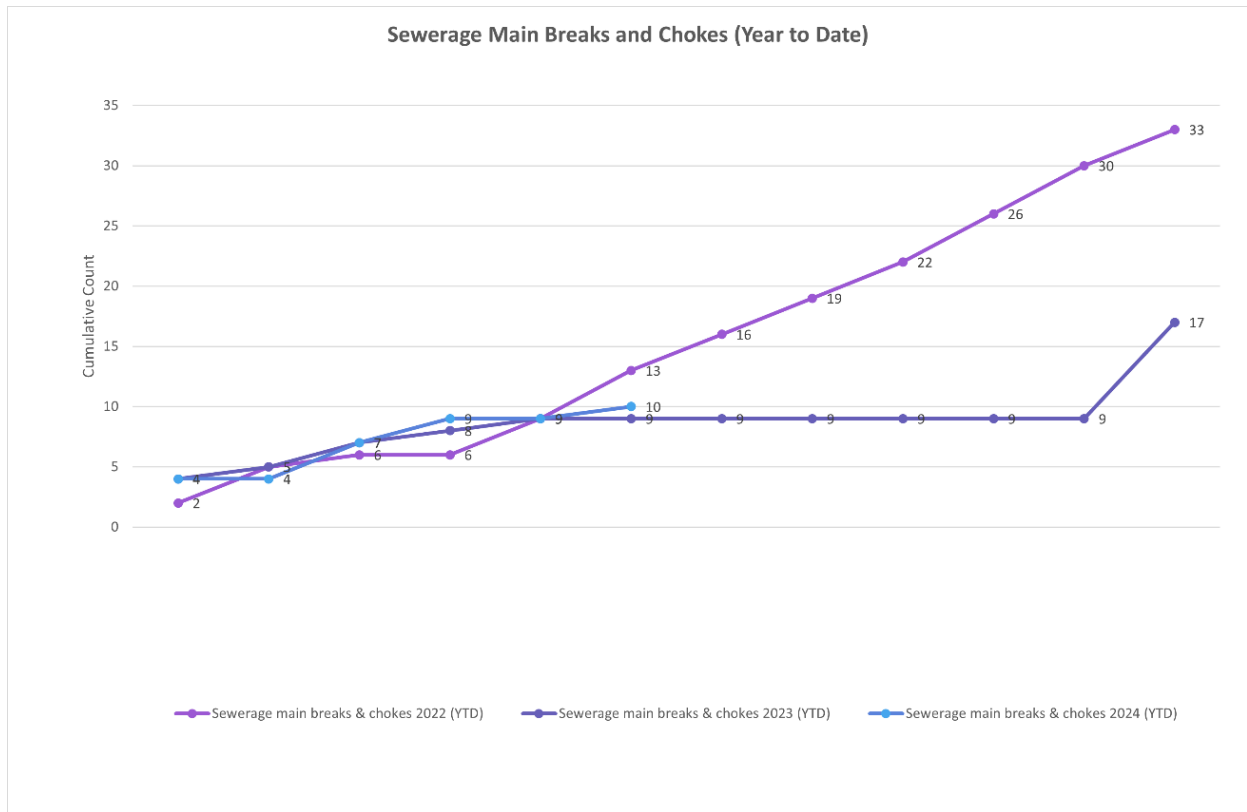
Water and Wastewater Reticulation:

Council's water reticulation crew attended to ten (10) water main breaks, and one (1) sewer main breaks/chokes this month, and average response times were within targets set out in Council's customer service standard for water services.

The temporary solution to address the blockage of the Lloyd Street sewer in Mareeba continues to operate to mitigate wastewater discharges to the Barron River which ceased in February. Planning for a long-term solution is underway. The various regulators are satisfied with Council's response to the incident which is now closed out and they have advised that no regulatory action against Council will be taken.

Monthly statistics are shown on the water reticulation main breaks and sewerage main breaks and chokes:

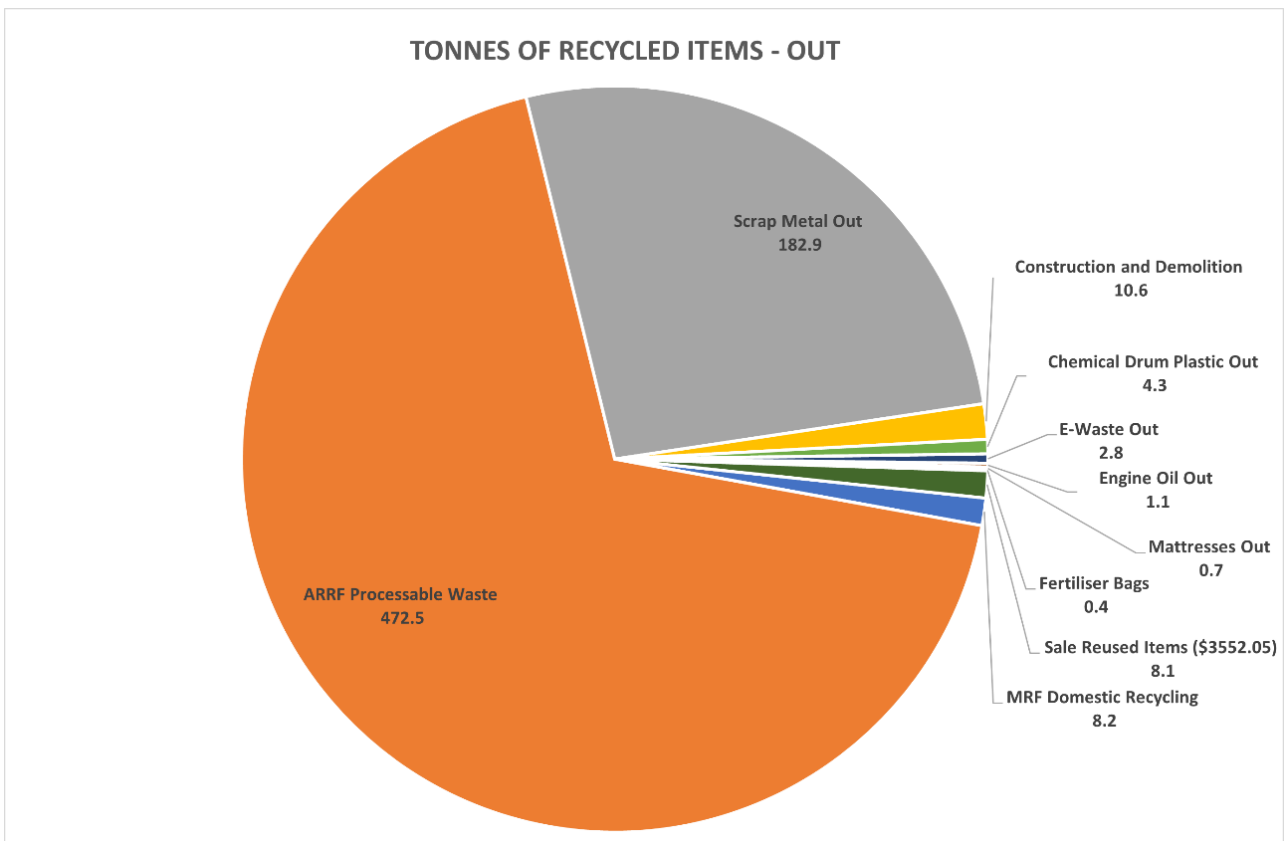




Waste Operations:

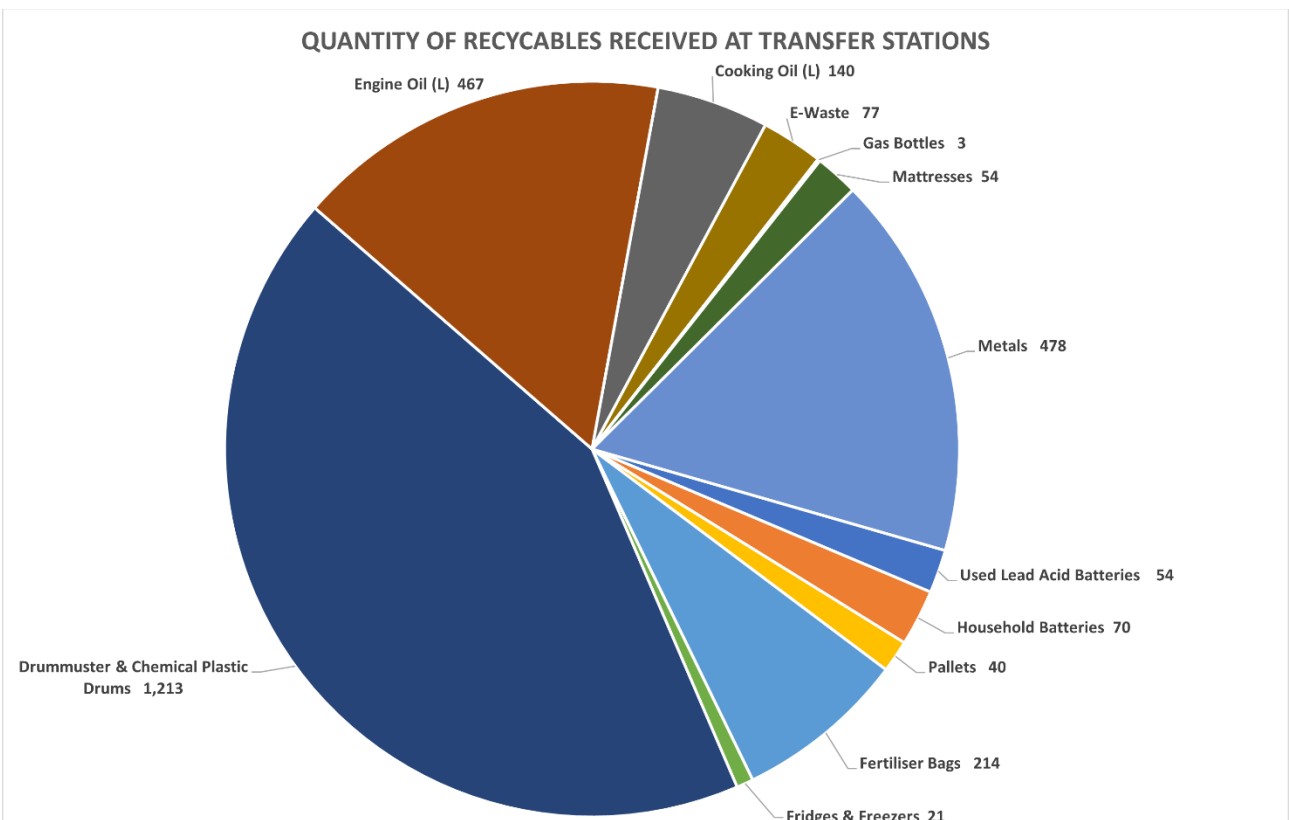
Waste material collected in Kerbside trucks is transported to the Advanced Resource Recovery Facility (ARRF) in Cairns for processing. Residual waste and waste collected at Transfer Stations is transported to Springmount Waste Facility, and recyclable material is transported to the Material Recovery Facility (MRF) in Cairns for processing.

During June, 472.5 tonnes of waste was processed through the ARRF, 169 tonnes of waste was sent to Springmount Waste Facility and 8.2 tonnes of domestic items were recycled at the MRF.



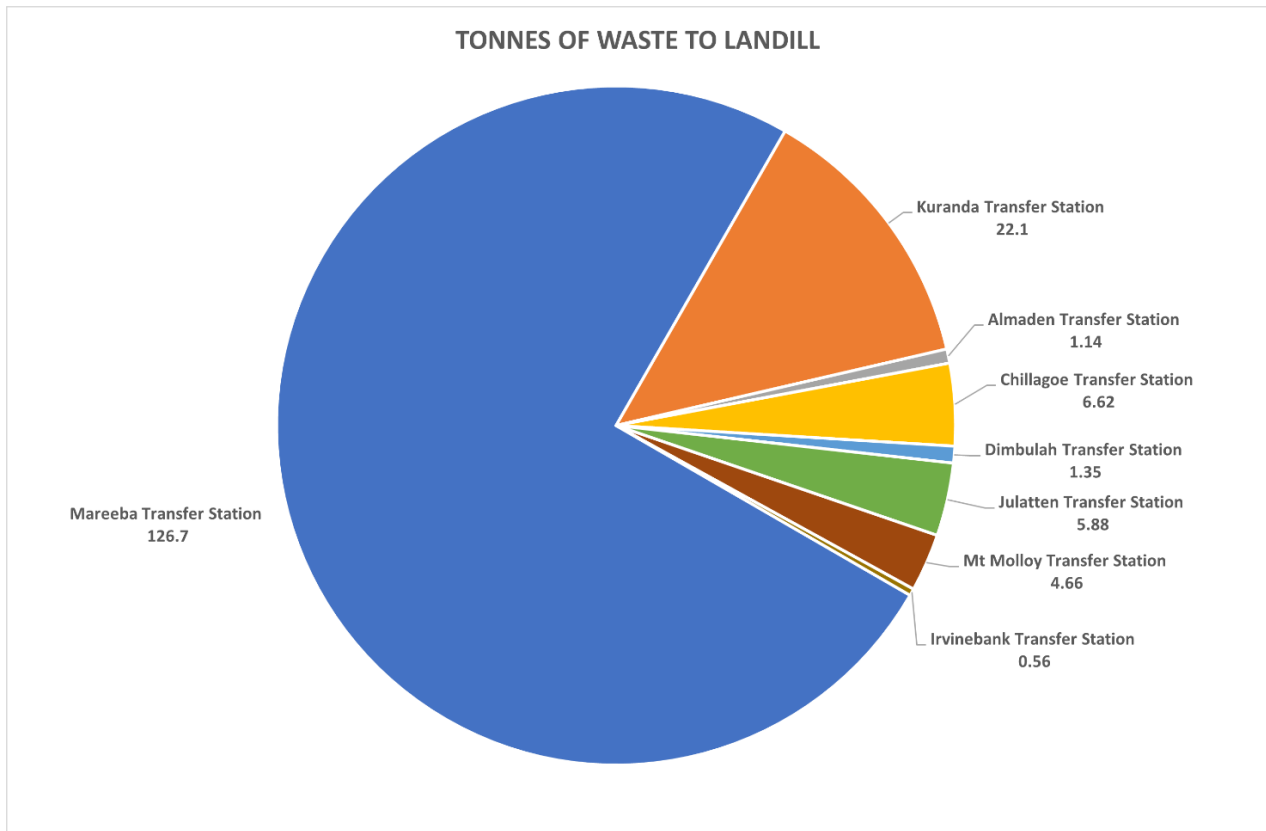
Recycling

Residents continue to recycle at the Transfer Stations. During June the highest count of recyclable items received were 1213 DrumMuster chemical drums, 478 items of scrap metal and 467 litres of Engine Oil.



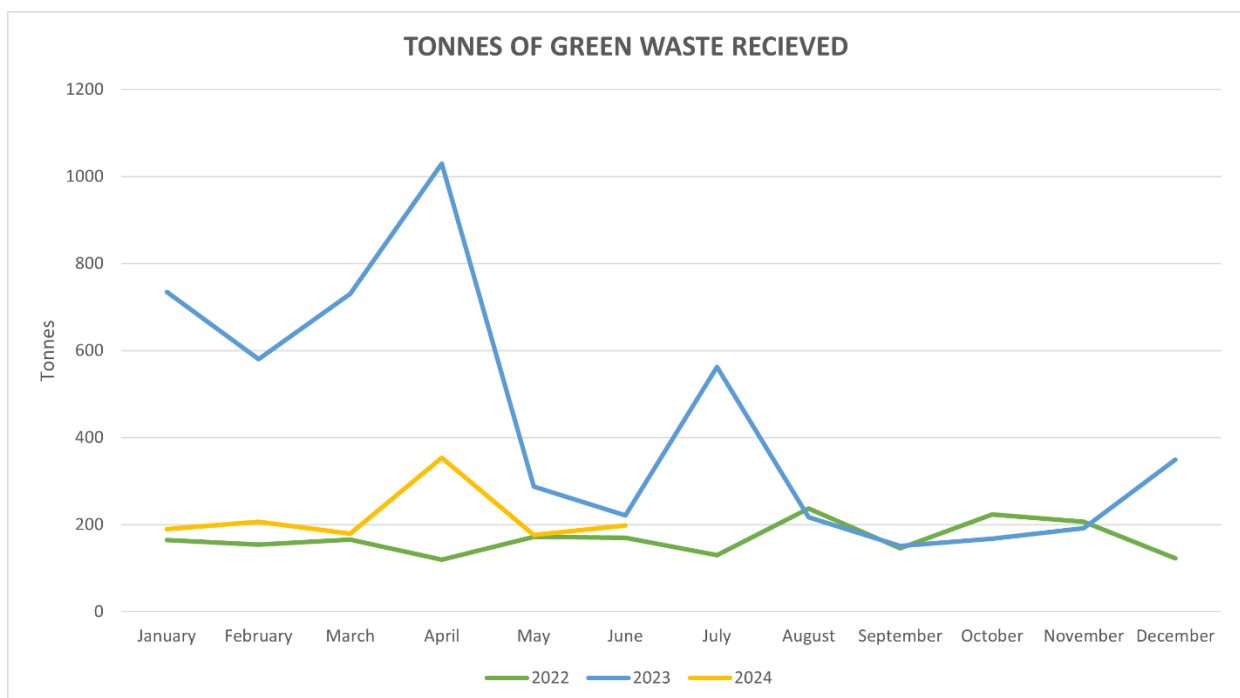
Transfer Station Waste

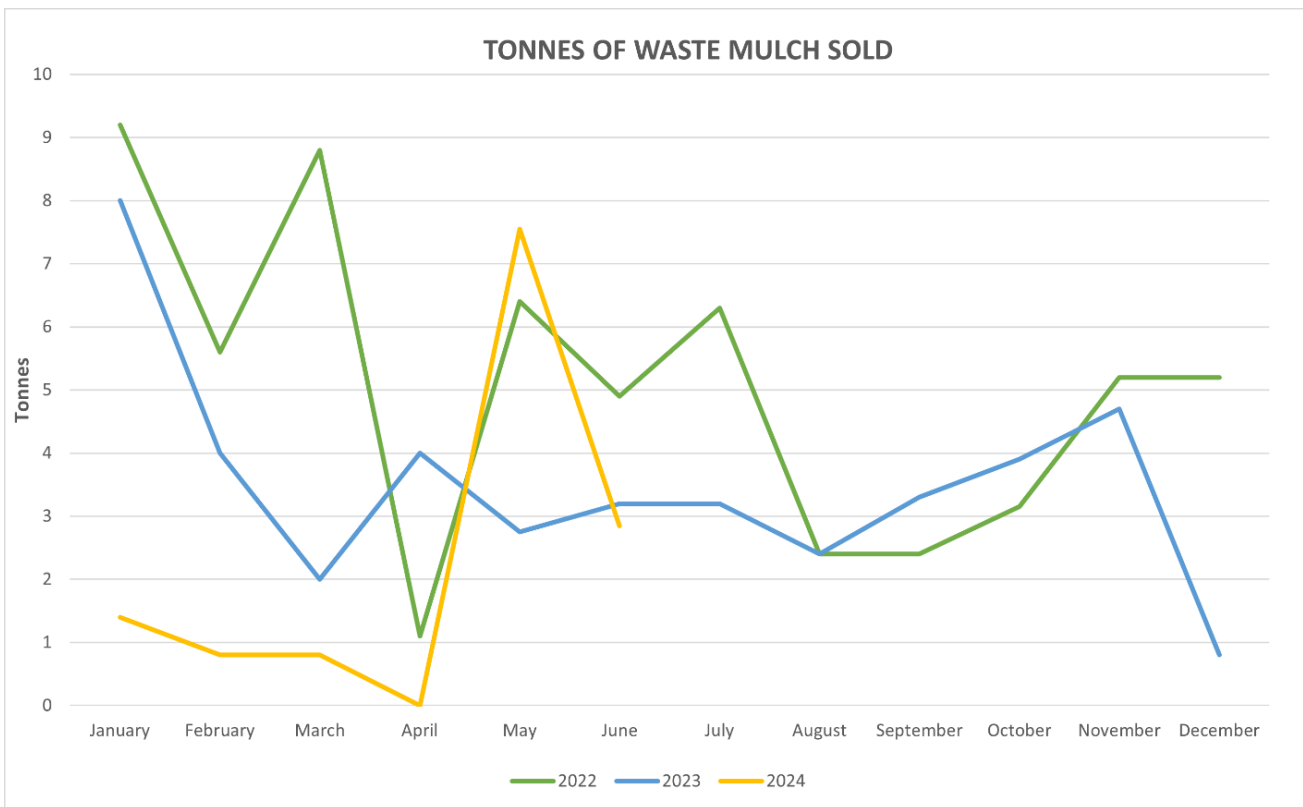
Transfer Station dry waste is transported off site to the Springmount Waste Facility. During June a total of 169 tonnes of waste was sent to landfill. Mareeba Transfer Station contributed to 126.7 tonnes to landfill, and Kuranda 22.1 tonnes.



Green Waste

During June, Council received a total of 198 tonnes of green waste. Kuranda recorded 1.9 tonnes of green waste from locations registered as being potentially contaminated with Electric Ants. 2.85 tonnes of mulch was sold during June.





RISK IMPLICATIONS

Environmental

Council holds an Environmental Authority issued under the *Environmental Protection Act 1994* to operate landfill facilities.

LEGAL/COMPLIANCE/POLICY IMPLICATIONS

Nil

FINANCIAL AND RESOURCE IMPLICATIONS

Capital

Nil

Operating

Nil

LINK TO CORPORATE PLAN

Financial Sustainability: A council that continuously operates in a cost-effective manner while managing council’s assets and reserves to ensure a sustainable future.

Transport and Council Infrastructure: The provision of quality services and infrastructure for our growing community that is planned and managed using sound asset management principles.

Economy and Environment: A resilient economy that promotes and supports the shire's natural assets and local industry and encourages investment while preserving and future proofing for generations to come.

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance while delivering affordable levels of identified services within the Shire.

IMPLEMENTATION/COMMUNICATION

Nil

9.8 WATER WASTEWATER & WASTE FEES AND CHARGES 2024/25

Date Prepared: 8 July 2024

Author: Manager Water and Waste

Attachments: 1. [2024-2025 Water & Waste Fees and Charges](#) ↓

EXECUTIVE SUMMARY

This report details the proposed Water, Wastewater and Waste Fees and Charges for 2024/25.

RECOMMENDATION

That Council adopts the proposed Deemed Commercial Fees for Water Wastewater and Waste Fees and Charges for 2024/25.

BACKGROUND

Council, as part of its budgetary process and under the legislation of the Local Government Act, is required to adopt a Schedule of Fees and Charges.

Section 97 of the *Local Government Act 2009* prescribes the circumstances where a Local Government may set a cost-recovery fee. This section also prescribes that a cost-recovery fee must not be more than the cost to the local government of taking the action for which the fee is charged.

Council must be able to demonstrate that the cost recovery fees are no more than the cost of providing the service. Council can set a fee that is lower than the calculated cost where it is deemed appropriate.

Costs for services are reviewed annually. The fees and charges have been recommended on either full cost recovery, discounted community service obligation by direction of Council or based on a set percentage increase on the previous financial year.

The proposed fees and charges for waste are as adopted at the Council meeting of 19 June 2024, and now include line items for commercial wet waste disposal at sites without a weighbridge.

RISK IMPLICATIONS**Legal and Compliance**

Local Government Act 2009.

Waste Management and Recycling Act (Waste Levy amendments) 2019.

LEGAL/COMPLIANCE/POLICY IMPLICATIONS

Council must be able to demonstrate that the cost recovery fees are no more than the cost of providing the service. Council can set a fee that is lower than the calculated cost where it is deemed appropriate.

FINANCIAL AND RESOURCE IMPLICATIONS**Capital**

Nil

Operating

Nil

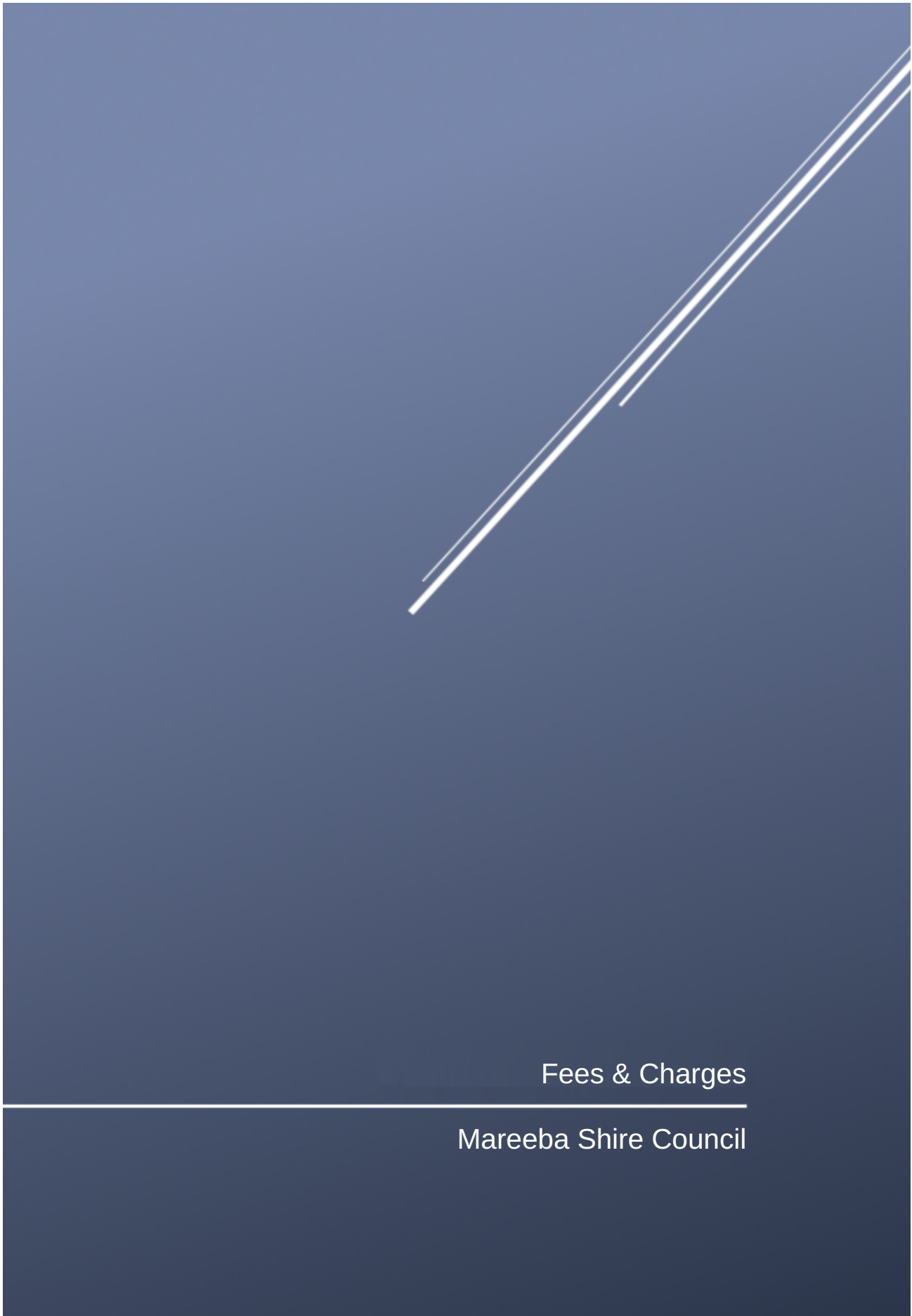
LINK TO CORPORATE PLAN

Financial Sustainability: A council that continuously looks for savings and opportunities while managing council's assets and reserves to ensure a sustainable future in a cost-effective manner.

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance and affordable levels of service delivered to the community.

IMPLEMENTATION/COMMUNICATION

The fees and charges detailed in this report will be included in the Register of Cost Recovery Fees and Charges and will be published on Council's Website.



Fees & Charges

Mareeba Shire Council

Name	Cost Recovery	Unit	Year 24/25 Fee (incl. GST if applic.)	Legislation
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Mareeba Shire Council

Council as part of its budgetary process and under the legislation of the Local Government Act is required to adopt a Schedule of Fees and Charges each year.

Section 97 of Local Government Act 2009 prescribes the circumstances where a Local Government may set a cost-recovery fee. This section also prescribes that a cost-recovery fee must not be more than the cost to the local government of taking the action for which the fee is charged. Costs for services are reviewed annually, with the full cost recovery model applied wherever possible. The cost recovery fees represent the cost recovery fees set by Council at the date of the budget resolution. Council may alter any of the cost recovery fees in this booklet by resolution at any time prior to the next budget resolution. The cost recovery fees in this resolution have been set by reference to specified exemptions from GST determined by the Federal Government under Division 81 of the GST legislation. Council reserves the right to alter the GST status of any cost recovery fee in accordance with any changes made to the Division 81 list. All cost-recovery fees detailed are fixed in accordance with relevant State Government legislation, Council's Local Laws and Council policies.

Waste

No Asbestos or Wet Paint will be accepted at any Landfill or Transfer Station.

Mulch Purchase

- Mareeba and Kuranda only
- Maximum 4 cubic metres per sale
- No commercial sales

Box trailer or utility load – self load	N/A	cubic metre	\$15.00	
Box trailer or utility load – machine to load	N/A	cubic metre	\$27.00	

No Charge - All Sites

Household Recyclables	N/A		No charge	
Scrap Metal (including degassed gas bottles)	N/A		No charge	
Degassed Air Conditioners/Fridges/Gas Bottles	N/A		No charge	
E-Waste	N/A		No charge	
Household Batteries (eg. Button cells, Power Tool Battery Packs, AA, AAA, B, C, D etc)	N/A		No charge	
Lead Acid Batteries (e.g. car batteries)	N/A		No charge	
Cooking Oil (Mareeba Only)	N/A			
Stripped Car Bodies	N/A		No charge	
Stripped Motor Bikes	N/A		No charge	
Engine Oil (up to 20L)	N/A		No charge	
DrumMuster Containers	N/A			
Fertiliser Bags	N/A			

Green Waste Disposal - All Sites

Green Waste - Domestic (Car/Ute/Trailer Load)	N/A	load	\$10.00	
Domestic green waste that is hauled to the waste transfer station by a commercial contractor or a light commercial vehicle will be charged at the commercial green waste rate.				
Green Waste - Domestic (Car/Ute + Trailer Load)	N/A	load	\$15.00	
Green Waste - Commercial (Minimum Charge)	N/A	load	\$21.00	
Green waste - Commercial (Light Commercial Vehicle)	N/A	tonne	\$48.00	

Name	Cost Recovery	Unit	Year 24/25 Fee (incl. GST if applic.)	Legislation
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Scrap Metal - All Sites

Domestic Solar Panels	N/A	each	\$10.00	
Car Bodies with fluids and or tyres	N/A	each	\$54.00	
Motor bikes with fluids and or tyres	N/A	each	\$17.00	
White goods, air conditioners containing gas	N/A	each	\$27.00	
Sorting fee will apply if waste is in fridges or freezers				
Gas bottles containing gas	N/A	each	\$7.00	

General Waste Disposal

All Sites

Household Waste (Minimum Fee - up to 240L)	N/A	each	\$5.00	
Commercial Waste (Minimum Fee - up to 240L)	N/A	each	\$22.00	
Mattresses - Domestic or Commercial	N/A	each	\$34.00	
Pallets	N/A	each	\$4.00	
Engine Oil (over 20L)	N/A	litre	\$1.00	
Up to 20 litres free – domestic or commercial.				

Weighbridge Sites

- Mareeba and Kuranda only

Dry Household Waste	N/A	tonne	\$101.00	
Wet Household Waste	N/A	tonne	\$100.00	
Loads will be charged at MSW (Residential) Solid Waste per tonne rate– no free waste disposal – you can reduce the cost of your MSW self -haul waste by bringing in recycling waste separately that is sorted such as: All scrap metal – ferrous and non-ferrous, white goods that have been degassed, domestic recycling – cans, glass, milk containers etc., E-waste, Car batteries, Drum Muster – empty and clean.				
Dry Commercial Waste	N/A	tonne	\$275.00	
Loads will be charged at C&I rate per tonne. Large loads may not be accepted at sites and deferred to a Landfill. A sorting fee will apply if mixed load requires sorting by council staff. Price includes Queensland State Waste Levy				
Wet Commercial Waste	N/A	tonne	\$275.00	
Commercial Recycling	N/A	tonne	\$193.00	
Construction and Demolition (includes concrete)	N/A	weigh in / weigh out	\$275.00	
Loads will be charged at C&D rate per tonne. Large loads may not be accepted at sites and deferred to a Landfill. A sorting fee will apply if mixed load requires sorting by council staff. Price includes Queensland State Waste Levy				
Clean Vacuum Truck Slurry/Lagoon Sludge	N/A	tonne	\$129.00	

Deemed Sites

Household Waste (Minimum Fee - Up to 240L)	N/A	bin	\$5.00	
1 x bin of MSW waste that is 240L or less will be charged this fixed fee (maximum 240 litres).				
Household Waste (Car/Ute/Trailer Load)	N/A	load	\$18.00	
Loads with MSW waste greater than 240L will be charged this fixed fee.				
Household Waste (Ute + Trailer)	N/A	load	\$36.00	
Loads with MSW waste in the Ute and Trailer will be charged this fixed fee.				
Commercial Recycling (Car/Ute/Trailer Load)	N/A	load	\$37.00	

Name	Cost Recovery	Unit	Year 24/25 Fee (incl. GST if applic.)	Legislation
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Deemed Sites [continued]

Commercial Recycling (Ute + Trailer)	N/A	load	\$74.00	
Commercial Recycling (Light Commercial Vehicle)	N/A	load	\$138.00	
Wet Commercial Waste (Car/Ute/Trailer Load)	N/A	load	\$52.00	
Wet Commercial Waste (Ute + Trailer)	N/A	load	\$105.00	
Wet Commercial Waste (Light Commercial Vehicle)	N/A	load	\$198.00	
Dry Commercial Waste (Car/Ute/Trailer Load)	N/A	load	\$52.00	
Dry Commercial Waste (Ute + Trailer)	N/A	load	\$105.00	
Dry Commercial Waste (Light Commercial Vehicle)	N/A	load	\$198.00	
Construction & Demolition (Car/Ute/Trailer Load)	N/A	load	\$52.00	
Construction & Demolition (Ute + Trailer)	N/A	load	\$105.00	
Construction & Demolition (Light Commercial Vehicle)	N/A	load	\$197.00	

Tyres - All Sites

Passenger	N/A	each	\$12.00	
Passenger with rim	N/A	each	\$27.00	
Light Truck/4WD	N/A	each	\$17.00	
Light Truck/4WD with rim	N/A	each	\$43.00	
Truck	N/A	each	\$38.00	
Truck with rim	N/A	each	\$91.00	
Motorcycle	N/A	each	\$10.00	
Motorcycle with rim	N/A	each	\$14.00	
Bobcat	N/A	each	\$27.00	
Earth Mover (Maximum Fee)	N/A	each	\$1,279.00	
Fork Lift (Maximum Fee)	N/A	each	\$78.00	
Grader	N/A	each	\$192.00	
Solid (Maximum Fee)	N/A	each	\$116.00	
Super Single	N/A	each	\$76.00	
Tractor (Maximum Fee)	N/A	each	\$319.00	
Miscellaneous Tyres (e.g. ride on mower, trolley wheels, planes, tracks)	N/A	each	POA	

Deceased Animals - Mareeba Only

Small animal (cat, small dog, possum)	N/A	each	\$6.00	
Medium animal (wallaby, large dog, calf, goat, pig)	N/A	each	\$22.00	

Miscellaneous Charges

Sorting fee – Required if mixed load requires sorting by Council staff	N/A	cubic metre	\$124.00	
Special Events Waste Collection Service 240L Bin - General Waste	N/A	each	\$33.00	
Waste – Replacement Bin - Mobile Garbage 240L	N/A	each	\$129.00	
Return Service Kerbside Collection	N/A	each	\$16.00	
Commercial Bay Processing Fee	N/A	each	\$27.00	

A skip bin surcharge is additional to the relevant waste that is brought in.

Name	Cost Recovery	Unit	Year 24/25 Fee (incl. GST if applic.)	Legislation
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Not Accepted

Commercial Solar Panels	N/A		N/A	
No longer accepting commercial solar panels, redirect to alternative landfill facility				
Plastic Fuming	N/A		N/A	
No longer accepting plastic fuming, redirect to alternative landfill facility				
Asbestos	N/A		N/A	
Wet Paint	N/A		N/A	
Clean Earth	N/A		N/A	
Contaminated Earth	N/A		N/A	
Caravans	N/A		N/A	
Drill Mud	N/A		N/A	

Wastewater

Charges

Blocked Sewer Inspection	N/A	each	\$486.00	
Build over Council sewerage System	N/A	application	\$624.00	
Connection to Council's Sewerage System	N/A	connection	Quoted service	
Based on 1.5m tapping and standard 1.5m from property boundary and 150mm join				
Inspection of Build Over Sewer as Constructed Works	N/A	each	\$167.00	

Waste Discharge

Grease trap waste Mareeba	N/A	litre	\$0.42	
Liquid Waste - Anything other than grease trap or septic - Mareeba	N/A	kilolitre	\$65.00	
Septic effluent waste Mareeba	N/A	kilolitre	\$65.00	

Water

New Meter

New Meter Installation Only – 20mm	N/A	meter	\$673.00	
New Meter Installation Only – 25mm	N/A	meter	\$877.00	
New Meter Installation Only – 32mm	N/A	quote	Quoted service	
New Meter Installation Only – 40mm	N/A	quote	Quoted service	
New Meter Installation Only – 50mm	N/A	quote	Quoted service	

Service Connection

Water service connection including Meter.

Meter Size – 20mm	N/A	meter	\$1,421.00	
Meter Size – 25mm	N/A	meter	\$2,074.00	

Name	Cost Recovery	Unit	Year 24/25 Fee (incl. GST if applic.)	Legislation
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Service Connection [continued]

Meter Size – 32mm	N/A	quote	Quoted service	
Meter Size – 40mm	N/A	quote	Quoted service	
Meter Size – 50mm	N/A	quote	Quoted service	

Service Disconnection or Reconnection

Disconnection of Water Service at Owners Request	N/A	application	\$215.00	
Reconnection after Requested Disconnection 20mm	N/A	application	\$673.00	
Reconnection after Requested Disconnection 25mm	N/A	application	\$877.00	
Reconnection after Requested Disconnection 32mm	N/A	quote	Quoted service	
Reconnection after Requested Disconnection 40mm	N/A	quote	Quoted service	
Reconnection after Requested Disconnection 50mm	N/A	quote	Quoted service	
Reconnection (after breach of water regulations or non payment) – 20mm	N/A	application	\$673.00	
Reconnection (after breach of water regulations or non payment) – 25mm	N/A	application	\$877.00	
Reconnection (after breach of water regulations or non payment) – 32mm	N/A	application	\$1,017.00	
Reconnection (after breach of water regulations or non payment) – 40mm	N/A	application	\$1,169.00	
Reconnection (after breach of water regulations or non payment) – 50mm	N/A	application	\$1,280.00	

Standpipes

Hire of Standpipe – Short Term (less than two (2) weeks)	N/A	day	\$12.00	
\$250 Bond. Maximum 7 day hire period (minimum charge of \$50.00)				
Hire of Standpipe – Long Term (greater than two (2) weeks up to six (6) months)	N/A	day	\$6.00	
\$750 Bond				
Standpipe Management System – Electronic Key	N/A	hire	\$54.00	
Water Supply from Fire Hydrants (other than for fire-fighting purposes)	N/A	kilolitre	\$2.00	
Processing Fee \$17.50 per load				

Other Services

Water Testing – Not available	N/A		N/A	
Meter/Service Testing (to be refunded if meter/service found to be faulty)	N/A	test	\$397.00	
Final Water Meter Reading request	N/A	reading	\$60.00	
Hydrant flow & pressure test	N/A	test	\$286.00	
Install Lockable Stop Valve with padlock	N/A	each	\$237.00	

Name	Cost Recovery	Unit	Year 24/25 Fee (incl. GST if applic.)	Legislation
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Other Services [continued]

Locations – Mareeba	N/A	location	\$210.00	
Locations – Chillagoe	N/A	location	\$980.00	
Locations – Dimbulah/Kuranda	N/A	location	\$608.00	
Locations – Mount Molloy	N/A	location	\$608.00	
Water and Wastewater Infrastructure Inspection	N/A	each	\$215.00	

9.9 INFRASTRUCTURE SERVICES, WORKS SECTION ACTIVITY REPORT - JUNE 2024

Date Prepared: 8 July 2024
Author: Manager Works
Attachments: Nil

EXECUTIVE SUMMARY

The purpose of this report is to summarise Council's Transport Infrastructure, Parks and Open Spaces, TMR Routine Maintenance Performance Contract (RMPC) and Land Protection operational activities undertaken by Infrastructure Services during the month of June 2024.

RECOMMENDATION

That Council receives the Infrastructure Services, Works Progress Report for the month of June 2024.

BACKGROUND

A summary of works completed in June 2024 is provided below.

Transport Infrastructure

General Maintenance

The major maintenance activities carried out in June are listed below;

Activity	Location
Unsealed Road Grading	Ootann Road, Blackdown Road, Lappa-MtGarnet Road, Fossilbrook Road, Bakers Road, Hodzic Road, Wetherby Road, Fraser Road, Wessel Road, Stannary Hills Dam Road, Stannary Hills Road, Emerald Falls Road, Mt Misery Road, Cobra Road, Hillview Road, Vulcan Wood Road, Alice Street, Macdonald Street, Rubina Terrace Mitchellvale Road, Quin Road, Tye Road, Annie Street, O’Callaghan Street
Slashing	Arriga, Biboohra, Julatten, Kuranda, Koah, Paddy’s Green, Speewah, Thornborough, Watsonville
Herbicide Spraying	Almaden, Arriga, Chewko, Chillagoe, Dimbulah, Julatten, Kuranda, Mareeba, Mt Molloy, Mutchilba
Tree Clearing/Vegetation Management	Kuranda, Julatten, Speewah, Mount Molloy, Chillagoe, Koah, Petford,
Road Furniture	Springmount Road, Koah Road, Wolfram Road, Springs Road, Oak Forest Road, Smiths Track Picnic Area Access, Bolton Road, Barron Falls Road, Speewah Road, Euluma Creek Road, Algoma Road, Rob Veivers Drive Return Lane, Tyrconnell Road, Kelly Road, Possum Close, Edward Elgar Close, Palm Valley Road, Stoney Creek Road, Nimrod Close, Thongon Street, Black Mountain Road, Douglas Track East,

Activity	Location
	Freedom Close, Douglas Track, Fichera Road, Pinnacle Road, Clohesy River Road, Mount Haren Road, Hoey Road, Mahogany Avenue, Sanctuary Close, Leafgold Weir Road, Byrnes Road, Randazzo Road, Tinaroo Creek Road, Scenic Drive, Myola Road, Cadaga Close, Chewko Road, Bullaburrah Creek Road, Piemonte Road, Frew Street, Ganyan Drive, McLeans Bridge Road, Walsh Street, Forest Close, Pademelon Lane, Rob Veivers Drive, Craig Road, Cobra Road, Constance Street, Lloyd Street, Meehan Street, Coondoo Street Turn Lane, Boyles Road, Henry Hannam Drive, Lockwood Road, Barron Street, Kanervo Road, Meeroo Street, Pomp Close, William Smith Drive, Enigma Close, Veivers Drive, Byrnes Street
Illegal Waste Disposal	Bruce Weir Road, Fantin Road, Santowski Crescent, Ganyan Drive

Tropical Cyclone Jasper, Associated Rainfall and Flooding

Mareeba Shire Council received advice from the Queensland Reconstruction Authority (QRA) that Disaster Recovery Funding Arrangements (DRFA) has been activated for Tropical Cyclone Jasper, Associated Rainfall and Flooding event.

With ongoing rain and access difficulties the Queensland Reconstruction Authority issued an extension of time to the Emergent and Immediate Restoration submissions for Council controlled roads of a further 90 days to 30 June 2024.

At the time of reporting, 275 roads within the shire have recorded expenses for emergent work to temporarily repair damage and maintain access.

Water levels at crossings in the north-western area of the shire have dropped sufficiently to allow access to crews and contractors to undertake emergent works. Advice from the Queensland Reconstruction Authority is that the emergent period for these roads commences once accessible.

Generally, all roads in the northern and eastern parts of the Shire that required emergent works were completed by 30 June.

The asphalt pathway leading to the pedestrian bridge that crosses Granite Creek behind Eales Park was destroyed during the flood event. In June, the pathways were restored and pedestrian access was reestablished.



Granite Creek Asphalt Path – 08/01/2024



Granite Creek Asphalt path – 26/06/2024



Granite Creek Asphalt Path – 08/01/2024



Granite Creek Asphalt path – 26/06/2024

Customer Requests

During June, the Works Group received 131 Customer Requests (CRs) with 184 resolved (resolved requests include those received prior to June 2024). The table below shows the number of requests lodged per Works Section for the month.

Month	Roads	Parks and Gardens	Pest Management	RMPC
May	87	33	9	2

At the time of reporting, the Works Group had 81 open requests.

TMR Routine Maintenance Performance Contract (RMPC)

32A - Kennedy Highway (Cairns – Mareeba)

- Paint amenities block at Edmund Kennedy Bridge Rest Area - Principal Request
- Rest Area Servicing 32A - Edmund Kennedy Bridge

34A - Mulligan Highway (Mareeba - Mt Molloy)

- Rural slashing Brady Road to Mt Molloy - full cut width where possible
- Supply and install 80km sigh at Chainage 2.30
- Emergent Works - Ongoing pothole patching as required as a result of Cyclone Jasper

34B – Mulligan Highway (Mt Molloy – Lakeland)

- Roadside Litter Collection - Rifle Creek, Mt Carbine Truck Stop and Bob's Lookout
- Rest Area Servicing - Rifle Creek, includes toilet cleaning
- Additional rest area cleaning/rubbish removal and rest area supplies - due to large numbers of campers using the area
- Unblock drain at male toilet block at Rifle Creek. External plumber and drain machine hire required
- Supply and install Campbell Creek signage
- Emergent Works - Ongoing pothole patching as required as a result of Cyclone Jasper

653 – Mossman-Mt Molloy Road

- Roadside Litter Collection - 653 - Hunter Creek, Environ Park and Lyons Park
- Rest Area - toilet servicing at Hunters Creek
- Clear vegetation from the barramundi farm to the Rex Range
- Callout to remove large fallen tree at Chainage 10.66 - Backhoe required
- Emergent Works - Clean Rex Range post wet season

6632 – Herberton-Petford Road

- Medium formation grade from Watsonville to Irvinebank in preparation for the Irvinebank Festival

664 – Mareeba-Dimbulah Road

- Supply and install a handrail at the Jackaroo Motel exit driveway
- Emergent Works - Ongoing pothole patching as required as a result of Cyclone Jasper

89B – Burke Developmental Road (BDR)

- Cleaning of inlets/outlets of pipes and drainage work at various locations along the Burke Developmental Road. Fergusons Crossing to Lynd River Causeway
- Medium formation grade Chillagoe to Nolans Creek
- Supply distances signage at intersections of Palmerville/Mt Mulgrave Road, Stathleven Road and Drumduff Road
- Eureka Creek Rest Area Servicing - including mowing whipper snipping and litter removal
- Emergent Works - Road repairs from Fergusons Crossing to MSC Boundary.
- Emergent Works - Repair pavement on deck of Browns Creek Bridge
- Emergent Works - Supply and Install depth markers at Pump Creek Floodway, Almaden
- Emergent Works - Patch Bull Creek Causeway and ongoing pothole patching at various locations, as required
- Emergent Work - Pothole patching on Trimble's Crossing

Parks and Open Spaces

Description	Comment
Mowing	Mareeba, Dimbulah, Kuranda, Mt Molloy/Julatten, and Chillagoe now all on scheduled mowing roughly every 18 – 20 days for unirrigated areas and fortnightly in irrigated zones.
Playing fields mowing	Davies Park once per week at 50mm, Borzi Park once per week at 50mm, Firth Park once per week at 40mm.
Herbicide Spraying	Herbicide spraying at Skyrail, Kuranda Amphitheatre & skate bowl, Bicentennial Lakes North, Chillagoe Tennis/Golf complex, Hunter Park, Basalt Gully South, Margheritha English Park
Gurney crew	Additional works as per CRM’s - Pressure washed footpath on Myola Road from Envirocare to Warrill Creek Bridge
Projects	Installed irrigation, plants, mulch and turf at Bicentennial Lakes Playground and Pump Track
Burials	Mareeba 9 burials – 3 ashes in columbarium wall, 6 interments. Dimbulah 2 interments
LOA	LOA’s are back working at the Mareeba Cemetery for 3 (three) days per week
Tree maintenance	Trimming of trees in parks and for street sweeping operations. Contractors trimming vegetation in Kuranda, Dimbulah and Julatten
Fire management	Mareeba, Mt Molloy and Chillagoe graded fire breaks are in progress
Irrigation	Irrigation repairs carried out at - Amaroo, P&OS Nursery, Firth Park, Skyrail Bus Interchange gardens, Kuranda Library, Geraghty Park, Railway Park

Land Protection

- **Parthenium Weed:** Inspections carried out on 13 sites. All landholders are complying with their biosecurity obligation. Officers continue to monitor one (1) site every two (2) weeks with the other 12 every three (3) weeks.

Siam weed: Survey and treatment of Siam Weed has been completed on known infestations at Back Creek Petford, Sand Creek Mt Molloy and Gorge Creek Watsonville. One (1) single plant was identified in a garden beside the Bicentennial Lakes in Mareeba. The survey of the Holmes Creek Mt Carbine has not yet been completed.

Feral pigs: Two (2) traps are currently on loan to landholders at Fantin Road, Koah and Nimrod Close, Speewah.

Wild dogs: 1080 Baiting was carried out on seven (7) cattle grazing properties on the upper Lynd River catchment and the Tait and Walsh Rivers covering 352,130 Ha.

FINANCIAL AND RESOURCE IMPLICATIONS

Operating

All operational works are funded by the section specific 2023/24 maintenance budgets.

LINK TO CORPORATE PLAN

Financial Sustainability: A council that continuously operates in a cost-effective manner while managing council's assets and reserves to ensure a sustainable future.

Transport and Council Infrastructure: The provision of quality services and infrastructure for our growing community that is planned and managed using sound asset management principles.

Economy and Environment: A resilient economy that promotes and supports the shire's natural assets and local industry and encourages investment while preserving and future proofing for generations to come.

IMPLEMENTATION/COMMUNICATION

Nil

10 OFFICE OF THE CEO

10.1 LICENCE AGREEMENT FOR USE OF KURANDA DESTINATION TOURISM MEDIA MARKETING TOOLS

Date Prepared: 27 June 2024

Author: Tourism & Economic Development Officer

Attachments: Nil

EXECUTIVE SUMMARY

This report seeks approval for transfer of the kuranda.org website and associated social media account assets owned by Council to Mareeba Shire Tourism Inc., for the purposes of destination marketing activities for Kuranda.

RECOMMENDATION

That Council

1. Determines that section 236(1)(b)(ii) by operation of section 236(2) of the *Local Government Regulation 2012* (Qld) applies to the proposed transfer of its Kuranda.org website, and associated Facebook and Instagram social media account assets; and
2. Approves the transfer by means of a licence agreement of Council's Kuranda.org website, and associated Facebook and Instagram social media account assets to Mareeba Shire Tourism Inc.

BACKGROUND

Council established a website as well as Facebook and Instagram account assets through its Tourism Kuranda operation as a Kuranda destination marketing tool. These assets were then handed to Kuranda Traders Association (KTA) under a licence agreement from Council. KTA has now disbanded and cancelled its incorporation.

Council and the Mareeba Chamber of Commerce established a local tourism organisation (LTO) under the auspices of the Chamber. This organisation, Mareeba Shire Tourism has now become independent and is the LTO for the Shire.

To ensure that these assets can continue to be leveraged on behalf of the tourism sector in Kuranda, it is proposed to transfer these assets via a license agreement to the LTO.

RISK IMPLICATIONS

Legal and Compliance

The kuranda.org website and social media accounts are destination marketing tools which hold an undefined value as a non-current asset. When entering contractual arrangements for the transfer or disposal of non-current assets, Council is obliged to consider Part 3 of the *Local Government Regulation 2012* (Qld) (LGR) which sets out the requirements for disposal other than by tender or auction - by exception. Section 236(1)(b)(ii) provides an exception to the requirement for disposal by tender or auction where the asset is disposed of to a community organisation. Exercise of the section 236 exception is contingent upon section 236(2) which relevantly provides that Council must, prior to any disposal action, decide by resolution that the exception applies.

FINANCIAL AND RESOURCE IMPLICATIONS

Capital

Nil.

Operating

Nil

LINK TO CORPORATE PLAN

Financial Sustainability: A council that continuously operates in a cost-effective manner while managing council's assets and reserves to ensure a sustainable future.

Community: An informed and engaged community which supports and encourages effective partnerships to enhance the liveability of the Shire.

Economy and Environment: A resilient economy that promotes and supports the shire's natural assets and local industry and encourages investment while preserving and future proofing for generations to come.

Governance: Sound decision making based on effective frameworks and clear strategic direction to achieve regulatory compliance while delivering affordable levels of identified services within the Shire.

IMPLEMENTATION/COMMUNICATION

Mareeba Shire Tourism Inc. to be advised of resolution and where Council approval is provided, Licence Agreement to be forwarded for execution.

11 CONFIDENTIAL REPORTS

Nil

12 BUSINESS WITHOUT NOTICE

13 NEXT MEETING OF COUNCIL

14 FOR INFORMATION

14.1 SUMMARY OF NEW PLANNING APPLICATIONS & DELEGATED DECISIONS FOR THE MONTH OF JUNE 2024

Date Prepared: 3 July 2024

Author: Coordinator Planning Services

Attachments: Nil

Please see below information.

Summary of new Planning Development Applications and Delegated Decisions for June 2024

New Development Applications					
Application #	Lodgement Date	Applicant/ Address	Property Description	Application Type	Status
MCU/24/0013	12/06/2024	Dusty Nuts Pty Ltd C/- Freshwater Planning 8 Vicary Road Mareeba	Lot 1 on RP741791	MCU - Undefined Use ("Workforce Accommodation" as defined by the Planning Regulation 2017) - extension to existing workforce accommodation	Public Notification Stage
MCU/24/0014	25/06/2024	Loughton Holdings Pty Ltd C/- Max Slade Designs 236 Walsh Street and 275-289 Byrnes Street Mareeba	Lot 30 on RP700534 and Lot 45 on SP300453	MCU - Vehicle Storage Yard, Dealership Egress and Auxiliary Warehouse	Application Stage
RAL/24/0008	12/06/2024	Surdham Pty Ltd C/- Freshwater Planning 303 Koah Road Koah	Lot 1 on RP748306	ROL - (1 Lot into 2 Lots)	Decision Stage
RAL/24/0009	20/06/2024	Wylandra Properties Pty Ltd C/- Freshwater Planning Ray Road Mareeba	Lot 224 on SP276715	ROL - (1 Lot into 14 Lots)	Application Stage

Decision Notices issued under Delegated Authority					
Application #	Date of Decision Notice	Applicant	Address	Property Description	Application Type
OPW/24/0002	10/06/2024	D and K Graham C/- Applin Consulting	9 Kenneally Road Mareeba	Lot 1 on RP725088	Operational Works (Access, Drainage & Stormwater Works, Water Infrastructure and Earthworks for Stage 1 of Development Permit RAL/23/0001)
RAL/24/0006	4/06/2024	M T Standen	212 Pin Road Mutchilba	Lot 473 on RP900988	Reconfiguration of a Lot Subdivision (1 into 2 lots)
RAL/24/0005	17/06/2024	Wong Lau Developments C/- U&I Town Plan	136 Fantin Road Koah	Lot 174 on NR5801 and Lot 175 on NR5801	Reconfiguration of a Lot Subdivision – (2 into 3 Lots)
RAL/24/0007	26/06/2024	D Wearmouth	22 Devil Devil Close Julatten	Lot 38 on RP747819	Reconfiguration of a Lot – Subdivision (1 into 2 Lots)

June 2024 (Regional Land Use Planning)

Negotiated Decision Notices issued under Delegated Authority					
Application #	Date of Decision Notice	Applicant	Address	Property Description	Application Type
Nil					

Change to Existing Development Approval issued					
Application #	Date of Decision	Applicant	Address	Property Description	Application Type
Nil					

Referral Agency Response Decision Notices issued under Delegated Authority					
Application #	Date of Decision	Applicant	Address	Property Description	Application Type
Nil					

Extensions to Relevant Period issued					
Application #	Date of Decision	Applicant	Address	Property Description	Application Type
Nil					

Survey Plans Endorsed					
Application #	Date	Applicant	Address	Property Description	No of Lots
DA/12/0035	11/06/2024	Jumrum Rainforest Pty Ltd C/- ARO Industries Pty Ltd	Fallon Road and Discovery Drive Kuranda	Jumrum Rainforest Estate Stage 1 Lots 1 - 11 and 99 on SP340502 and Covenants A to K in Lots 1 – 11 respectively (Cancelling Lot 72 on RP903071)	11 x New Lots 1 x Balance Lot
REC/06/0072	27/06/2024	Allan and Soren Christensen	Christensen Road Kuranda	Myola Heights Stage 1A Plan of Lots 12, 13, 24, 25 & 121 on SP338635 & Covenants R – U in Lots 24, 25, 12 & 13 Respectively Cancelling Lot 121 on SP302233	4 x New Lots 1 x Balance Lot

June 2024 (Regional Land Use Planning)